

2947 EASTLAKE



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PROJECT INFORMATION

PROPERTY ADDRESS
2947 Eastlake Avenue East Seattle, WA 98102
OWNER
2947 LLC
DEVELOPER
2947 LLC
T (206) 816-3339

ARCHITECT
Weinstein A+U LLC
T (206) 443-8606
LANDSCAPE
Karen Kiest Landscape Architects
T (206) 323-6032

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Project Location

The project site is 27,505-sf or approximately 0.63-acres. Located on a corner lot bounded by Eastlake Avenue East to the east and East Allison Street to the north, the site is zoned NC3-55 (M) - Neighborhood Commercial with a 55-foot height limit and is subject to the requirements for MHA- Mandatory Housing Affordability. It is located within the Eastlake Residential Urban Village. The western portion of the site is also subject to a Shoreline Zone with a 30-foot height limit.

The site is surrounded by a variety of building types, upcoming and existing, including 1-2-story office buildings, lowrise multifamily, and single family housing to the west. This is contrasted with 4-story mixed-use apartment projects to the east. The higher density development holds a strong urban edge across Eastlake Avenue East and is activated by commercial character at the ground floor. This typology will continue to the north of the project site, across East Allison Street, with a new development at 3101 Eastlake Avenue East. A single story commercial building separates the site from Fairview Park to the south, while one block west is Lake Union water access near The College Club and Thunderbird Marina.

Project Overview

The site's unique topography, with elevation changes of 30' from east to west along the south property line and almost 10' from north to south along the alley, drives a building massing that transitions from a 5-story building along Eastlake Avenue East to an 8-story building along the alley.

The site straddles the 200' shoreline setback. That portion of the property within the 200' setback is subject to a 30-foot height limit while the area beyond (along Eastlake Avenue East) is subject to the 55-foot height limit of the NC3-55 (M) zone. The proposed building is located entirely outside of the shoreline setback allowing for the west edge of the site to act as a buffer between the higher zoning along Eastlake Avenue East and the lower heights of the buildings on properties to the west within the setback. Because of the contrasting site conditions, buffers in the form of building massing, landscaping, and hardscape must be implemented to appropriately respond to the distinct duality of the site.

The residential levels will have approximately **131 apartments** comprised of a mixture of two-bedroom, one-bedroom, open one-bedroom, and studio flats that are distributed from Levels P1-5. An on-site leasing and management office and associated building support spaces will be located at street level and below-grade. Residential amenities will be located primarily at Level B1 and Level P1 along with an exterior residential roof terrace. Commercial spaces include **4 live-work units** (*for the preferred EDG concept), approximately 3,350 sf, and a **restaurant**, approximately 2,865 sf, located on Level 1.

Parking is not required, but approximately **88 parking spaces** (*for the preferred EDG concept) will be provided underground at Levels P1 and P2.

Development Objectives

- **Massing:** Develop a massing that -
 - Responds appropriately to existing and upcoming development in the neighborhood
 - Emphasizes the strong urban edge and commercial corridor to the east along Eastlake Avenue East
 - Respects the lower density to the west while taking advantage of water views
 - Acts as a transition between the busier commercial corridor to the east and quieter lowrise development to the west
- **Public Life:** Develop a ground floor that-
 - Is inspired by the Eastlake Bar & Grill with a prominent commercial corner along Eastlake Avenue East and East Allison Street
 - Engages the streetscapes along Eastlake Avenue East and East Allison Street adding to the public life of the area
- **Open Space:** Develop amenity areas that-
 - Strategically use topographic elevation changes to locate structure and associated open spaces
 - Act as transition zones to reduce the appearance of bulk and scale

COMMUNITY OUTREACH

SUMMARY OF OUTREACH METHODS

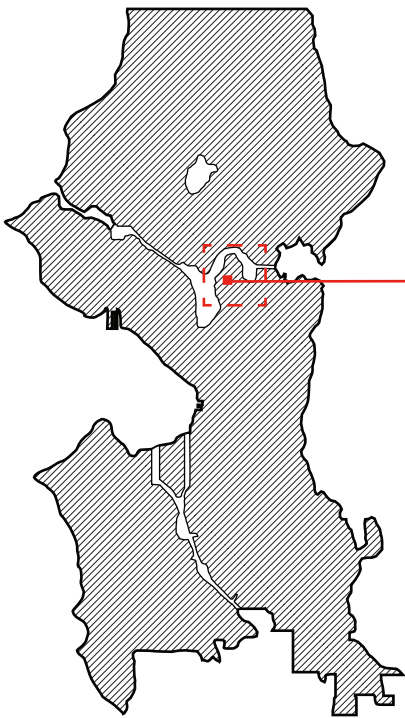
OUTREACH METHOD	MEDIA	ACTION
Printed Outreach	Posters (High Impact)	Posters were mailed to 753 residences and businesses and shared with 2 neighborhood community groups.
Electronic / Digital Outreach	Project Website (High Impact)	Project website established and publicized via poster. Monitored daily for comments from the Website. Developed an interactive project website with project information and a public commenting function.
Electronic / Digital Outreach	Survey (High Impact)	Online survey established and publicized via poster with link to survey featured on project website.

COMMUNITY COMMENTS / QUESTIONS

DESIGN-RELATED COMMENTS	COMMENTS / QUESTIONS	RESPONSE
Design	64% of survey respondents noted relationship to neighborhood character and parking are most important about the design of a new building on this property; 45% said environmentally-friendly feature; 9% said attractive materials and unique design. Several respondents encouraged the project team to use high-quality construction; consider cleverness, unexpectedness and imagination in designs; retain the history of the founders, and keep Eastlake local by having the new buildings flow with the area.	The preferred massing option, Concept 3, has a parking ratio of 67% with 88 proposed parking stalls. Each option explores opportunities for the project to make strong connections to the neighborhood and its current and developing character. Restaurant programming, size, and location is maintained through all 3 massing concepts as it is strategically placed to maximize its views to the west, much like the Eastlake Bar & Grill before it. The design will continue to evolve and high quality material choices will be explored as the project moves through the Design Review process and into Design Recommendation.
Exterior	70% of survey respondents said lighting and safety features were the most important consideration for the exterior space of the property; 50% said landscaping; 40% said seating options and places to congregate; and 10% said bike parking. One respondent inquired what will happen to the large trees on the downslope of East Allison Street.	Each massing option provides a 5’ undercut on level 1 along Eastlake Avenue East. A combination of the residential lobby, live-work units and storefront, and anticipated restaurant program on the corner of Eastlake Avenue East and East Allison Street will maintain a balance of residential and commercial activity. Public seating as well as private seating for the restaurant can easily be incorporated. A preliminary rendered roof plan and landscape plan have been provided for the project on pages 61 and 62. Lighting will be highly integrated with the proposed building design and landscape plans, and will be developed in the Design Recommendation packet. Street improvements and subsequent re-grading that are required for East Allison Street will require the trees on that slope to be removed. New street trees will be planted.
Height & Scale	Numerous respondents inquired how tall the proposed new building will be, and encourage that it not be too high so it doesn’t block a lot of natural light or cause neighbors to lose their views of Lake Union and thus the value of their homes. One respondent noted that it would be great if the building was not higher than four stories.	The lot is zoned NC3-55 (M) - Neighborhood Commercial with a 55-foot height limit. The proposed project will be 5-stories along Eastlake Avenue East.
Security	A few respondents encouraged the project team to take steps for personal safety including creating fully-visible places without blind spots where people could camp and have trash containers that are not accessible to non-residents.	The distribution of commercial and residential programs and associated access activate the building in a balanced, lively way. Significant glazing is planned for level 1 facing east towards Eastlake Avenue East. On the west facade, units located on level p1 through level 5 face the alleyway and are activated privately by decks and at grade patios, and publicly by the restaurant deck on the north-west corner of the building. Working with challenging grade along East Allison Street, a gated entry will access level b1.

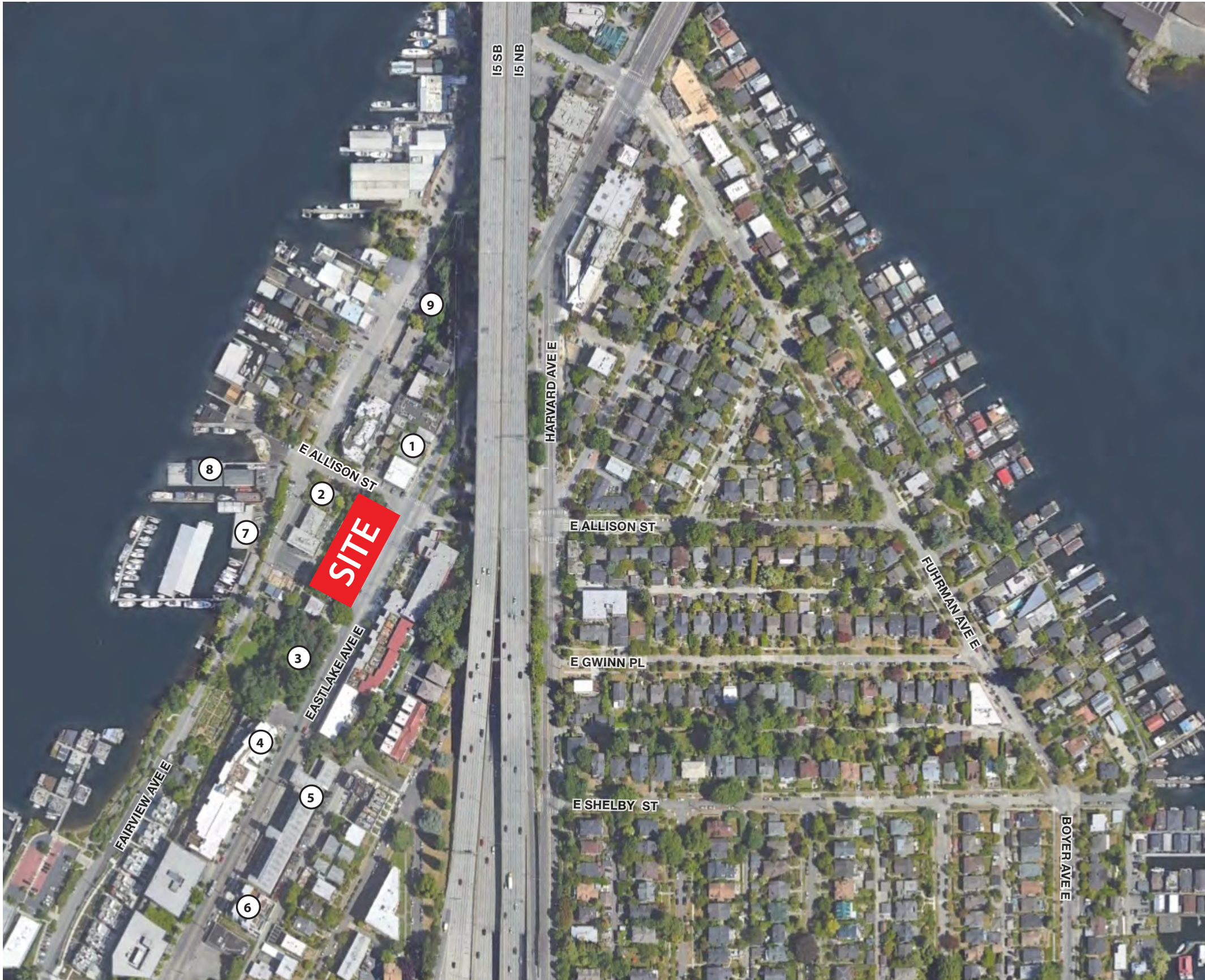
COMMUNITY COMMENTS / QUESTIONS

NON DESIGN-RELATED COMMENTS	COMMENTS / QUESTIONS	RESPONSE
Retail	67% of survey respondents said new places for coffee or breakfast are the retail components they are most interested in for this location; 58% said new restaurants or bars; and 50% said new stores for shopping. 58% of survey respondents said great people and service most inspire them to return when visiting a new building, office, restaurant, or retailer; 50% said local businesses and small businesses; 33% said a sense of openness and natural light; 33% said thoughtful design that is open and welcoming; 25% said calm, restful places to reflect and relax; and 16% said bustling, exciting energy and color and materials used in design. A few respondents noted this would be a great site for a small grocery store and one noted that new retail outlets filling the gap between the University Bridge and Mercer Street will be well-used. One respondent noted they would like to see more restaurants and another inquired whether a list of businesses who will occupy the retail spaces is available.	Each massing concept maintains restaurant program on the north-east corner of the project, activating the corner of Eastlake Avenue East and East Allison Street. Discussions have been ongoing with the existing restaurant tenant and the property owners hope to have them return to the new building. Live-work units have been strategically sized to accommodate a wide range of possible retailers. Grocery programs would be more difficult because of the loading options available, but many other uses can thrive in the proposed commercial spaces.
Parking, Traffic & Street Improvements	Numerous respondents expressed concern about inadequate parking, given that there will be retail and commercial as well as residential, and because there are numerous apartments and business in the area already (without their own parking) and street parking in the area is a challenge. One respondent strongly discouraged the project team from constructing a new project without adequate parking. Another inquired whether improvements will be made to Eastlake Avenue East as it is significantly worn due to high traffic. One respondent noted that traffic noise from I-5 overhead is overwhelming at the very north end of Eastlake.	The preferred massing option, Concept 3, has a parking ratio of 67% with 88 proposed parking stalls. Commercial vendors will have dedicated parking distributed on level P1. Seattle Department of Transportation will be in control of street improvements that occur along both Eastlake Avenue East and East Allison Street.
Density	A few respondents noted that Eastlake is relatively quiet and calm with a small, local feeling, and expressed concern that another building will detract from the neighborhood’s charm. Another respondent supported less population density, less people, and more nature.	One of the project’s main focuses is to create connections to its neighbors through its programming and design, emphasizing existing and developing neighborhood character. Programming and massing exploration aim to highlight these connections.
Project Impacts	A few respondents inquired about project impacts- including whether an environmental impact statement had been completed; what the construction hours will be and how the crews will minimize dust; whether an impact study will be conducted for homeowners who will have their view obstructed; and if compensation will be provided to those homeowners.	Construction will adhere to best practices for minimizing impacts on neighbors.
Project Timeline	A couple of respondents inquired when the project will start and finish.	Construction is tentatively scheduled to start summer of 2022 but is subject to change. Construction time is also variable but is anticipated to take about 18 months.
Existing Residents	One respondent encouraged the project team to have respect of the people and communities who live in Eastlake already, and not displace anyone or anything.	The project will not remove any existing housing and is working with the existing restaurant tenant to keep on site in a new restaurant space.
Units	One respondent inquired whether the team can lower the number of units to half of what is now planned.	The project is adhering to the size and density allowed by the Neighborhood Commercial 3 zone, in keeping with the City’s goals for increasing density within Urban Villages.



SITE





NEIGHBORHOOD CONTEXT

1. New Development- 3101 Eastlake Ave E
2. New Development- 117 E Allison
3. Fairview Park
4. Little Water Cantina
5. Corando Apartments
6. Eastlake Flats
7. Thunderbird Marina
8. College Club Seattle
9. New Development- 3150 Fairview Ave E

URBAN DESIGN ANALYSIS: NEIGHBORHOOD CONTEXT

The immediate vicinity around the project is undergoing a tremendous amount of change. New developments consisting of primarily mixed-use buildings will create greater density with commercial spaces activating the ground level. East Allison Street will see the most impact with (3) new developments, street re-grading, and a new park that will aid in its connection to Lake Union.

NEW NEIGHBORHOOD CONTEXT

- 1. **Project Site**
- 2. 117 East Allison Street, Seattle, WA 98102
 - Combine (2) existing parcels. New mixed use project with retail at ground floor and multifamily housing above.
- 3. 3101 Eastlake Avenue East, Seattle, WA 98102
 - New 7-story building with 104 residential units and retail. Parking for 36 vehicles proposed.
- 4. 3150 Fairview Avenue East, Seattle, WA 98102
 - New 5-story building with 103 residential units. Parking for 37 vehicles proposed. 2-story portion of existing building to remain for offices.
- 5. 100 R East Allison Street, Seattle, WA 98102
 - Shoreline Substantial Development Application to allow open space at the end of East Allison Street. Project to include landscaping, seating, and improved access to water.

