

Streamlined Design Guidance Application



OWNER:
MRN Homes LLC
7556 12th Ave NE
Seattle, WA 98115

PROJECT:
NW 57th St Townhouses (3038797-EG)
1136 NW 57th St
Seattle, WA 98107

ARCHITECT: Novion Group Inc.
8634B 3rd Ave NW
Seattle, WA 98117
rod@noviongroup.com (206.361.6133)

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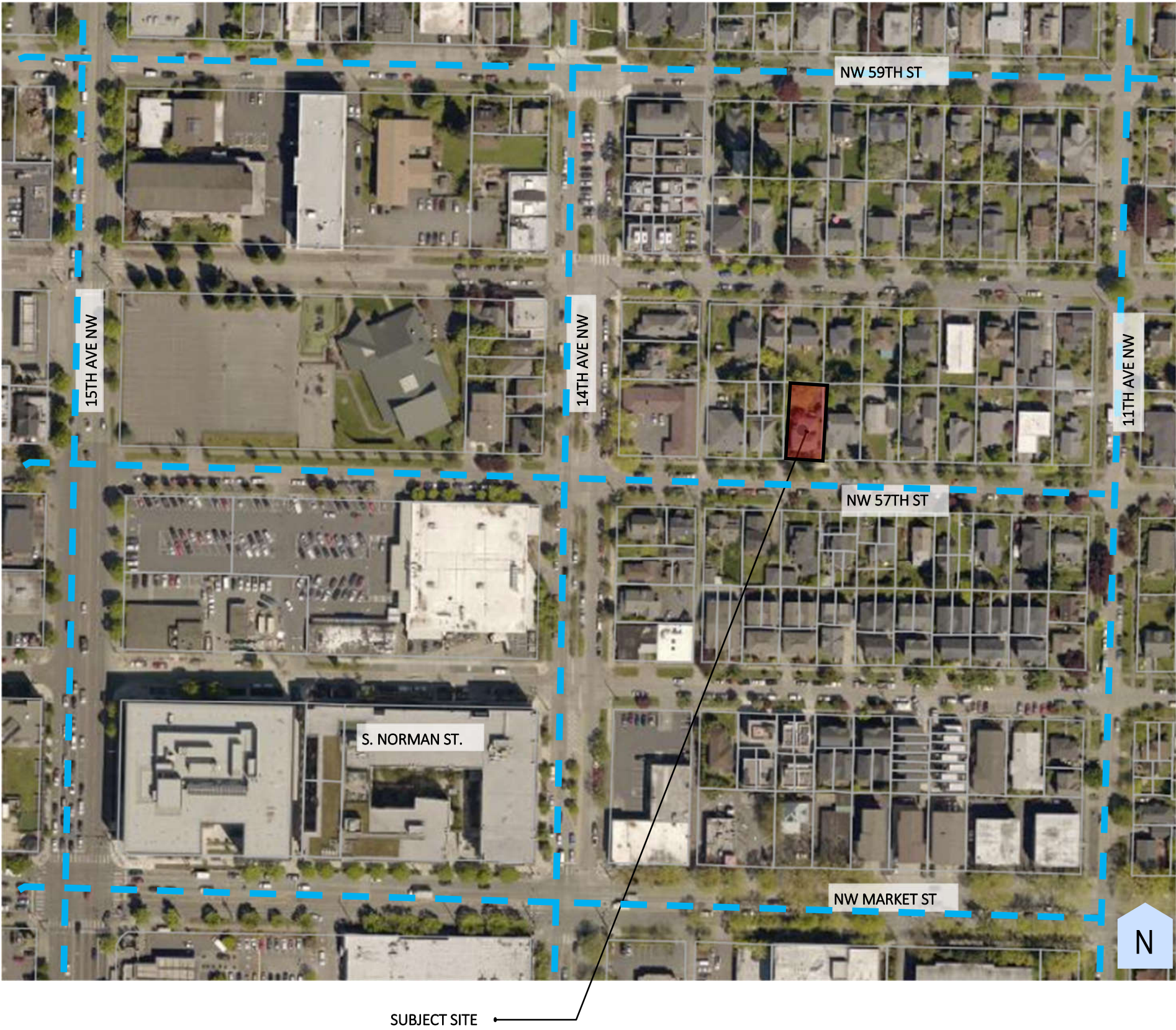
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COMMUNITY OUTREACH MATERIAL



DEVELOPMENT OBJECTIVES

PROJECT TEAM

Owner: MRN Homes LLC

7556 12th Ave NE
Seattle, WA 98115
Contact: Michael Nelson

Architect & Applicant: Novion Group Inc.

8634B 3rd Ave NW
Seattle, WA 98117
Contact: Shaun Novion

Landscape Architect: GHA Landscape Architects

1417 NE 80th St
Seattle, WA 98115
Contact: Neil Buchanan

SDCI Project #3038797-EG

Contact: Theresa Neylon

Existing Site:

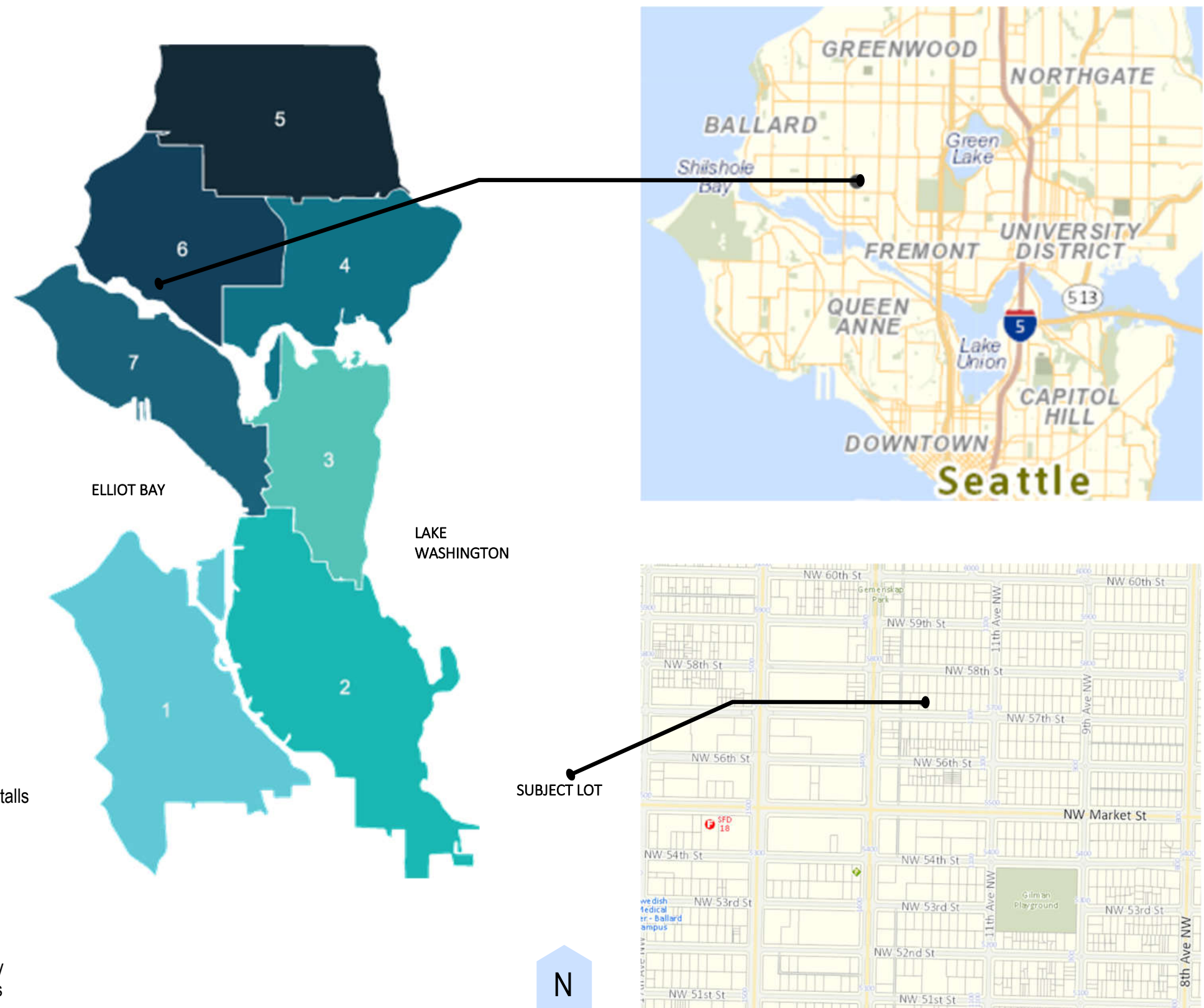
Address: 1136 NW 57th St.
Location: East of 15th Ave NW & North of NW Market St.
Site Area: 5,001 sf
Existing Development: Residential Single Family

Project Proposal:

Number of Residential Units: 6 townhouse units
Number of Parking Stalls: 1 garage and 4 surface parking stalls
Gross Floor Area of Residential Use: 7299.6 sf

Developmental Objective:

To provide increased multifamily housing in a recently upzoned area in response to higher density demands. The current configuration of the lot underutilizes the development potential. The proposal is to provide 6 new townhouse units in a location where the residents will benefit from the easy connection to neighborhood amenities and public transportation, as well as access to many public sites that encourage community interaction.



PROJECT DESCRIPTION

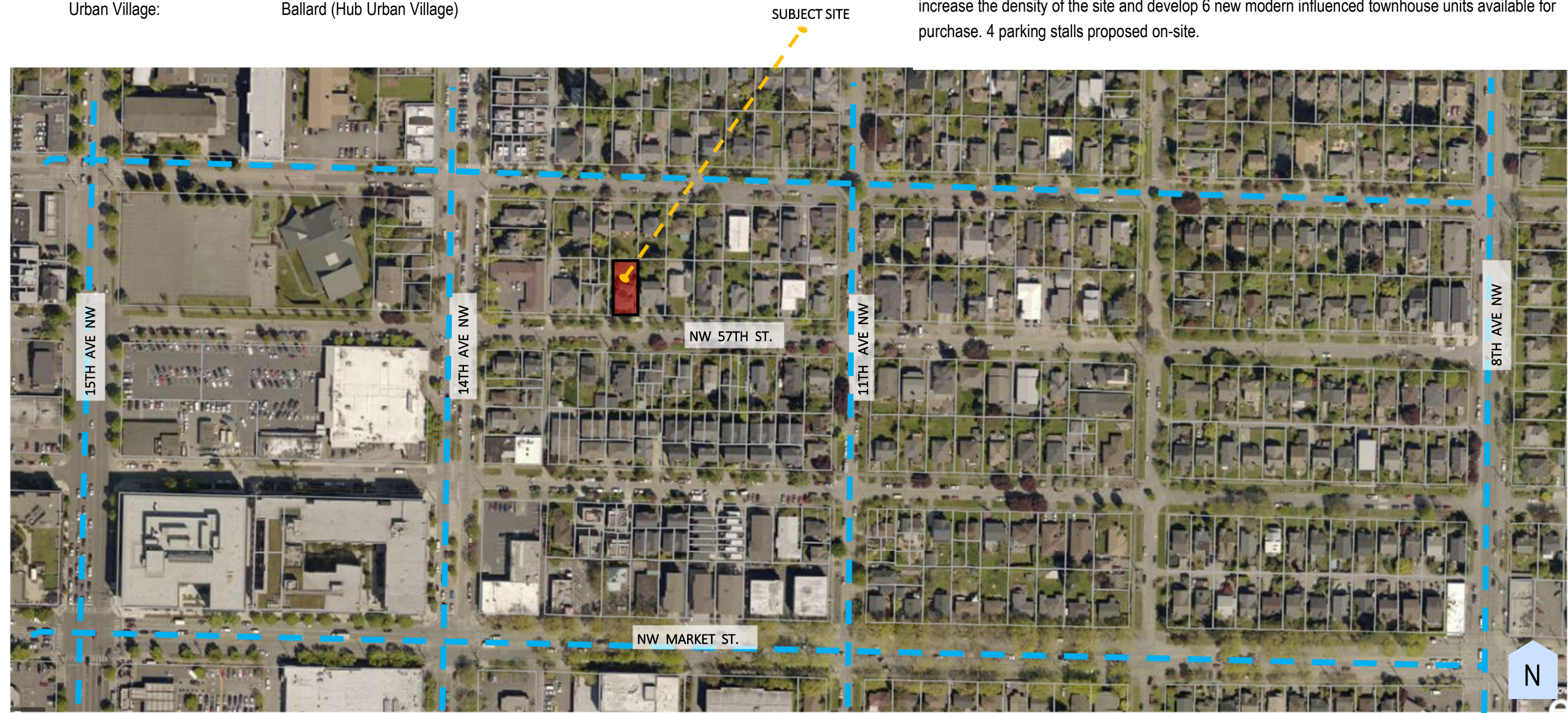
Site Information:

City: City of Seattle
Existing Zoning: LR2 (M1)
Site Area: 5,001 sf
APN Number: 2767900740

Comprehensive Plan Land Use: Crown Hill / Ballard
Neighborhood Planning Area: Crown Hill / Ballard
Urban Village: Ballard (Hub Urban Village)

The subject site is currently being used as a single family structure, located inside the Ballard Hub Urban Village. It is situated one block East of 15th Ave NW and two blocks North of NW Market St.

