

# Project Information

**ADDRESS** 550 Mercer St

Seattle, WA 98109

**PARCELS** 545830-0425

LOTS 7-12, MERCERS 2ND REPLAT BLKS 44 TO 53

**SDCI #** 3039269-LU

OWNER Schnitzer West

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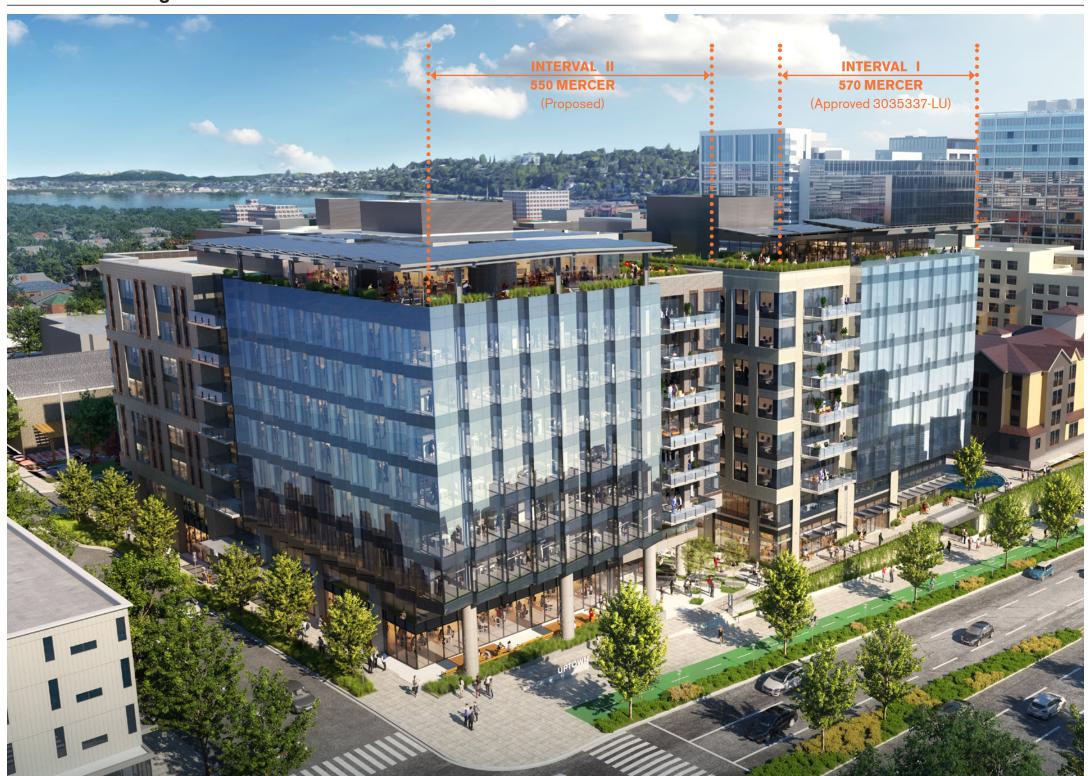
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SCHNITZER WEST

## **Aerial View Facing Northeast**



## **Development Goals**

- Complementary Forms enhance the existing fabric of the neighborhood by working in harmony with the adjacent development to create a wholistic approach to a full block redevelopment.
- Distinctive Design Elements provide the opportunity to creatively relate to the growing Uptown arts & culture district and its relationship to a transitional neighborhood.
- Advocate for Change by providing another strong precedent for a new building typology in the Uptown neighborhood which celebrates heroic sustainability goals.

**On-site Energy Production** 

**Water Conservation** 

**Red List Free Materials** 

**Bioretention Facilities** 

**Biophilic Design Elements** 

**Education & Inspiration** 

- Celebrate Beauty by expressing sustainable goals and making them self evident to the public and the building users.
- Physically Connect Mercer street to a south facing publicly accessible plaza that activates the streetscape and strengthens pedestrian connections.
- Embrace Arts/Culture by providing several key moments in the project to showcase art and other interpretive expressions that give this site a unique sense of place.

## **Design Proposal - Metrics**

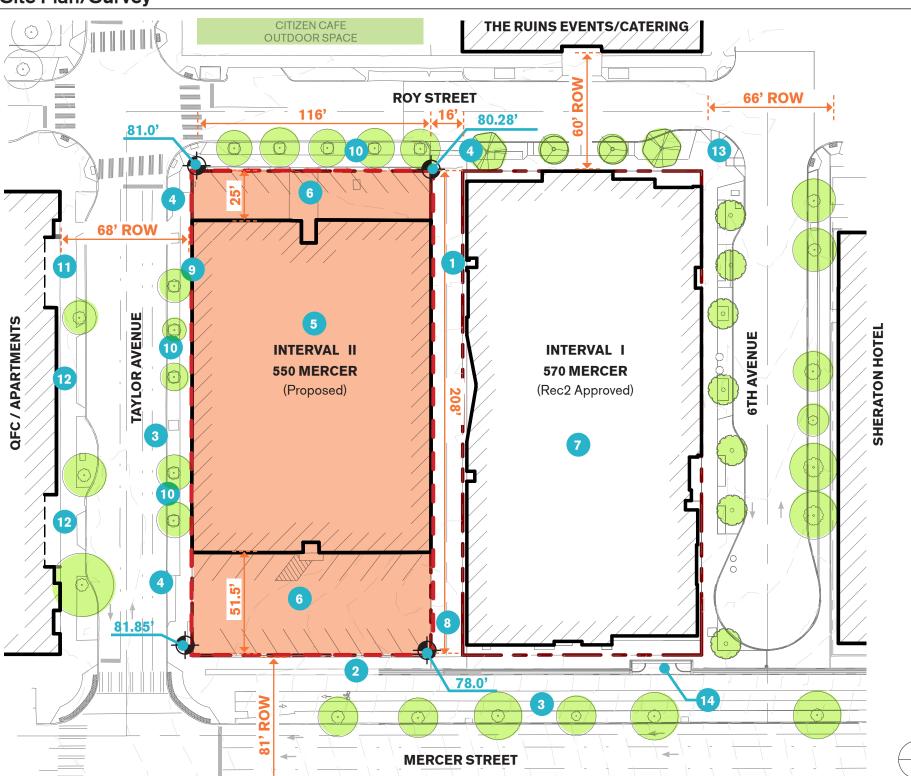
Site Area	29,197 SF
Office	190,000 SF
Retail	8,000 SF
Parking	177 Stalls
<b>Gross Floor Area</b>	191,600 SF

# Context & EDG Recap

## **SITE CONDITIONS**

Site Survey

## Site Plan/Survey



## **Project Information**

**Parcel:** 545830-0425

Legal LOTS 7-12, MERCERS 2ND Description: REPLAT BLKS 44 TO 53

SDCI Project #: 3039342-EG

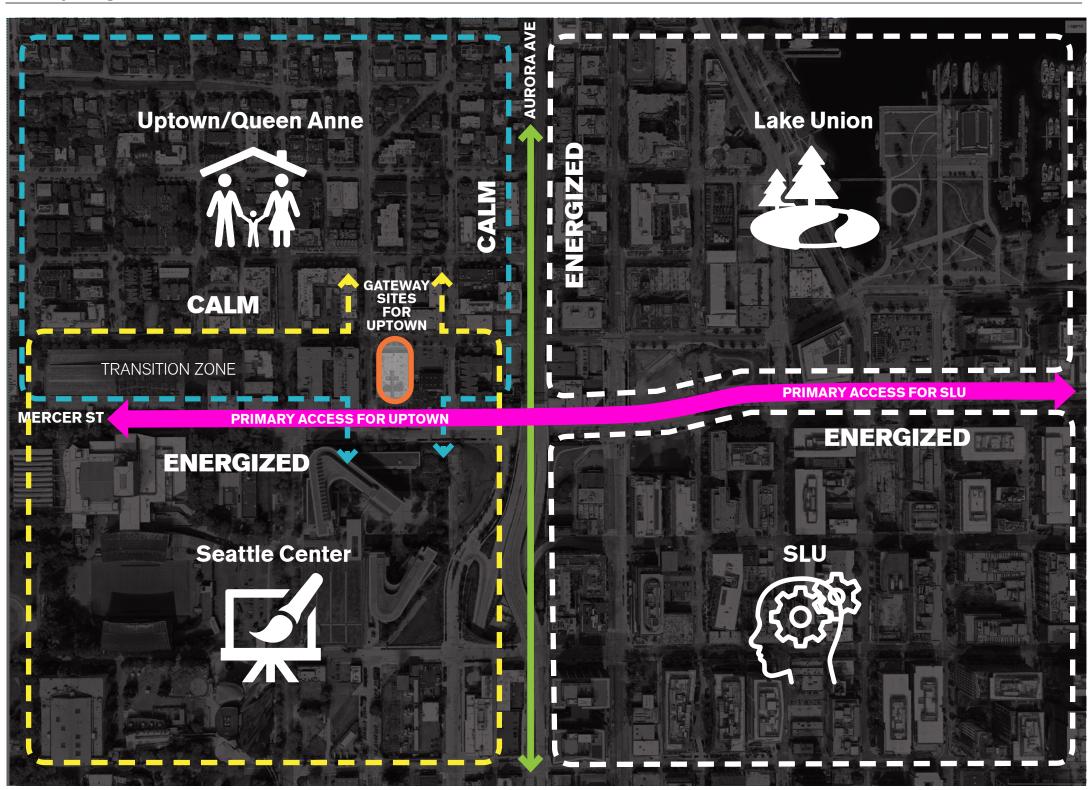
The proposed project will include the demolition of one (1) existing building, and two (2) separate surface parking lots. The existing 4" curb along Taylor St will be improved to a typical 6" curb. The Mercer St retaining wall will be demolished to make way for a public outdoor space and pedestrian connection. The existing alley will be maintained with the only access from Roy St.

### **Keynotes**

- 1 Existing alley is 16' wide
- 2 Mercer Street wall
- 3 Bike Lane
- 4 Existing driveway curb cuts
- 5 Existing building to be demolished
- 6 Existing surface parking lot to be demolished
- Development of site in progress (office project, 8 stories)
- 8 Existing dead end alley
- 9 1'-0" ROW dedication along Taylor St
- 10 Existing street trees to be removed and replaced
- 11 Existing parking garage entry
- 12 Existing loading dock entry/exit
- 13 Proposed curb bulb
- 14 Mercer St Entrance

## **SITE CONDITIONS**

### **Vicinity Diagram**



### **Observations**

- Opposing Levels of Activity Lake Union, South Lake Union, and Seattle Center are all very busy areas.
   Between daily office users, residents, global tourists, and local tourists, this is one of the most active areas in the city.
- Change in Age of Neighborhood The Uptown and Queen Anne neighborhoods are some of the more historic in the city, and still possess similar qualities to the original construction. As one of the residential hubs in seattle, this is an important node to providing access to South Lake Union and elsewhere.
- Difference in Typical User Lake Union and the Seattle Center are tourist hubs for Seattle residents and visitors alike. Uptown and Queen Anne are heavily residential focused, with less tourists activity and more of a private experience. While certain destinations exist, it is important for this project to serve locals and visitors.
- Beginning of a Neighborhood Uptown and Queen
  Anne are residential areas in focus, with lower scale
  development than newer structures in the South Lake
  Union area. Transitioning between these two scales
  as an announcement to this neighborhood is critical.
  Additionally, Mercer St is the primary thoroughfare
  providing access to this area, and therefore this site
  will function as a gateway.

## **SITE CONDITIONS**

## Site Condition Observations

**Neighborhood Transition** 

The project will take note of the successful Citizen Cafe in its massing approach, as it contributes to a particularly calm character to Roy street.

2 Citizen Cafe

Directly North of the site begins a very different neighborhood than exists on Mercer St. Significantly more residential, industrial building types, lower scale development, and successful retail with outdoor seating announce the transition.

# Mercer St Retaining Wall



Mercer St is the primary arterial providing east/west access in this area of Downtown. Focused entirely on vehicles originally, the dedicated bike lane and increasing pedestrian activity stand in contrast with the dominant retaining wall. This creates a physical and visual barrier between neighborhoods, and discourages multi-model transportation

## The Lumen Condominiums

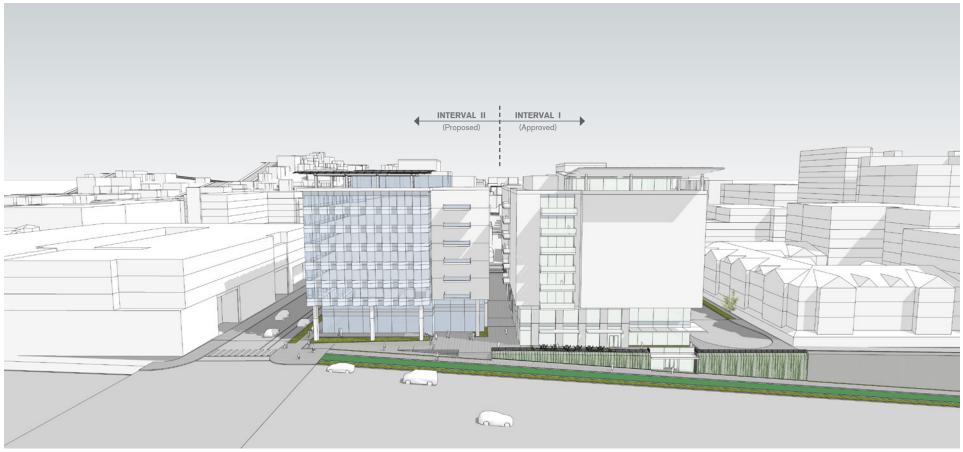


The Lumen condos are a newer development in the area which can be referenced for certain datums and modulation. Taylor Ave (western side) is predominately loading docks and parking access, creating a mostly inhospitable streetscape in a busy area.

## **CONCEPT ALTERNATIVES**

Massing Option 3 - EDG Approved

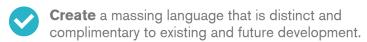
# **Aerial View Facing North**

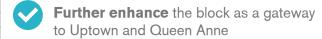


## **Project Data**

Gross Floor Area (GFA)	191,600 SF
Levels	8
Outdoor space	3,000 SF
Parking	177 stalls, 2.5 levels below grade

## **Guiding Principals**

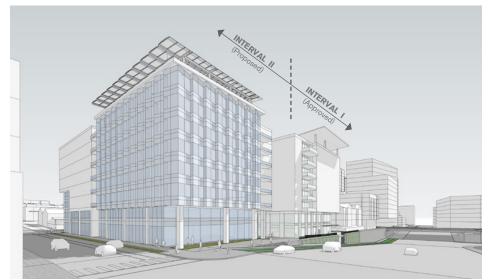




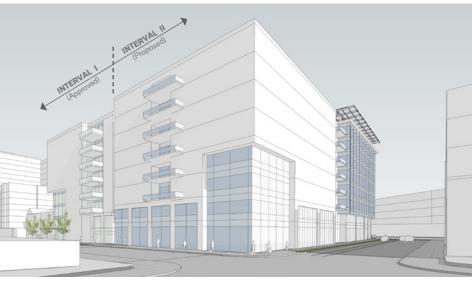
Encourage activation and celebrate context through rhythm and movement

**Develop** an architectural expression that directly addresses Uptown as an Arts & Culture district

# **Street View Facing Northeast**



# **Street View Facing South**



## **Street View Facing West**



## **CONCEPT ALTERNATIVES**

## Massing Option 3 - EDG Approved



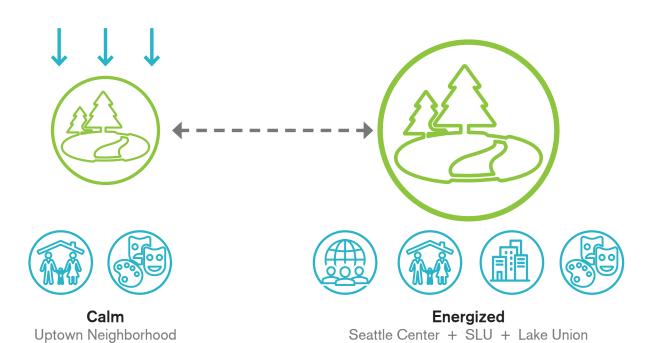
How do we act as a gateway to the **Uptown Arts & Culture District**?

# INTERVAL MMM

A **Gateway** to define a break in time, and create a **distinct** and **complimentary** difference in itself and its surroundings.

**1**: Create <u>The Pitch</u> to enhance a <u>Massing Expression</u> that creates <u>Rhythm</u> and encourages <u>Movement</u> into and through the site from multiple directions.

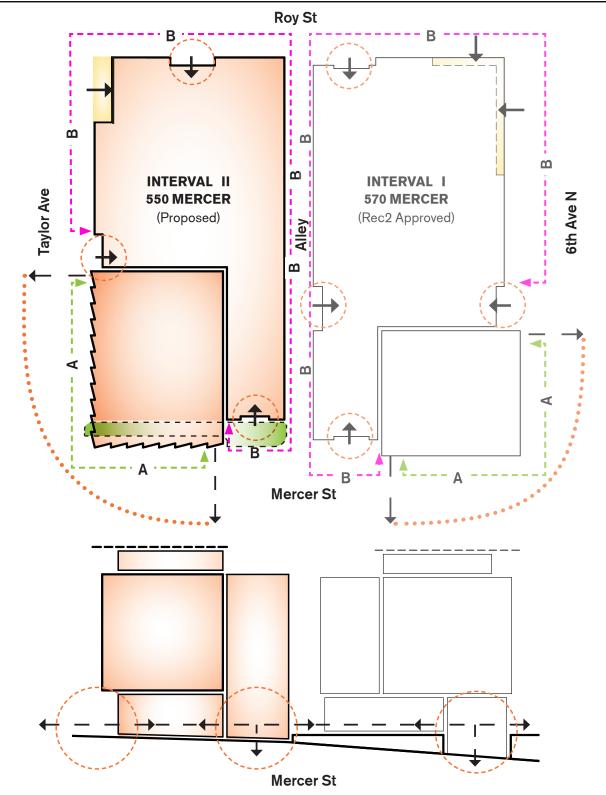
2: Create a **Transitional Outdoor Space** that provides a new opportunity for the **Mixing of Users** from adjacent **Calm** and **Energized** neighborhoods.



# **CONCEPT DEVELOPMENT**

Massing Expression Diagram

# **Massing Expression Diagram**



# **Design Expression A:** Arts & Culture Gateway

- Unique Playful
- IconicIdentity
- Distinct
   Heritage

# **Design Expression B:** Uptown

- QuietTransitional
- Rhythmic
   Verticality
- Creative
   Textured















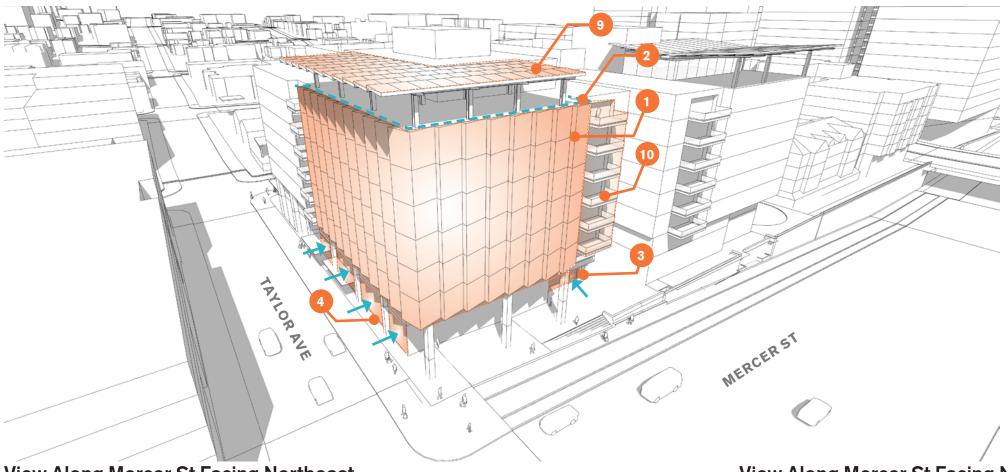






# Massing Refinements

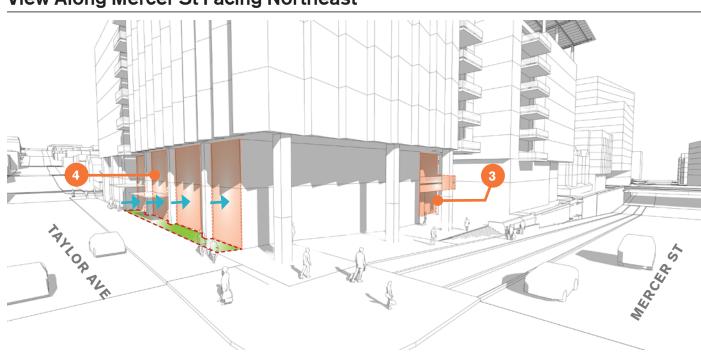
# **Aerial View Facing Northeast**



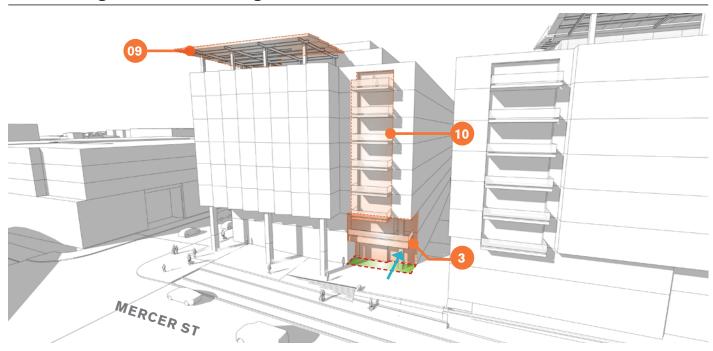
## **Keynotes**

- 2' deep x 10' wide sawtooth facade proportions
- 2 Removed frame element at parapet and soffit
- 3 Additional setback for office entry + added balcony
- 4 1' additional setback along Taylor Ave
- 5 12' setback at NW corner for enhanced streetscape
- **3' recess** for second retail entry
- 7 3' recess along Roy St for stair entrance
- 8 Added canopies along Taylor Ave & Roy St
- 9 Refined shape & structure of PV array
- 2' recess added to balconies
- 11 Balcony placement & size refined

# **View Along Mercer St Facing Northeast**

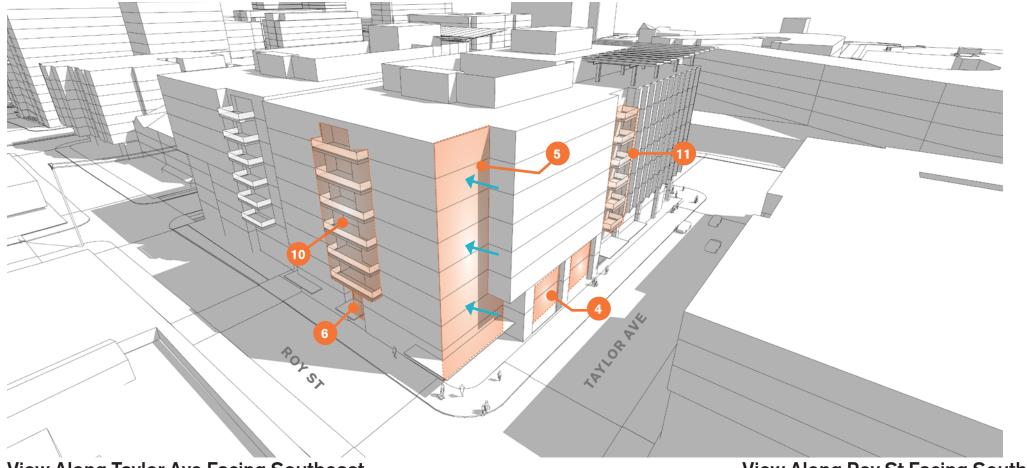


# **View Along Mercer St Facing Northwest**



## **MASSING REFINEMENTS**

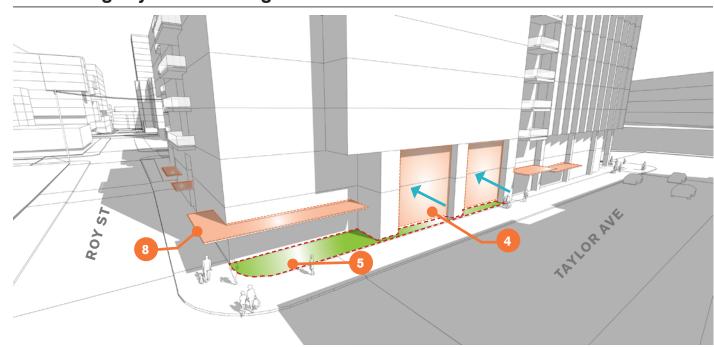
## **Aerial View Facing Southeast**



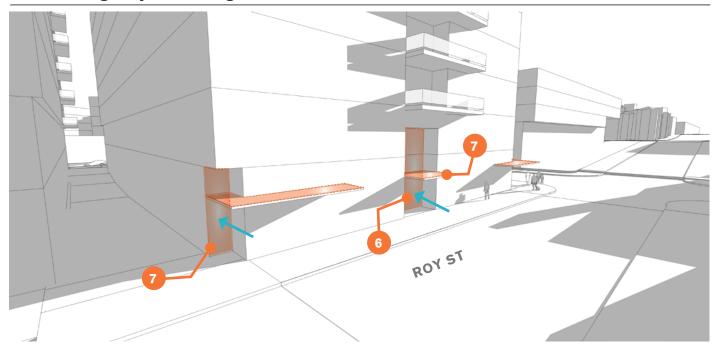
## **Keynotes**

- 2' deep x 10' wide sawtooth facade proportions
- Removed frame element at parapet and soffit
- Additional setback for office entry + added balcony
- 1' additional setback along Taylor Ave
- 12' setback at NW corner for enhanced streetscape
- 3' recess for second retail entry
- 3' recess along Roy St for stair entrance
- Added canopies along Taylor Ave & Roy St
- Refined shape & structure of PV array
- 2' recess added to balconies
- Balcony placement & size refined

# **View Along Taylor Ave Facing Southeast**



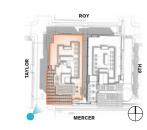
# View Along Roy St Facing South





# **Design** Proposal

# **RENDERINGS**



# Aerial View From Mercer St & Taylor Ave Facing Northeast



# **View From Mercer St Facing Northwest**





# View From Mercer St & Taylor Ave Facing Northeast - Daytime

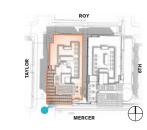


# RE MERCER

View From Mercer St & Taylor Ave Facing Northeast - Evening



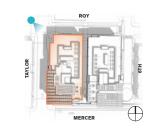
# **RENDERINGS**



# Ground Level View At Mercer St Facing Arcade & Southern Retail Space

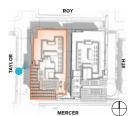


# **RENDERINGS**



# View From Taylor Ave & Roy Street Facing Southeast

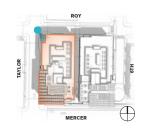




# Ground Level View on Taylor Ave Facing Retail & Office Entry



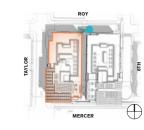
# **RENDERINGS**



# Ground Level View at Roy Street & Taylor Ave Facing Northern Retail Space



# **RENDERINGS**



# **Ground Level View Along Roy St Facing Northern Retail Space**



# Response to EDG

## **RESPONSE TO EDG**

# EDG - Massing

## **Guidance**

Although the Board supported the carving of the lower levels at the corner of the mass at the northwest corner, the Board discussed whether the 4-story proportion was an appropriate transition between the more active area of the neighborhood to the east and the more pedestrian character that is found to the northwest of the site. The Board gave guidance for the applicant to study alternative heights and proportions of the carved corner to potentially better relate to the more intimate pedestrian character and scale found nearby. (CS2-C-1, CS2-3-A, PL2-A-C, PL3-C, DC2-C, DC2-3, DC2-4)

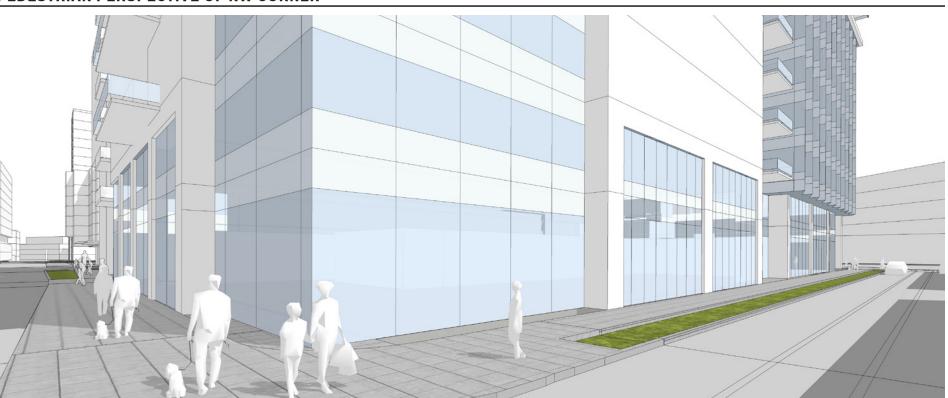
#### PEDESTRIAN PERSPECTIVE FROM TAYLOR/ROY ST



#### **AERIAL FROM TAYLOR/ROY ST**



#### PEDESTRIAN PERSPECTIVE OF NW CORNER



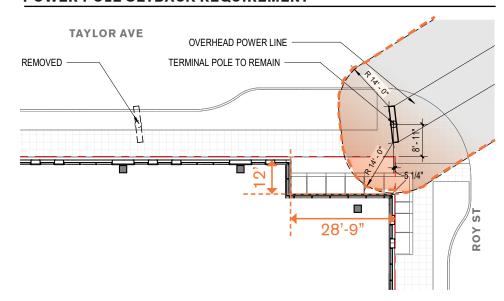
## Response

- The design team revised the massing and facade expression with two major factors in mind. The first major factor, was responding to the context by further breaking down the massing at the northwest corner to better react to the pedestrian scale around the site. The second major factor, was finding a creative massing solution to allow the incorporation of a single power pole and its required setbacks. With these factors in mind, the design team studied two solutions for the massing expression:
- <u>Study 1:</u> Explores a <u>setback</u> on the northwest corner for all stories above level 3. This option accomplishes the desire to further break down the scale of the corner and accommodate for the power pole setback, but it does not offer any good solutions at the ground level to benefit the streetscape.
- Study 2 (Preferred): Explores the same setback shape described above, but instead, carries it the full height of the building. This is not required by SCL, and the design team felt strongly that including a voluntary ground level setback that is 28'-9" wide by 12' deep helps to establish a cohesive massing move that offers a new pocket of enhanced streetscape. This relates more directly to its context by establishing a shared language with the Citizen Cafe and by providing usable outdoor space that encourages street level activation.

