

4001 S WILLOW ST

EARLY DESIGN GUIDANCE PACKET

MEETING DATE: SEPTEMBER 21, 2021

3038164-EG



NEIMAN TABER
ARCHITECTURE FOR THE NORTHWEST

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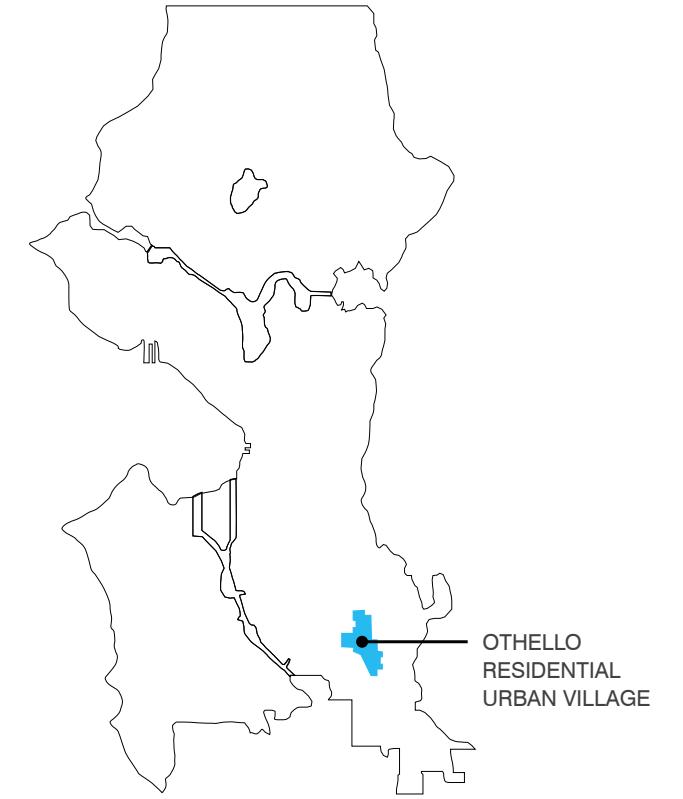
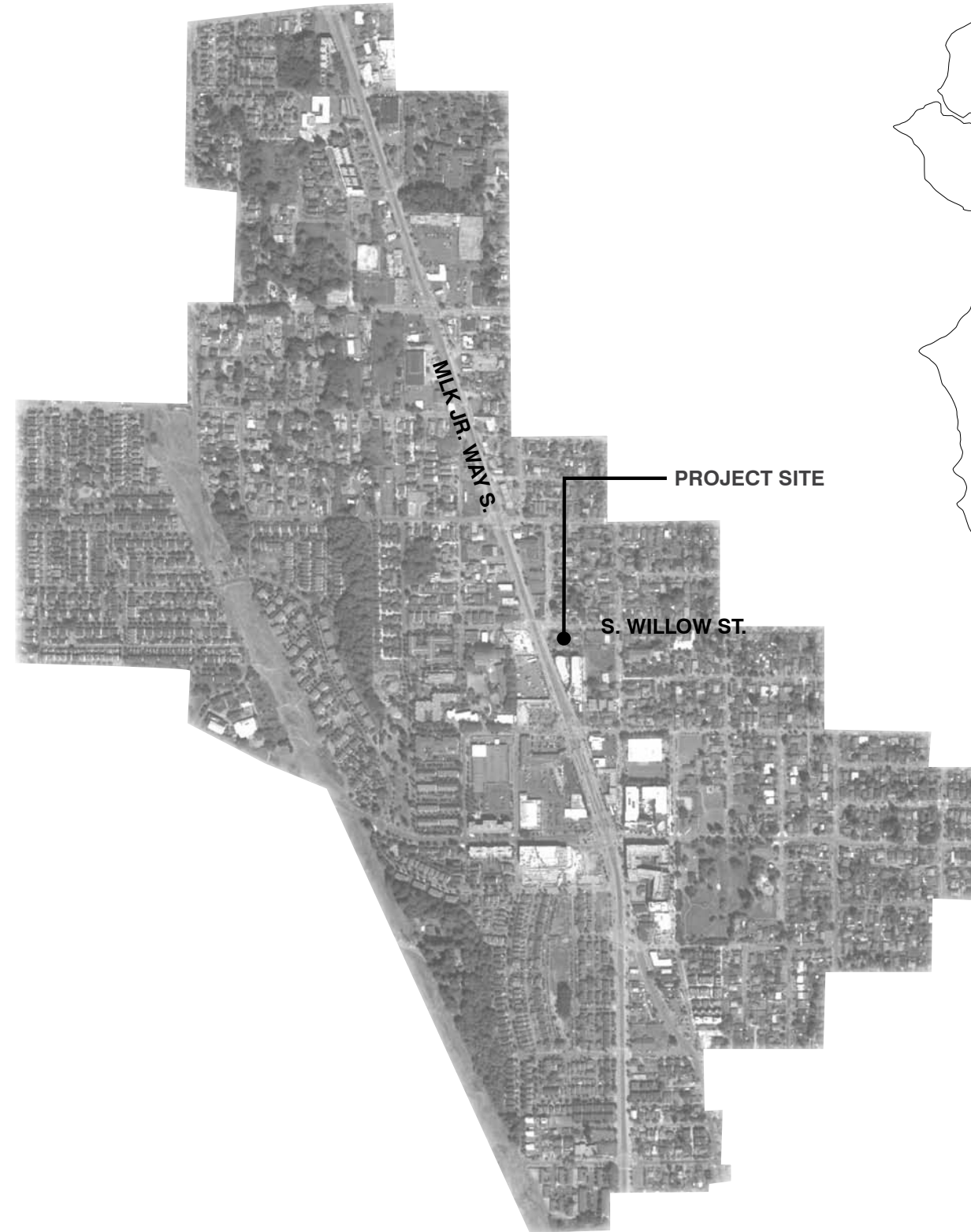
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PROJECT OBJECTIVES

1. Create plentiful, financially-attainable housing that contributes to the evolving Othello station area
2. Provide homes with good access to natural light and fresh air, while being attentive to the privacy needs of neighbors
3. Design a human-scaled building that contributes to an attractive, pedestrian-oriented streetscape

PROJECT TEAM

OWNER	OZ Navigator 159 S Jackson St, Suite 300 Seattle, WA 98104 (206) 889-5949
ARCHITECT	Neiman Taber Architects 1435 34th Ave Seattle, WA 98122 (206) 760-5550
LANDSCAPE	Murase Associates 200 E Boston Seattle, WA 98102 (206) 322-4937

PROJECT INFORMATION

SITE ADDRESS(ES)	4001, 4009 & 4015 S Willow St Seattle, WA 98118
PARCEL NUMBERS	333300-2951 333300-2950 333300-2952
SDCI PROJECT #S	3038164-EG 3038001-LU
APPLICANT	Neiman Taber Architects 1435 34th Avenue Seattle, WA 98122 (206) 760-5550
CONTACT	David Neiman dn@neimantaber.com
ZONING	NC3P-95 (M)
LOT SIZE	15,542 SF (Combined)
ALLOWABLE FAR	6.25
PROPOSED UNITS	197 Total Units 191 One Bedrooms 6 SEDUs
ALLOWABLE HEIGHT	95'
COMMERCIAL SPACE	1800 sf proposed
PARKING STALLS	14 stalls proposed

EXISTING CONDITIONS

SITE ANALYSIS

SITE SURVEY

LOCATION

4001, 4009, 4015 S Willow St, Seattle, WA 98118

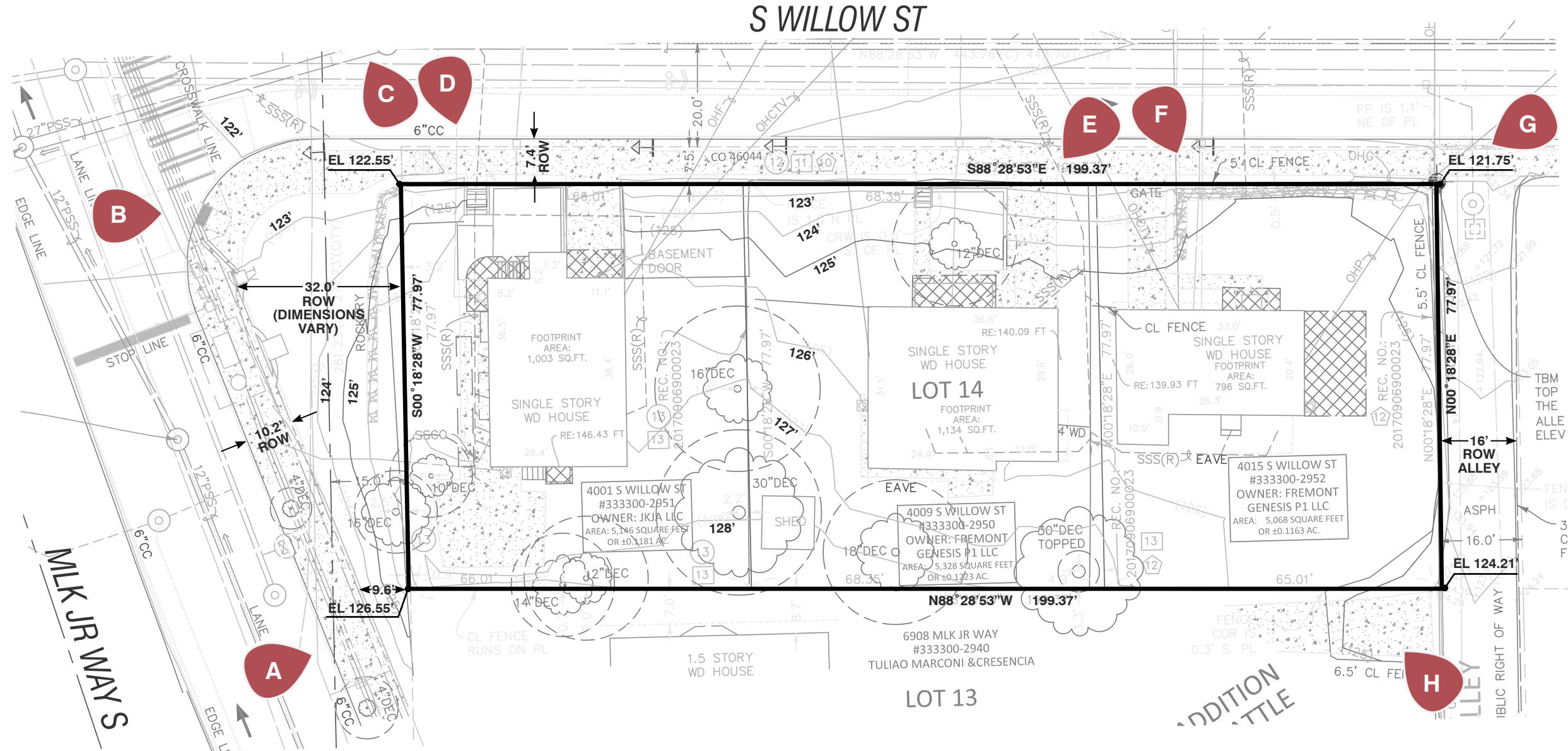
Located on the southeast corner of S Willow St and MLK Jr Way S. The lot is bordered by S Willow St to the north; MLK Jr Way S to the west; an alley and an adjoining parcel to the east; and an adjoining parcel to the south.

LOT SIZE

15,542 SF

OBSERVATIONS

- Elongated east-west rectangle with only one shared property line to the south creates fewer direct privacy concerns
- Existing elevation change is minimal and occurs mostly along the North, East and South property lines
- Alley provides access for services.
- Alley is not up to standard, 2' dedication will be required.
- SPU electrical service is underground on MLK
- Sidewalk improvements required per SDOT standards along S Willow St. Project will need to be set back at grade to provide 12' ROW.
- ROW adjacent to subject property (SE corner of MLK and Willow) likely to be improved as part of project scope, potentially as public plaza
- There are currently three single-family houses on the property



LEGAL DESCRIPTION(S)

APN 333300-2951:
The west 66 feet of lot 14, block 15, Hillman City addition to the City of Seattle, division number 6, according to the plat thereof recorded in volume 11 of plats, page 23, records of King County, Washington; except that portion condemned for widening Willow Street In King County superior court cause no. 161151, As provided for by ordinance no. 46044 of the City of Seattle, situate in the County of King, State of Washington.

APN 333300-2950:
Lot 14, block 15, Hillman City addition to the City of Seattle, division number 6, according to the plat thereof recorded in volume 11 of plats, page 23, records of King County, Washington; except the west 66 feet; except the east 65 feet; and except that portion condemned for widening Willow Street in King County superior court cause no. 161151, As provided for by ordinance no. 46044 of the City of seattle. situate in the County of King, State of Washington.

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Andrew Lyon,
ISA Certified Arborist, PN-6446A
ISA Tree Risk Assessment Qualified

10016 Edmonds Way Ste C 227,
Edmonds WA 98020
206-734-0705

7/20/2021

Arborist Inventory Report for:
4001, 4009, and 4015 S Willow St
Seattle WA

Scope- This report includes all trees 6" Diameter at Breast Height (DBH) or larger on or overhanging the lot. According to the Directors Rule 2008, there are no exceptional trees on this lot and no exceptional trees overhanging this lot. In addition, there are no groves on or overhanging this lot. The trees are numbered and located according to the attached Tree Location Map and further described in the itemized section below. Any trees retained and protected with the prescribed tree protection measures are expected to survive the proposed development project and continue growing normally. All Tree Protection Measures follow current Best Management Practices and shall be in place before breaking ground on the project.

Methods- Diameter at Breast Height, or DBH, was determined by measuring the circumference of the tree at the narrowest point below 4.5' above grade and dividing by 3.14 and rounding off to the nearest inch. Multistemmed tree's total DBH was calculated by squaring the DBHs of the individual trunks, adding them together, and taking the square root of the sum, and rounding to the nearest inch. Dripline is measured as the radius from the edge of the tree's trunk.

1. Voss's Golden Chain Tree *Laburnum watereri* 6" DBH, 15' tall with a 10' drip line. This tree is in good health and condition. It is to be removed.
2. Common Holly *Ilex aquifolium* 11" DBH, 17' tall with an 8' drip line. This tree is in good health and condition. It is to be removed.
3. Common Hawthorn *Crataegus laevigata* 6" DBH, 12' tall with a 16' drip line. This tree is in good health, fair condition and is to be removed.
4. Common Horsechestnut *Aesculus hippocastanum* 27" DBH, 35" tall with a 16' drip line. This tree is in good health and fair condition. It is to be removed.
5. Saucer Magnolia *Magnolia soulangiana* 14" DBH, 10' tall with a 12' drip line. This tree is in good health and fair condition. It is to be removed.
6. Common Holly *Ilex aquifolium* 12" DBH, 12' tall with a 7' drip line. This tree is in good health and condition. It is growing on the neighboring lot to the west and is to be retained and protected. A protection area shall be created by fencing the unpaved area on the lot that is within 4' of the tree. Fencing shall consist of 4' tall orange construction fencing and be posted with SDCI tree protection signage. There shall be no site disturbance, traffic, storage of materials, or washing of materials within this fenced area throughout the development project. Any excavation done within 2' of the protection fence shall be done by hand with shovels with care taken to cleanly prune or cut any encountered roots and not rip or tear them.



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Edmonds WA 98020
206-734-0705

7. Japanese Maple *Acer palmatum* 7" DBH, 5' tall with a 6' drip line. This tree is in good health and condition and is to be removed.
8. Mazard Cherry *Prunus Avium* 13" DBH, 30' tall with an 8' drip line. This tree is in good health and condition and is to be removed.

If you have any questions about these trees, please feel free to contact me. This report was prepared by:

Andrew Lyon

Andrew Lyon

ISA Certified Arborist PN-6446A
Tree Risk Assessment Qualified CTRA #512

Tree Chart for 4001, 4009, & 4015 S Willow St

Tree #	Tree Name	DBH in inches	Drip Line in Ft	Onsite?	Exceptional?	Retain or Remove
1	Voss's Goldenchain	6	10	Yes	No	Remove
2	Holly	11	8	Yes	No	Remove
3	Hawthorn	8	8	Yes	No	Remove
4	Horse Chestnut	27	16	Yes	No	Remove
5	Magnolia	14	12	Yes	No	Remove
6	Holly	12	7	No	No	Retain and Protect
7	Japanese Maple	7	6	Yes	No	Remove
8	Cherry	13	8	Yes	No	Remove



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URBAN DESIGN ANALYSIS

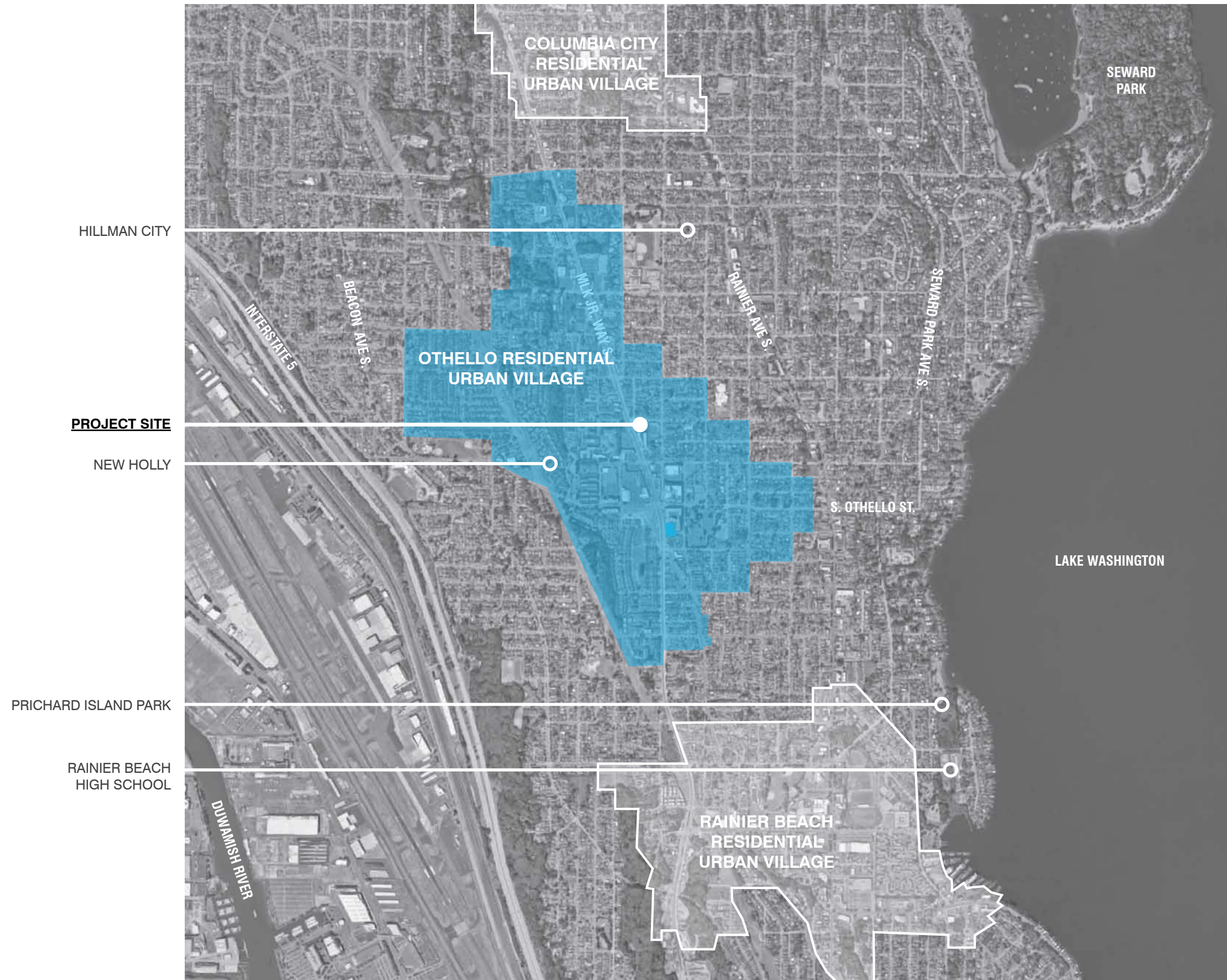
URBAN DESIGN ANALYSIS

SOUTHEAST SEATTLE — RAINIER VALLEY

OBSERVATIONS

The site is in Southeast Seattle, within the Othello Residential Urban Village. It is well served by public transportation, with development focused in a corridor along Martin Luther King Jr Way S.

The immediate vicinity includes a number of neighborhood amenities, parks, and services.





- PARK PLAZA
- SAMOAN COMMUNITY CHURCH
- ESPERANZA APARTMENTS
- ETHIOPIAN ORTHODOX CHURCH
- 4001 S WILLOW ST (PROJECT SITE)
- MERCY OTHELLO PLAZA
- DUOC SU TEMPLE
- OTHELLO LIGHT RAIL STATION
- SEATTLE LOCALE
- ASSEMBLY 118

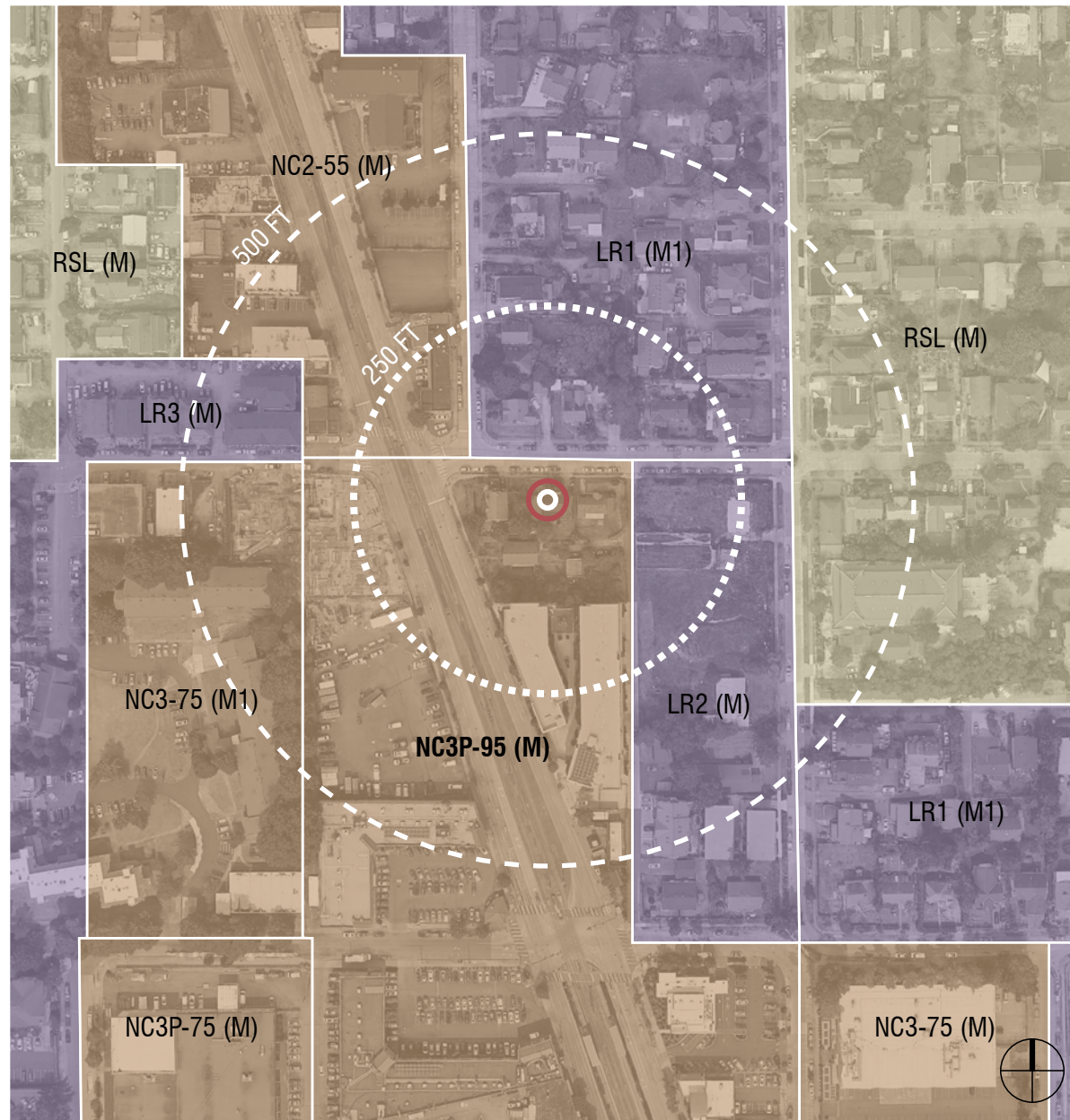
URBAN DESIGN ANALYSIS

ZONING + LAND USE

ZONING + USE NOTES

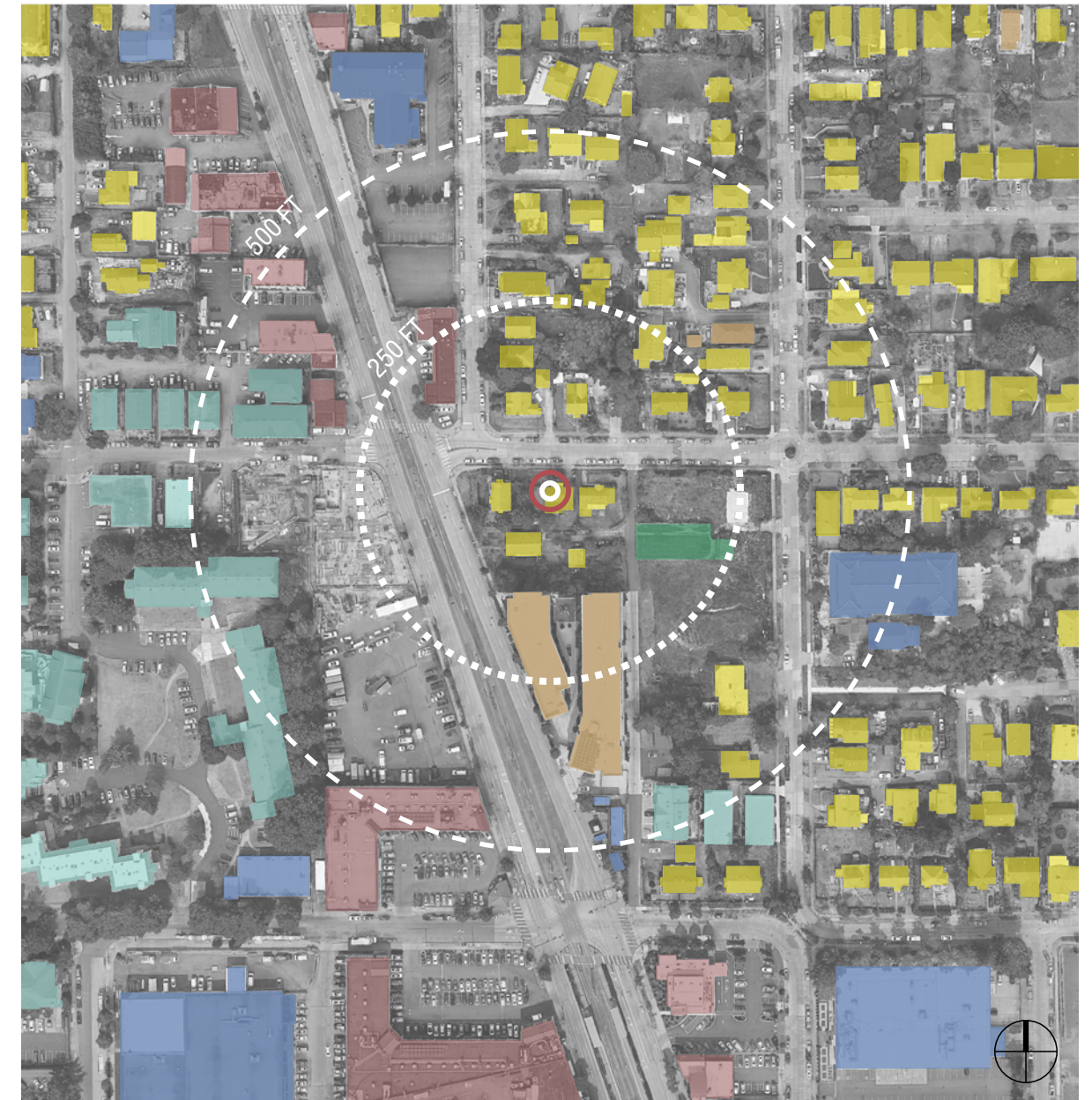
Project site is at the north end of the Othello Station Overlay District, within a Neighborhood Commercial zone with a pedestrian overlay. To the north and east are zoning transitions with decreased height limits.

The vicinity has a mix of new mixed-use buildings; older, low-density commercial space with surface parking, a few institutional buildings, and a number of single-family houses to the northeast and east.



ZONING MAP

	LR	MULTI-FAMILY (RESIDENTIAL ZONE)
	RSL	SINGLE-FAMILY (RESIDENTIAL SMALL LOT ZONE)
	NC	MIXED-USE (RESIDENTIAL & COMMERCIAL ZONES ARE ALLOWED)



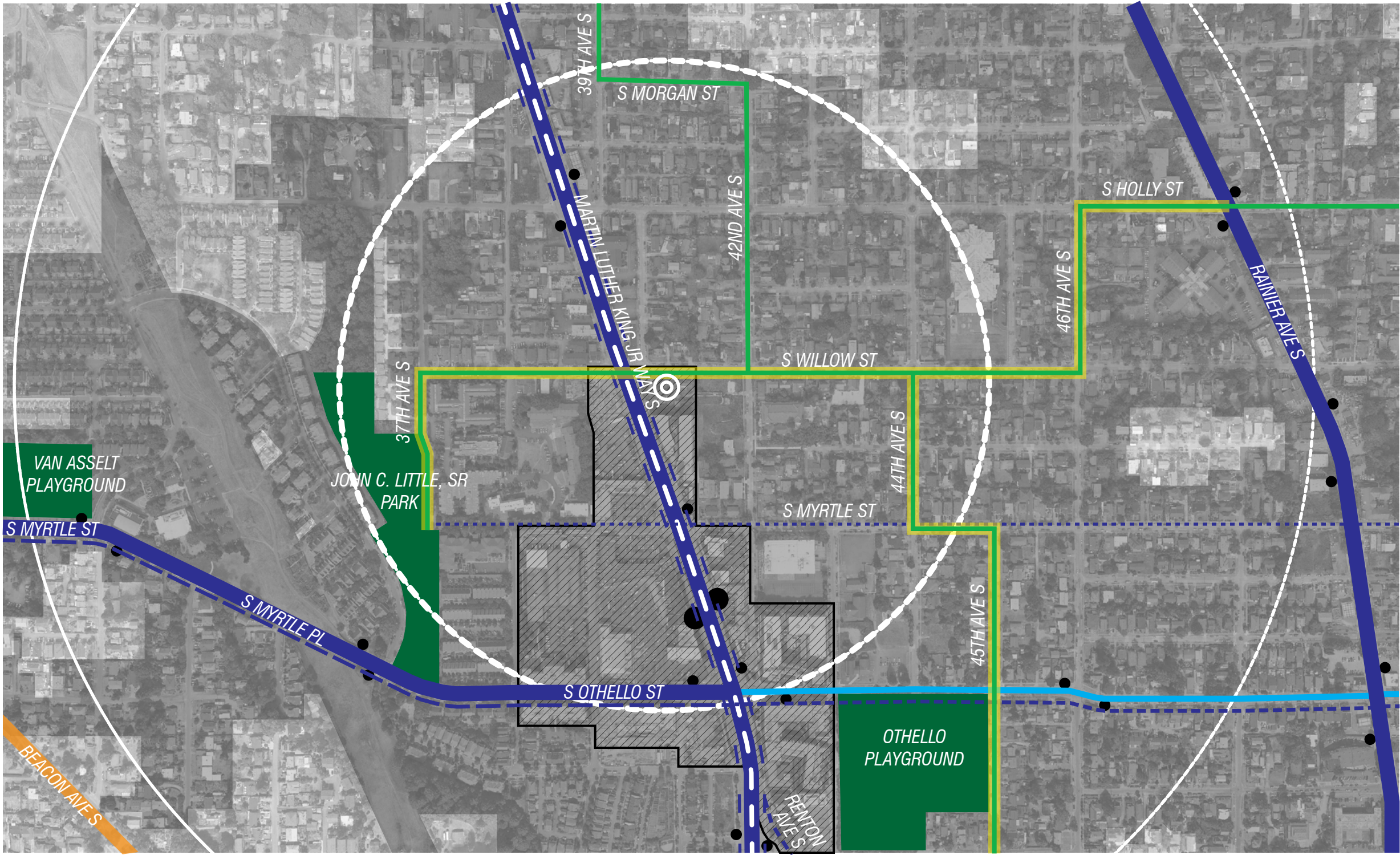
LAND USE MAP



















	LOW-RISE - SINGLE-FAMILY RESIDENTIAL		AGRICULTURAL
	LOW-RISE - MULTI-FAMILY RESIDENTIAL		
	MIXED-USE		
	COMMERCIAL		
	INSTITUTIONAL		

URBAN DESIGN ANALYSIS
NEIGHBORHOOD ACCESS + SERVICES

CONTEXT MAP

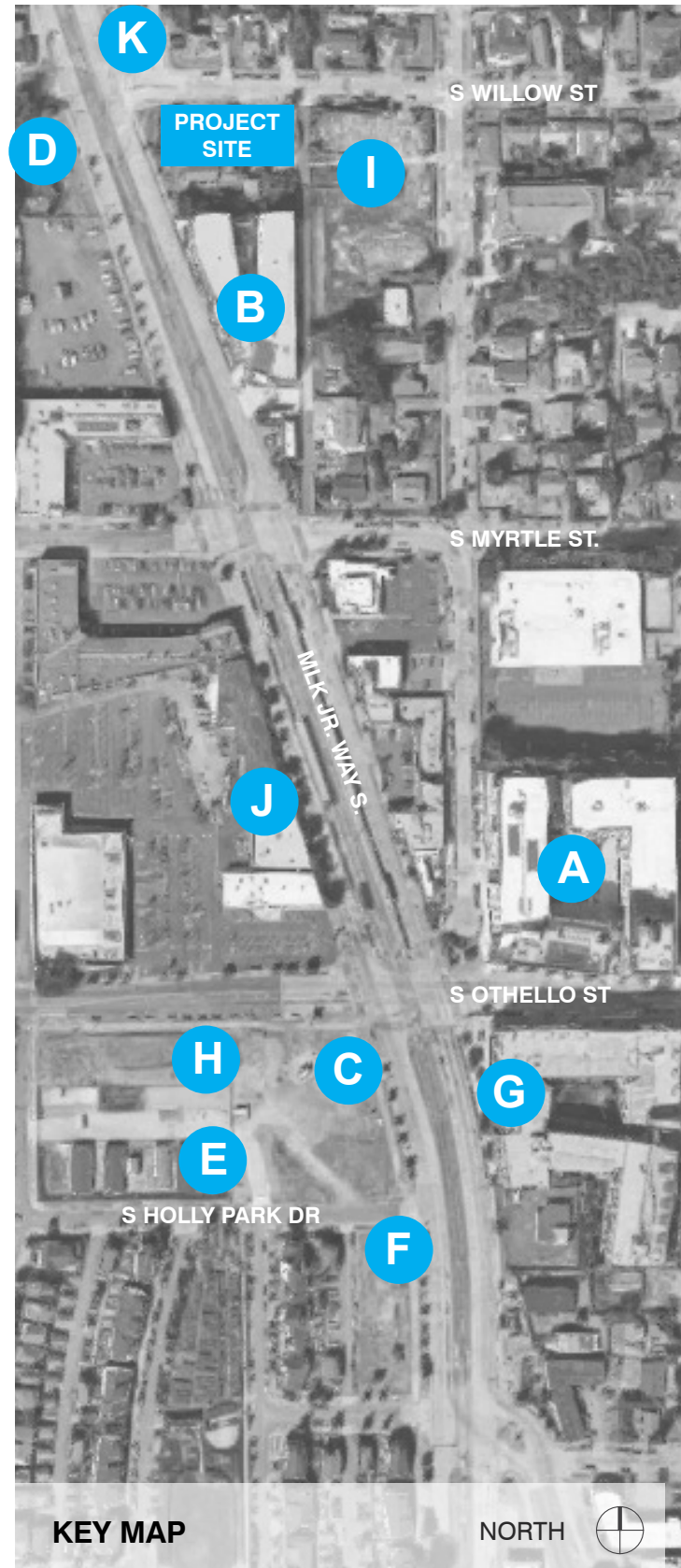
At a central part of the Othello Residential Urban Village, the site is a short walk from the light rail station as well as a number of parks and local businesses. Bus and rail service connect to downtown and adjacent neighborhoods.