Recent land use actions have upzoned the subject lot from SF5000 to LR2 (M1). Although many of the surrounding lots have retained their single family structures, a great deal of new developments have occurred, and are under way. The new construction takes advantage of the increased density and FAR allowances from the recent upzone changes. Increased housing is both a priority of the City and Neighborhood specific plans, for a rapidly growing neighborhood center. This proposal aims to increase the density of the site and develop 6 new modern influenced townhouse units available for purchase. 4 parking stalls proposed on-site.



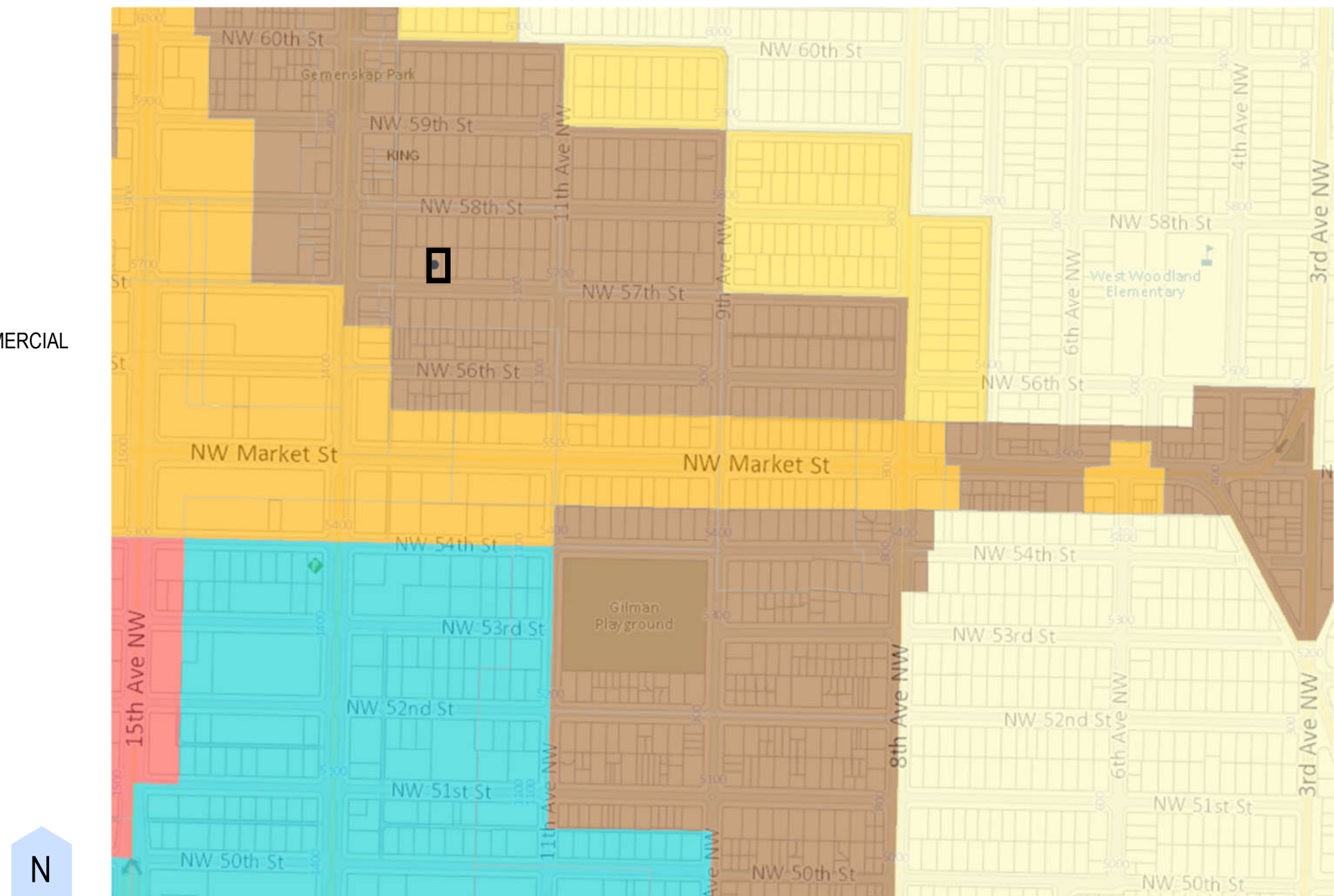
ZONING MAP

The subject site, located on NW 57th St, between 14th Ave NW and 11th Ave NW, is zoned LR-2 (M1). The adjacent blocks to the north and south are also zoned LR2. The blocks decrease in density towards the East, ranging from LR1, to RSL to SF5000. To the West and South are Neighborhood Commercial and Industrial zones. South of NW Market St are an additional mix of residential zoning.

There is a planned effort to continue defining the neighborhood, through growth and a cohesive mix of commercial and residential uses. The goal is to create a walkable town center with increased connectivity through safe non-vehicular routes to parks, schools, transit and engaging public spaces that foster a sense of community.

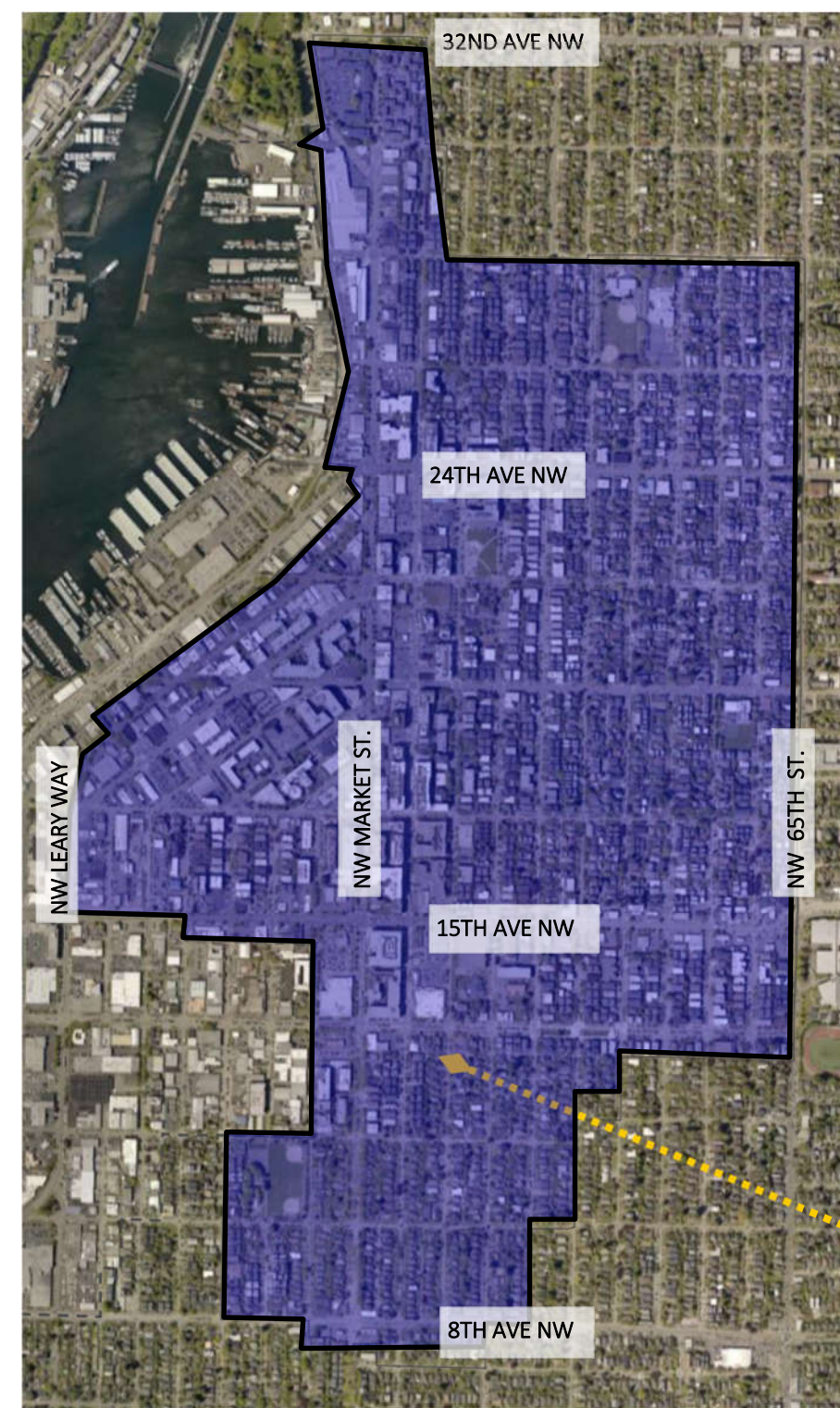
LEGEND: CURRENT ZONING

- SUBJECT SITE
- SF5000—SINGLE FAMILY 5000
- RSL—RESIDENTIAL SMALL LOT
- LR1, LR2, LR3—LOWRISE
- NC1, NC2, NC2-P, NC3, NC3-P—NEIGHBORHOOD COMMERCIAL
- C1—MIXED USE OF RESIDENTIAL & COMMERCIAL
- IG2 U/65, IB U/45—INDUSTRIAL



NEIGHBORHOOD ANALYSIS

BALLARD HUB URBAN VILLAGE

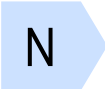


The Ballard Hub Urban Village footprint extends along NW Market St, from 8th Ave NW to 32nd Ave NW, and as far North as NW 65th St, and as far South as NW Leary Way. It encompasses the Ballard neighborhoods of Adams and West Woodland. The zoning ranges from RSL to Industrial, with many areas being recently upzoned. The nearest arterials to the subject lot are 15th Ave NW, one block west and NW Market St, two blocks south. Businesses large and small coexist along these arterials, with a healthy amount of newly constructed multifamily structures; providing needed housing in a exponentially growing North Seattle neighborhood. Additional amenities inside the Urban Village, and near the subject lot, include a hospital, a fire station, schools, parks and greenspaces, retail, restaurants, and safe walking routes. Frequent transit service is accessible within a quarter mile of the subject site on 15th Ave NW (D Line) and NW Market St (44). These arterials connect the subject area to the community and the rest of Seattle at large. The subject site's location within the Ballard Hub Urban Village will benefit future residents with easy access to businesses, community centers and green spaces. There are pedestrian friendly routes and dedicated bike lanes to increase mobility options that help nurture a community orientated neighborhood prepared for increased growth.