#### **VIEW FROM TAYLOR AVE & ROY ST**



#### **POWER POLE SETBACK REQUIREMENT**



STUDY 1 - NO GROUND LEVEL RECESS



STUDY 2 - FULL BUILDING RECESS (PREFERRED)



# EDG - Facade Articulation and Materiality

#### **Guidance**

- The board generally supported the facade and pattern concepts and precedent imagery shown on pages 54 and 55 of the EDG packet. The Board specifically appreciated the saw-tooth faceted treatment at the corner of Mercer St and Taylor Ave, and the use of high-quality materials over large expanses of the building facade, such as curtainwall, brick masonry, glass railing, and recessed window groupings. Moving forward, the Board recommended that the applicant continue to develop each facade and provide more information on the detailing of those materials and transitions, showing the material quality, texture, and depth implied in the EDG packet. (DC2-B-1, DC2-C, DC2-3, DC2-5-H, DC4-A-1, DC4-1)
- The **Board recommended** that the applicant continue to **study** the façade design within the carved portion of the mass at the northwest corner to provide a better contextual response to the smaller scaled **residential character** near this corner of the site. The Board gave guidance to study incorporating overhead weather protection and other elements into the façade to provide a well-proportioned composition that works with the scale of the building and enlivens the pedestrian experience. (PL1-B-2, PL1-3-c, DC2-B-1, DC2-C-1, DC2-5-h)

#### **EDG - VIEW FROM SOUTHWEST - EXPRESSION TYPE A**



**EDG - VIEW FROM NORTHWEST - EXPRESSION TYPE B** 

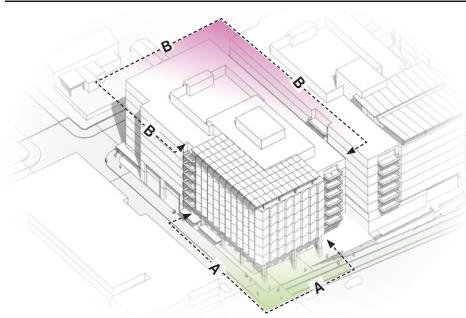


PRECEDENT - EXPRESSION A





#### **CONCEPT DIAGRAM - AERIAL VIEW FACING NORTHEAST**





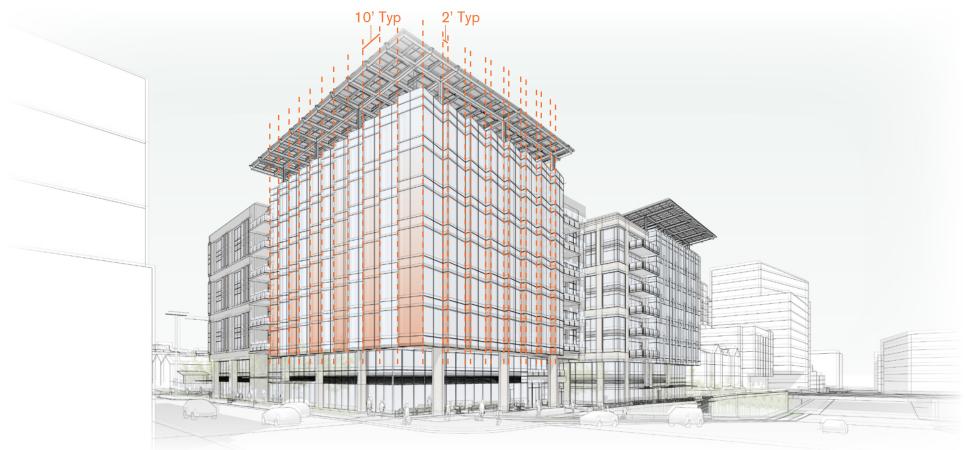
# Rec - Facade Articulation and Materiality

## Response

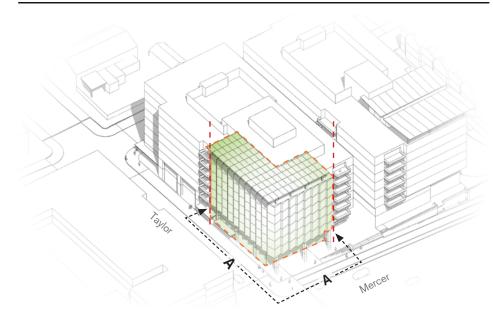
#### **DESIGN EXPRESSION: TYPE A - FACADE**

- In order to further refine design expression Type A, which includes "The Pitch", the design team expanded their contextual analysis to include existing and proposed facade rhythms and modules in the vicinity.
- The Lumen Condos, located to the west of the site, has a
  prevalent window opening rhythm and exterior material
  patterning. The primary spacing appears to be between 10-12'
  in width, with secondary spacing being between 2-3' in width.
  Additionally, the building includes projecting balconies that help
  reinforce this rhythm.
- Interval I (570 Mercer) also provides an important precedent.
   The South and Southeast facing facade expression is wrapped in a lightweight glass expression with a recurring pattern of exterior vertical glass fins. This pattern is governed by a primary spacing of 20' and a secondary spacing of 10'
- Therefore, "The Pitch" adopted a rhythmic & modulated pattern that worked to incorporate these adjacent primary and secondary spacings into the facade design.

#### FACADE EXPRESSION TYPE A - RHYTHM & DEPTH DIAGRAM



#### **CONCEPT DIAGRAM - AERIAL VIEW FACING NORTHEAST**



#### **LUMEN CONDOS - RHYTHM & MODULE ANALYSIS**



#### 570 MERCER - RHYTHM & MODULE ANALYSIS



## **RESPONSE TO EDG**

# Rec - Facade Articulation and Materiality

## Response

#### **DESIGN EXPRESSION: TYPE A - FACADE**

- "The Pitch" went through numerous studies, to accomplish two main goals:
  - 1. Creatively respect & acknowledge existing rhythms/patterns
- 2. Elegantly & artistically announce Uptown as a gateway
- The following iterations were explored in refining the expression:

Iteration 1: 10' wide x 1' deep w/Repeating Module

**Iteration 2:** 5' wide x 1' deep w/Differing Module

**Iteration 3:** 5' wide x 1' deep w/Repeating Module

Preferred Iteration: 10' wide x 2' deep Repeating Module

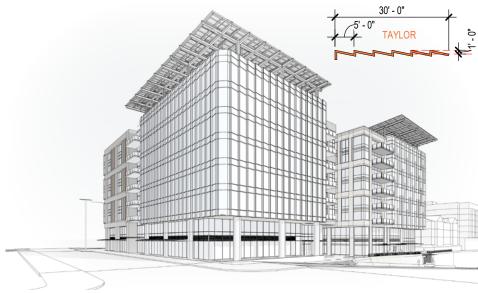
- After analyzing the iterations, it became apparent that the
  width of the modules of 10', rather than 5', allowed the
  building to be more grounded within the existing context.
  Also, embracing a module with more depth was critical to
  ensure the pattern was discernible and well modulated.
- Therefore, the design team chose the facade iteration promoting the most depth, shadow, and texture to emphasize a more human scale while maintaining a unique gesture to represent Uptown as a gateway.

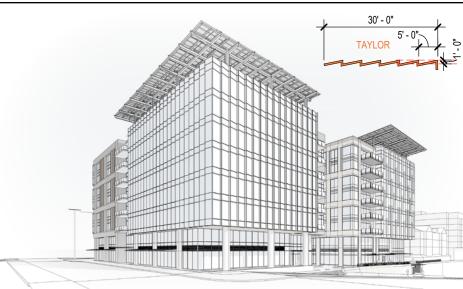
#### VIEW FROM MERCER ST FACING NORTHEAST - PREFERRED FACADE ITERATION



#### **FACADE EXPRESSION - ITERATION 1**







# Rec - Facade Articulation and Materiality

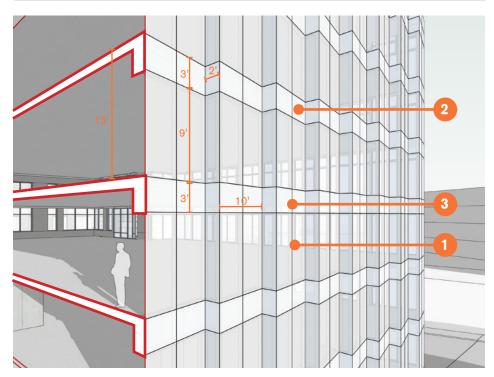
# Response

#### **DESIGN EXPRESSION: TYPE A - FACADE**

To announce this site as a gateway, and translate the Uptown Arts & Culture district into architecture, it became important to treat this facade expression as an artistic element. Building upon the **Interval concept**, the approach to "the pitch" creates a visually interesting facade modulation by creating depth, shadow, and **texture** which **heightens the contrast** between the two primary expressions of the building.

- 1 Vision Glass
- 2 Spandrel Glass
- 3 Silicon Butt Glazed Mullions
- Planar Change Separating Expressions
- 5 Balcony

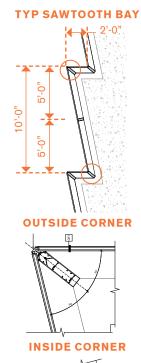
#### **TYPICAL SECTION AT EXPRESSION TYPE A**



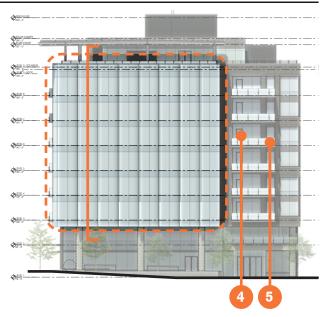
#### **VIEW FROM MERCER & TAYLOR FACING NORTHEAST**



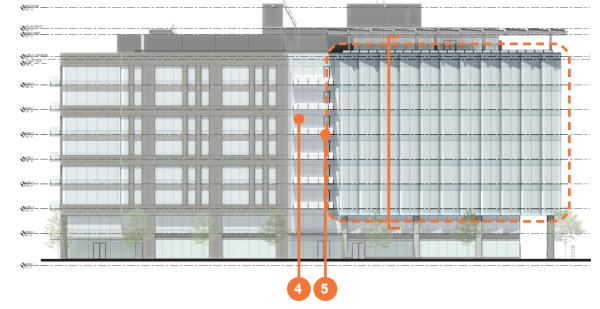
#### **PLAN DETAILS**







#### **WEST ELEVATION**



## **RESPONSE TO EDG**

# Rec - Facade Articulation and Materiality

## Response

#### **DESIGN EXPRESSION: TYPE A - SOLAR & RAIN COLLECTOR**

To further **strengthen the legibility** of this massing element, a **solar** array & rainwater collection roof form was carefully placed to be perfectly paired with the massing at the southwest corner of the building. This roof form reinforces this part of the building as a gateway element.

The shape of the roof is also **functional in nature**, by providing a subtle gable shape to facilitate rainwater collection, which funnels water to a series of collection gutters at the perimeter, with accompanying downspouts that are visible at the roof level.

The roof form is comprised of a series of sawtooth shaped modules that include a series of skylights paired with 200 Bifacial PV panels to achieve the **aggressive energy targets** for the project. Each module follows the cadence of the curtain wall modulation below.

1 Ridge of Array 2 PV Panels 3 Skylights 4 Gutter +







#### **ENLARGED VIEW OF SOLAR ARRAY**

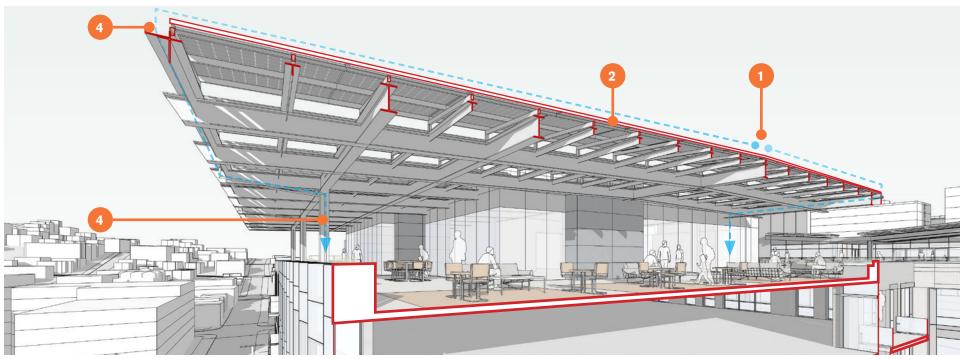


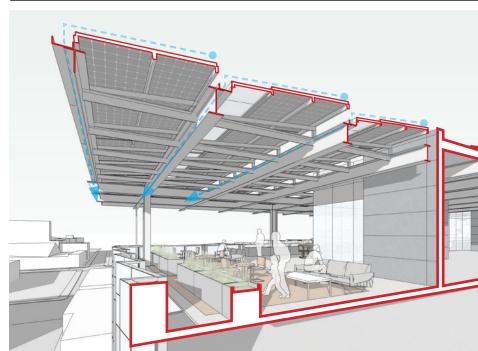
#### **SOLAR ARRAY AND WATER COLLECTION DIAGRAM**



**SOLAR ARRAY - SECTION PERSPECTIVE FACING WEST** 

# **SOLAR ARRAY - SECTION PERSPECTIVE FACING NORTH**





# Rec - Facade Articulation and Materiality

# Response

#### **DESIGN EXPRESSION: TYPE B - FACADE**

To strengthen the legibility of the massing facing Uptown, significant modulation offsets are applied to the building to create a transition between exterior expressions and allow for relief to occur on both the Southeast, West, and Northwest corners of the building. It was also critical to study how the design could best integrate a facade pattern that added variation, changes in scale, verticality, depth and texture by using brick in different orientations and different sized window openings.

- A two story language was adapted to strengthen the relationships between Interval 1 and 2, while also maintaining relationships to existing datums from nearby buildings. These datums exist to create a two story base at ground level and are followed by other two story openings at upper levels that are attractive and well proportioned. This method creates a **cohesive appearance** in the neighborhood, while also reducing the scale of the design expression.
- The design team used the two story expressions to create a framework for varying sizes in window openings within the brick field, which include three different sizes and two brick colors.

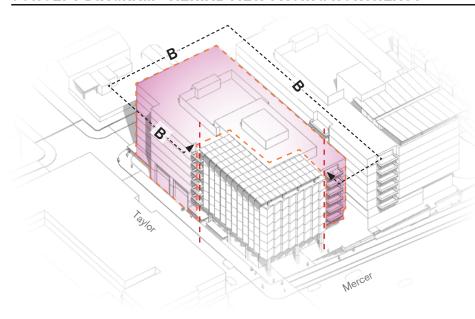
#### **VIEW FROM ROY ST & TAYLOR AVE FACING SOUTHEAST**



**VIEW FROM ROY ST FACING SOUTH** 



#### **CONCEPT DIAGRAM - AERIAL VIEW FACING NORTHEAST**



**570 MERCER - CONTEXTUAL DATUMS** 













# Rec - Facade Articulation and Materiality

# Response

#### **DESIGN EXPRESSION: TYPE B - FACADE**

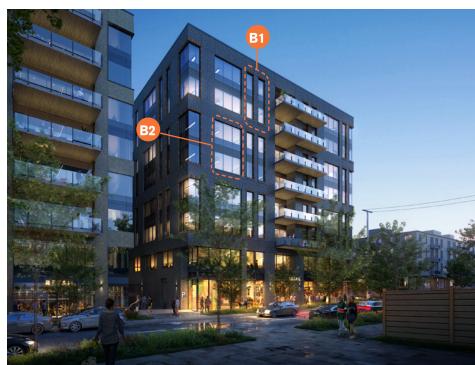
Design expression type B faces a more residential part of the neighborhood that has calmer characteristics. It was critical to provide multiple changes in scale and variety within the expression to provide depth, texture, and relief to add visual interest. This was accomplished by providing three distinctive types of punched openings accompanied by different brick coursings.

- 1 Brick Horizontal coursing
- 2 Brick Vertical coursing/Soldier Coursing
- 3 Brick Projected with accent color
- 4 Vision Glass
- 5 Spandrel Glass
- 6 Metal Panel

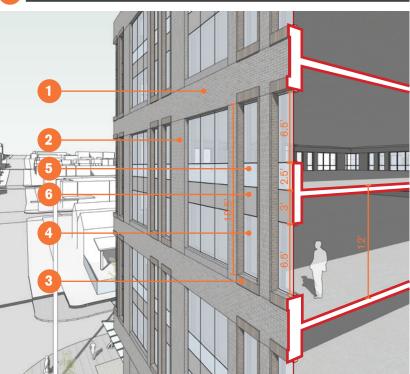
#### **VIEW FROM ROY ST & TAYLOR AVE FACING SOUTHEAST**



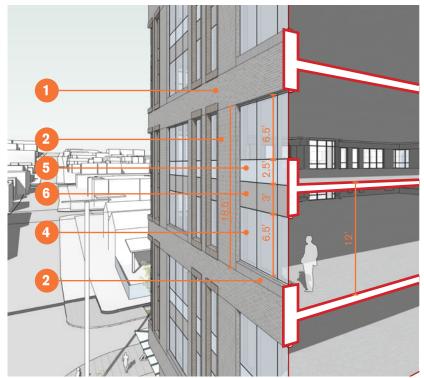
#### **VIEW FROM ROY ST FACING SOUTH**



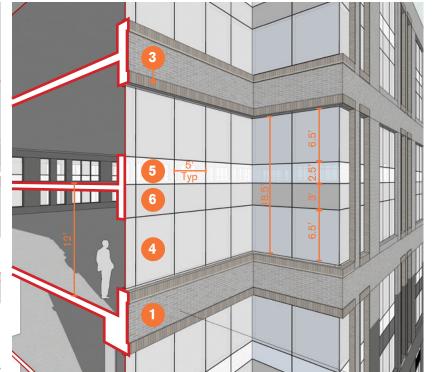


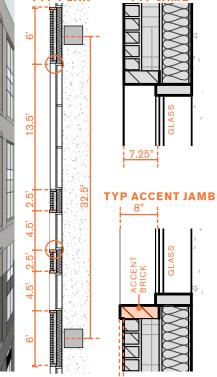


LEVELS 3-8: WINDOW TYPE B2



LEVELS 3-8: WINDOW TYPE B3





**PLAN DETAILS** 

# Rec - Facade Articulation and Materiality

# Response

#### **DESIGN EXPRESSION: TYPE B - BALCONIES**

As a means to provide additional intermediate scale to the design, modulation and depth changes have also been accomplished by providing balconies on the office floors for the North, South, and West elevations. These balconies break up the massing and accentuate the transitions between the two primary expressions. They also help the project relate to other balconies commonly seen in the surrounding residential neighborhood and place an emphasis on human powered living and connection to the outdoors, which is an essential goal of a Living Building Pilot Project.

- Cantilevered Concrete Balcony
- Plate Metal Fascia
- Glass Railing System w/Vertical Stanchions
- 4 Metal Panel/Spandrel Glass
- 5 Vision Glass

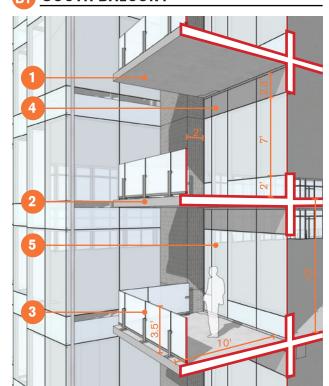
# **VIEW FROM MERCER ST & TAYLOR AVE FACING NORTHEAST**



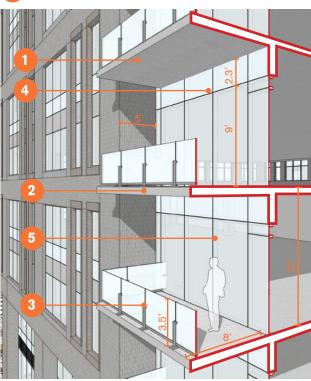
#### **VIEW FROM ROY ST & TAYLOR AVE FACING SOUTHEAST**



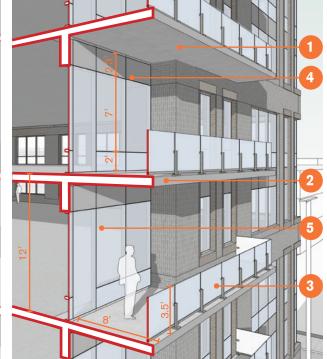
**SOUTH BALCONY** 



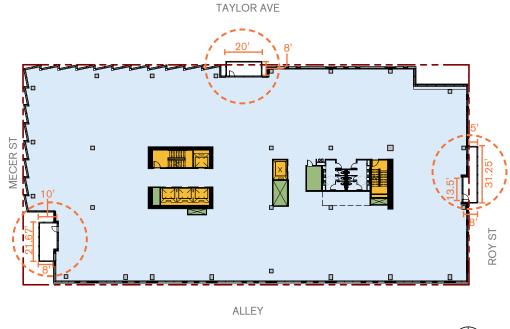
**WEST BALCONY** 



**NORTH BALCONY** 



**TYPICAL FLOOR PLAN - BALCONY LOCATIONS** 



# Rec - Facade Articulation and Materiality

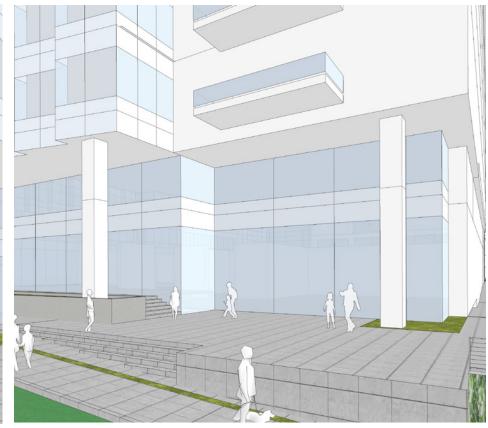
#### **Guidance**

The Board supported the large expanses of glass along the ground level facades that allow high levels of transparency into retail and lobby spaces. The Board was concerned, however, with the overall flatness of the street-level façades and the lack of secondary architectural features at the ground floor along the north end of the Taylor Ave frontage and along Roy St. The Board gave guidance to study setting back the retail store frontage from the face of the building to provide more relief, and recommended incorporating ample overhead weather protection and other elements to enliven the pedestrian experience. Moving forward, the Board recommended providing perspectives at ground level on all sides, showing how the streetscape and façade design relates to pedestrian realm. (PL1-B-2, PL1-3-c, DC2-B-1, DC2-C-1, DC2-5-h)

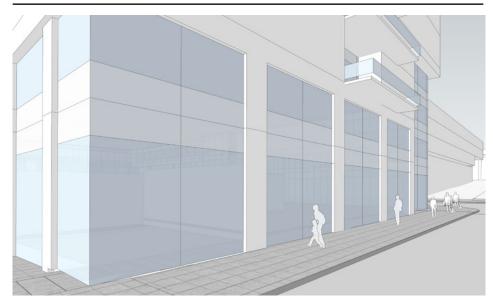
#### **EDG - VIEW FROM MERCER & TAYLOR - SW CORNER**



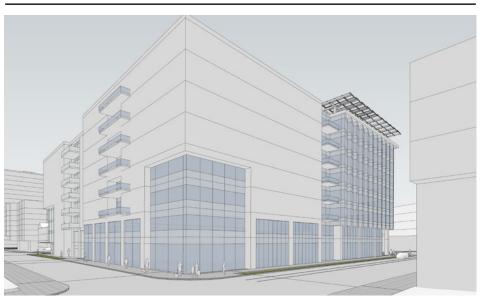
#### **EDG - VIEW FROM MERCER - SE CORNER & MAIN ENTRY**



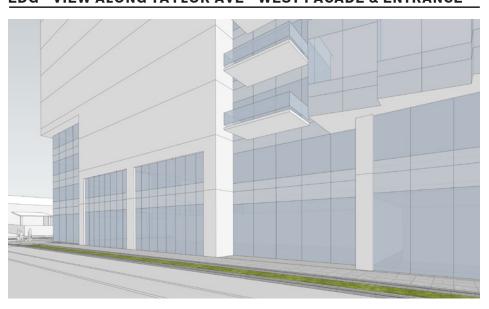
**EDG - VIEW FROM ROY - NE CORNER** 



**EDG - VIEW FROM ROY & TAYLOR - NW CORNER** 



EDG - VIEW ALONG TAYLOR AVE - WEST FACADE & ENTRANCE



# Rec - Facade Articulation and Materiality

# Response

#### **TAYLOR AVENUE STREETSCAPE**

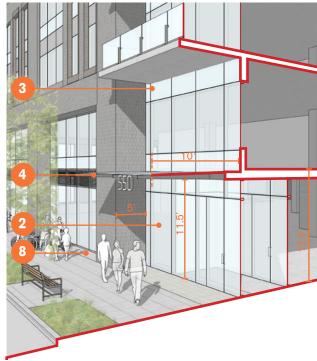
The design team has addressed the flatness of the street level facades along Taylor by increasing the depth of glazed areas and allowing the metal clad column covers and brick pilasters to **stand proud**. Secondary features have been added that include voluntary glass canopies that provide weather protection at the Office and Retail entrances. Visual interest has also been added by utilizing unique brick coursing orientations that are present at ground level. All of the above solutions create an ample amount of variety, depth, and pedestrian scale to the street level facade.