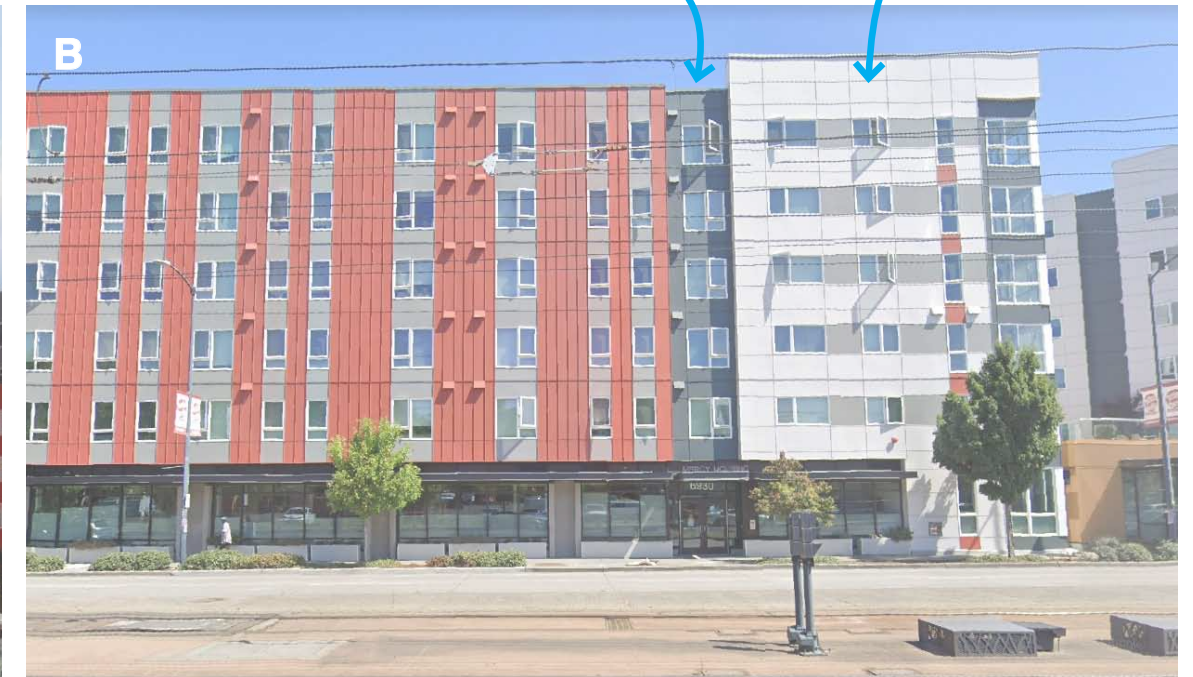
-  PROJECT SITE
-  5 MINUTE WALKING RADIUS
-  10 MINUTE WALKING RADIUS
-  PARK
-  NEIGHBORHOOD GREENWAY
-  STAY HEALTHY STREETS
-  PROTECTED BIKE LANE
-  BIKE LANE
-  SIGNED BIKE ROUTE
-  SHARROWS (BIKE/CAR)
-  COLLECTOR ARTERIALS
-  PRINCIPAL ARTERIALS
-  MINOR ARTERIALS
-  FREQUENT TRANSIT SERVICE AREA
-  PEDESTRIAN ZONE
-  BUS STOP
-  LIGHT RAIL STOP
-  LIGHT RAIL STATION



URBAN DESIGN ANALYSIS
BUILT ENVIRONMENT SURVEY



ASSEMBLE 118 — 4219 S. OTHELLO ST.
MARKET-RATE MIXED USE
Heavy modulation to minimize scale of large project, suggests multiple buildings



MERCY OTHELLO PLAZA — 6940 MLK JR WAY S
AFFORDABLE MIXED USE
Simple form with articulated corner.
Color and material used to create interest and hierarchy



OTHELLO SQUARE CO-OP HOUSING — 7343 MLK JR WAY S
AFFORDABLE MIXED USE (PROPOSED)
Repeated bays away from corner on long elevation



THE STATION AT OTHELLO — 4219 S OTHELLO ST
MARKET RATE MIXED USE
Repeating bays establish smaller, rhythmic scale



ORENDA OTHELLO SQ. — 3939 S. OTHELLO ST.
AFFORDABLE MIXED USE
Large volumes, mural overlay; repeated bays away from corner on long elevation

MONOLITHIC,
LACKING
SMALLER SCALE
MASSING ARTICULATION



C
OTHELLO SQUARE OPPORTUNITY CENTER — 7315 MLK JR WAY S
AFFORDABLE MIXED USE (PROPOSED)
Paint creates suggestion of massing changes, breaks up perceived scale

HIGH TRANSPARENCY
ALONG PRIMARY
FRONTAGE

INTIMATELY SCALED
OPEN SPACE
ALONG R.O.W.



D
WILLOW CROSSING — 6901 MLK JR. WAY S.
AFFORDABLE MIXED-USE (UNDER CONSTRUCTION)
“Split block” massing with mid-block plaza

ENTRY AT CORNER,
SIMPLE + CLEAR
MASSING

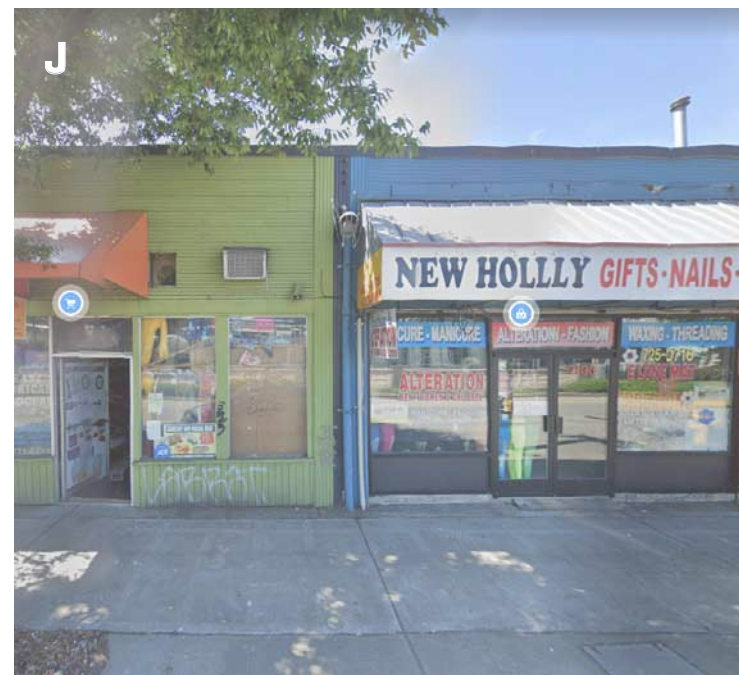


E
SALISH ELEMENTARY SCHOOL
(UNDER CONSTRUCTION)
Solid block with punched openings

TERRACE UNITS
WITH LANDSCAPED
BUFFER



I
4031 S WILLOW ST - ACROSS ALLEY TO THE EAST OF PROJECT
28 TOWNHOUSES + 16 ROWHOUSES (UNDER CONSTRUCTION)
Low-rise development spread over 5 parcels, with terrace units and landscaping alloww Willow St.



J
SMALL-SCALE NEIGHBORHOOD COMMERCIAL
Sequence of small retail spaces with minimal setback creates visual and programmatic interest organically



K
SMALL-SCALE NEIGHBORHOOD COMMERCIAL
Existing low-density commercial; integration of cars diminishes connection to sidewalk

URBAN DESIGN ANALYSIS
MARTIN LUTHER KING JR WAY S ELEVATIONS

MLK JR WAY S
FACING EAST



MLK JR WAY S
FACING WEST



S WILLOW ST
FACING NORTH

OPPOSITE PROJECT SITE



MLK JR WAY S

4000 S WILLOW ST
NEIGHBORHOOD COMMERCIAL

40TH AVE S

6754 40TH AVE S
SINGLE FAMILY HOUSE

4012 S WILLOW ST
SINGLE FAMILY HOUSE

4024 S WILLOW ST
SINGLE FAMILY HOUSE

S WILLOW ST
FACING SOUTH

OUTLINE OF ADJACENT PROJECT #3026375-LU

PROJECT SITE



42ND AVE S

4031 S WILLOW ST
TOWNHOUSE/ROWHOUSE DEVELOPMENT
(UNDER CONSTRUCTION)

ALLEY

4015 S WILLOW ST
SINGLE-FAMILY HOUSE
(TO BE REMOVED)

4009 S WILLOW ST
SINGLE-FAMILY HOUSE
(TO BE REMOVED)

4001 S WILLOW ST
SINGLE-FAMILY HOUSE
(TO BE REMOVED)

MLK JR WAY S

URBAN DESIGN ANALYSIS

ALLEY

ALLEY
FACING EAST

OPPOSITE PROJECT SITE

OUTLINE OF ADJACENT PROJECTS
#3026375, #3025955, #3025597, #3026376



4031 S WILLOW ST
6905 - 6931 42ND AVE S
TOWNHOUSE/ROWHOUSE DEVELOPMENT
(UNDER CONSTRUCTION)

S WILLOW ST

ALLEY
FACING WEST

PROJECT SITE



6940 MLK JR WAY S
MERCY OTHELLO PLAZA

6908 MLK JR WAY S
SINGLE FAMILY HOUSE

S WILLOW ST

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SITE ANALYSIS

SITE ANALYSIS

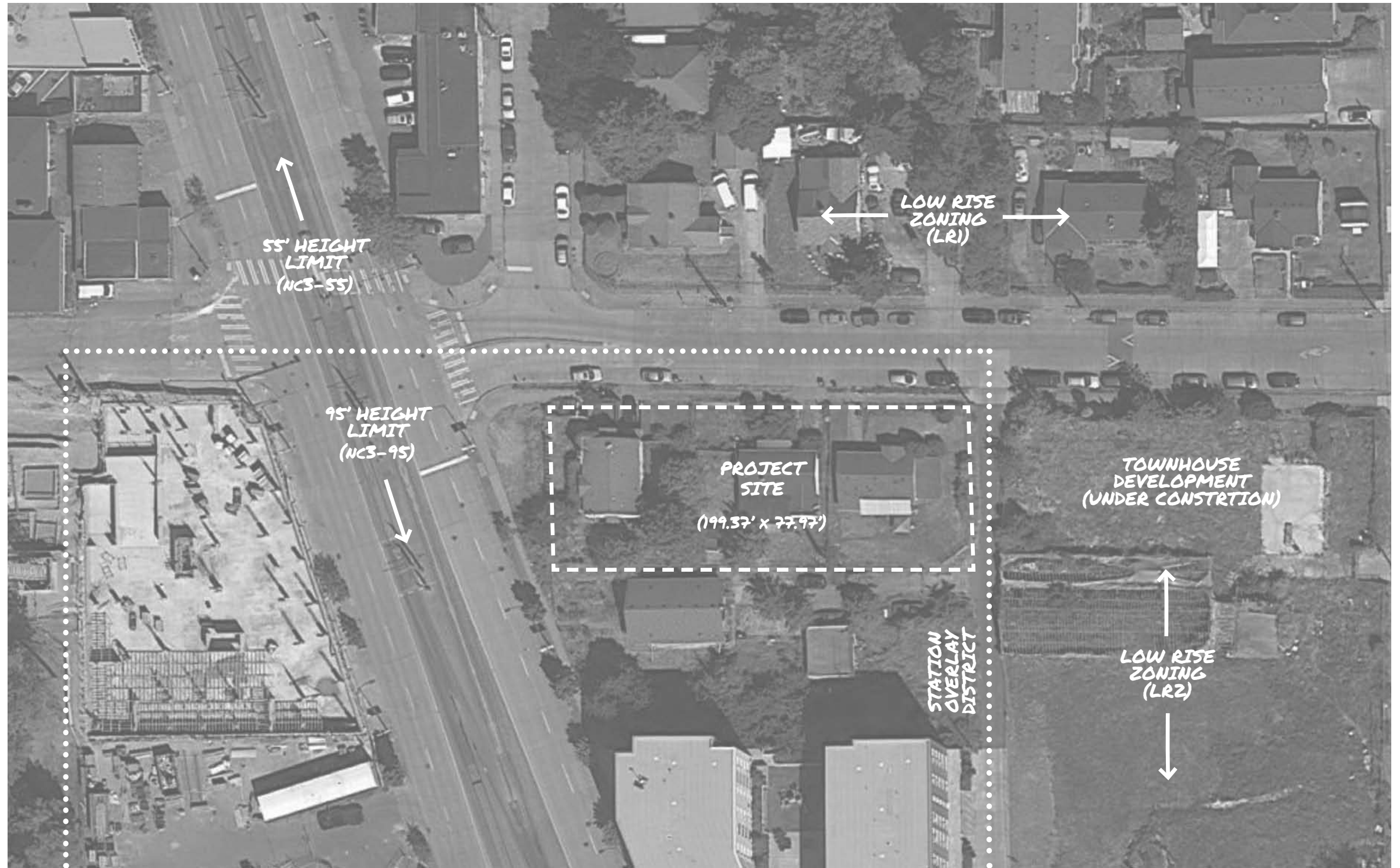
VICINITY

ADJACENCIES

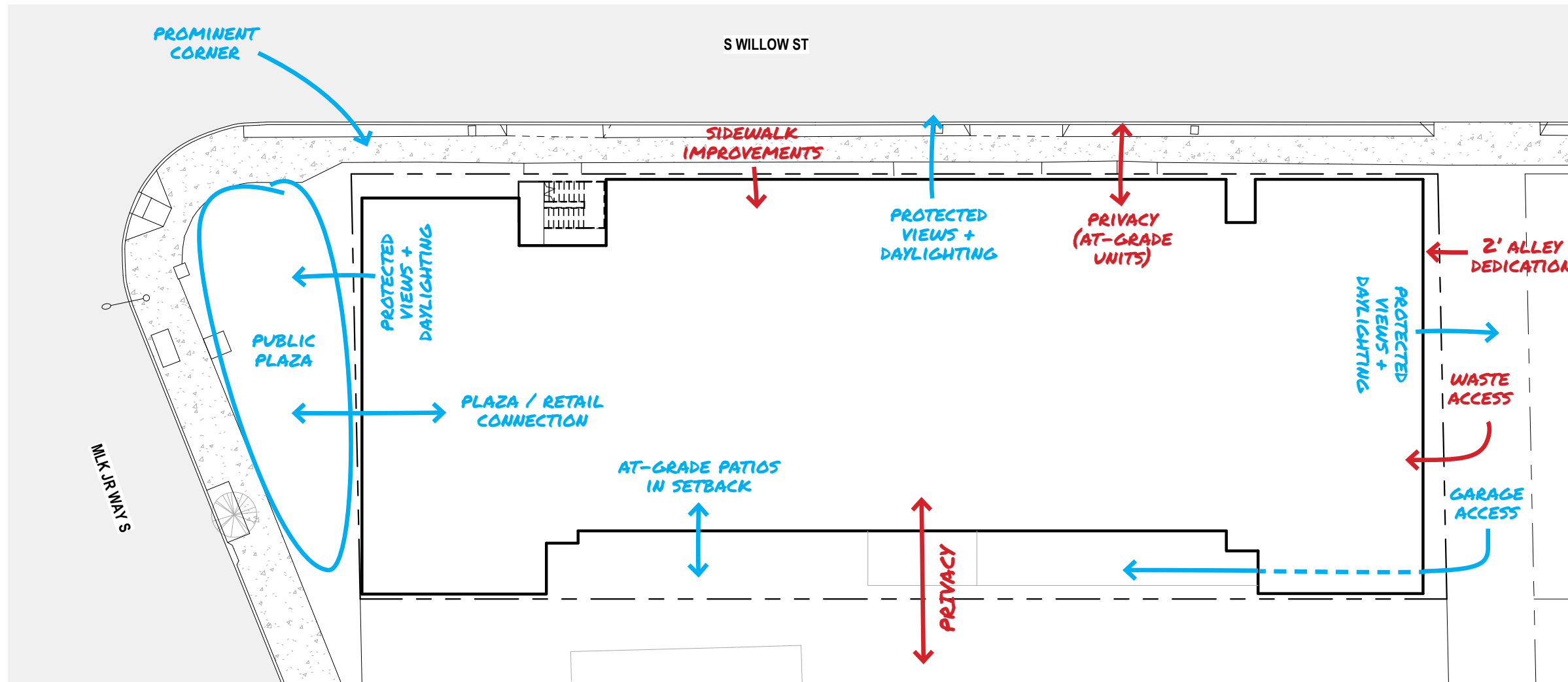
The project is located at the north end of the Othello Station Overlay District, with zoning transitions to the northwest, north and east. Over time this will result in a scale transition, placing the project at the northern threshold to the densest part of the neighborhood.

The project has an opportunity to address each of the two street frontages in a purposeful way, recognizing the broad, urban character of MLK and the finer-grained residential character of Willow.

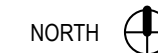
The oblique approach to the site from the north on MLK, coupled with the zoning height transition, suggests a prominence to the NW corner of the building.



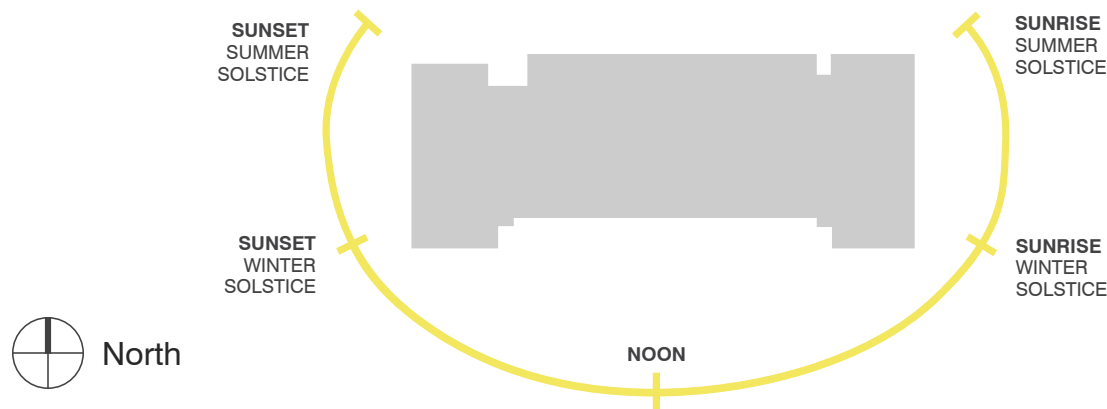
North 



SITE PLAN
Typical upper level extent of Preferred Option shown



SUN PATH DIAGRAM



NOTES

Elongated corner site with predominant exposure to north and south, access from three sides. Organization of units will benefit from taking into account solar exposure and privacy considerations. Potential plaza at west provides cue for locating retail; more intimately-scaled frontage along Willow better suited for residential lobby and units.

OPPORTUNITIES

- Corner lot provides good daylighting and views to North, East and West
- Possibility for new public plaza in ROW at west, with good connection to retail
- Prominent, highly-visible corner at MLK + Willow provides design opportunities
- Alley access for garage, services and utilities
- Opportunity for unit patios at grade in south setback

CHALLENGES

- Potential privacy concern for units facing south (only shared property line)
- Privacy for at-grade units along Willow
- Narrow alley may impact waste service options
- Alley improvements require 2' dedication (setback)
- Sidewalk ROW improvements will require setback at grade along Willow

STANDARDS AND GUIDELINES

STANDARDS + GUIDELINES

DESIGN GUIDELINES

URBAN PATTERN AND FORM

CS2.I / STREETScape COMPATIBILITY (OTHELLO GUIDELINE)

A strong relationship between the building and the street adds character and quality

- i. Commercial use addressing the sidewalk with minimal grade separation

The design addresses the street edge with retail fronting a new public plaza on MLK. An open and transparent residential lobby, and residential terraces create a vibrant and landscaped streetfront along Willow.



URBAN PATTERN AND FORM

CS2.III / CORNER LOTS (OTHELLO GUIDELINE)

CS2.III / CORNER LOTS (OTHELLO GUIDELINE)

- i. Site and design to emphasize their role as gateways and activity nodes. Locating open spaces such as plaza for public use can promote a physical and visual connection to the street.
- ii. Public art can serve as focal element and link to art-related themes in neighborhood
- iii. Use strong building forms to indicate gateways, intersections and corners, and anchor blocks

The design proposes a public plaza in the right of way along MLK, immediately west of the project site. The preferred Design Option organizes massing to respond to this plaza and west orientation in a legible, well-proportioned manner. Retail facing the plaza is proposed as well. Exterior stair at massing transition emphasizes prominent corner (strong building form).



WALKABILITY

PL2 / PERSONAL SAFETY AND SECURITY (OTHELLO GUIDELINE)

Address specific principles of Crime Prevention Through Environmental Design (CPTED), the goal of which is to reduce crime by addressing security concern in the building process.

- i. Defensible Space: Use “zones of defense” (public, semi-public, private) to define appropriate activities. Semi-public and semi-private zones, like plazas, promote defensible space, and can be demarcated with symbolic barriers, including landscaping.
- ii. Site and building lighting can be an effective crime deterrent. New developments are encouraged to provide lighting on buildings and in open spaces.

The proposed design offers a gradient of public, semi-public and private spaces, calibrated to their locations and uses. A highly-transparent lobby along Willow will provide eyes on the street; an adjacent exterior stair and breezeway will be positioned behind a landscape edge at the street, with an integrated gate to provide high visibility and security. Terrace units along Willow Street will be set back 10' with a landscaped buffer.

STREET-LEVEL INTERACTION
PL3.1 / HUMAN ACTIVITY (OTHELLO GUIDELINE)

The life of the neighborhood should be closely tied to the character or its public spaces

- i. Recess building or shop entrances to help create a traditional “main street” feel
- iii. Large developments are encouraged to include plazas along the street edge
- iv. Provide overhead weather protection along the sidewalk for pedestrian comfort

The proposed design organizes street-level programming to selectively activate different exposures, adjusting the amount of recess from the building above depending on location and program.



PL3.1 / PEDESTRIAN OPEN SPACE AND ENTRANCES (OTHELLO GUIDELINE)

Activate the street edge. Provide space for intermingling of pedestrians and shoppers at the street-level of Martin Luther King Jr. Way S.. Provide eyes on the street.

- i. Buildings that are designed for walk-in pedestrian traffic are encouraged

*Retail space along the plaza at MLK, and a glazed lobby along Willow, will contribute to the safety and vitality of pedestrian open spaces. See **Appendix A: Design Development** at the end of this document for more detail.*



STANDARDS + GUIDELINES

DESIGN GUIDELINES

ARCHITECTURAL CONCEPT

DC2.B1 / FACADE COMPOSITION

Design all facades considering the composition and architectural expression of the building as a whole. Ensure all facades are attractive and well proportioned.

*Attention will be paid to proportion and composition of the facades as the design progresses. See the **Design Development** section in Appendix A for an analysis of ways to accomplish this with a large project.*



DC2.C1 / VISUAL DEPTH AND INTEREST

Add depth to facades where appropriate by incorporating balconies, canopies, awnings, decks, or other secondary elements into the facade design.

Balconies, canopies, and other secondary elements will be incorporated into the design in a manner that provides visual interest while complementing the overall massing and composition strategies.

EXTERIOR ELEMENTS AND FINISHES

DC4.1 / EXTERIOR FINISH MATERIALS (*OTHELLO GUIDELINE*)

i. Encourage high-quality construction. All new buildings are encouraged to be constructed as long term additions to the urban fabric.

iii. Commercial and Mixed-Use Development: Use exterior materials found in traditional storefront design. Consider window design as an opportunity to provide variation and definition along the building facade.

The design will incorporate high-quality materials reflective of the context and use. This will be explored further as the design progresses.



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URBAN DESIGN ANALYSIS
DEVELOPMENT STANDARDS

CITATION	TOPIC	CODE STATEMENT	NOTES
23.47A.005	Street-Level Uses	<p>C.1 Min. 20% of street-level, street-facing facade is residential use.</p> <p>D.1 Min. 80% of street-level, street-facing facade is recreational, institutional or commercial.</p>	
23.47A.008	Street-Level Development Standards	<p>A.2.B Max. Width of blank segments along street-facing facade (2-8 ft above sidewalk) is 20 ft.</p> <p>A.2.C Max. 40% of street-facing facade is blank.</p> <p>A.3 Street-level, street-facing facade is located within 10 ft of the street lot line.</p> <p>B.2.A 60% of street-facing facade (2-8 ft above sidewalk) is transparent.</p> <p>B.3.A Average depth of non-residential use (>600 sf) from street-level, street-facing facade is 30 ft. Min. depth of non-residential use (>600 sf) from street-level, street-facing facade is 15 ft.</p> <p>B.3.B Average depth of non-residential use (<600 sf) from street-level, street-facing facade is 20 ft. Min. depth of non-residential use (<600 sf) from street-level, street-facing facade is 10 ft.</p> <p>B.3.C Max. 50% of structure's footprint is non-residential.</p> <p>B.4 Min. floor-to-floor height of non-residential use at street level is 13 ft.</p> <p>C.4.A Min. 60% of street frontage has a continuous overhead weather protection.</p> <p>C.4.B Min. width of covered area in 60 ft.</p> <p>C.4.D Lower edge of overhead weather protection is between 8-12 ft above sidewalk.</p> <p>C.5.A Max. width & depth of a structure is 250 ft.</p> <p>C.6.A Commercial use (>5,000 sf) on street level facade is divided into small spaces.</p> <p>E.1 Live-work units: Min. area is 300 sf. Min. depth of non-residential use is 15 ft from street-level; street-facing facade. No residential use is allowed in the non-residential portion. Each unit has an exterior business sign.</p>	Per Table A
23.47A.012	Structure Height	<p>C.2 Max. height of parapets, clerestories & skylights is 4 ft above height limit.</p> <p>C.3 Max. height of solar collectors is 7 ft above height limit.</p> <p>C.4 Max. height of uncovered roof features (<20% of roof area) is 15 ft above height limit. Max. height of all roof features (<25% of roof area) is 15 ft above height limit. Max. height of stair & elevator penthouses is 16 ft above height limit.</p> <p>C.6 Min. setback of solar collectors, planters & non-firewall parapets from north lot line is 10 ft.</p>	
23.47A.013	FAR	<p>A. 6.25. 95 ft height limit.</p> <p>B.1 All stories or portions of stories underground don't count towards FAR.</p> <p>B.2 Floors that extend 4 ft max. above finish grade don't count towards FAR.</p> <p>B.7 Bike parking for SEDUs or congregate sleeping rooms don't count towards FAR.</p>	Per Table A
23.47A.014	Setback Requirements	<p>A.1 Max. height of open railings is 4 ft.</p> <p>A.2 Max. height of parapets is 2 ft.</p> <p>C.2 Average setback for street-facing portions of structure >75 ft high is 8 ft.</p> <p>C.3 Max. 20% of facade to be setback is 5 ft or less.</p> <p>E. Min. recommended landscaped setback is 5 ft.</p>	

CITATION	TOPIC	CODE STATEMENT	NOTES
23.47A.016	Landscaping & Screening Standards	A.2 Min. green factor score is 0.30.	
23.47A.024	Amenity Area	A. Min. 5% of total gross floor area in residential use are amenity areas. B.1 All residents shall have access to at least one common or private amenity area. B.2 Amenity areas shall not be enclosed. B.4 Min. horizontal width of common amenity areas is 10 ft. Min. size of common amenity areas is 250 sf. B.5 Min. area of private balconies & decks is 60 sf. Min. horizontal width of private balconies & decks is 6 ft.	
23.47A.032	Parking Location & Access	A.1.A Parking is accessed from the alley. B.2 Surface parking is prohibited in pedestrian designated zones.	
23.52.004	Requirements To Meet Transportation Level-Of-Service Standards	B. Min. 40% of SOV reduction is a target to achieve in proposed developments (>30 dwelling units).	
23.52.008	Applicability Of Transportation Impact Mitigation	A. Gross area of non-residential uses (in mixed-use developments) is 12,000-30,000 sf. B. Impact analysis is required	
23.54.015	Required Parking & Maximum Parking Limits	A. Required parking: No minimum stalls for non-residential uses in urban villages within frequent transit service areas. No minimum stalls for residential uses in commercial zones in urban villages within frequent transit service areas; Min. Bike parking in eating & drinking establishments is 1 long-term bike stall per 5,000 sf & 1 short-term bike stall per 1,000 sf. Min. Bike parking in general sales & service spaces is 1 long-term bike stall per 4,000 sf & 1 short-term bike stall per 2,000 sf. Min. Bike parking in multi-family structures is 1 long-term bike stall per 1 dwelling unit & 1 short-term bike stall per 20 dwelling units.	Per Table A Per Table B Per Table D Per Table D Per Table D
23.54.040	Solid Waste & Recyclable Materials Storage & Access	A. Min. Shared storage space in residential developments (51-100 dwelling units) is 375 sf plus 4 sf for each additional unit above 50. Min. Shared storage space in non-residential developments (0-5,000 sf) is 82 sf. B. Mixed-use developments that contain both residential & non-residential uses will meet shared storage space for residential developments plus 50% of shared storage space for non-residential developments. In mixed-use developments, residential & non-residential uses may share garbage storage spaces. In mixed-use developments, residential & non-residential uses have separate recycle storage spaces. C. Developments (>100 dwelling units) may reduce min. Storage space by 15%, if min. Horizontal width is 20 ft. D. Min. Storage space for developments (>9 dwelling units) is 12 ft. G.1 Shared storage space will be accessed directly from the alley. G.2 A pickup location is within 10 ft from a curb cut or a collection location.	Per Table A Per Table A

EARLY COMMUNITY OUTREACH

EARLY COMMUNITY OUTREACH
SUMMARY OF METHODS AND FINDINGS

SUMMARY OF OUTREACH METHODS

Mailing (High Impact Method)

- We mailed a flyer with project information to residences and businesses within a 500 ft radius. It was sent in four languages (English, Mandarin, Vietnamese and Tagalog).
- The flyer included basic project information, website address, and details about accessing the community survey.
- Mailing was sent first class by Lucy+Par on May 27, 2021.

Interactive Project Website (High Impact Method)

- Project website that included site location, brief description of the project, and how to find more information on the SDCI portal.
- Allowed community members to send questions and comments

Survey (High Impact Method)

- Community survey page on the website
- Survey publicized through direct mailing and community outreach meetings with On Board Othello, Othello Park Alliance and the Othello Station Community Action Team.

Meetings with Community Groups

- Held three outreach meetings with Othello Station Community Action Team (OSCAT), Hello Othello, and Othello Park Alliance. Feedback from these meetings is included in the “What We Heard from the Community” on following page.

Community Papers

- Emailed press release to the community papers listed below

VIETNAMESE		
Northwest Vietnamese News / Người Việt Tây Bắc	Mr. Kim Pham (Editor)	news@nvnorthwest.com ;
	Mr. Don Pham (Reporter)	wrahofdon@gmail.com ;
	Andy Pham (Ads)	andy@nvnorthwest.com ;
Phuong Dong Times	Mr. Đông Thanh Võ	phuongdong91@yahoo.com ;
Saigon Bao	Office	saigonbaocom@gmail.com ;
SBTN - Saigon Broadcasting Television Network	Office	nvtbraovat@aol.com ;
CHINESE		
AAT TV (Asian American TV)	David Cho (Advisor)	dcho@aattv.com
	Office	news@aattv.com
Asia Today	John Chou (Publisher)	asia_today@hotmail.com
China Press Weekly (Seattle)	Hongyu Ren (Publisher)	rhy.helena@gmail.com
	Shiqiao Peng (Seattle Reporter)	shiqiaopeng@gmail.com
	Office	advsf@uschinapress.com
Chinese Radio Seattle on KKNW 1150 AM Alternative Talk	Xiaoyuan Su (CEO)	crsradio@gmail.com
Tagalog (Filipino)		
Fil Am Chronicle	Herbert Atienza	editor@pnwfilamchronicle.com
	Office	editor@pnwfilamchronicle.com

COMMUNITY OUTREACH FLYER

Dear Neighbor,

OZ Navigator, a partnership between Seattle-based real estate firms Nitze-Stagen and Housing Diversity Corporation, is designing a new mixed-use residential project at 4001 South Willow in the Othello neighborhood.

This will be O.Z. Navigator’s second project in the Othello neighborhood (7324 Martin Luther King Jr. Way South) and we are pleased to part of this richly diverse community. Our projects are designed to contribute to the vibrancy and economic diversity of the neighborhoods in which they are located – and with a mission to keep Seattle affordable.



Located close to the Othello light rail station and other mass-transit options, the project is a transit-oriented development to further the reduction of single occupancy vehicles and their carbon emissions while supporting healthy, thriving communities.

The proposed 8-story, mixed-use development will include approximately 196 apartment homes at rents that are attainable to a large percentage of Seattle’s population. Out of the 196 apartments, 75-percent will be priced to accommodate renters earning \$60,000 annually or 80-percent of the Area Median Income. The remaining 25-percent of the units will be designated for renters earning \$53,000 or 70-percent of Area Median Income.

The project will include live-work units along Willow Street with setbacks for private gardens with sunny exposure on the south side of the proposed building. The project team is also exploring in-unit work from home nooks in each apartment, as well as co-working amenities in the building.

As companies rooted in Seattle, we believe that great projects are informed by neighbors and the local community.

Given that we cannot meet with you in person due to social distancing requirements, we have designed a website and neighborhood survey to gain community feedback. Please visit the site at: oznavigatorssouthwillow.com. There is a contact form to send us any questions or other issues that you would like us to consider.