LEGEND

- Site 
- Unbuilt 



EXISTING SITE PLAN

PARCEL NUMBERS:

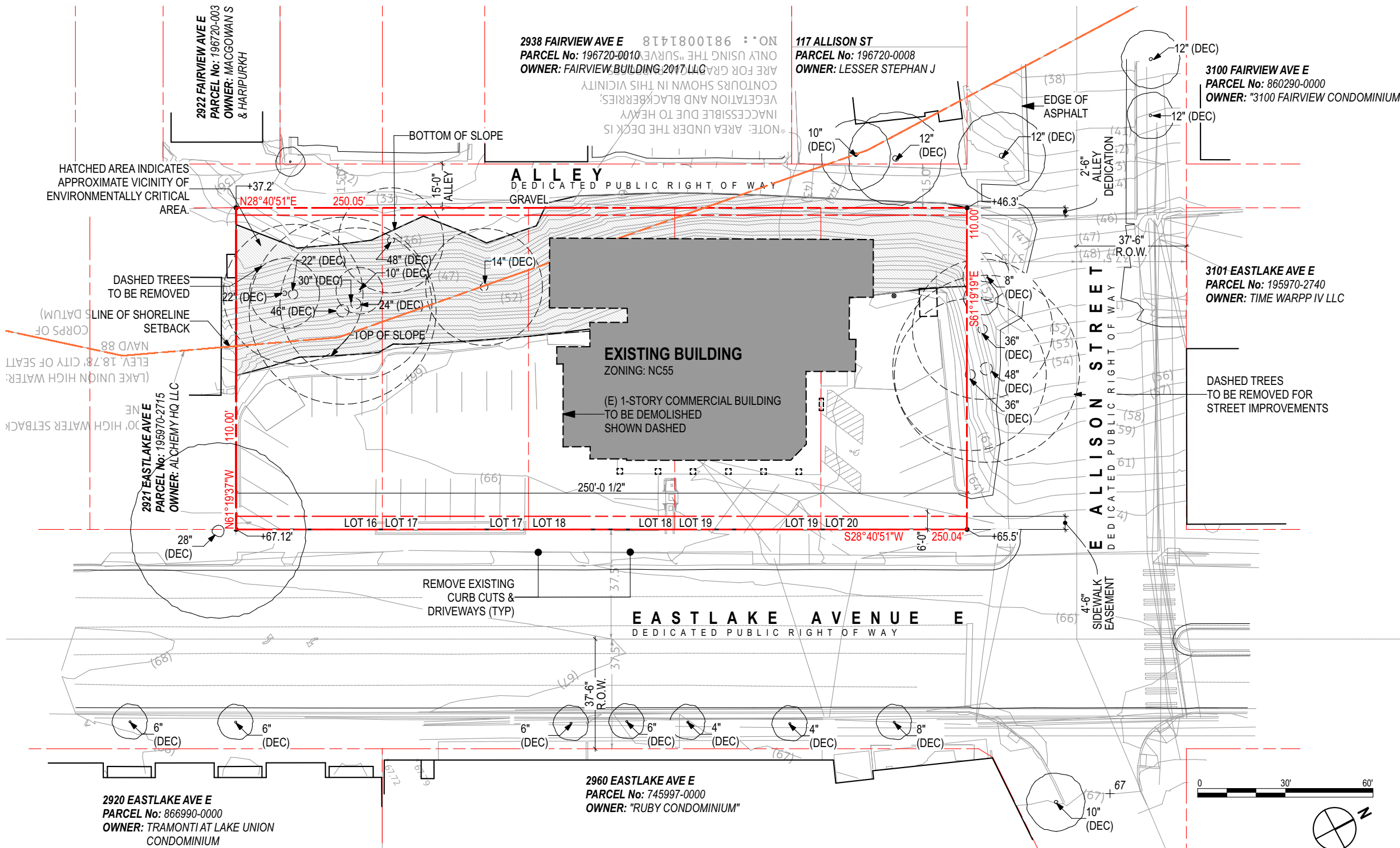
1959702735-02

LEGAL DESCRIPTION

Lots 16, 17, 18, 19 AND 20 IN BLOCK 35 OF DENNY
FUHRMAN ADDITION TO THE CITY OF SEATTLE,
ACCORDING TO THE PLAT RECORDED IN VOLUME
7 OF PLATS AT PAGE 34, IN KING COUNTY,
WASHINGTON.

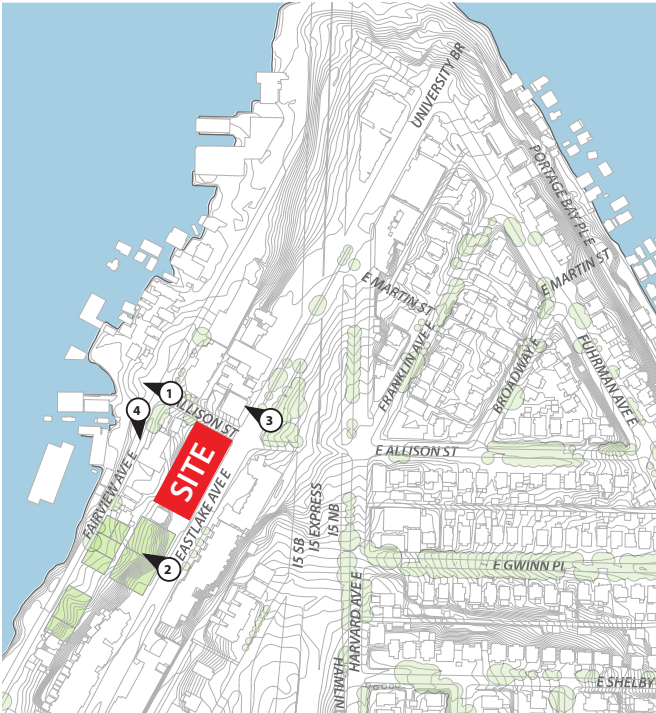
TREES

DASHED TREES TO BE REMOVED. REFER TO ARBORIST REPORT FOR TREE CONDITIONS.



URBAN DESIGN ANALYSIS: NEIGHBORHOOD CHARACTER

The character of the buildings immediately surrounding the project site depend on their proximity to Lake Union. To the west, a mixture of single family, lowrise commercial, and lowrise apartment buildings live within the shoreline setback. In contrast, a strong urban edge is held on both sides of Eastlake Avenue East, broken up only by Fairview Park to the south of the site. The project has an opportunity to be welcoming as one transitions from the bustling public life of Eastlake Avenue East to the quiet near the water. It will be especially important to activate the east, north, and west sides of the project with building, open space, and landscape to aid in this transition.



① **COLLEGE CLUB SEATTLE**
11 East Allison Street



② **FAIRVIEW PARK**
2900 Fairview Avenue East



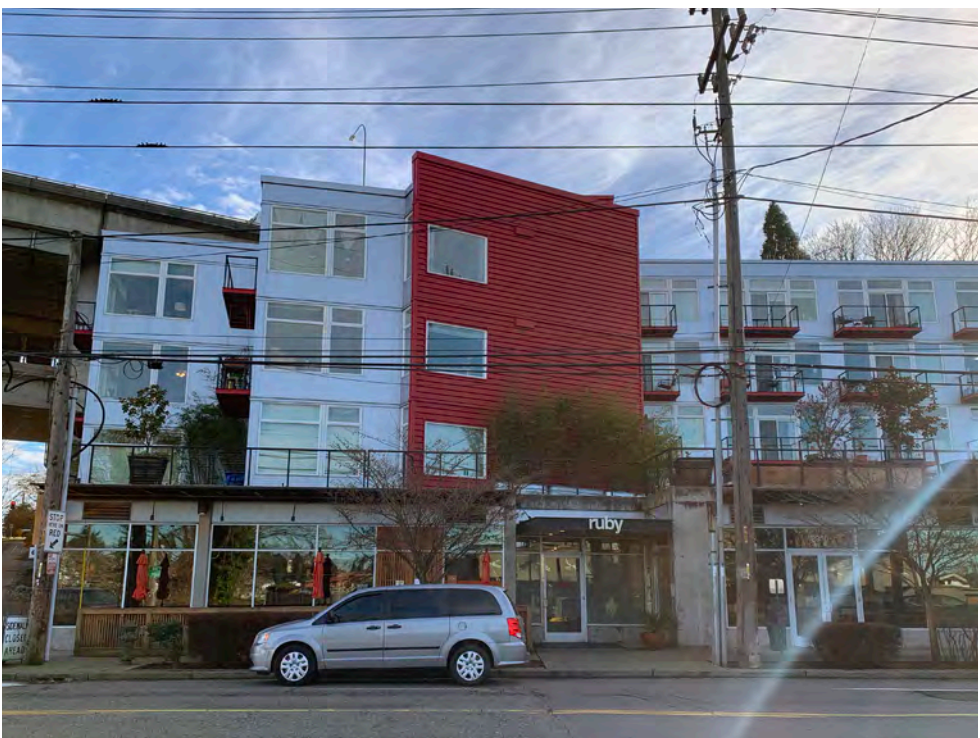
③ **E-CLIPS HAIR STUDIO, EASTLAKE MASSAGE**
3101, 3105 Eastlake Avenue East



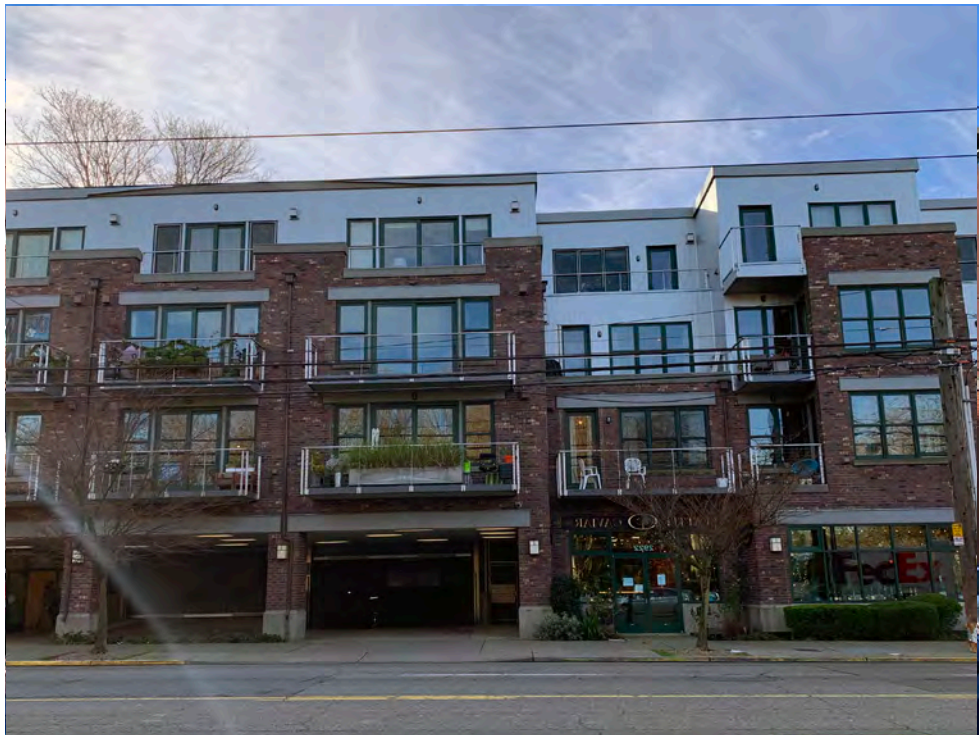
④ **NW APARTMENTS, METRO PROPERTY SERVICES LLC**
2940 Fairview Avenue



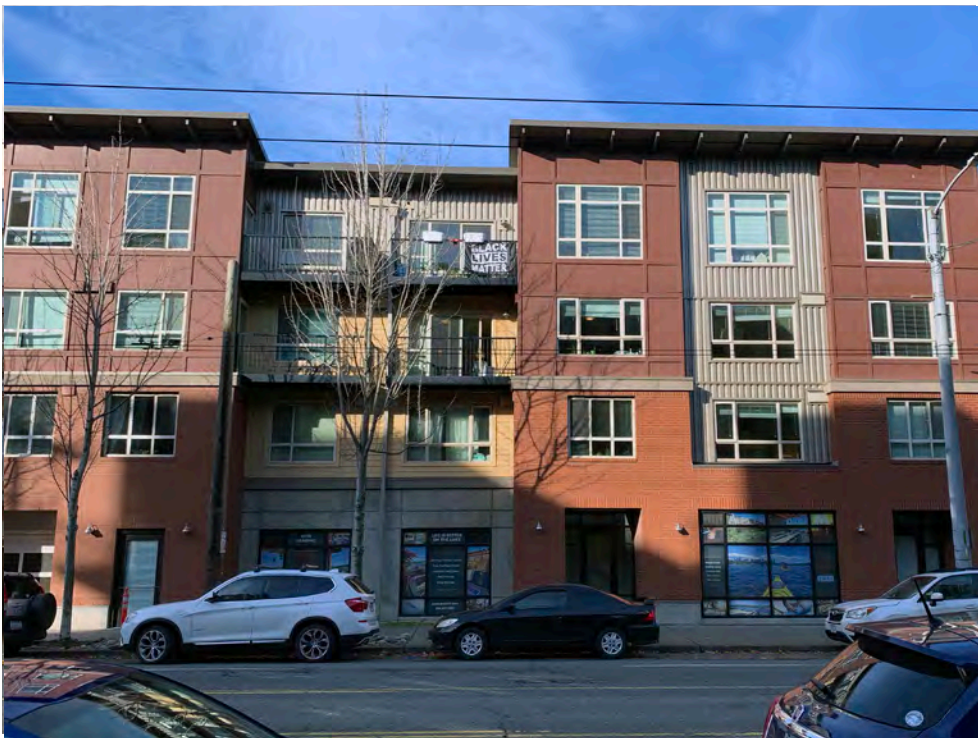
① SHIP CANAL BRIDGE



② RUBY, MAY SALON, SUSHI KAPPO TAMURO
2960,2958, 2938 Eastlake Avenue East

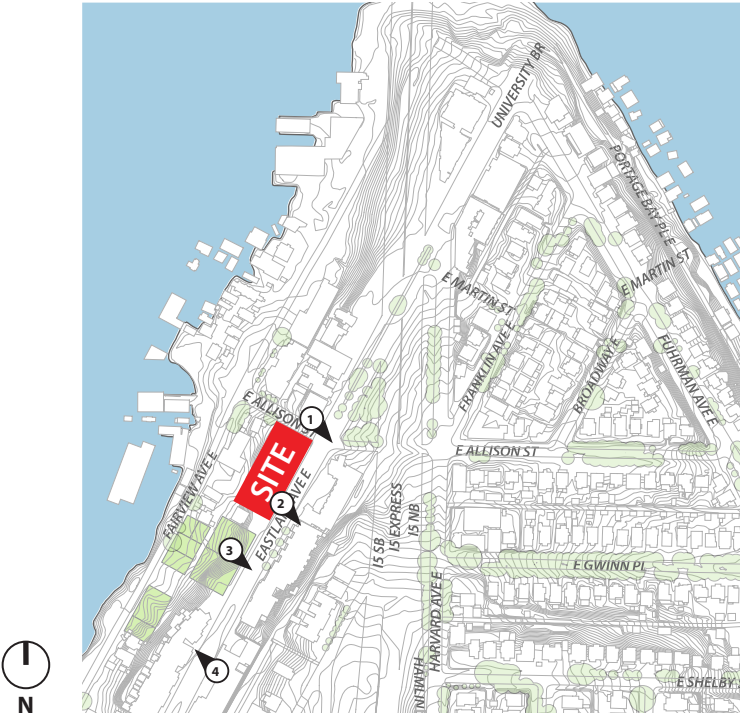


③ TRAMONTI CONDOS, EASTLAKE PERFORMANCE, SEATTLE CAVIAR, GREY CITY
2926, 2922, 2920 Eastlake Avenue East



④ EASTLAKE 2851 APARTMENTS
2851 Eastlake Avenue East

Along Eastlake Avenue East, 4-story mixed-use apartment projects consistently form a strong urban edge on both sides of the street, interrupted only by Fairview Park. The immediate proximity and overwhelming scale of the I-5 Ship Canal Bridge approach is a formidable presence along this portion of Eastlake Avenue East, effectively separating this area from the lower density neighborhood to the east. The jarring scale differential between the bridge approach and the low rise development along the water to the west is somewhat mitigated by the mid-rise development along the Eastlake corridor.