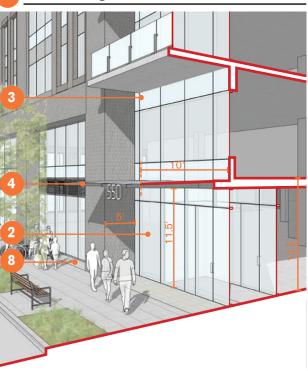
- Metal Clad Column Cover
- 5 Vertical Brick Coursing
- Vision Glass
- Horizontal Brick Coursing
- 3 Spandrel Glass
- Wood Soffit w/Lighting

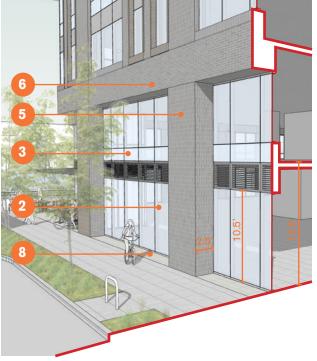
' x 1' Sidewalk Scoring

4 Metal & Glass Canopy

**SECTION @ SOUTH RETAIL** 













# Rec - Facade Articulation and Materiality

# **Revisions**

#### **ROY STREET STREETSCAPE**

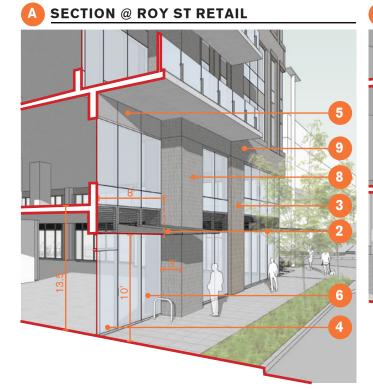
Along Taylor Ave and Roy St, a ground-level setback has been introduced to provide **modulation** at street level and a place for sidewalk seating that relates strongly to the Citizen Cafe. Midway along Roy St, the glazing has been setback to create an additional retail entry and provide architectural relief. This creates additional depth and breaks up the street level facade. Furthermore, secondary architectural features, such as overhead weather protection and a unique brick coursing utilizing a gradient **technique**, have been added to enhance the sidewalk experience.

- Cafe Seating
- Metal & Glass Canopy
- Accent Brick Gradient
- Retail entry
- Metal Panel

- Vision Glass
- Spandrel Glass
- Vertical Brick
- Horizontal Brick

#### **VIEW OF ROY ST & TAYLOR AVE FACING EAST**

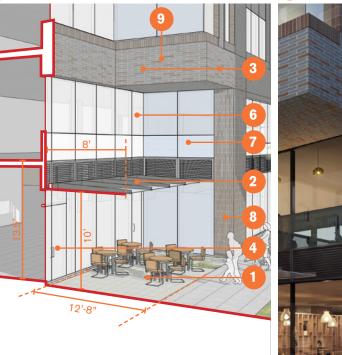






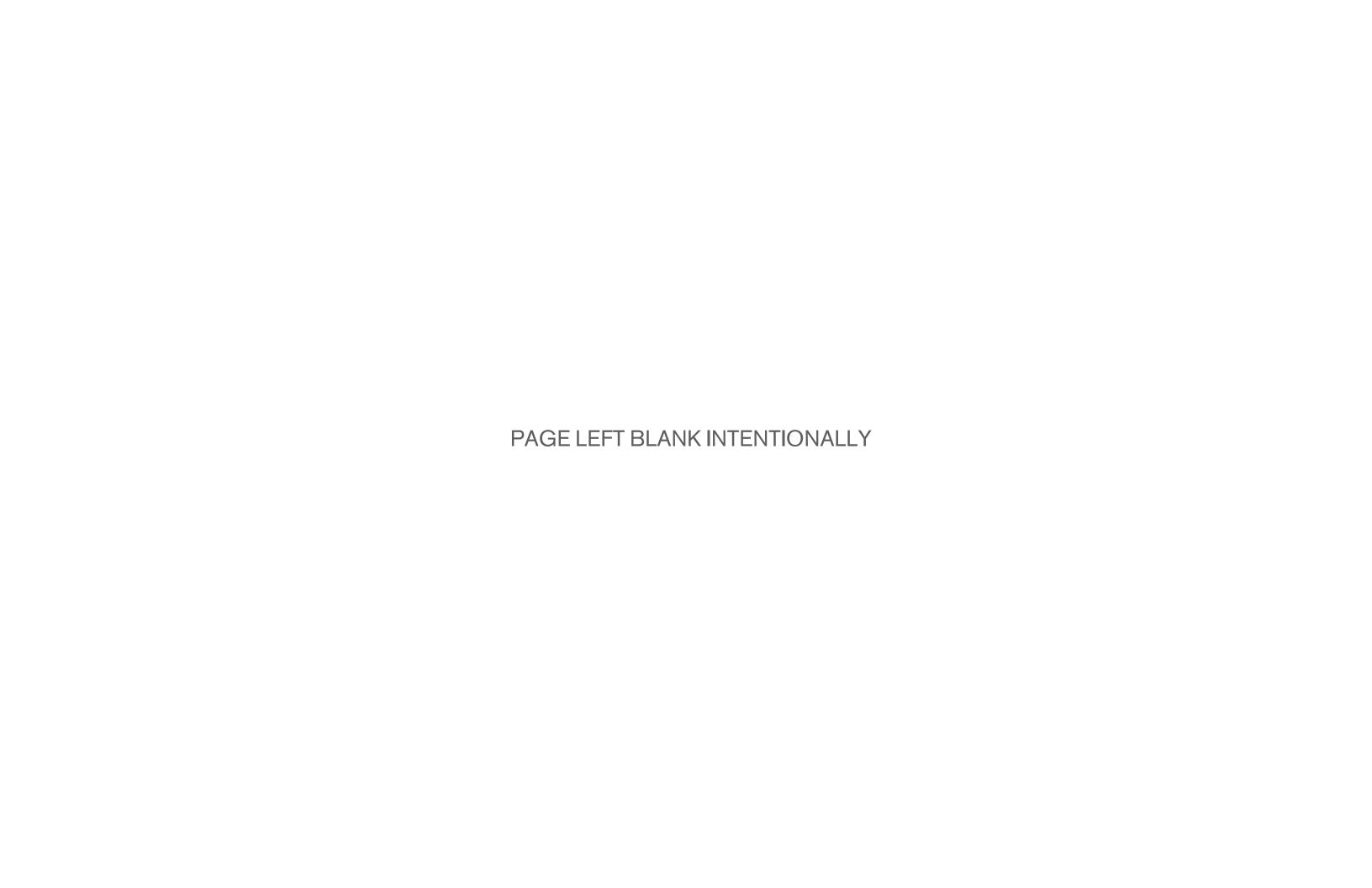


BRICK GRADIENT VIEW OF ROY ST FRONTAGE FACING SOUTHWEST







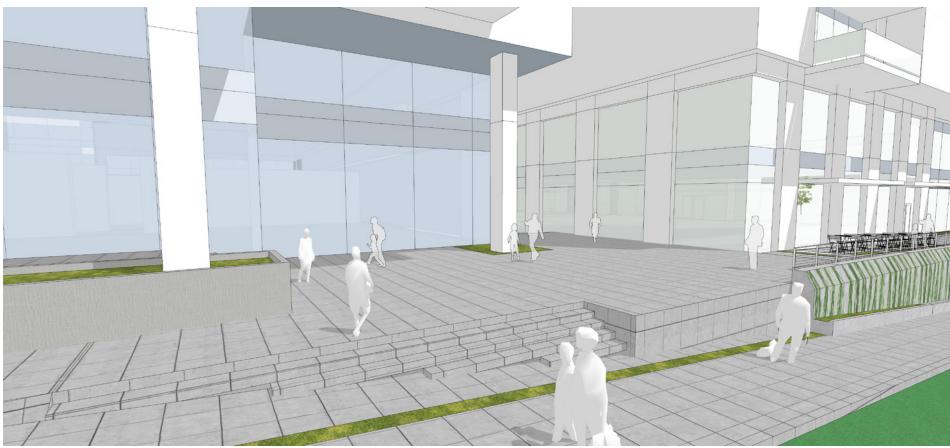


# EDG - Ground Level - Mercer Retaining Wall

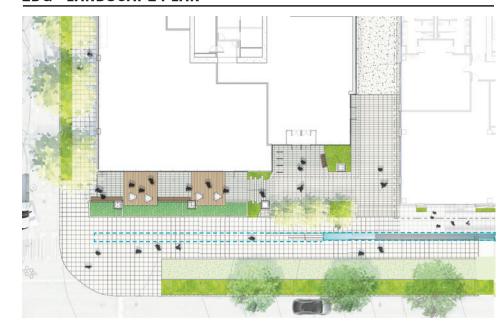
#### **Guidance**

The Board appreciated the implied extensive breakdown and deconstruction of the Mercer St retaining wall and noted how that will allow for increased porosity into the site and will support the successful mix of retail and office/lobby experience at the ground-level along the proposed plaza and open space. The Board recommended that this aspect of the design be retained moving forward and that the open space design should consider circulation and continue to incorporate passive and active uses to promote activity and interaction. (CS1-C, CS1-II, CS1-III, CS2-B, CS2-C, CS2-II, CS2-III, PL1, PL1-I, PL1-IV, PL2, PL4-A)

#### **VIEW ALONG MERCER STREET RETAINING WALL FACING NORTHEAST**



#### **EDG - LANDSCAPE PLAN**



#### **EXISTING PHOTO AT MERCER FACING NORTHEAST**



RENDERED VIEW FACING MERCER RETAINING WALL

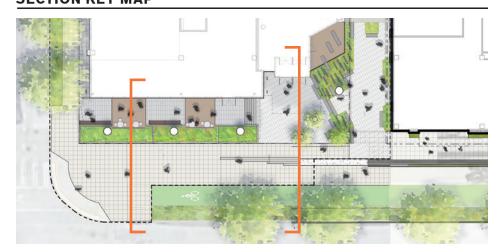


# Rec - Ground Level - Mercer Retaining Wall

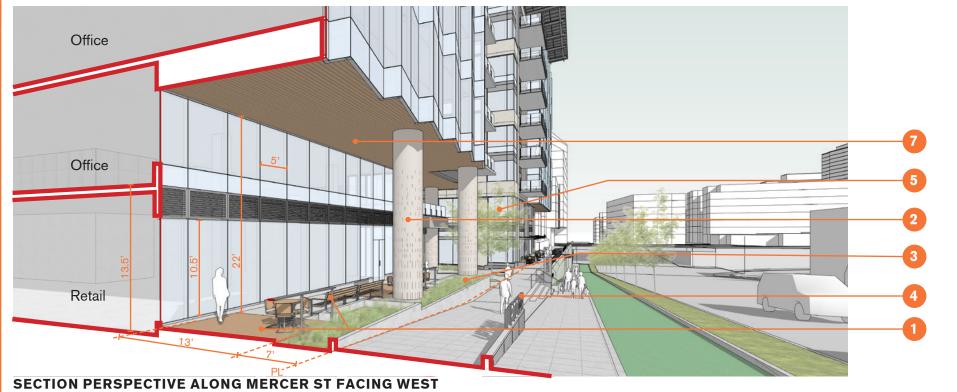
#### Response

- The erosion and deconstruction of the existing Mercer Street wall has been developed to change the experience of pedestrians and building users across the entire frontage.
- Along the **Southwestern corner**, the first two levels have been setback to create an arcade with pockets of outdoor seating along this retail edge. This level is slightly raised from the sidewalk and is separated by a mix of bioretention & regular planters that have been located below a series of column covers with an artistic backlit & laser etched pattern.
- Along the **Southeastern corner**, is the publicly accessible plaza space that pulls pedestrians and building users from all directions. A small set of stairs transitions the grade change and cleanly terminates the existing retaining wall while also opening up the sidewalk to pedestrian access.
  - Wood & decorative paving with tables & bench seating
  - Backlit laser etched column covers
  - Bioretention & regular planters
  - Uptown Monument Sign
  - At-grade trees in the plaza
  - Main entry & balcony overlook
  - Wood soffit with down lighting

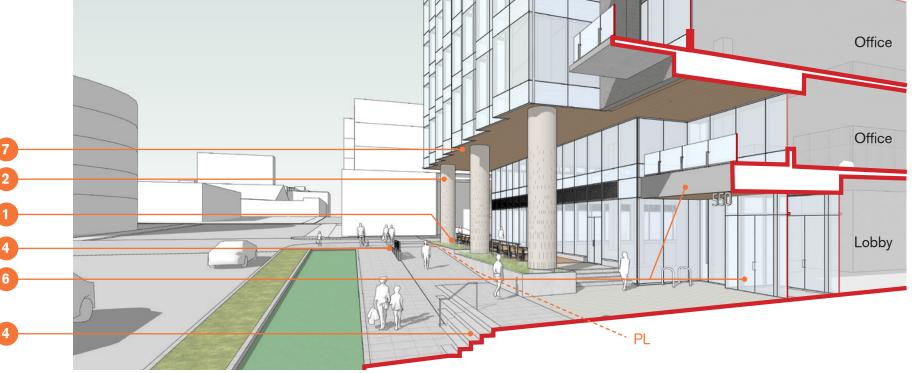
#### **SECTION KEY MAP**



#### SECTION PERSPECTIVE ALONG MERCER ST FACING EAST





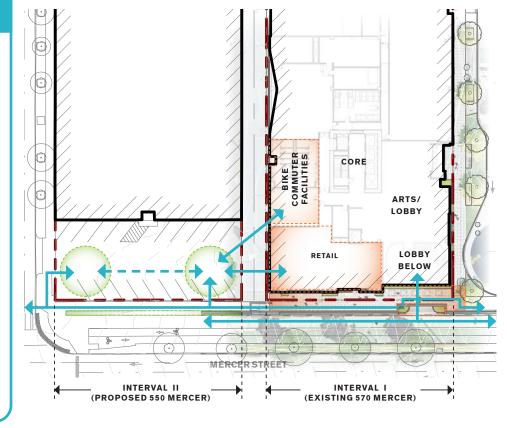


# EDG - Ground Level - Plaza

#### **Guidance**

- The Board discussed the importance of **connecting** the proposed **open space along Mercer St with the plaza** approved as part of the 570 Mercer St development across the alley to the east. In agreement with comments provided by Seattle Department of Transportation (SDOT), the Board recommended that the applicant **continue to develop the open space design**, in consultation with SDOT, to **include changes in paving** and some form of **physical barrier**, **architectural or substantial landscaping at the end of the alley to prohibit vehicles from traversing the entire length of the alley. (CS2-1, CS2-3-a, PL1-A, PL2-B-3, DC1-B-1, DC1-C)**
- In conjunction with item 2.b. above, the Board recommended the applicant study including a small boutique sized retail space that could potentially enhance and increase activation of the northeast corner of the open space and lobby entry along Mercer St. (PL3-A, PL3-C, PL3-4-a)

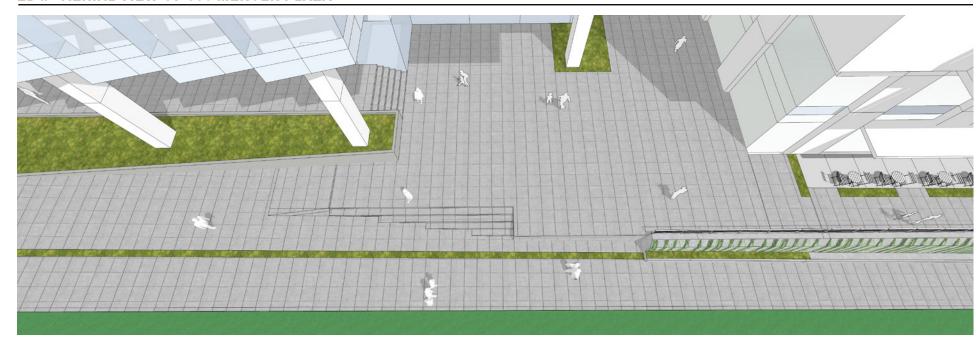
#### **EDG - MERCER CONNECTIVITY DIAGRAM**



#### **EDG - LANDSCAPE PLAN**



#### **EDG - AERIAL VIEW OF 550 MERCER PLAZA**



# Rec - Ground Level - Plaza

# Response

- The design of the Plaza along Mercer street has been designed with connectivity being the most influential design component. The setback of the arcade and the plaza effectively create multiple pathways to interact with surroundings. The removal of the Mercer retaining wall increases the porosity towards the street and creates new access points. This plaza also serves as a focal point for **new connections** between 550 and 570 Mercer.
- Notable Plaza design features include:
- 1 Optional Retail Demising 5 Rock Garden
- 2 Alley Entrance (570)
- 6 Outdoor Perch
- 3 Glass Vestibule
- 7 Level 2 Balcony
- 4 Pavers/Unique Paving
- 8 Seat Wall Barricade
- In an effort to maintain programming flexibility, the Level 1 design for both projects have provided contiguous retail spaces that flank the East and West sides of the Plaza. These areas have been designed to be flexible in size and entrance location to accommodate smaller retail tenants in the future.

#### **VIEW FROM MERCER ST FACING PLAZA & MAIN ENTRY**



# **LEVEL 1 ENLARGED COMPOSITE FLOOR PLAN**

- Circulation Path

Entrance



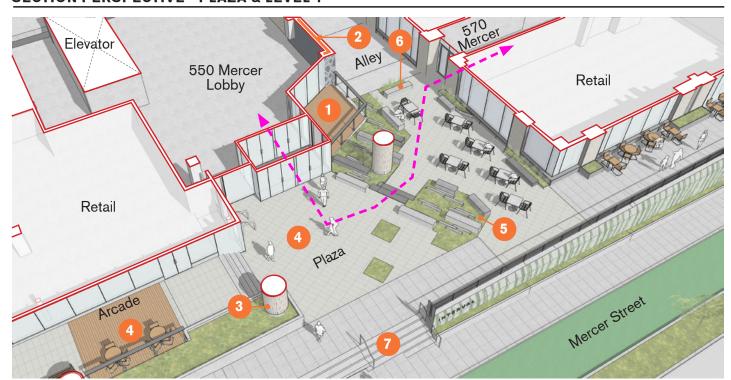
#### **AERIAL VIEW OF 550 MERCER PLAZA**



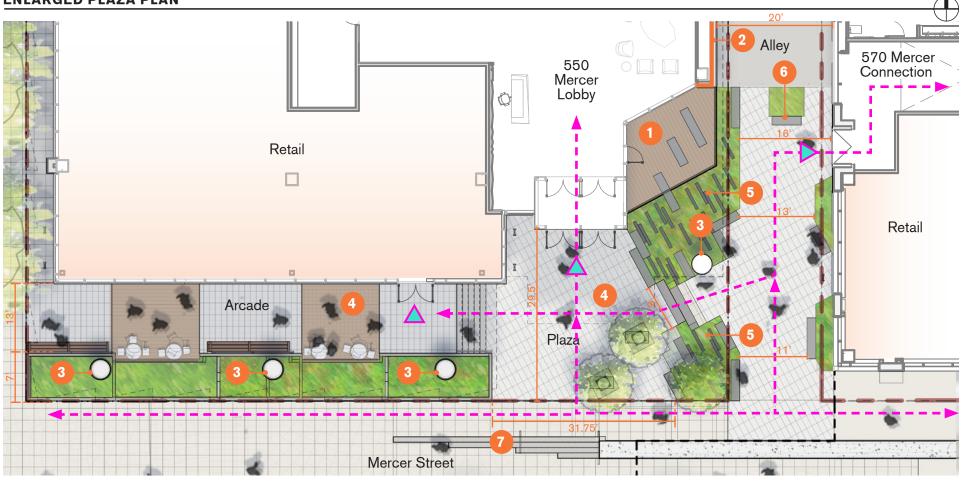
- 1 Outdoor Deck
- 6 Seatwall Barricade
- 2 Wall Art Mural
- 7 Stair Access
- 3 Decorative Columns
- 8 Catenary Lighting
- 4 Pavers/Wood Decking
- 5 Rock Garden

# 9 Level 2 Overlook

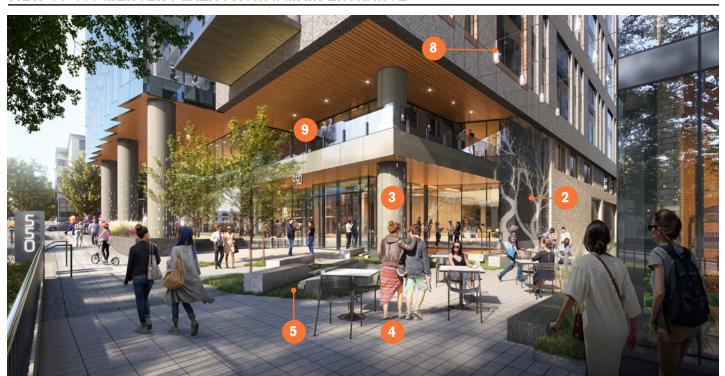
#### **SECTION PERSPECTIVE - PLAZA & LEVEL 1**



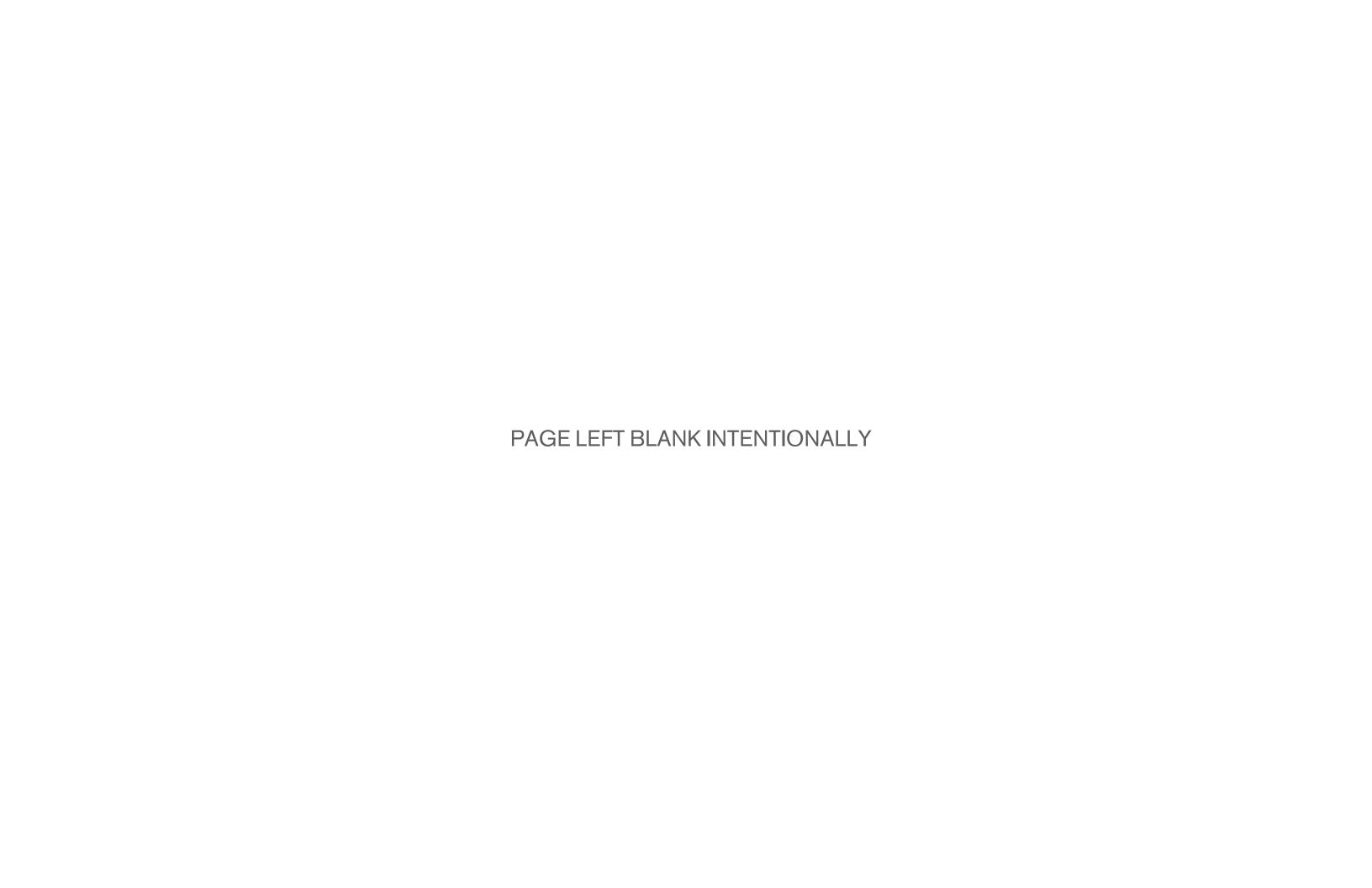
#### **ENLARGED PLAZA PLAN**



#### **VIEW OF 550 MERCER PLAZA FACING MAIN ENTRANCE**



JANUARY 12, 2023



# EDG - Ground Level - Roy Street & Taylor Ave

#### **Guidance**

- The Board noted that the scale of the Roy St retail space is large when compared to the existing smaller scale retail across the street and typically found in the area. Moving forward, the Board recommended that the applicant study the further breakdown of retail to allow flexibility for future uses and provide a variety of sized retail spaces, in response to the larger scale of the retail closer to Dexter Ave in the adjacent 570 Mercer St development. (PL2-C-1, PL3-4-a)
- Although the Board supported the inclusion of the Bike
   Commuter Facility and its ease of access from Taylor Ave, the
   Board recommended that the applicant study reorganizing
   or relocating portions of this program space to allow for
   additional small scale retail opportunity on Taylor Ave, which
   would provide more activity along the street frontage. (PL3-4-a,
   PL4-B-2, PL4-3-a)

#### **EDG - RENDERED VIEW FROM ROY & TAYLOR FACING SOUTHEAST**



**EDG - LEVEL 1 FLOOR PLAN** 



**EDG - VIEW OF ROY STREET FRONTAGE** 



**EDG - VIEW OF TAYLOR AVE FRONTAGE** 



# Rec - Ground Level - Roy Street

# Response

- In order to promote a more diverse mix of retail tenants and retail sizes, the North retail space has incorporated two entrance locations. One located in a recess off of Roy and the other located within a setback along Taylor, which offers reflief and modulaiton. The entrances are located along the single contiguous retail volume to provide the opportunity for a logical break in the programming, which allows for future smaller retail storefronts. Another entrance to a communicating stair is located at the northeast corner adjacent to the alley, which will provide a bike runnel and increase ease of access for bicycle commuters to reach the bike parking immediately below.
- In addition to promoting future flexibility, the design team has also incorporated a large setback at the northwest corner of the site. This setback provides a place for retail spill out to occur and is paired with sidewalk cafe seating and retail entry to promote street level activation.