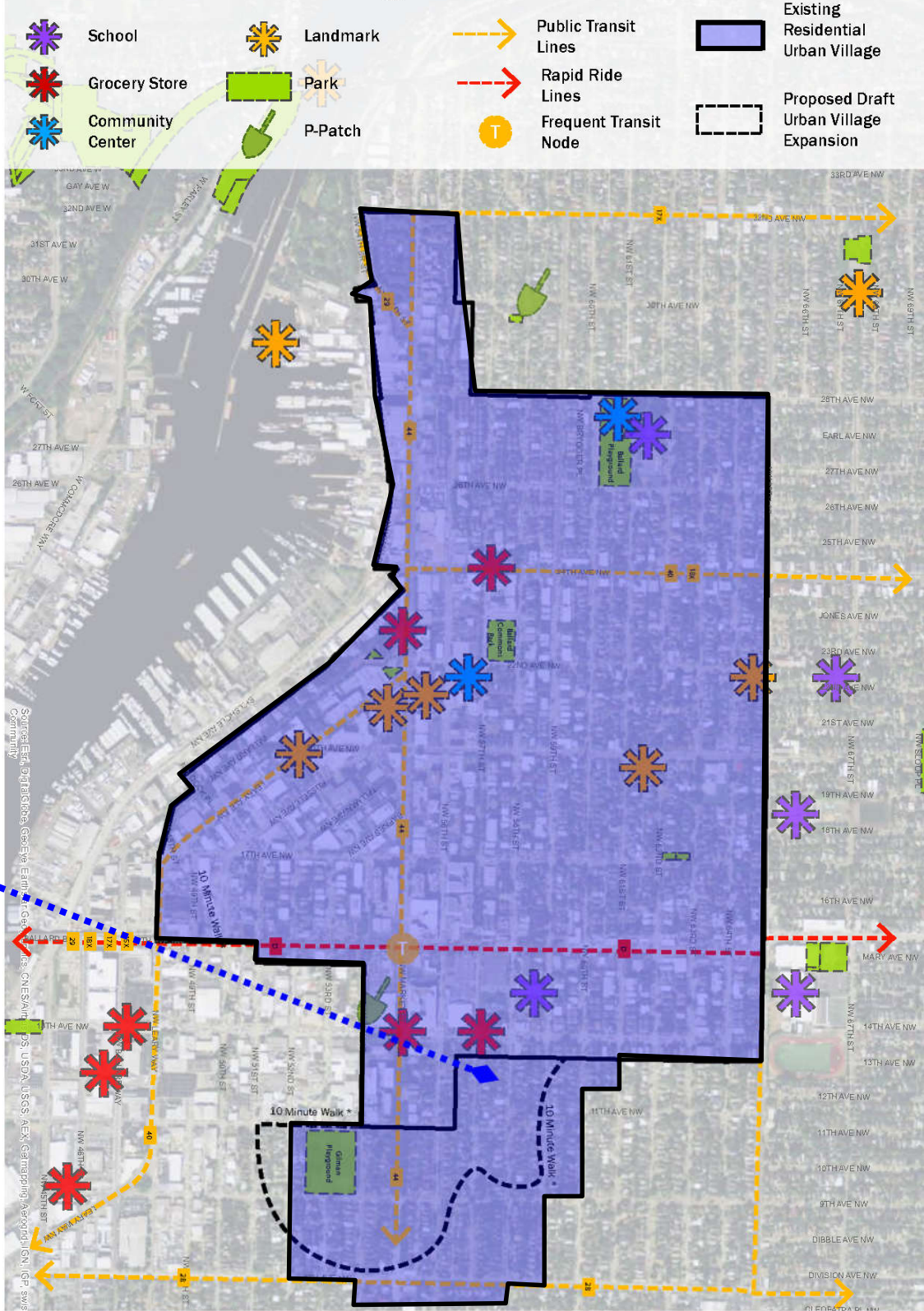
SUBJECT SITE

BALLARD HUB URBAN VILLAGE

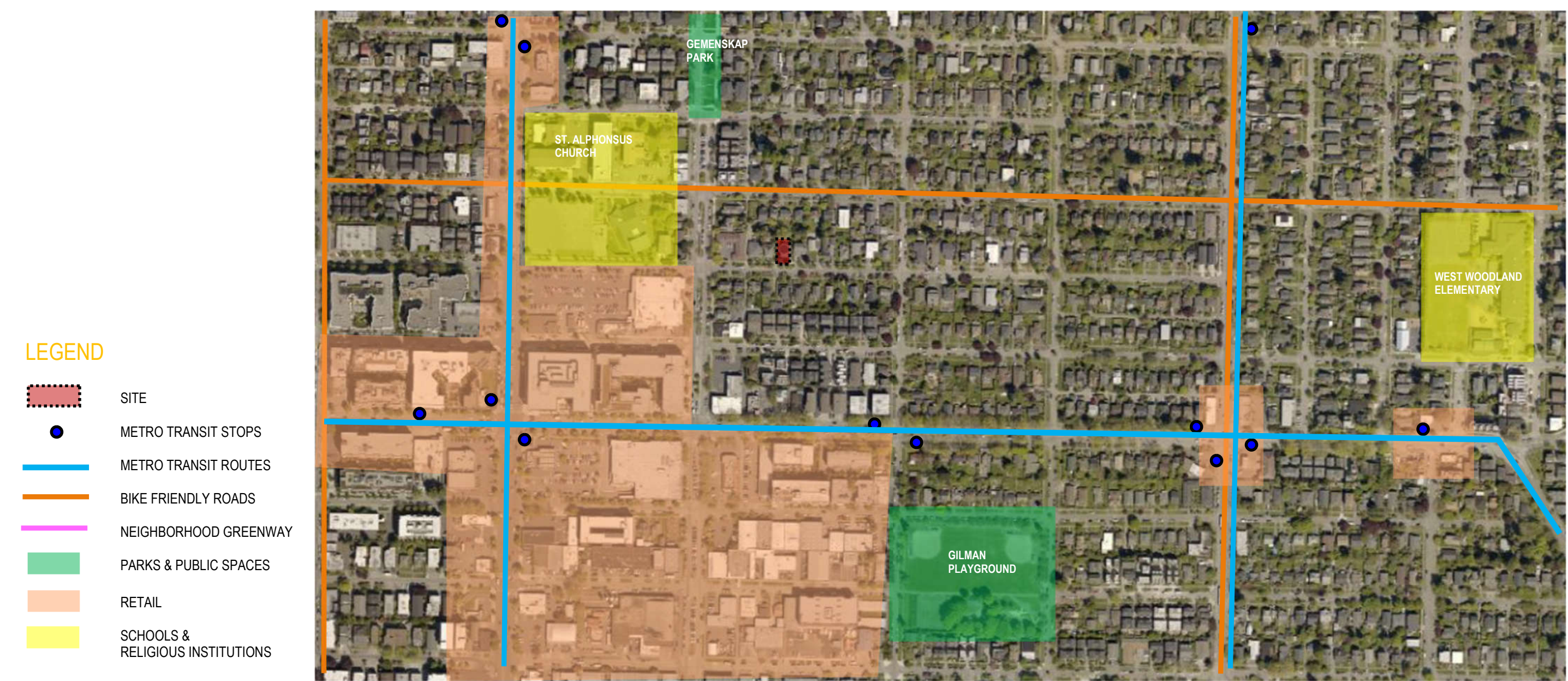
SUBJECT SITE



Ballard Residential Urban Village



VICINITY MAP



TRANSIT

There are multiple Metro transit stops and routes, within blocks of the subject site, which is mapped in a Frequent Transit Service Area. The routes primarily run north/south along the major arterials, connecting the subject area to Downtown (D line & #28). Traveling East residents can connect to the UW area (#44). All routes allow for connections with other lines, that link the subject area to even more Seattle neighborhoods.

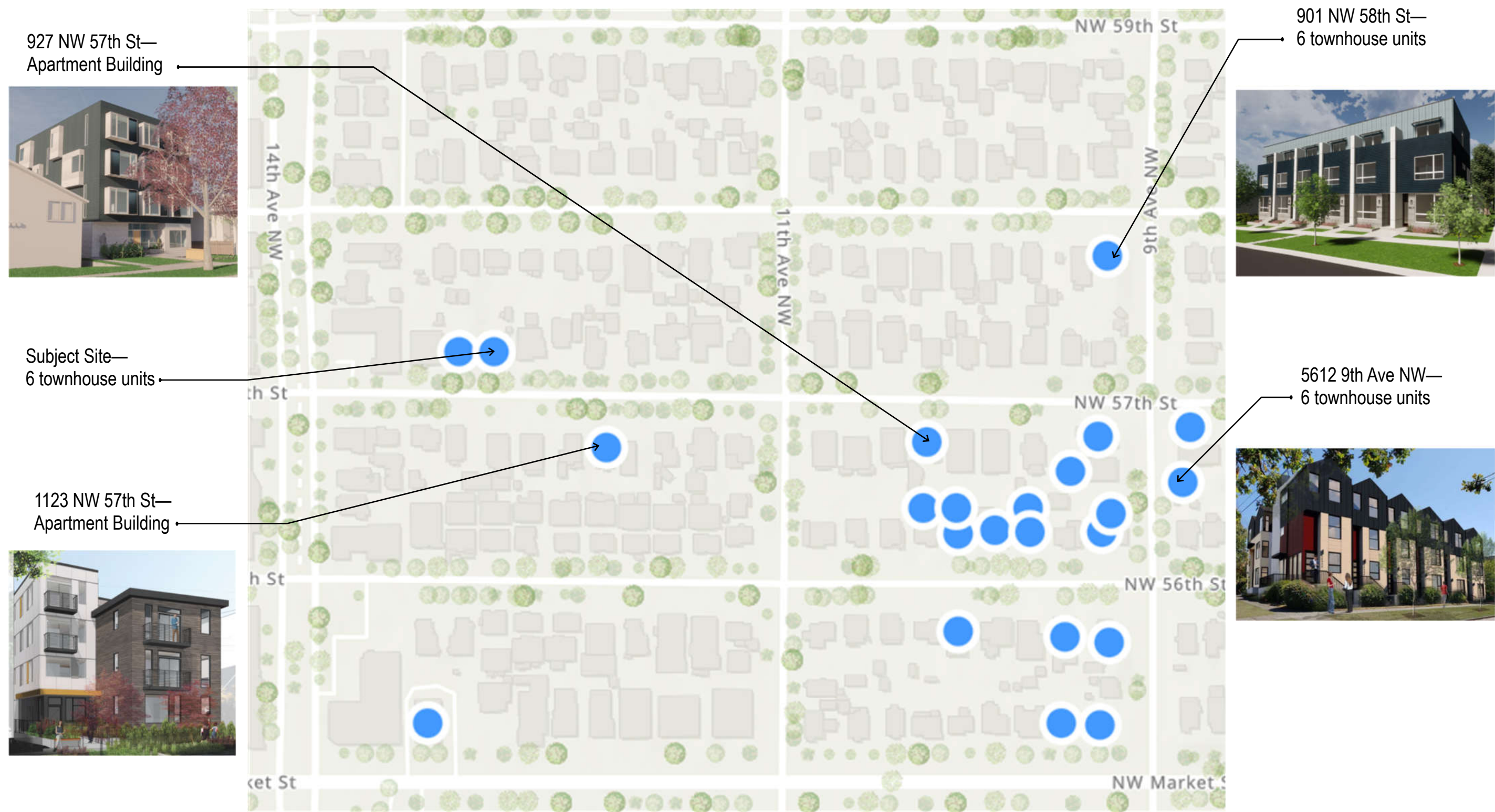
CYCLING

There are bike friendly streets along 17th Ave NW, NW 58th St and 8th Ave NW. There are parks open to bicycles, including Woodland Park not far from the subject site. The Master Bike program has future plans to fill the “missing link” of the Burke Gilman Trail along the south edge of the Ballard Hub Urban Village.

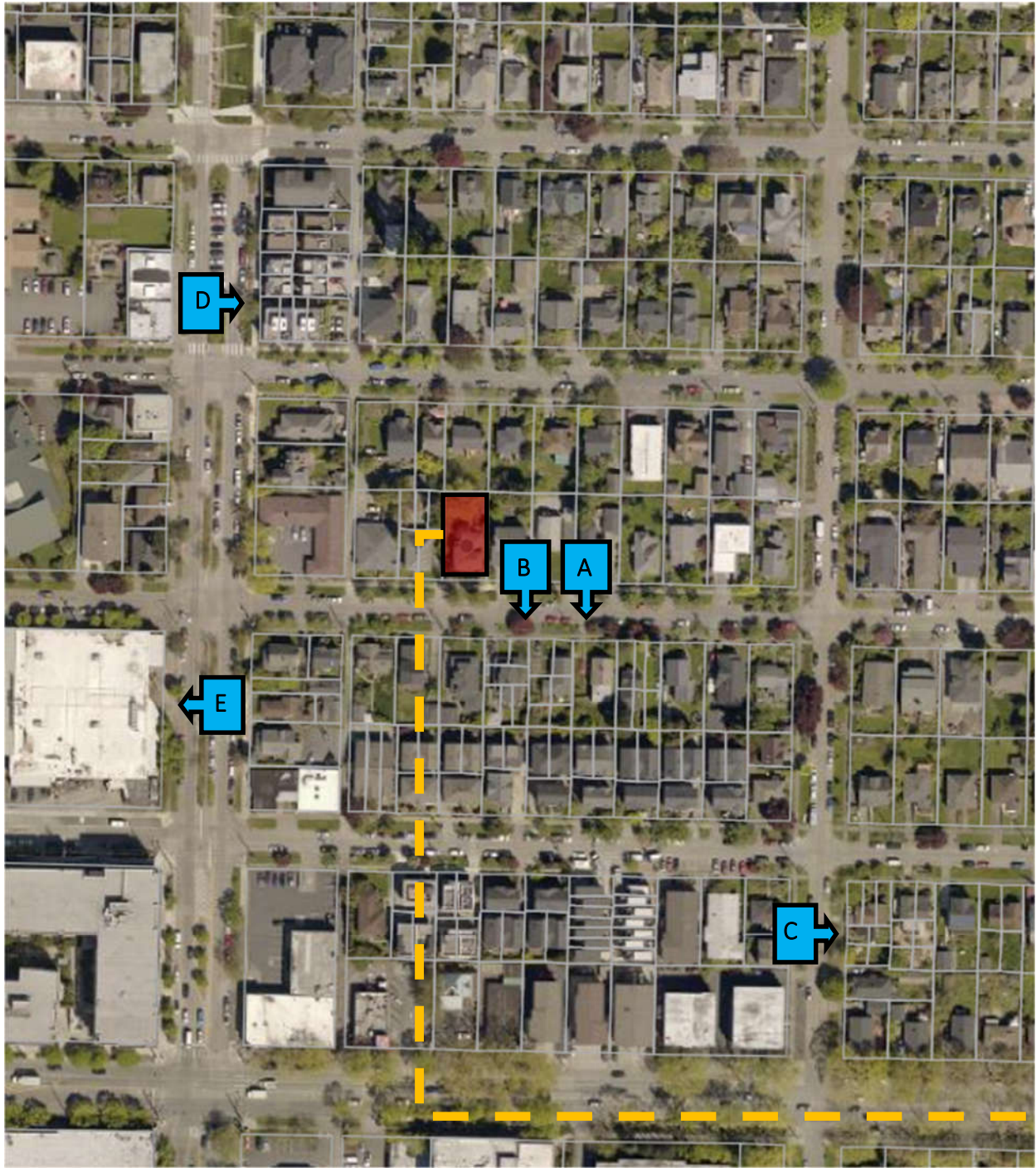
RECREATION

The subject site is conveniently located near, and a short travel distance to many retail stores and public recreational amenities. These include grocery stores, restaurants, banks, pharmacies, parks, playfields, and pedestrian friendly streets. The opportunity for future residents to participate and engage with the community will be easily achieved with an already established presence of nearby amenities

INFLUENTIAL PROPOSED DESIGN REVIEW PROJECTS—IMMEDIATE VICINITY



INFLUENCIAL NEW DEVELOPMENT—IMMEDIATE VICINITY



A—1125 NW 57TH ST



B—1133 NW 57TH ST



C—5513 11TH AVE NW



D—5804 14TH AVE NW



E—1400 NW 65TH ST

The surrounding neighborhood context is a mix of mid-century craftsman style single family structures and new modern style multi-family housing. The exterior façade materials range from brick, stone, wood, vinyl and cement board. A full spectrum of color is present in both old and new structures. The proposal is drawing its design from the more modern element prevalent in new development.