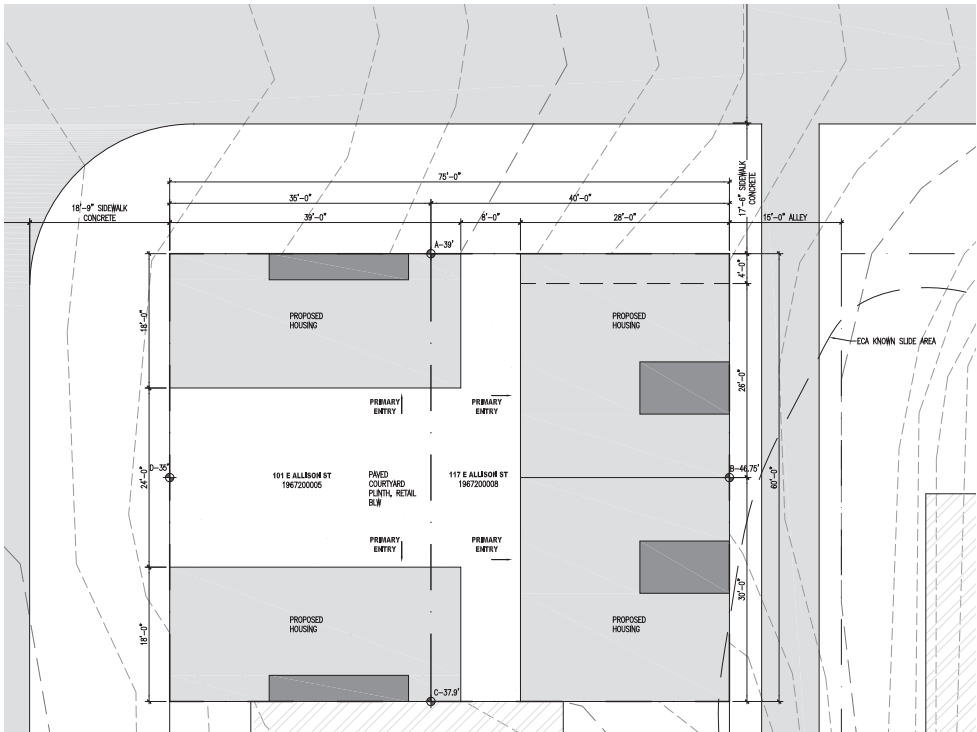


URBAN DESIGN ANALYSIS: PROPOSED NEIGHBORING BUILDINGS

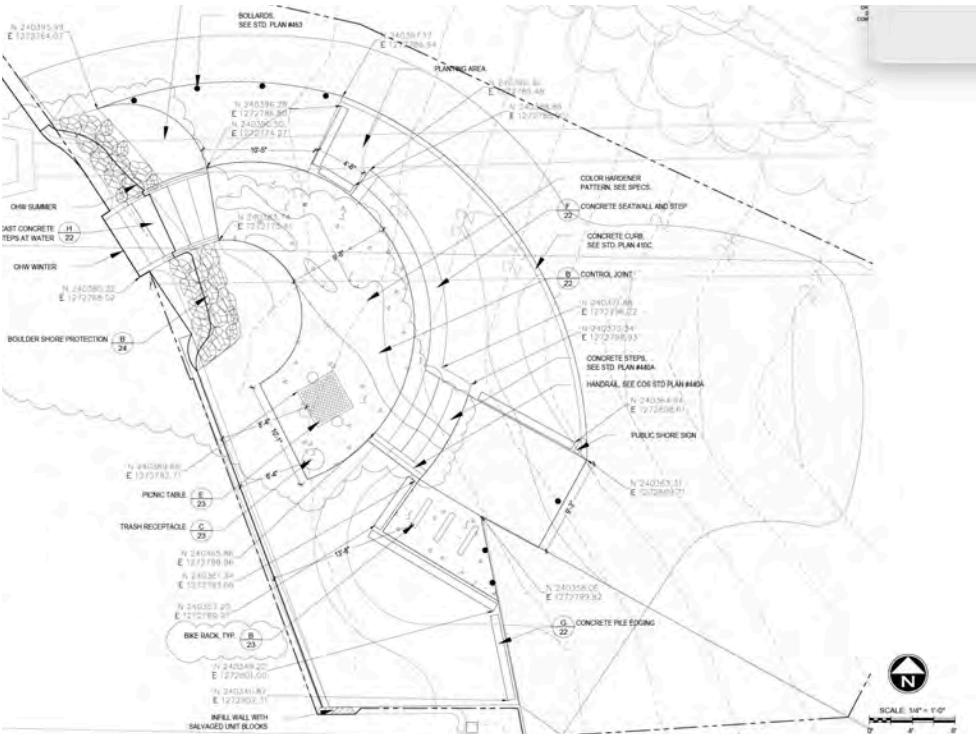
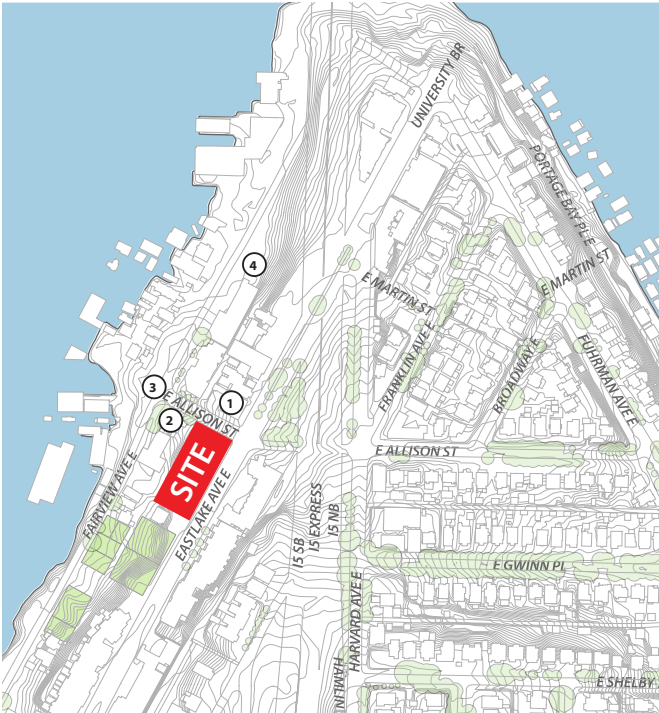
Newer development in the area is happening in close proximity to the site. **1.** A 7-story building with 104 residential units and retail is proposed across the street to the north of East Allison Street, while **2.** a new mixed-use project with retail at the ground floor and multifamily housing above is proposed across the alley to the west. **3.** A Shoreline Substantial Development Application to allow open space at the end of East Allison Street is also being proposed, which will include landscaping, seating, and improved access to Lake Union.



1 3101 EASTLAKE AVENUE EAST



2 117 EAST ALLISON STREET



3 100 R EAST ALLISON STREET



4 7150 FAIRVIEW AVENUE EAST

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CONTEXT ANALYSIS: EXISTING ZONING

LEGEND

NC3P-55/ NC3-55

NC2P-65/ NC2-55/65

C2-40

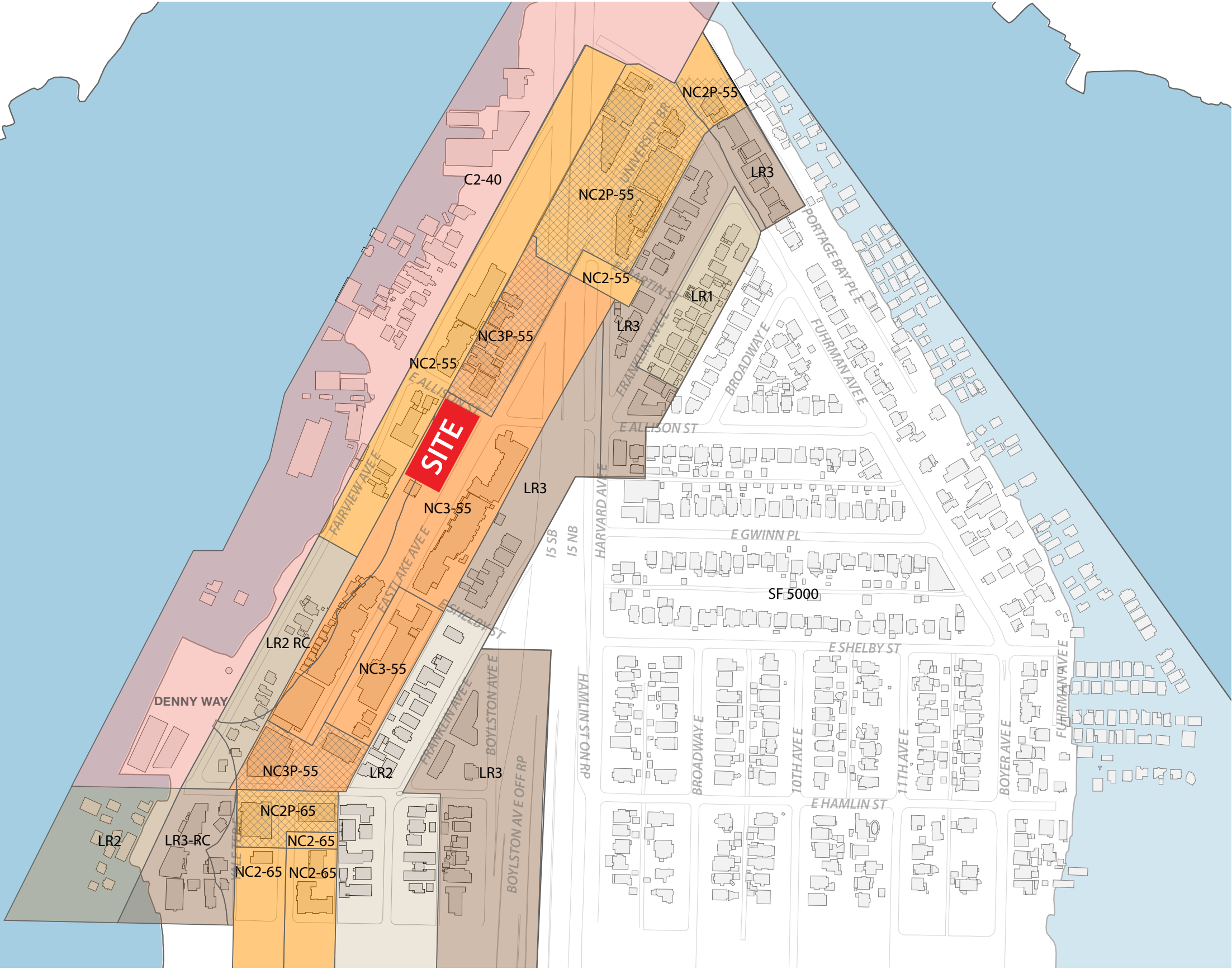
LR3-RC/ LR3

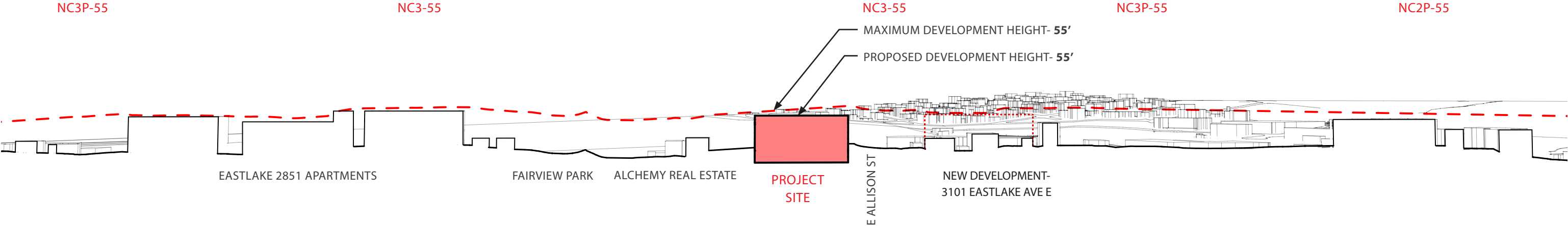
LR2-RC/ LR2

LR1

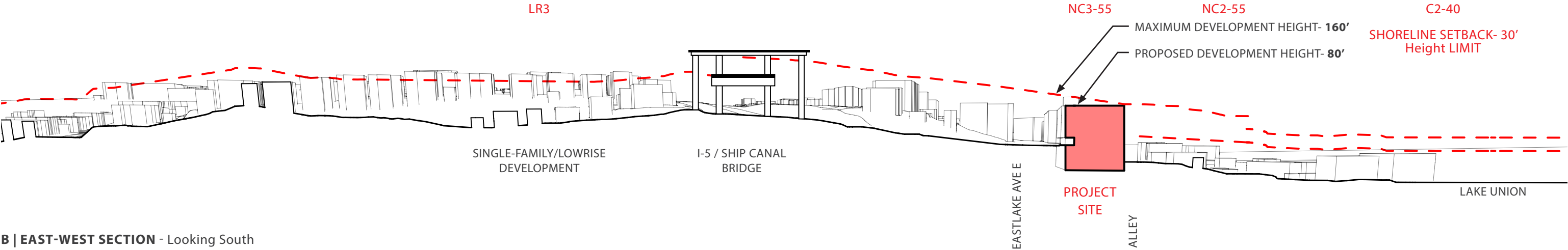
SF 5000

Zone Boundaries

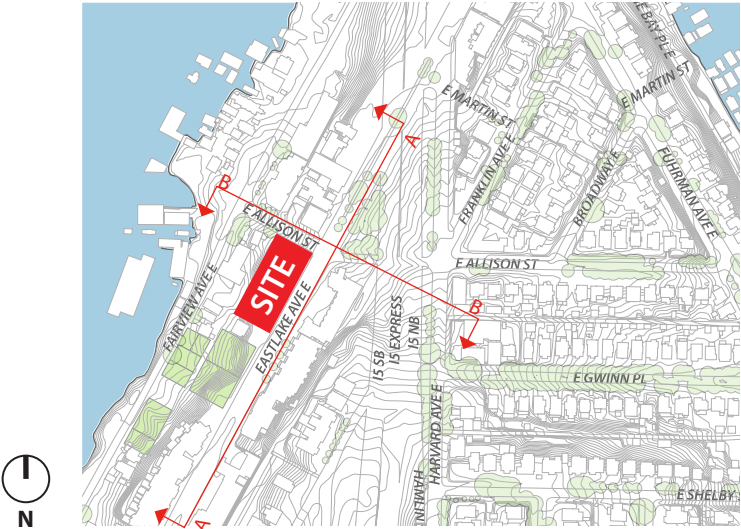




A | NORTH-SOUTH SECTION - Looking East



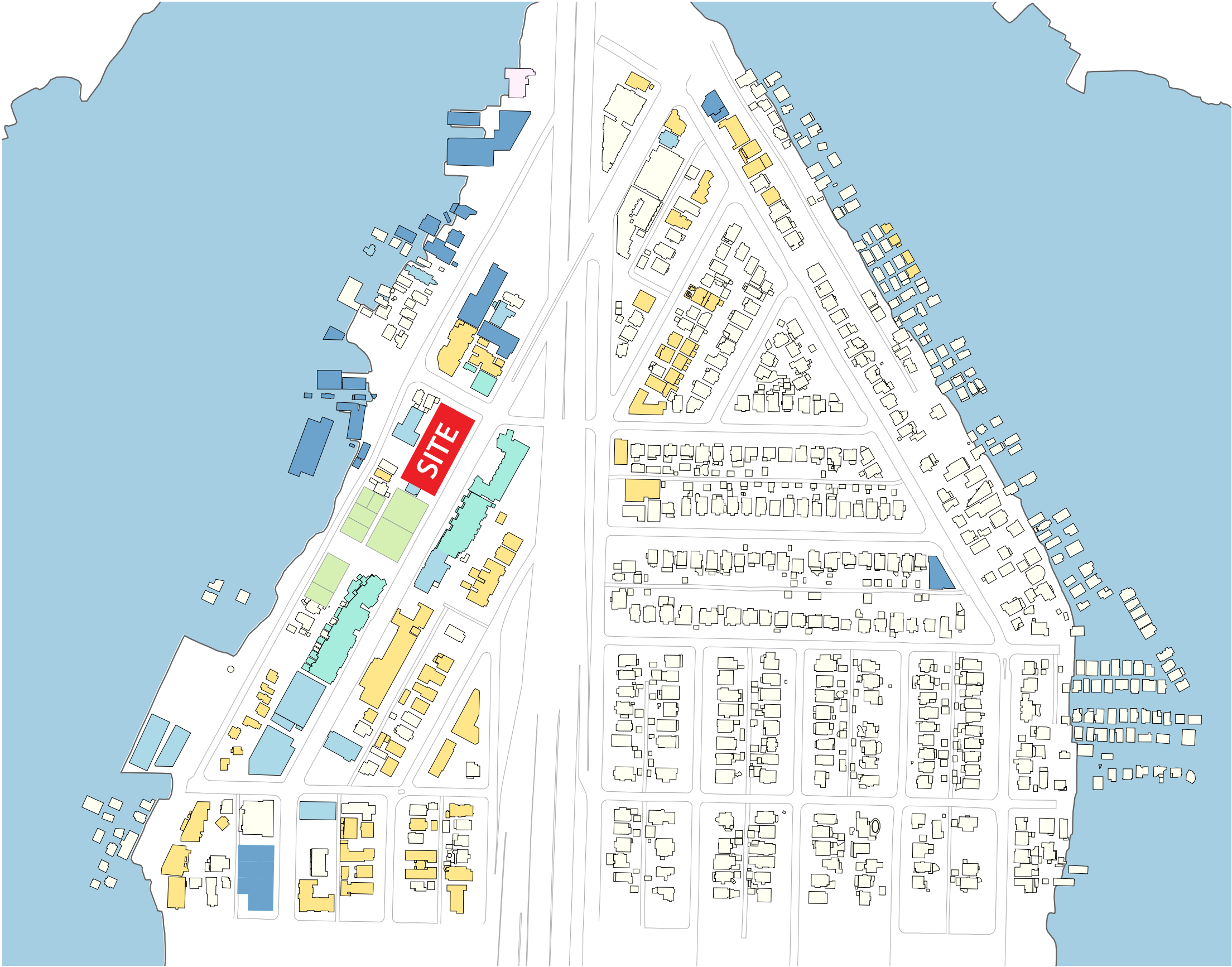
B | EAST-WEST SECTION - Looking South

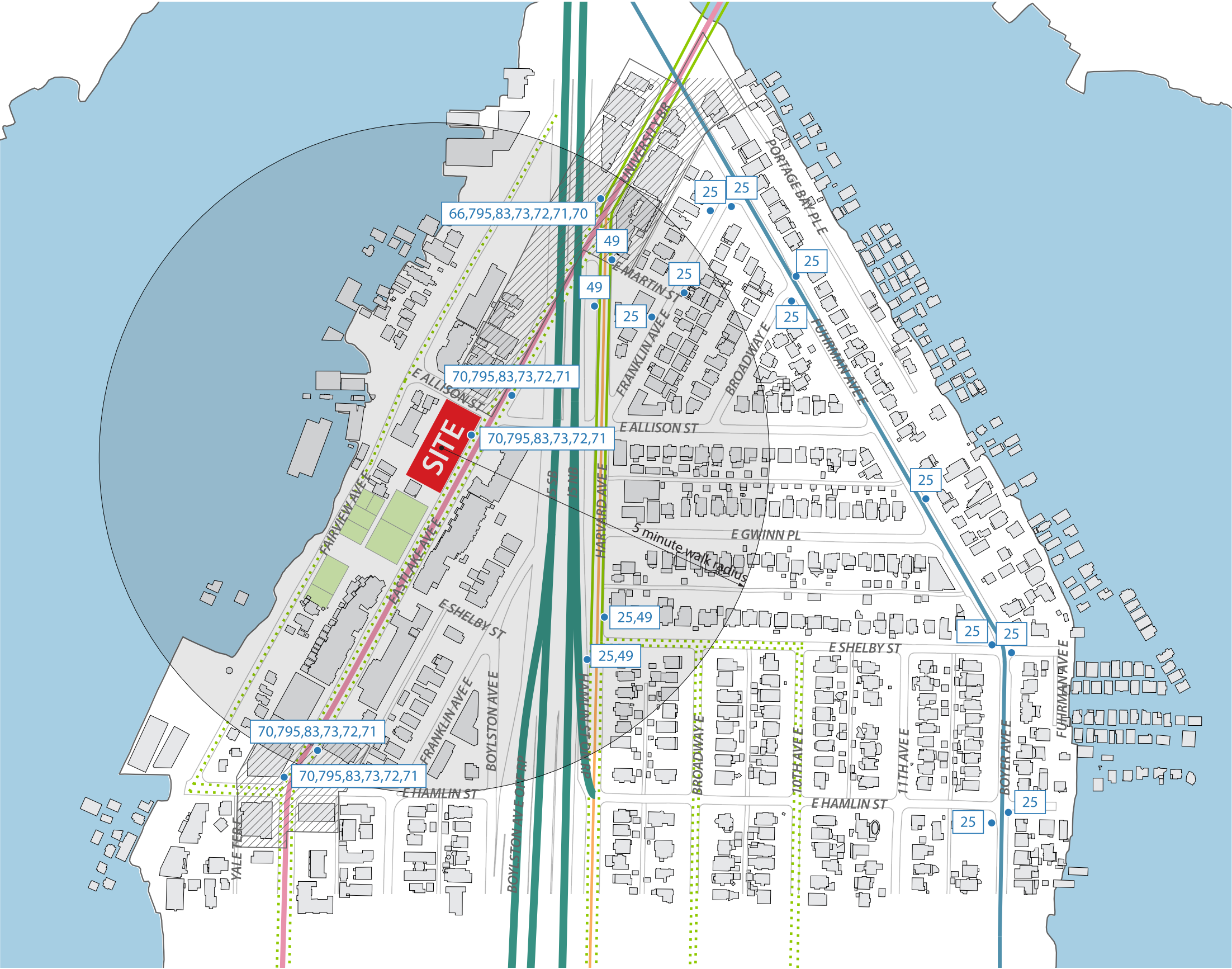


CONTEXT ANALYSIS: CURRENT USE

LEGEND

- Single Family
- Multi Family
- Mixed-Use
- Office
- Retail
- School/Institutional
- Religious
- Utility
- Parks/Open Space
- Site





LEGEND

Aurora Ave N	
99 Tunnel	
Green Street	
Principal Arterial	
Minor Arterial	
South Lake Union Streetcar	
Bus Routes	
Bus Numbers	
Bicycle Dedicated Lanes	
Bicycle Friendly Roads	
5 Minute Pedestrian Walkshed (approx.)	