Entrance

3 Art Mural

4 Canopies Above

1 Planting/Bench Seating

5 Bike Parking

6 Emergency Exit

2 1'x1' Scoring Pattern

# **ENLARGED LEVEL 1 PLAN - ROY STREET ROY ST** 34'-0" TAYLOR AVE Retail 1 Retail 2 (1,560 SF) (2,000 SF) 48'-0" 55'-4"

#### **VIEW FROM ROY ST FACING RETAIL SPACE**



**VIEW FROM TAYLOR AVE & ROY ST FACING RETAIL SPACE** 



**VIEW FROM ROY ST FACING RETAIL SPACE** 



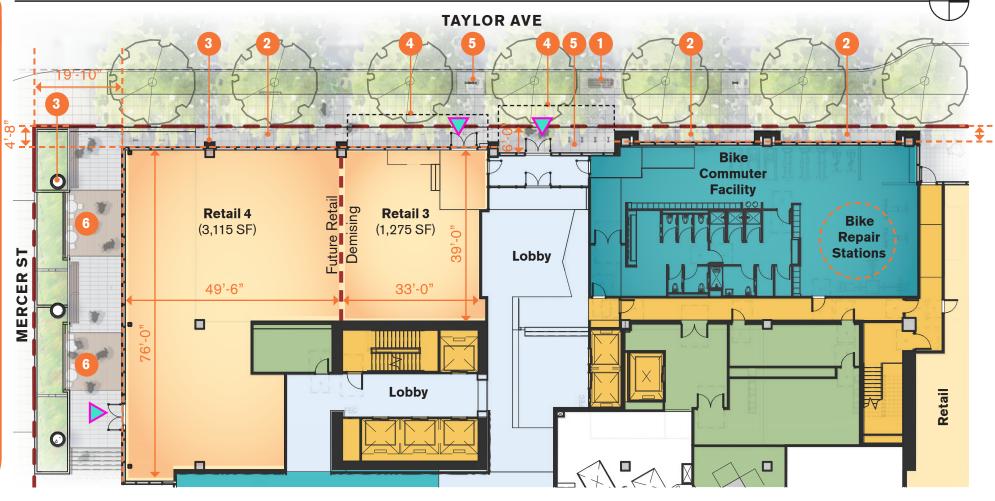
# Response

- To better promote multi-modal transportation and reduce the carbon footprint for site access, the design team maintained the size and position of the bike commuter facilities to create a more inclusive bike transportation experience. Its presence along Taylor avenue showcases this programming as a facet of human powered living, which is an integral principle of the Living Building Challenge. This portion of the facade has been enhanced by setting back the glazing at ground level at various locations to add depth and a finer pedestrian scale to the streetscape.
- To address the board's guidance to add additional small scale retail, two entrances have been added to the retail space that flanks Taylor & Mercer. This allows for flexibility to logically split the larger retail volume into two separate ones in the future, while also maintaining the ability for a larger volume that can accommodate a restaurant or bar.
  - Entrance
- 4 Canopies Above
- 1 Bench Seating
- 5 Bike Parking

6 Outdoor Seating

- 2 Decorative Paving
- 3 Decorative Columns

# we wate at blit



#### **VIEW FROM TAYLOR AVE & ROY ST FACING RETAIL**



#### **VIEW FROM TAYLOR AVE FACING OFFICE ENTRY**

**ENLARGED LEVEL 1 PLAN - TAYLOR AVE** 

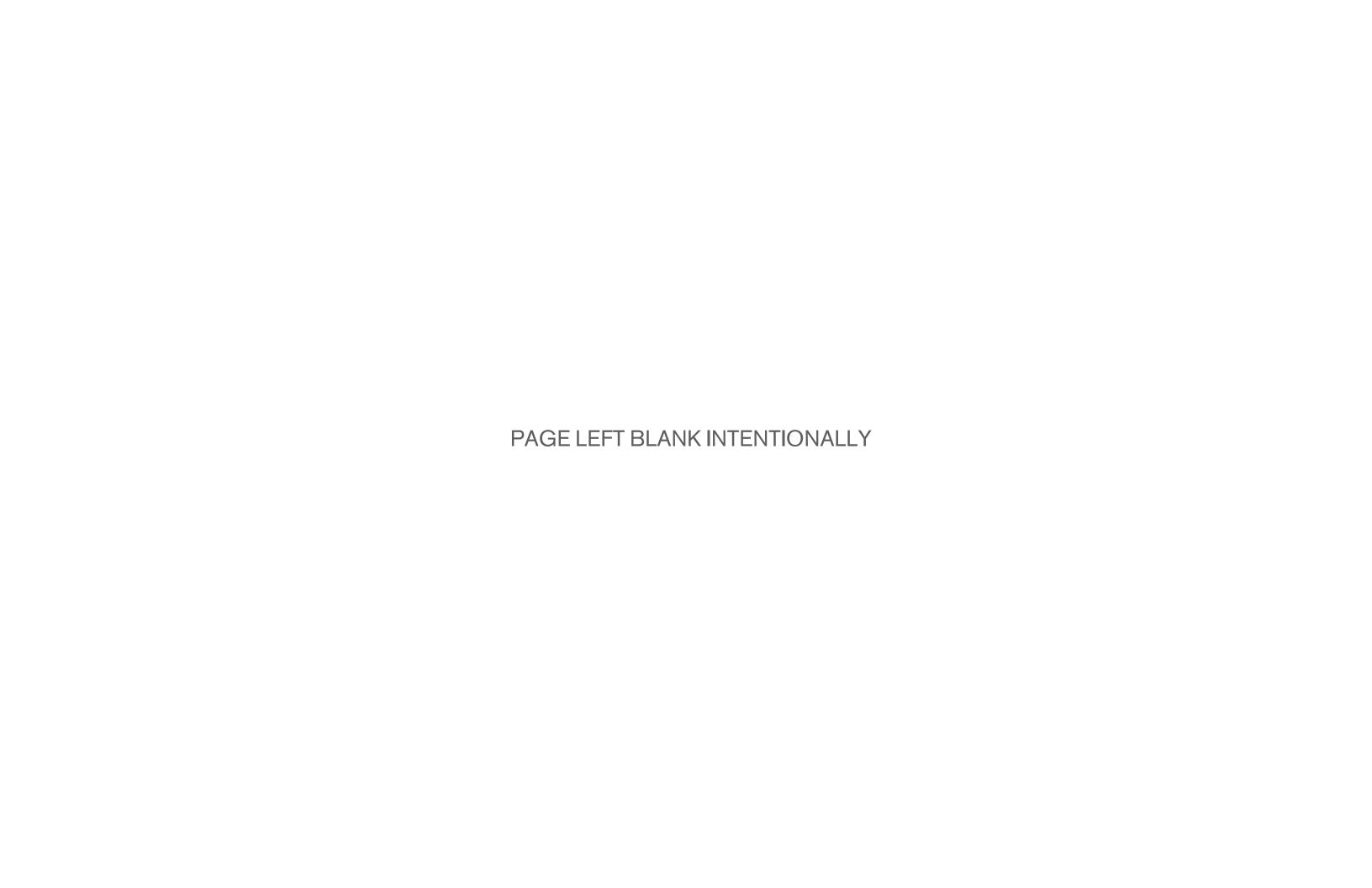


#### **VIEW FROM TAYLOR AVE & MERCER ST FACING RETAIL**



JANUARY 12, 2023

MERCER



# EDG - Facade Articulation and Materiality - Art

#### **Guidance**

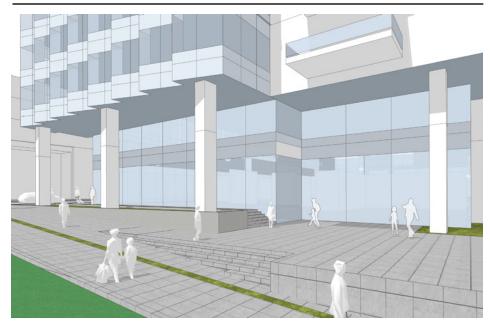
The Board appreciated the applicant's goal of incorporating community inspired art into the design of the building facades and other components. The Board recommended continued study of adding murals that can be seen and experienced from between the site and adjacent buildings, and bring in visual arts as an integrated component of the façade design. (DC2-1-a, DC2-2, CS3-1)

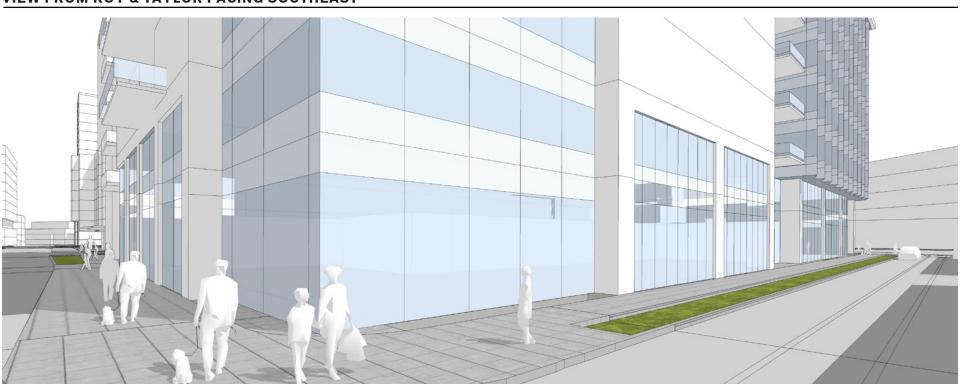
#### **VIEW FROM TAYLOR & MERCER FACING NORTHEAST**



**VIEW FROM ROY & TAYLOR FACING SOUTHEAST** 

#### **VIEW FROM MERCER STREET FACING NORTH**





# Rec - Facade Articulation & Materiality - Art

# Response

The proposed design will provide for a range of artistic expressions and installations in several key areas around the site. The locations were prioritized to be in the most highly trafficked areas at ground level to ensure they are highly visible. The design team worked closely with the **LURC** to incorporate their suggestions into the types and locations provided below.

- Artistic feature wall A porous and well lit feature wall designed by a future commissioned artist.
- Artistic Column Covers Laser etched column covers with integral lighting that includes artistic patterns are applied at the arcade along Mercer street.
- Uptown Monument Sign A face-lit monument sign with step lighting that announces the gateway to Uptown, located at the Southwest corner.
- 4 Wall Treatment A multi-color brick gradient coursing frames the entry at the NW retail entrance, promoting a pedestrian scale and street level activation.

#### **VIEW FROM TAYLOR & MERCER FACING NORTHEAST**



**VIEW FROM ROY & TAYLOR FACING SOUTHEAST** 



**VIEW FROM PLAZA** 



**ARTISTIC FEATURE WALL** 



**ARTISTIC COLUMN COVERS** 



**UPTOWN MONUMENT SIGN** 



**WALL TREATMENT** 



#### **ART KEY MAP**

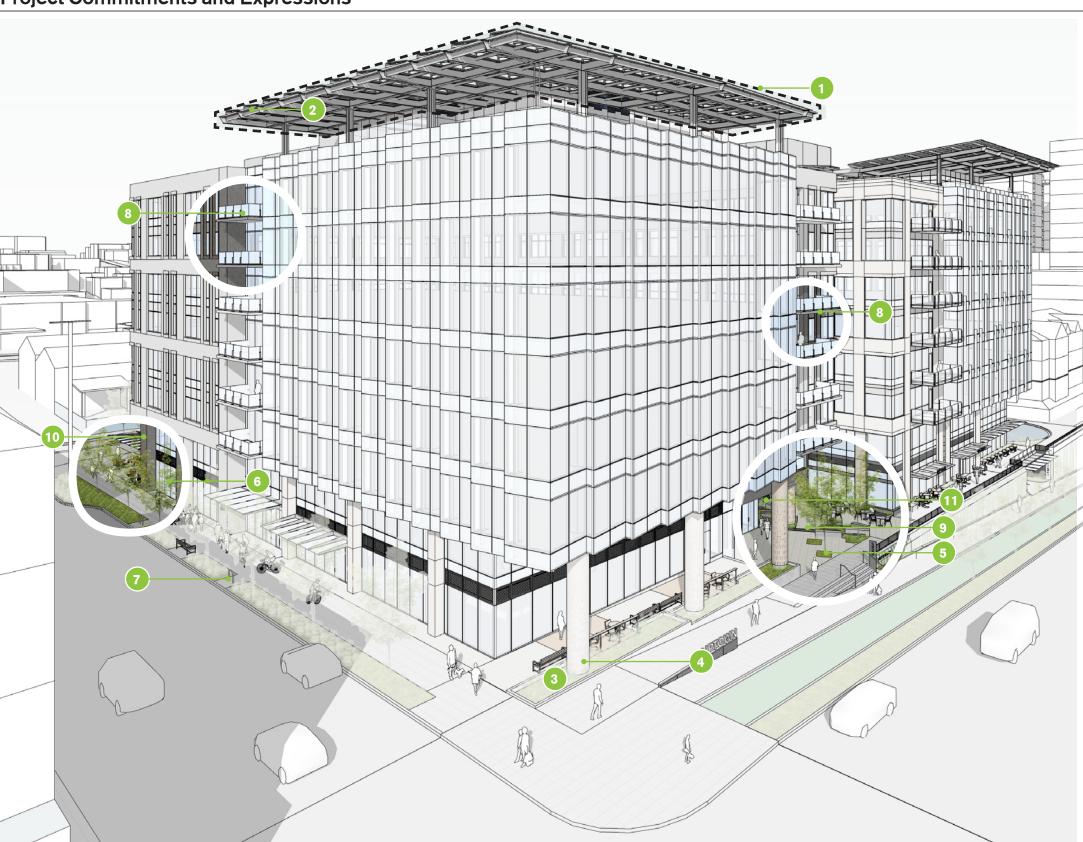




# Living Building Pilot Program

Design Approach

# **Project Commitments and Expressions**



# Sustainability and Design

550 Mercer is committed to the living building pilot program. Not only will the project meet the listed requirements, but will also provide physical elements that educate building users and viewers, while also demonstrating the project's heroic goals. Solar harvesting, rainwater capture, life cycle education, human powered living, and artistic representation are all critical aspects of the design's approach to the architectural expression of the living building challenge.

# **Design Approaches**

#### Solar/Rain Collection

- 1 Solar Array Roof Form
- 2 Rainwater Collection

#### **Life Cycle Education**

- 3 Bioretention Planter
- 4 LBPP Centric

#### **Human Powered Living**

- 5 Connecting Plaza
- 6 Bike Commuter Facility
- 7 Sidewalk Bike Parking
- 8 Balconies

#### **Artistic Representation**

- 9 Decorative Paving
- 10 Artistic Brick Color Gradient
- 11 Feature Art Wall

# Project Requirements and Responses

	Imperatives	Petal Requirements & Project Approach
LBC CORE IMPERATIVES The City of Seattle Living Building Pilot Program requires that the project achieve LBC Petal Certification and take additional measures to increase energy and water performance. LBC Petal Certification requires meeting the criteria of ten core imperatives, and then meeting additional criteria for either the Water, Energy or Materials Petal.	I01. Ecology of Place (C1)	The project site is not on or adjacent to the indicated sensitive ecological habitats. On-site landscaping will be design to mature and evolve with the site, and no petrochemical fertilizers or pesticides will be used for the operation & maintenance of planting. Social & equity factors will be evaluated via community engagement to inform the design process.
	I04. Human Scaled Living (C2)	The project increases the density of the site. Outdoor space for occupants and the community to gather have been proposed. Short term and long term bicycle storage facilities will be provided, as well as EV vehicle parking stalls. Studies are being conducted to reduce single-occupancy vehicle trips to the site. Design of main stair encourages walking and reduced elevator usage.
	I05. Responsible Water Use (C3)	The project will not use potable water for irrigation, will use at least 50% less water than a regional baseline, and will treat all stormwater on site. Rain water will be collected and stored in a cistern for future use. The cistern will be sized appropriately to meet the water demands of the project. Plumbing fixtures will be low-flow
	I07. Energy + Carbon Reduction (C4)	The project will achieve a 70% reduction in net annual energy consumption by detailing a tight building envelope, specifying efficient MEP systems, and reducing overall glazing percentage. A large PV array on the roof will further offset energy use. The project will also achieve a 20% reduction in embodied carbon by conducting life cycle assessments and comparative studies to make informed decisions regarding carbon. Interior materials specified will have lower than industry average carbon footprint.
	I09. Healthy Interior Environment (C5)	The project will specify interior materials with low VOC content and toxicity. Design standards intended to promote good indoor air quality and a healthy interior environment will be implemented for the MEP systems. Building design is being studied to maximize views and daylight for regularly occupied spaces and adjacent buildings.
	I12. Responsible Materials (C6)	NOT REQUIRED IF PURSUING MATERIALS PETAL
	I17. Universal Access (C7)	The project will provide equitable access to public spaces, and will enhance the public realm through street furniture, public art, planting, and benches. The project will evaluate impacts on access to fresh air and sunlight for adjacent developments.
	I18. Inclusion (C8)	The project will donate 0.1% of project costs to a regional non-profit organization to support stable, safe, high paying job opportunities for people in the local community, and two organizations on the project team will achieve JUST labels in order to advocate for transparency in business hiring, purchasing, and workforce development practices.
	I19. Beauty + Biophilia (C9)	The project will conduct an 8-hr biophilia workshop with the full design team to explore the benefits of biophilia and incorporate meaningful biophilic design elements into the project. A Biophilic Framework will be crafted to outline strategies and track implementation.
	I20. Education + Inspiration (C10)	The project will provide educational materials about the operation and performance of the project to the occupants and the public. An annual open day for the public will be provided, and an educational website for the project developed and shared. Interpretive signage will be provided to describe sustainable design elements.
MATERIALS PETAL The intent of the materials petal is to help create a materials economy that is non-toxic, ecologically restorative, and transparent.	I13. Red List	The project will foster a transparent materials economy free of toxins & harmful chemicals. 90% of the project's building materials by cost will be specified without Red List chemicals. Red List materials will be avoided for recycled and salvaged products. The project will use various certifications to aid in the specification of materials: LPC certification, Declare Labels, HPDs, etc.
	I14. Responsible Sourcing	The project will support sustainable extraction of materials and transparent labeling of products. Stone, minerals, and timber will be sourced from certified sources, and specify at least 40 products with a Declare Label, as well as a 3 Living Product Challenge products. Advocacy letters will be sent to manufacturers that currently do not participate in these programs.
	I15. Living Economy Sourcing	The project will help foster local communities and businesses, while minimizing transportation impacts. 20% of building materials will come from within 300 miles of the project site, 30% will come from within 600 miles of the site, and 25% will come from within 3000 miles.
	I16. Net Positive Waste	The project will integrate waste reduction into all phases of the project and will feature at least one salvaged materail per 500 square meters (5382 SF) of gross building area. Materials and fixtures from the existing building will be evaluated for reuse. Waste will be diverted from the landfill and infrastructure for recycling and compost will be provided.

Solar/Rain Collection + Life Cycle Education

#### **Design Approach**

- From the inception of the project, a visible commitment to solar collection was a goal of the design team. Not only does a large Solar array help offset the building's impact on the environment and infrastructure, but it serves as a physical commitment that the project is pushing the boundaries of urban architecture. The roof form is similar to 570 Mercer and functions as another gateway element (an approach supported by the Board during EDG). The solar array has been sculpted to relate to the facade below, contouring a sawtooth expression. This design also aids in the ability for the solar array surface to capture rainwater, and divert it into the cistern below.
- Some of the rainwater captured on site is diverted to a bioretention planter, at the southwest corner of the building. This move, while functional, also serves as an education element regarding the cycle of water.
- The circular column wraps at the south face are encapsulated by a laser cut metal panel with integral lighting. This design will abstractly portray part of the active and passive strategies that are in alignment with the Living Building Program.
  - 1 Solar Array Roof Form
- 3 Bioretention Planter
- 2 Rainwater Collection
- 4 LBPP Centric

#### **SOLAR AND RAINWATER COLLECTION**



#### LASER CUT LIFE-CYCLE WRAP



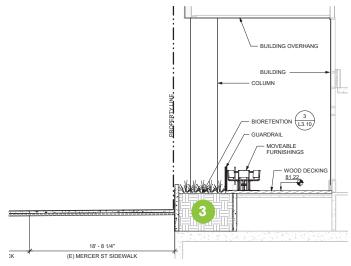
#### **SOLAR AND RAINWATER COLLECTION DIAGRAMS**





#### **BIORETENTION PLANTER WITH NATIVE VEGETATION**





# **Design Approach**

- One of the defining features of the design, the large outdoor space adjacent to mercer allows the project to give back to the site. By reducing the footprint, and opening up an area for relaxation and socializing, the building offers program that not many office spaces in Seattle can. The partial demolition of the Mercer St retaining wall opens up this plaza to the public sidewalk, increasing porosity while providing equitable access into the space. It also functions as another gateway element that connect 550 and 570 together with a unifying element.
- Human powered living is an integral aspect of the living building challenge, and a way of thinking that blends well with Seattle residents. A commuter facility with direct visibility from the public sidewalk encourages multi-modal transportation, while a dedicated bike parking access stairway with runnel highlight the project's commitment towards bike users.
- Balconies, not only an architectural feature to facilitate modulation, allow building users a respite from daily indoor use by fostering a connection to nature.
  - 5 Connecting Plaza
- 7 Dedicated Bike Access
- Visible Commuter Facility 8 Balconies

#### **CONNECTING PLAZA**



#### **COMMUTER FACILITY WITH DIRECT VIEW**



#### **BIKE PARKING DEDICATED ACCESS**



#### **USER-ACCESSED BALCONIES**





**Artistic Representation** 

# **Design Approach**

- Iterating off a design language already developed by the column wraps, a large feature wall anchors the connecting plaza, while announcing the transition of user enabled outdoor space, to functional service alley. The feature wall will be clad in a semiporous metal panel, with a design that coalesces with other elements on the building.
- During EDG, the design team received feedback from the Board to spend time focusing on the NW corner, and how the project addresses the neighborhood. While the architecture has been addressed in previous sections, the team also developed an artful gradient design at this corner to improve the pedestrian experience, while gesturing towards the artistic and calmer expressions in the neighborhoods to the north.
- Decorative paving is used to announce a user-focused aspect of the program, in the outdoor area. Not only does this serve as a notion this space maintains high importance, it reinforces the primary building entrance as an anchor in the massing
- 9 Decorative Paving

11 Feature Wall

Artistic Color Gradient

#### LASER CUT METAL FEATURE WALL



#### LBPP CENTRIC COLUMN DESIGN



#### PRECEDENT AND INSPIRATION











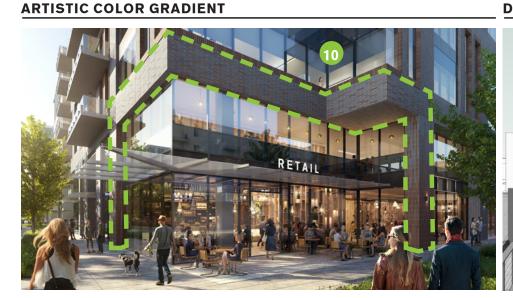










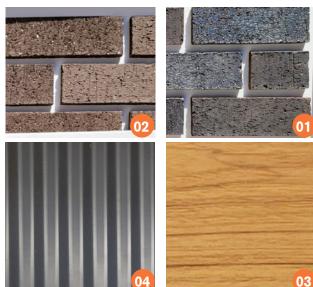


# **Exterior Materials**

#### **MATERIAL + COLOR PALETTE**

### **Digital Material Board**























11 10 13 15 08 07

**Live Material Board** 





# **Material Keynotes**

- Mutual Materials: Norman Brick: Coal Creek
- 02 Mutual Materials: Norman Brick: Mauna Loa
- 03 Terramai: Teak FJ Solid
- Metal Sales: Corrugated Metal Panel/Plate Metal Panel: Charcoal
- Guardian: SN 68: Ultra Clear Vision Glazing (Retail)
- Guardian: SNE 50/25: Ultra Clear Vision Glazing (Office)
- 07 Guardian: SNE 50/25: Dark Gray Spandrel Glazing (Brick Windows)

- Guardian: SNE 50/25: Medium Gray Spandrel Glazing (Sawtooth)
- 9 PPG: Metal Panel: Satin Nickel
- 10 PPG: Metal Panel: Sea Wolf
- Pure+Freeform: Metal Panel: TBD (Feature Wall)
- 2 LG: NeON 2: Bifacial PV Panels
- 13 NW Industries: Ceramic Frit: Glass Canopy
- 14 Mutual Materials: Carbon Cure CMU: Natural
- 15 Amerimix: Mortar: Dove Gray