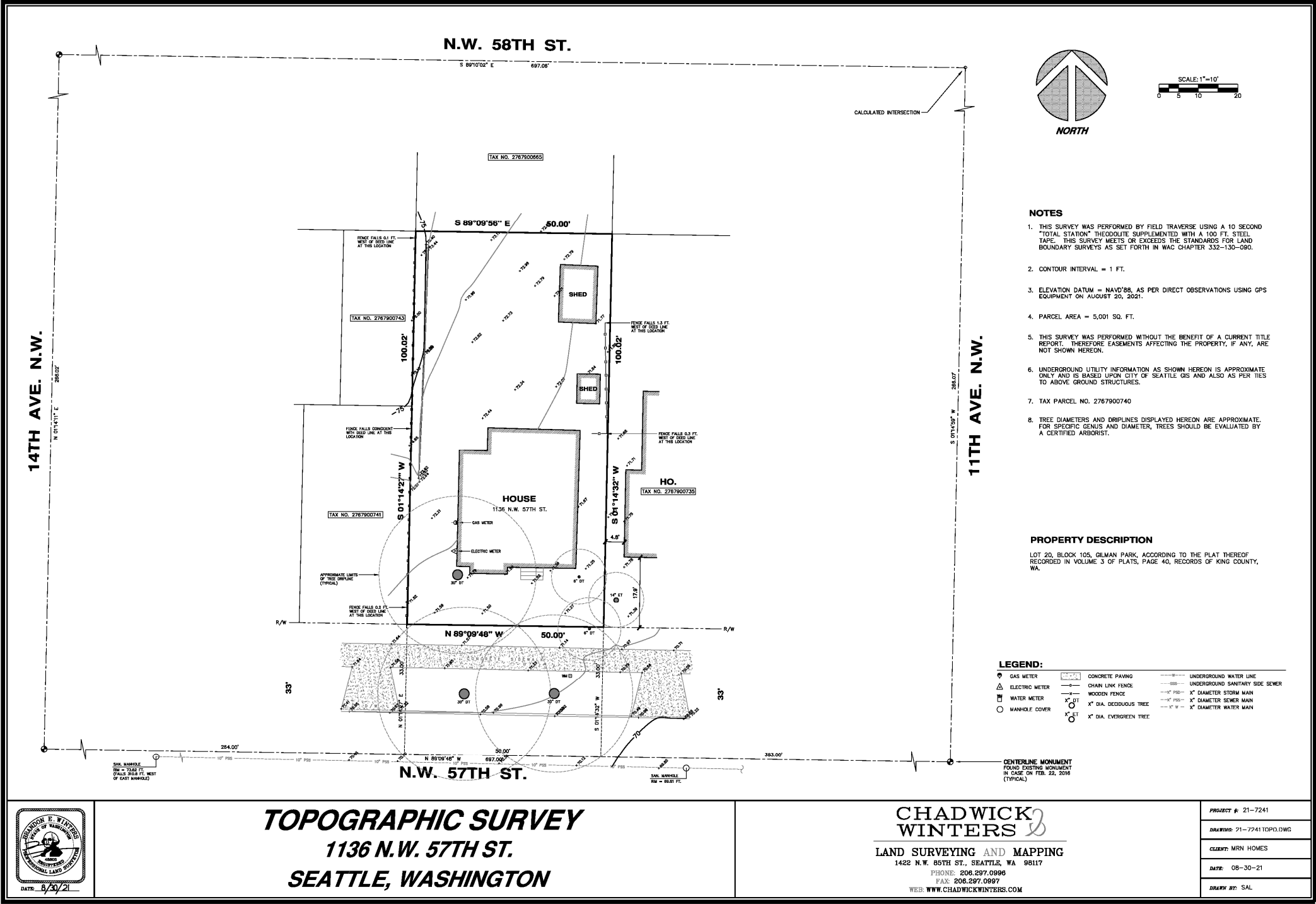


SUBJECT SITE

SITE SURVEY

The subject site is a mostly rectangular shaped parcel with a moderate cross slope from East to West. The site fronts NW 57th St, one block East of 15th Ave NW and two blocks North of NW Market St. It is located in the Ballard Hub Urban Village and a Frequent Transit Service Area. It is zoned LR2 (M1), recently upzoned from SF5000. The ROW is of adequate size and is improved with curbs, sidewalks and street trees.

- Existing single-family structure centrally located on subject lot to be removed
- Existing hardscapes to be removed and/or replaced
- Existing trees onsite to be removed
- Existing Street Trees required to remain

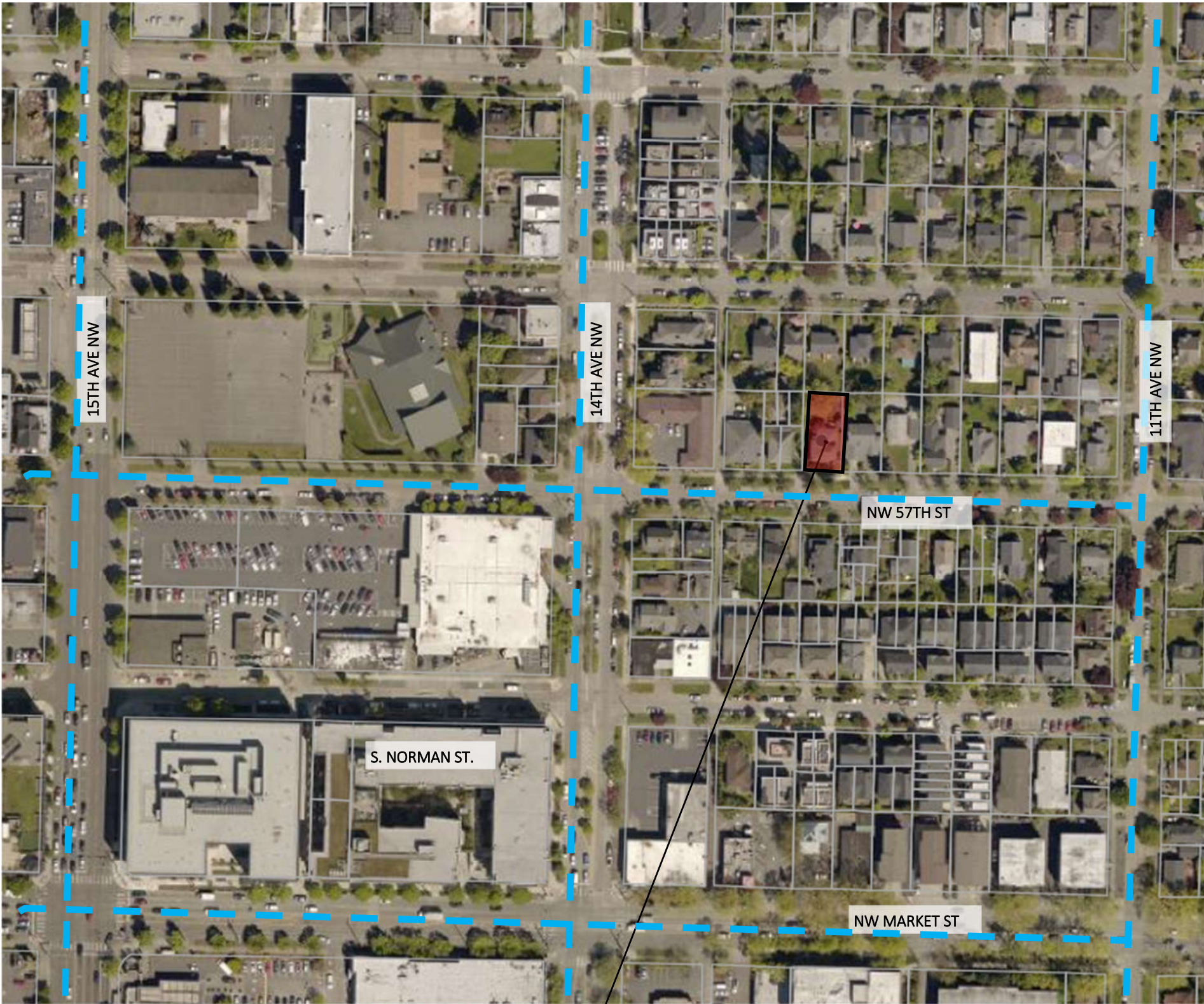


SITE ANALYSIS

The proposed project will be developed on what is presently being used as a single family structure, fronting NW 57th St, located within the Ballard Hub Urban Village. To the West, South and East of the subject lot are newly constructed townhouses, with many more developments in the planning and development stage. The Zoning of the subject lot is LR2 (M1), recently upzoned from SF5000. Residential zoning continues East with RSL and SF5000. One block West of the subject lot is Neighborhood Commercial zoning, all along 15th Ave NW. New and proposed development surrounding the subject lot are taking advantage of increased density limits, and regularly single family structures are being replaced with multi-family housing. The subject neighborhood is an urban hub, and increased housing is encouraged to keep up with the growing center.

The subject lot will be cleared of all existing structures and improvements. The existing foliage will be removed and replaced with new native plants and trees. 3 onsite surface parking stalls, and 1 garage stall are proposed, with access from NW 57th St. Curbs, sidewalks and a planting strip are present, with existing street trees to remain.

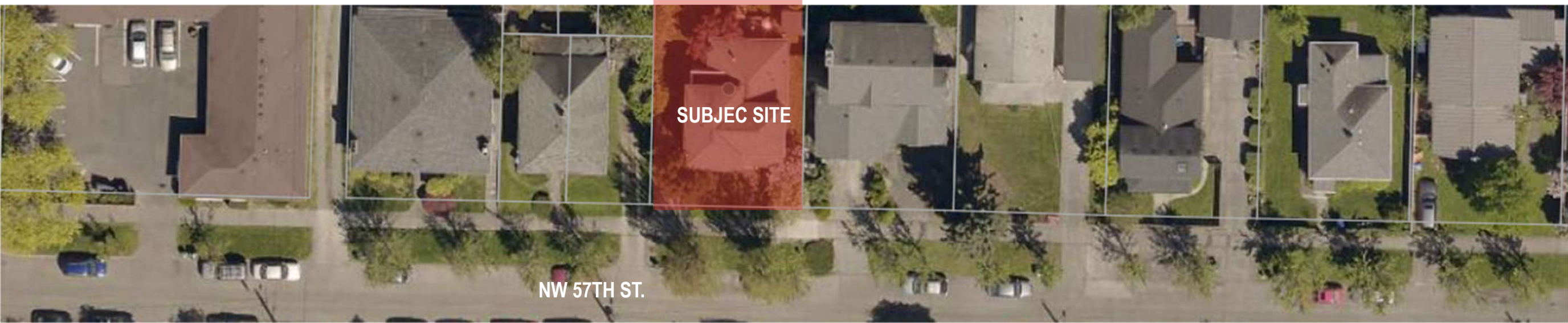
A notable feature of the subject site would be it's location in the Ballard Hub Urban Village, as well as its proximity to a host of public amenities and services. It is conveniently located near major arterials, with frequent transit stops a short distance away. The proposed roof decks should provide an expansive territorial view of the surrounding neighborhood while onsite. Whereas many public amenity spaces near by will supplement outdoor activities.