WHAT WE HEARD FROM THE COMMUNITY

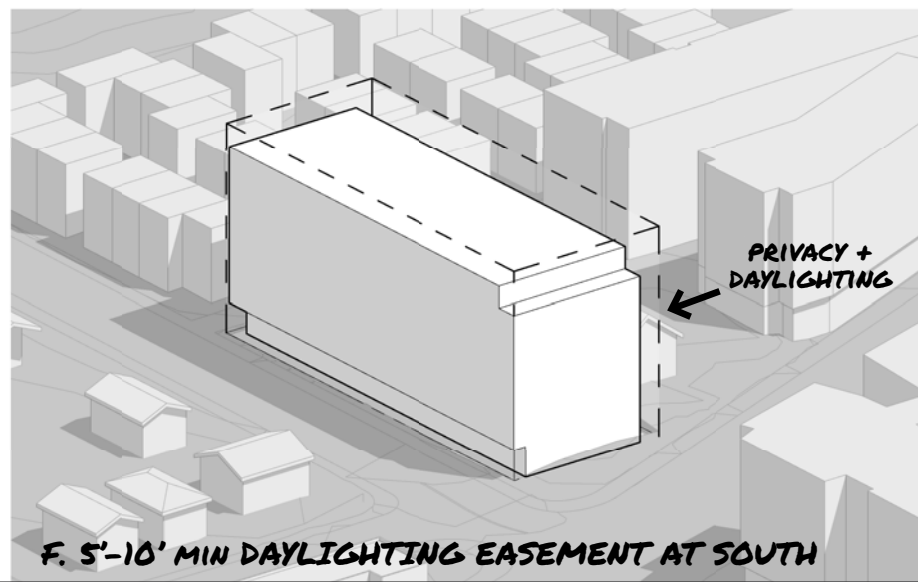
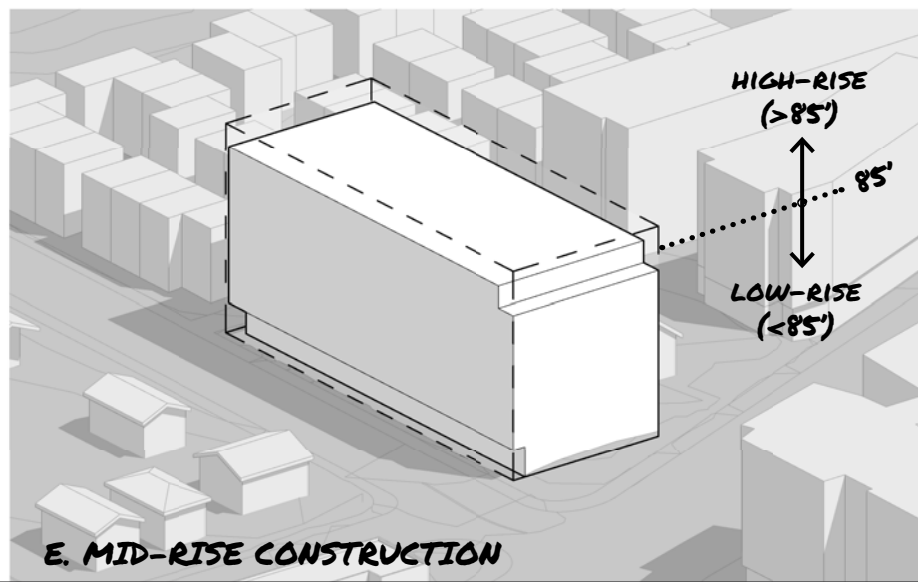
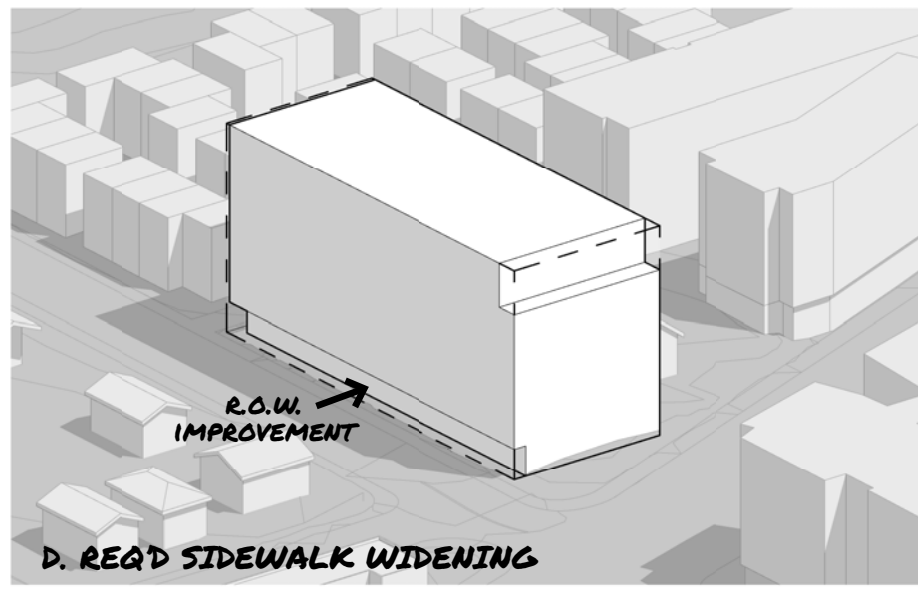
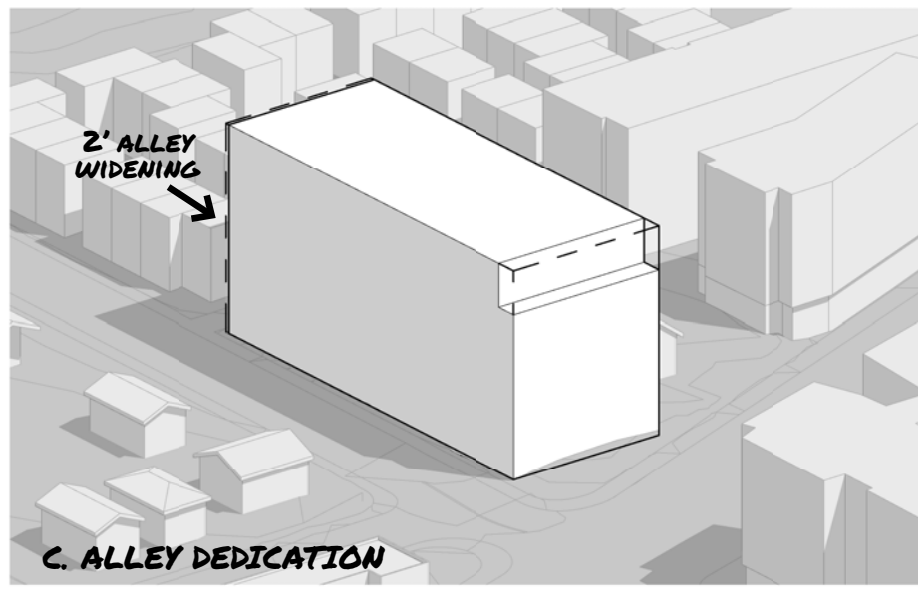
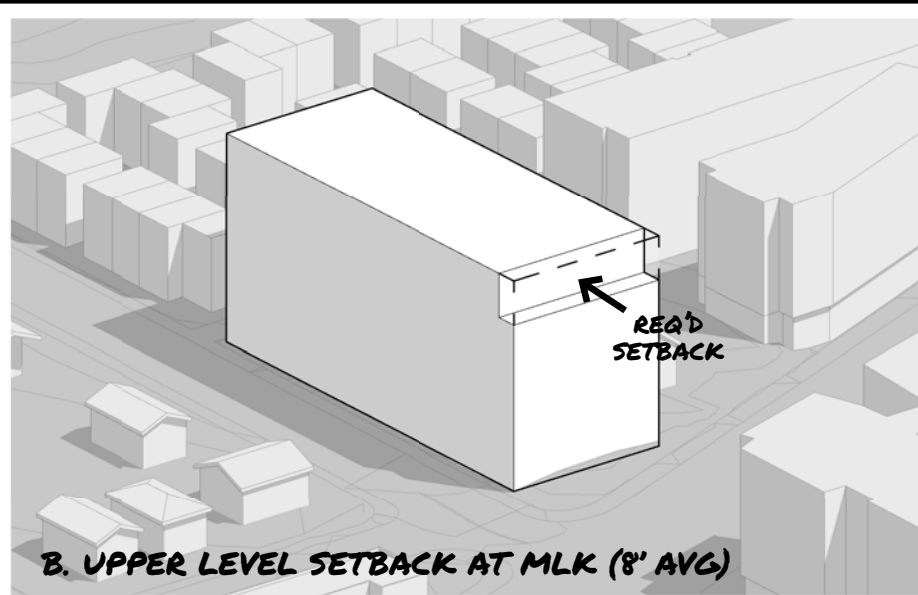
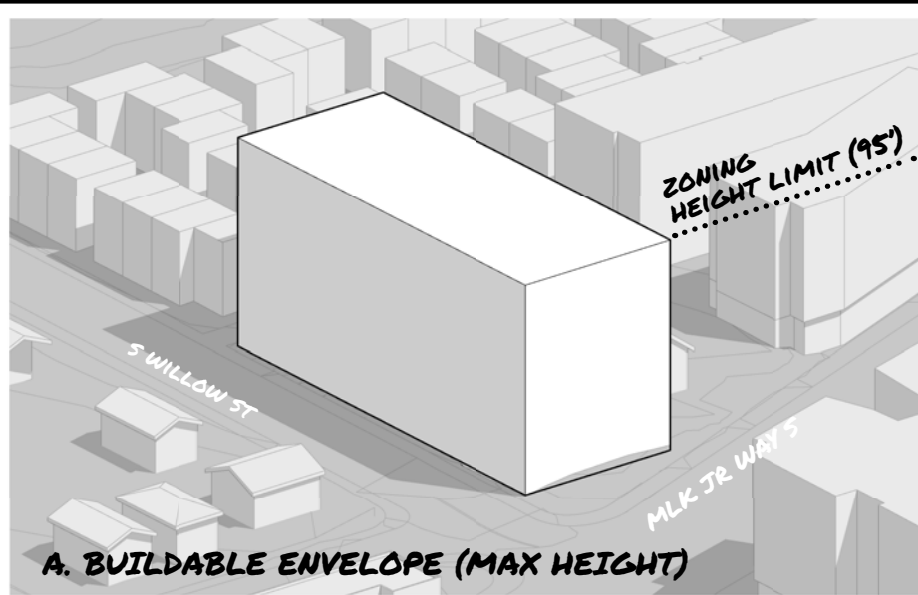
- Hoping for vibrant street scene and active retail
- Interest in providing opportunities for authentic neighborhood retail (rather than national/corporate)
- Preference for typical ground-floor apartment units instead of live/work
- Interest in family-size units
- Interest in local art / neighborhood character
- Appreciate back-of-house functions at alley, away from street frontages
- Appreciate that the project will be held by owners long term, better involvement in the community
- Appreciate the public/private partnerships that the ownership group has done on prior projects

INCORPORATION OF FEEDBACK INTO THE DESIGN

- Design options include prominent commercial space at potential new plaza on MLK, with ample space to gather.
- Preferred design has highly-transparent lobby along Willow to further activate the streetscape.
- Ownership group intends to work with local retailers.
- Preferred design incorporates residential units with terraces at grade along Willow St
- The ownership group is working with Elisheba Johnson to develop a public art program for the project.

DESIGN OPTIONS

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CODE REQUIREMENTS

VOLUNTARY

CONSTRAINTS

Preliminary massing studies at left identify site constraints (A-D), including zoning requirements and right-of-way improvements.

Low-rise construction is proposed in order to achieve the project of goal of attainably-priced housing, setting the max height at 85' (E). This is not a code requirement.

A voluntary 10' daylighting easement is also shown (F) to provide daylighting to south-facing units, as well as improved privacy at the only shared property line.

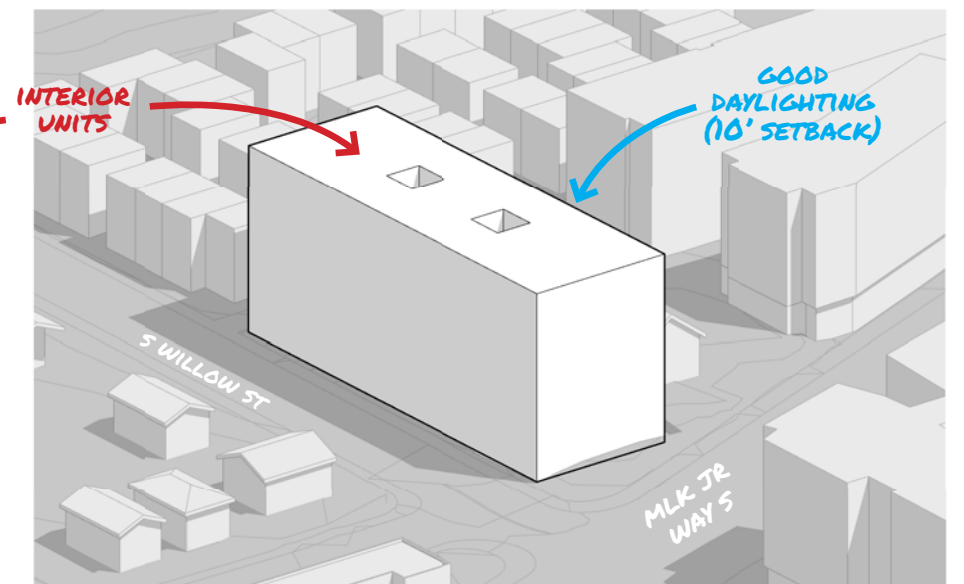
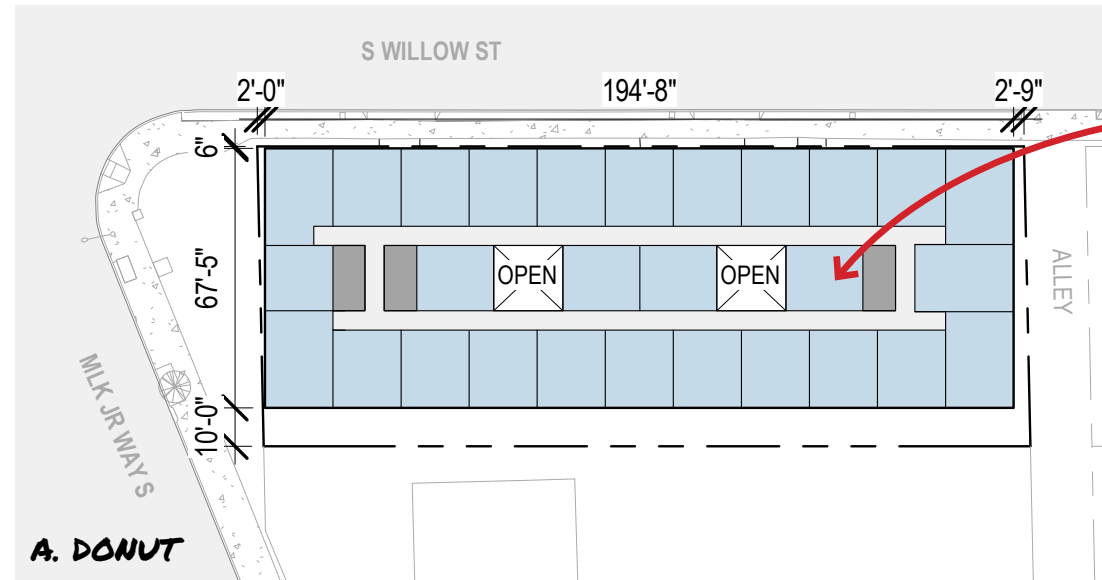
DESIGN OPTIONS

MASSIGN DEVELOPMENT — INITIAL STUDIES

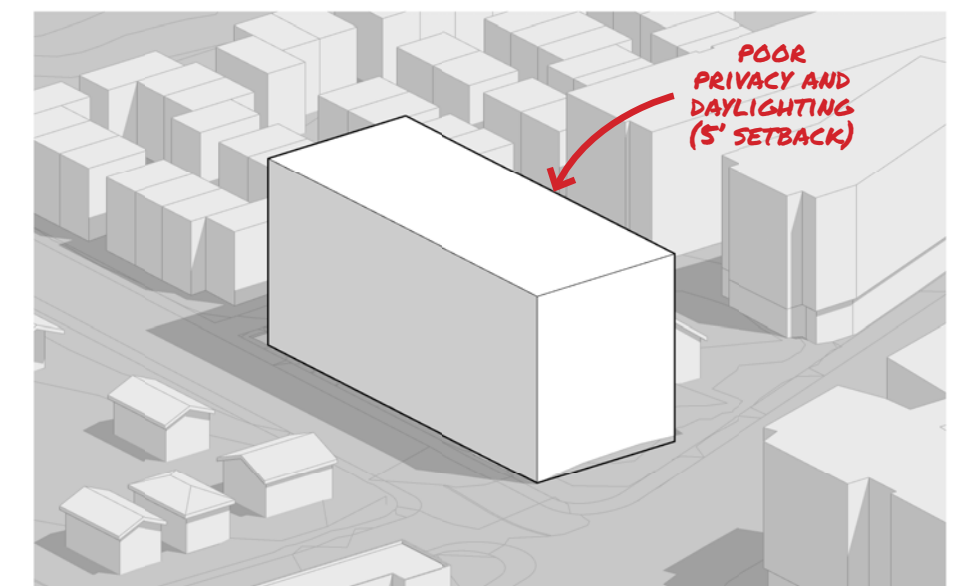
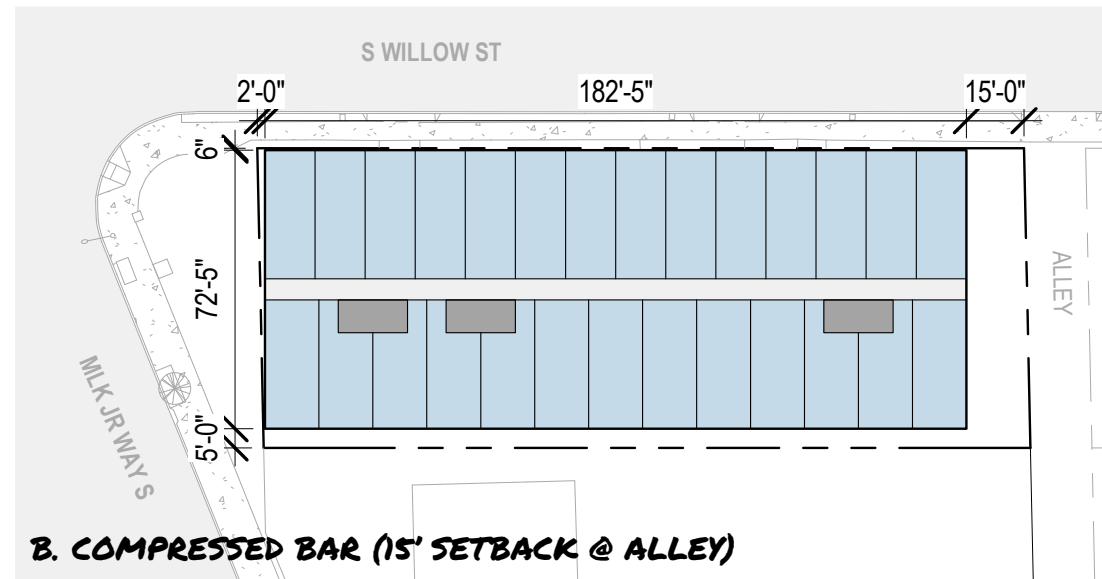
SITE + MASSING

- The public right of way provides ample privacy at West, North and East exposures, including newly-widened 20' alley to the east.
- A double corridor plan (A) maximizes the site but presents challenged interior units and fewer opportunities to modulate the massing.
- Stepping back at the alley (B) severely limits the amount of glazing allowed along the only shared property line to the south.
- A single loaded corridor (C) doesn't fully utilize the site.

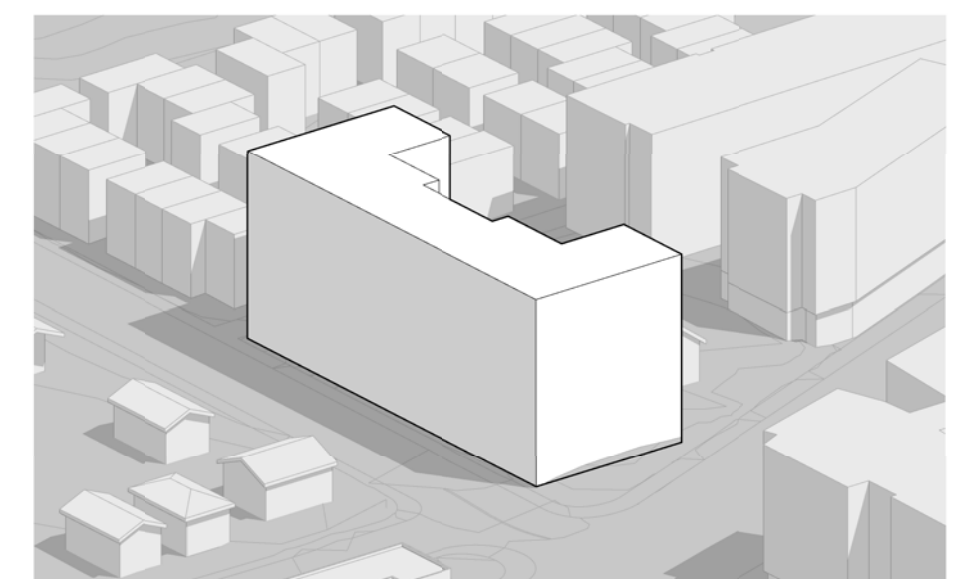
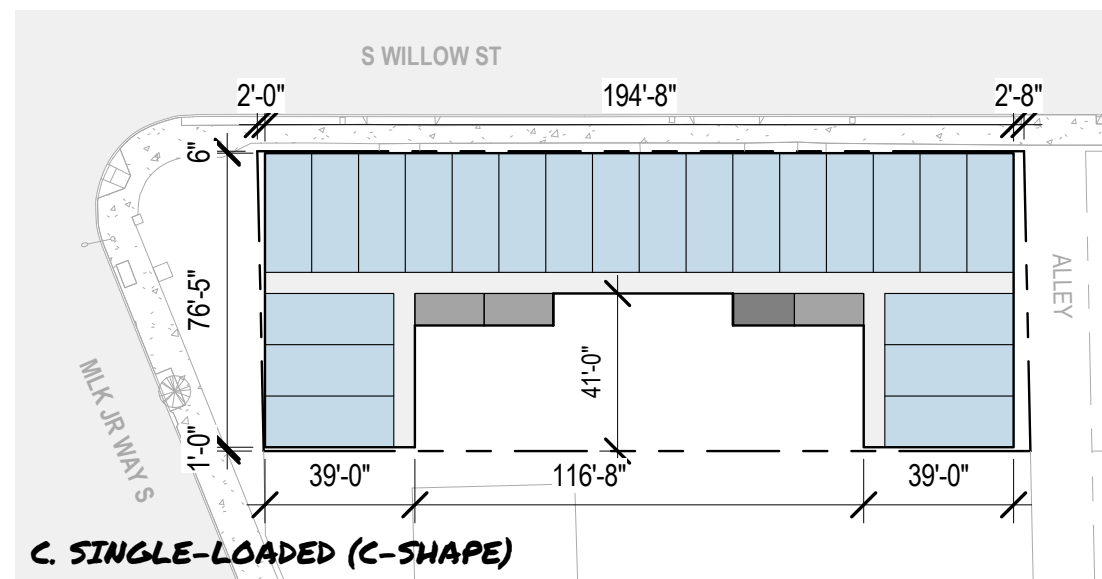
27 UNITS / FLR
6.7 FAR

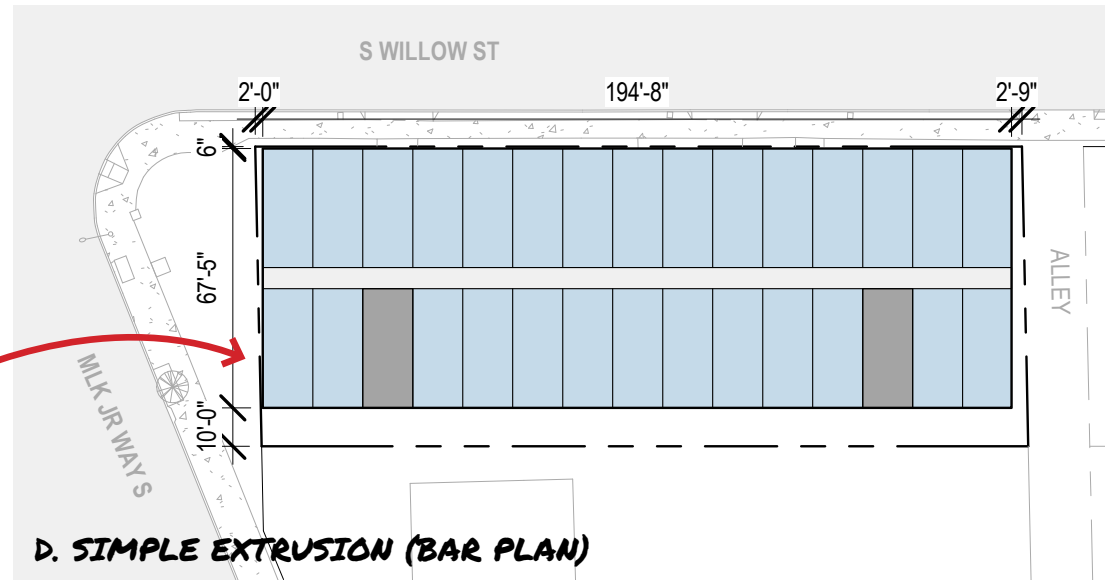
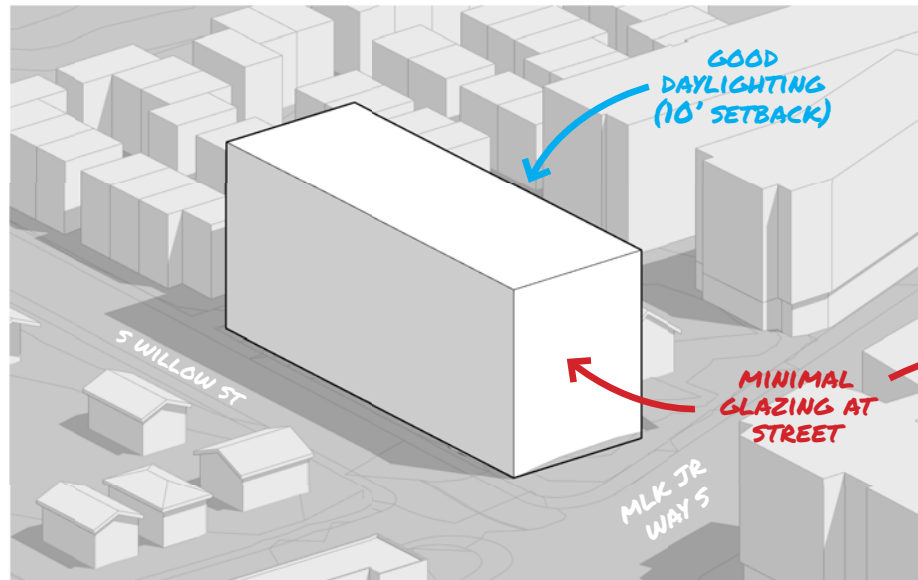


27 UNITS / FLR
6.7 FAR

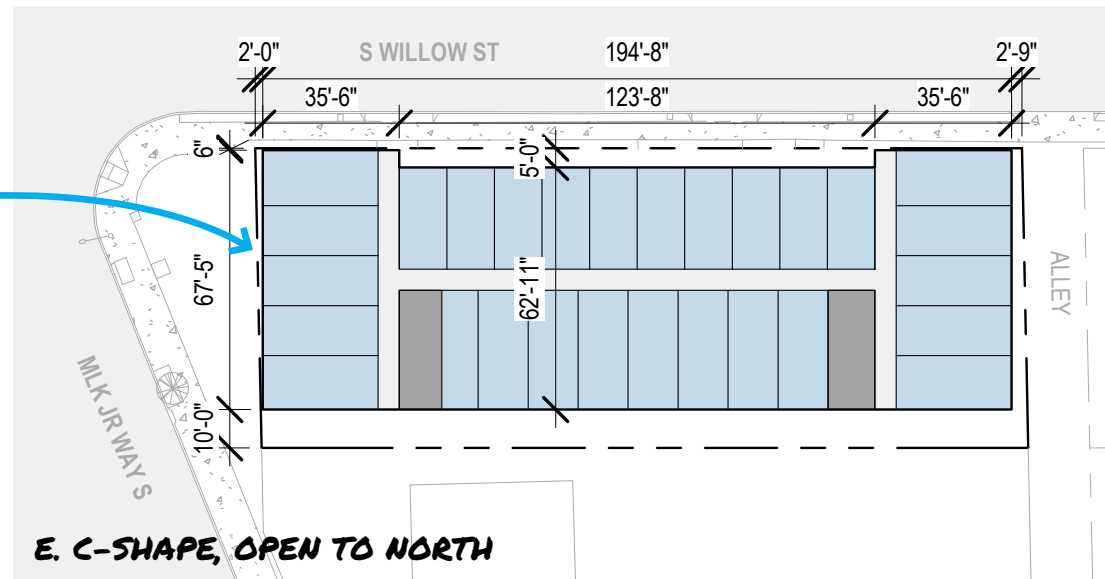
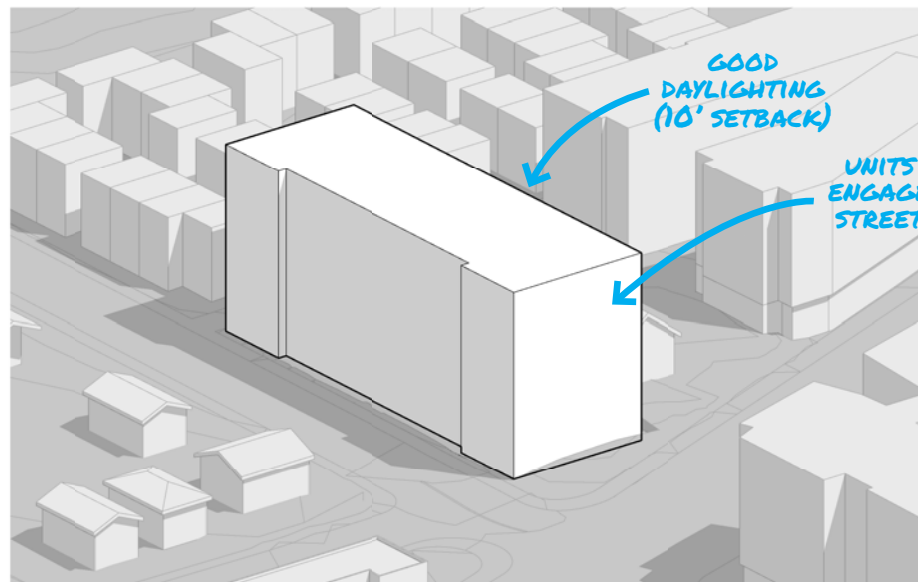


22 UNITS / FLR
5.5 FAR

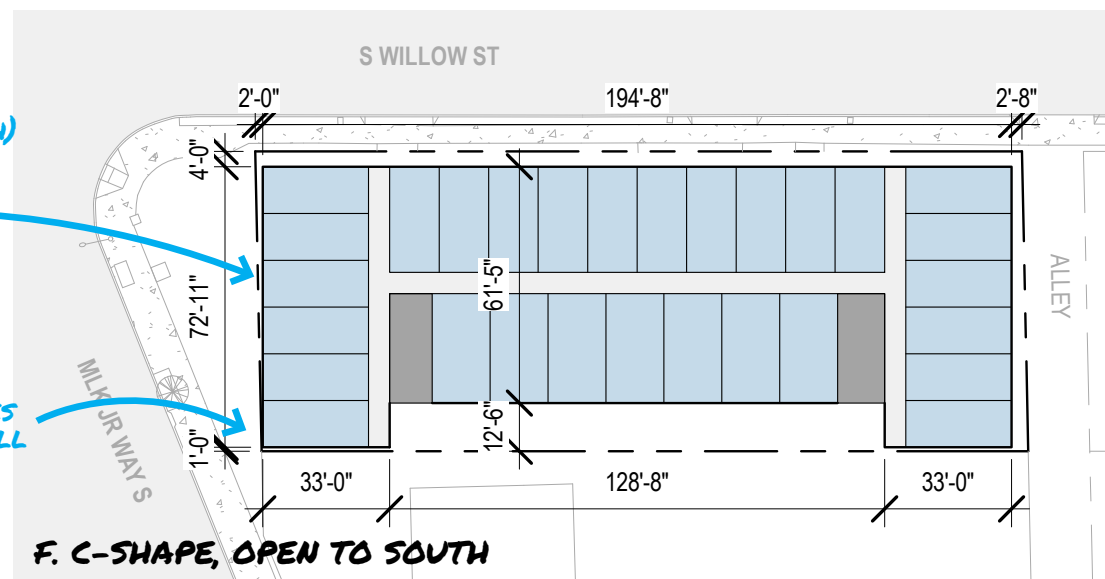
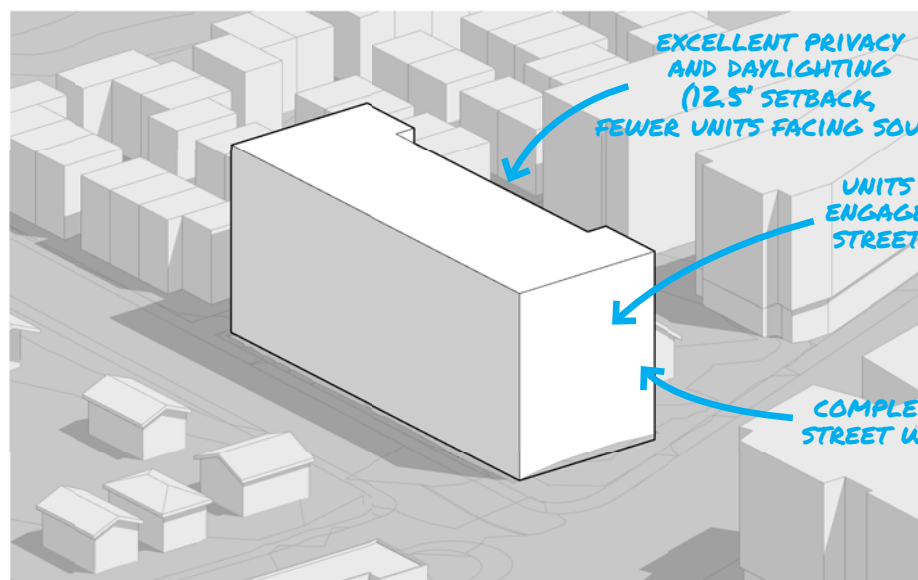




28 UNITS / FLR
 6.7 FAR



27 UNITS / FLR
 6.3 FAR



29 UNITS / FLR
 6.3 FAR

SITE + MASSING

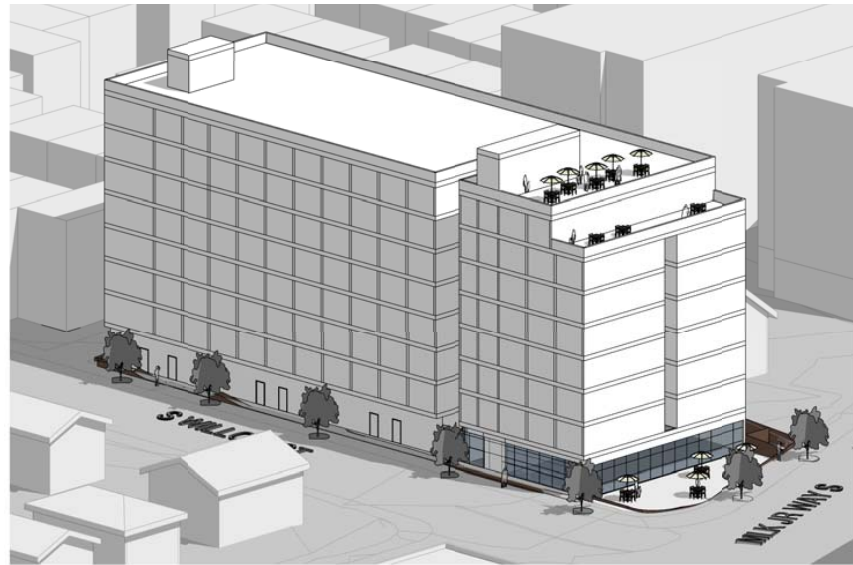
- **Bar-shaped plans (B, D)** create efficient footprint and circulation though present blank walls to the east and west (unit side walls)
- **C-shaped plans (E, F)** better address MLK and the alley by turning units to face these exposures, resulting in fewer units facing future development at the south and improved privacy.
- An increased setback to the south (F) further improves privacy and daylighting
- Extending to the south property line along MLK (F) provides opportunity for a consistent street wall

CONCLUSIONS

- **Double-loaded corridor**
- **Setback at south, not elsewhere**



DESIGN OPTIONS
MASSING SUMMARY



OPTION A

(Code Compliant — No Departures)

STORIES	8
UNITS	196 Total Units
	• 5 Live-Work
	• 191 One-Bedrooms
FAR	6.25 (97,137 SF)
PARKING	20 Stalls (2 Accessible)
COMMERCIAL	2125 SF

DESCRIPTION

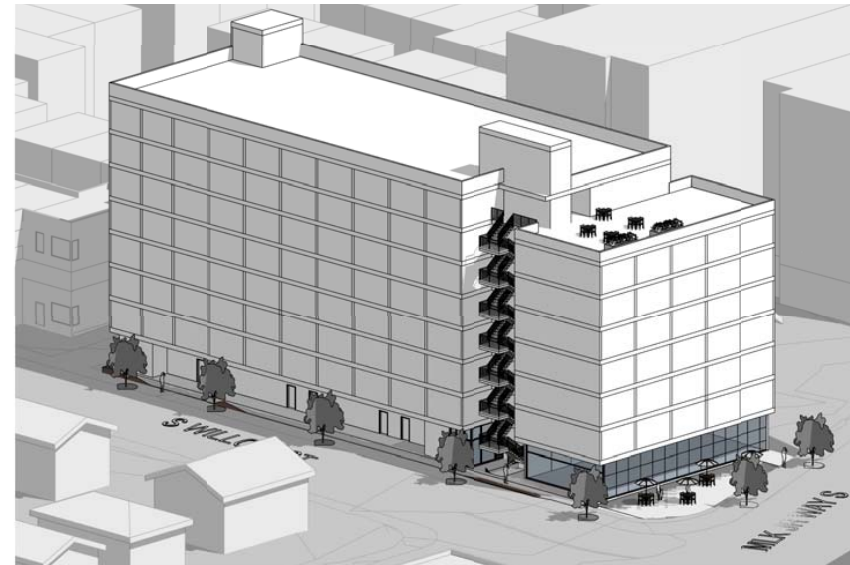
Units face north-south for simplified circulation and a compact footprint. An exterior stair breaks up the massing of the long north facade; a setback along MLK at the top level meets minimum code requirement. Live-work units located at grade along Willow St.

ADVANTAGES

- Efficient footprint
- Retail opens on to plaza in ROW at MLK (*PL1-A.1: Enhancing Open Space; PL1-C.1: Selecting Activity Areas*)
- Exterior stair allows for break in massing
- (*DC2-A.2: Reduced Perceived Mass*)

CHALLENGES

- No units facing east/west; minimal activation on those elevations
- Massing transitions not fully resolved, don't effectively break up scale of building
- Garage ramp located within building causes circulation challenges
- Lobby has very little street presence or transparency
- Exterior stair lacks prominence



OPTION B

(Code Compliant — No Departures)

STORIES	8
UNITS	204 One-Bedroom Units
FAR	6.23 (96,653 SF)
PARKING	20 Stalls (2 Accessible)
COMMERCIAL	2,075 SF

DESCRIPTION

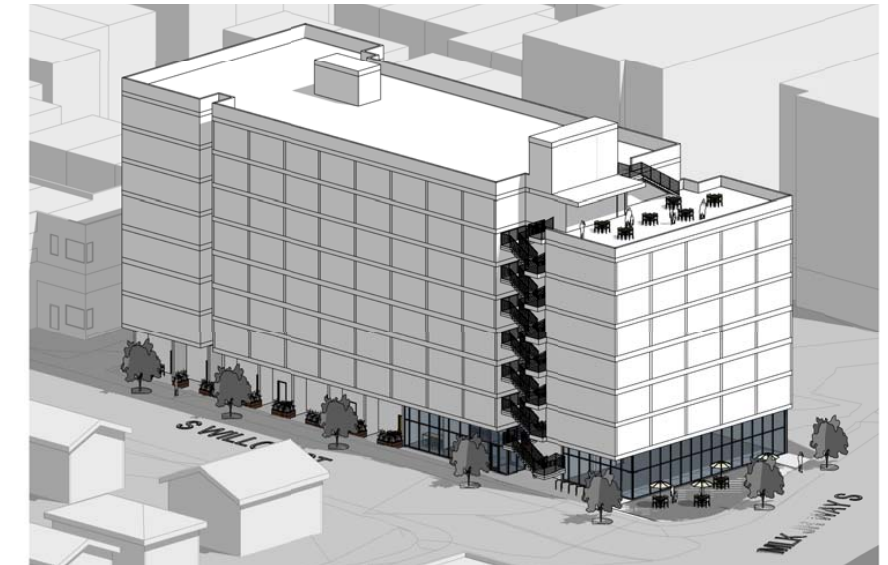
A refinement of Option A. Units rotated at west rotated to face MLK; corresponding step in massing exceeds code requirement. At-grade units along Willow St changed from live-work to residential units for widened pedestrian area and opportunity for landscaping.