CONTEXT ANALYSIS: EASTLAKE AVENUE EAST



A | NORTH-SOUTH SECTION
- Looking West

Performance Rehab
2819 Eastlake Avenue East

Academy Mortgage, Gallagher Insurance
2825 Eastlake Avenue East

Eastlake 2851 Apartments
2851 Eastlake Avenue East

Little Water Catina
2865 Eastlake Avenue East

Fairview Park



B | NORTH-SOUTH SECTION
- Looking East

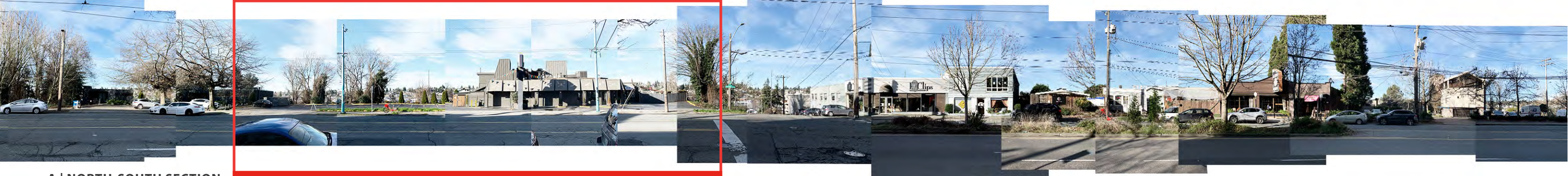
OPPOSITE OF **PROJECT SITE**
Ruby- 2958 Eastlake Avenue East

Tramonti Condos
2920 Eastlake Avenue East

PROTEC17, Village Reach
2900 Eastlake Avenue East



Alchemy Real Estate
2921 Eastlake Avenue East



A | NORTH-SOUTH SECTION
- Looking West - Continued

PROJECT SITE
2947 EASTLAKE AVENUE EAST

E Clips Hair, Eastlake NE Massage, Patchwerks LLLP, Psychic Reader
New Development- 3101 Eastlake Avenue East

Lake Union Cafe, LUC Custom Florals
3119 Eastlake Avenue Est

Studio DIAA
3125 Eastlake Avenue East



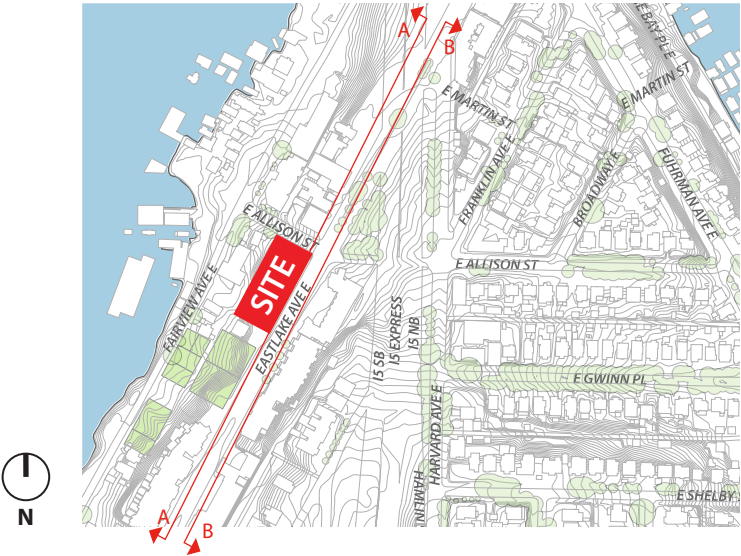
B | NORTH-SOUTH SECTION
- Looking East - Continued

2852 Eastlake Avenue East

Coronado Apartments
2840 Eastlake Avenue East

Eastlake Flats
2820 Eastlake Avenue East

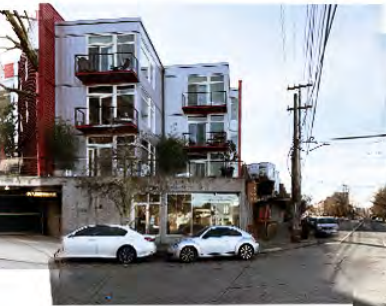
Metro Property Services LLC, Custom Mechanical Solutions
2810 Eastlake Avenue East



CONTEXT ANALYSIS: EAST ALLISON STREET



Ship Canal Bridge



Sushi Kappo Tamusa
2968 Eastlake Avenue East



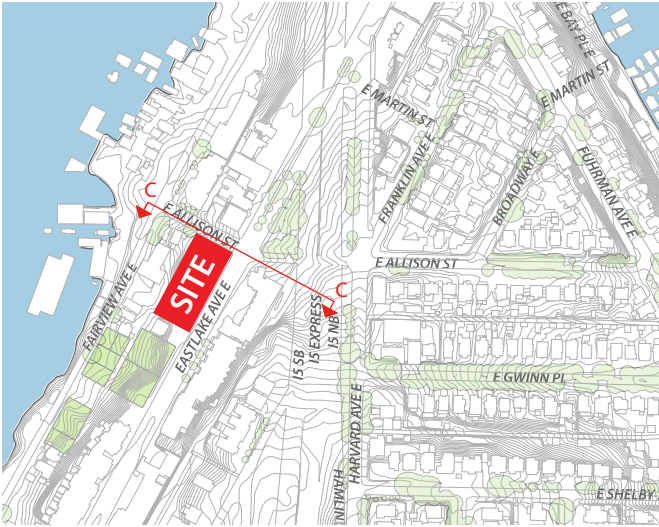
PROJECT SITE
2947 EASTLAKE AVENUE EAST



New Development
117 East Allison Street

College Club Seattle
11 East Allison Street

C | EAST-WEST SECTION - Looking South



ZONING DATA

SEATTLE LAND USE CODE SUMMARY

Parcel Nos	195970-2735	
Lot Area	27,505-sf (±0.6314-acres)	
Zoning	NC3-55 (M)	
Overlay	Urban Commercial Shoreline Area (partial), Eastlake Urban Village	
Permitted Uses	Residential uses, live-work units, drinking establishments and restaurants	Will comply
Street Level Uses	Residential and commercial uses both permitted at street level	Will comply
Street Level Standards	Basic street-level requirements: <ul style="list-style-type: none">- Blank segments on the street-facing façade between 2 and 8 feet above the sidewalk may not exceed 20 foot in width- The total of all blank façade segments may not exceed 40 percent of the width of the façade of the structure along the street- Street-level, street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks or other approved landscaped or open spaces are provided Non-residential street-level requirements: <ul style="list-style-type: none">- Sixty percent of the street-facing façade between 2 and 8 feet above the sidewalk shall be transparent.- Non-residential uses greater than 600 sf shall extend an average depth of at least 30 feet and a minimum depth of 15 feet- Non-residential uses at street level shall have a floor-to-floor height of at least 13 feet Where residential uses are located along a street-level, street-facing façade: <ul style="list-style-type: none">- At least one of the facades containing a residential use shall have a visually prominent pedestrian entry When a live-work unit is located on a street-level, street-facing façade: <ul style="list-style-type: none">- The portion of each unit where business is conducted must be a minimum of 300sf and must be located between the street and residential portion- Each live-work unit must have a pedestrian entry on the street-facing façade and provide direct access to the non-residential portions of the unit	Will comply
Structure Height	Maximum structure height as zoned: 55-ft Rooftop features: <ul style="list-style-type: none">- Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets and firewalls permitted to exceed maximum height limit up to 4-ft- Solar collectors, stair penthouses, and mechanical equipment may extend 15-ft above maximum height limit provided roof coverage does not exceed 25%- Elevator penthouses may extend 16-ft above maximum height limit- Mechanical equipment and elevator penthouses to be screened	Will comply
FAR	Floor Area Ratio: <ul style="list-style-type: none">- Base FAR limit: 3.75 Gross Floor Area not counted towards FAR: <ul style="list-style-type: none">- All underground stories or portions of stories- Portions of a story less than 4-ft above existing or finished grade, whichever is lower	Maximum FAR limit: 103,143-sf
Setbacks	4.5 sidewalk easement, 2.5’ Alley Dedication, Shoreline Setback. Setback requirements do not limit underground structures.	Will comply
Landscaping And Screening	Green Factor of ≥0.30 required Street trees required with any development proposal Standards for landscaping and screening where required for certain uses to consist of fences, walls, or landscaped areas including bio-retention facilities	Will comply
Light and Glare	Exterior lighting to be shielded and directed away from adjacent uses	Will comply
Parking	No parking required for non-residential in urban villages within frequent transit service No parking required for residential in urban villages within frequent transit service Bicycle parking required for multi-family structures as follows: 1 space per DU long-term and 1 space per 20 DUs short-term. For residential uses, after first 50 parking spaces provided rate is reduced to 3/4 the ratio specified For eating and drinking establishments, 1 space per 5,000 sf long-term and 1 space per 1,000 sf short-term.	No parking required Will comply

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PRIORITY DESIGN GUIDELINES

SEATTLE DESIGN GUIDELINES

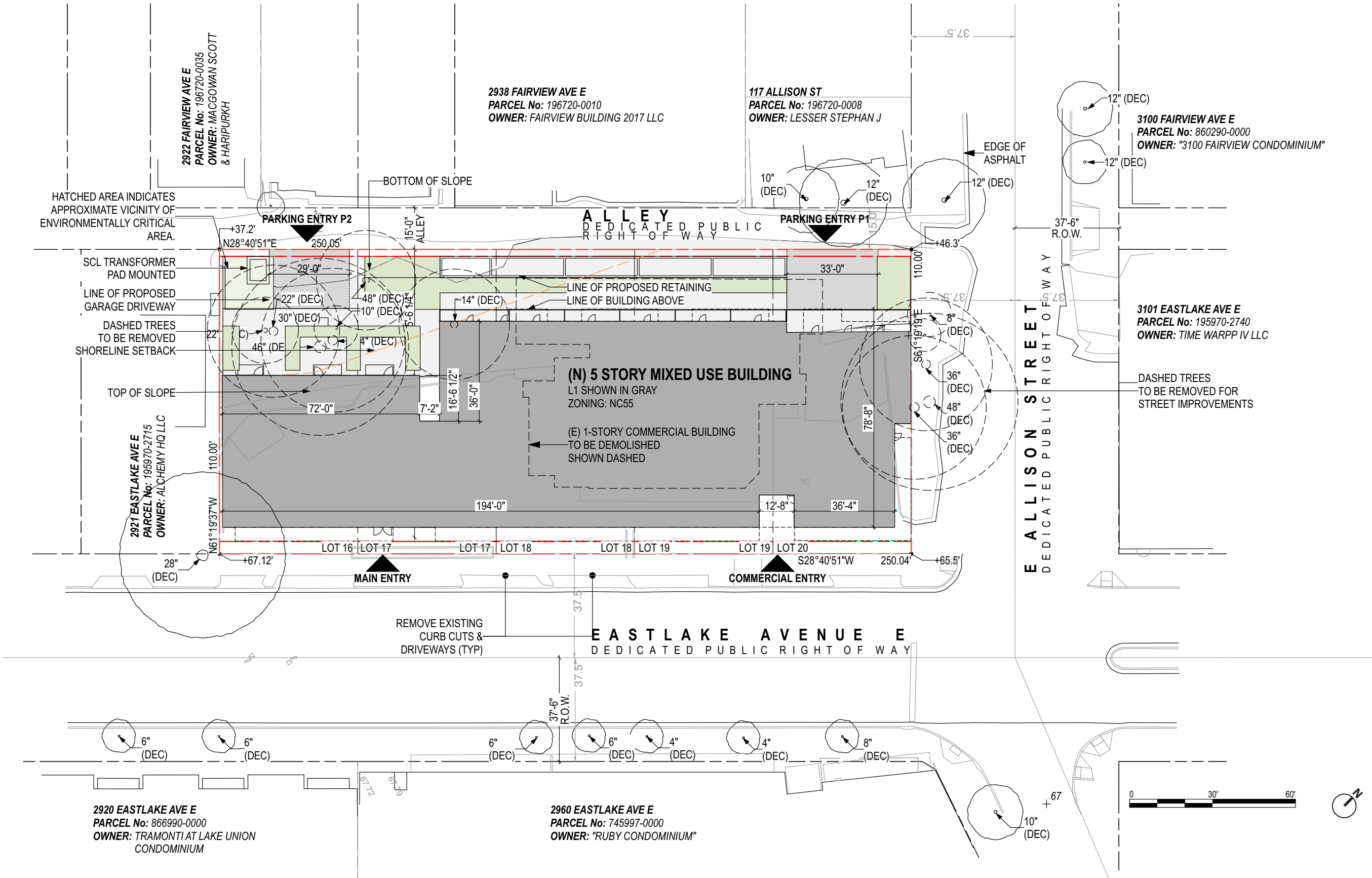
CS1 Natural Systems and Site Features Use natural systems and features of the site and its surroundings as a starting point for project design.	C.1. Topography, Land Form Use the natural topography and/or other desirable land forms or features to inform the project design. C.2. Topography, Elevation Changes Use the existing site topography when locating structures and open spaces on the site. Consider “stepping up or down” hillsides to accommodate significant changes in elevation.
CS2 Urban Pattern and Form Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.	C.1. Relationship to the Block, Corner Sites Corner sites can serve as gateways or focal points; both require careful detailing at the first three floors due to their high visibility from two or more streets and long distances. Consider using a corner to provide extra space for pedestrians and a generous entry, or build out to the corner to provide a strong urban edge to the block. D.1. Height, Bulk, and Scale, Existing Development and Zoning Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition. Note that existing buildings may or may not reflect the density allowed by zoning or anticipated by applicable policies.
CS3 Architectural Context and Character Contribute to the architectural character of the neighborhood.	A.4. Emphasize Positive Neighborhood Attributes, Evolving Neighborhoods In neighborhoods where architectural character is evolving or otherwise in transition, explore ways for new development to establish a positive and desirable context for others to build upon in the future.
PL1 Connectivity Complement and contribute to the network of open spaces around the site and the connections among them.	B.1. Walkways and Connections, Pedestrian Infrastructure Connect on-site pedestrian walkways with existing public and private pedestrian infrastructure, thereby supporting pedestrian connections within and outside the project.
PL2 Walkability Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features .	B.1. Safety and Security, Eyes on the Street Create a safe environment by providing lines of sight and B.3. Safety and Security, Street-Level Transparency Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways. Choose semi-transparent rather than opaque screening.