STREET ELEVATIONS—NW 57TH ST—LOOKING AT THE SUBJECT SITE



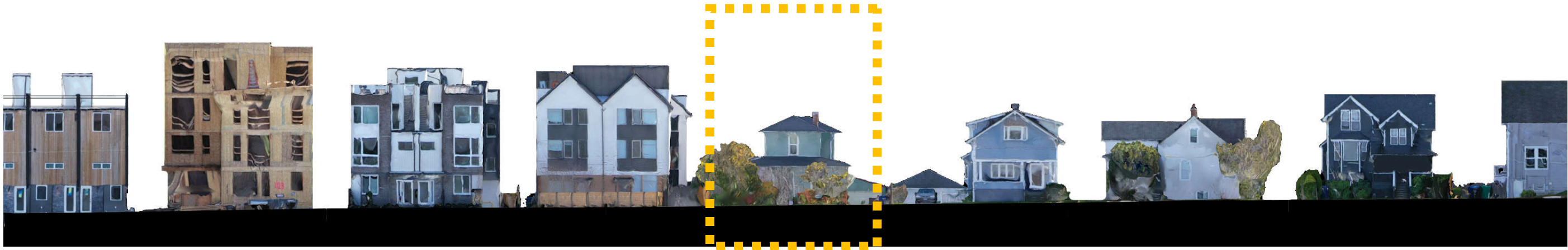
NW 57th St—Looking North at the Subject Site



Aerial View of Subject Site—1136 NW 57th St

STREET ELEVATIONS—NW 57TH ST—LOOKING ACROSS STREET FROM SUBJECT SITE

Across from Subject Site—1137 NW 57th St



NW 57th St—Looking across street from Subject Site



Aerial View—Across street from Subject Site—1137 NW 57th St

ZONING ANALYSIS

| SITE OVERVIEW | |
|--------------------|---|
| Zoning | LR2 (M1) — The surrounding lots are a mixture of Lowrise and residential with a high emphasis of pedestrian friendliness. There are a large number of new multi-family developments, with a steady stream of new construction being proposed. |
| Overlay | Ballard Hub Urban Village |
| Lot Area | 5,001 sf |
| COMPLIANCE SUMMARY | |
| Requirement | Permitted Uses — SMC 23.45.504 Table A |
| | Uses permitted include Residential, Institutions, Uses in existing or former schools, Parks and Playgrounds |
| Provided | 6 Residential townhouses with 4 parking stalls are proposed. |
| Requirement | FAR (Floor Area Ratio) — SMC 23.45.510 Table A |
| | The maximum permitted FAR for rowhouses is 1.4 (If FAR is greater than 1.2 the project must comply with 23.58D) |
| Provided | The proposed FAR is 1.399 |
| Requirement | Density — SMC 23.45.512.A |
| | There is no density limit for townhouses. |
| Provided | The proposed density is 6 new townhouse units (in 2 buildings) |
| Requirement | Structure Height — SMC 23.45.514 Table A |
| | The maximum permitted height limit for townhouses is 40' from Avg. grade (plus an additional 10' for stair penthouses) |
| Provided | The buildings are proposed within the allowable height limits. |

| COMPLIANCE SUMMARY | |
|--------------------|--|
| Requirement | MHA in Multifamily zones — SMC 23.45.517 |
| | LR zones with an MHA suffix are subject to SMC 23.58C |
| Provided | The proposed development will comply SMC 23.58C.040 |
| Requirement | Setbacks — SMC 23.45.518 Table A |
| | The Required setbacks for townhouses: Front— 5' Minimum, 7' Average Rear— 5' Minimum, 7' Average Side— 5' Minimum for facades less than 40' 5' Minimum, 7' Average for facades greater than 40' |
| Provided | The proposal meets or exceeds all the required setbacks |
| Requirement | Amenity Area — SMC 23.45.522 |
| | The required amount of amenity area for Lowrise zoned lots is 25% of the lot area, with 50% of it located at the ground level. Amenity area can be public or private (Min. area dimensions required in certain setbacks) |
| Provided | The proposal has both ground level amenity areas as well as private roof top decks, meeting the required areas and dimensions. |
| Requirement | Landscaping Standards — SMC 23.45.524 |
| | The required amount of landscaping shall meet a Green Factor of .6 |
| Provided | The proposal has a min. Green Factor of .6 and proposes new trees, new ground cover, shrubs, and permeable pavement surfaces |
| Requirement | Structure Width & Façade Length — SMC 23.45.527 |
| | The maximum façade width for townhouses is 90'. The maximum façade length for portions of structures within 15' of a side lot line, not a street lot line, is 65% of the length of the lot line. |
| Provided | The proposal meets width and length requirements. |

ZONING ANALYSIS

| COMPLIANCE SUMMARY | |
|--------------------|---|
| Requirement | Required Parking — SMC 23.54.015 Table B & D |
| | No parking required because of site's location in an Urban Village and a Frequent Transit Service area. The required amount of long-term bicycle parking is 1 stall/unit, and the required amount of short-term bicycle parking is 1 stall/20 units |
| Provided | The proposal has 1 garage stall and 3 surface vehicular parking stalls. The required bicycle parking is located between the proposed structures and will meet the security and weather protection requirements. |
| Requirement | Solid Waste & Recycle — SMC 23.54.040 |
| | Storage requirements for 6 residential units is either individual 2.5'x6' solid waste storage areas or 84sf of shared storage area |
| Provided | The proposal is for (6) individual solid waste carts and hybrid service for (1) yard waste cart and (3) recycle carts. SPU to review and advise on storage and staging locations. |

DESIGN GUIDANCE RESPONSES & ADJUSTMENT REQUEST—PAGE 1

| CS1 Natural Systems & Site Features | |
|--|---|
| D) Plants and Habitat | New landscaping proposed on site will be designed by a landscape architect. Number of new plants, their location and species will be chosen at the discretion of the landscape architect's knowledge of the area and the planting bed locations on site. New landscaping will be proposed between the ROW and the street facing facades. Existing street trees are proposed to remain. |
| CS2 Urban Pattern & Form | |
| C) Relationship to the Block D) Height, Bulk, Scale | The subject site is located mid-block on the North side of NW 57th St. The proposed building height will be approximately 30' to the roof deck, from finished grade. The proposed floor lines will be similar to the newly developed property to the West. The stair penthouses for building 2 are centrally located on the building footprint to reduce the bulk of the side facades. A 3rd floor deck and exterior stairs to access the roof deck of Building 1 also helps to reduce the bulk and mass of the street facing façade. The addition of bays on the street facing façade creates a sense the roof deck rail is setback further, creating articulation and modulation on an otherwise flat surface. We're proposing alternating materials and exterior colors as well as architectural features that help soften the large building facades facing the neighboring properties. Window location and orientation have taken into consideration all adjacent lots and view potential. |
| CS3 Architectural Context & Character | |
| A) Emphasizing Positive Neighborhood Attributes | The subject site is in an Urban Village and newly upzoned with the intention to create denser multifamily housing. Existing single family structures are rapidly being replaced with multi-family buildings, most often with modern design elements and characteristics, building to the allowable height limits. Our proposal is more heavily influenced by the modern designs of the new construction in the area, rather than the existing single family mid-century designs. Although our building footprints are similarly shaped to the buildings next door, our flat roof design contrasts against the gable roof forms of the street facing façades to the West. |

| PL1 Open Space Connectivity | |
|--|--|
| B) Walkways and Connections | The neighborhood already boasts a strong network of sidewalks and bicycle friendly streets. Our street front is currently improved with curbs and sidewalks, and a planting strip with street trees. We're proposing direct pedestrian access from the ROW, to the street facing facades and East facing back units. The West facing back units will have a pedestrian pathway distinguishable from the driveway with alternating color pavers. Signage and luminaries will aid in the wayfinding onsite. Shared amenities and utilities will encourage neighborly connectivity, and the subject site's unique location to nearby green spaces, retail amenities and frequent transit, are all reachable through safe accessible routes. |
| PL2 Walkability | |
| D) Wayfinding | As mentioned above, clear pedestrian pathways will be provided for all unit entries. Signage, as well as ground and wall mounted luminaries will aid in wayfinding of the back unit entries. Street connectivity will be easily identifiable. |
| PL3 Street Level Interaction | |
| A) Entries, and B) Residential Edges | The proposed street facing entries will have direct pedestrian access to the ROW. Architectural features will frame the recessed entries for easy identification. Signage, lighting and landscaping will also contribute to the residential features of the design. Textured materials will help to soften the mass of the street facing facades. Window location and setback from the ROW provide adequate line of sight for residents. A differentiated pedestrian pathway, from the sidewalk, will direct access to the remaining units. Signage and luminaries will also aid in wayfinding of these units, as well as parking and solid waste storage. The existing street trees are proposed to remain add residential appeal. Although conformity of a townhouse design will be utilized, the individual entries will be influenced with security and wayfinding as a top consideration. |
| PL4 Active Transit | |
| A) Entry Locations and Relationships B) Planning Ahead for Bicycles | As described above, the building entries will be easily distinguishable based on multiple factors. Long-term and short-term bicycle parking is proposed in the courtyard area between the buildings. A bicycle shelter will provide security and weather protection. And as already noted, the neighborhood has an extensive network of sidewalks, trails and bicycle lanes accessible to future residents. |

DESIGN GUIDANCE RESPONSES & ADJUSTMENT REQUEST—PAGE 2

| DC1 Project Uses and Activities | |
|--|---|
| C) Parking and Service Uses | Vehicular parking onsite include one garage stall and three surface parking stalls. The surface parking stalls are located between the buildings, screened from view in the ROW. Solid waste storage and bicycle parking are also proposed in the courtyard area between the buildings. These services will not impact or impede the vehicular access and maneuverability onsite. Textured permeable pavers are proposed for the driveway, with alternating color and size to distinguish access to pedestrian entries. |
| DC2 Architectural Concept | |
| A) Massing B) Architectural and Façade Composition D) Scale and Texture, and | The proposal is for 6 new townhouse units, divided among two structures, separated by a driveway and courtyard area. Modulation and articulation on the upper floors of building 1 help to reduce the mass of the street facing facade. The proposal is under the allowable height limits and has been setback from the ROW the required amount. Additional elements have been incorporated into the site design to buffer the new structures from the ROW. Architectural features, a transition in exterior finishes and colors, and new landscaping will help reduce the bulkiness of the proposed structures, as viewed from the street. The proposed design will consider the street facing facades composition so as to reduce blank exteriors and increase a visually appealing structure from the ROW. As the proposed design is boxy in nature, architectural features, increased fenestration, and material and color transition, will all be utilized to aid in façade articulation and composition. The unit entries are recessed from the upper floors to create transitions in building facades and provide weather protection for residents. A range of finishes from cement board, natural and repurposed wood, and lap siding, will all draw inspiration from surrounding properties. |
| DC3 Open Space Concept | |
| A) Building—Open Space Relationship C) Design | Each unit will have a private roof top deck that will garner a great deal of solar exposure and multipurpose amenity area. The north units of Building 2 will have private ground level amenity area with new landscaping Trees, green screens, bio-planters, shrubs and ground cover are proposed and designed to provide annual vegetation. The retention of the existing street trees will enhance the residential feel of the street as well as reduce the visual appearance of the new hardscapes. The site's location in the Ballard Hub Urban Village also provides many off site amenity options. |

| DC4 Exterior Elements & Materials | |
|---|---|
| A) Exterior Elements and Finishes | The proposed exterior finishes will be installed to maintain durability throughout Seattle's weather cycles. The colors and materials chosen will be modern in nature, but attempt to match the existing color palettes and textures of surrounding structures. The proposal utilizes a flat roof design that compliments new development in the neighborhood and also functions as private amenity area for residents. Adequate signage for wayfinding will be visually prominent. Illumination for pathways, entries, landscaping and security will be installed to aid residents as well as reduce glare on adjacent parcels. New landscaping is proposed to buffer and soften the new building facades. |
| Site Reconnaissance | |
| ROW Improvements Trees Structures on site | Landscaping is proposed between the street lot lines and the existing sidewalks. Existing street trees are proposed to be remain. Existing trees onsite to be removed and replaced with new species chosen by the landscape architect. The existing structure originally built in the mid-century, is currently being utilized as a single family. A thorough historical analysis of the existing structure will be provided if requested. The proposed parking stalls will conform to the required space dimensions and locations per SMC 23.54.030. Vehicular access to the site will be via a new curb cut along NW 57th St. An adequate maneuver and turnaround area will be provided on site, adding to the safety of accessibility. |
| Adjustment Request | |
| Adjustment Request: Remove sight triangle requirement along West side lot line | Requesting Land Use remove the requirement for a sight triangle along the West side lot line, in order to preserve the existing street trees. SDOT UF is requiring we retain the two existing street trees, but their location does not allow for the proper setbacks from a driveway as well as the required 5' sight triangle along a side lot line. The adjacent property to the West is newly developed with their driveway along the shared lot line. The adjacent properties driveway location ensures our driveway will not have any obstructions in the vertical spaces between 32" and 82", for a distance of at least 15' to the West. |