ADVANTAGES

- Increased unit count
- Larger upper-level setback creates more coherent massing transition and more significant exterior stair (*CS2-C.1: Corner Sites*)
- Zero lot line at SW corner (MLK) allows for more coherent street wall (*CS2-A.4: Evolving Neighborhoods*)
- Increased at-grade setback along Willow provides landscaped buffer (*DC2-D.1: Human Scale; PL3-B.1: Security and Privacy*)

CHALLENGES

- No units facing east — large blank facade for entire exposure
- Garage ramp located within building causes circulation challenges
- Lobby has very little street presence or transparency



OPTION C — PREFERRED

(Code Compliant — No Departures)

STORIES	8
UNITS	197 Total Units
	• 7 SEDUs
	• 190 One-Bedrooms
FAR	6.25 (97,134 SF)
PARKING	14 Stalls (2 Accessible)
COMMERCIAL	1,800 SF

DESCRIPTION

A refinement of Option B. Units at east rotated to face alley, creating secondary massing transition and activating all four facades. Exterior stair rotated for additional prominence. Drive ramp for garage moved out of building to south property line, providing better access for at-grade units. Larger setback at south property line improves privacy.

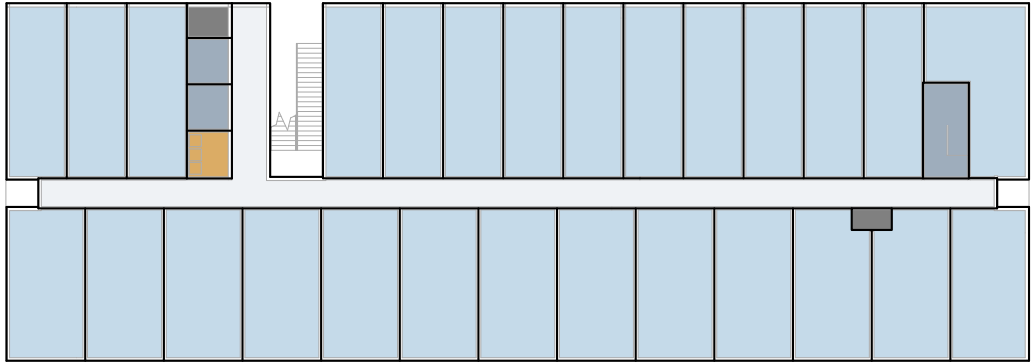
ADVANTAGES

- Units face all four directions, providing more active facades (*DC2-B.2: Blank Walls*)
- Fewer units facing south at shared property line and increased setback for improved privacy (*CS2-D.5: Respect for Adjacent Sites*)
- Lowered massing along MLK and exterior stair at transition acknowledge corner site (*CS2-C.1: Corner Sites*)
- Second massing break further reduces perceived scale of building (*DC2-A.2: Reduced Perceived Mass*)
- Larger lobby with more street presence and transparency (*PL3-A.1: Design Objectives - Entries*)
- Exterior garage ramp at south property line (*DC1-B.1: Access Location and Design*)
- 10' setback for landscaped residential terraces along Willow St (*DC2-D.1: Human Scale; PL3-B.1: Security and Privacy*)

MINIMAL
MODULATION
OF MASSING

OPTION A
"BAR PLAN TYPE"

UNITS FACE
NORTH/SOUTH
ONLY

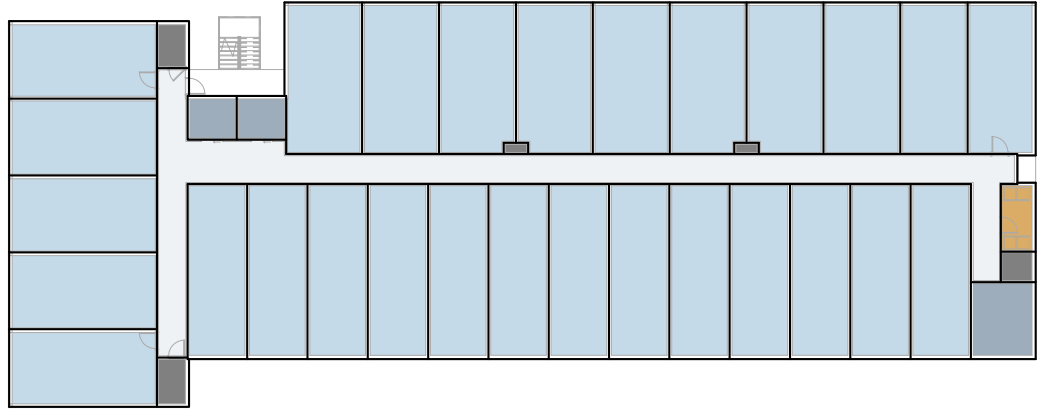


OPTION B
"L" PLAN TYPE

IMPROVED
MASSING
TRANSITION /
MODULATION

UNITS ALSO
FACE MLK

ZERO LOT LINE AT
SOUTH - IMPROVED
STREET WALL

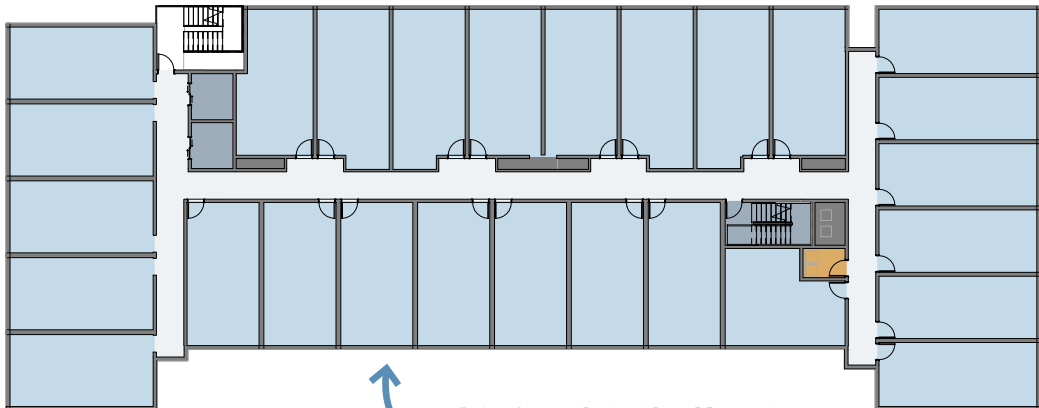


SECONDARY
MASSING
TRANSITION

OPTION C
"C" PLAN TYPE

UNITS ALSO
FACE EAST

INCREASED SETBACK
AT SOUTH -
IMPROVED PRIVACY



DESIGN NARRATIVE

The Design Options follow a progression from a compact, code-compliant form (Option A) to increasingly more contextual and refined massing that serves as an architectural expression of the program.

The refinements in massing are responses to an evolution of the typical level plan, at left.

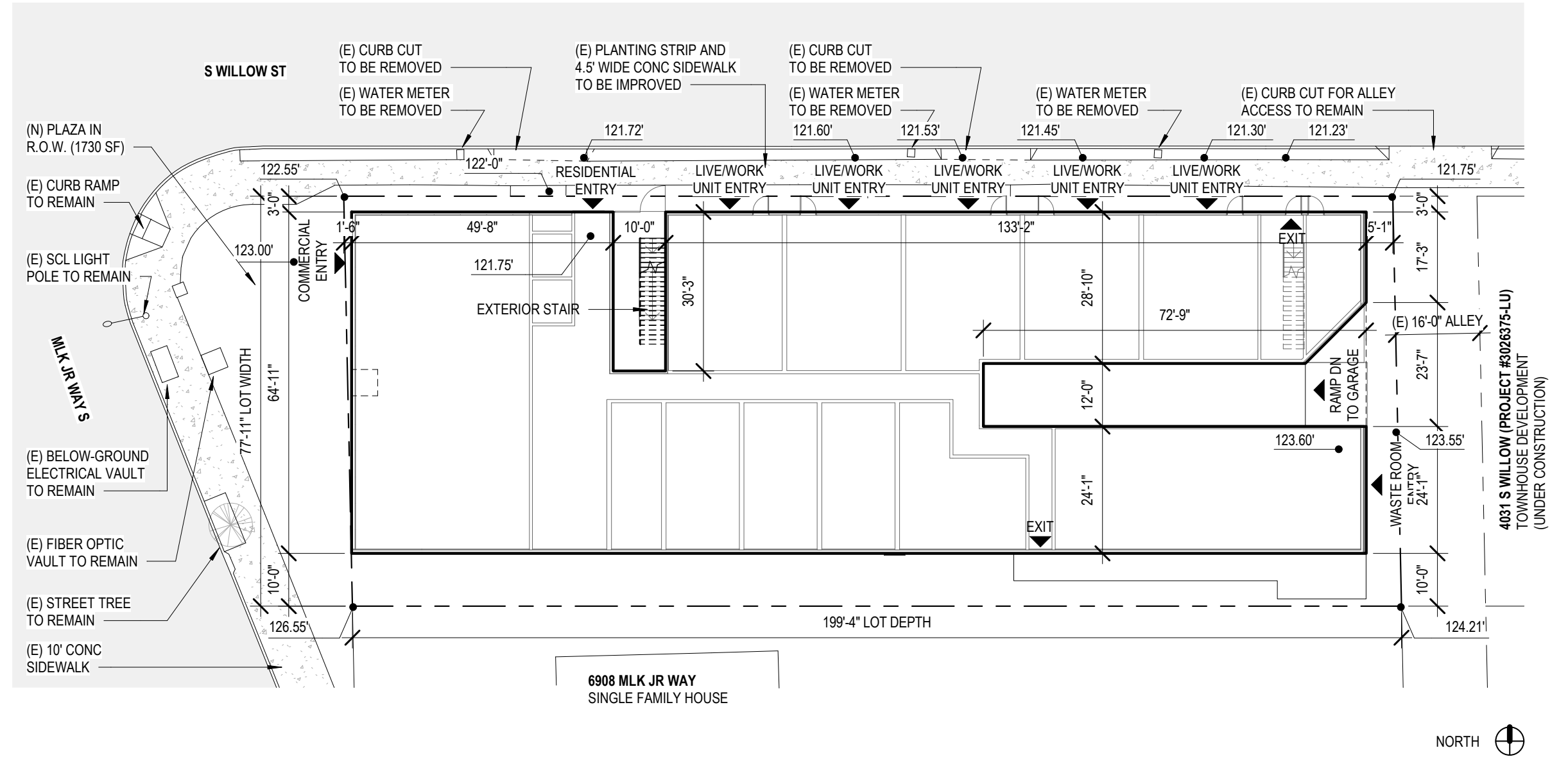
DESIGN OPTION A

SITE PLAN

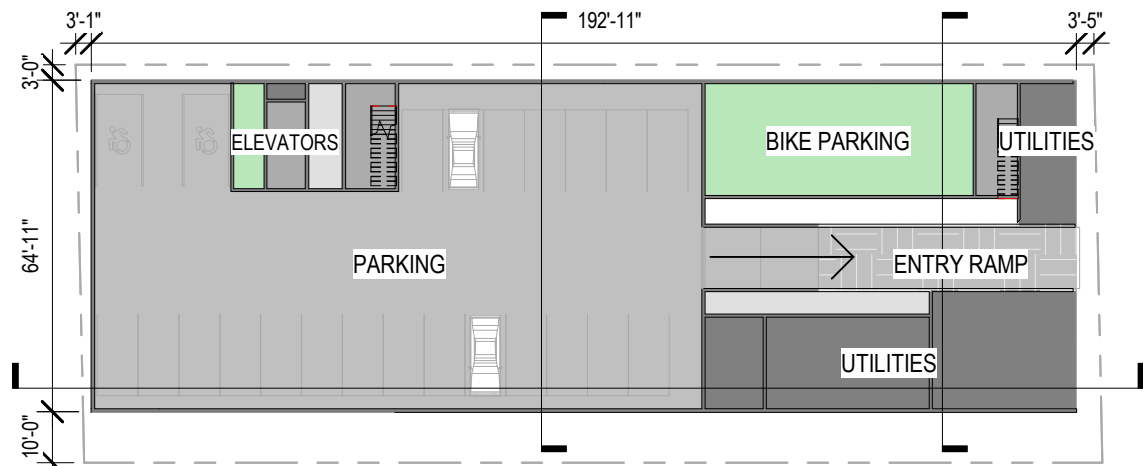
SITE PLAN NOTES

PROGRAMMING + ACCESS

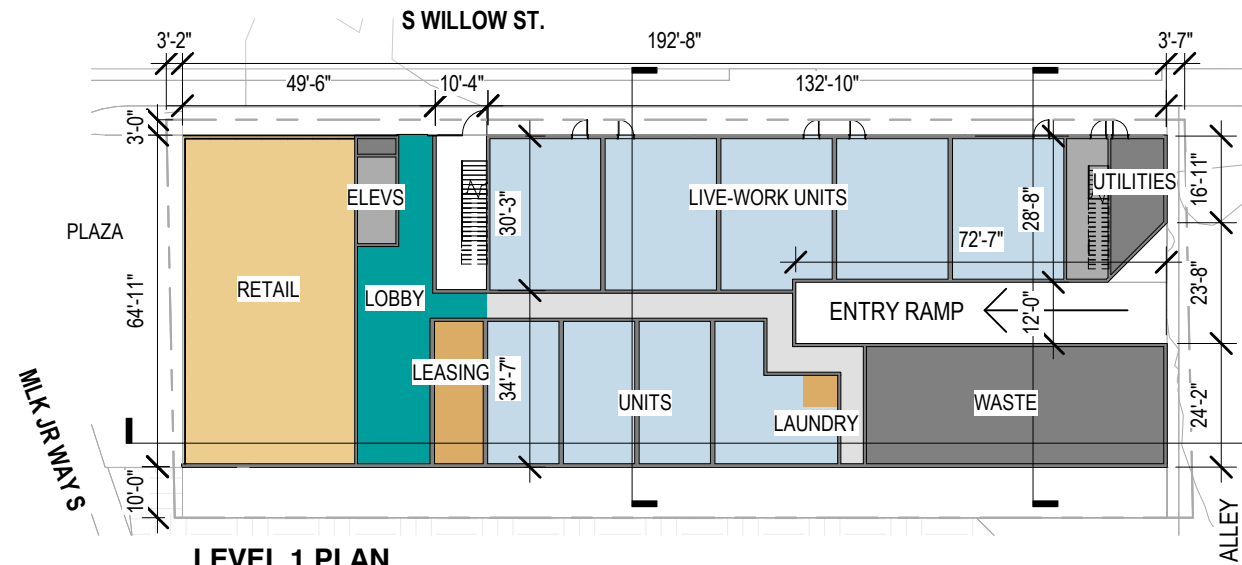
- Access for residential lobby and at-grade units is off Willow St, providing a clear distinction from the Commercial space fronting the plaza
- Ramp to garage is off the alley, through the center of the building along its spine
- Waste room located at SE corner of building, accessed off the alley
- Exterior stair located at notch in massing, recessed from street
- Lobby and live-work units are in plane, creating poor distinction between them



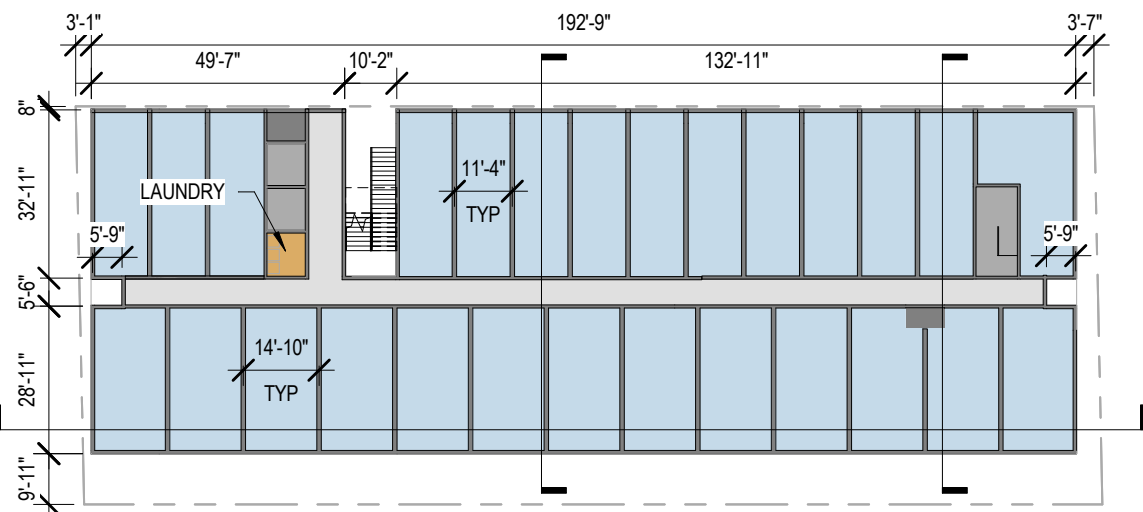
DESIGN OPTION A
LEVEL PLANS



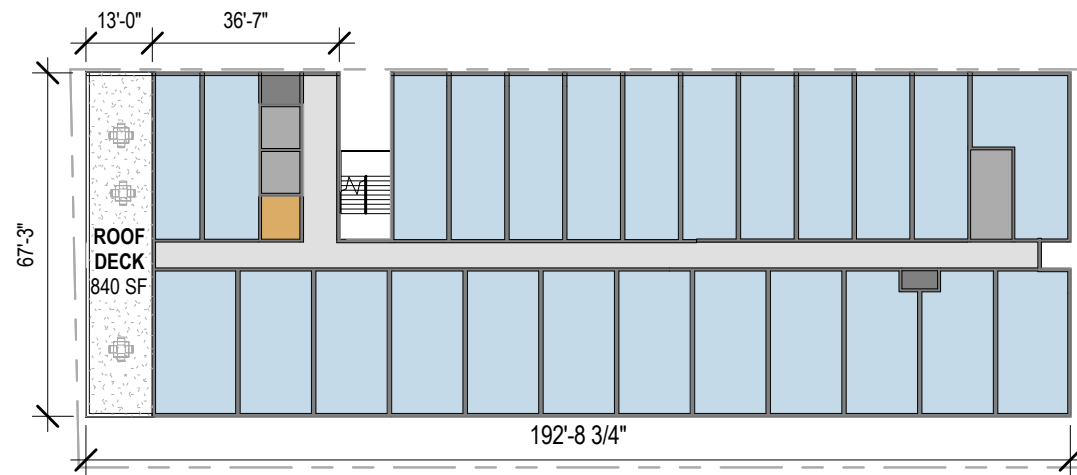
LEVEL 0 PLAN



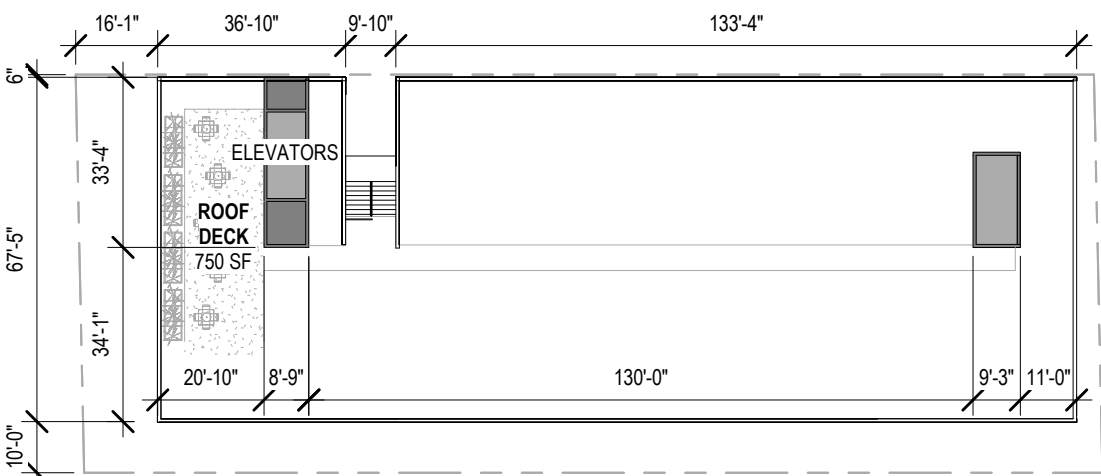
LEVEL 1 PLAN



TYPICAL UPPER LEVEL PLAN (LEVELS 2-7)



LEVEL 8 PLAN



ROOF LEVEL PLAN

AREA LEGEND

AMENITY	RESIDENTIAL
CIRCULATION	RETAIL
EXTERIOR AMENITY	STORAGE
LOBBY	UTILITY
PARKING	VERTICAL CIRCULATION



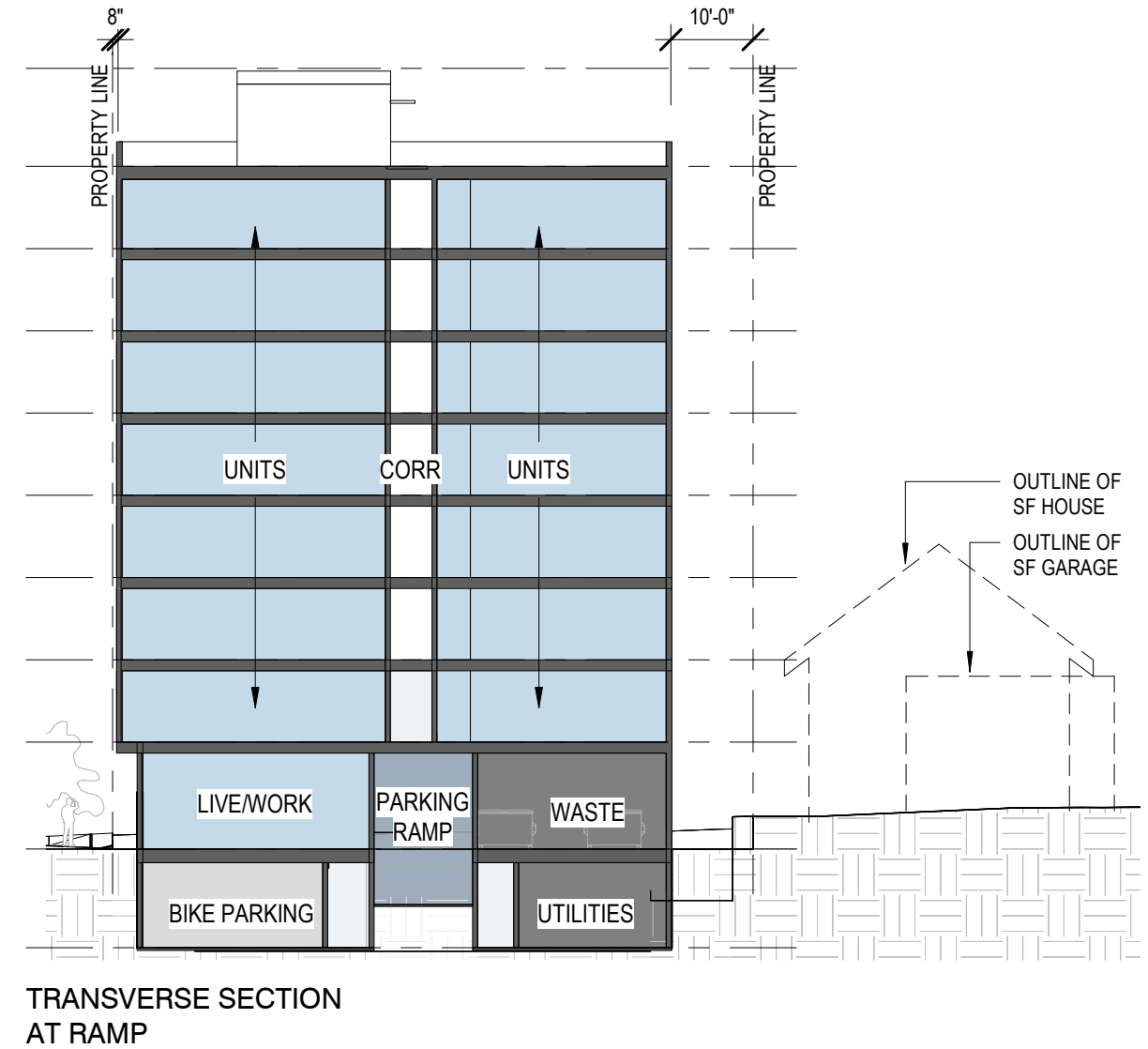
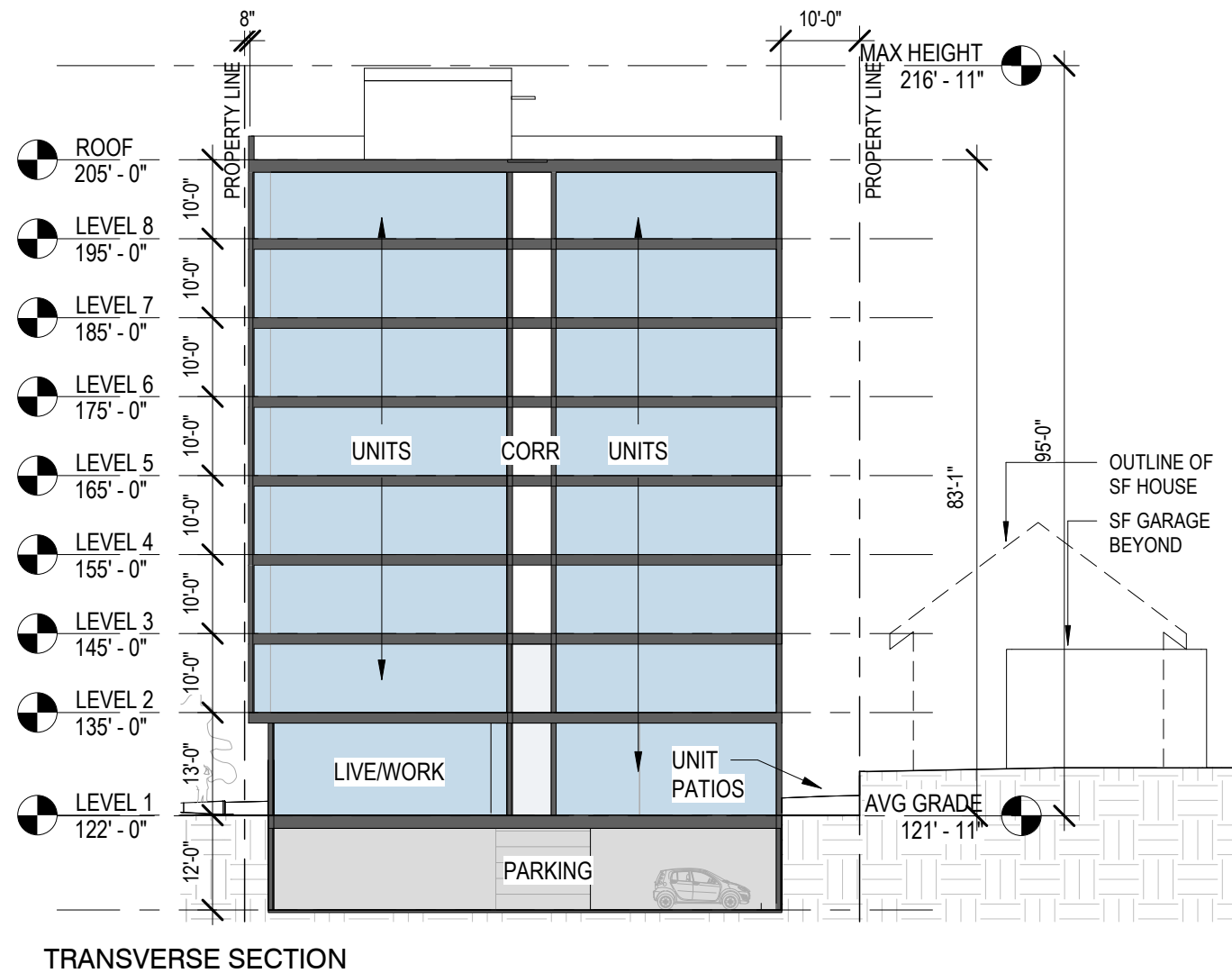
PLAN NOTES — BAR TYPE PLAN
PROGRAMMING

- Lobby pulled away from street, providing little activation and transparent at the building entrance
- Typical upper level organized along a long, double-loaded corridor
- Small roof deck at code-minimum upper level setback and roof level

DESIGN OPTION A SECTIONS

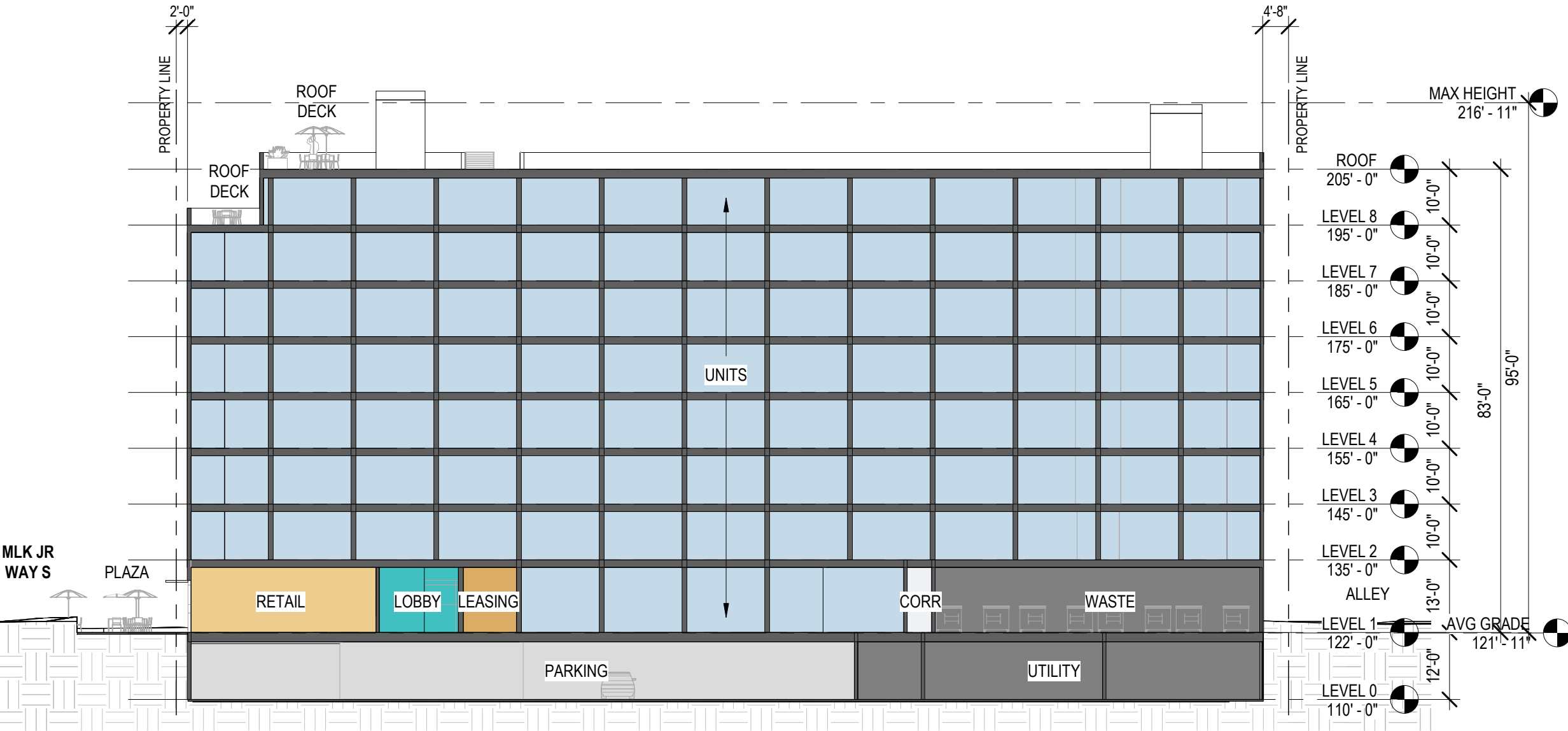
SECTION NOTES

- Double-loaded corridor provides a compact, efficient building
- Live-work units at grade require 30' depth, determining corridor location and minimal setback at grade on Willow
- Access to garage ramp off alley, aligned under corridor above



AREA LEGEND

AMENITY	RESIDENTIAL
CIRCULATION	RETAIL
EXTERIOR AMENITY	STORAGE
LOBBY	UTILITY
PARKING	VERTICAL CIRCULATION



SECTION NOTES

- Retail opens on to plaza at MLK
- Utilities and building services located along alley
- Units face north-south and stack throughout, with exception of live-work units
- Code-minimum upper-level setback along MLK

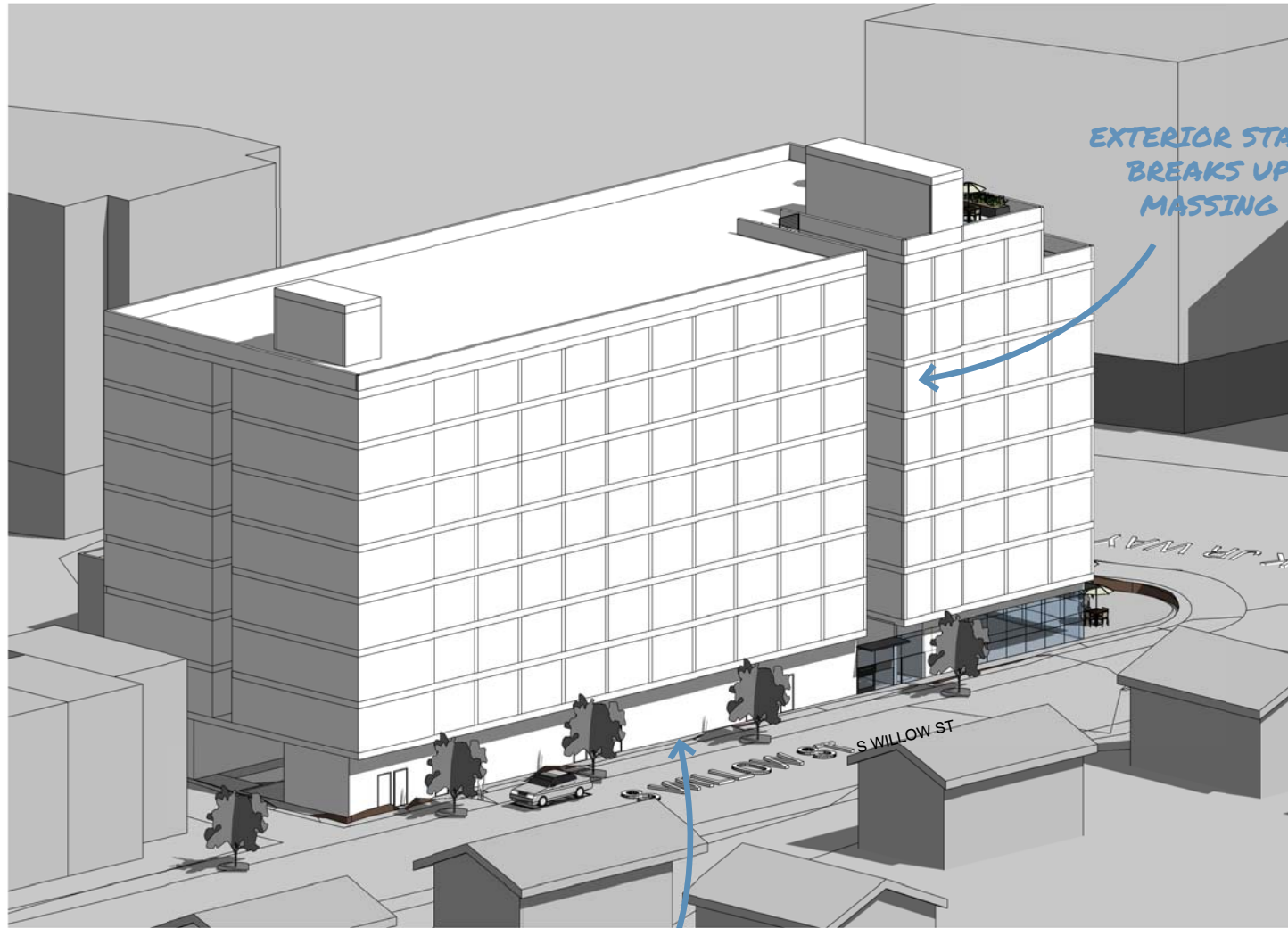
LONGITUDINAL SECTION

NOTE: PROPERTY LINES NOT PARALLEL TO BUILDING. DISTANCE SHOWN IS AT SECTION CUT.