RESPONSES

<p>Significant grading on the project site transforms a 5-story massing along Eastlake Avenue East to a 7/8 story-massing along the alley. Elevation changes are used to strategically locate structure and associated open space while amenity areas act as transition zones to reduce the appearance of bulk and scale.</p> <p>Along the west facade, at grade patios, stepped planters, landscape, and re-grading help alleviate the grade and scale change and activate the alley with a variety of uses.</p>
<p>In addition to the 4.5’ sidewalk easement that must be maintained from level 1 to level 5 along Eastlake Avenue East, an additional 5’ undercut is provided on level 1 for each massing option. This helps provide generous landscaped areas, recessed building entries, and outdoor seating opportunities for the restaurant, public, and building residents.</p> <p>The restaurant’s location is maintained through all three massing concepts, strategically placed on the corner of Eastlake Avenue East and East Allison Street as a way to highlight the north-east and north-west corners of the project. Like the Eastlake Bar and Grill, it will have a deck with views looking to the west, and will be a project focal point that activates the project with a commercial corner.</p> <p>The project has an opportunity to be welcoming as one transitions from the bustling public life of Eastlake Avenue East to the quiet near the water. It will be especially important to activate the east, north, and west sides of the project with building, open space, and landscape to aid in this transition.</p>
<p>The immediate vicinity around the project is undergoing a tremendous amount of change. Existing buildings and new development were examined along and near Eastlake Avenue East as context connectors for the massing concepts. The project has an opportunity to be welcoming as one transitions from the bustling public life of Eastlake Avenue East to the quiet near Lake Union.</p>
<p>Anticipated street improvements along Eastlake Avenue East and East Allison Street will provide generous new sidewalks and landscaping. A Shoreline Substantial Development Application to allow open space at the end of East Allison Street is also being proposed, which will include landscaping, seating, and improved access to Lake Union.</p>
<p>The distribution of commercial and residential programs and associated access activate the building in a balanced, lively way. Significant glazing is planned for level 1 facing east towards Eastlake Avenue East. On the west facade, units located on level P1 through level 5 face the alleyway and are activated privately by decks, at grade patios, and publicly by the restaurant deck on the north-west corner of the building. Working with challenging grade along East Allison Street, a gated entry will access level b1.</p>

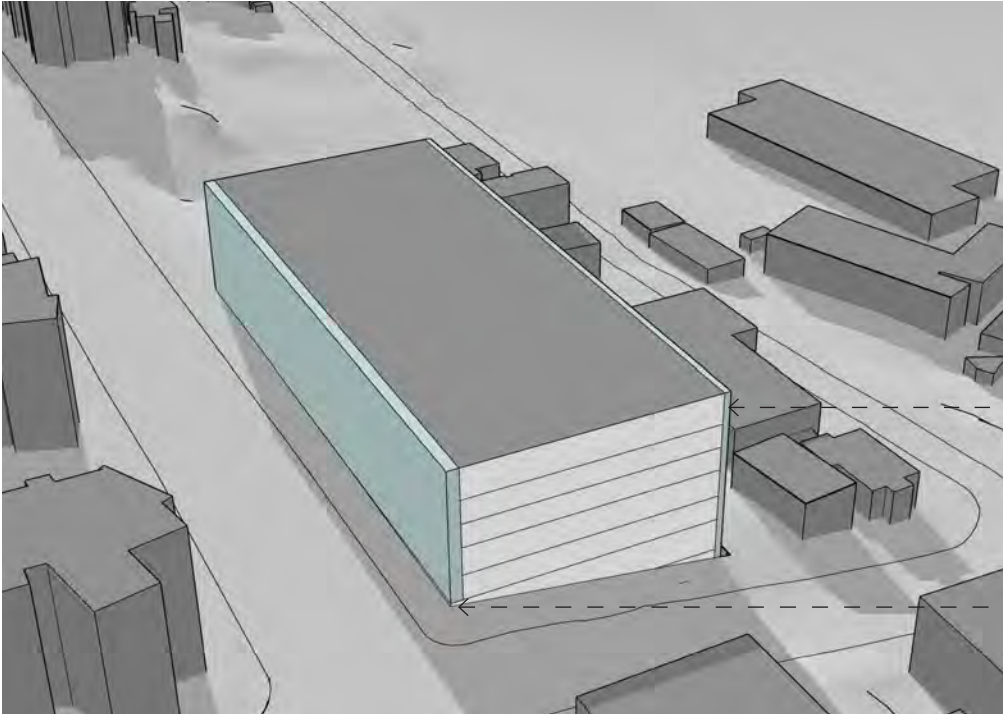
<p>DC1 Project Uses and Activities</p> <p>Optimize the arrangement of uses and activities on site.</p>	<p>A.4. Arrangement of Interior Uses, Views and Connections</p> <p>Locate interior uses and activities to take advantage of views and physical connections to exterior spaces and uses, particularly activities along sidewalks, parks or other public spaces.</p>	<p>Along Eastlake Avenue East, commercial and residential programming is explored in different configurations with the goal of strongly emphasizing the urban edge with activity. Along the alley, residential scale is broken down by private decks, landscaping, and at grade amenity to activate the west façade in a quieter manner, matching the adjacent residential uses. The distribution of commercial and residential access helps activate the building in a balanced, lively way.</p>
<p>DC2 Architectural Concept</p> <p>Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.</p>	<p>A.1. Massing, Site Characteristics and Uses</p> <p>Arrange the mass of the building taking into consideration the characteristics of the site and the proposed uses of the building and its open space. In addition, special situations such as very large sites, unusually shaped sites, or sites with varied topography may require particular attention to where and how building massing is arranged as they can accentuate mass and height.</p> <p>A.2. Massing, Reduce Perceived Mass</p> <p>Use secondary architectural elements to reduce the perceived mass of larger projects. Consider creating recesses or indentations in the building envelope; adding balconies, bay windows, porches, canopies or other elements; and/or highlighting building entries.</p> <p>B.1. Architectural and Facade Composition, Facade Composition</p> <p>Design all building facades-including alleys and visible roofs- considering the composition and architectural expression of the building as a whole. Ensure that all facades are attractive and well-proportioned through the placement and detailing of all elements, including bays, fenestrations, and materials, and any patterns created by their arrangement. On sites that abut an alley, design the alley facade and its connection to the street carefully. At a minimum, consider wrapping the treatment of the street-facing facade around the alley corner of the building.</p> <p>C.3. Secondary Architectural Features, Fit With Neighboring Buildings</p> <p>Use design elements to achieve a successful fit between a building and its neighbors, such as: a. considering aspects of neighboring buildings through architectural style, roof line, datum line detailing, fenestration, color or materials; b. using trees and landscaping to enhance the building design and fit with the surrounding context, and/or; c. creating a well-proportioned base, middle and top to the building in locations where this might be appropriate. Consider how surrounding buildings have addressed base, middle, and top, and whether those solutions-or similar ones- might be a good fit for the project and its context.</p>	<p>Combining the required setbacks, shoreline considerations, and the challenging topography, a base building envelope is formed as a jumping off point for massing alternatives for the project.</p> <p>Each option explores inset decks along the west facade. This not only maximizes water views to Lake Union, but also helps reduce the appearance of bulk and scale.</p> <p>The alley and associated facade is carefully explored as a transition zone between higher density commercial corridor to the east and the mid-rise development within the shoreline setback to the west. Taller building volumes are set back from the west property line, while 2-3 story volumes are emphasized in the massing. Buffering in the form of planters, landscaping, at grade patios, and decks are used to further aid in this transition.</p> <p>One of the project’s main focuses is to create connections to its neighbors through its programming and design, emphasizing existing and developing neighborhood character. With a neighborhood in transition, existing and new development was explored to inspire the massing concepts. Refer to pages 50 and 51.</p>
<p>DC3 Open Space Concept</p> <p>Integrate open space design with the design of the building so that each complements the other</p>	<p>A.1. Building-Open Space Relationship, Interior/Exterior Fit</p> <p>Develop an open space concept in conjunction with the architectural concept to ensure that interior and exterior spaces relate well to each other and support the functions of the development.</p>	<p>Elevation changes are used to strategically locate structure and associated open spaces. They also aid in massing transitions from the higher density development to the east and the lower density development to the west.</p>

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BASE BUILDING ENVELOPE

1. REQUIRED DEDICATIONS & EASEMENTS

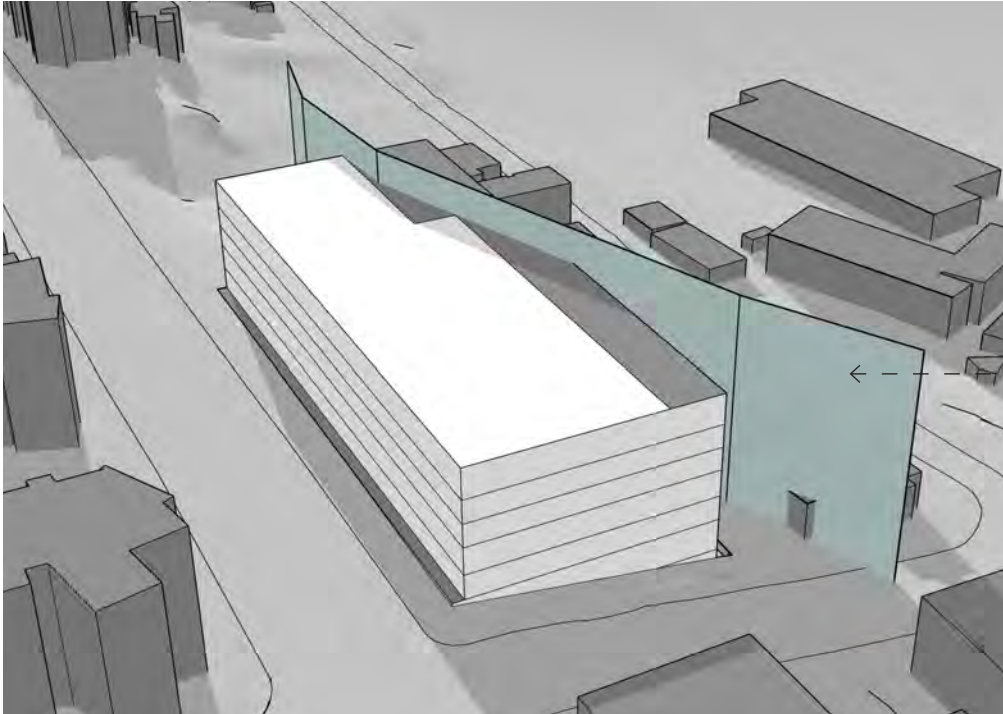


There are two required setbacks, a 4.5' Sidewalk Easement that affects Levels 1-5 along the east property line, and a 2.5' Alley Dedication along the west property line.

2.5' Alley Dedication

4.5' Sidewalk Easement

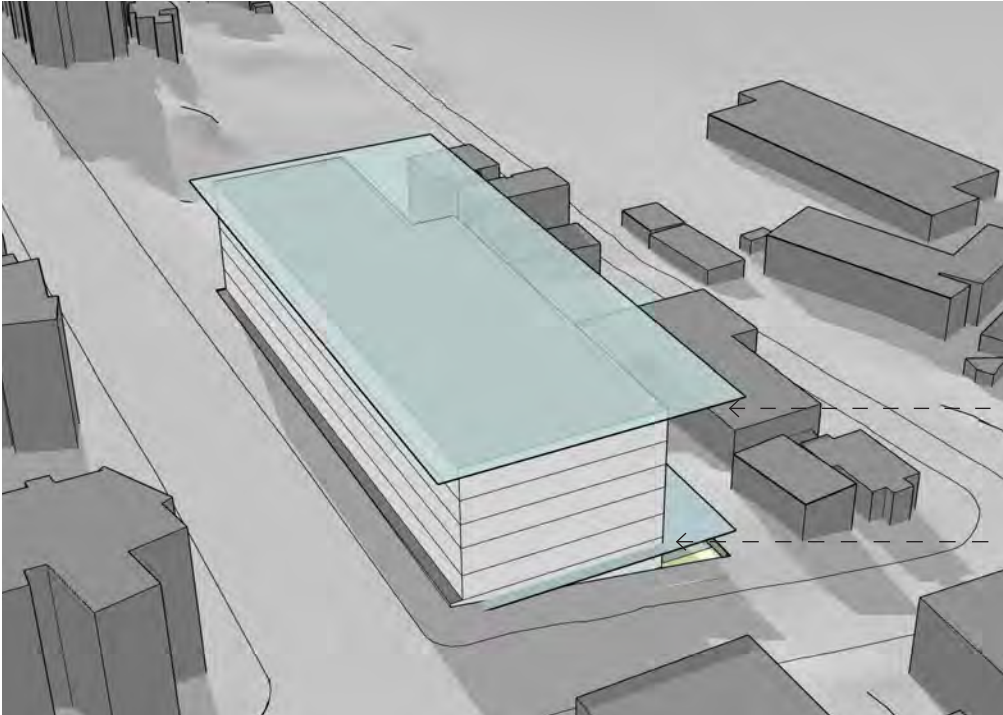
2. SHORELINE SETBACK



A shoreline setback overlaps the southwest corner of the property.

Shoreline Setback 30' Height Limit

3. AVERAGE GRADE PLANE

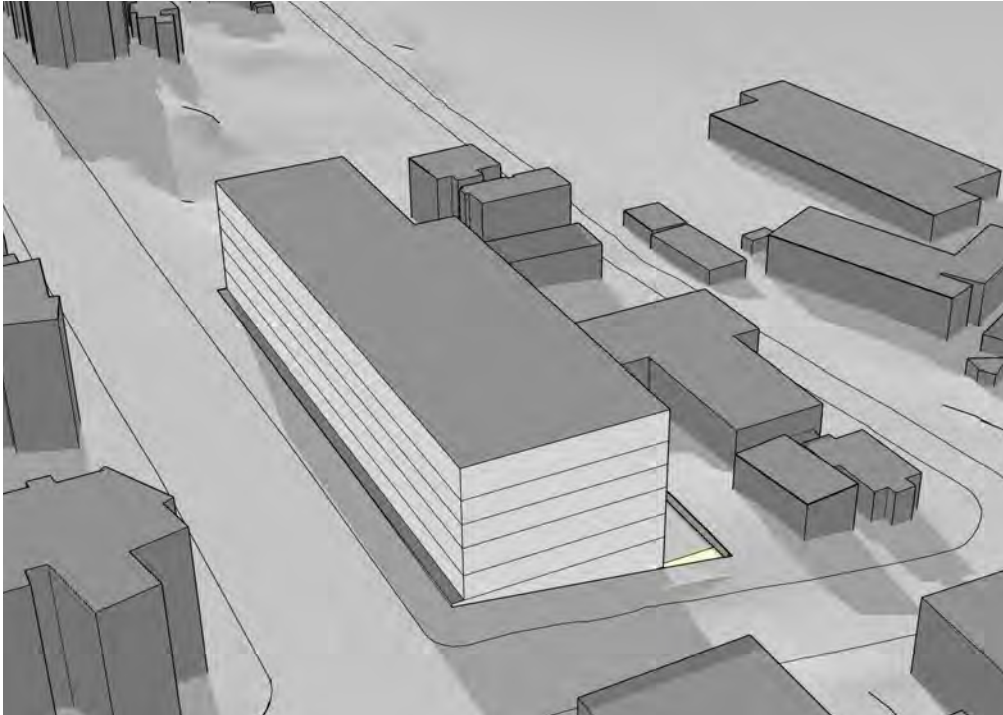


Because of significant elevation change on the property, the average grade plane must be carefully set in order to allow 5 levels along Eastlake Avenue East.

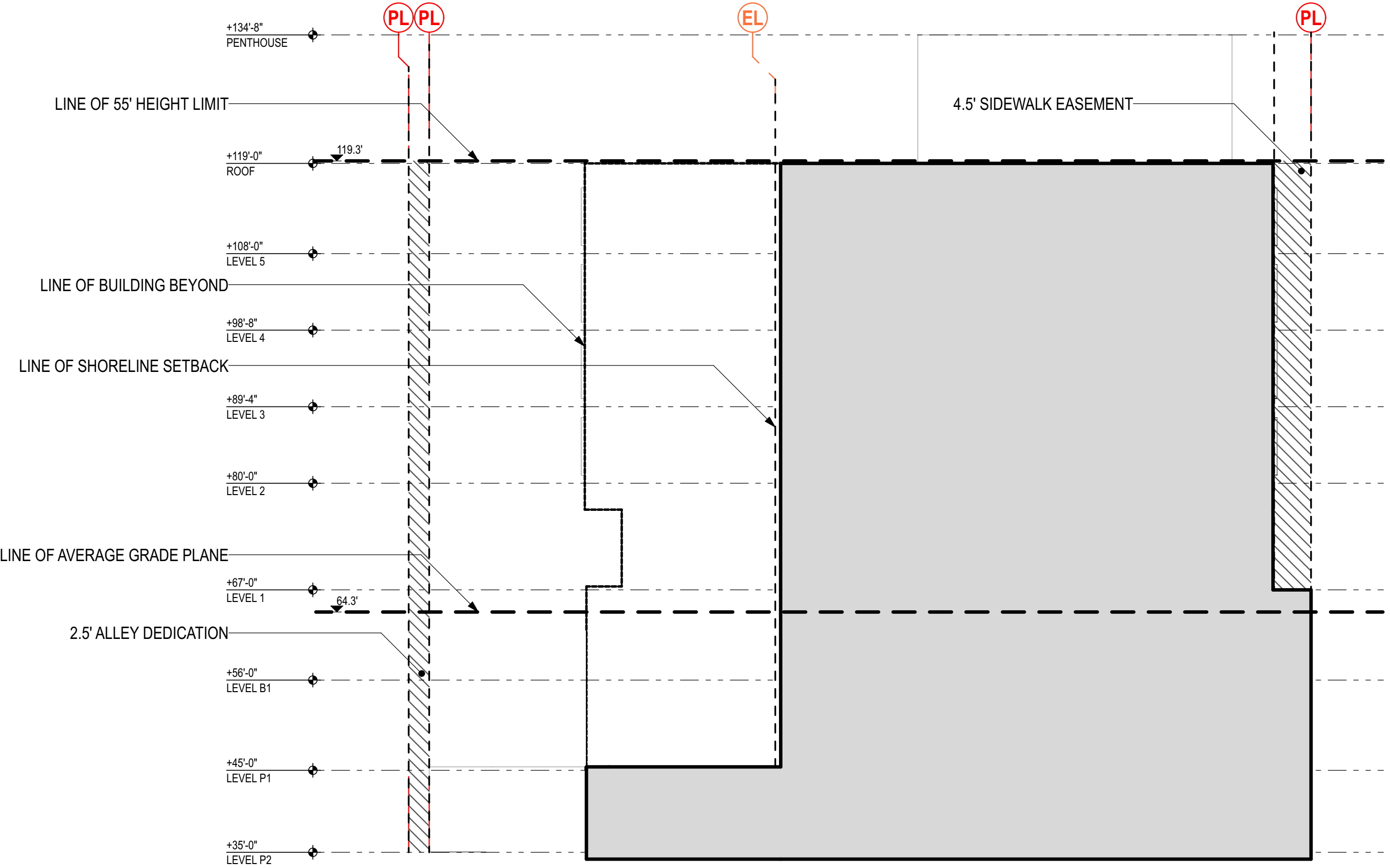
55' Height Limit

Average Grade Plane

4. BASE BUILDING ENVELOPE



Combining the required setbacks, shoreline considerations, and the challenging topography, a base building envelope is formed as a jumping off point for massing alternatives for the project.



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CONCEPT 1

Stories	Eastlake- 5 above-grade, 3 partial below-grade Alley- 7/8 above-grade
Floor Area	Total FAR Area: 103,123-sf Total GSF Area: 147,644 sf
Unit Count	135 apartments 4 live-works
Parking	88 parking stalls
Potential Departures	None
Advantages	<ul style="list-style-type: none">○ The unmodulated east facade maintains a strong urban edge and supports the commercial corridor along Eastlake Avenue East.○ Separating the main residential lobby entrance and restaurant entrance helps balance activity on level 1.
Disadvantages	<ul style="list-style-type: none">○ The west façade appears relentless and bulky even with the carving out of decks, and is not successfully transitioning in scale to the lower density development.○ The north and south facades are highly visible, but have little articulation in this scheme.