SITE LAYOUT AND DESCRIPTION

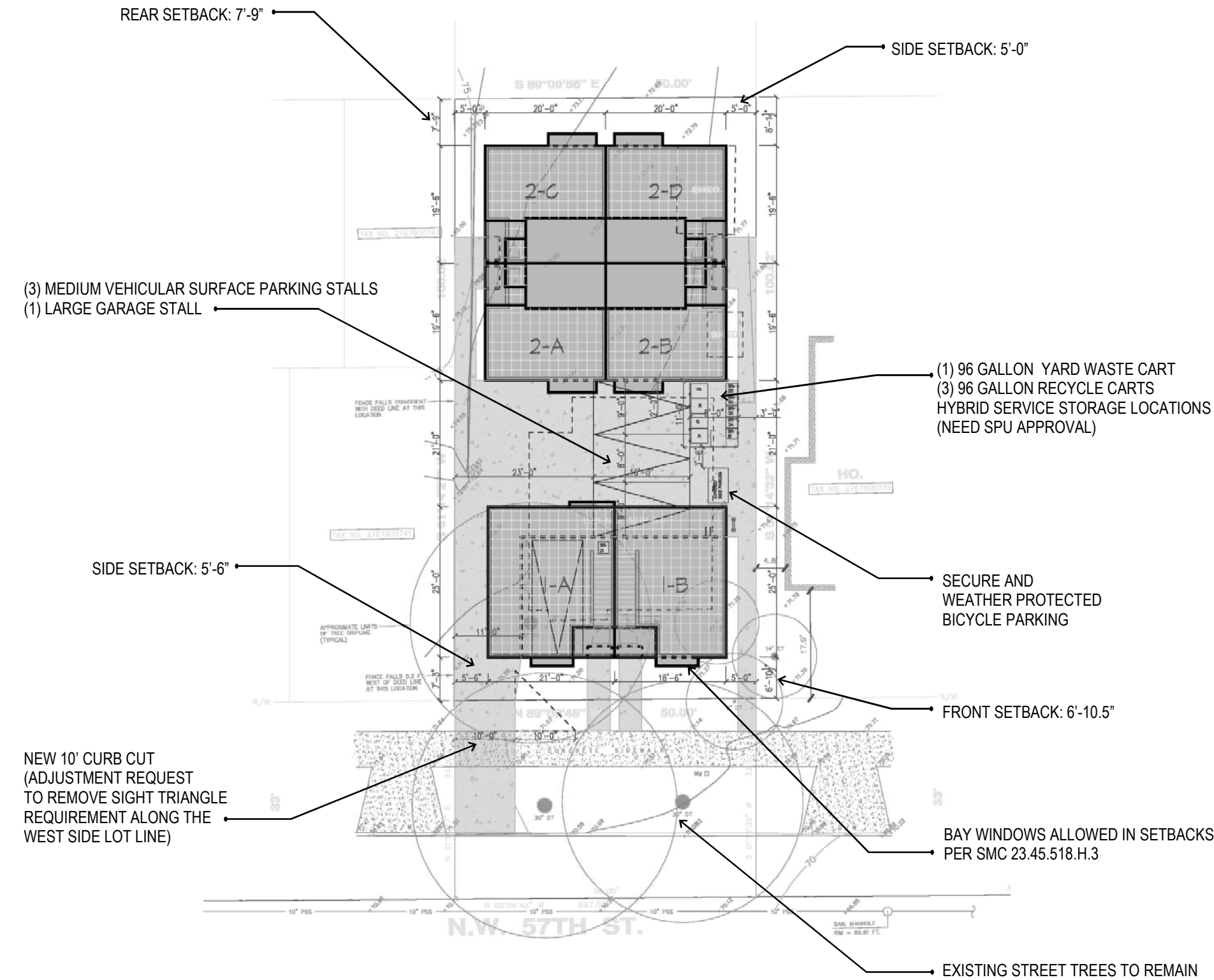
Proposal:

One 2-unit townhouse structure, and
One 4-unit townhouse structure
(6 units total, averaging 1,200 sf per unit)

The proposal is for 5 new 3-bedroom, and 1 new 2-bedroom townhouse style units, for individual sale in the Ballard neighborhood of North Seattle. The units are split between 2 buildings. A new curb cut along NW 57th St is proposed for access. 3 vehicular surface parking stalls and 1 garage stall are provided onsite (the subject lot's location in an Urban Village and Frequent Transit Service area eliminates any vehicular parking requirements). 6 Long-term and 2 short-term bicycle parking stalls are proposed onsite in the courtyard between the structures. Solid waste, Recycle and Yard Waste storage also provided in the courtyard. This separation between buildings creates a break in side facades adjacent the side lot lines, allowing for increased natural light and air flow. The unit interior designs and layouts lend more toward attracting young professionals and small families.

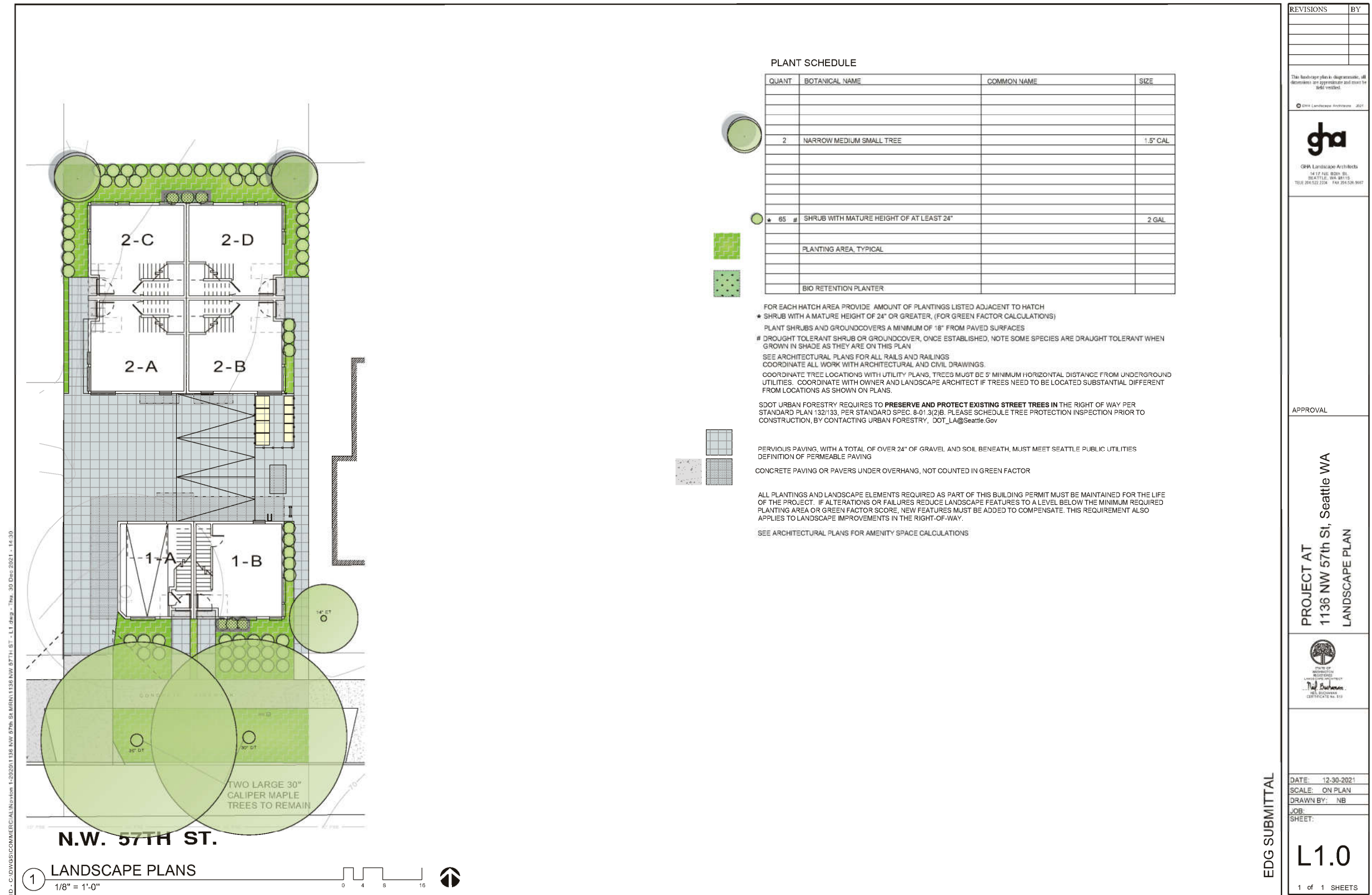
The unit entries can be easily identified by distinguishable pedestrian pathways, signage and lighting, increasing easy wayfinding. The street facing entries are recessed for weather protection and defined with columns and entry roof. New landscaping between the street facing units and the ROW will create a natural buffer. Each unit will benefit from a private roof deck, providing territorial views of the neighborhood.

Although the design is boxy in nature, the addition of architectural features, the transition in material and color, and the amount of fenestration proposed, will all aid in decreasing the bulkiness and massing the buildings impose. The proposal meets many of the Neighborhood plan goals; by adding residential units, providing vehicular & bicycle parking, and improving the residential ROW connectivity.

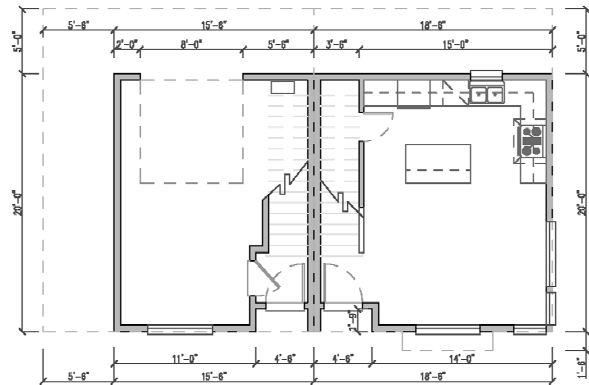


N PROPOSED SITE PLAN

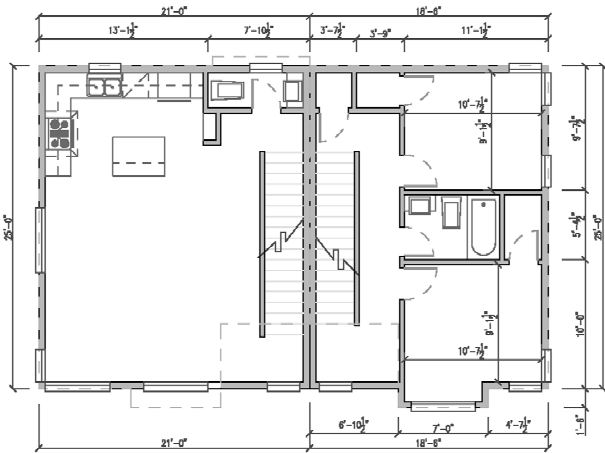
LANDSCAPE PLAN



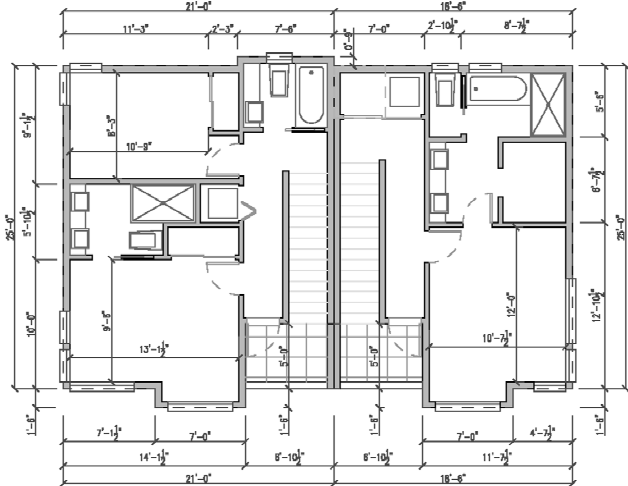
BUILDING 1 (SOUTH BLDG)—FLOOR PLANS & ELEVATIONS



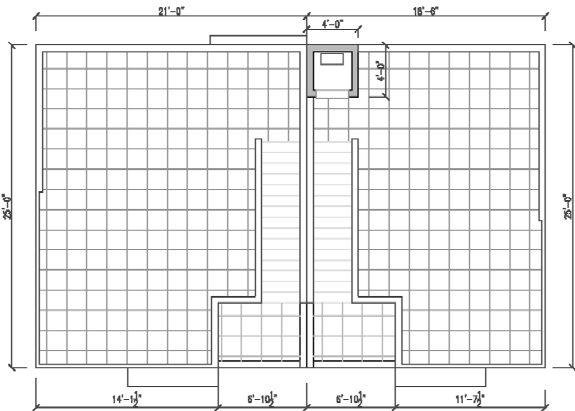
FIRST FLOOR PLAN—BLDG 1



SECOND FLOOR PLAN—BLDG 1



THIRD FLOOR PLAN—BLDG 1



STAIR PENTHOUSE PLAN—BLDG 1



SOUTH ELEVATION—BLDG 1



EAST ELEVATION—BLDG 1

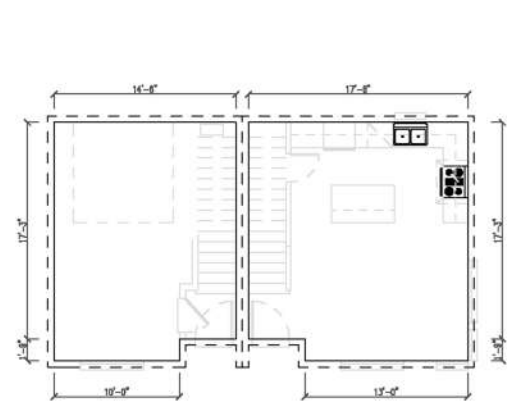


NORTH ELEVATION—BLDG 1

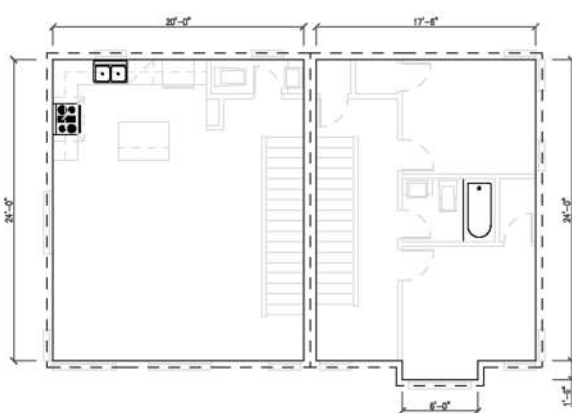


WEST ELEVATION—BLDG 1

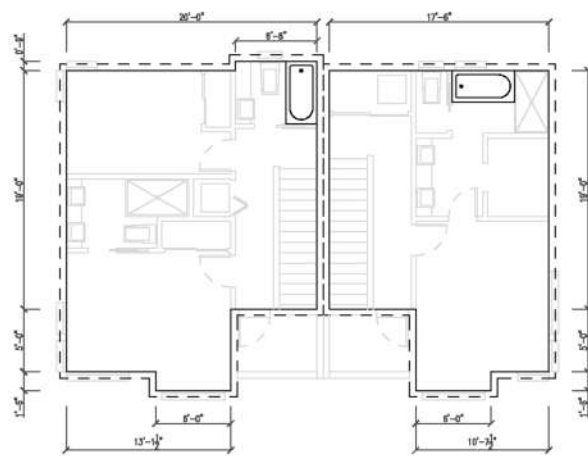
BUILDING 1 (SOUTH BLDG)—GROSS FLOOR AREA PLANS