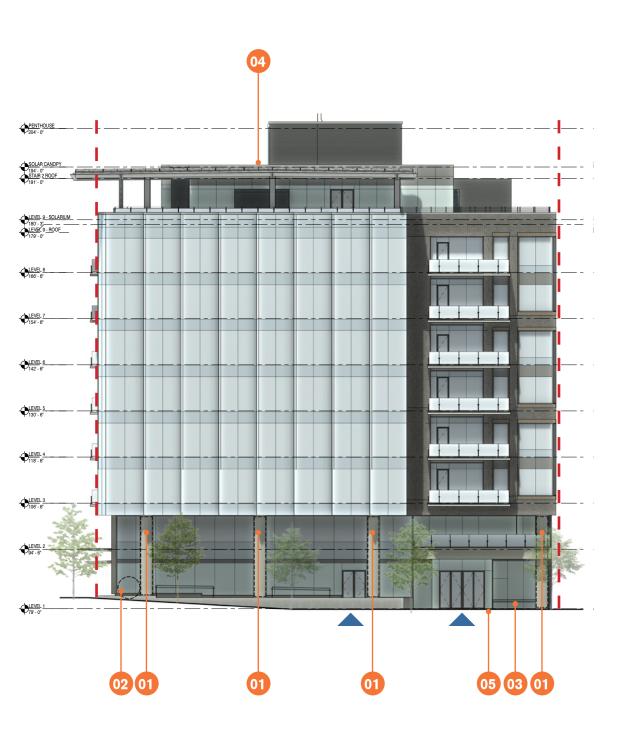
### **Material Notes**

The proposed design will incorporate a high quality, durable, and simple material palette that will accomplish the following criteria:

- Strengthen massing moves with contrasting materials
- Red list free materials that are locally sourced
- Use materials uniquely to provide depth, texture, warmth, and scale
- · Compliment the existing neighborhood charachter

#### **South Rendered Elevation**

1" = 25'



# **Keynotes**

- 1 Art: Laser cut wrap with integral lighting
- 2 Art: Neighborhood identification signage
- Pedestrian: Covered outdoor patio
- Gateway: Solar Array
- Gateway: Plaza

#### **Materials**

- Primary Brick Coal Creek
- Accent Brick Mauna Loa
- Vision Glazing
- Spandrel Glazing
- Profile Metal Panel: Penthouse
- Metal Panel: Satin Nickel
- Metal Panel: Seawolf
- CMU
- Louver Panel

### Legend

Property line



Entry



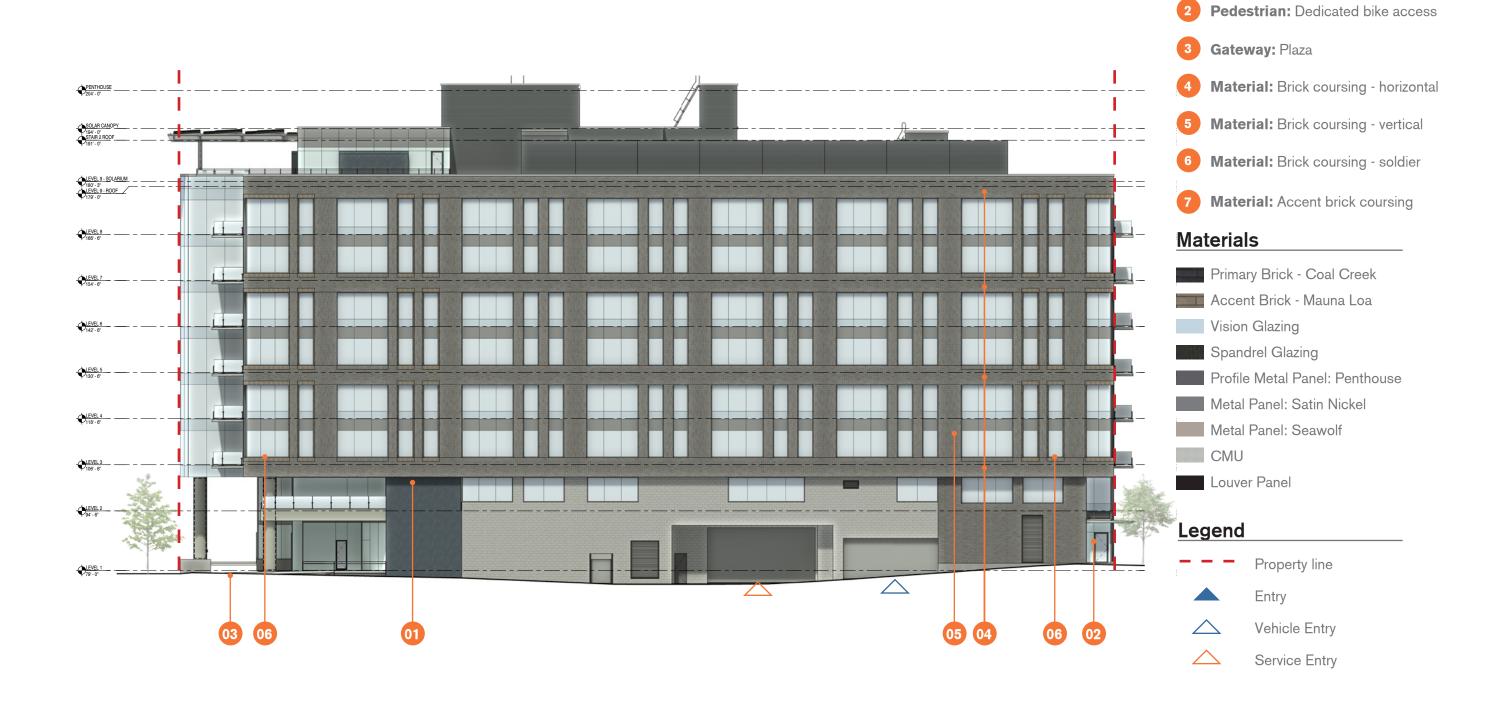
Vehicle Entry



# **ELEVATIONS**

#### **East Rendered Elevation**

1" = 25'



**Keynotes** 

1 Art: Laser cut metal with graphic

#### **North Rendered Elevation**

1" = 25'



# **Keynotes**

- Pedestrian: Activated setback
- Art: Special colored brick gradient
- Pedestrian: Overhead weather protection
- Material: Brick coursing horizontal
- Material: Brick coursing vertical
- Material: Brick coursing soldier
- Material: Accent brick coursing

## **Materials**

- Primary Brick Coal Creek
- Accent Brick Mauna Loa
- Vision Glazing
- Spandrel Glazing
- Profile Metal Panel: Penthouse
- Metal Panel: Satin Nickel
- Metal Panel: Seawolf CMU
- Louver Panel

### Legend

Property line



Entry



Vehicle Entry



- 1 Pedestrian: Activated setback
- 2 Art: Special colored brick gradient
- 3 Pedestrian: Overhead weather protection
- 4 Material: Brick coursing horizontal
- 5 Material: Brick coursing vertical
- 6 Material: Brick coursing soldier
- 7 Material: Accent brick coursing

# **Materials**

- Primary Brick Coal Creek
- Accent Brick Mauna Loa
- Vision Glazing
- Spandrel Glazing
- Profile Metal Panel: Penthouse
- Metal Panel: Satin Nickel
- Metal Panel: Seawolf
- CMU
- Louver Panel

### Legend

- Property line



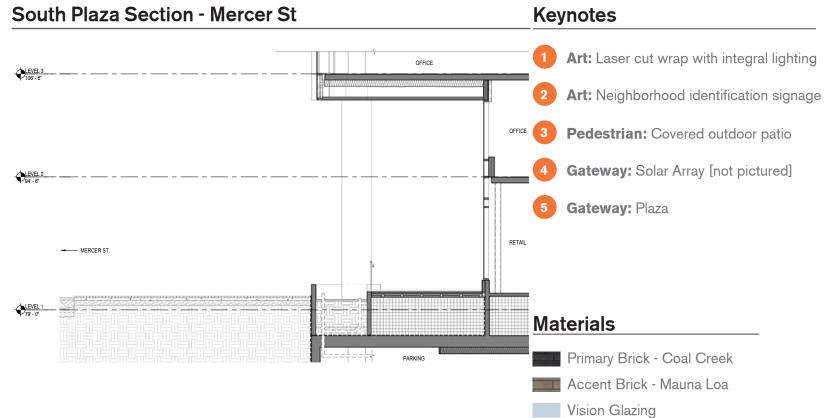
Entry



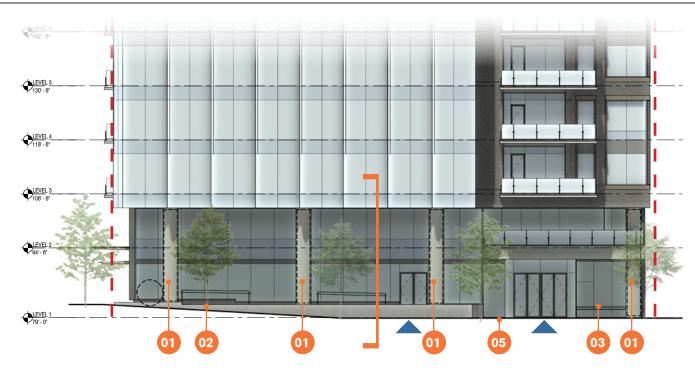
Vehicle Entry



# View Facing Northeast from Mercer St



# **Enlarged South Elevation - Mercer St**





CMU

Legend

Louver Panel

Entry

Spandrel Glazing

Profile Metal Panel: Penthouse

Metal Panel: Satin Nickel

Metal Panel: Seawolf



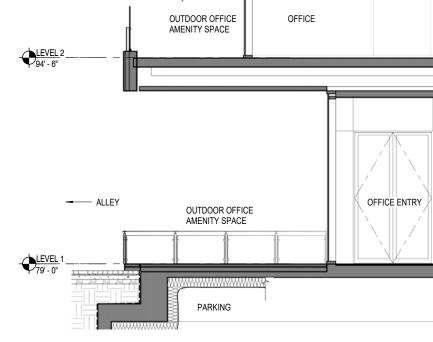
Vehicle Entry



# View Facing North from Alley



# Street Section - Alley



# **Keynotes**

- 1 Art: Laser cut metal with graphic
- 2 Pedestrian: Dedicated bike access
- Gateway: Plaza
- Material: Brick coursing horizontal
- 5 Material: Brick coursing vertical
- 6 Material: Brick coursing soldier
- 7 Material: Accent brick coursing

### **Materials**

- Primary Brick Coal Creek
- Accent Brick Mauna Loa
- Vision Glazing
- Spandrel Glazing
- Profile Metal Panel: Penthouse
- Metal Panel: Satin Nickel
- Metal Panel: Seawolf
- CMU
- Louver Panel

# Legend

- Property line



Entry



Vehicle Entry

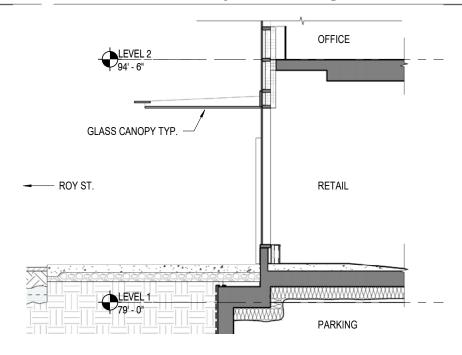




# **View Facing Southeast from Roy St**



# **Street Section - Roy St (Looking East)**



#### **Keynotes**

- Pedestrian: Activated setback
- 2 Art: Special colored brick gradient
- 3 Pedestrian: Overhead weather protection
- 4 Material: Brick coursing horizontal
- 5 Material: Brick coursing vertical
- 6 Material: Brick coursing soldier
- 7 Material: Accent brick coursing

#### **Materials**

- Primary Brick Coal Creek
- Accent Brick Mauna Loa
- Vision Glazing
- Spandrel Glazing
- Profile Metal Panel: Penthouse
- Metal Panel: Satin Nickel
  - Metal Panel: Seawolf
- CMU
- Louver Panel

#### Legend



Property line



Entry



Vehicle Entry

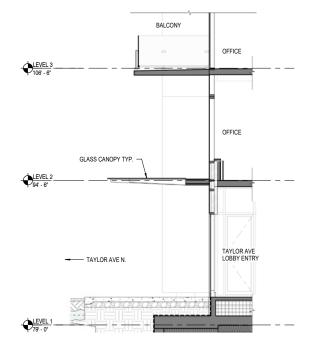




# View Facing Northeast from Taylor Ave N



# **Street Section - Taylor Ave N**



# **Keynotes**

- Pedestrian: Activated setback
- 2 Art: Special colored brick gradient
- 3 Pedestrian: Overhead weather protection
- Material: Brick coursing horizontal
- Material: Brick coursing vertical
- Material: Brick coursing soldier
- Material: Accent brick coursing

#### **Materials**

- Primary Brick Coal Creek
  - Accent Brick Mauna Loa
  - Vision Glazing
- Spandrel Glazing
- Profile Metal Panel: Penthouse
- Metal Panel: Satin Nickel
- Metal Panel: Seawolf
- CMU
- Louver Panel

#### Legend

Property line



Entry



Vehicle Entry



Service Entry

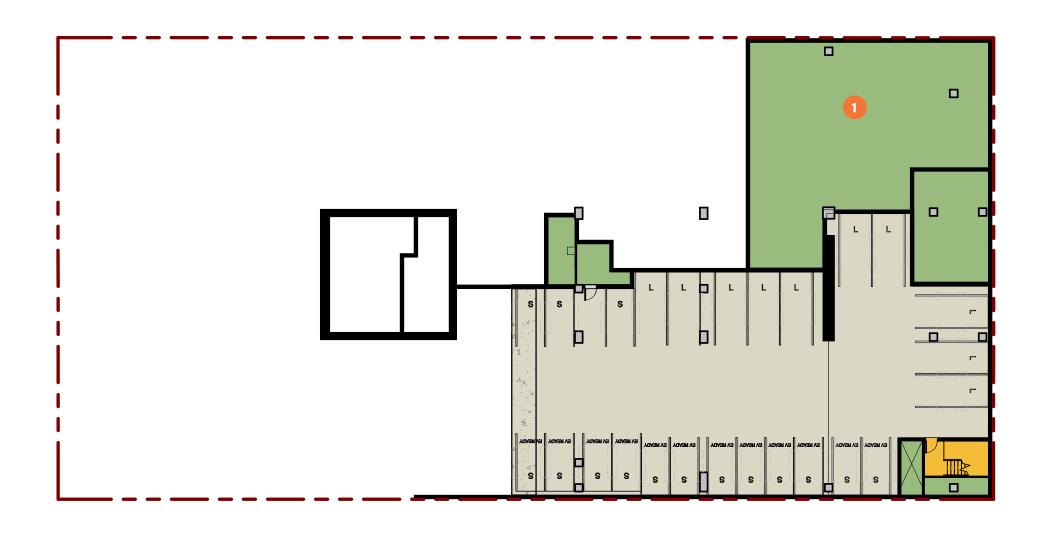
# **Enlarged West Elevation - Taylor Ave N**



# Floor Plans & Sections

## Level P2.5

1" = 25'



# Keynotes

- 1 Rainwater Cistern
- 2 Parking Elevators
- 3 Direct Bike Storage Access
- 4 Office Elevators
- 5 Loading Zone
- 6 Outdoor Recreation Area
- 7 Ground-level Setback
- 8 Tenant-accessed Balcony/Deck
- 9 PV Panels

# Use

Retail



Circulation

Mechanical / service

Parking

Amenity

Outdoor space

Bike Storage

# Legend

Property line



Elevation



Vehicle Entry

Entry

- 1 Rainwater Cistern
- 2 Parking Elevators
- 3 Direct Bike Storage Access
- 4 Office Elevators
- 5 Loading Zone
- 6 Outdoor Recreation Area
- 7 Ground-level Setback
- 8 Tenant-accessed Balcony/Deck
- 9 PV Panels

## Use

- Retail
- Office
- Circulation
- Mechanical / service
- Parking
- Amenity
- Outdoor space
- Bike Storage

# Legend





Elevation

Entry



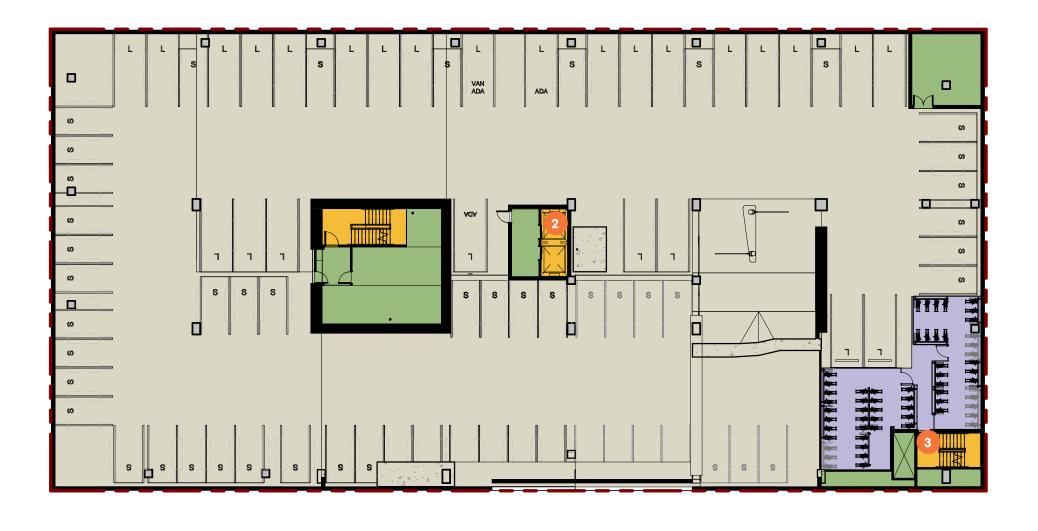




Vehicle Entry

## Level P1

1" = 25'



# Keynotes

- 1 Rainwater Cistern
- 2 Parking Elevators
- 3 Direct Bike Storage Access
- 4 Office Elevators
- 5 Loading Zone
- 6 Outdoor Recreation Area
- 7 Ground-level Setback
- 8 Tenant-accessed Balcony/Deck
- 9 PV Panels

## Use

Retail







Parking



Outdoor space

Bike Storage

### Legend

- Property line



Elevation



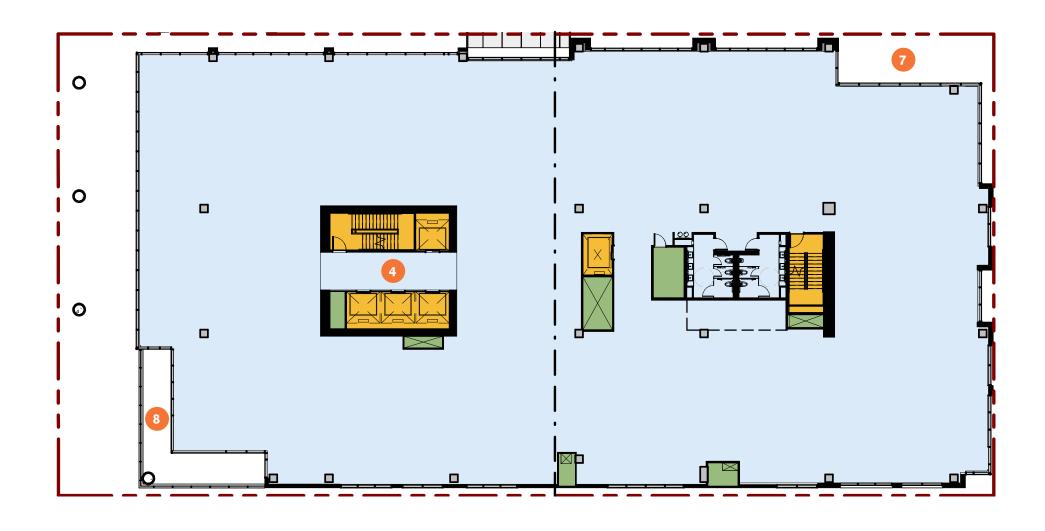
Entry



Vehicle Entry

## Level 2

1" = 25'



# Keynotes

- 1 Rainwater Cistern
- 2 Parking Elevators
- 3 Direct Bike Storage Access
- 4 Office Elevators
- 5 Loading Zone
- 6 Outdoor Recreation Area
- 7 Ground-level Setback
- 8 Tenant-accessed Balcony/Deck
- 9 PV Panels

## Use

Retail



Mechanical / service

Parking

Amenity

Outdoor space

Bike Storage

### Legend

Property line



Elevation







Vehicle Entry

- 1 Rainwater Cistern
- 2 Parking Elevators
- 3 Direct Bike Storage Access
- 4 Office Elevators
- 5 Loading Zone
- 6 Outdoor Recreation Area
- 7 Ground-level Setback
- 8 Tenant-accessed Balcony/Deck
- 9 PV Panels

## Use

- Retail
- Office
- Circulation
- Mechanical / service
- Parking
- Amenity
- Outdoor space
  Bike Storage

# Legend

Property line



Elevation



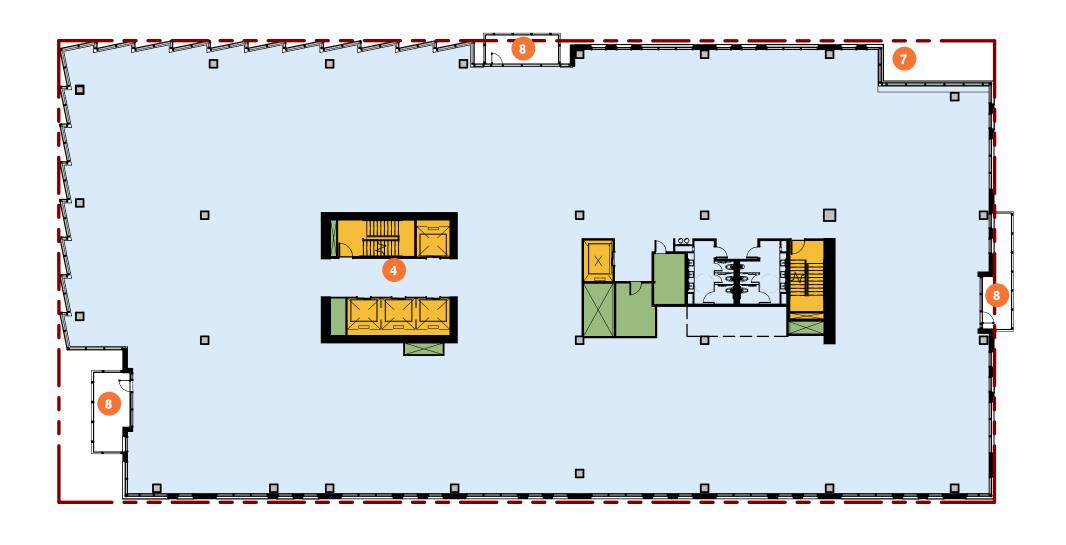
Entry



Vehicle Entry

## Level 5-8

1" = 25'



# Keynotes

- 1 Rainwater Cistern
- 2 Parking Elevators
- 3 Direct Bike Storage Access
- 4 Office Elevators
- 5 Loading Zone
- 6 Outdoor Recreation Area
- 7 Ground-level Setback
- 8 Tenant-accessed Balcony/Deck
- 9 PV Panels

## Use

Retail



Circulation

Mechanical / service



Amenity

Outdoor space

Bike Storage

#### Legend

- - Property line

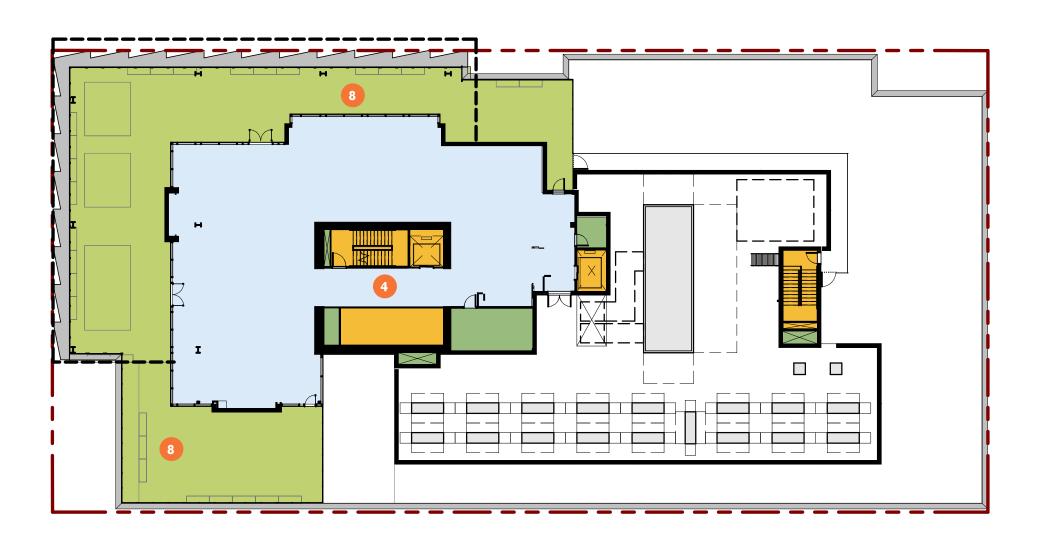


Elevation

Entry



Vehicle Entry



# Keynotes

- 1 Rainwater Cistern
- 2 Parking Elevators
- 3 Direct Bike Storage Access
- 4 Office Elevators
- 5 Loading Zone
- 6 Outdoor Recreation Area
- 7 Ground-level Setback
- 8 Tenant-accessed Balcony/Deck
- 9 PV Panels

## Use

- Retail
- Office
- Circulation
- Mechanical / service
  Parking
- Amenity
- Outdoor space
- Bike Storage

### Legend

- Property line



Elevation



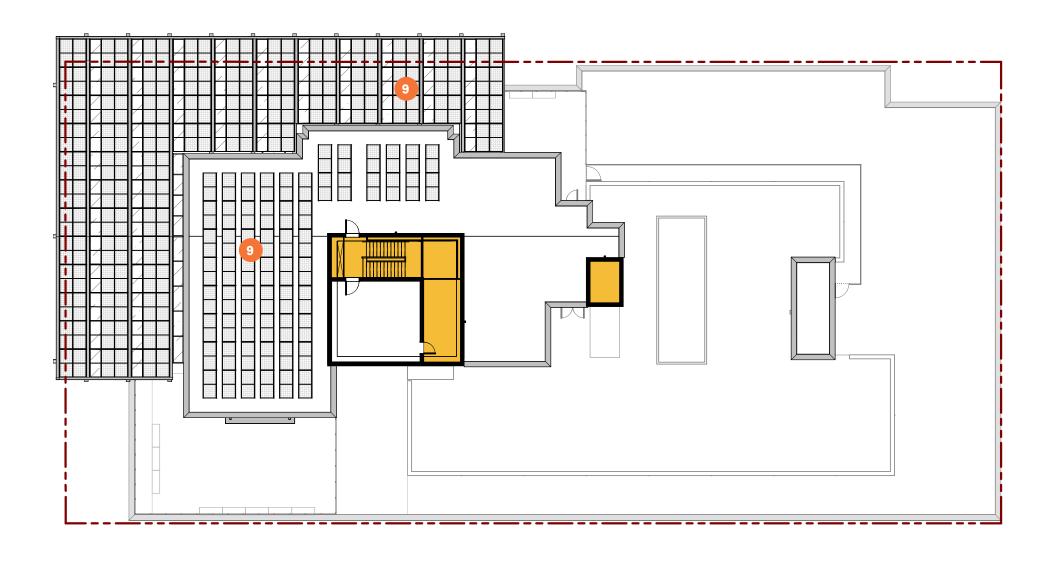
Entry



Vehicle Entry

## Level 10 (penthouse)

1" = 25'