AREA LEGEND

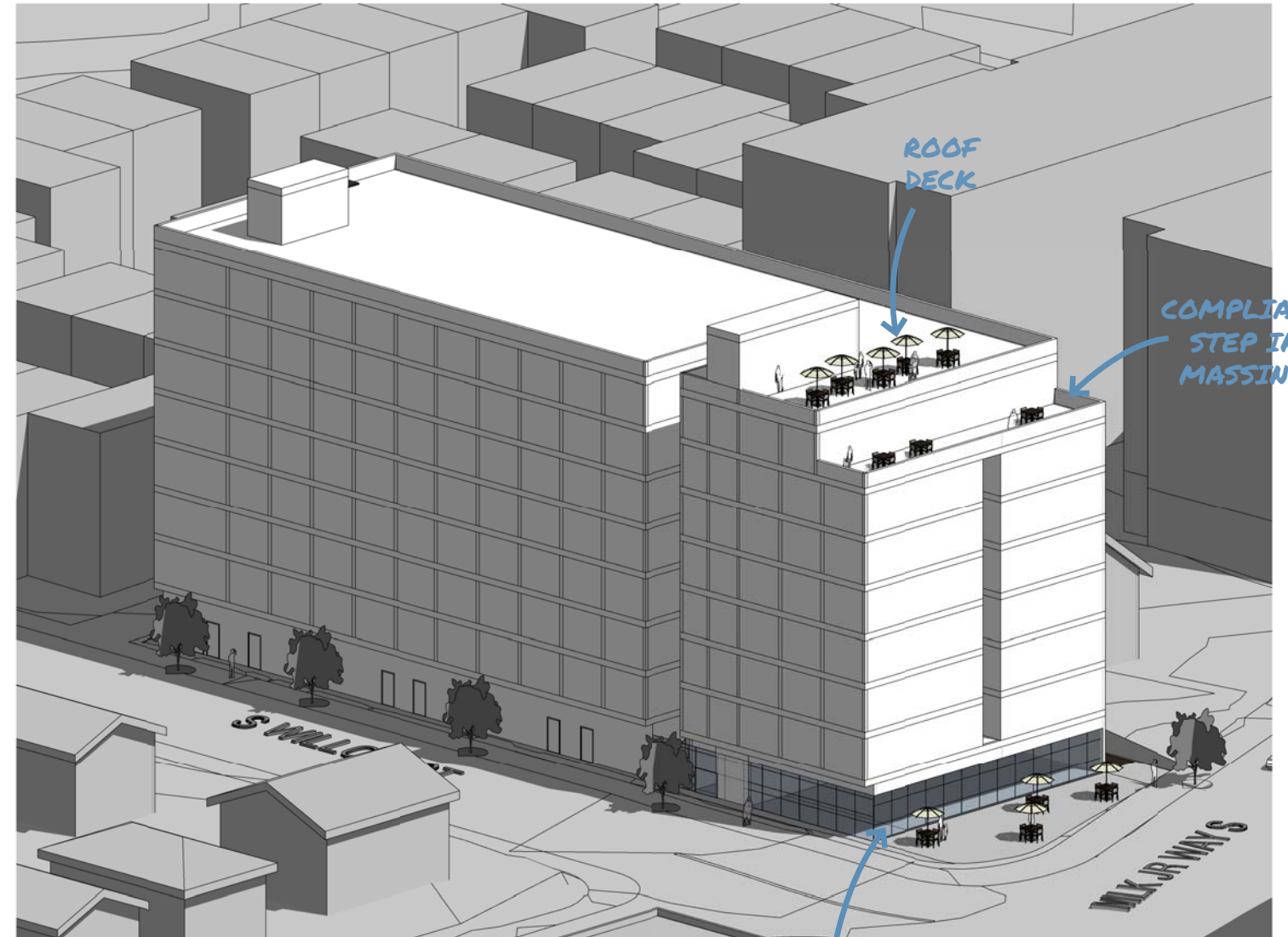
AMENITY	RESIDENTIAL
CIRCULATION	RETAIL
EXTERIOR AMENITY	STORAGE
LOBBY	UTILITY
PARKING	VERTICAL CIRCULATION

DESIGN OPTION A
MASSING



VIEW FROM NORTHEAST

LIVE/WORK
 UNITS

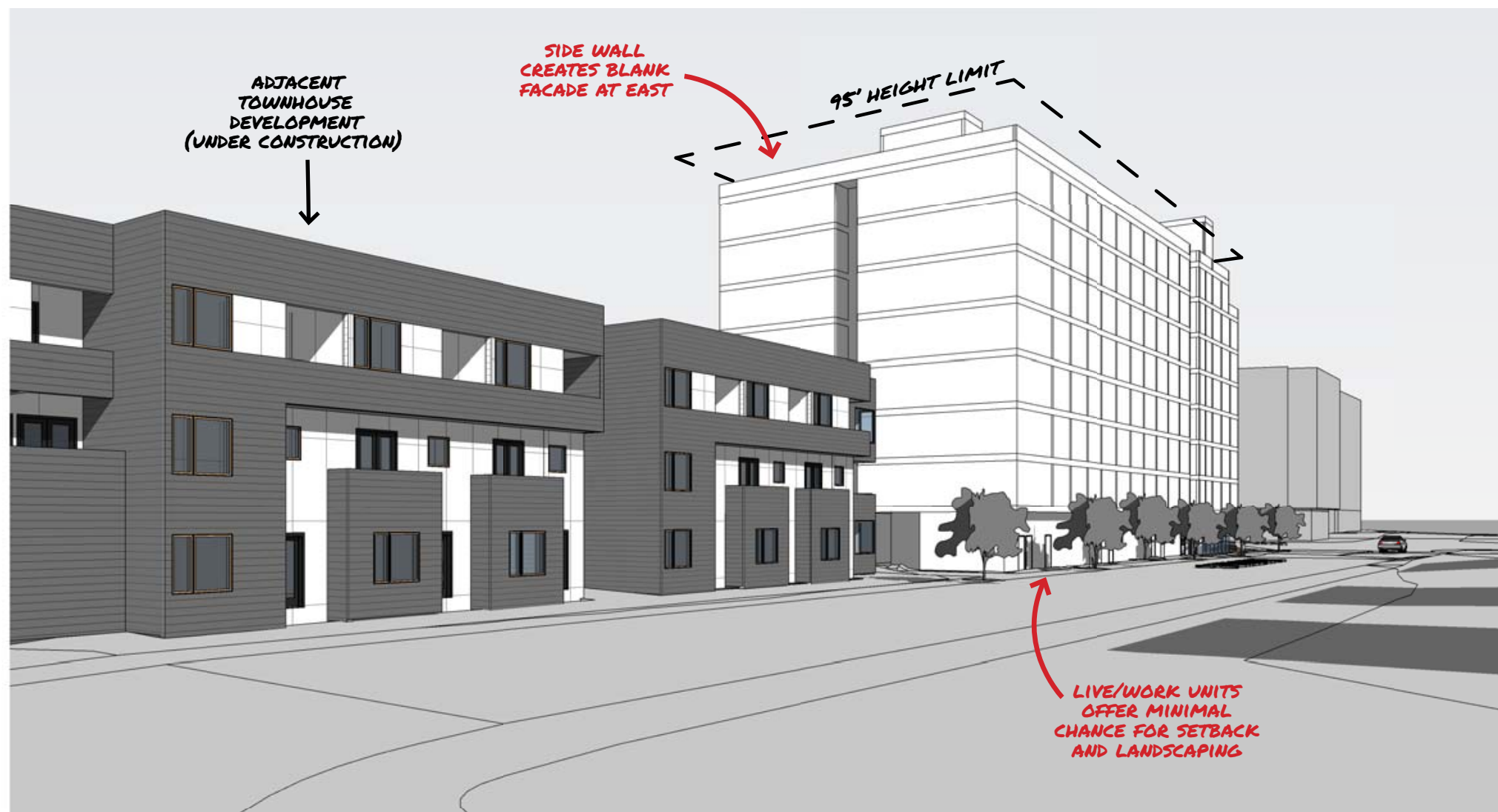


VIEW FROM NORTHWEST

RETAIL FACING
 PLAZA AT MLK

MASSING NOTES

- Efficient floor plan creates compact massing
- Retail provides transparency and activates the plaza at MLK
- Notch at exterior stair diminishes lengthy facade on Willow St
- Compliant upper-level setback at MLK isn't fully-resolved along Willow St
- Skinny, deep lobby has little engagement with streetscape



PERSPECTIVE VIEW FROM NORTHEAST

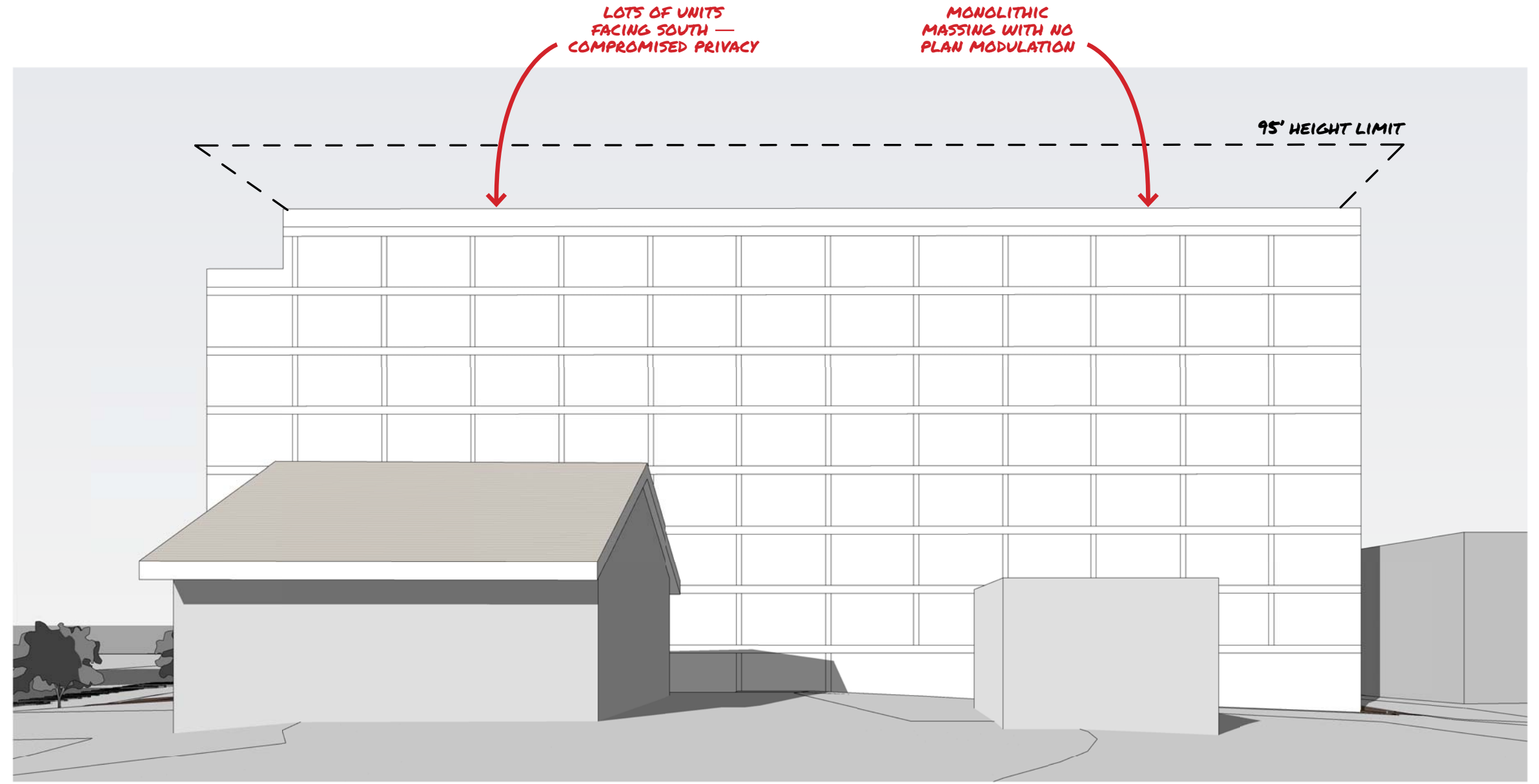
EAST ADJACENCY NOTES

- Live-work units at grade provide very little setback along Willow St, minimizing chance for landscaping and creating less residential character at zoning transition to east
- Blank wall facing adjacent townhouses to east

DESIGN OPTION A
PERSPECTIVE FACING NORTH

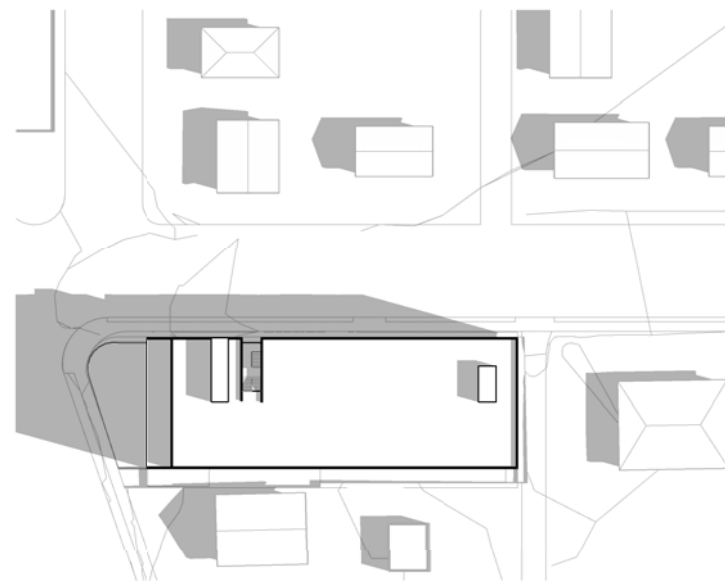
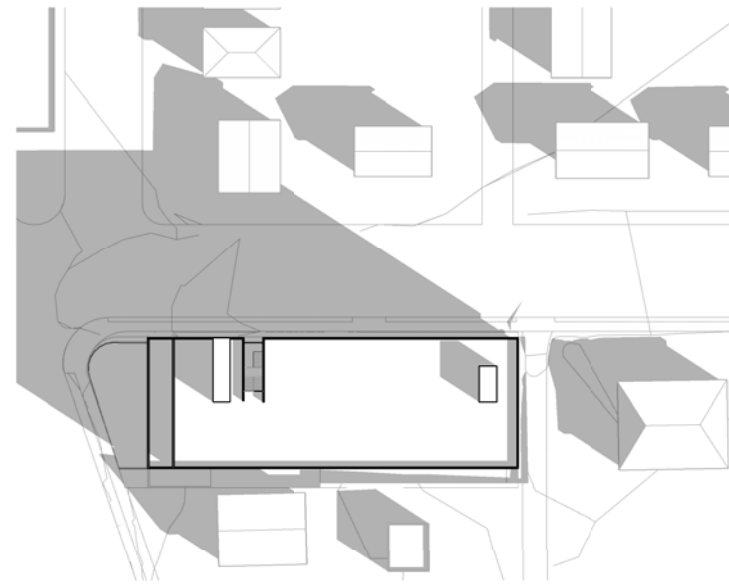
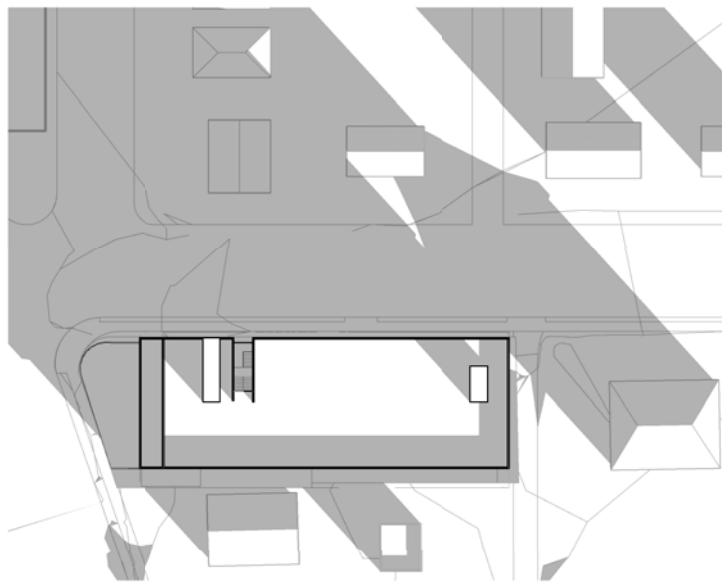
SOUTH ADJACENCY NOTES

- 10' setback at south
- Significant number of units facing south compromises privacy
- No massing relief creates monolithic form

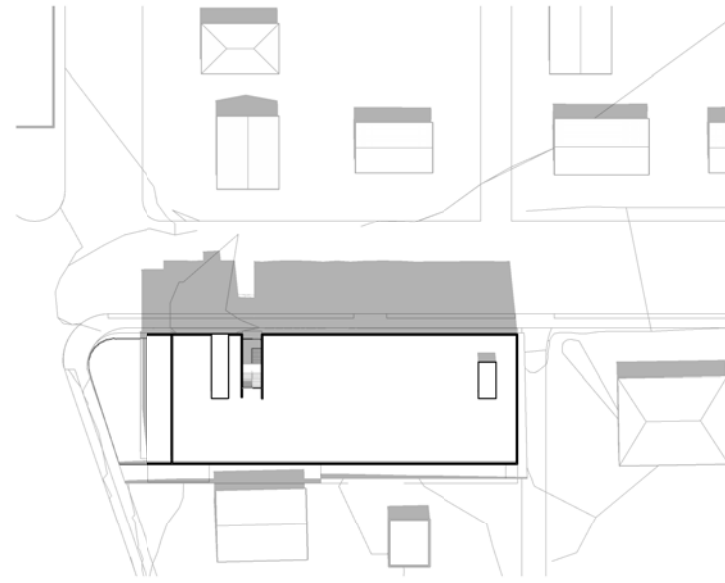
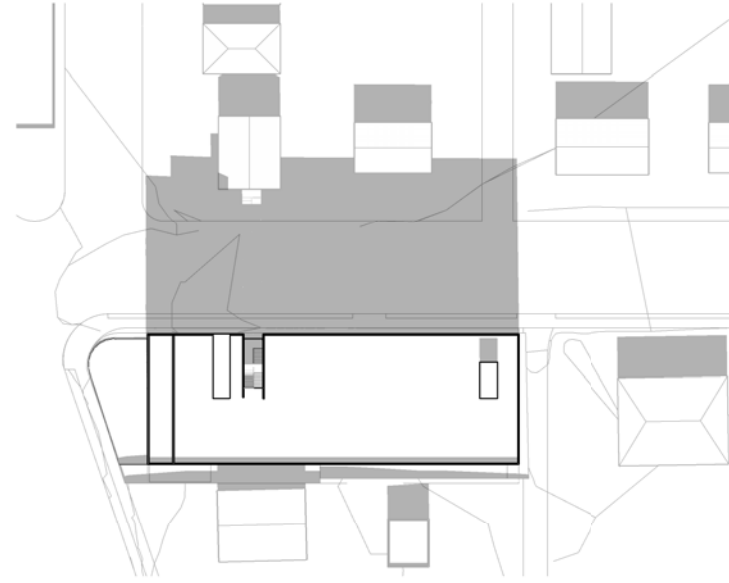
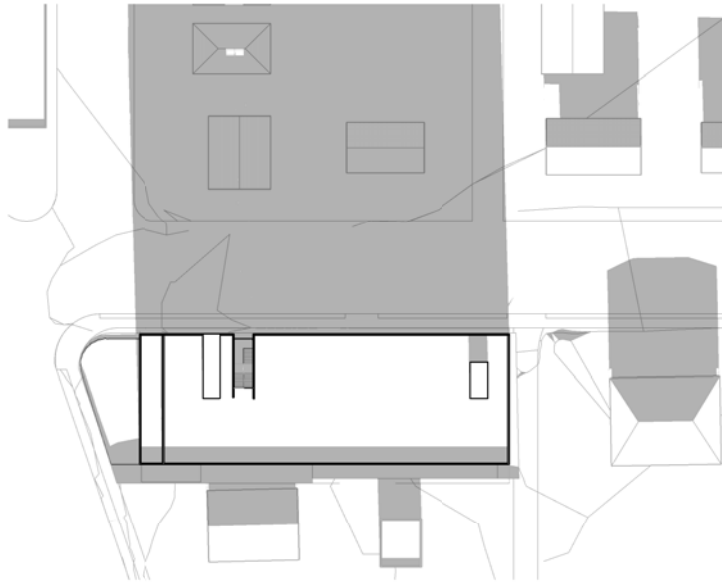


PERSPECTIVE VIEW FROM SOUTH

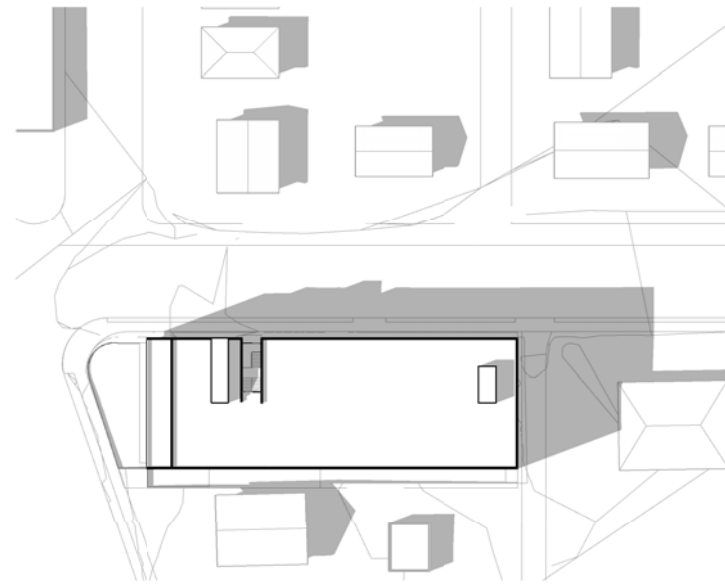
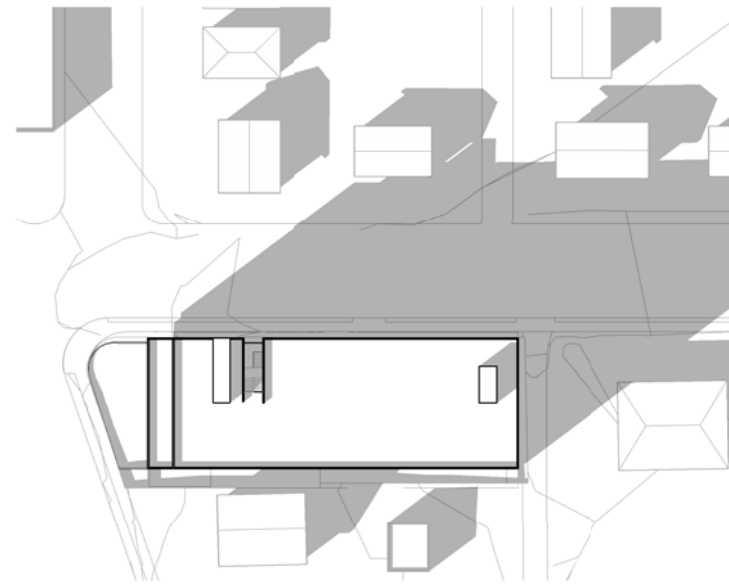
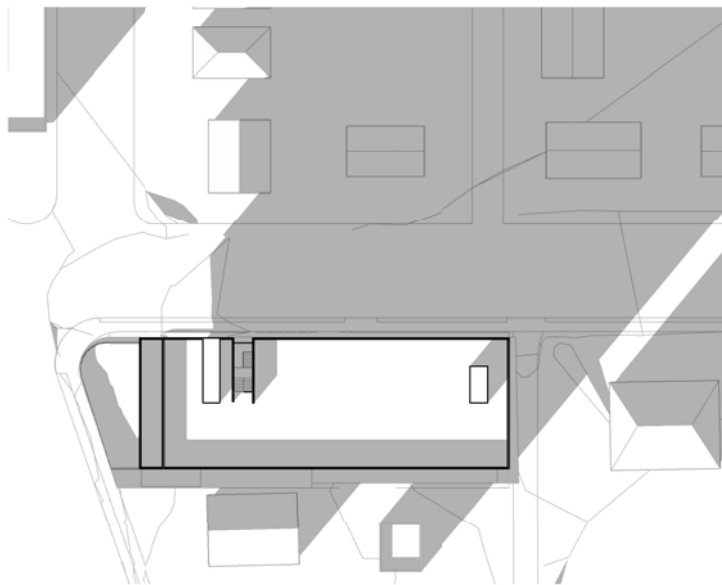
9 AM



NOON



3 PM



WINTER SOLSTICE

EQUINOX

SUMMER SOLSTICE

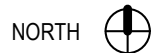
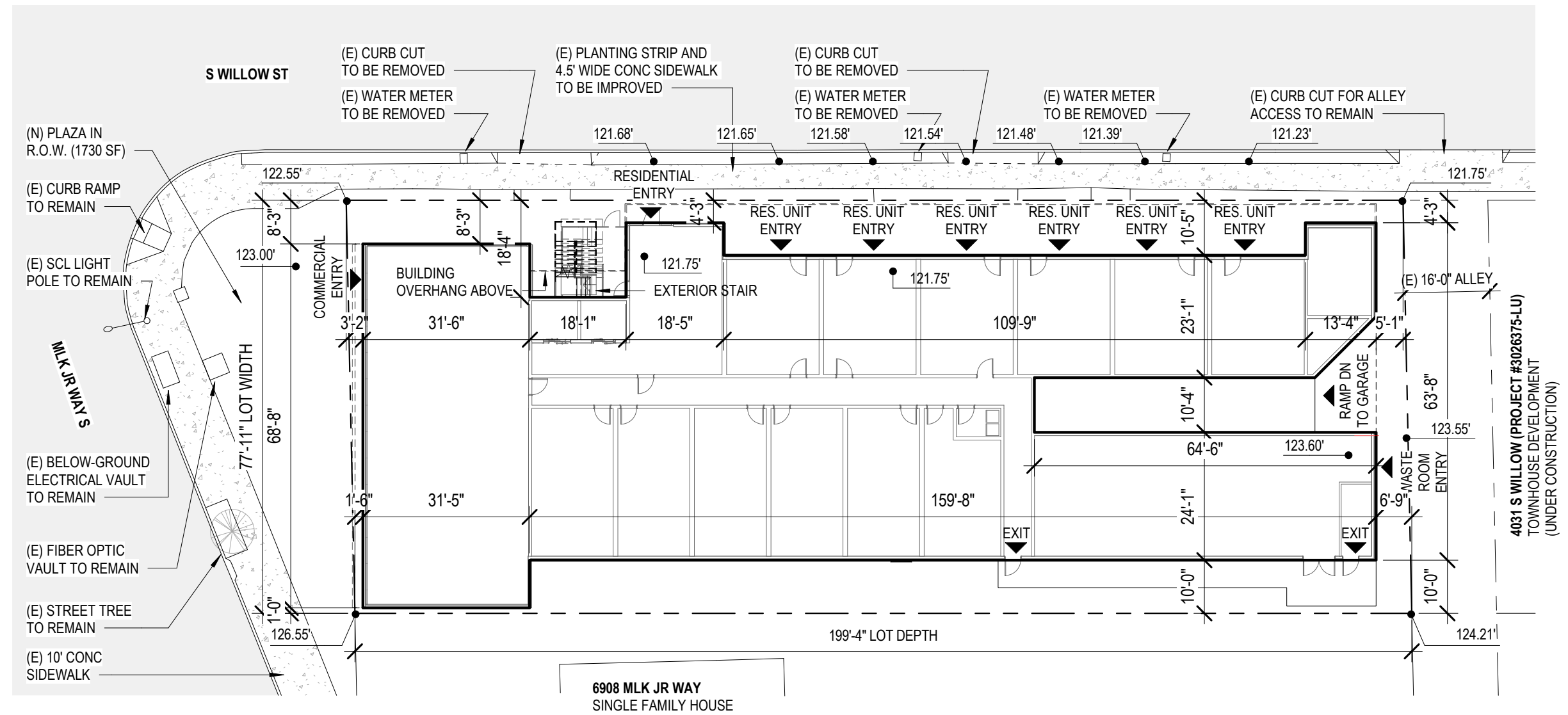
DESIGN OPTION B

SITE PLAN

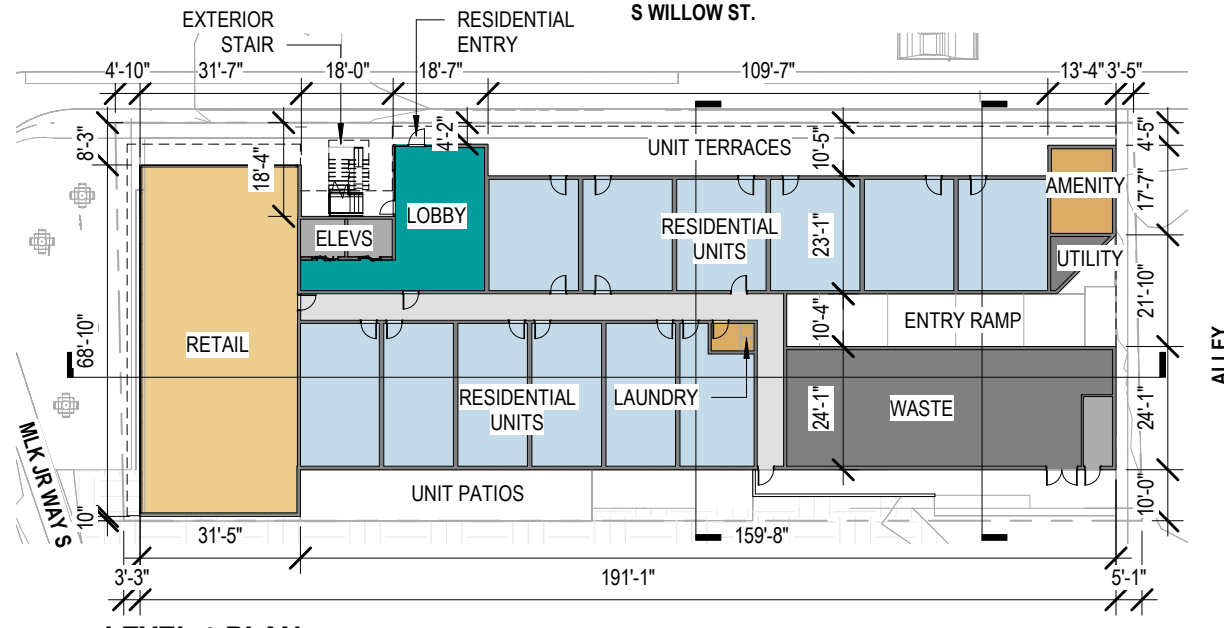
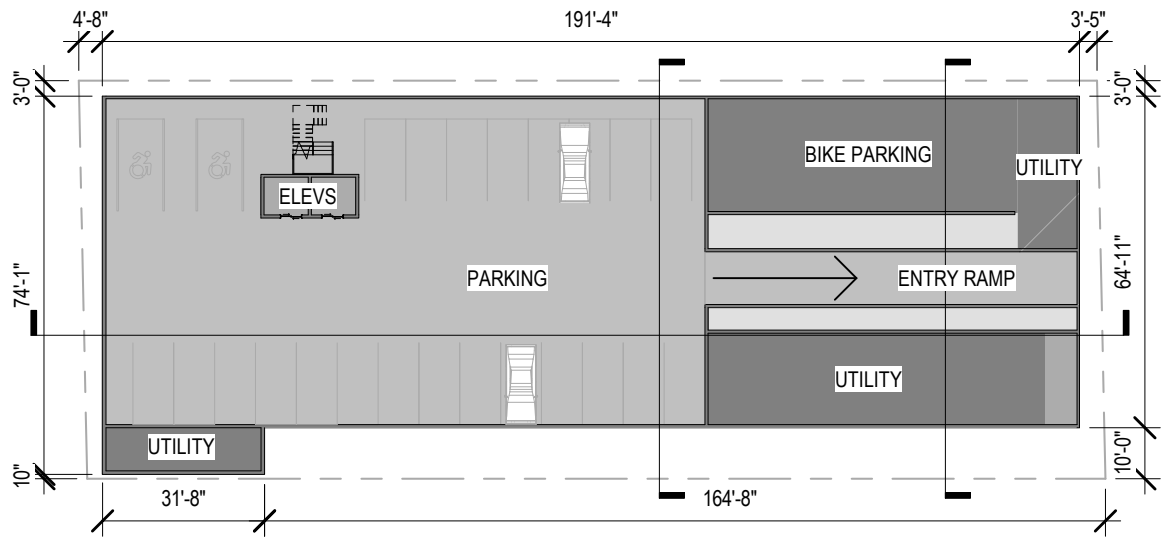
SITE PLAN NOTES

PROGRAMMING + ACCESS

- Live-work changed to residential units for deeper setback at grade; unit terraces provide landscaped edge along Willow St
- Improved street presence for lobby creates more engaged street front with differentiation from residential units
- More prominent exterior stair at larger notch in massing
- Ramp to garage unchanged from Design Option A



DESIGN OPTION B
LEVEL PLANS

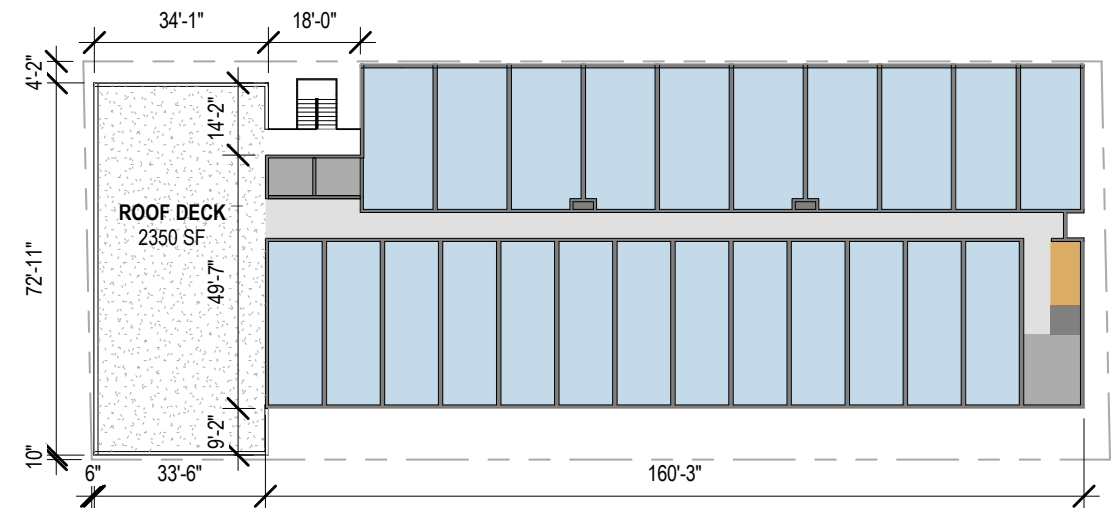
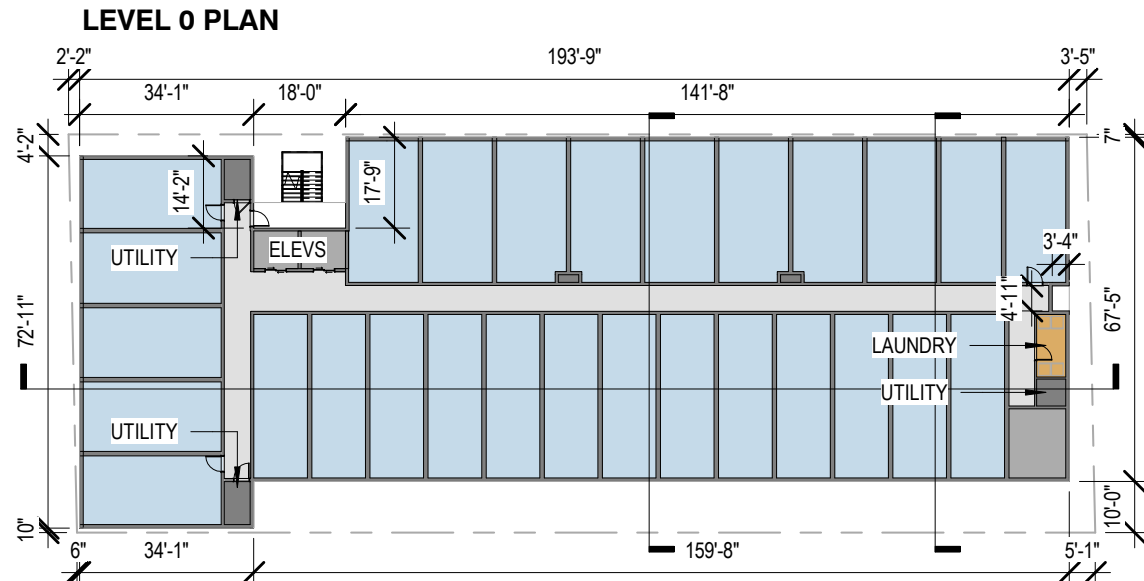