CONCEPT 2

Stories	Eastlake- 5 above-grade, 3 partial below-grade Alley- 7/8 above-grade
Floor Area	Total FAR Area: 103,125-sf Total GSF Area: 148,114-sf
Unit Count	136 apartments 5 live-works
Parking	76 parking stalls
Potential Departures	None
Advantages	<ul style="list-style-type: none">○ The east facade is more expressive with the implementation of bays.
Disadvantages	<ul style="list-style-type: none">○ While the east façade now has more modulation, it is disconnected with the massing moves implemented on west elevation.○ Ganging the restaurant and main residential lobby entrance leaves parts of the building streetscape unactivated.○ The west façade appears again as bulky. More refinement is needed to truly break down the scale of this facade and for it to be properly transitioning to the development to the west.



CONCEPT 3 (PREFERRED)

Stories	Eastlake- 5 above-grade, 3 partial below-grade Alley- 7/8 above-grade
Floor Area	Total FAR Area: 100,439-sf Total GSF Area: 144,830-sf
Unit Count	131 apartments 4 live-works
Parking	88 parking stalls
Potential Departures	None
Advantages	<ul style="list-style-type: none">○ Massing moves help diminish the appearance of bulk of the building on all facades while maintaining cohesiveness.○ Long facades are broken into identifiable yet cohesive pieces.○ The distribution of commercial and residential access helps activate the building in a balanced, lively way.○ The west facade now has a defined “top” and “base” that emphasizes 2-3 story massing along the west facade. This is further aided with refinement of decks, at grade patios, and landscaping.

8.0 ARCHITECTURAL MASSING CONCEPT 1

CONCEPT 1

Overall, each massing concept aims to:

- 1. **Massing:** Take advantage of unique site features and the corner lot condition as a gateway and transition point
- 2. **Public Life:** Focus on opportunities for the project to make strong connections to adjacent streetscapes and their character
- 3. **Open Space Concept:** Use elevation changes to strategically locate structure and associated open spaces

Massing- The primary massing moves for this concept explore the implications of the required project setbacks, the first being the 4.5’ sidewalk easement along Eastlake Avenue East which affects Levels 1-5 along the east facade, the second being the shoreline setback that creates the primary massing shift for the west facade along the alley. An undercut is introduced along the east facade, while more refined massing in the form of inset decks is starting to be explored along the west facade. This not only helps maximize water views to Lake Union, but also helps reduce the appearance of bulk and scale.

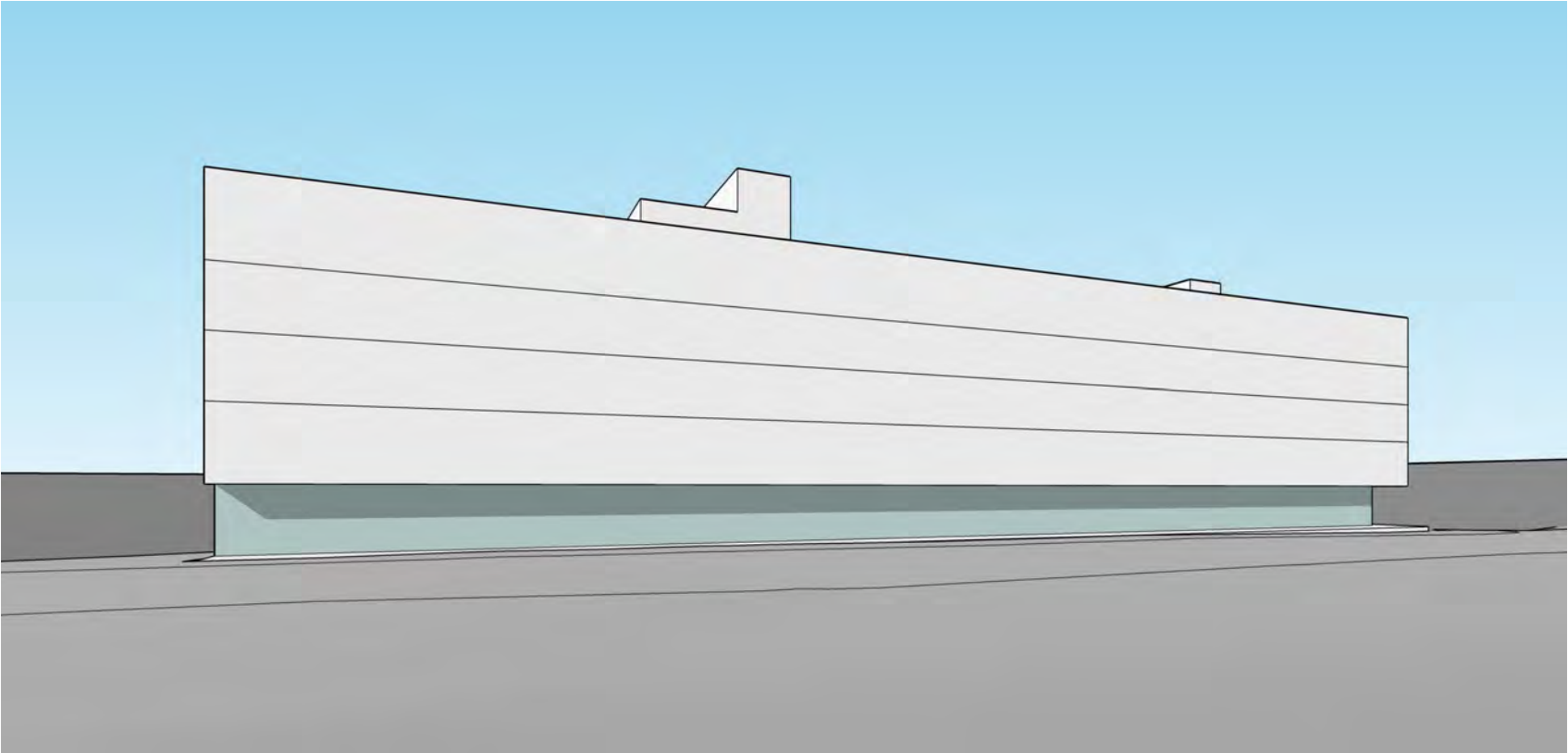
Public Life- The main residential lobby is located at the ground level, Level 1, on the southernmost corner

along Eastlake Avenue East. 4 live-work units with individual entries march north along the east façade, and finally the proposed restaurant is located on the northeast corner of the site, with its main entrance just slightly south of that corner. The restaurant’s location and size is maintained through all 3 massing concepts as it is strategically placed to maximize its views to the west, much like the Eastlake Bar & Grill before it. Working with the grade, a secondary residential entrance is located off of East Allison Street with direct access to Level B1.

Open Space Concept- Significant grade on site transforms a 5-story massing along Eastlake Avenue East to a 7/8-story massing along the alley. Retaining, parking access, and at grade amenity to west facing units help reduce the apparent height, bulk, and scale transition on this side of the building. Reference sheets 54 and 55 for more detail.

The primary downsides of this concept are:

- The unmodulated facade along Eastlake Avenue East maintains the urban edge but is otherwise unremarkable.
- The west façade appears, too, relentless and bulky even with the carving out of decks.
- The north and south facades are highly visible, but have little articulation in this scheme.



View from Eastlake Avenue East, looking east



Looking southwest



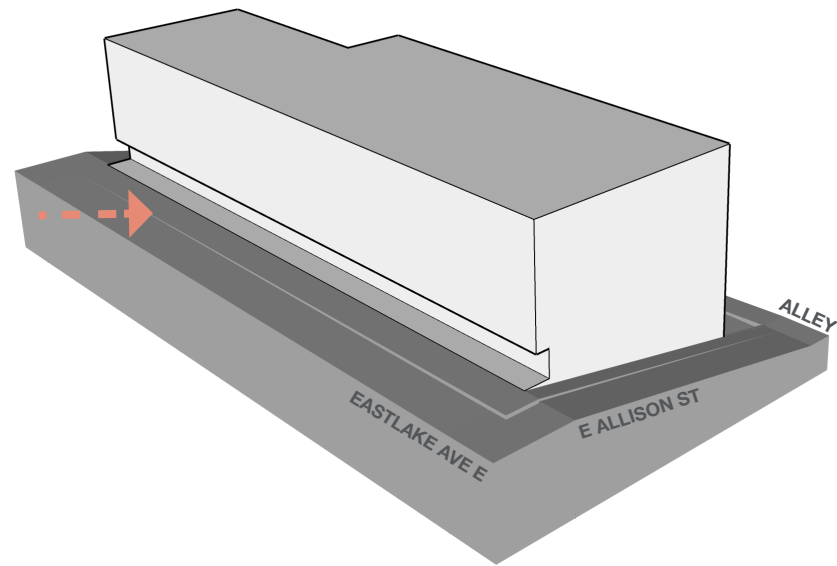
Looking northeast



Looking northwest

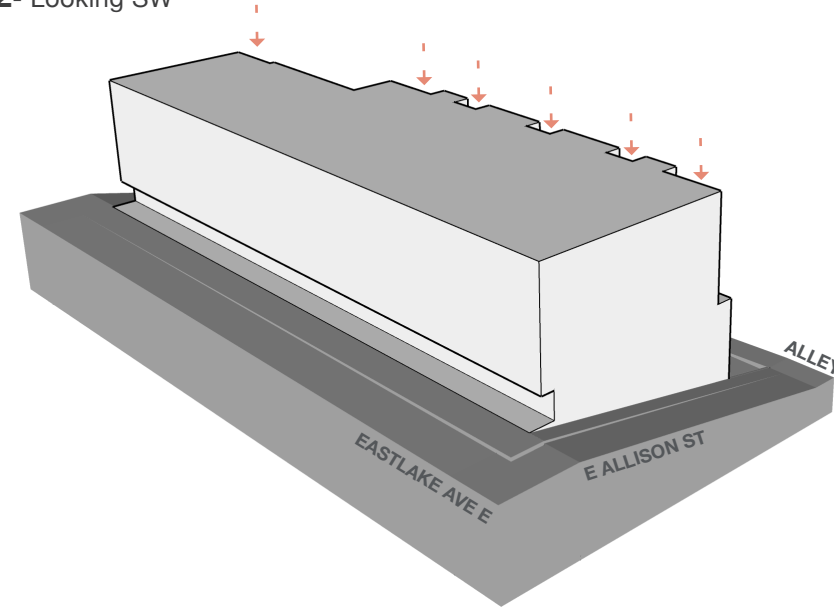
8.0 ARCHITECTURAL MASSING CONCEPT 1

STEP 1- Looking SW



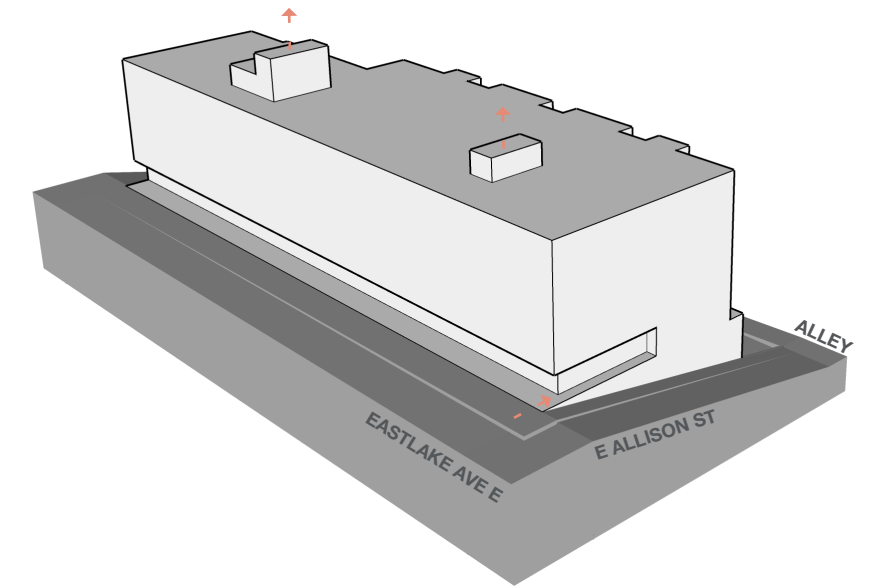
- ① The building has two required massing setbacks- the first off of the east facade along Eastlake Avenue East for right-of-way improvements at the ground level, the second due to the shoreline setback on the property which breaks up the west facade along the alley into 2 primary volumes.

STEP 2- Looking SW



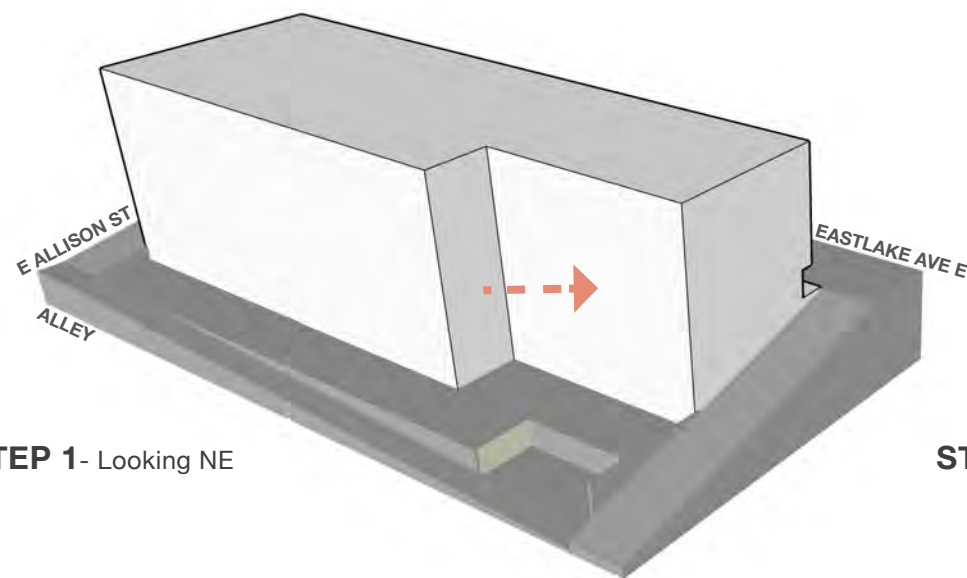
- ② The volume along the east facade is undisturbed in order to explore highlighting the urban edge along Eastlake Avenue East. The larger volume along the west facade is subdivided using inset decks to help reduce the bulk of the building and avoid the shoreline setback.

STEP 3- Looking SW

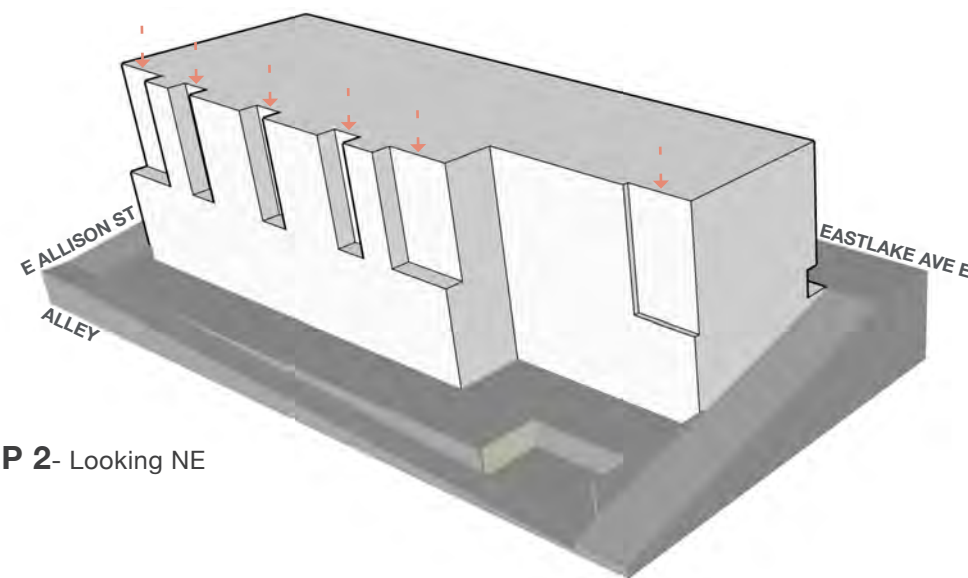


- ③ A gasket is added on the northeast and north west corner to further emphasize the restaurant program. Penthouses are extruded off of the primary circulation cores, which are set back from all the facades and are not disruptive of the volume.