## Keynotes

- 1 Rainwater Cistern
- 2 Parking Elevators
- 3 Direct Bike Storage Access
- 4 Office Elevators
- 5 Loading Zone
- 6 Outdoor Recreation Area
- 7 Ground-level Setback
- 8 Tenant-accessed Balcony/Deck
- 9 PV Panels

### Use

Retail



Mechanical / service





Outdoor space



#### Legend

Property line



Elevation





Entry

Vehicle Entry

2 Gateway Solar Array

Continuous Office Lobby

Building Setback at Entry

# Area

Retail

Office Circulation

Mechanical / service

Parking

Amenity

Outdoor Space

## Legend

**-** - Property line

Scale: 1" = 25'-0"

## Keynotes

- 1 Covered Retail Area
- 2 Gateway Solar Array
- 3 Continuous Office Lobby
- 4 Building Setback at Entry

#### **Area**

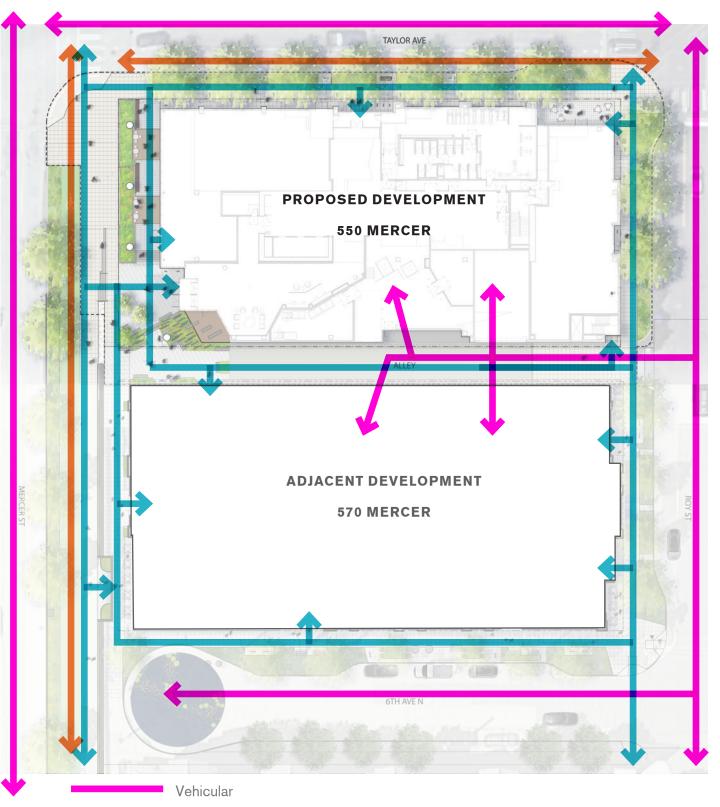
- Retail
- Office
- Circulation
- Mechanical / service
- Parking
- Amenity
- Outdoor Space

# Legend

- Property line

# Landscape Design

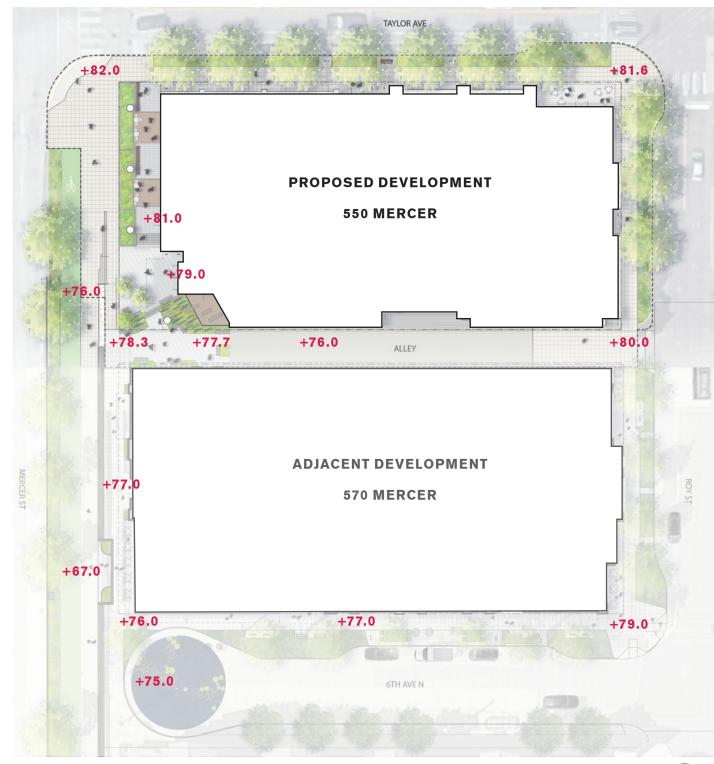
Overall Site Circulation



Pedestrian

Bicycle

# Overall Site Grading



1" = 20'-0"

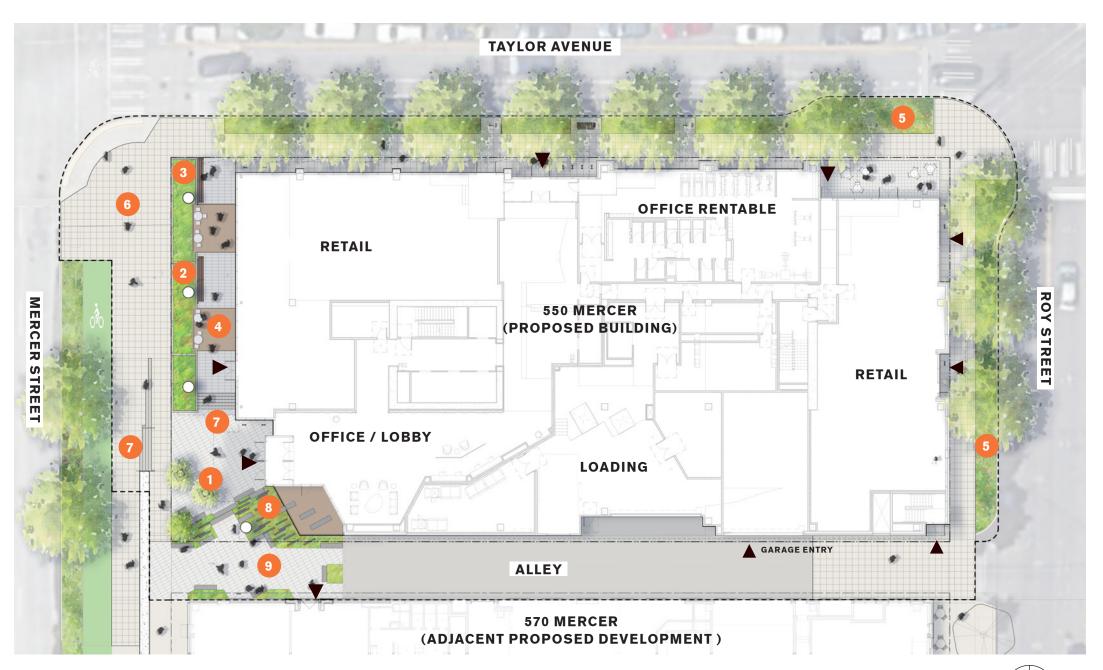
## Street Level Landscape Plan

## **Description**

- Entry Plaza connects mercer sidewalks to Level 1 Office/Lobby space.
- Distinctive rock garden connection to 570 Mercer
- Covered arcade is separated from Lobby to better relate to adjacent retail spaces at Taylor Ave North and Mercer Street.
- "Street tree" planter along existing mercer wall provides buffer and complimentary tree canopy cover along the upper mercer sidewalk.
- Retail "spill out" spaces with moveable furnishings and special paving complement adjacent building
- Cascading bioretention planters utilize natural site grades to provide opportunity for OSM and educational opportunity for the public
- · New street trees and sidewalk along Roy Street and Taylor Ave

## **Keynotes**

- 1 Entry Plaza
- Planting Area
- Raised Bioretention Planter
- Covered Arcade
- ROW Planting Area
- Existing Mercer Street ROW
- Site Stair
- Rock Garden
- Alley Plaza
- Entrance / Exit





1" = 30' - 0"

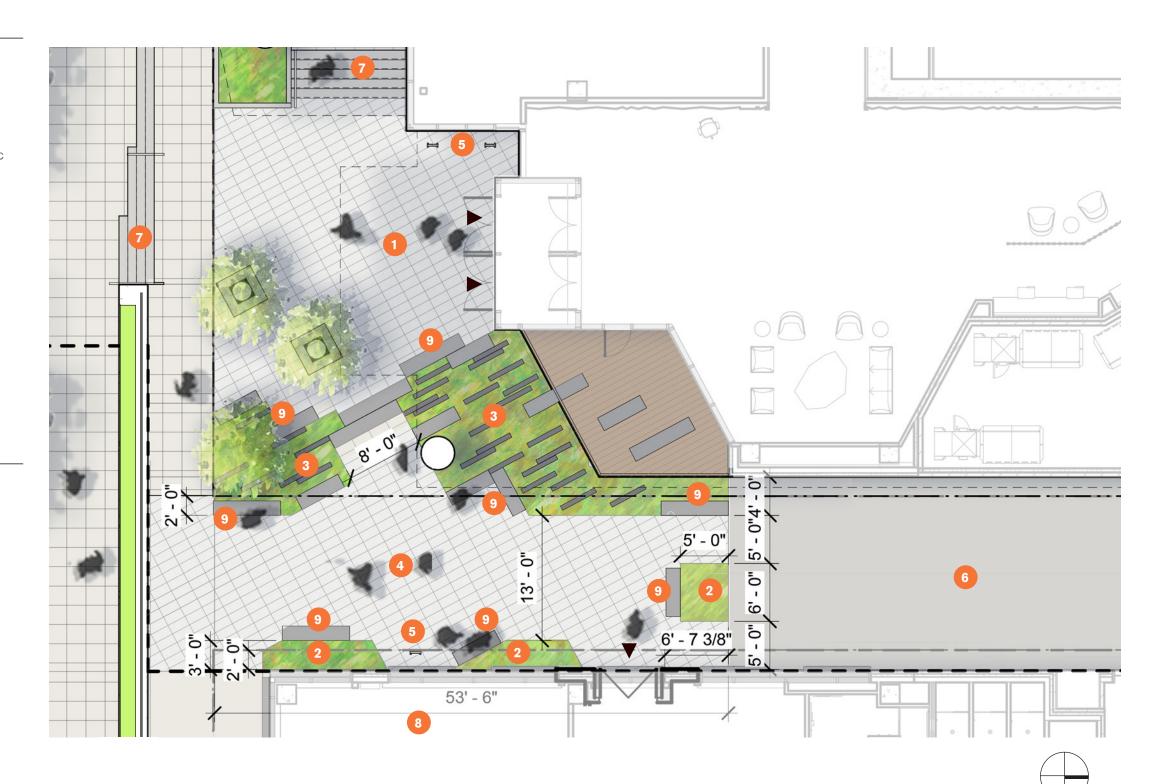
# Entry Plaza & Alley Enlargement

# **Description**

- Special, angled paving unites the entry plaza and alley plaza
- Smal stones make up the decorative rock garden, while large boulders create seating opportunities throughout
- Boulder seating function as natural vehicular traffic deterrants on the North end of the alley plaza
- Catenary lighting activates the alley area
- Open space in both plazas leave room for flexible programming

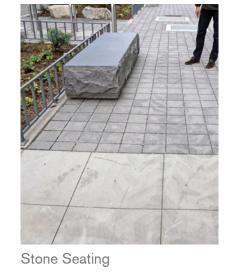
## **Keynotes**

- 1 Entry Plaza
- 2 Planting Area
- 3 Rock Garden
- 4 Alley Plaza
- 5 Bike Parking
- 6 Alley & Trash Pickup
- 7 Site Stair
- 8 Adjacent Retail
- 9 Boulder Seating
- Entrance / Exit



1" = 10'-0"

# Streetscape Materials





























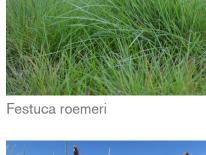
Prunella vulgaris



Polemonium carneum











Penstemon rydbergii

Wyethia amplexicaulis

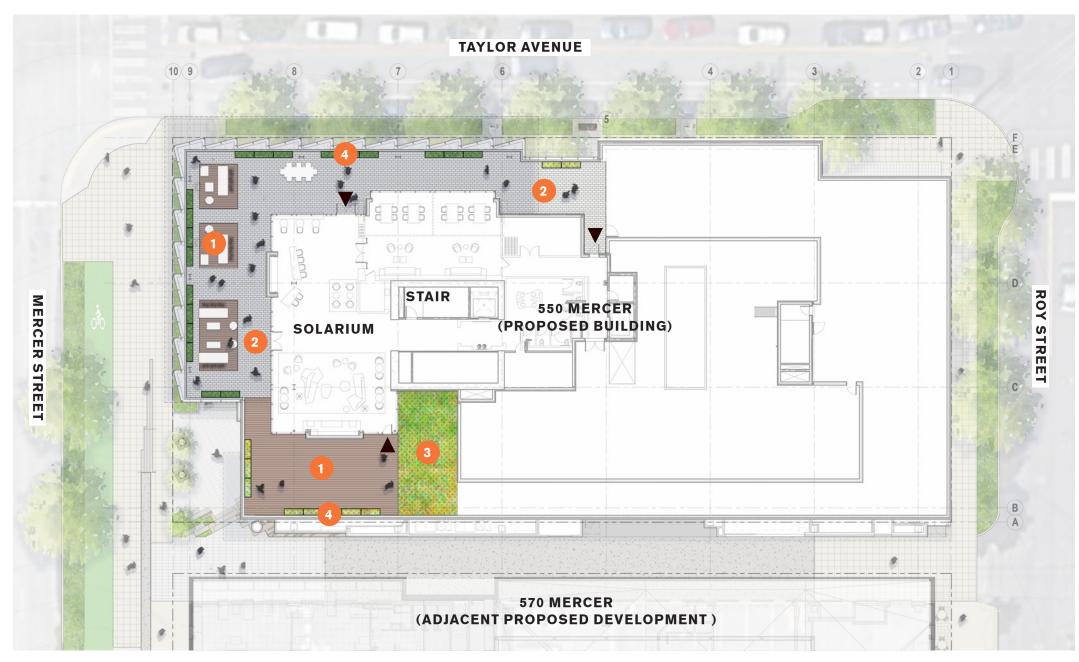
# Roof Level Landscape Plan

# **Description**

- Pedestal pavers and wood decking echo materiality of street level landscape and provide variety
- Roof level provides covered and uncovered spaces for flexible programming and gathering
- On-structure planting reflects the rooftop planting at 570 Mercer and creates vibrant green space

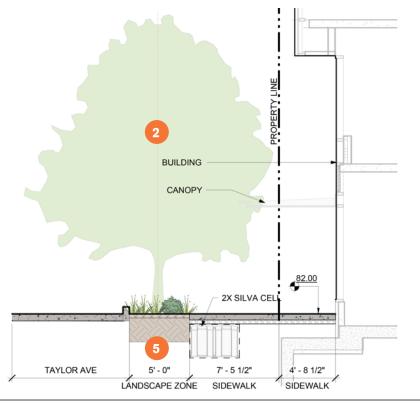
# **Keynotes**

- 1 Wood Decking
- 2 Pedestal Pavers
- 3 Planting on structure
- 4 Raised Planters
- Entrance / Exit





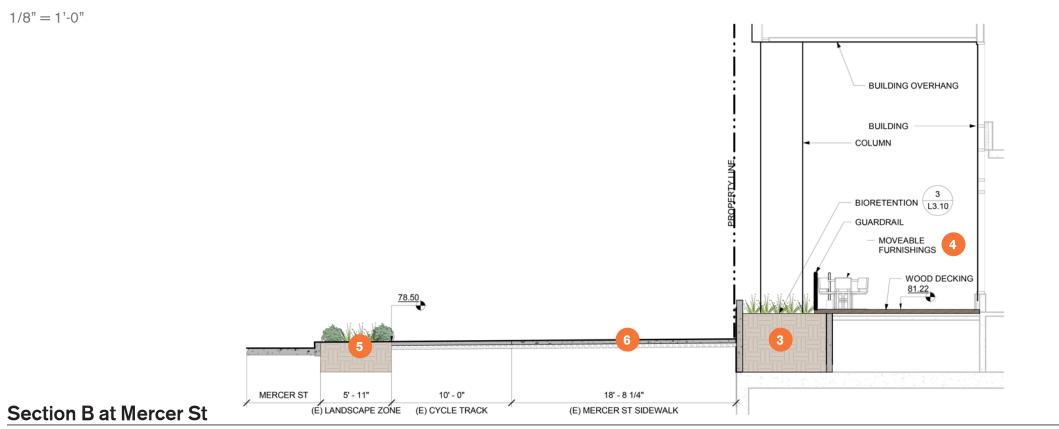
# **Street Sections**



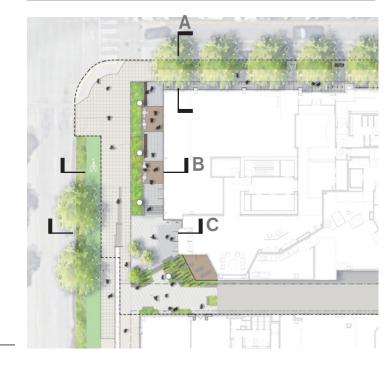
## Keynotes

- 1 Entry Plaza
- 2 Tree w/ Silva Cell Below
- Raised Bioretention Planter
- Moveable Furnishings
- ROW Planting Area
- Existing Mercer Street ROW
- 7 Site Stair
- ► Entrance / Exit

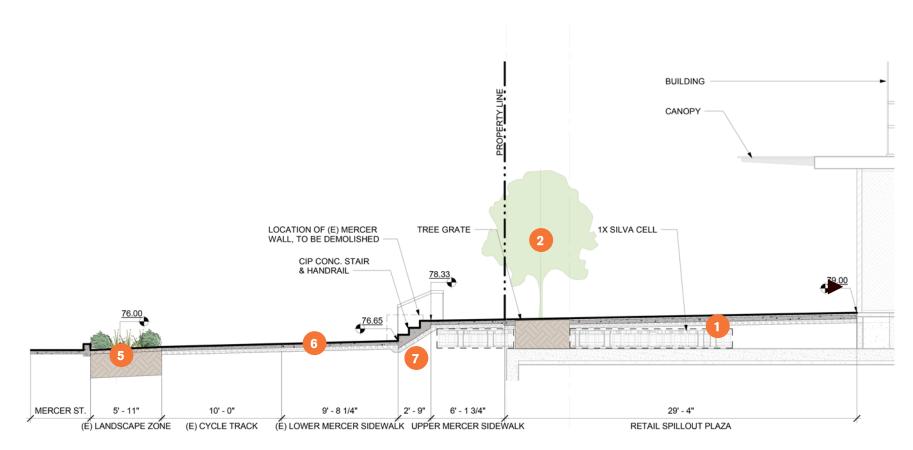
# **Section A at Taylor Ave**



# Keymap



# Street Sections



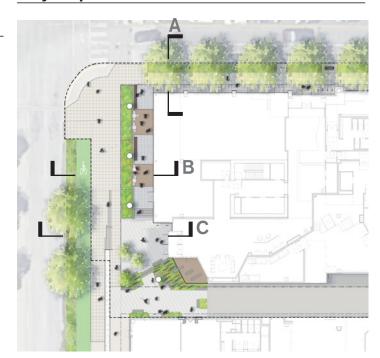
# **Section C at Mercer St**

1/8" = 1'-0"

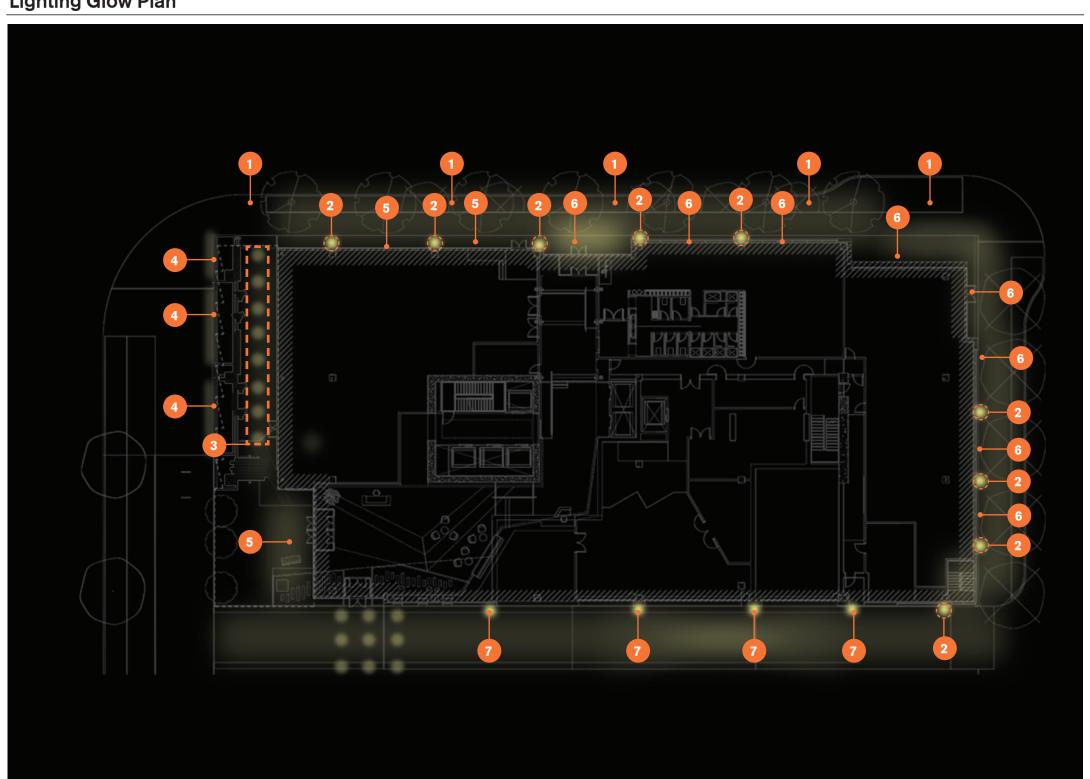
## Keynotes

- 1 Entry Plaza
- 2 Tree w/ Silva Cell Below
- 3 Raised Bioretention Planter
- 4 Moveable Furnishings at Retail Plaza
- 5 ROW Planting Area
- 6 Existing Mercer Street ROW
- 7 Site Stair
- Entrance / Exit

# Keymap



# Lighting & Signage Concepts



# **Fixture Summary**

Pedestrian Pole Direct-indirect Wall Sconce Rigid Stem Pendant Linear Rubber 3D Optic Recessed Downlight Canopy Linear Downlight Performance Wall-mounted Downlight

\*Final fixture selections are pending with consideration of Living Building Pilot

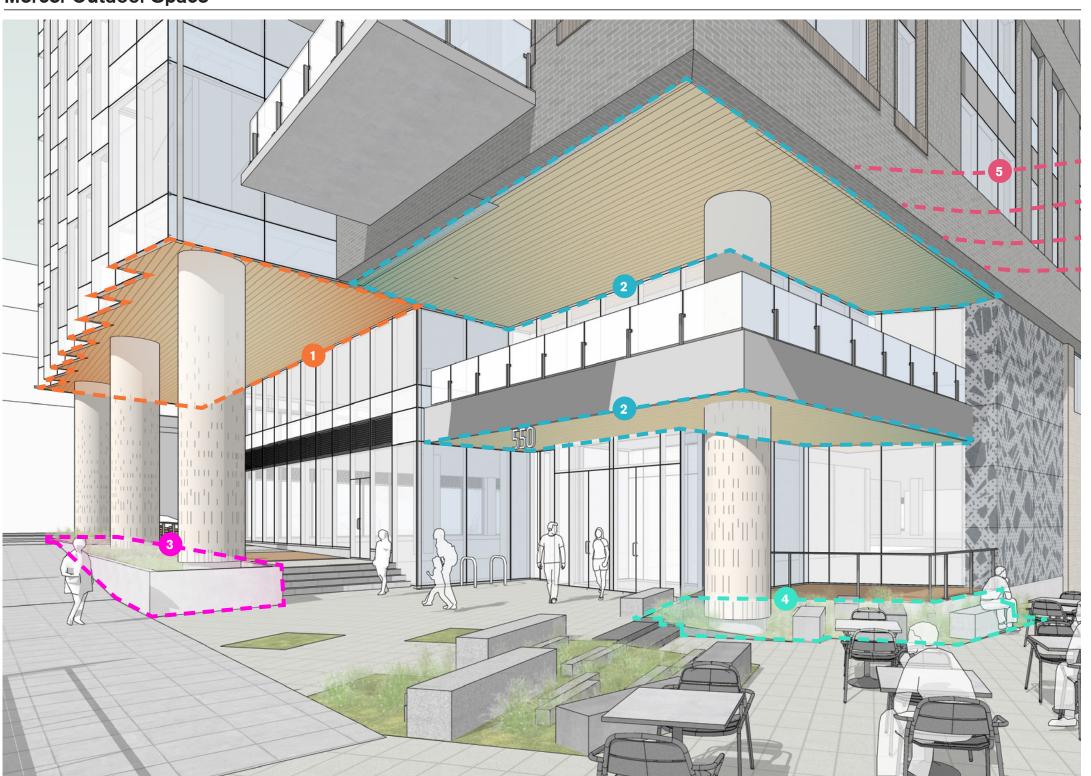
### **Goals Summary**

The lighting is designed to respectfully accent the architecture while creating a strong pedestrian experience that is both safe and inviting. Catenary and rigid stem pendants from the same lighting family frame each side of the Mercer Entrance, creating design cohesion. The pedestrian way is illuminated with downlighting hidden in the storefront canopies. Masonry columns throughout are highlighted with pedestrian scale direct-indirect sconces creating visual interest and pattern. The alleyway utilizes performance wall sconces.