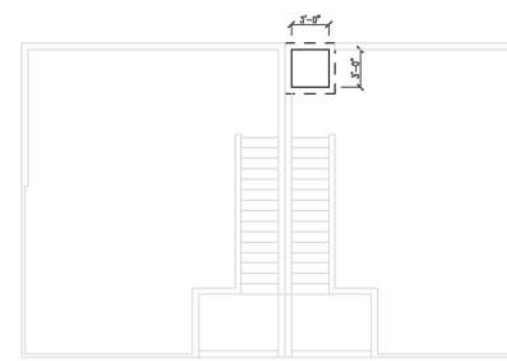
FIRST FLOOR PLAN—BLDG 1



SECOND FLOOR PLAN—BLDG 1



THIRD FLOOR PLAN—BLDG 1



STAIR PENTHOUSE PLAN—BLDG 1

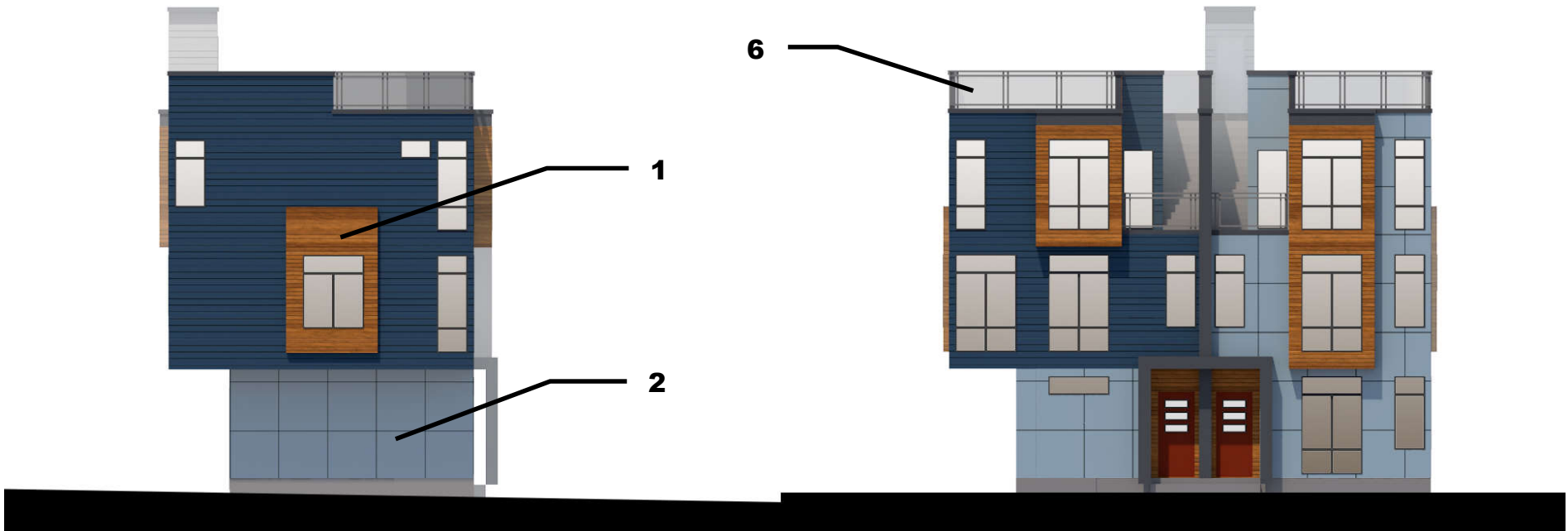


| | | | | | | | |
|--|---------------------|--|---------------------|--|----------------------|---|----------------------|
| Building 1 (South Bldg) - Gross Floor Area for FAR calculation: | | Entire Site— Gross Floor Area for FAR calculation: | | Building 1 (South Bldg) - Gross Floor Area for Design Review calculation: | | Entire Site— Gross Floor Area for Design Review calculation: | |
| Level | Residential | Building 1 (South Bldg): | 2,364.375 sf | Level | Residential | Building 1 (South Bldg): | 2,414.8125 sf |
| First | 592.25 sf | Building 2 (North Bldg): | 4,464.25 sf | First | 610.375 sf | Building 2 (North Bldg): | 4,712.25 sf |
| Second | 909.0 sf | Area over Parking: | 168.75 sf | Second | 927.0 sf | Area over Parking: | 173.25 sf |
| Third | 854.125 sf | Total: | 6,997.375 sf | Third | 868.4375 sf | Total: | 7,300.3125 sf |
| Roof Deck | 9.0 sf | FAR Calculation: | | Roof Deck | 9.0 sf | | |
| Total | 2,364.375 sf | 6,997.375 sf / 5,001 sf (lot area) = 1.399 (1.4 FAR allowed per SMC 23.45.510 Table A) | | Total | 2,414.8125 sf | | |

BUILDING 1—EXTERIOR MATERIALS AND FINISHES

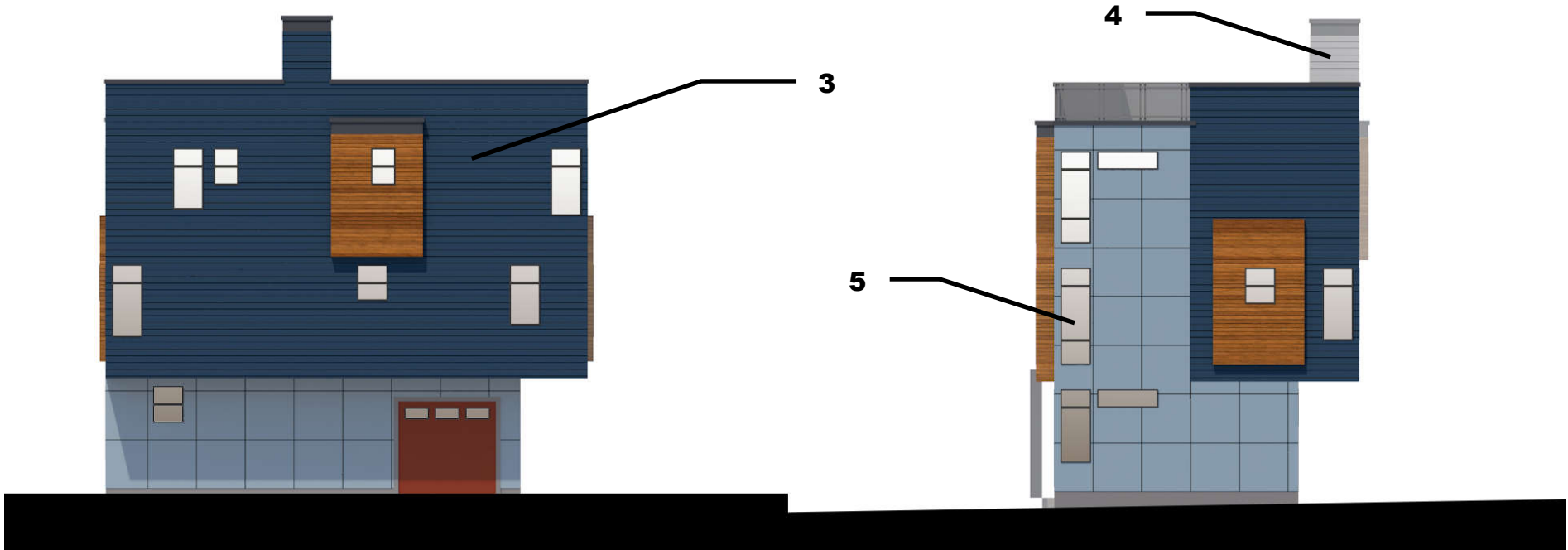
Material Schedule:

- 1—Cedar Siding (Natural Stain)
- 2—Fiber Cement Smooth Panel Siding—SW Favorite Jeans
- 3—Traditional Textured Lap Siding—SW Salty Dog
- 4—Traditional Textured Lap Siding—SW African Grey
- 5—Vinyl Windows—Dark Gray
- 6—Metal Rail System—Glass panel—Dark Gray Trim



WEST ELEVATION—BLDG 1

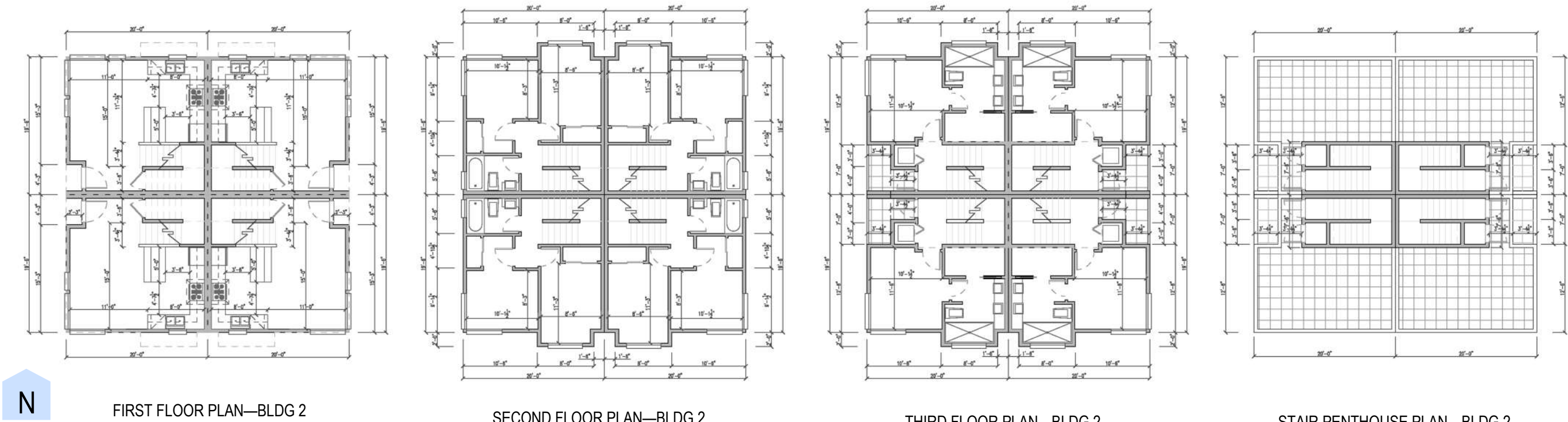
SOUTH ELEVATION—BLDG 1



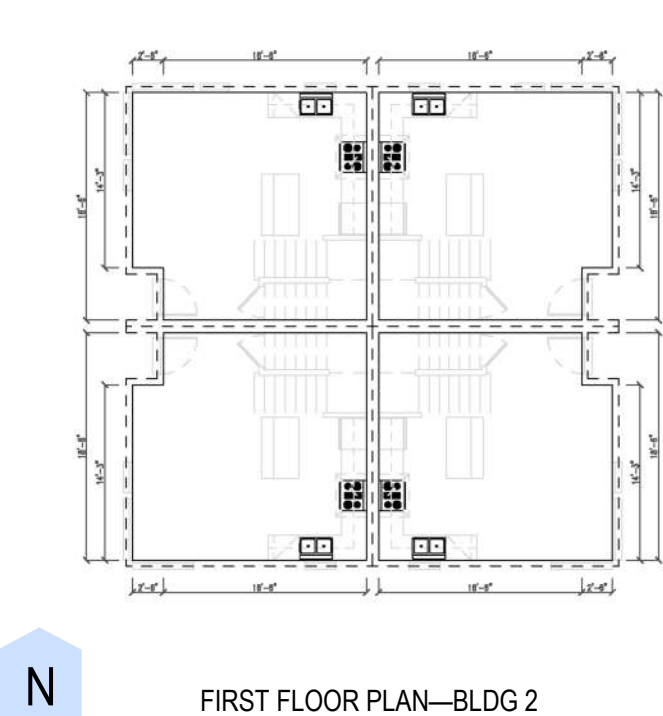
NORTH ELEVATION—BLDG 1

EAST ELEVATION—BLDG 1

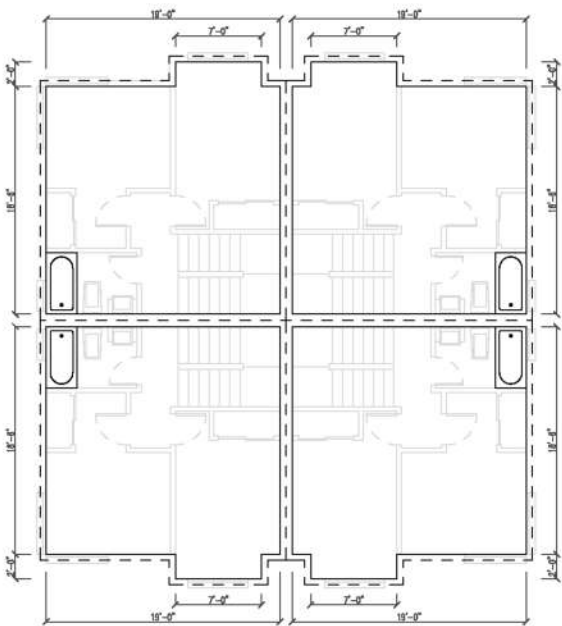
BUILDING 2 (NORTH BLDG)—FLOOR PLANS & ELEVATIONS