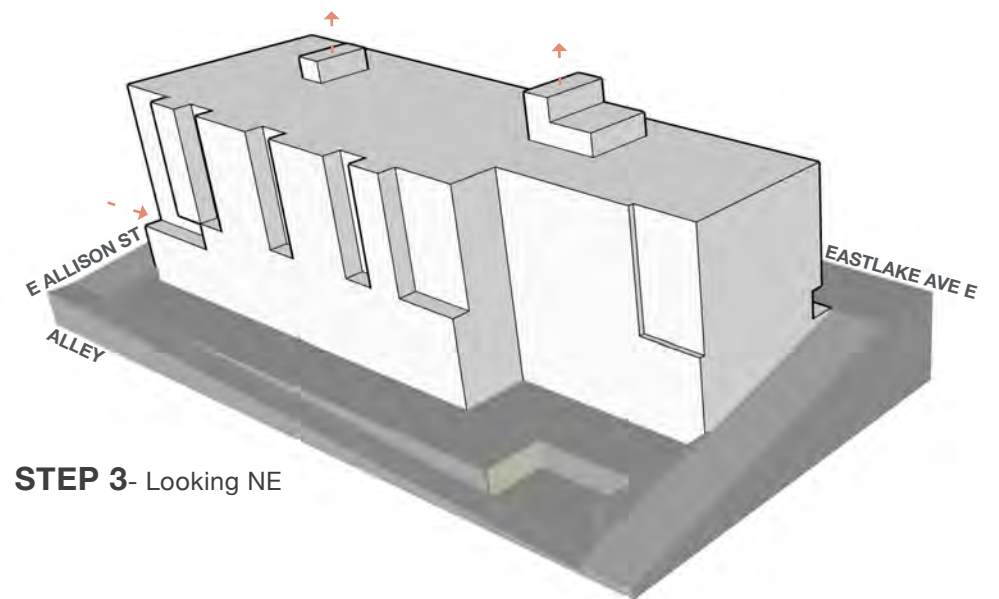
STEP 1- Looking NE



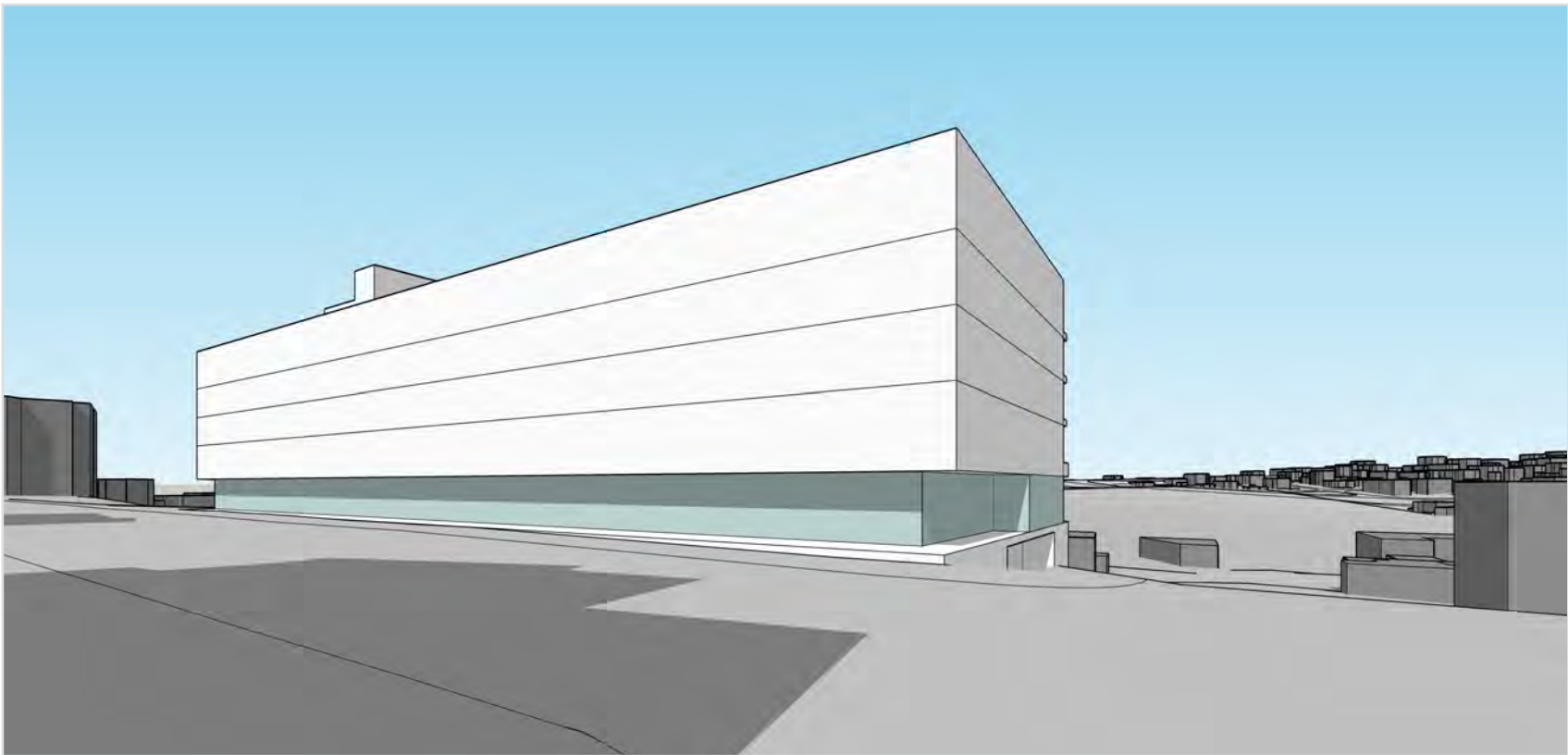
STEP 2- Looking NE



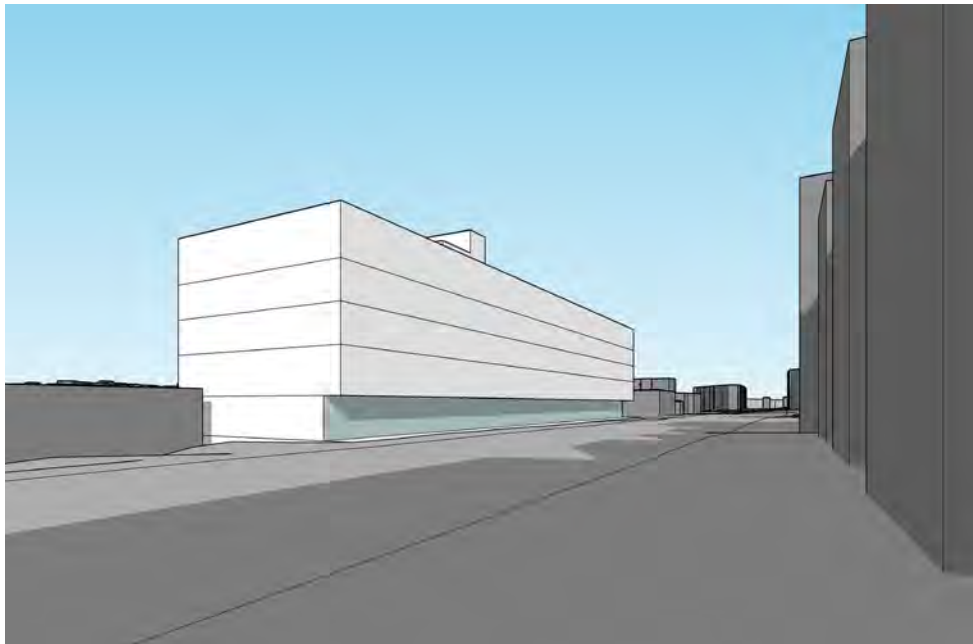
STEP 3- Looking NE



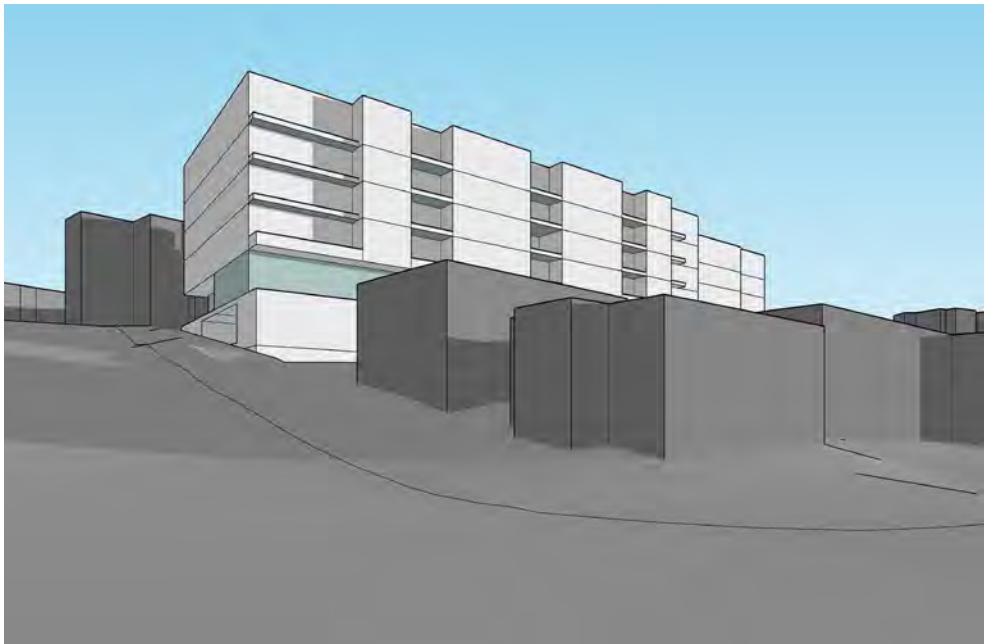
8.0 ARCHITECTURAL MASSING CONCEPT 1



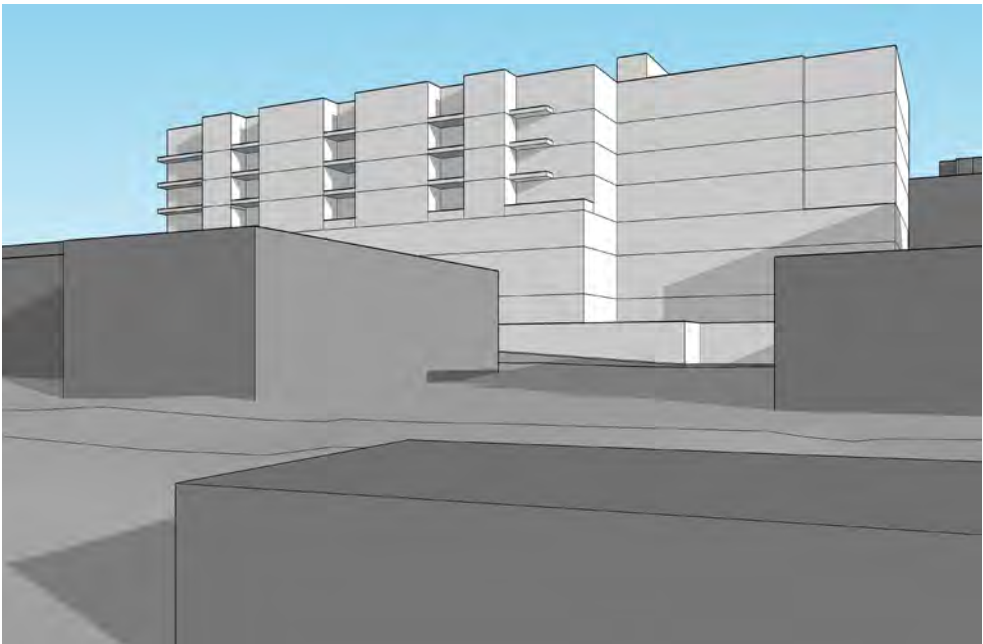
View from Eastlake Avenue East, looking southwest



View from Eastlake Avenue East, looking northwest



View from Fairview Avenue East, looking southeast

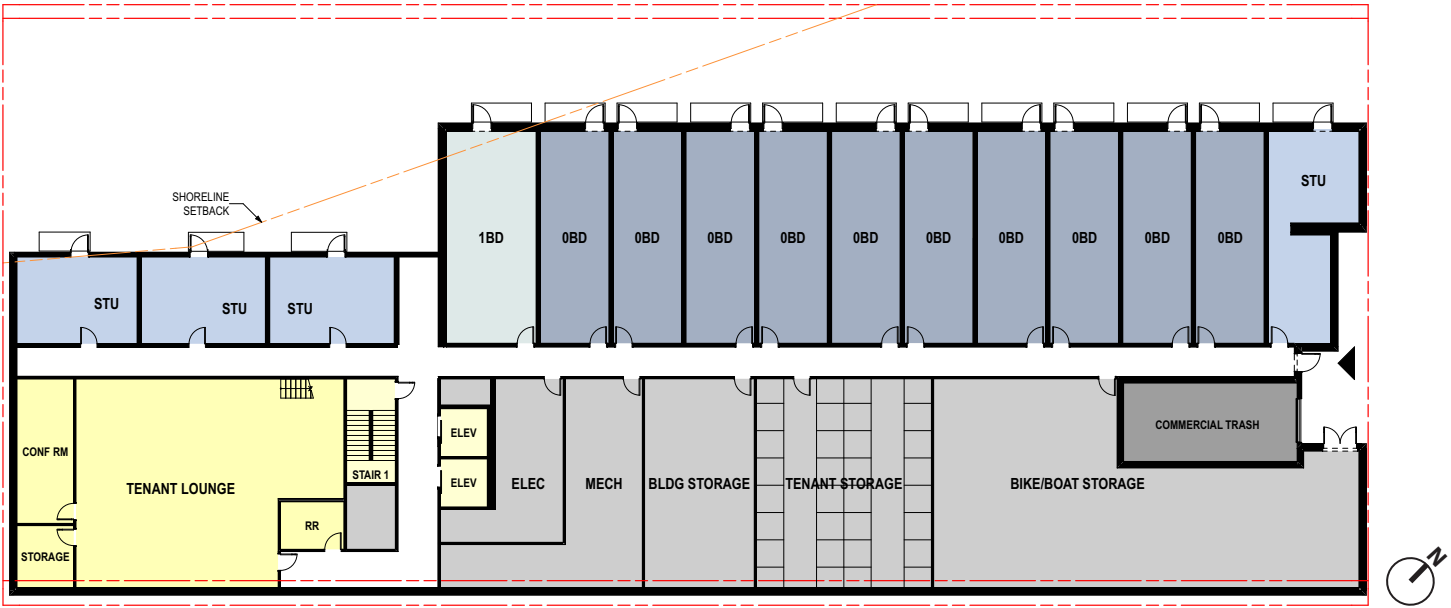


View from Fairview Avenue East, looking northeast

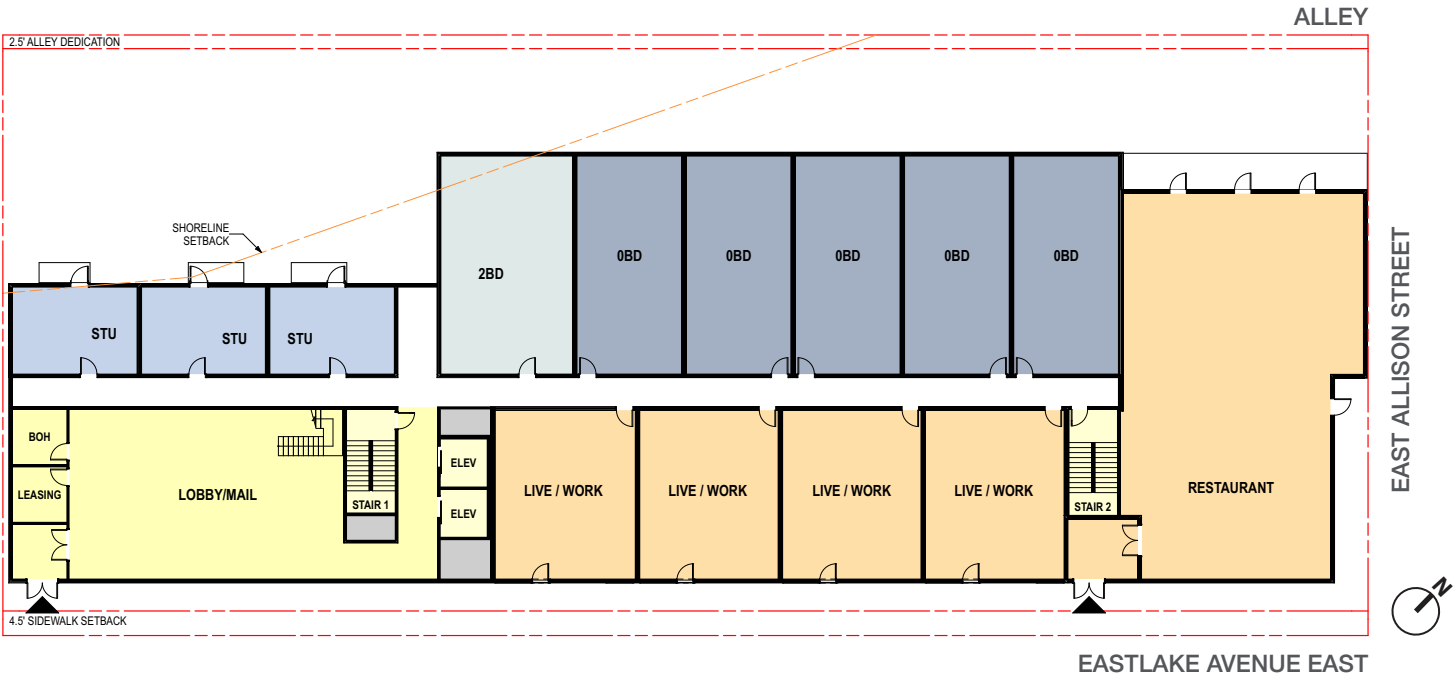
LEVEL P1 PLAN



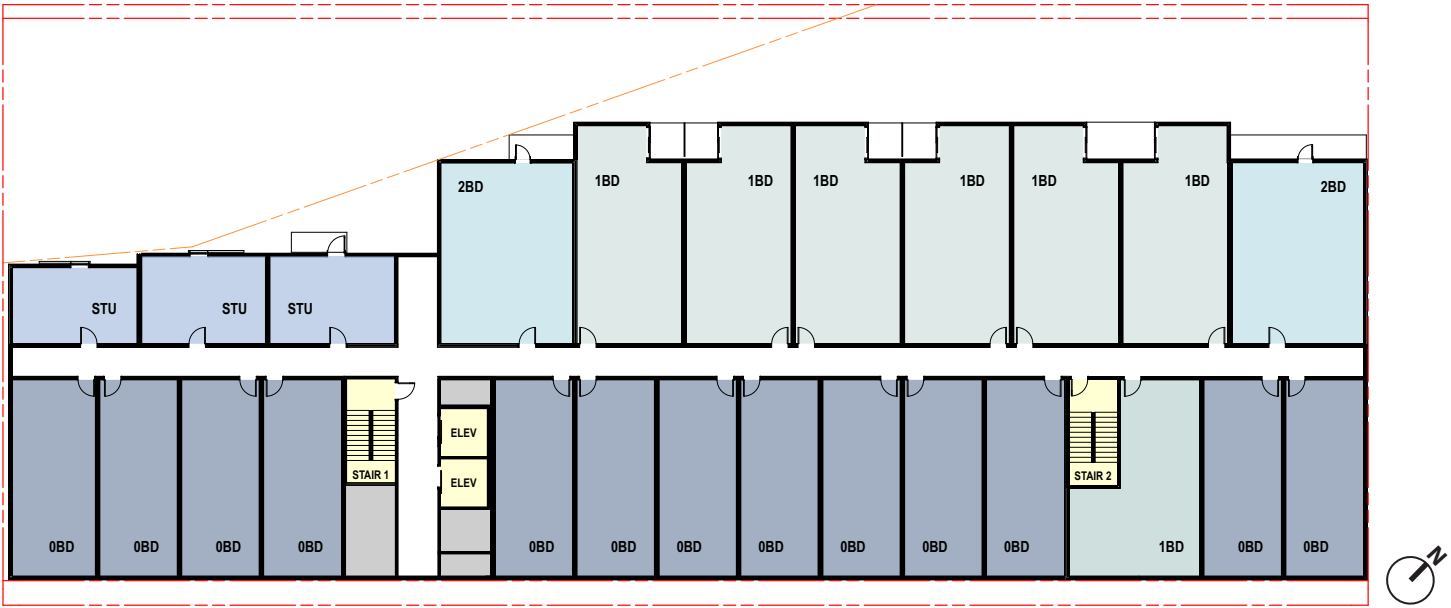
LEVEL B1 PLAN



LEVEL 1 PLAN



TYPICAL RESIDENTIAL PLAN (L2-L5)