# **EXTERIOR LIGHTING PLAN**

Design Approach

# **Mercer Outdoor Space**



# **Light Fixture Concepts**



Rigid stem pendants provide ambient illumination to the sidewalk





Recessed soffit downlighting and uplighting at Mercer St. Entrance





Integrated planter lighting for sidewalk circulation





Rock sculpture garden lighting creates focal interest and connection to indoors





Suspended catenary lighting promotes pedestrian scale



Final fixture selections are pending with consideration of Living Building Pilot Program red list certifications

# **SIGNAGE CONCEPTS**

Primary & Wayfinding

# Primary Building Identification - Mercer Lobby Entry



Primary Building Identification - Taylor Lobby Entry



Wayfinding - Bike Parking Access



Key Map



# **SIGNAGE CONCEPTS**

# Retail, Branding, & Gateway Identification

# Retail Signage - Locations







# **Gateway Identification**

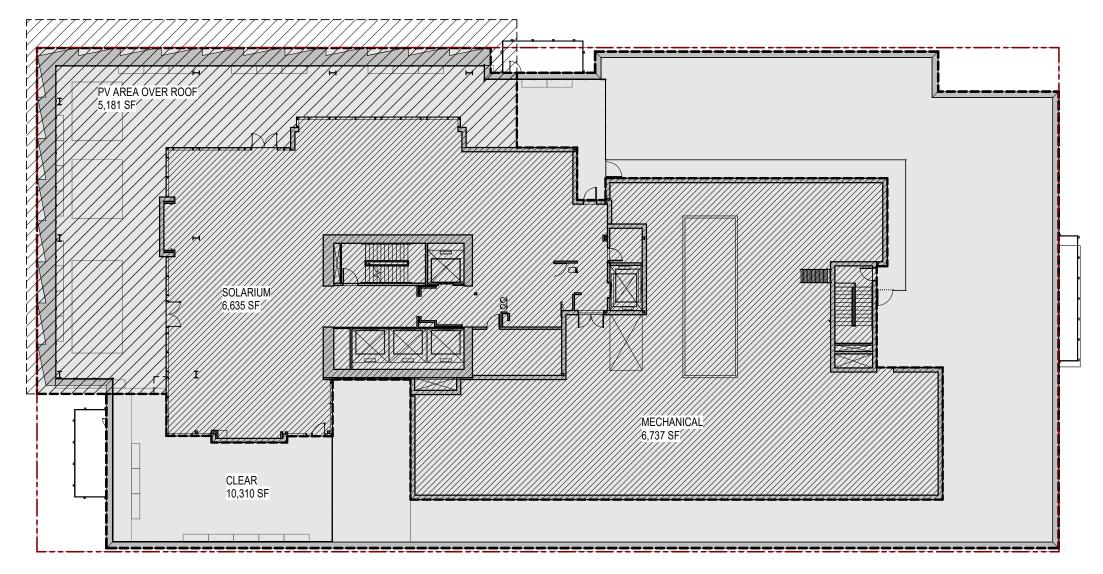


**Project Branding & Addressing** 



# Departures

# **ROOFTOP COVERAGE AREA**



	AREA	PERCENTAGE
TOTAL ROOF	28,863 SF	100%
FEATURES	18,553 SF	64.3%
UNCOVERED	10,310 SF	35.7%

REQUIREMENT REQUEST RATIONALE RELEVANT DESIGN GUIDELINES

#### 1 23.48.025.C.4 Rooftop Features

The following rooftop features may extend up to 15 feet above the applicable height limit, if the combined total coverage of all features listed in this subsection 23.48.025.C.4 does not exceed 25 percent coverage of the roof area if the total includes a greenhouse.

The allowable rooftop features area to be **increased** from 25 to **64.3 percent** 

This departure will allow the project to more effectively, efficiently, and aesthetically meet the large solar and water collection needs set forth through the LBPP process. This will also allow for one consistent location for the PV array, which will not only look like a more intentionally expressed feature and reinforce the building as a gateway, but ultimately reduce the MEP inefficiencies of having the array split up along the building or placed in a position more prone to being shaded.

CS1-A: Energy Use

CS1-B: Sunlight & Ventilation

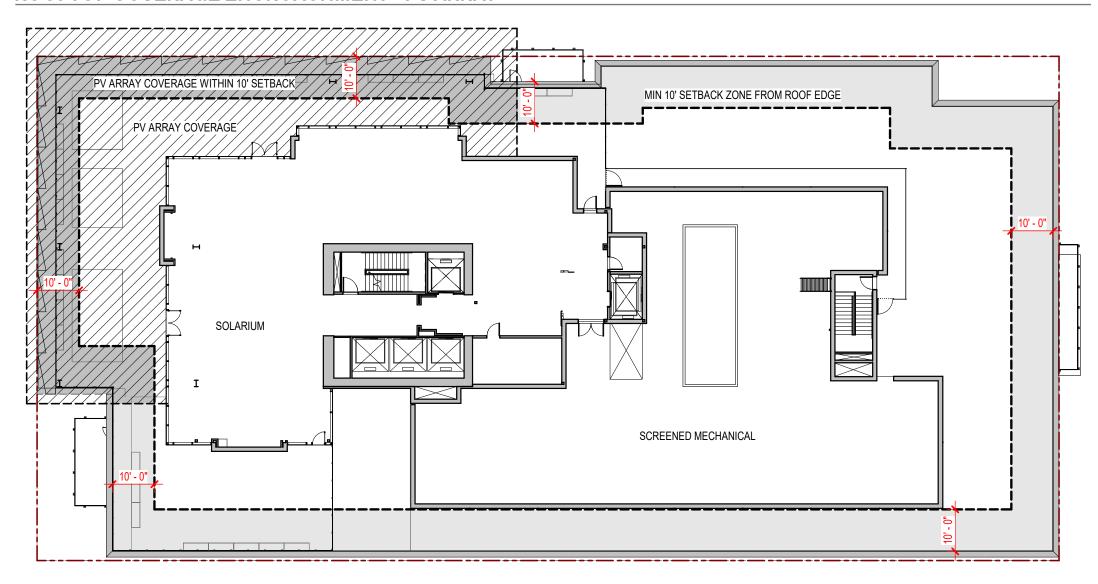
CS1-E: Water

DC2-5: Tall Buildings

#### **DESIGN DEPARTURES**

Departure #2

#### **ROOFTOP COVERAGE ENCROACHMENT - PV ARRAY**



REQUIREMENT REQUEST RATIONALE RELEVANT DESIGN GUIDELINES

### 2 23.48.025.C.7 Rooftop Features - Encroachment

No rooftop features are located closer than 10 feet to the roof edge, except features that do not exceed the height of the parapet or 5 feet above the roof surface, whichever is greater, or which may be permitted by design review departure or other code provisions including but not limited to chapter 23.57.

No rooftop features are located closer than 10 feet to the roof edge, except features that do not exceed the The solar roof is proposed to encroach within the 10' outlined setback, to either at or beyond the building face below.

- 1. It provides the best location for unobstructed area for solar captures
- 2. The solar array functions as a physically expressed method for achieving the project's sustainability goals, and supplements the outdoor space as an announcement for a gateway location

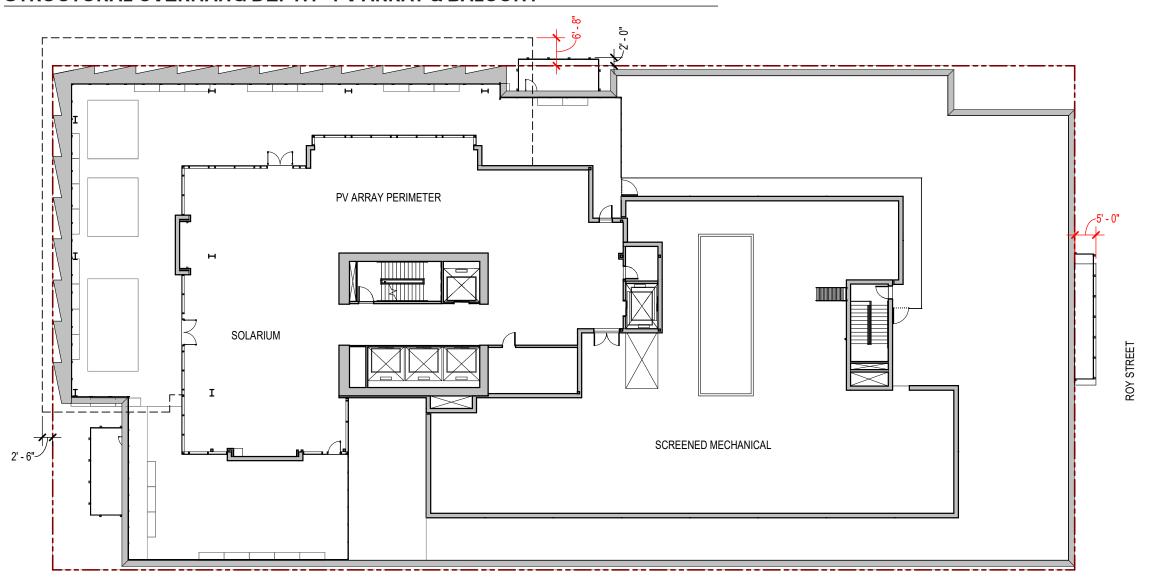
CS1-A: Energy Use

CS1-B: Sunlight & Ventilation

CS1-E: Water

DC2-5: Tall Buildings

## STRUCTURAL OVERHANG DEPTH - PV ARRAY & BALCONY



REQUIREMENT REQUEST RATIONALE RELEVANT DESIGN GUIDELINES

#### 3 23.53.035.B.5 Structural Building Overhang

Depth: The maximum horizontal projection for a structural building overhang, measured to the furthest exterior element, shall be 3 feet, and the project in no case be closer than 8 feet to the centerline of any alley (see Exhibit B for 23.53.035)

The request is for one balcony per level on levels 3-8 (6 total) & the PV array at level 9 to extend beyond the allowable 3 feet. The north balcony will extend 5'-0" beyond. Additionally, the PV array is requested to extend an additional 6'-8" beyond the property line to the west. The west balconies extend 2' - 0" beyond the property line, and the southern edge of the PV array extends 2' - 6", therefore neither require a departure.

The Balconies extending over the property and protruding as far as possible from the building facade are a physical manifestation of the projects efforts to promote human powered living. Without the departure, the balconies would be smaller and less pronounced. Additionally, the extension of the balconies into the right of way allows the primary building facade to be closer to the property line, permitting the south facade to be set back more, providing a successful outdoor space while still meeting development goals. The overhang of the solor collector allows this element to be a physically expressed massing move, indicating this project has pursued advanced levels of sustainability. Furthermore, the solar collector is a physical expression of the gateway goals set forth by the design team, while also unifying the project with it's neighbor to the east.

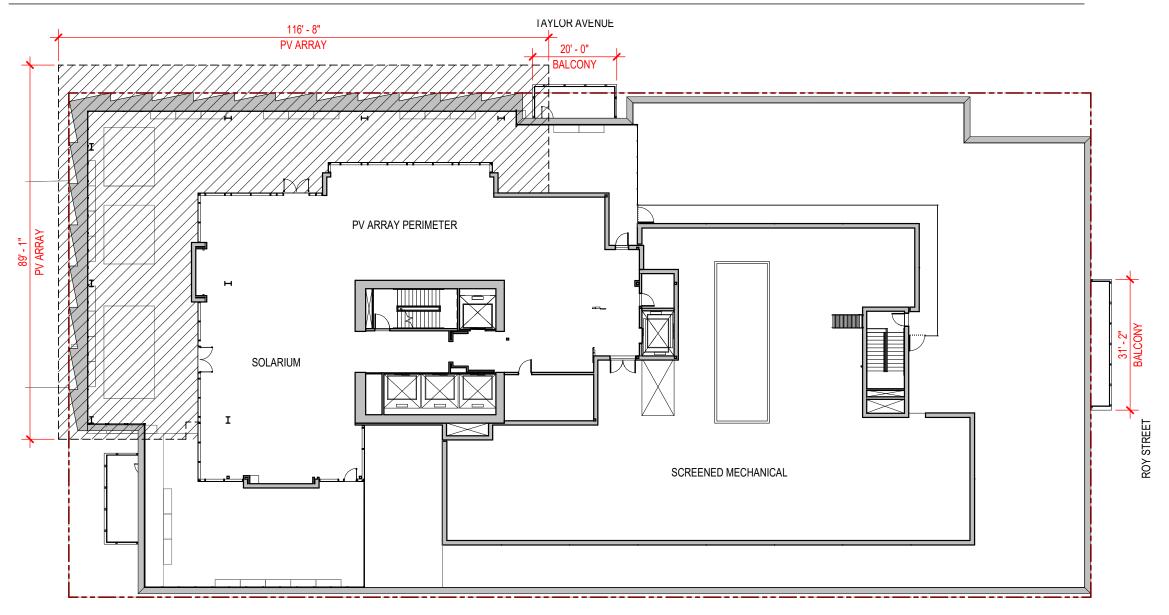
CS2-2: Adjacent Sites

DC2-4: Dual Purpose Elements

#### **DESIGN DEPARTURES**

Departure #4

#### STRUCTURAL OVERHANG LENGTH - PV ARRAY & BALCONY



REQUIREMENT REQUEST RATIONALE RELEVANT DESIGN GUIDELINES

#### 4 23.53.035.B.7 Structural Building Overhang

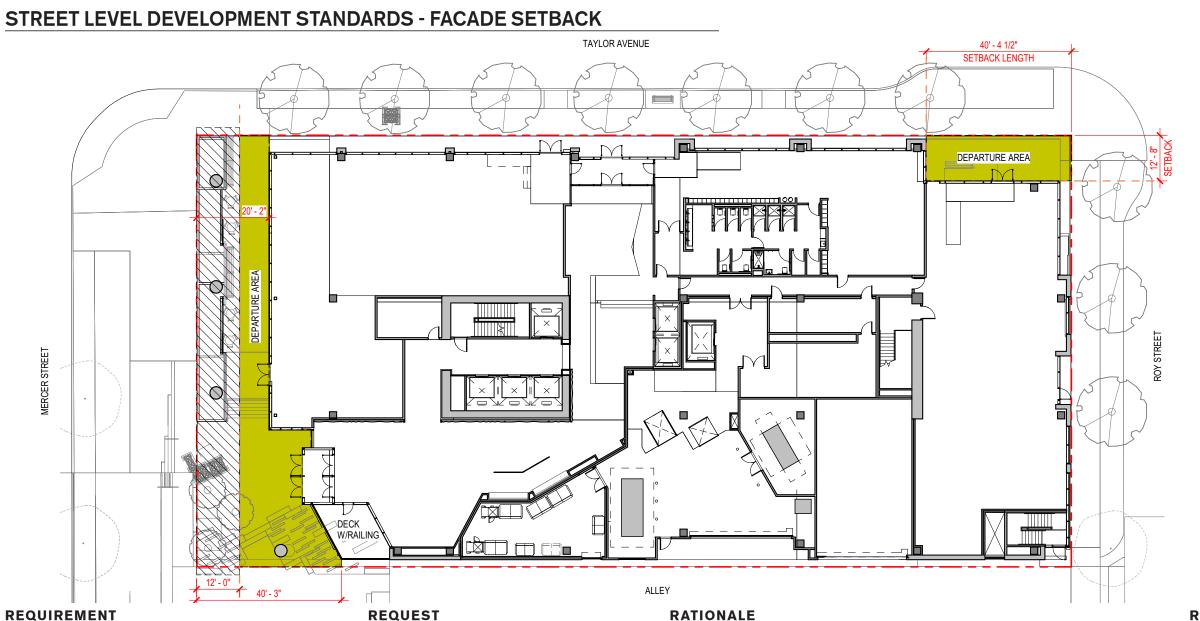
Length: The maximum length of each structural building overhang shall be 15 feet measured at any location that is beyond the property line. The bay or other projection may be shaped in any way that remains within the 3 foot by 15 foot envelope beyond the property lines (see Exhibit D1 for 23.53.035)

Balconies to extend 20' - 0" on the west, and 31' - 2" on north. The PV array extends 116' - 8" along the west and 89' - 1" on the south.

Increasing the size of the balconies is a physical dedication of the projects efforts to promote human powered living. The proposed size of these areas increase accessible outdoor space for building tenants, promoting a positive indoor/outdoor relationship and improving livability and building experience. Increasing the length of the balconies allows them to function as elements of the massing expression, rather than an afterthought tacked onto the facade, contributing to building articulation and modulation. Furthermore, the ability for this balcony size to occur over the property line allows the southern face of the building to be pulled further back, creating a successful ground level outdoor space. The provision to allow the length of the solar collector is a direct and visible expression of the projects dedication to lofty sustainability goals, while reinforcing the site as an uptown gateway.

CS2-2: Adjacent Sites

DC2-4: Dual Purpose Elements



#### RELEVANT DESIGN GUIDELINES

#### 6 23.48.740 Street-level Development Standards

SMC 23.48.740 - For streets designated as class III pedestrian streets, the street-facing facade of a structure may be set back up to 12 feet from the street lot line.

SMC 23.84A.012 "F" - Facade definition: Means any exterior wall of a structure including projections from and attachments to the wall. Projections and attachments include balconies, decks, porches, chimneys, unenclosed corridors and similar projections.

Taylor Ave - The project is proposing a setback at the corner of Taylor Ave & Roy Street to accomodate upper level setback requirements for a single powerpole, and give back more usable sidewalk space for retail activation. The project requests the setback from Taylor Ave to be 12'-8" from the west property line for a length of 40'-5"

Mercer St - The project is proposing to provide a public community accessible outdoor space at the south end of the site, with some private area for retail seating. The setback along Mercer would vary from 20'-2" to 40'-3".

Taylor Ave - The departure allows for a unique solution for the massing to deal with a required upper level setback for a power pole along Taylor. The project chooses to setback the facade of the lower levels to align with the upper level setback requirements to better enhance the streetscape and provide more usable sidewalk area.

Mercer - The departure allows for a voluntary community accessible outdoor space as a method for not only announcing Uptown, but also to soften the harsh urban edge of Mercer and the current retaining wall. Demolition of the wall, in concept with the outdoor space and primary office lobby entrance will allow the project to focus its public facing elements, towards the more public side of the block, and ultimately improve an undesirable pedestrian environment.

CS1-1: Topography

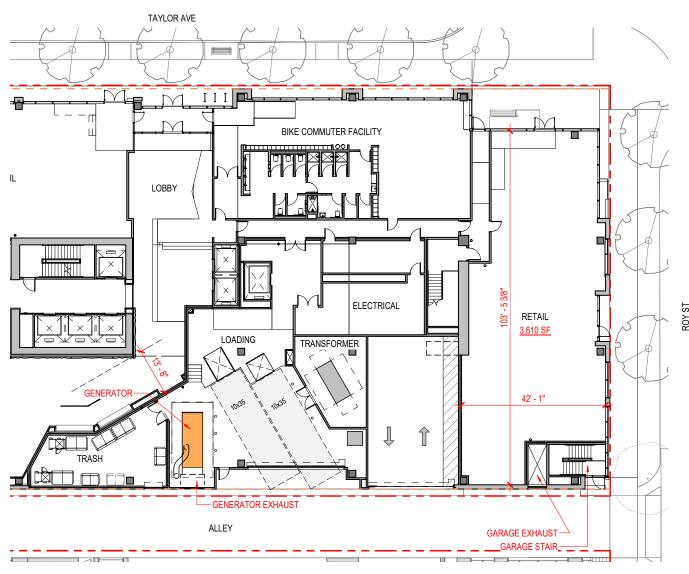
CS2-1: Sense of Place

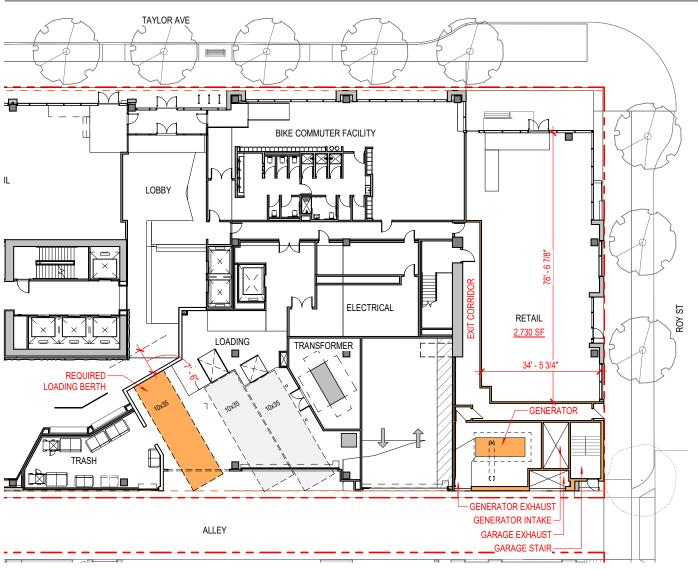
PL1-1: Enhancing Open Spaces

PL1-3: Pedestrian Volumes

# PROPOSED LOADING BERTHS

# CODE COMPLIANT LOADING BERTHS





#### REQUIREMENT REQUEST RATIONALE RELEVANT DESIGN GUIDELINES

#### 6 23.54.035.c.2.c

The Minimum number of off-street loading berths required for specific uses shall be set forth in table A

- Office uses = Low Demand
- Low demand uses between 160,000sf 264,000sf are required to provide 3 loading berths in total

The project is seeking a departure to omit the third required loading berth from the project as allowed under 23.41.012.D.D of the living building pilot program..

The design team has found the project does not need the third loading berth to function at the full capacity, therefore making the space dedicated to it redundant and put to waste. Three loading berths would require the generator room to be located at the NE corner, directly off Roy St. Omitting the third berth allows the generator to be contained within the loading area in the project, thus increasing the amount of active use on Roy St, creating a more engaging pedestrian experience.

PL-2: Adjacent Sites

PL-3: Dual Purpose Elements

DC-1:

12, 2023

# **Appendix**

#### **APPENDIX**

Community Outreach Feedback

## What We Heard from the Community

#### **Design-Related Comments**

- Design & Character. When asked what is most important about the design of a new building on this property, 71 percent of survey respondents said relationship to neighborhood character; 43 percent said environmentally friendly features; 43 percent said parking; and 14 percent said interesting/unique design. Respondents encouraged the project character to aesthetically fit and meld seamlessly with its surroundings, enhance the neighborhood and not use reflective surface materials. Another respondent expressed support for sustainability, accessibility and aesthetics.
- **Exterior.** When asked what the most important consideration is for the exterior space on this property, 71 of survey respondents said landscaping; 71 percent said lighting and safety features; 43 percent said seating options and places to congregate and 29 percent said bike parking.
- **Height & Scale.** One respondent noted that building height is the most important consideration for the exterior of the property. Another respondent encouraged the project not to exceed neighboring buildings in height.

#### **Non-Design Related Comments**

- Retail. When asked what retail components respondents were most interested in for this location, 63 percent of survey respondents said new restaurants or bars; 50 percent said new places for coffee or breakfast; and 38 percent said new stores for shopping.
- **Parking & Traffic.** Several respondents noted that access to the parking garage should not be on Taylor Ave as it gets blocked with traffic.
- Neighborhood Impacts. One respondent encouraged the project team to take into consideration the people who live in the neighborhood, noise and garbage issues.
- **Safety.** One respondent noted that there is a lot of crime in the area due to the homeless population who may congregate in any outside spaces that are not behind a fence.

#### **Miscellaneous Comments**

- **Support.** One respondent noted this is a good development that will allow the continuing Up-Zoning of this part of the Uptown Neighborhood.
- Oppose. One respondent encouraged the project team to build in another location.

## **Living Building Pilot Program Comments**

- Needs & Assets. When asked what the neighborhood's primary needs and assets are, 75 percent of survey respondents said sense of community; 50 percent said safety; 38 percent said overall appearance and 13 percent said economic health.
- Vulnerable/Disinvested Populations. Respondents suggested shelter, healthcare, food, and security for vulnerable populations. As the project is paying into the city's MHA fund, the applicant trusts these funds will be properly utilized to address needs and concerns.
- Project Impacts. When asked how the project team can best avoid any
  negative impacts to the neighborhood, 89 percent of survey respondents said
  construction hours and noise; 67 percent said street closures and traffic; and 11
  percent said building purpose.
- Community Needs & Assets. When asked how the project can help meet
  the needs and assets of the community; respondents encouraged the project
  team to help the arts and music community, offer restaurants with large outdoor
  seating areas, offer health care facilities and hire homeless people.
- History, Culture & Aspirations of Uptown. When asked how this project
  might reflect and advance the history, culture and aspirations of the Uptown
  Neighborhood, 63 percent of survey respondents said public art; 50 percent
  said focus on retail offerings; and 38 percent said building design.
- Local Culture. When asked how this new project might reflect the local culture, 43 percent of survey respondents said public art; 29 percent said focus of retail offering; and 29 percent said building design.

#### **Conclusions**

- Respond to the context and historical building expressions that compose Uptown.
- **Create** an engaging outdoor space that promotes extended activity for the community at large.
- **Provide** retail that extends the living hours of the building and responds to the needs and desires of local residents.
- Encourage safety and recreation through ground level design.
- Announce this project as a gateway to the Uptown Arts and Culture
  District through unique and distinctive design that is representative of the
  personality of its residents.

# Opportunity to Provide Online Input on the 557 Roy St Project

#### **ABOUT THE PROJECT**

This project proposes construction of an eight-story inflice bullding with ground-level retail and below grade parking for 169 vehicles. The project is participating in the Living Building Pilot Program.

Existing  $\tilde{b}_{\rm in}$  alongs at this site to be demolished.

What: Let us know what you think! Visit our website at www.577 RoySt Project.com to learn more about this new project including the team's proposed vision and approach.

**Survey:** ake our online survey to share your thoughts about the project site and components (Survey, posted on the project website).

Comments: Frovide additional comments via our comment form of by crosslight 557RoyStProject@earlyDRoutreach.com



#### ADDITIONAL PROJECT DETAILS

Project Address: 557 Roy St, South o, WA 0810

Contact Natare Cursk

Applicant: SW4 Seable II West, L. C. Additional Project Information on Seattle Services Portal via the Project Number:

Project Email: 55787/8780/00 oct/Dear vDReutmach born

Note that emails are generally return—I within 2-3 austress days and are subject to Gify or Scott or public disclosure laws.

Sucile disclosure ISVs.

This effort is part of the City of Seattle's required outreach process, in advance of Design Review.

# Mercer & Taylor Facing NW



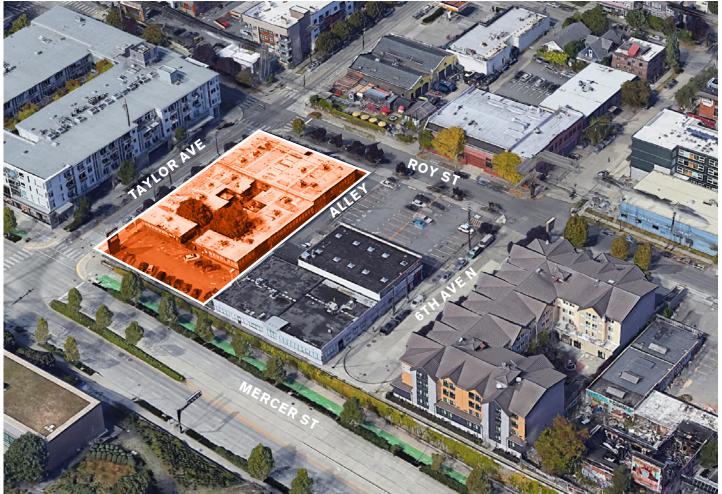
2 Mercer & Taylor Facing NE



3 Roy St Facing West



6 Aerial View Facing NW



4 Roy & Taylor Facing West



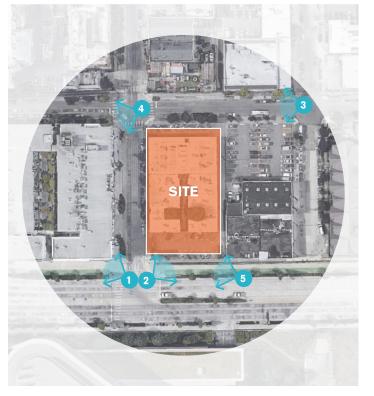
5 Mercer St Facing SW



## **Observations**

- Mercer St sits anywhere between 0'-5' lower than the ground level of the proposed site. The lower portion includes a sidewalk and bike lane which abuts a very busy 6 lane ROW.
- Taylor Ave is a heavily vehicular trafficked site. The
  treatment of the streetscape along the west creates
  an inhospitable pedestrian experience due to the
  dedication to loading and trash servicing.
- Roy St is also a relatively quiet street with multiple existing surface parking lots and single story buildings to the south. To the north, includes a range of 1-4 story buildings that is a mix of neighborhood commercial and residential uses.
- Alley is currently a dead end ROW that only provides access to this project and the adjacent development. The alley ends in a rare condition where it is perpendicular to a sidewalk.