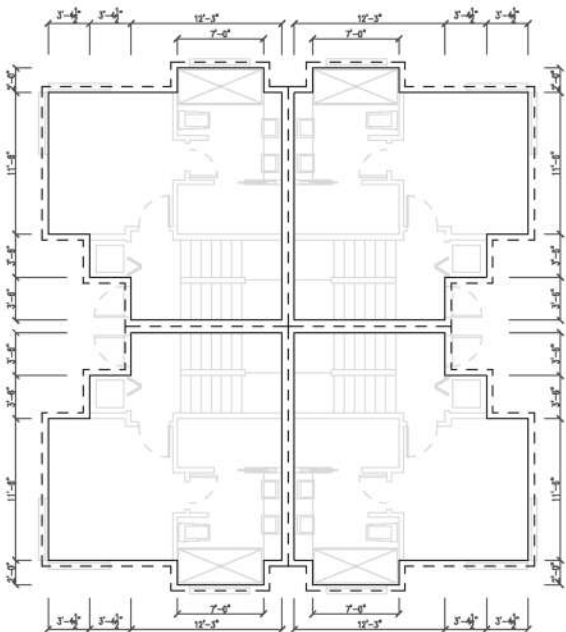
BUILDING 2 (NORTH BLDG)—GROSS FLOOR AREA PLANS



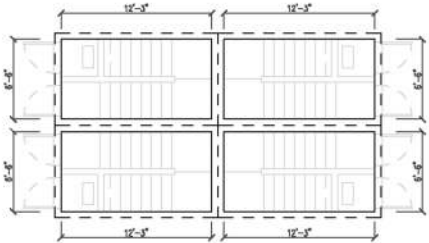
FIRST FLOOR PLAN—BLDG 2



SECOND FLOOR PLAN—BLDG 2



THIRD FLOOR PLAN—BLDG 2



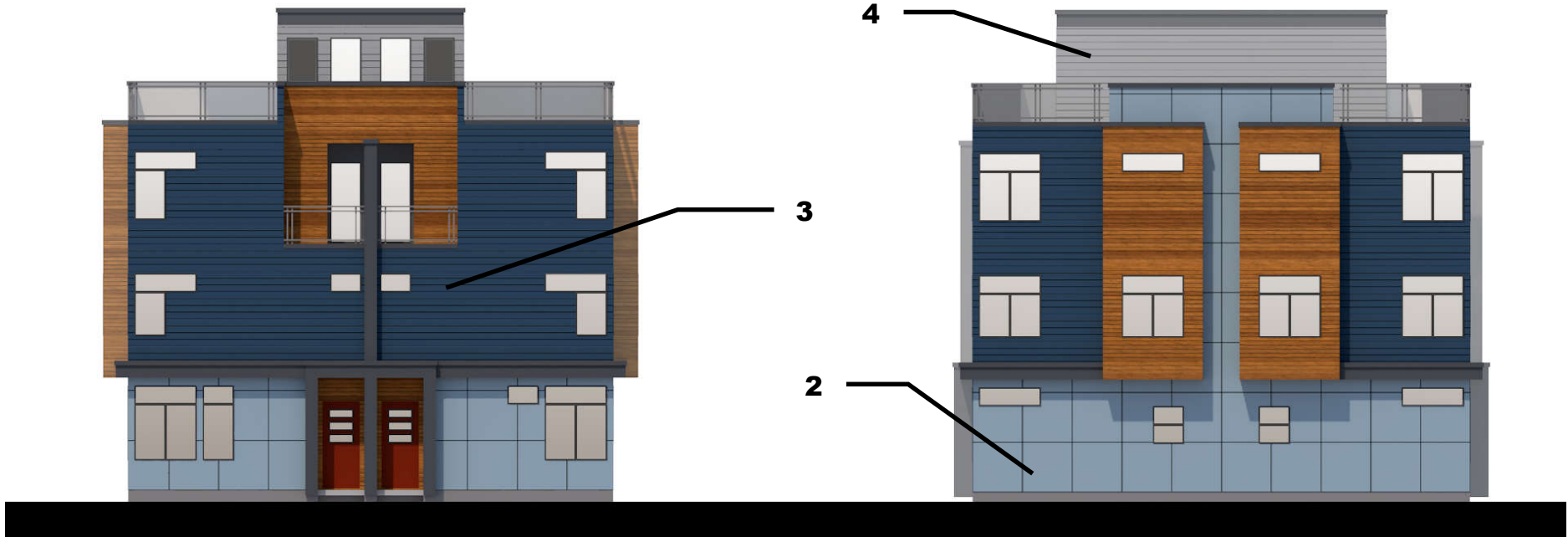
STAIR PENTHOUSE PLAN—BLDG 2

| | | | | | | | |
|--|-------------|---|--------------|--|-------------|---|---------------|
| Building 2 (North Bldg) - Gross Floor Area for FAR calculation: | | Entire Site— Gross Floor Area for FAR calculation: | | Building 2 (Northwest Bldg) - Gross Floor Area for Design Review calculation: | | Entire Site— Gross Floor Area for Design Review calculation: | |
| Level | Residential | Building 1 (South Bldg): | 2,364.375 sf | Level | Residential | Building 1 (South Bldg): | 2,414.8125 sf |
| First | 1,363.5 sf | Building 2 (North Bldg): | 4,464.25 sf | First | 1,434.5 sf | Building 2 (North Bldg): | 4,712.25 sf |
| Second | 1,462.0 sf | Area over Parking: | 168.75 sf | Second | 1,538.0 sf | Area over Parking: | 173.25 sf |
| Third | 1320.25 sf | Total: | 6,997.375 sf | Third | 1,382.75 sf | Total: | 7,300.3125 sf |
| Roof Deck | 318.5 sf | FAR Calculation: | | Roof Deck | 357.0 sf | | |
| Total | 4,464.25 sf | 6,997.375 sf / 5,001 sf (lot area) = 1.399 | | Total | 4,712.25 sf | (1.4 FAR allowed per SMC 23.45.510 Table A) | |

BUILDING 2—EXTERIOR MATERIALS AND FINISHES

Material Schedule:

- 1—Cedar Siding (Natural Stain)
- 2—Fiber Cement Smooth Panel Siding—SW Favorite Jeans
- 3—Traditional Textured Lap Siding—SW Salty Dog
- 4—Traditional Textured Lap Siding—SW African Grey
- 5—Vinyl Windows—Dark Gray
- 6—Metal Rail System—Glass panel—Dark Gray Trim



WEST ELEVATION—BLDG 2

SOUTH ELEVATION—BLDG 2



EAST ELEVATION—BLDG 2

NORTH ELEVATION—BLDG 2

PERSPECTIVE VIEWS FROM DIFFERENT ANGLES



LOOKING NORTHWEST FROM THE STREET



LOOKING AT THE EAST SIDE OF THE BUILDINGS



LOOKING SOUTHEAST AT THE BACK OF THE LOT

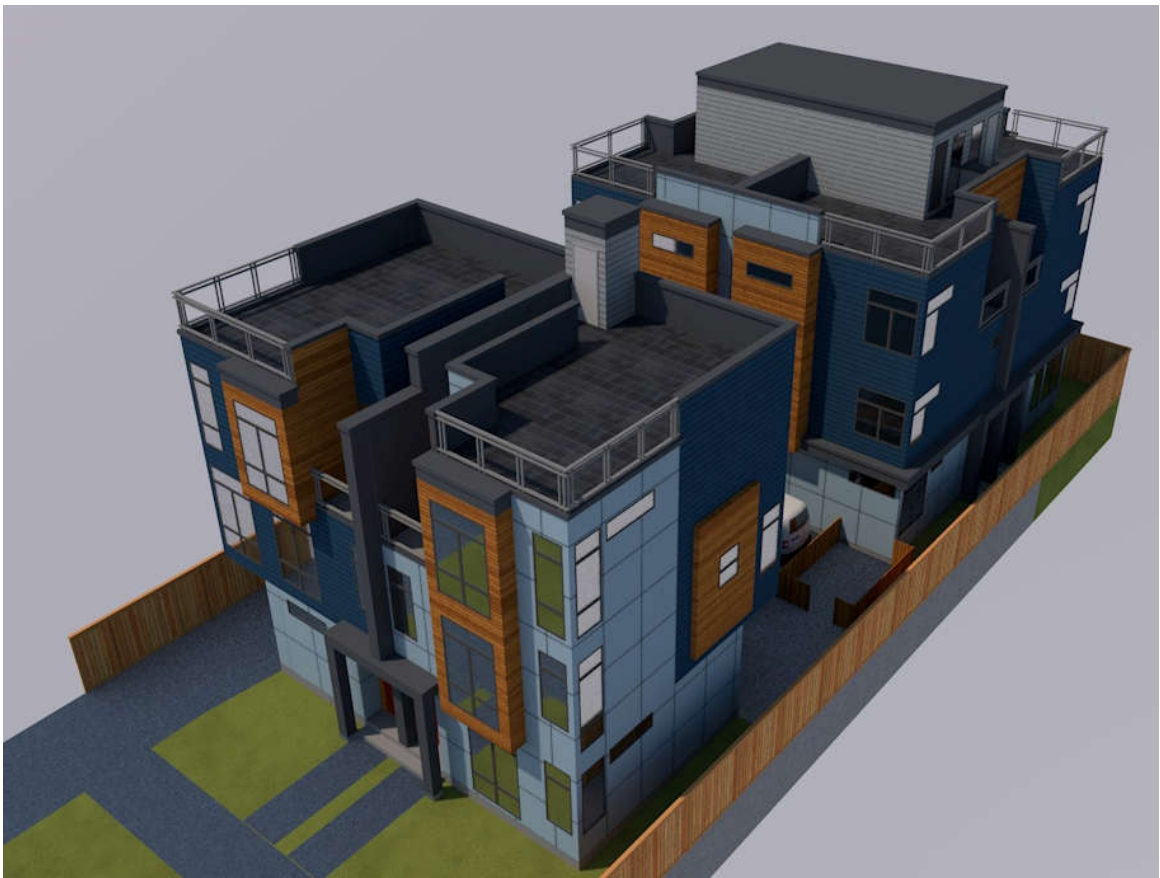


LOOKING AT THE WEST SIDE OF THE BUILDINGS

PERSPECTIVE VIEWS FROM DIFFERENT ANGLES



AUTO COURTYARD



AERIAL VIEW

COMMUNITY OUTREACH SYNOPSIS

EARLY COMMUNITY OUTREACH REGARDING PROPOSED PROJECTS GOING THROUGH DESIGN REVIEW

Brief summary of the proposal:

Demolish existing Single Family Residence located at 1136 NW 57th St.
Construct One New Four Unit Townhouse Structure and One New Duplex Townhouse Structure (6 new units).

Project/Property Address(s): 1136 NW 57TH ST, Seattle, WA 98107

SDCI Project Number(s): 3038797-EG

Applicant/Contact Person: Andrew Novion – NOVION GROUP INC.

Website: <http://www.noviongroup.com>

Feedback can be submitted:

Directly to the Applicant via **email.** office@noviongroup.com

Through our **interactive website.** <http://www.noviongroup.com/1136-nw-57-th-st/4595417713>

Through our **online survey.** <http://www.noviongroup.com>

Please label your emailed feedback and/or comments: "Feedback for 3038797-EG" in the subject line.

Feedback and Comments will be **accepted through November 30th, 2021.**



LINK TO OUR WEBSITE!



LINK TO OUR ONLINE SURVEY!

WE WANT TO HEAR FROM YOU!

Community Outreach Feedback

Synopsis of the feedback generated from the mailer, and Online survey from The temporary website

A copy of the mailer that was sent to residences within 500' is shown here. This information was also included on the website link for this particular project outreach.
Because of Covid-19, the usual required In-Person method for outreach was replaced with an online survey included in the temporary website.

We received several online survey responses. Here is a summary:

- Desire that the development fits into neighborhood look.
- Desire that the development is affordable for residents and/or businesses
- Desire that the development is designed with environmental sustainability in mind.
- Desire that the development is designed to be family-friendly.
- Concerns that it will not be affordable.
- Concerns about construction noise/impact.
- Concern that it may be out of scale with other buildings nearby.
- Concern that they will not like the way it looks.
- Desire that the development have on-site parking.
- Desire that the development maintain trees and plantings as much as possible.