PLAN NOTES — "L" TYPE PLAN
PROGRAMMING + ACCESS

- Lobby directly addresses sidewalk
- Garage ramp at center of building cuts off access to corridor for three live-work units, pushes exiting to south of property

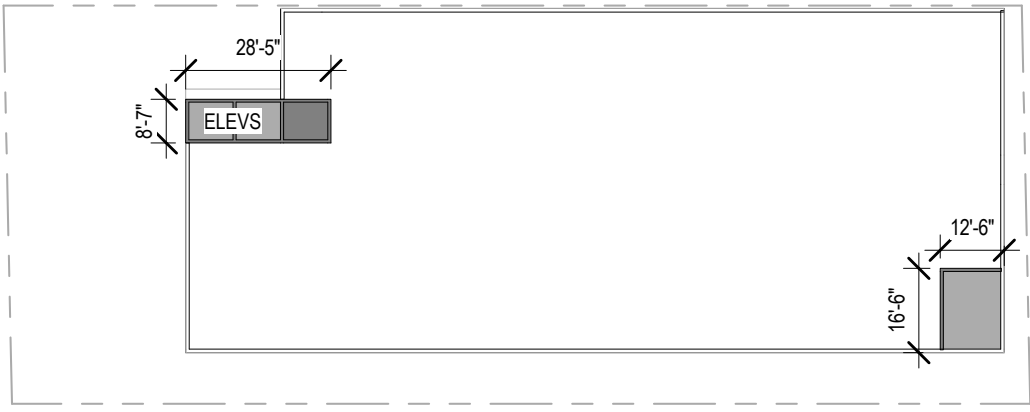
AMENITY SPACE

- Larger roof deck at upper-level setback
- Second (smaller) roof deck at upper roof level
- At-grade unit terraces along Willow and patios along the south provide tenant amenity spaces



AREA LEGEND

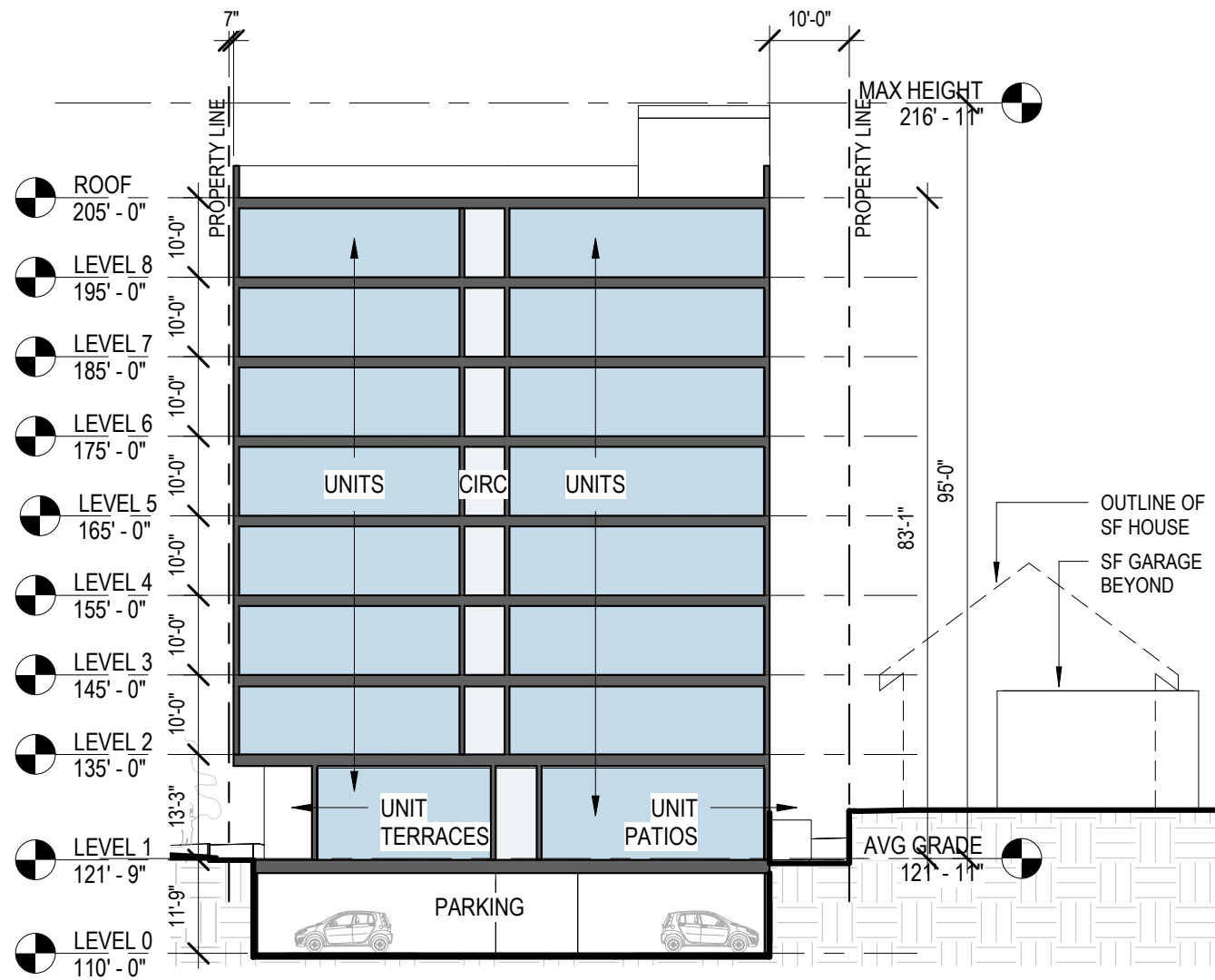
AMENITY	RESIDENTIAL
CIRCULATION	RETAIL
EXTERIOR AMENITY	STORAGE
LOBBY	UTILITY
PARKING	VERTICAL CIRCULATION



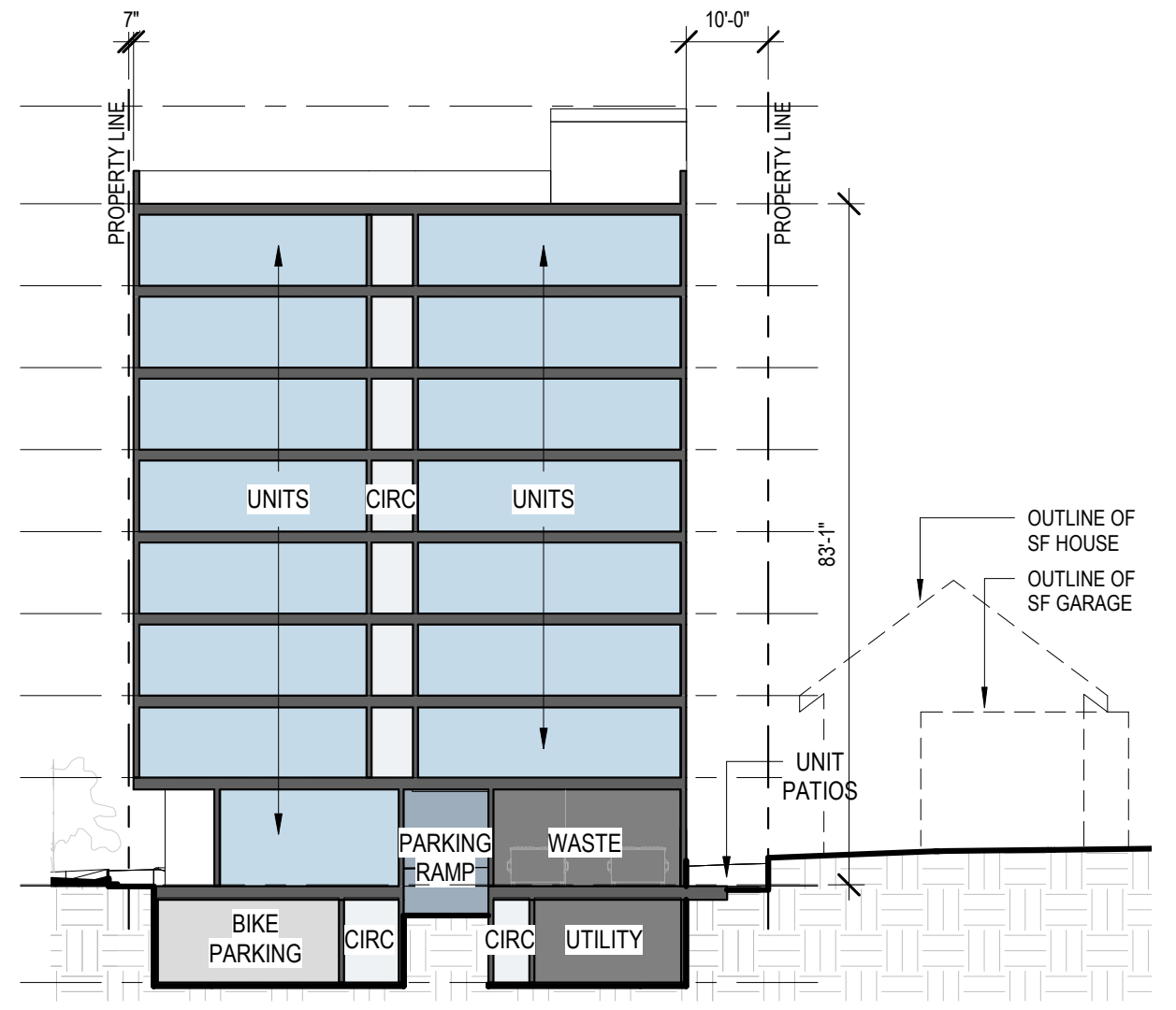
DESIGN OPTION B SECTIONS

SECTION NOTES

- Increased setback and overhang at street-facing at-grade units
- Parking ramp unchanged from previous option













TRANSVERSE SECTION



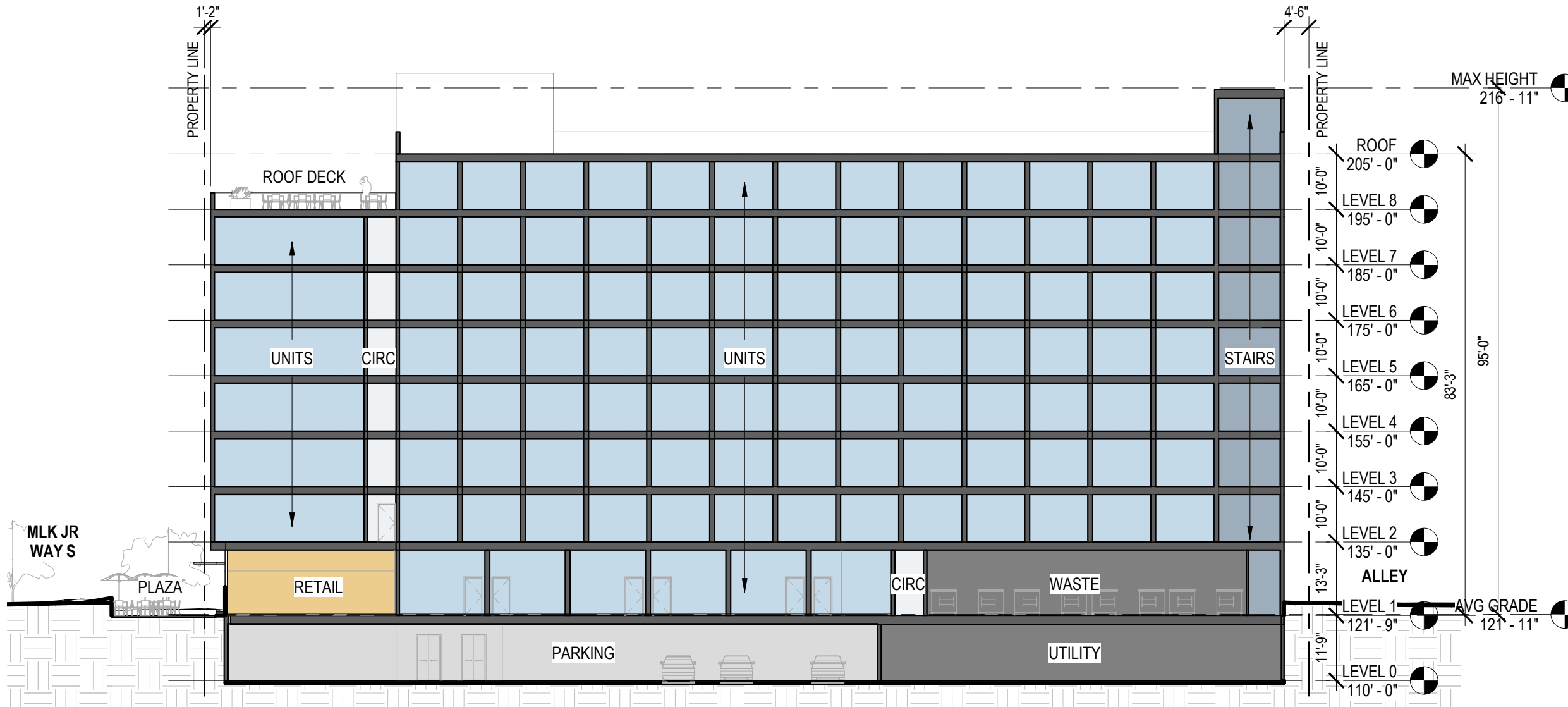
TRANSVERSE SECTION
AT RAMP

AREA LEGEND

 AMENITY	 RESIDENTIAL
 CIRCULATION	 RETAIL
 EXTERIOR AMENITY	 STORAGE
 LOBBY	 UTILITY
 PARKING	 VERTICAL CIRCULATION



SECTION NOTES

- Larger step in massing along MLK reduces perception of massing and provides larger roof deck at Level 8, away from adjacent LR-2 zoning to east
- Units face plaza at west

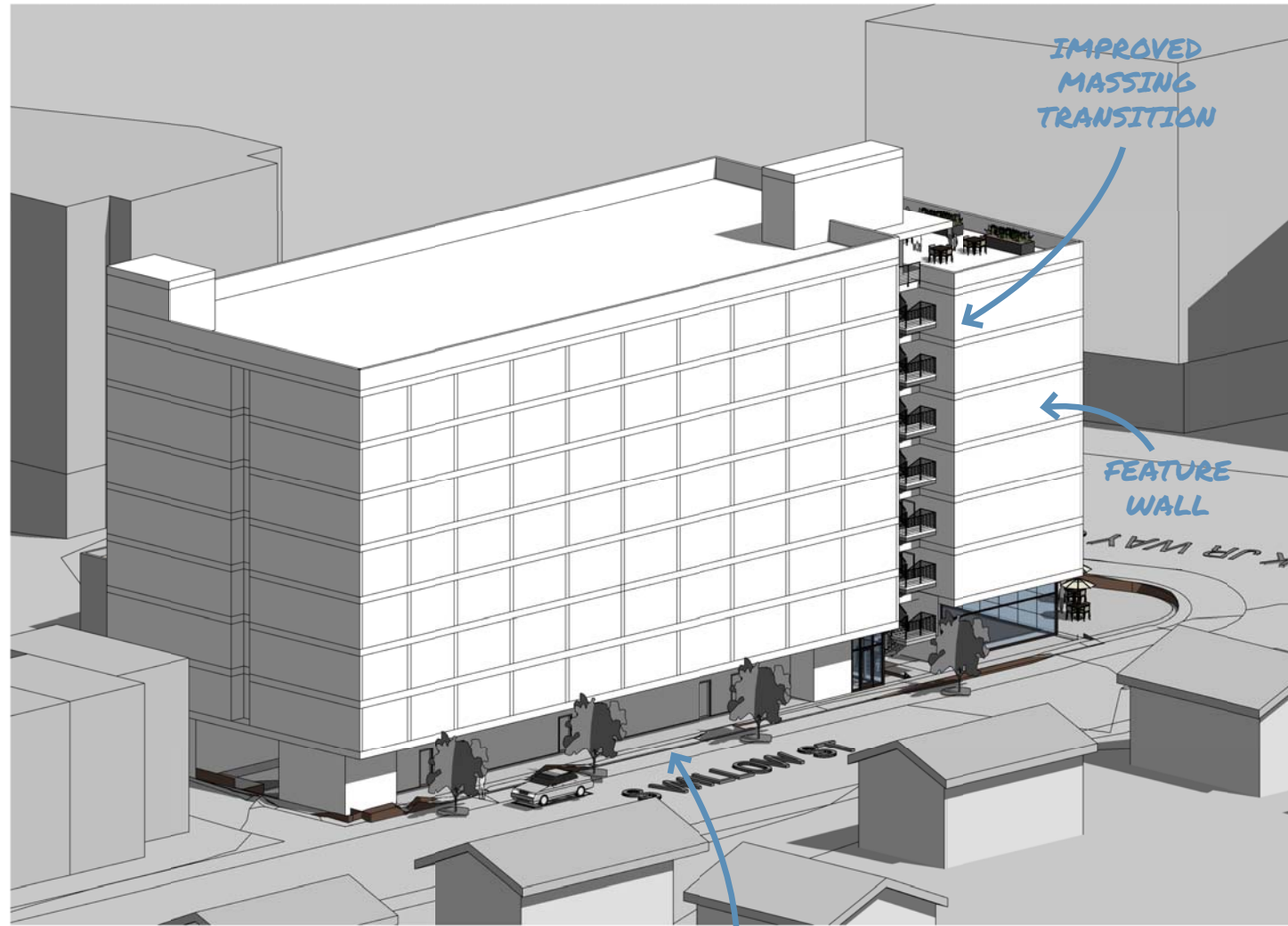


LONGITUDINAL SECTION

AREA LEGEND

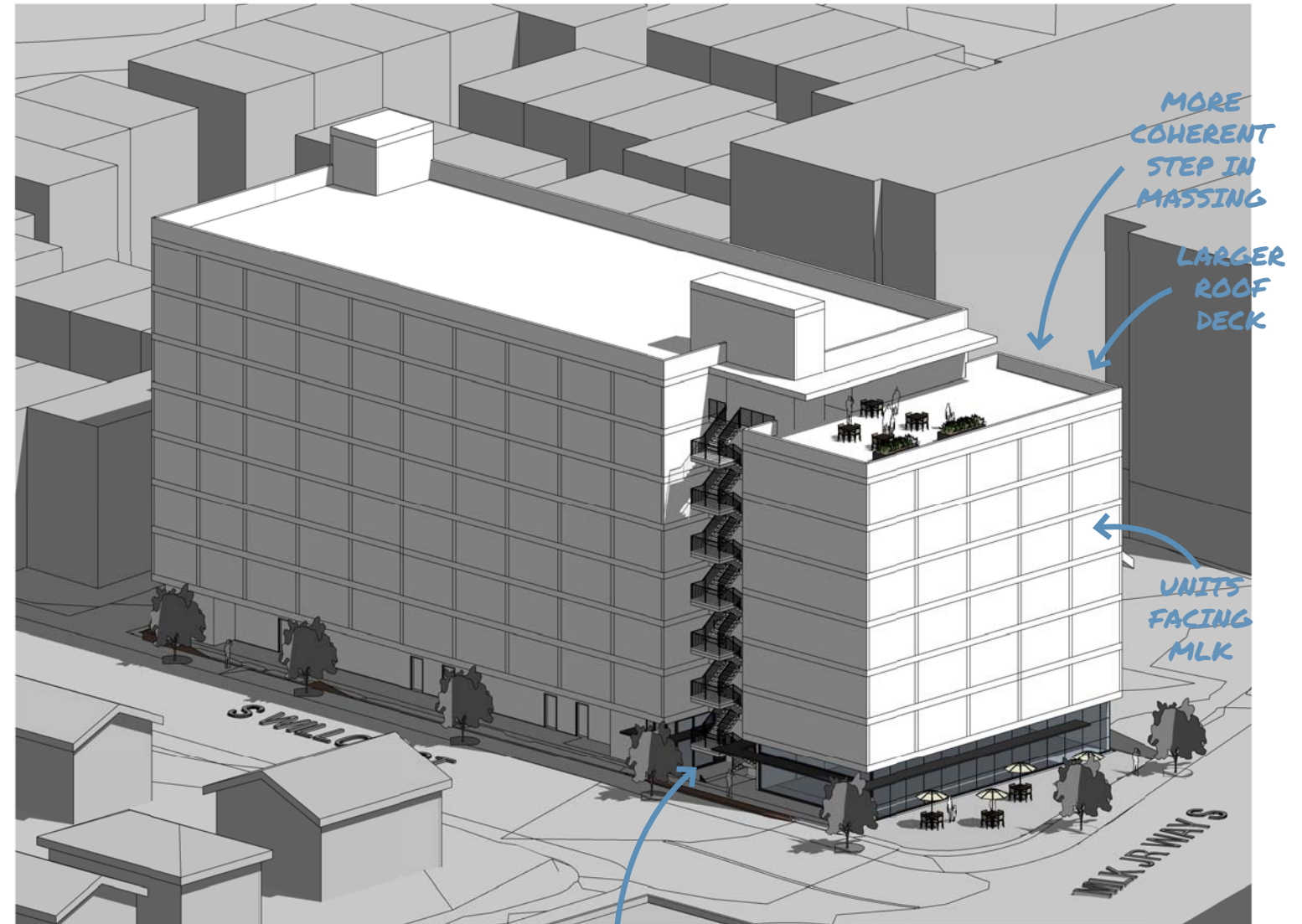
 AMENITY	 RESIDENTIAL
 CIRCULATION	 RETAIL
 EXTERIOR AMENITY	 STORAGE
 LOBBY	 UTILITY
 PARKING	 WASTE

DESIGN OPTION B
MASSING



VIEW FROM NORTHEAST

RESIDENTIAL
 UNIT TERRACES

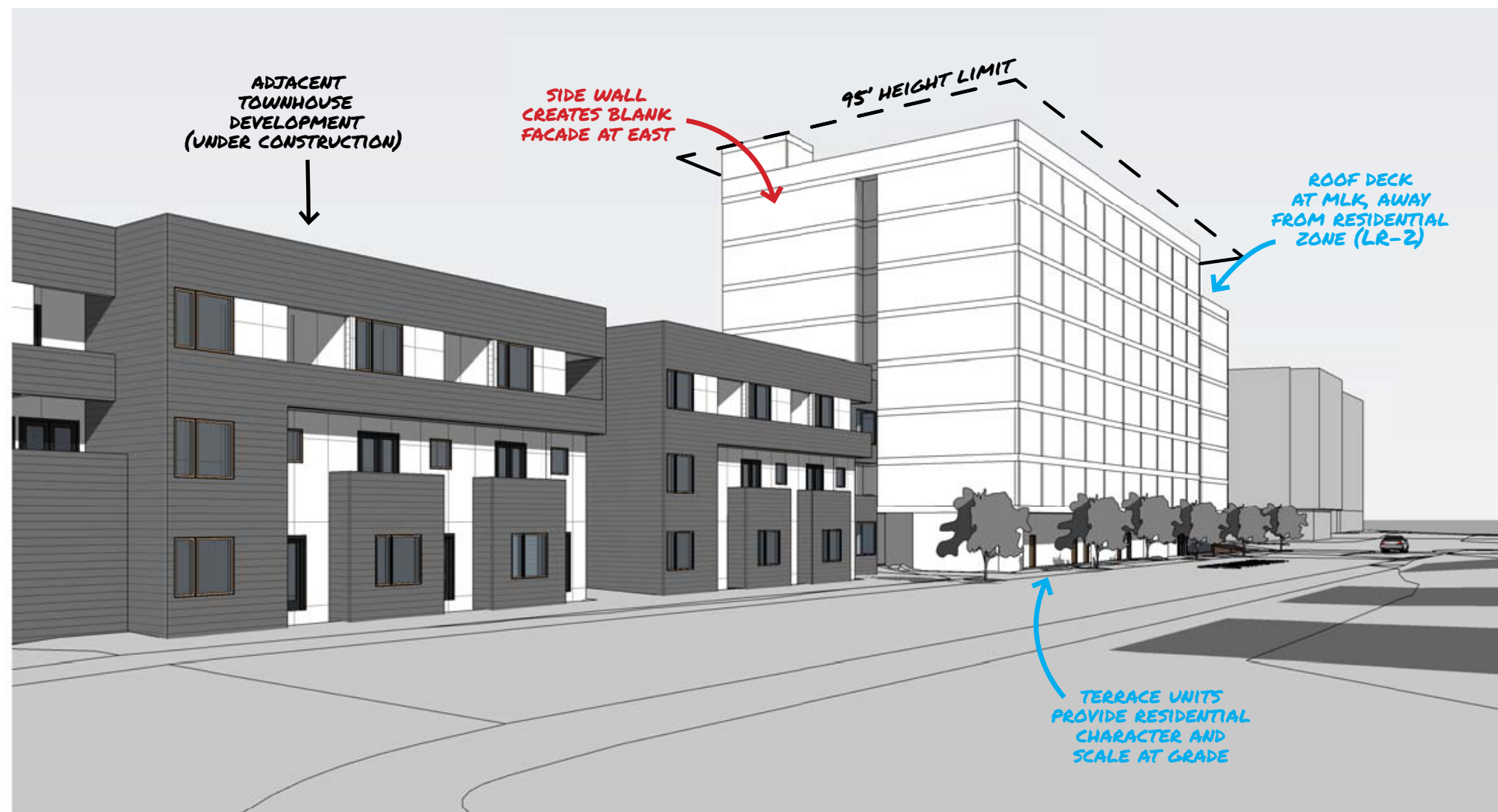


VIEW FROM NORTHWEST

MORE
 PROMINENT
 STAIR

MASSING NOTES

- Units facing MLK create a more active street facade at an important location
- Larger notch emphasizes stepped massing transition
- More visible exterior stair animates the facade
- Increased roof deck at Level 8 provides more amenity space
- Unit terraces at Willow create more depth and landscaped edge at grade along Willow St



PERSPECTIVE VIEW FROM NORTHEAST

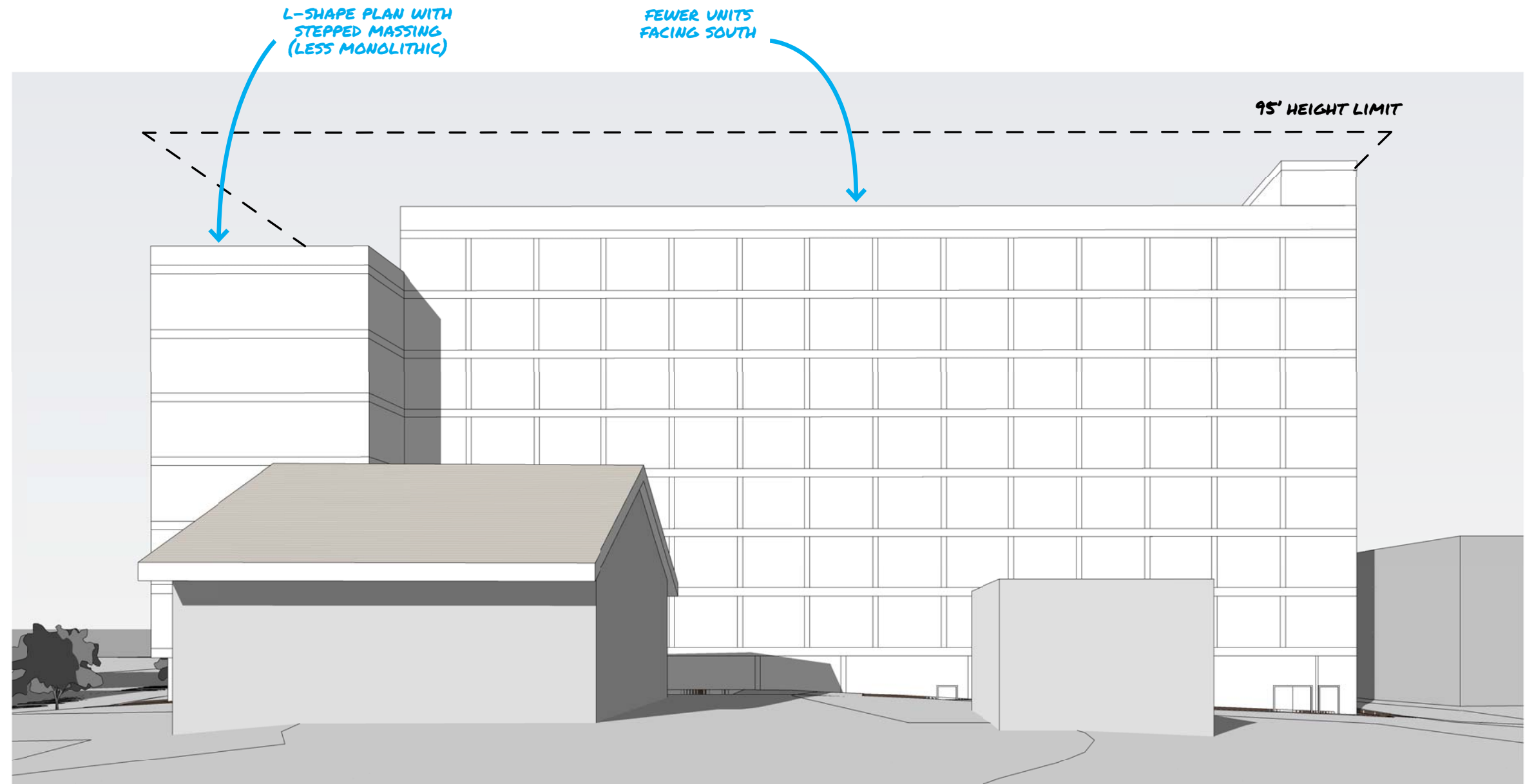
EAST ADJACENCY NOTES
RESPONSE TO CONTEXT

- Terraced units at grade provide a residential character and scale at grade, complementing the neighboring townhouse development.
- Roof deck located along MLK, away from the adjacent residential use (LR-2 Zoning)

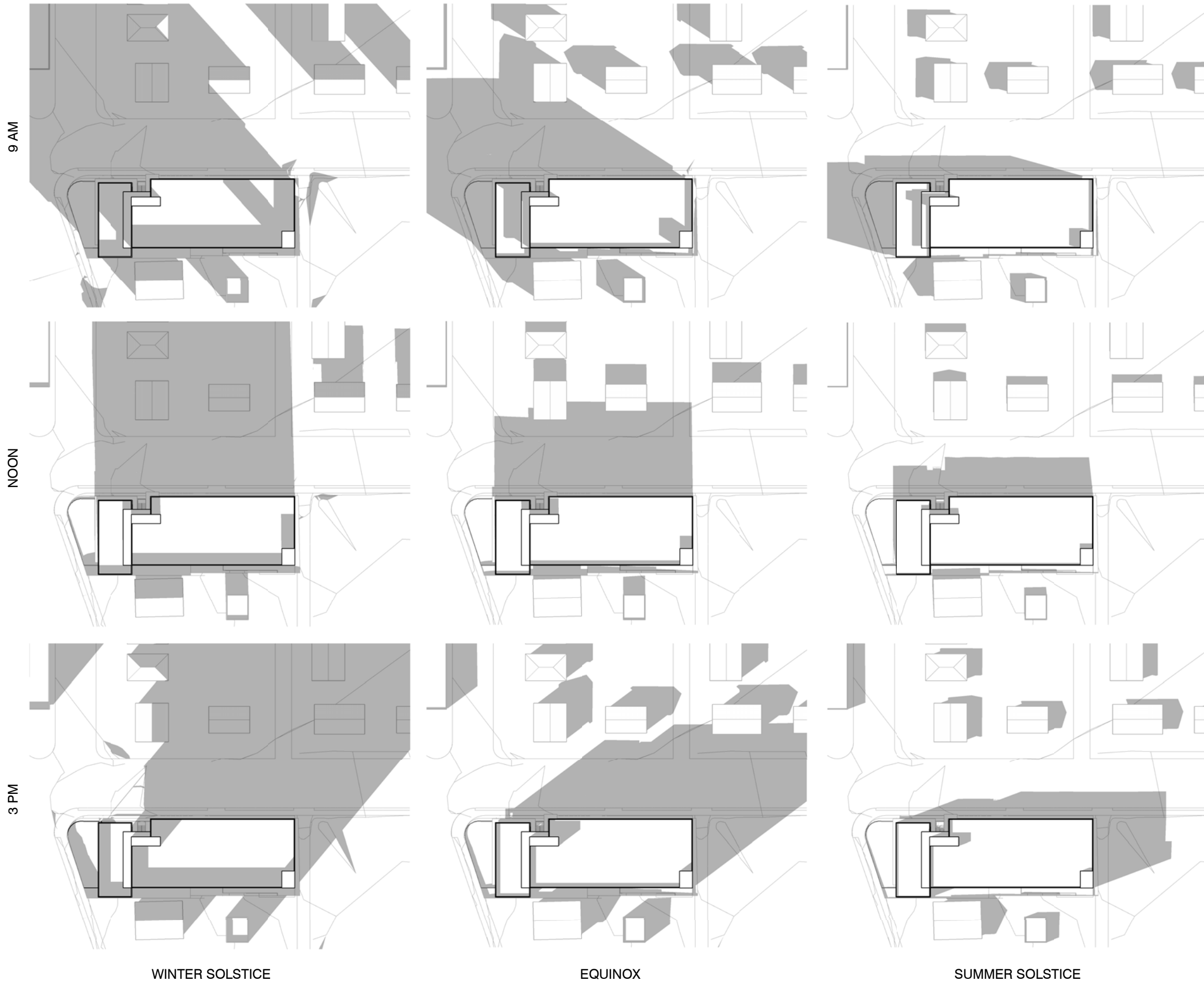
DESIGN OPTION B
PERSPECTIVE FACING NORTH

SOUTH ADJACENCY NOTES

- Fewer units facing south for better privacy
- L-shape plan provides massing relief at west portion of building
- Roof deck located along MLK, away from the adjacent residential use (LR-2 Zoning)