#### **Key Map**



# SITE CONDITIONS

Existing & Future Prominent Surrounding Buildings

#### **Gates Foundation**



**2019** / 6 Floors Office Building

### **Center Steps Apartments**



2020 / 8 Floors Apartments

# 513 1st Ave N



2022 / 8 Floors Apartments

## 615 Dexter Ave N



**2022** / 18 Floors Apartments

## **Museum of Pop Culture**



**1999** / 5 Floors Museum

#### **Lumen Condominiums**



**2007** / 4 Floors Condominiums

# 412 Queen Anne Ave N



**2022 /** 8 Floors Apartments

## 816 Mercer St



**2022** / 13 Floors 2 Office Buildings

# Space Needle



1961 / 7 Floors Commercial

#### **Citizen Cafe**



1962 / 1 Floor Restaurant

#### 570 Mercer St



**2022** / 8 Floors Office Building

## 223 Taylor Ave N



**2022** / 8 Floors Apartments

# **Climate Pledge Arena**



1962 / 1 Floor Arena

#### Allen Institute



**2015** / 6 Floors Life Sciences

## 601 Aurora Ave N



**2022** / 8 Floors Hotel

## 631 Queen Anne Ave N



2022 / 8 Floors Apartments

#### 2nd & Mercer Apartments



2020 / 8 Floors Apartments

### 700 Dexter Ave N



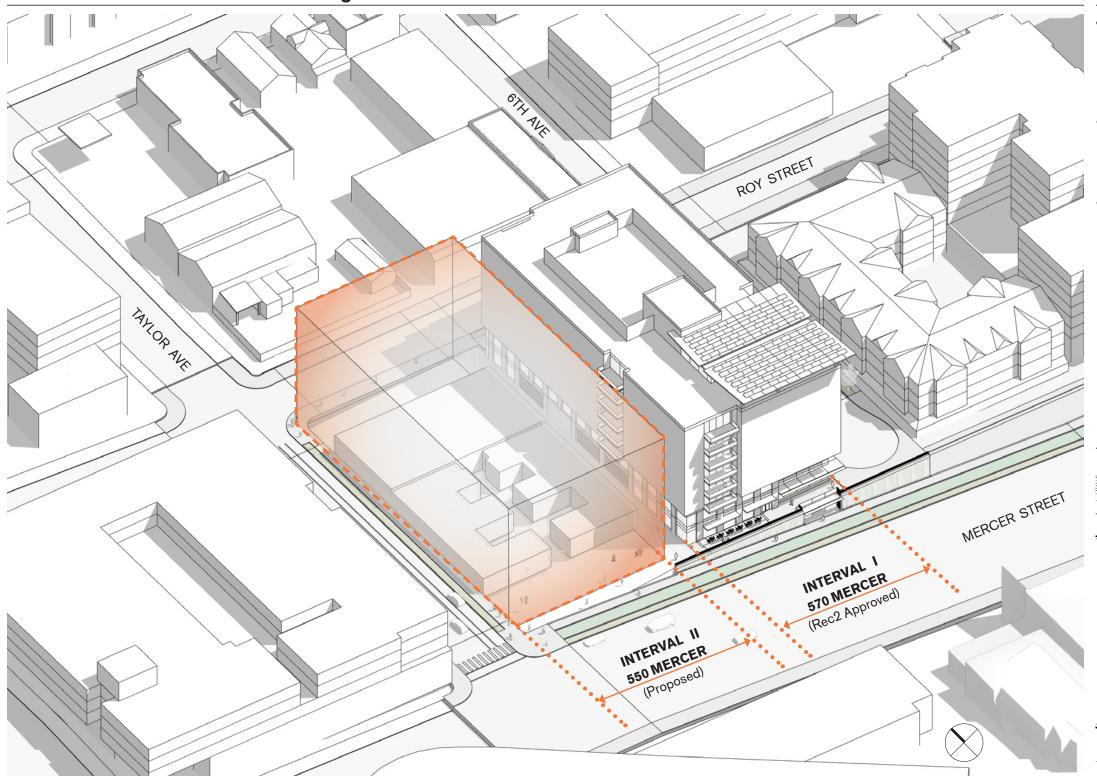
2022 / 8 Floors
Apartments

### 701 Dexter Ave N



**2022** / 11 Floors Lab/Office Building

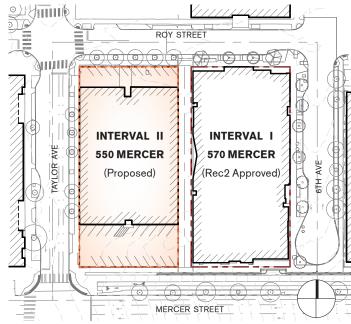
## Axonometric View Of Full Block Facing NorthEast



### **Observations**

- 570 Mercer, also known as Interval I, will be developed by the same owner and design team. This project has received recommendation to finish MUP through the last Rec2 meeting presented to the west design review board.
- The inclusion of the proposed site at 550 Mercer, also known as Interval II, provides the opportunity for both projects to work in unison to create a wholistic approach to redesigning the entire city block.
- The approved design for Interval I, as presented at the last Rec2 meeting on February 16th, 2022, received unanimous support from the community. This project provides a strong precedent and solid framework of design choices that Interval II intends to build on

## Full Block Key Map



### **SITE CONDITIONS**

Conclusions

### **Zoning and Overlay Designations**

The project site is one block away from low rise, multi-family zones, two blocks away from South Lake Union zoning, and a **buffer zone** between low rise and high rise zones. With 65' zoning to the north, and 165' zoning to the south, the projects along Mercer St perform an important role in **defining the boundary** of neighborhood expression, and softening the border between contrasting typologies.

### **Surrounding Uses**

While the immediate area has buildings that encompass every type of use, they are split into nodes. To the west and north is a **heavy focus of residential**, with some of that being low rise buildings. To the east and south is a heavy focus of **new office and commercial development**, most of which is well over 100 feet tall. To the southwest is a major urban hub, which functions as a civic and cultural core **for the entire city.** 

## **Traffic Flow and Siting Patterns**

Mercer St is a **primary vehicular route** through the city, while Taylor St functions as a connector into the Queen Anne neighborhood. There is multimodal transportation in the area via monorail, bike, and bus. There are no transit stops directly on the site, and in general, Mercer St **functions as a border** between a calmer, more residential neighborhood, and a working zone.

## **Prominent Surrounding Buildings**

Many of the existing buildings in the zone represent a manifestation of the **Uptown Arts and Culture District**. Newer projects, a few blocks to the east in SLU, represent the newest evolution of building in Seattle. Blending these two building typologies will be critical for creating a **successful gateway project** into, and out of the Uptown core.

### **Future Prominent Surrounding Buildings**

Proposed projects in the neighborhood possess a **transparency and modern quality**, with high percentages of glazing. Some projects take the approach of driving through a primary building expression, such as **repeating vertical element**. Other projects take the approach of **separate masses** expression within the volume, defined or separated by a gasket or other defining element. These two expressions, while different approaches, offer a vision of what this neighborhood will look like in the **future**.

### **Neighborhood Character**

As one of the most **important and original** neighborhoods, Uptown still maintains some building expressions that have been lost elsewhere in the city. Due to the proximity to the Seattle Center, all nearby projects resonate from this **central hub** and provides a framework for all types of users. Mercer St functions as a fold in the urban fabric between a prominently low rise residential typology, and a high rise expression.

### **Existing Active Neighborhood Spaces**

Seattle Center is one of the **largest open spaces** in the entire city, and is an attraction for residents and tourists alike. Lake Union is another massive attraction and a **thriving hub** for outdoor recreation during hospitable weather. Other nodes of outdoor space and pedestrian circulation compose the Uptown and Queen Anne neighborhoods. The neighborhood north of Mercer St **lacks open space** within close walking proximity.

### **Future Active Neighborhood Spaces**

Proposed spaces in the area are focused on a few different moves: grand entrances, widened sidewalks with setbacks, and public plaza with extensive landscaping and seating. These three approaches create a **unique blend** of space, where private and public blend, and all users in the neighborhood benefit.

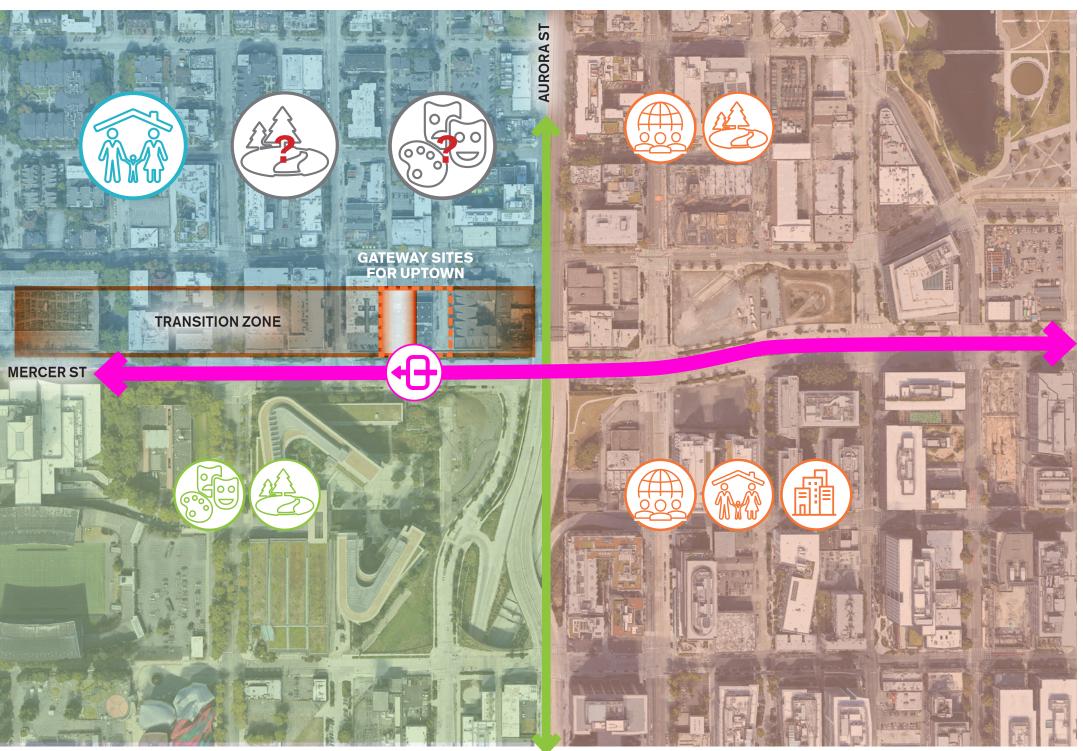
### **Potential Views**

For the first several floors, the project will have **neighborhood views**, including across Mercer St to the Gates Foundation open space plaza. The upper floors will have **uninterrupted views** across to South Lake Union, over towards the Space Needle, and west across the Puget Sound.



### **CONCEPT DEVELOPMENT**

# How do we Fill The Missing Link in this neighborhood?



- Complete the missing link of Transitional Outdoor Space in the neighborhood.
- Express Continuity to the Adjacent Development, using contextual analysis to contribute to building design.
- Utilize Pedestrian Movement to encourage flow into an on-site outdoor space that anchors the gateway.
- Respond to contextual typologies, reducing bulk and scale as a Transition to Lower-Scale Neighborhood identity.
- Echo the Language of Rhythm as Scaled Elements that align with Uptown and Queen Anne vernacular, creating a pattern that reinforces movement.

## Map Key



Workforce



Arts & Culture



Residential



Recreation & Open Space



Urban Environment







Newer Projects - unlikely to redevelop soon



Primary Entrance into Arts & Culture District

## Influential Site Design Elements

- 1 Mercer street wall opening
- 2 Widened & enhanced streetscape
- 3 Alley activating retail
- 4 Bike commuter facilities
- 5 Public art mural
- 6 Street corner curb bulb
- 7 Pockets of widened & enhanced streetscape

## **Site Design Opportunities**

- 1 Erode Mercer street retaining wall
- 2 Outdoor space that promotes connectivity
- 3 Gateway element drawing pedestrians into the site
- 4 Widened pocket of enhanced streetscape
- 5 Street corner curb bulb

## Map Key

) In

Influential Site Elements

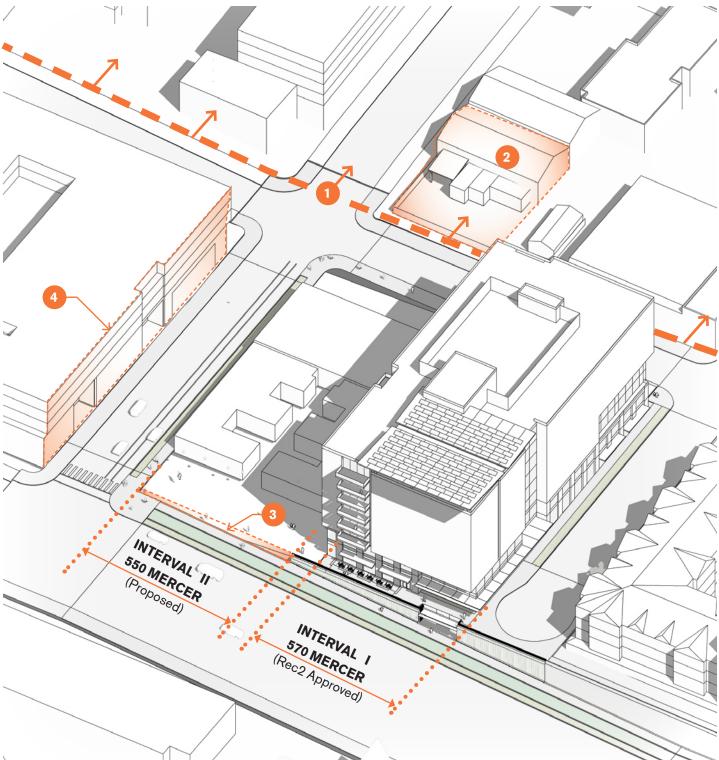


Site Design Opportunities

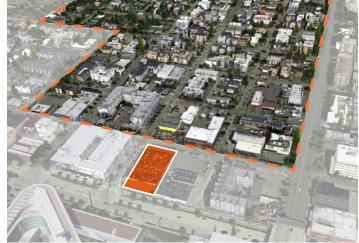


Connection Opportunities

## **Axonometric View Of Full Block Facing NorthWest**



## Neighborhood Transition



Directly North of the site begins a very different neighborhood than exists on Mercer St. Significantly more residential, industrial building types, lower scale development, and successful retail with outdoor seating announce the transition.

## 2 Citizen Cafe



The project will take note of the successful Citizen Cafe in its massing approach, as it contributes to a particularly calm character to Roy street.

## Mercer St Retaining Wall



Mercer St is the primary arterial providing east/west access in this area of Downtown. Focused entirely on vehicles originally, the dedicated bike lane and increasing pedestrian activity stand in contrast with the dominant retaining wall. This creates a physical and visual barrier between neighborhoods, and discourages multi-model transportation

## 4 The Lumen Condominiums



The Lumen condos are a newer development in the area which can be referenced for certain datums and modulation. Taylor Ave (western side) is predominately loading docks and parking access, creating a mostly inhospitable streetscape in a busy area.

A Mercer St - Facing North



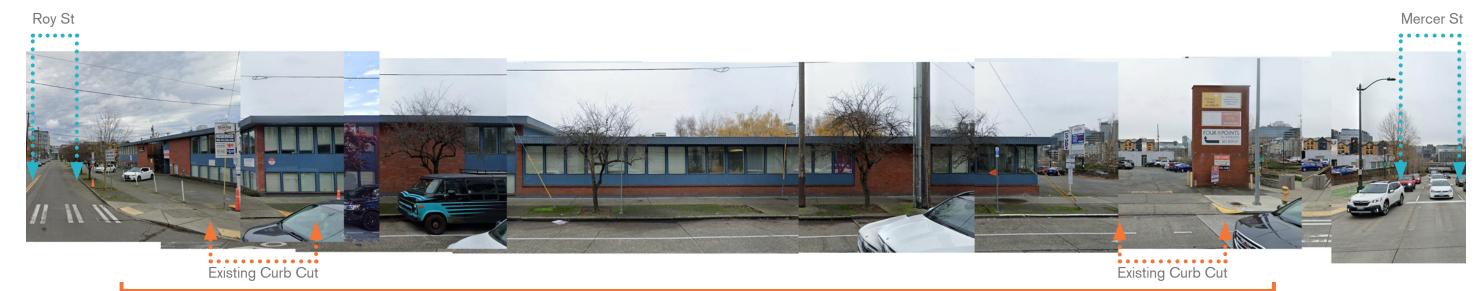
1 Gates Foundation

**B** Mercer St - Facing South

114

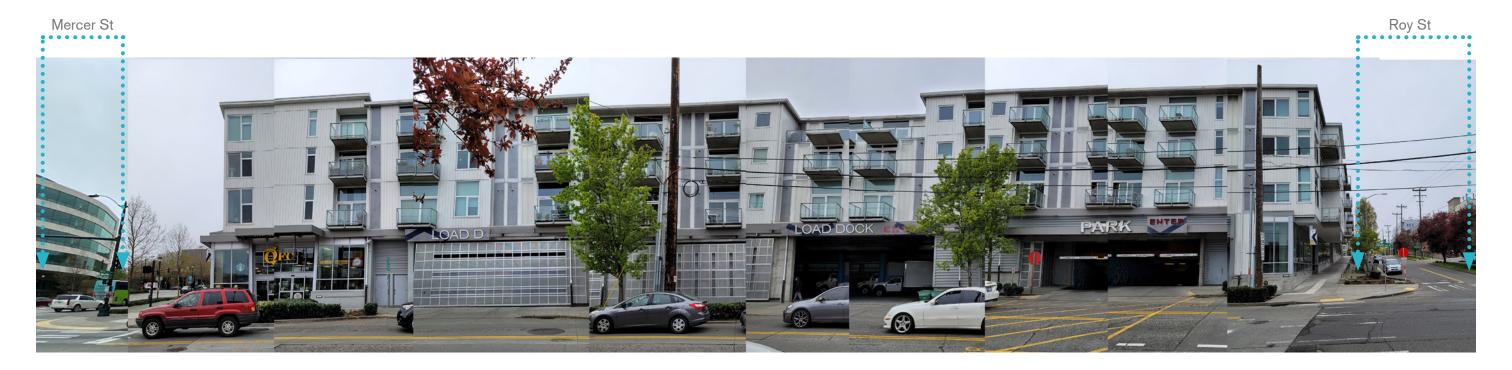
## **SITE CONDITIONS**

Streetscape Photomontage - Taylor Street



550 Mercer - Site

## Taylor St - Facing East



## **SITE CONDITIONS**

Streetscape Photomontage - Roy Street





Roy St - Facing South



Roy St - Facing North



### **CS1 Natural Systems & Site Features**

### 1. Topography

- a. Step the elevation of ground floors so that building entrances and ground floor roughly match the street grade.
- e. Design ground-level treatments that create a safe, attractive transition between the building, site, and the sidewalk.
- **2. Plants & Habitat.** Create habitat landscapes of native species in building setbacks, right-of-ways, green roofs, walls, and gardens.

### **Design Response**

- a. The project will remove the Mercer Street wall for a significant amount of the frontage, promoting pedestrian connectivity to a community accessible outdoor space. The primary office lobby will be located off this outdoor space, that has a partially flush transition to the Mercer St sidewalk. A bioretention planter is proposed along Mercer, stepped to follow the sloped grading containing native vegetation and a visible representation of the project's sustainability goals.
- b. The retail entrances along Taylor & Roy will be set close to the finished grade of the streets. A covered arcade will blend the indoor/outdoor transition of the retail space adjacent to the plaza.

### **CS2 Urban Pattern and Form**

**1. Sense of Place.** Use site identity features at Uptown Gateway locations. Examples of identity features include art, welcoming or way-finding signage, distinct architecture or major public open space.

### 3. Corner Sites

- a. Buildings, retail treatments, and open spaces should address the corner and promote activity.
- c. Corner sites are often desirable locations for small publicly accessible plazas, art, and other special features.

### **Design Response**

- a. The building massing is a direct response to creating a gateway site for Uptown. Through the use of contrasting building expressions, a community accessible outdoor space, and demolition of the retaining wall along Mercer, pedestrians will be welcomed to the neighborhood with a strong dedication to the ground level experience.
- b. The community accessible outdoor space along Mercer St is a direct approach to promote activity at the building's more prominent and public corner. A bioretention planter and possible artwork at the intersection of Mercer and Taylor will further contribute to the announcement of the Uptown Arts & Culture district.

# CS3 Architectural Context and Character

### 1. Placemaking

- a. Include design features that make the Art & Cultural District visible to pedestrians such as interpretive panels, banners, plaques, building names, wayfinding, signage, and art.
- b. Make visual art an integral part of the design concept, especially along Mercer/Roy Street corridor, near theaters and other cultural venues, and in the Heart of Uptown.

### **Design Response**

a. The dedication to a large outdoor space on the site is the first form of placemaking established within the project. Additionally, a stepped bioretention planter and public artwork will be featured at the southwest corner of the site. The removal of the Mercer Street retaining well completely changes this site's urban edge along the street. Instead of being an after thought, 550 Mercer will blend the neighborhoods to the north more seamless to the primary arterial accessing Uptown and Queen Anne.

## **PL1 Connectivity**

**Public Life** 

**1. Enhancing Open Spaces.** Locate plazas intended for public use at or near grade to promote both a physical and visual connection to the street. Where publicly accessible plazas abut private open space, use special paving materials, landscaping, and other elements to provide a clear definition between the public and private realms.

### 3. Pedestrian Volumes and Amenities

c. All of Uptown should be considered a "walking district". New development should strive to support outdoors uses, activities and seating that create an attractive and vibrant pedestrian environment. Consider widening narrow sidewalks through additional building setbacks at street level.

### **Design Response**

- a. The publicly accessible space at the south is partially at grade, and located midway along the vertical drop of Mercer. This will promote the highest degree of physically of visual connectivity possible. The private (retail) portion of the outdoor space will be at a separate elevation and separated via stepped bioretention planter.
- b. Demolishing the retaining wall is the first step towards promoting a walking environment within uptown. Several ground and podium level voluntary recesses and step-backs occur to promote better walkability along Taylor and Roy.

### **DESIGN GUIDELINES**

High Priority Guidelines

### **Public Life**



### **PL3 Street Level Interaction**

### 1. Entries

- a. Design entries to be pedestrian friendly. Consider how the position, scale, architectural detailing, and materials will create an entry that is clearly discernible to the pedestrian.
- c. The use of distinctive paving, detailing, materials and landscaping, and artistic designs with cultural references is strongly encouraged. Building addresses and names (if applicable) should be located at entrances, and tastefully crafted.

### **Design Response**

a. The primary building entrance has been specifically located directly off the community accessible outdoor space, the most prominent and important feature on site. The two story expression with columns anchoring either side will highlight this as a destination for pedestrians. The secondary entrance along Taylor coincides with a building massing move that will make circulation to this destination visibly apparent from quite a distance away.



### **PL4 Active Transportation**

- 1. Planning Ahead for Bicyclists
- a. Bike Facilities. Placement of long-term bicycle storage should consider cyclist safety and ease of access. Provide the required short-term bike racks near main building entrances to accommodate private and shared bicycles. Consider customizing the SDOT approved racks to reflect Uptown Arts and Cultural District branding such as colors, distinctive place names, plaques, or other design elements.
- **b. Bike Connections.** Facilitate connections to major bicycle infrastructure including the Mercer Street protected bike lane.

### **Design Response**

- a. The community accessible outdoor space will have some short term bike parking, located directly off the protected bike lane along Mercer. Cyclists requiring entrance to the building can access the office lobby from either Mercer or Taylor, whichever is most convenient. The bike parking will be located near the north end of level P1, not far from the elevators.
- b. The demolition of the retaining wall along Mercer Street will encourage multi-modal transportation, and ease the access to the protected bike lane.

### **Design Concept**



## **DC2 Architectural Concept**

- 1. **Architecture.** Architecture should emphasize human scale, streetscape rhythm, quality detailing and quality materials.
- 2. Exterior canopies. Exterior canopies and other weather protection features are favored throughout Uptown, should be scaled appropriately and blend in well with the building and surroundings.
- **3. Adjacent context.** Tall buildings should respond to adjacent context

### **Design Response**

- a. The building massing is reflective of the approach to respect context and scale between two opposing neighborhoods and zonings. Recesses and set-backs occurs at the first two levels to match local datums of 570 Mercer and the Lumen building, while pilasters and exposed columns create an expression of rhythm along all street frontages.
- b. Overhead weather protection will be provided at the prominent building entrances and major intersection, to encourage pedestrian flow and circulation into the community accessible outdoor space.
- c. Several podium level moves have been crafted to reduce the bulk and scale of the building, in addition to vertical gaskets that reduce the mass and length of facades.



### DC4 Exterior Elements & Finishes

- 1. **Materials.** Quality materials should be used on all levels and all sides of the building. Materials, colors, and details should unify a building's appearance.
- 2. Commercial Lighting. Pedestrian lighting for public sidewalks is encouraged, and should enhance the unique identity of the Uptown Arts & Cultural District without disturbing any adjacent residential properties.
- **3. Pavement & Design Elements.** Permeable pavement or artistic design elements should be considered where landscaping is not feasible.

### **Design Response**

- a. Quality materials will be used on all surfaces of the building, similar in nature but different in color and texture to 570 Mercer. The building will have two different expressions (and A and a B) that create a contrasting language, allowing expression A to be a focal point and emphasize this site as a gateway.
- b. Pedestrian lighting will be provided along the street frontages and community accessible outdoor space.



ARCHITECTURE PLANNING INTERIORS SUSTAINABILITY

710 SECOND AVENUE SUITE 1400 SEATTLE WASHINGTON 98104-1710 t. 206.245.2100 f. 206.245.2101 COLLINSWOERMAN.CON