PERSPECTIVE VIEW FROM SOUTH



WINTER SOLSTICE

EQUINOX

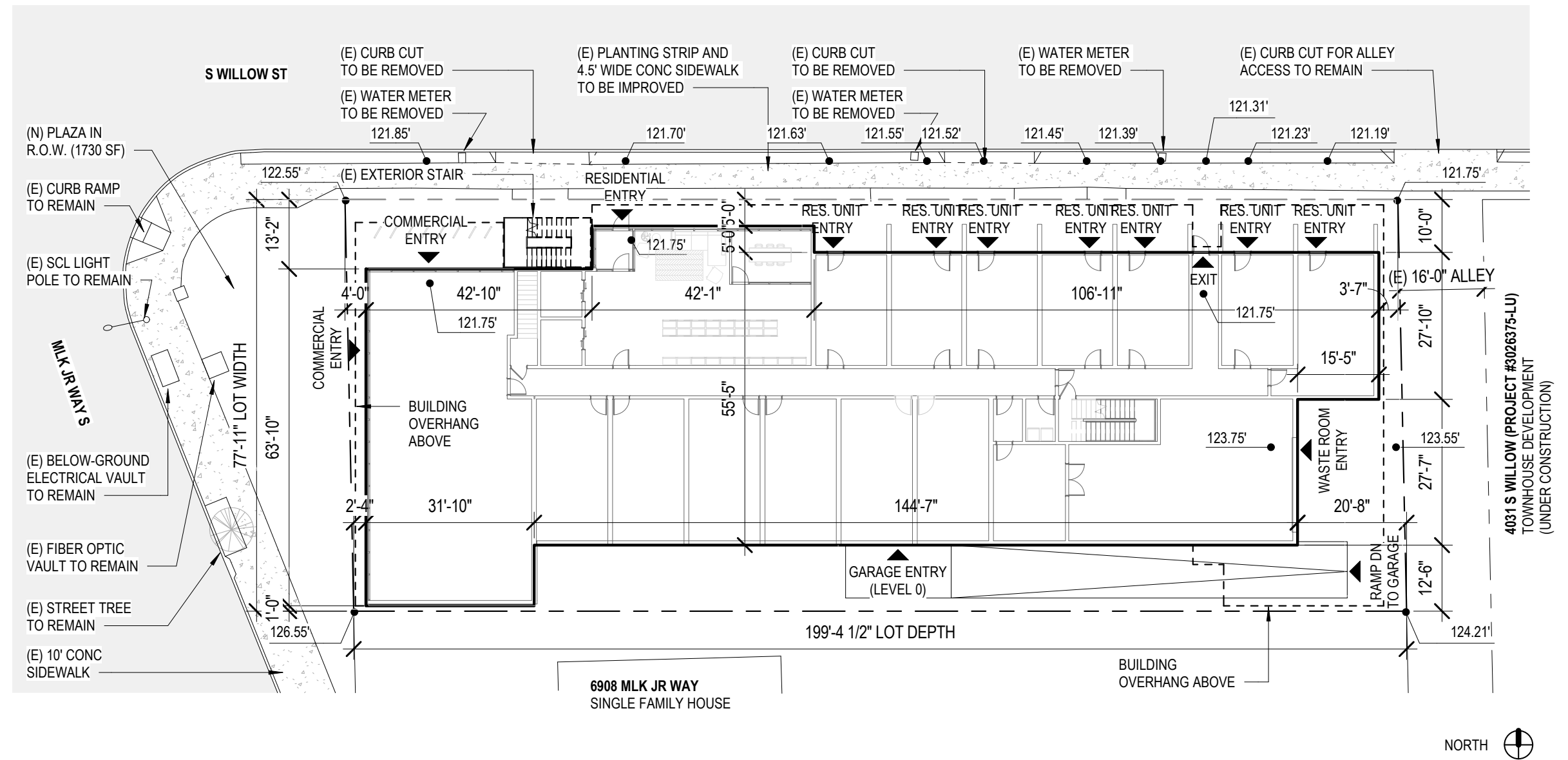
SUMMER SOLSTICE

DESIGN OPTION C — PREFERRED SITE PLAN

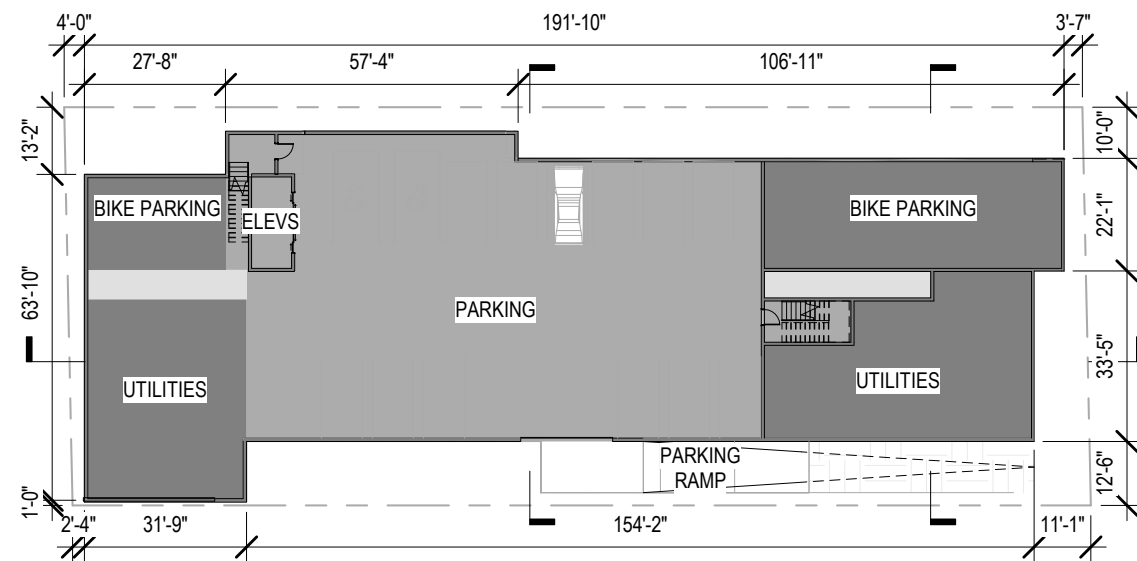
SITE PLAN NOTES

USES AND ACCESS

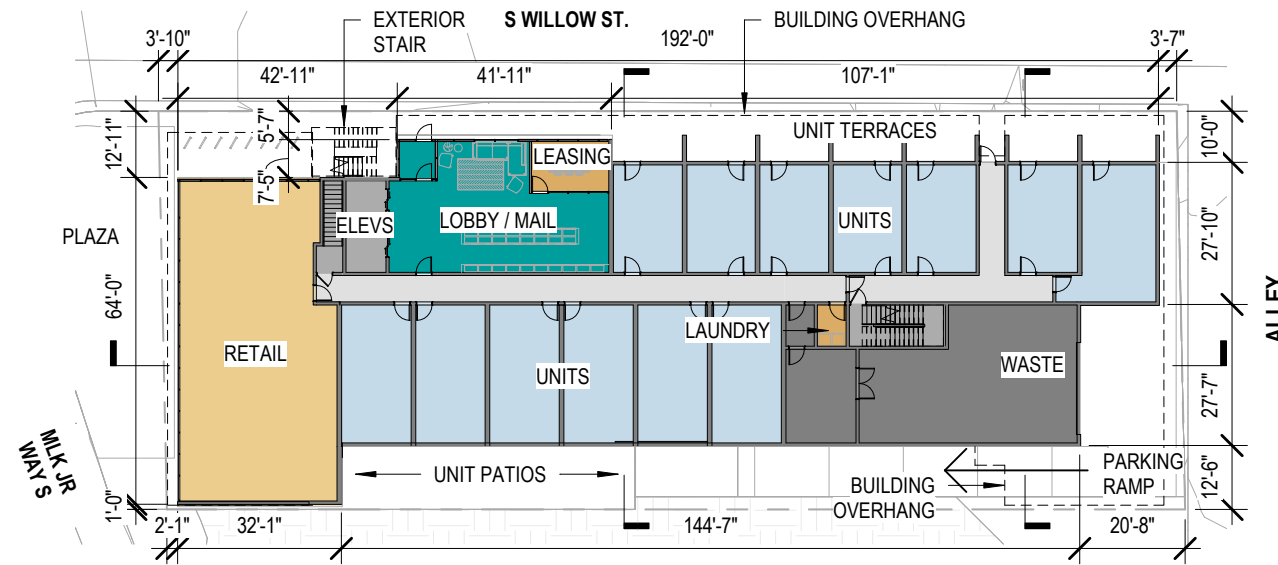
- Prominent lobby entry along Willow, flanked by unit terraces and recessed massing at retail
- Garage access ramp along South property line
- Recessed waste room access at alley



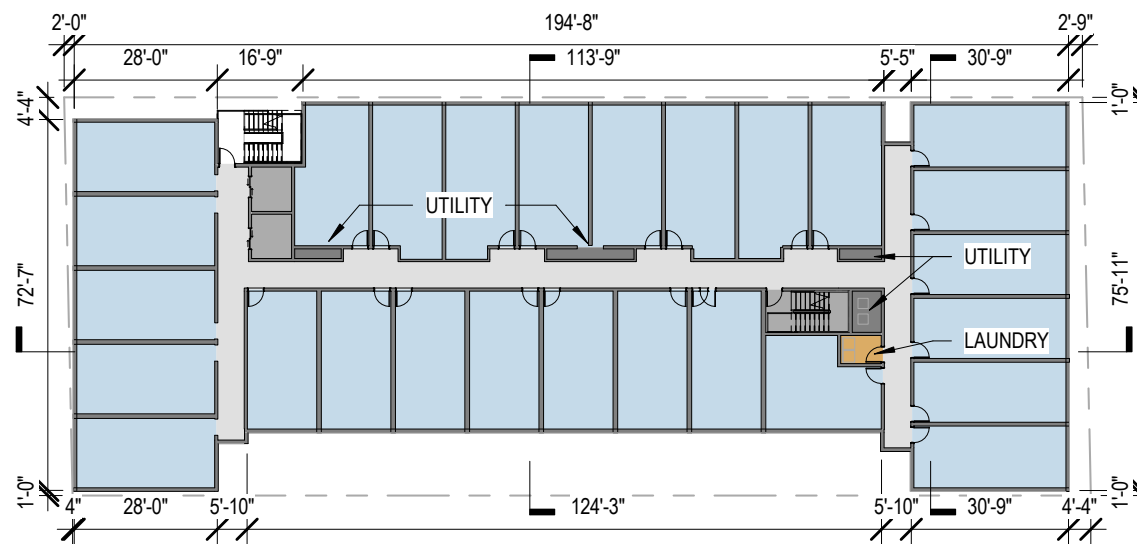
DESIGN OPTION C — PREFERRED LEVEL PLANS



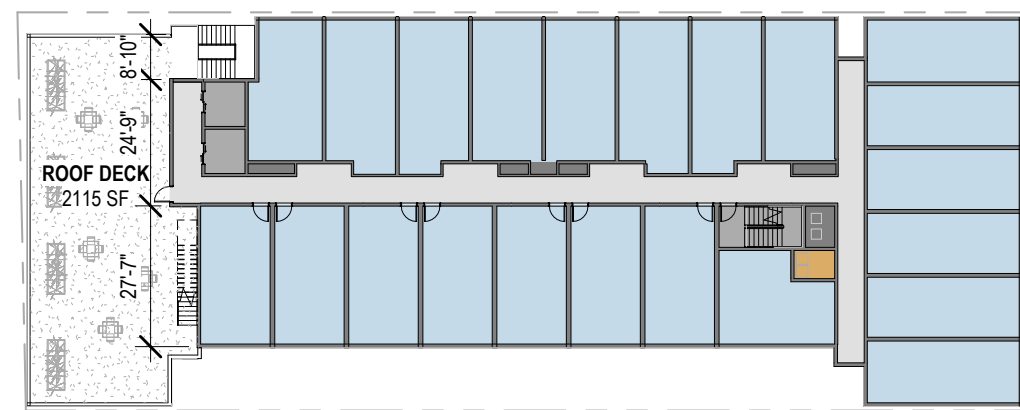
LEVEL 0 PLAN



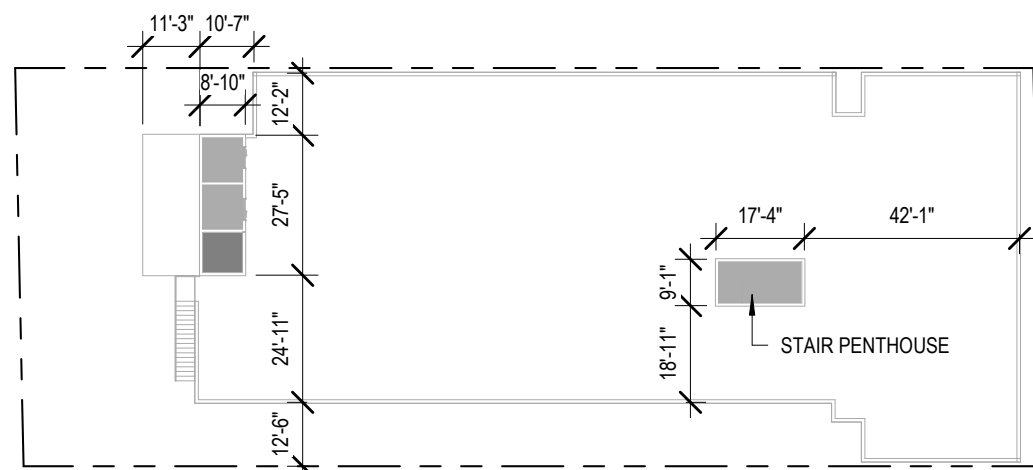
LEVEL 1 PLAN



TYPICAL UPPER LEVEL PLAN



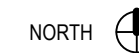
LEVEL 8 PLAN



ROOF LEVEL PLAN

AREA LEGEND

AMENITY	RESIDENTIAL
CIRCULATION	RETAIL
EXTERIOR AMENITY	STORAGE
LOBBY	UTILITY
PARKING	VERTICAL CIRCULATION



PLAN NOTES — “C” TYPE PLAN

MASSING + ORGANIZATION

- Units face out in all directions
- More opportunities for massing breaks
- Skinnier middle creates increased setback at south for better privacy separation
- Zero lot line massing at south along MLK creates more coherent street wall

STREET-LEVEL PROGRAMMING

- Unit terraces along Willow, unit patios at south
- Improved lobby with better street activation
- Vestibule and exterior stair connect to covered breezeway to plaza and retail
- Opportunity for covered bike parking
- Exterior ramp to garage gives better access to building services for street-facing units

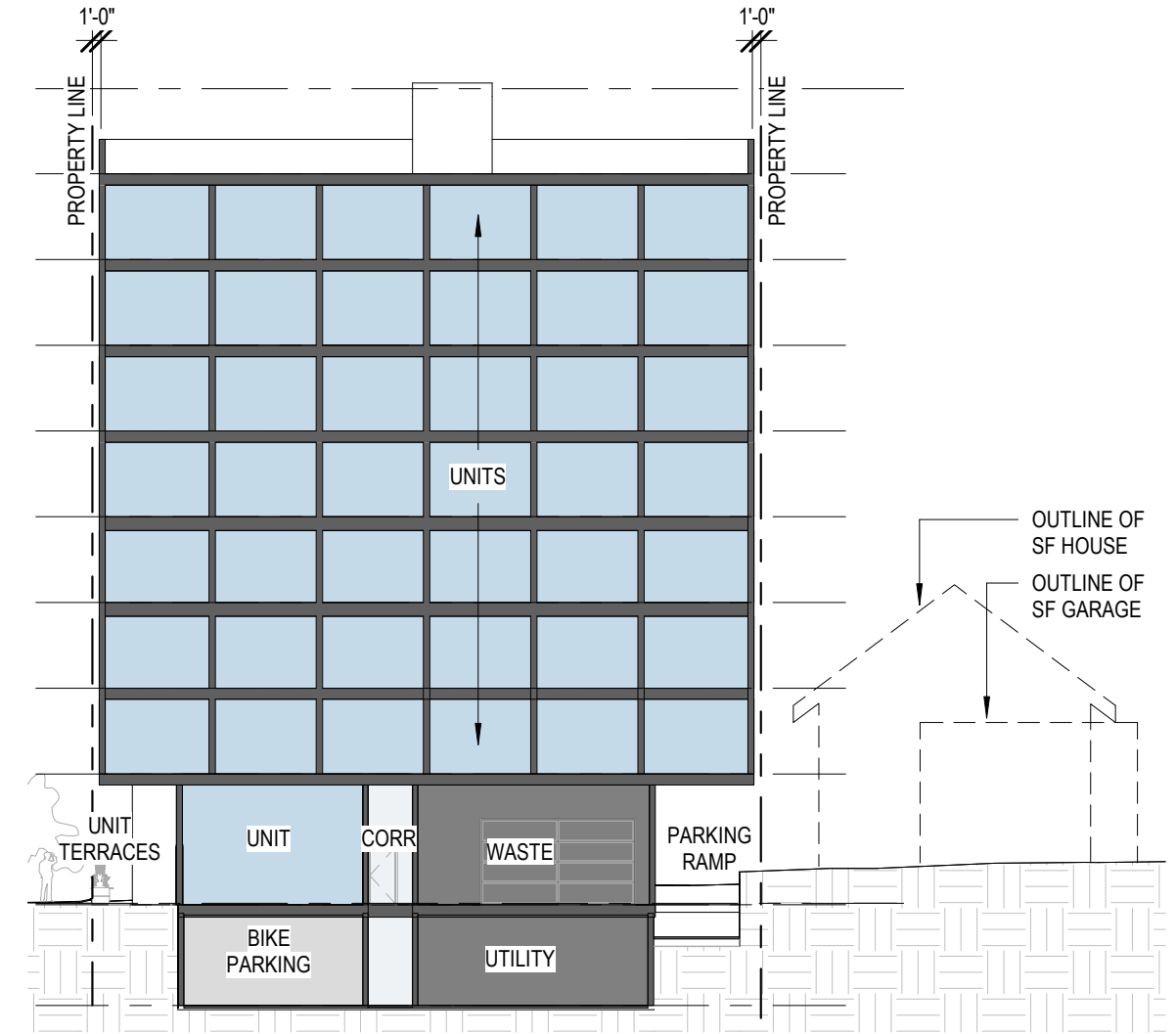
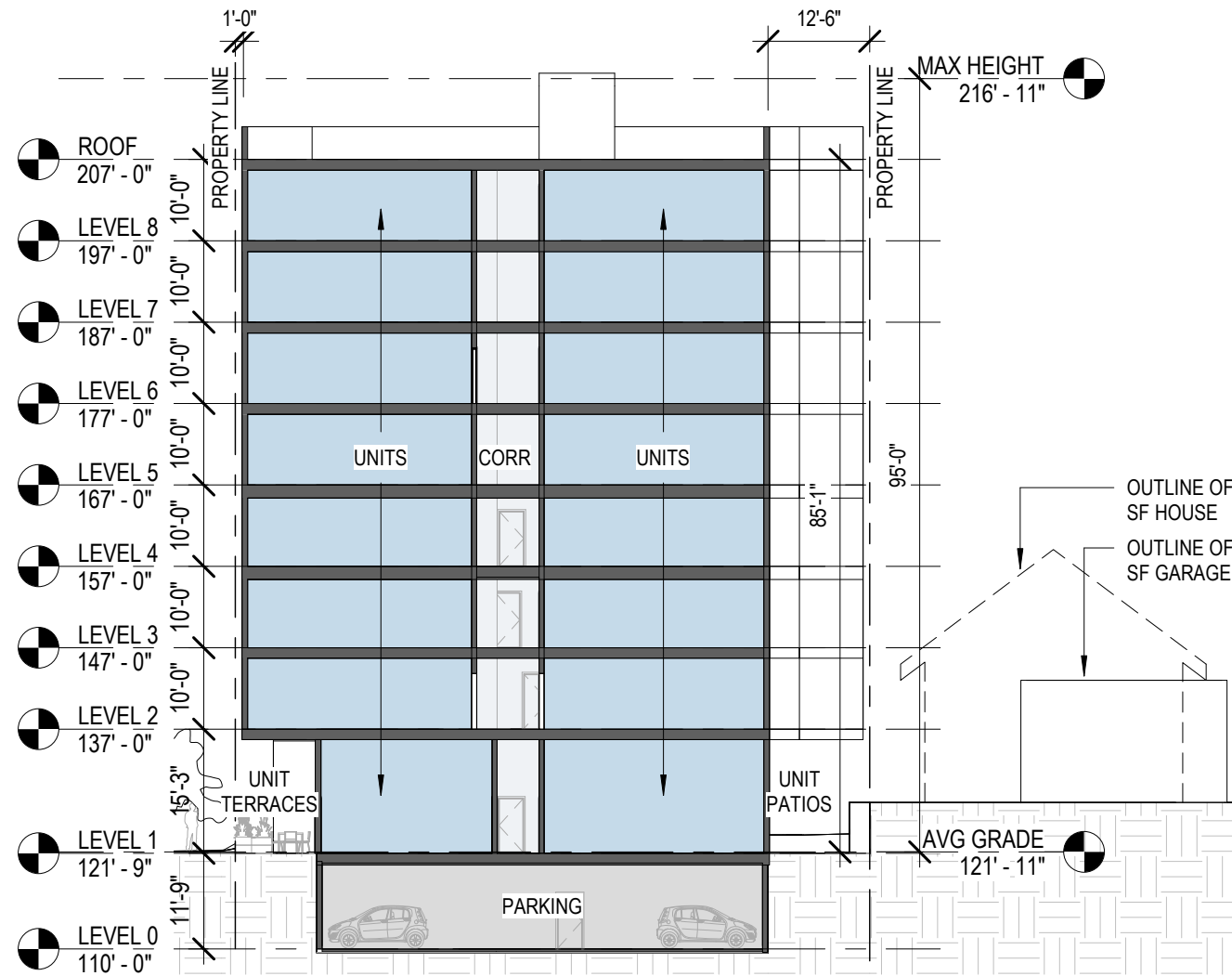
DESIGN OPTION C — PREFERRED

TRANSVERSE SECTIONS

SECTION NOTES

MASSING + PROGRAMMING

- At-grade unit terraces along Willow and patios along the south provide landscaped edges, as well as residential scale and character.
- Ramp moved to exterior of building, improving interior circulation
- Building narrowed at waist, increasing setback and improving privacy along south property line



AREA LEGEND

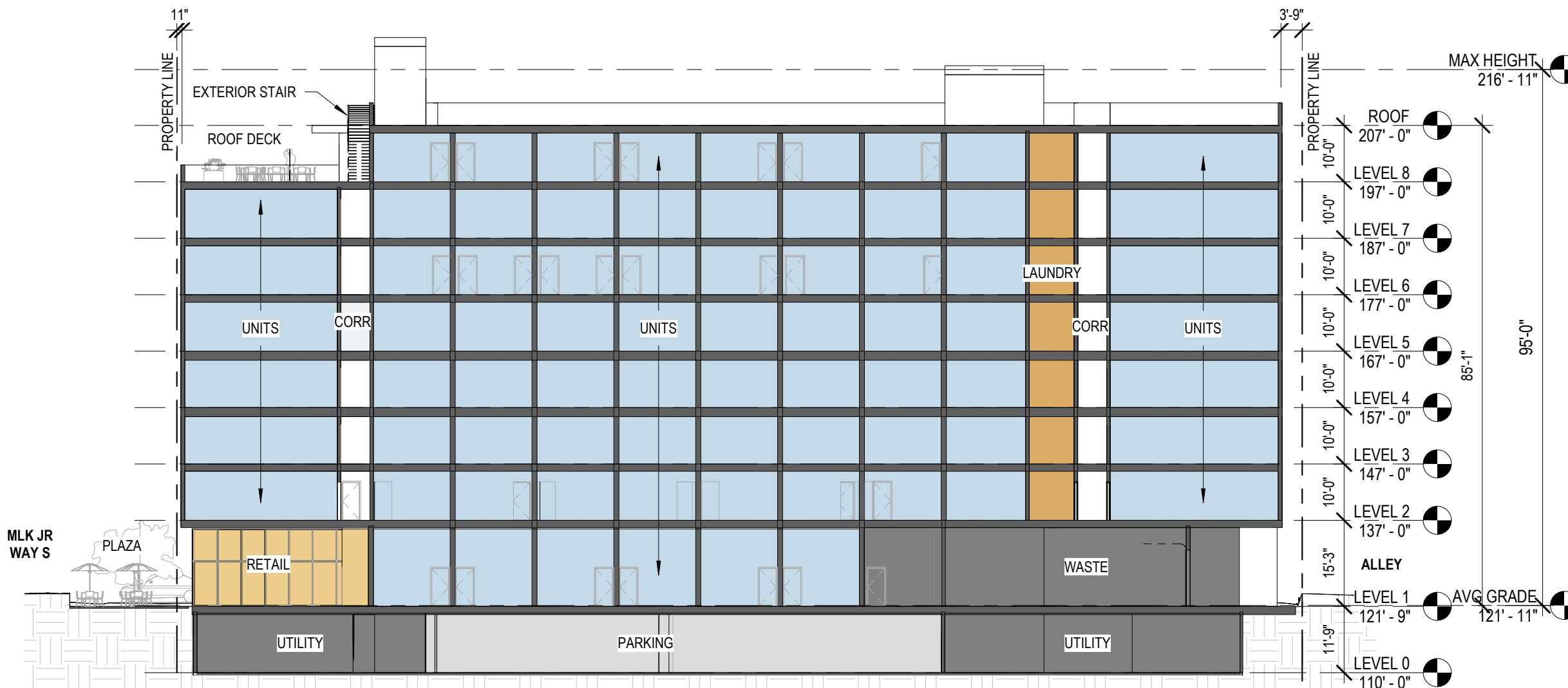
AMENITY	RESIDENTIAL
CIRCULATION	RETAIL
EXTERIOR AMENITY	STORAGE
LOBBY	UTILITY
PARKING	VERTICAL CIRCULATION

DESIGN OPTION C — PREFERRED LONGITUDINAL SECTION

SECTION NOTES

MASSING + PROGRAMMING

- Units face all four cardinal directions, providing activated facades and more unit diversity
- Stepped massing at MLK allows for larger roof deck at Level 8 and more significant scale transition facing plaza. (Similar to Option B)
- Roof deck located away from proposed townhouses to east



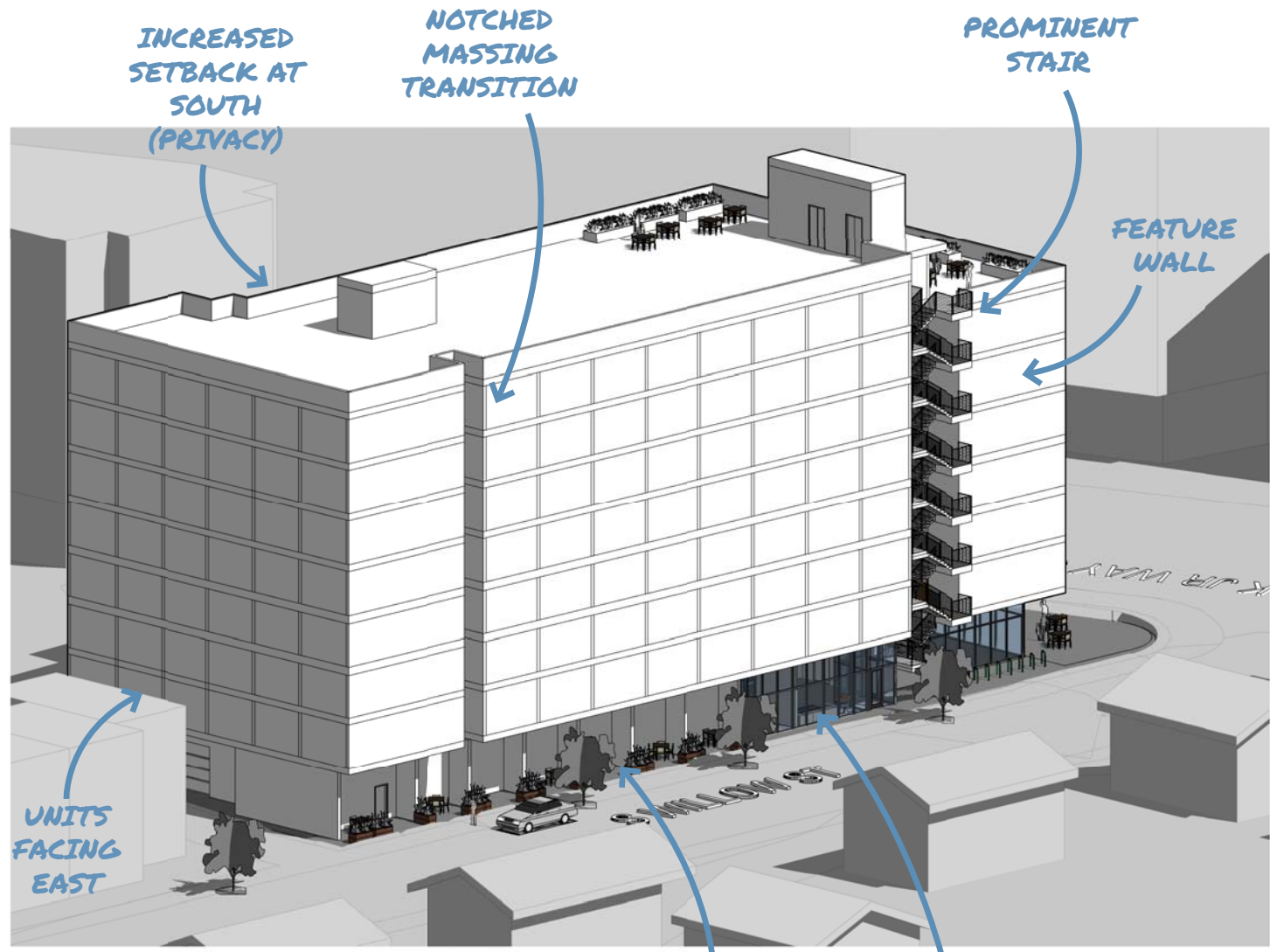
LONGITUDINAL SECTION

NOTE: PROPERTY LINES NOT PARALLEL TO BUILDING.
DISTANCE SHOWN IS AT SECTION CUT.

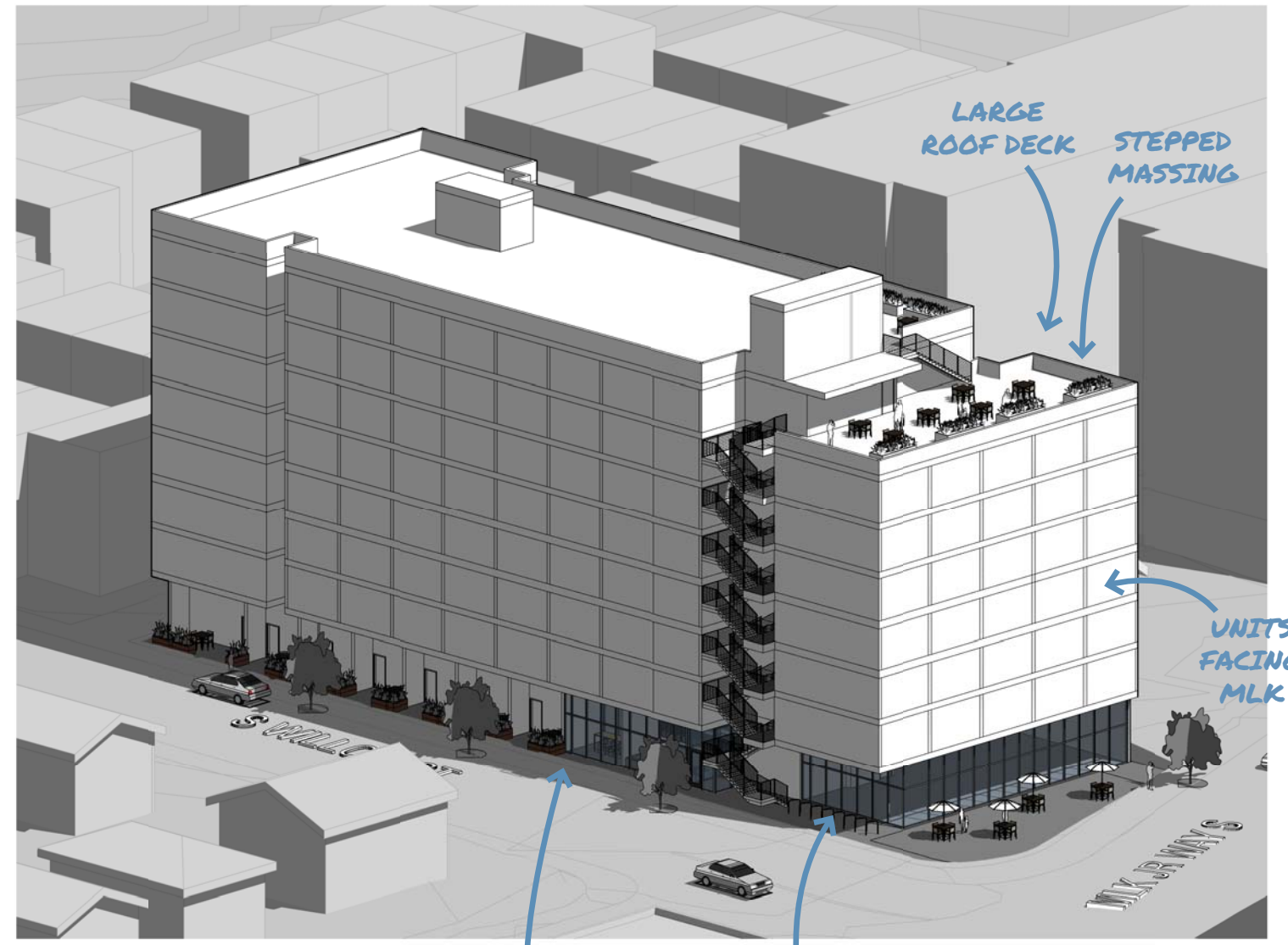
AREA LEGEND

 AMENITY	 RESIDENTIAL
 CIRCULATION	 RETAIL
 EXTERIOR AMENITY	 STORAGE
 LOBBY	 UTILITY

DESIGN OPTION C — PREFERRED
MASSING



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST

CONTEXTUALIZED MASSING

- Primary building elements (stair, feature wall) take advantage of massing transitions
- Massing and plaza act as gateway to neighborhood at zoning transition from north
- Massing breaks create opportunity for concentrating secondary elements, like balconies, to greater affect
- Glazing activates all four orientations
- Increased transparency at grade closer to the corner of MLK and Willow (lobby, retail)
- Recessed terraces and landscaping along Willow provide transition to residential scale (east)
- Utilities and garage access off alley, away from street

DESIGN OPTION C — PREFERRED MASSING IN CONTEXT



PERSPECTIVE VIEW FROM NORTHEAST

EAST ADJACENCY NOTES

RESPONSE TO CONTEXT

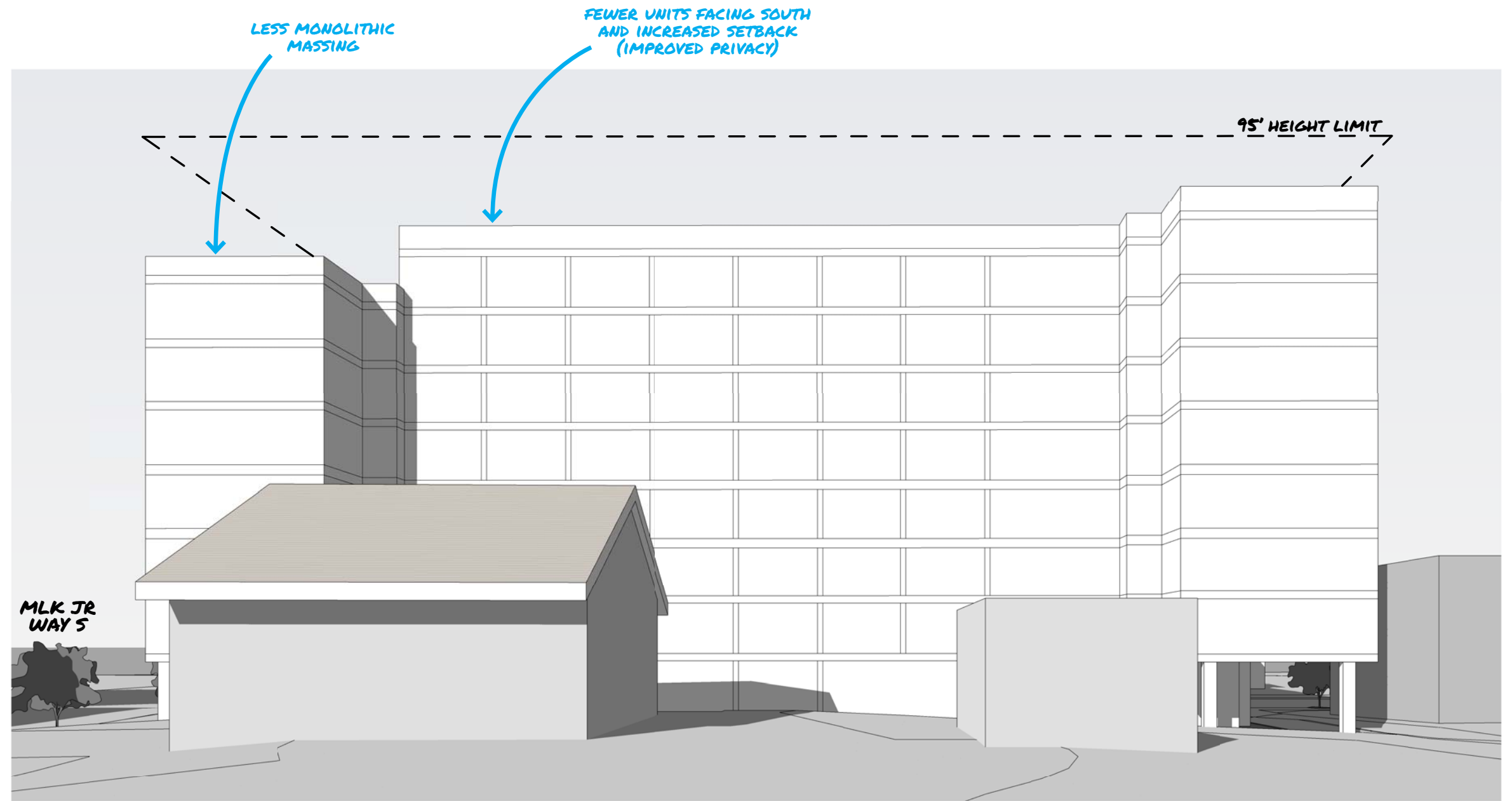
- The preferred design turns units to face east, activating what would otherwise be a large “blank” wall.
- Terraced units at grade provide a residential character and scale at grade, complementing the neighboring townhouse development.
- Roof deck located along MLK, away from the adjacent residential use (LR-2 Zoning)

DESIGN OPTION C — PREFERRED
PERSPECTIVE FACING NORTH

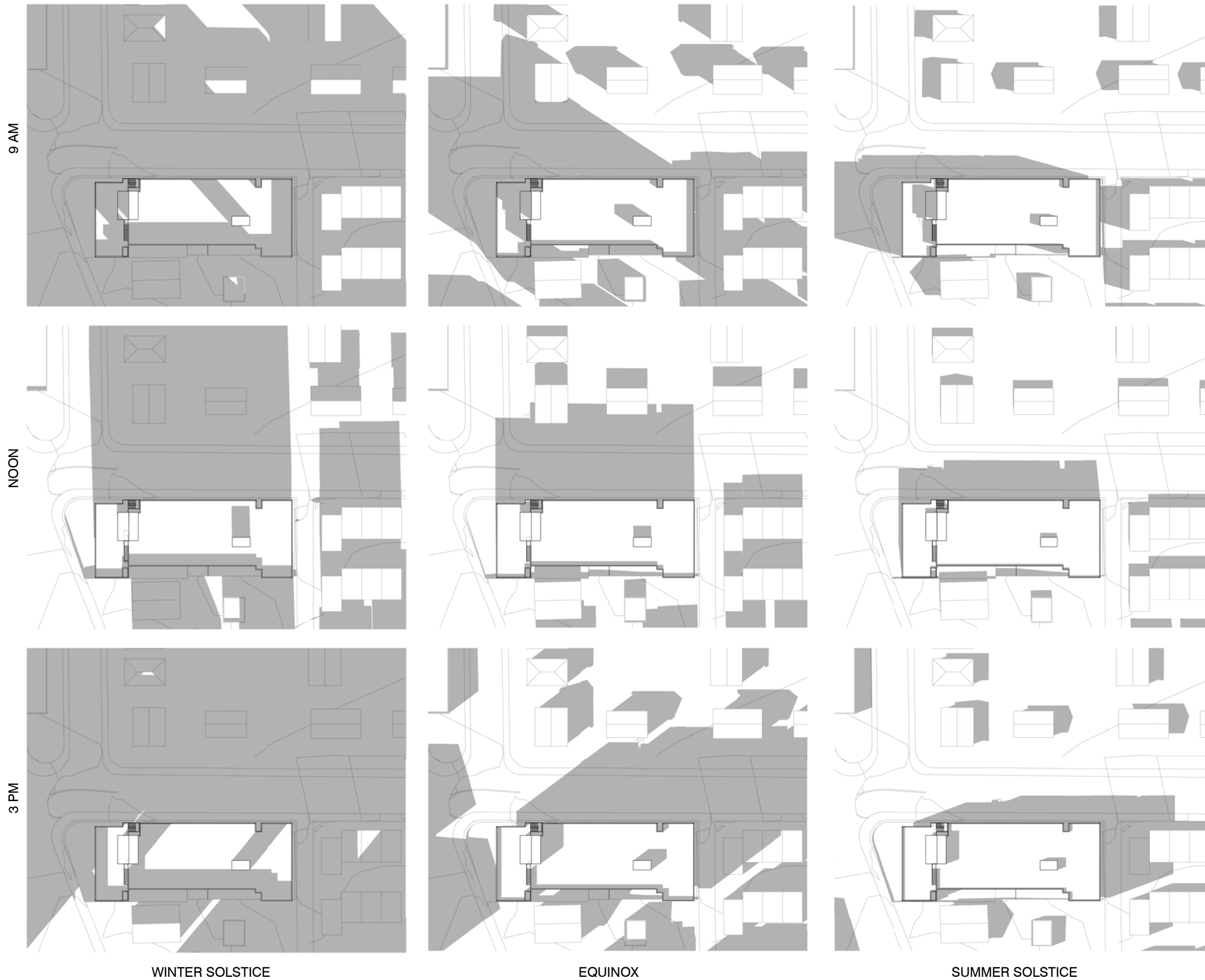
SOUTH ADJACENCY NOTES

RESPONSE TO CONTEXT

- South setback increased to 12.5'
- Fewer units facing south for better privacy
- C-shape plan provides massing relief
- Roof deck located along MLK, away from the adjacent residential use (LR-2 Zoning)



PERSPECTIVE VIEW FROM SOUTH



WINTER SOLSTICE

EQUINOX

SUMMER SOLSTICE

APPENDIX A: DESIGN DEVELOPMENT

APPENDIX A: DESIGN DEVELOPMENT
MASSING STRATEGIES: FORM + ELEMENTS

SUMMARY

At right are a mix of local and international projects which demonstrate effective massing strategies for reducing the perceived scale of large projects with thoughtful proportions, contextual gestures and secondary features.

OPPORTUNITIES FOR...

- Reducing overall scale of the building with purposeful massing transitions
- Organizing form and program to respond to context and orient to daylight
- Finding well-proportioned architectural expression of the building uses
- Promoting streetscapes tailored to context
- Integrating secondary building features like stairs, balconies and murals with massing

NOTCH AT
CIRCULATION BREAKS
UP LONG FACADE

PLAN ORIENTATION
LEGIBLE IN
MASSING

ELEVATIONS ARE
UNIQUE AND
COMPATIBLE



SHELLERDAMM STUDENT LIVING — LIMBROCK TUBBESING



VIDA APARTMENTS — WEINSTEIN A+U



ILOT A3 — TATIANA BALBOA



CASA DEL FASCIO — GIUSEPPE TERRAGNI

PLAY OF
VOID + SOLID



COLUMBIA UNIVERSITY — RENZO PIANO BUILDING WORKSHOP

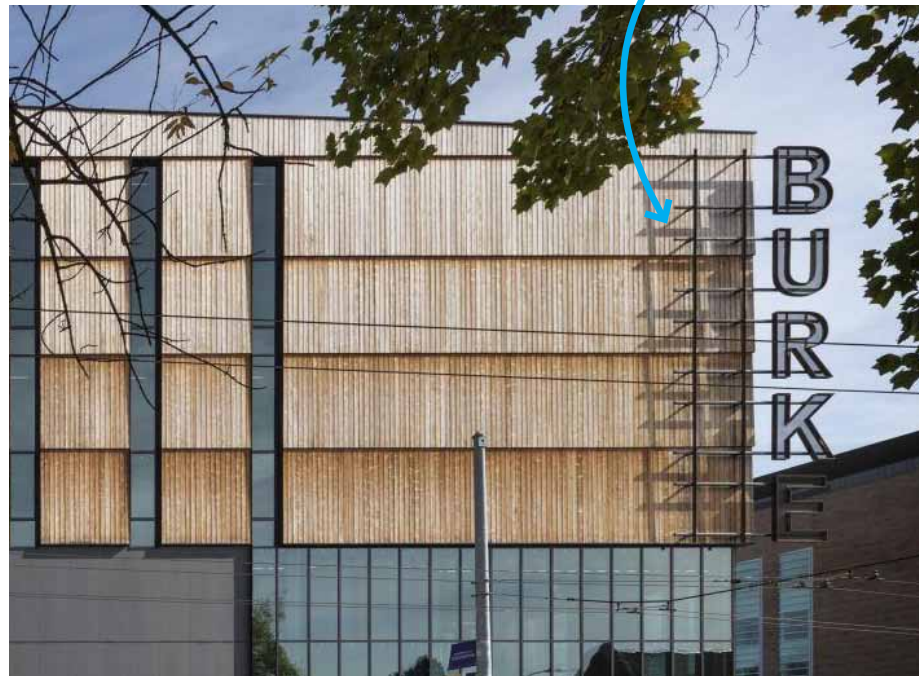
TURNING
THE CORNER



STATION HOUSE — WEINSTEIN A+U

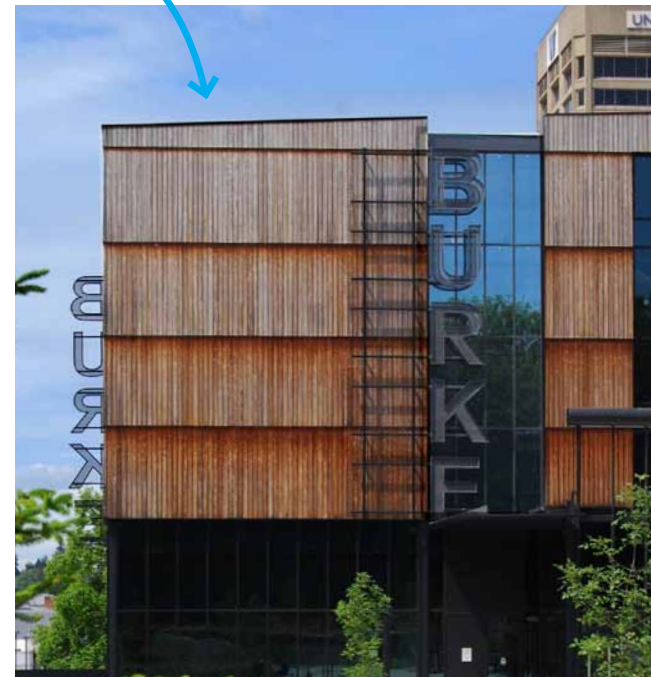
ENTRY PLAZA
AT MASSING
TRANSITION

FEATURE WALL
+ SIGNAGE
AT CORNER



BURKE MUSEUM — OLSON KUNDIG

BALCONIES ADD
RHYTHM + DEPTH



SOCIAL HOUSING — ARQUITECTURA PRODUCCIONS



SELECTIVE USE
OF COLOR,
TEXTURE, SHAPE



SOLIS APARTMENTS — WEBER THOMPSON

EXTERIOR STAIR
AT MASSING
TRANSITION



WOHNREGAL — FAR FROHN & ROJAS

STAIR
ANIMATES
FACADE



UNCLE BOB'S PLACE — MITHUN

MASSING NOTCH
EMPHASIZED



YARDHOUSE — ASSEMBLE

APPENDIX A: DESIGN DEVELOPMENT

PRECEDENTS: LANDSCAPE — STREET LIFE — GATHERING

NOTES

The project offers a range of exterior spaces, from highly public to more intimately scaled and private. With that exist opportunities to clearly define each zone architecturally, while linking them with a consistent language and/or elements.



TRANSITIONS — PLAZA + TERRACES
(APOLLO + ALLEY 24, MURASE ASSOCIATES)



TERRACES
PROVIDE
RHYTHM + SCALE



GLAZED LOBBY,
CONNECTION
TO STREET

ACE HOTEL, LONDON



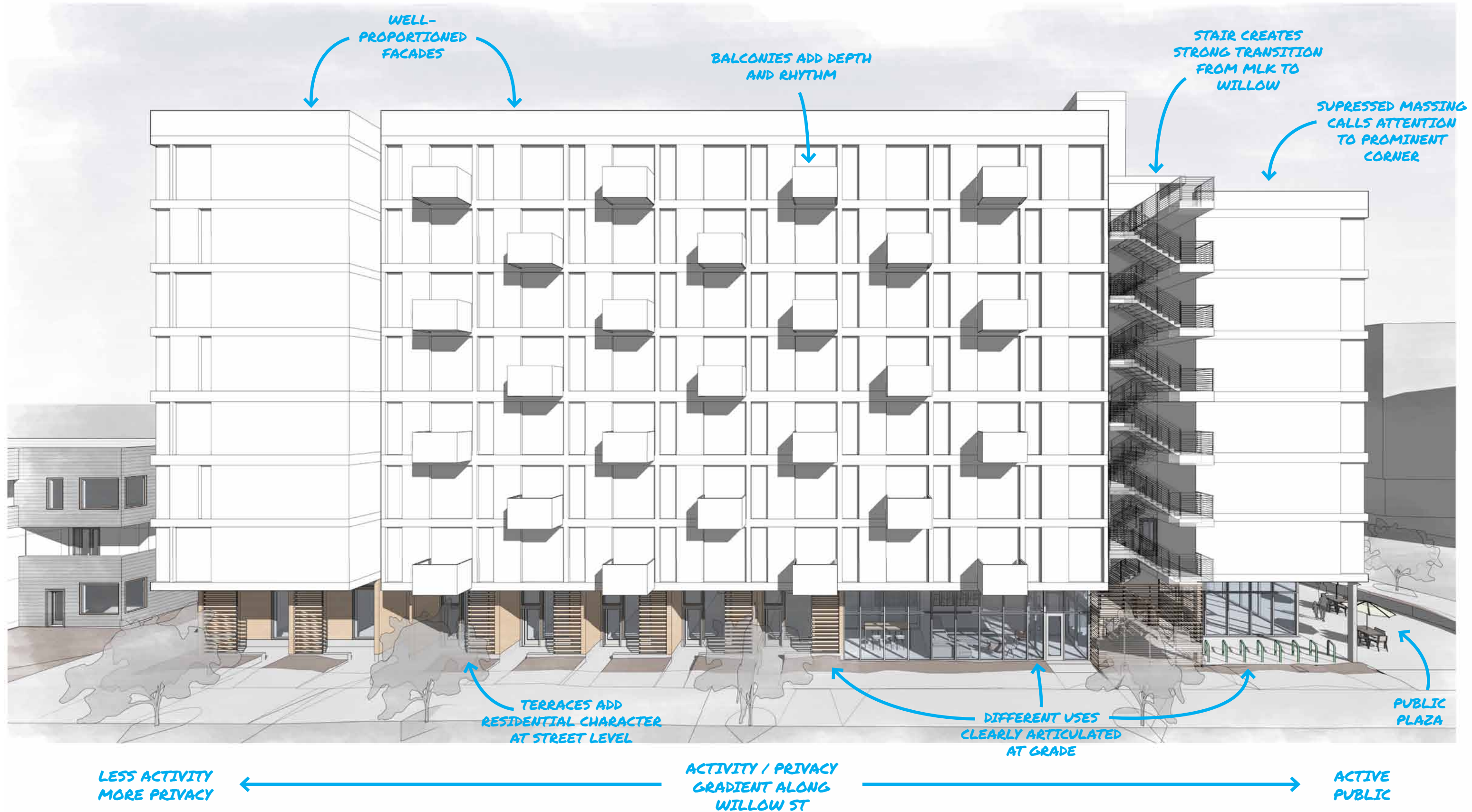
ACTIVE +
LAYERED
STREET EDGE

TERRACES — EL-CH LANDSCHAFTARCHITEKTEN



INTIMATE SCALE

PATIOS — ZANDERROTH ARCHITEKTEN

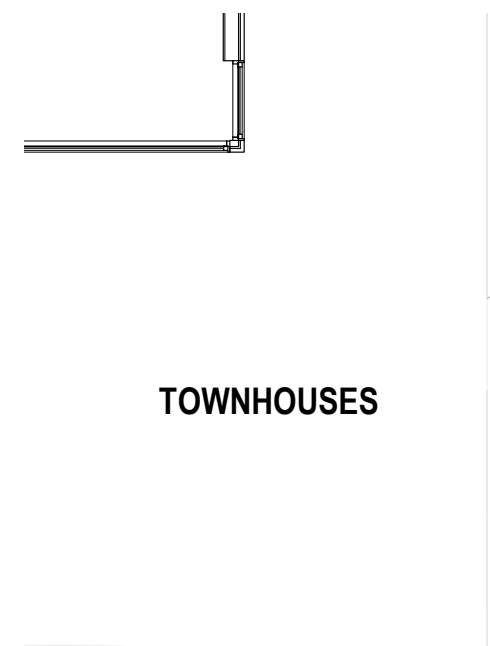


APPENDIX A: DESIGN DEVELOPMENT
STREET-LEVEL PROGRAMMING: WILLOW

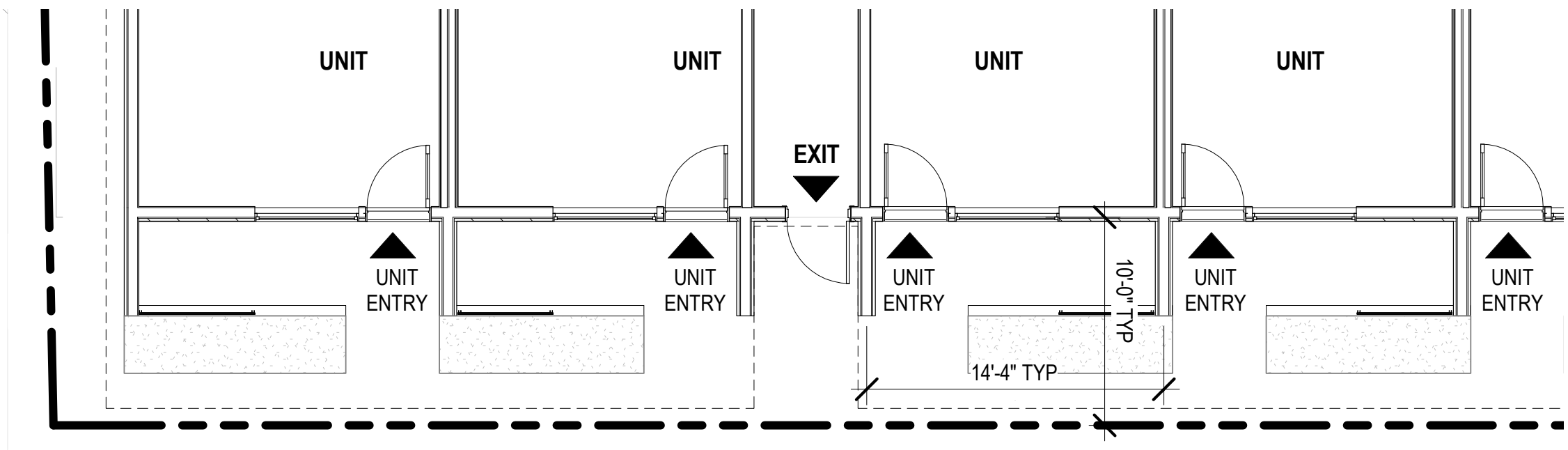


ADJACENT TOWNHOUSES
(UNDER CONSTRUCTION)

UNIT TERRACES
SEMI-ACTIVE / MOSTLY PRIVATE
LANDSCAPED THRESHOLD



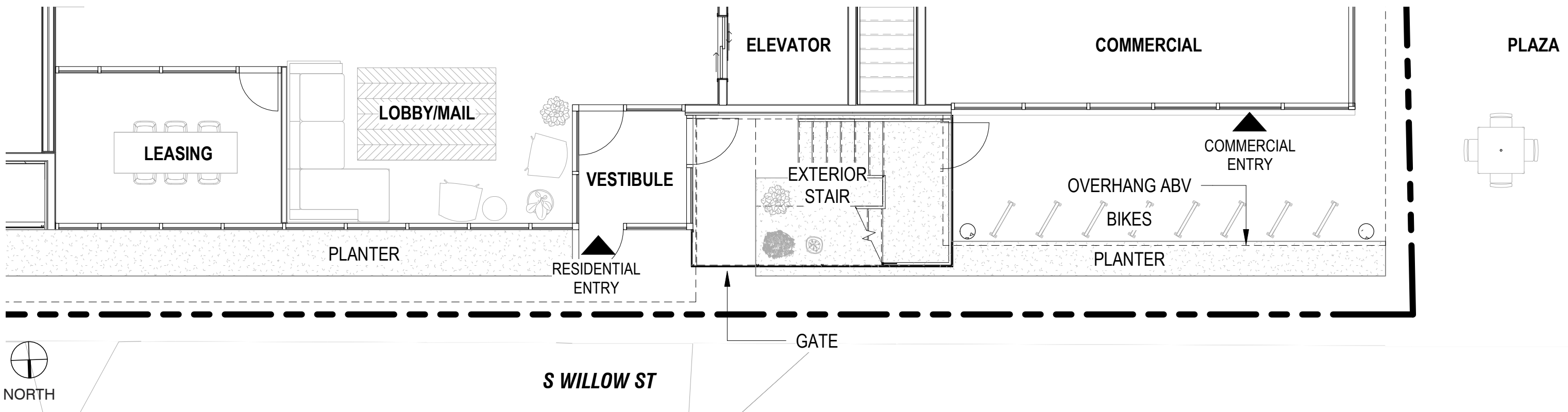
TOWNHOUSES



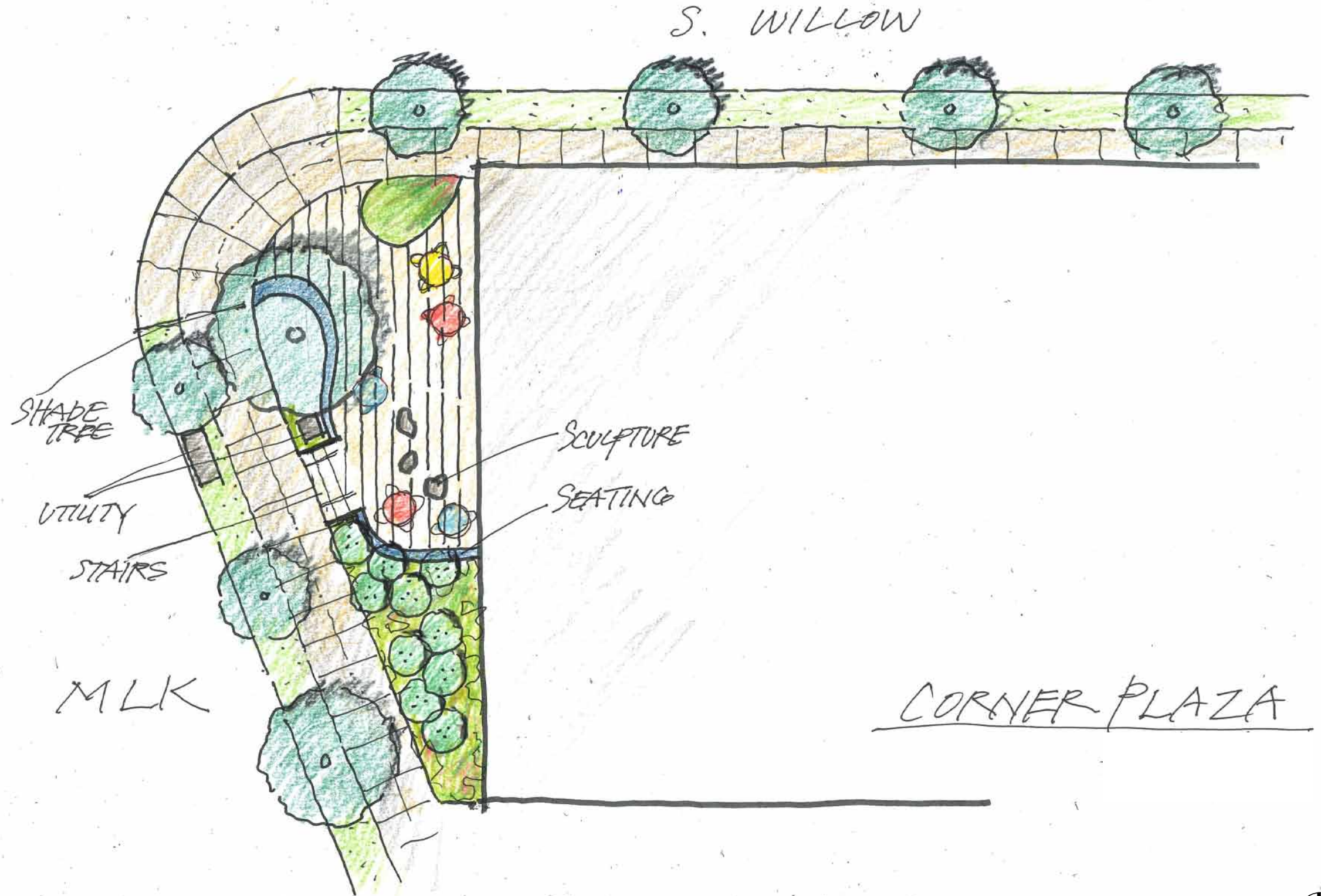
ALLEY

S WILLOW ST





CORNER PLAZA



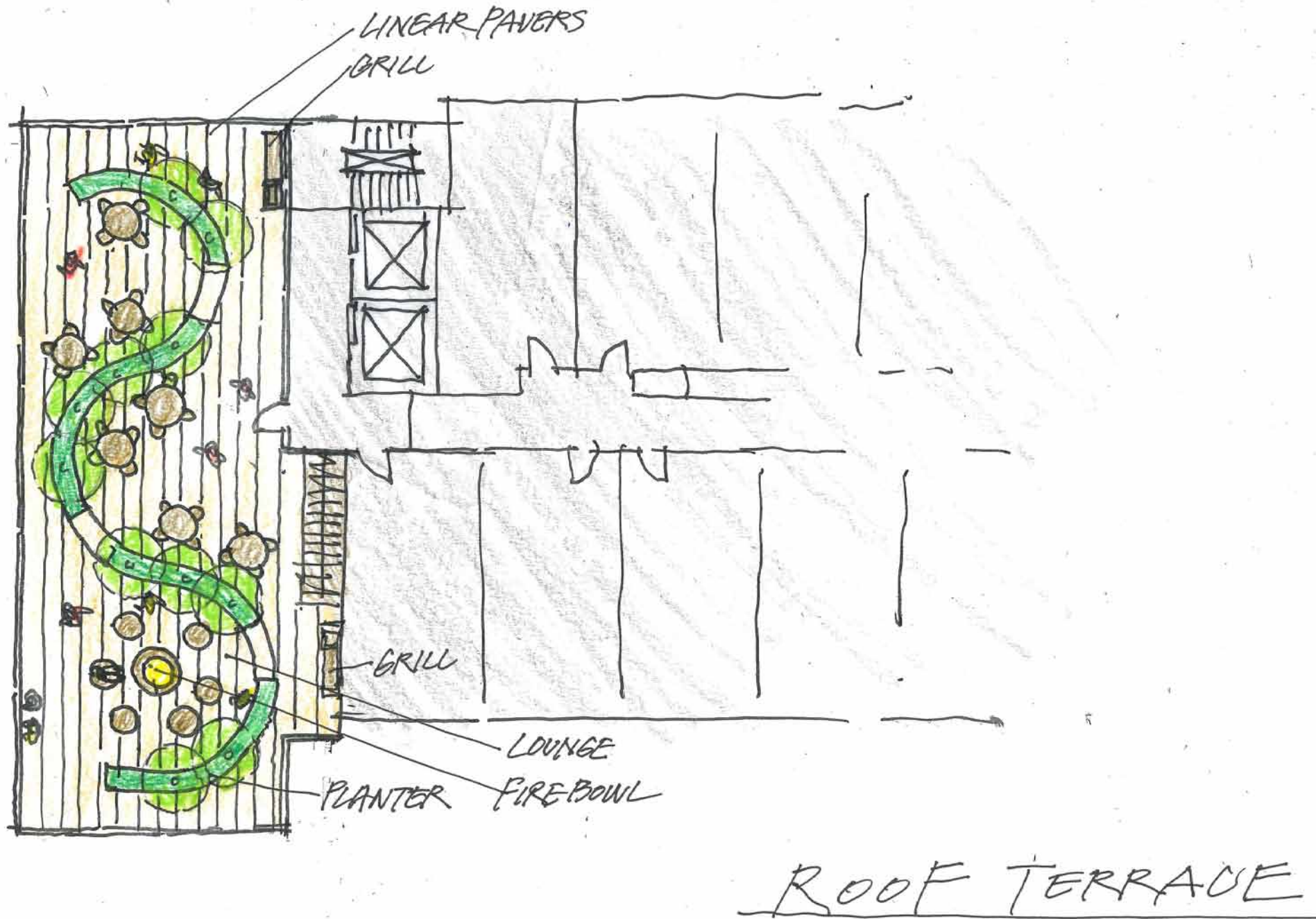
CORNER PLAZA

SCALE: 3/4" = 1'-0"



NORTH

ROOF TERRACE



NORTH

SCALE: 3/4" = 1'-0"

APPENDIX B: PRIOR WORK

APPENDIX B: PRIOR WORK
OZ NAVIGATOR



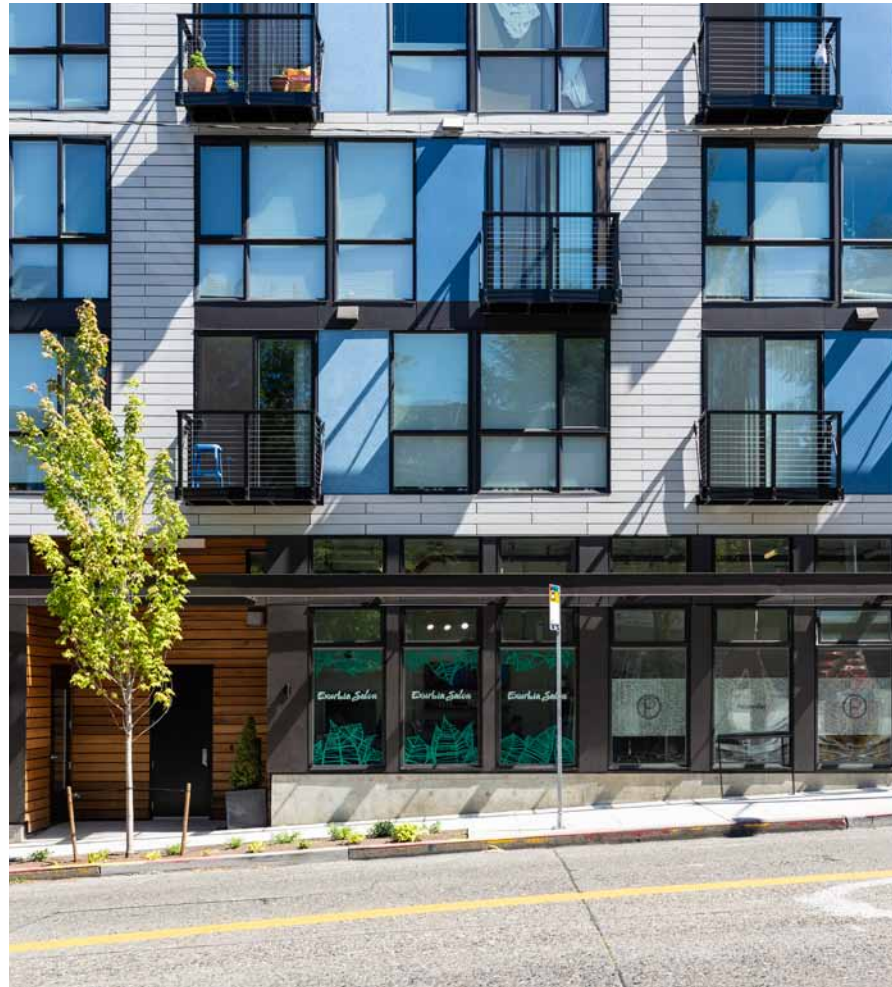
7324 MLK JR WAY S, SEATTLE — IN PERMITTING
(NEIMAN TABER)



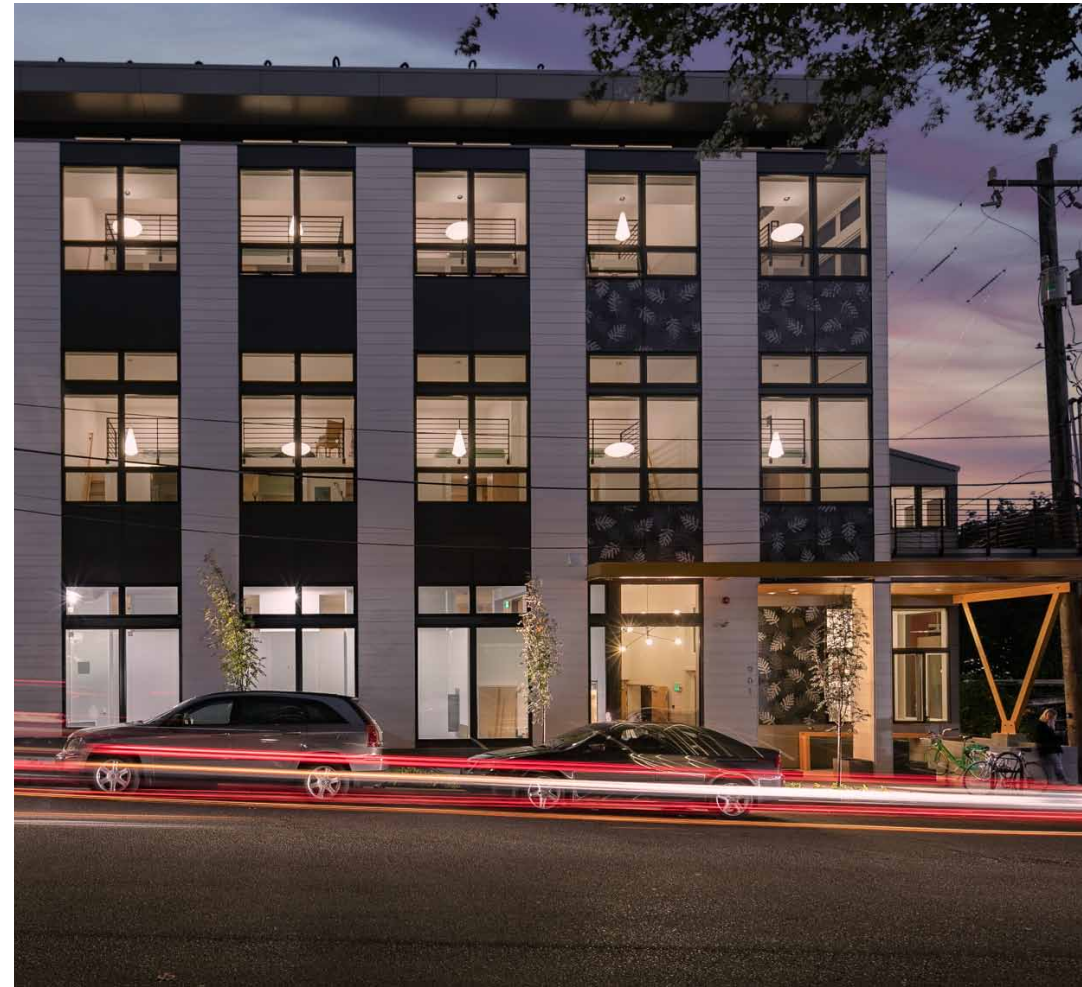
CANTON LOFTS, SEATTLE — COMPLETED SEPT 2021
(WEINSTEIN A+U)



500 BROADWAY, SEATTLE — UNDER CONSTRUCTION
(NEIMAN TABER)



HAMILTON APARTMENTS, SEATTLE — COMPLETED 2017



THE ROOST, SEATTLE — COMPLETED 2019



LAKE VIEW APARTMENTS, SEATTLE — COMPLETED 2020

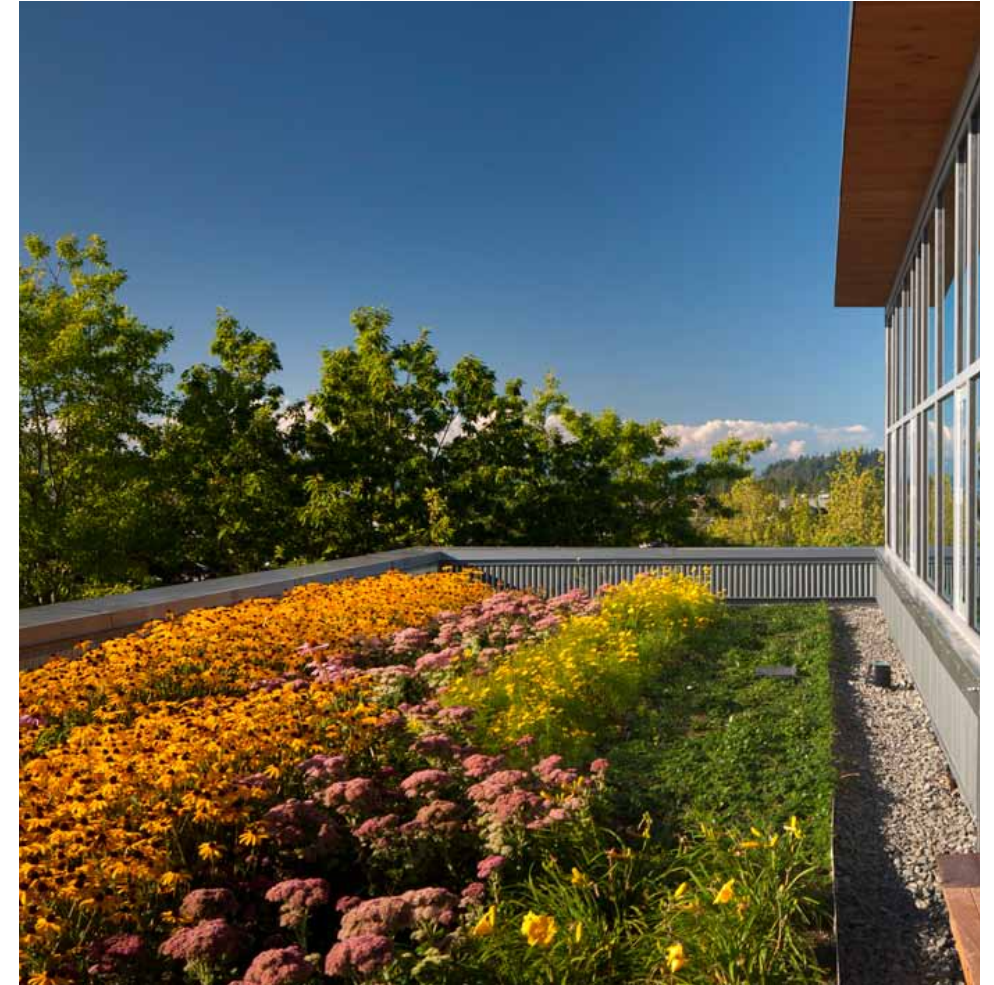
APPENDIX B: PRIOR WORK
MURASE ASSOCIATES



DEVON ENERGY PLAZA, OKLAHOM CITY OK (2013)



KEIRO COURTYARD, SEATTLE WA (2013)



LOTT ALLIANCE, OLYMPIA WA (2009)

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