8.0 ARCHITECTURAL MASSING CONCEPT 1



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8.0 ARCHITECTURAL MASSING CONCEPT 2

CONCEPT 2

Overall, each massing concept aims to:

- 1. **Massing:** Take advantage of unique site features and the corner lot condition as a gateway and transition point
- 2. **Public Life:** Focus on opportunities for the project to make strong connections to adjacent streetscapes and their character
- 3. **Open Space Concept:** Use elevation changes to strategically locate structure and associated open spaces

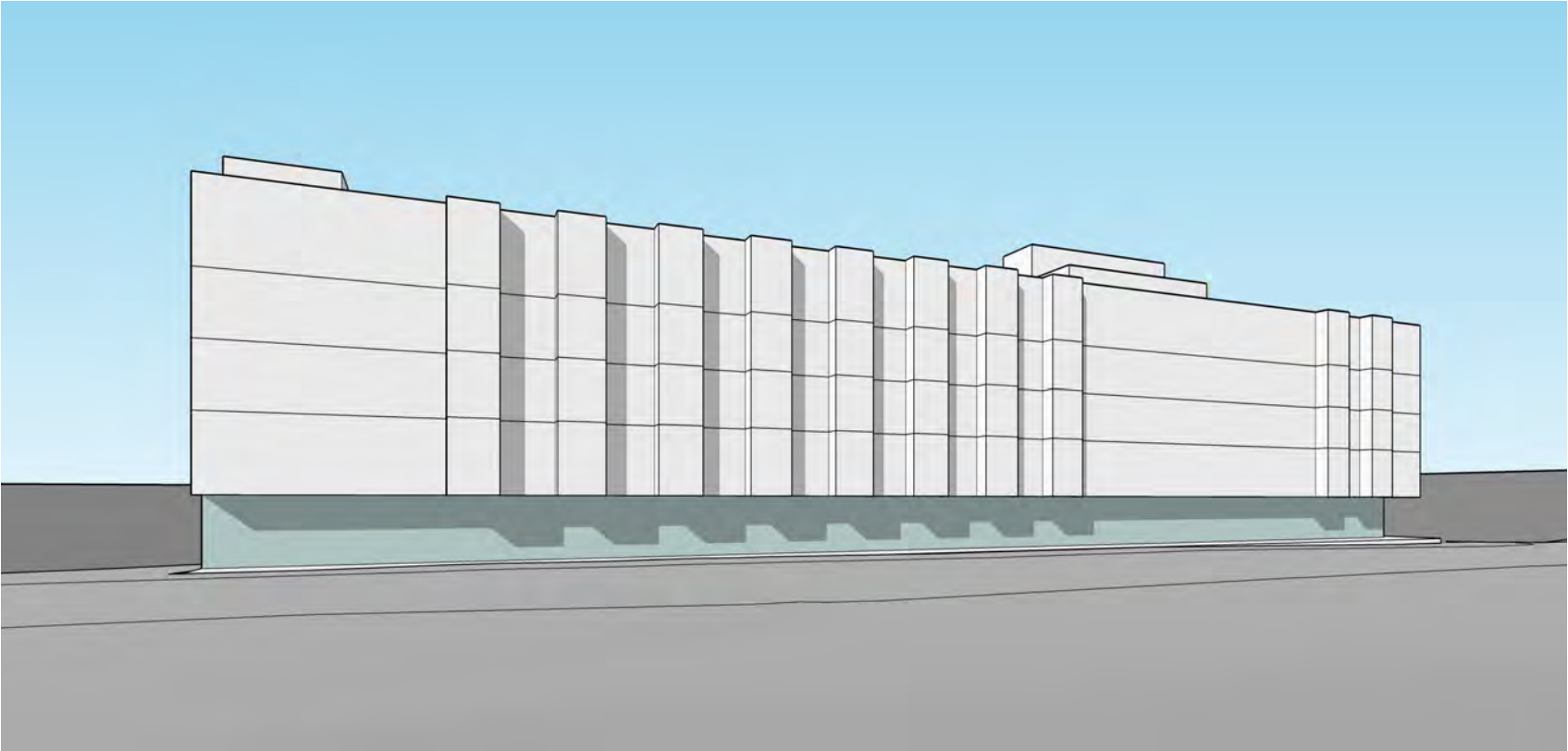
Massing- The massing moves for Concept 2 work to further refine the required and site driven project setbacks while understanding that all project facades will be highly visible due the site location, site grading, and existing building adjacencies. Along the east façade, the main lobby and main commercial entry are gained together within an undercut. Bays are introduced to the upper volume to explore more modulation along Eastlake Avenue East, clearly differentiating the ground level from the massing above. Inset decks are again incorporated along the west façade. Gaskets are beginning to be incorporated within the north and south volumes to break down their massing on these visible facades.

Public Life- The main residential lobby is now being placed to the north of the site and is combined and emphasized with the restaurant entry. 5 live-work units with individual entries are directly south of this entrance. With challenging grade along East Allison Street, a similarly located secondary residential entrance is located off East Allison Street which direct accesses to Level B1. This location will be further refined as the re-grading of East Allison Street is developed.

Open Space Concept- Retaining, parking access to the P1 and P2 levels, and at grade amenity to west facing units on P1 continue to help in aiding the height, bulk, and scale transition on the west façade. Reference sheets 54 and 55 for more detail.

The primary downsides of this concept are:

- While the east façade now has more modulation, it is disconnected with the massing moves implemented on west elevation.
- The west façade appears again as bulky. More refinement is needed to truly break down the scale of this facade



View from Eastlake Avenue East, looking east



Looking southwest



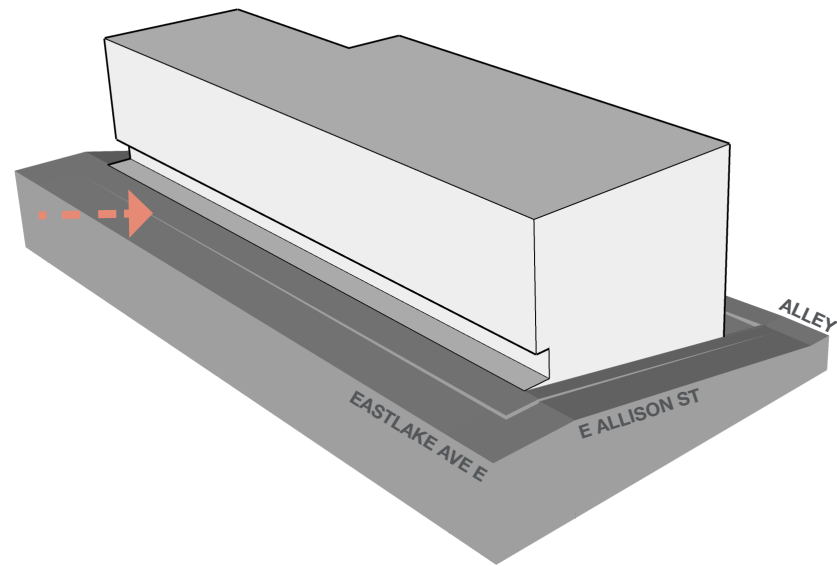
Looking northeast



Looking northwest

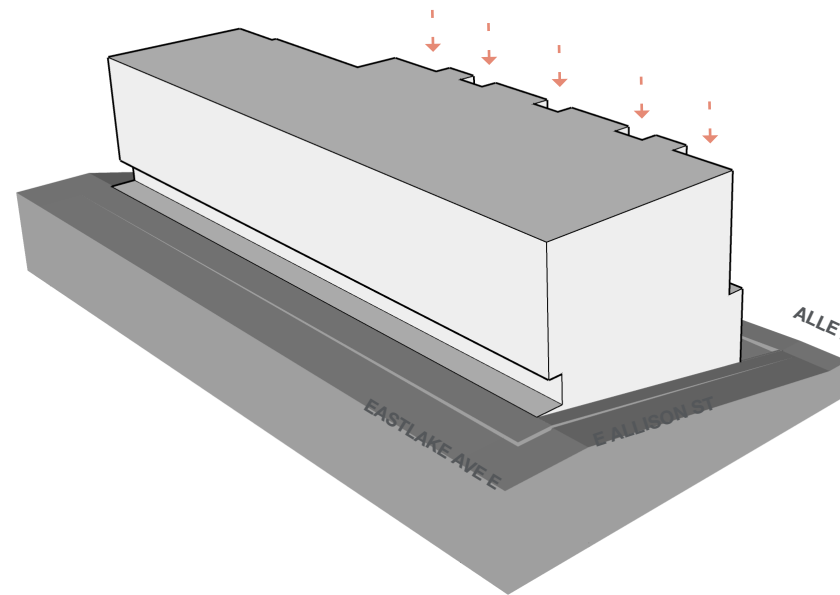
8.0 ARCHITECTURAL MASSING CONCEPT 2

STEP 1- Looking SW



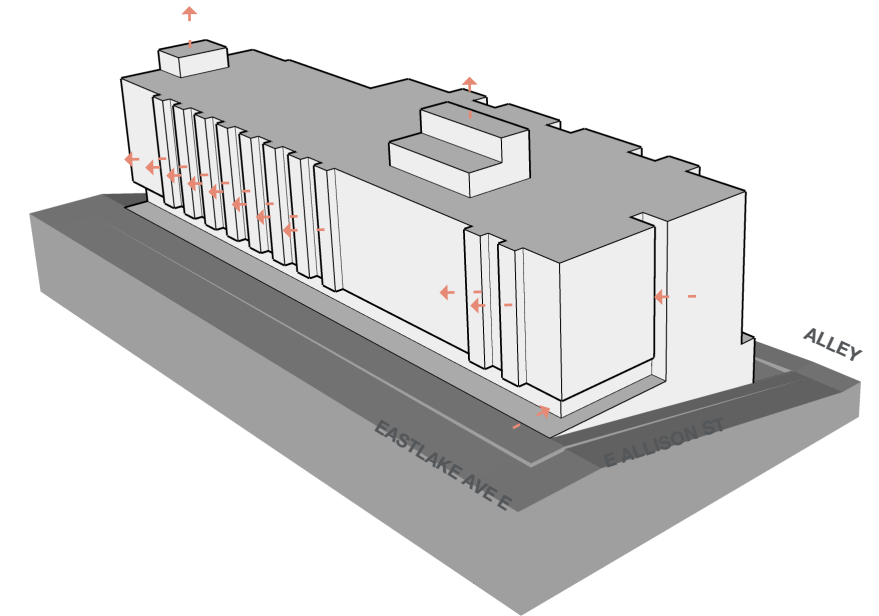
- ① The building has two required massing setbacks- the first off of the east facade along Eastlake Avenue East for right-of-way improvements at the ground level, the second due to the shoreline setback on the property which breaks up the west facade along the alley into 2 primary volumes.

STEP 2- Looking SW



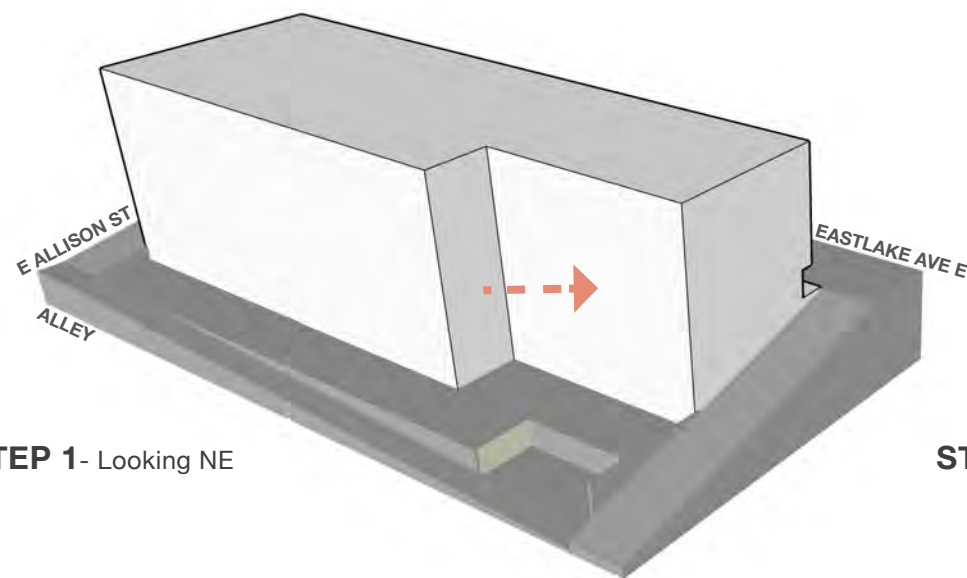
- ② The larger volume along the west facade is again subdivided to introduce decks, avoid the shoreline setback, and alleviate the scale of the 7/8-story facade.

STEP 3- Looking SW

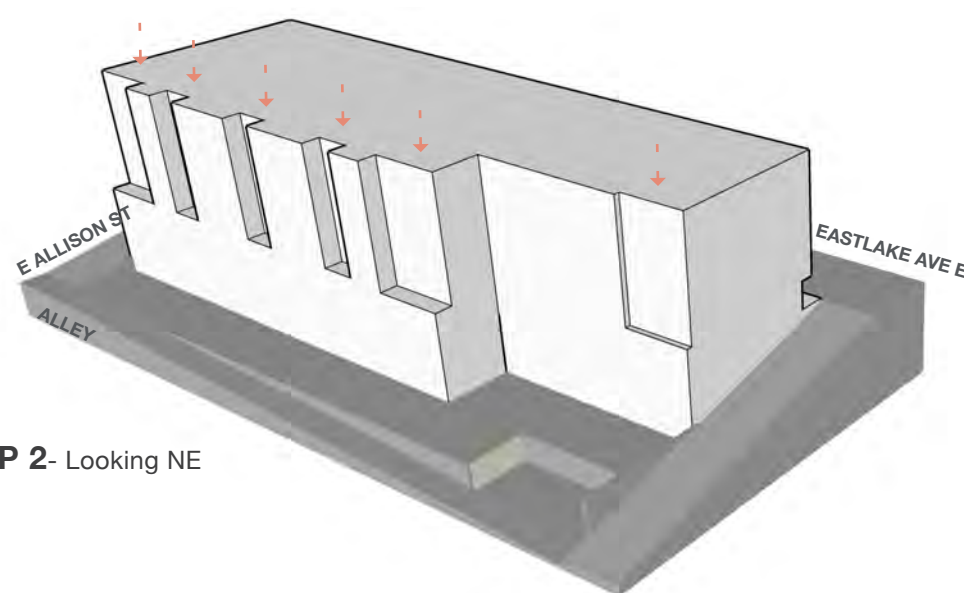


- ③ Bays are introduced to further define the upper volume on the east elevation. A gasket is again added on the northeast and northwest corner to define the restaurant program. This is now paired gaskets on the north and south facades. Penthouse extrusions are starting to better align with the carving of the volume.

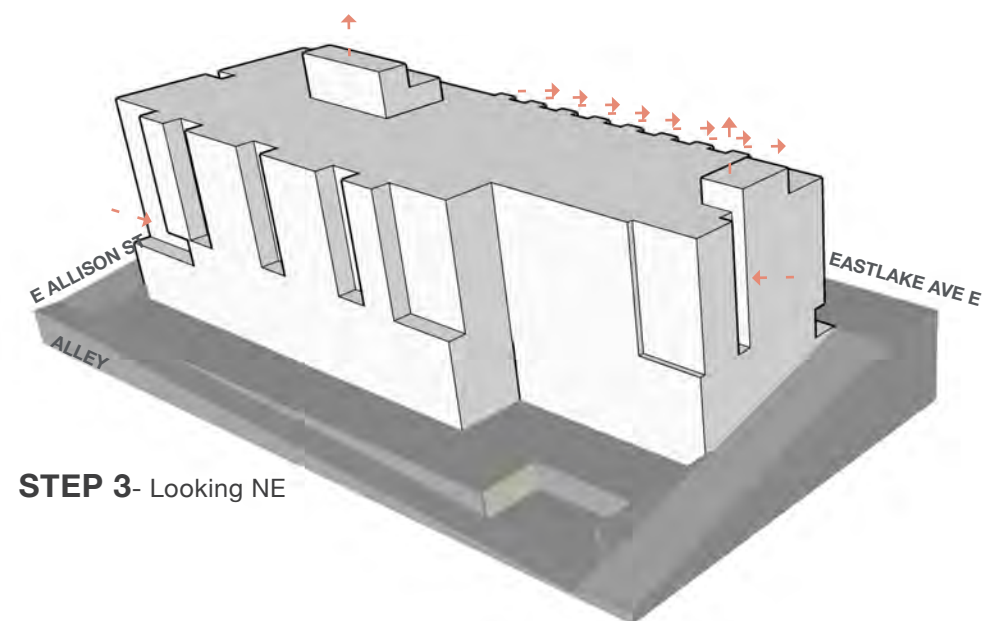
STEP 1- Looking NE



STEP 2- Looking NE



STEP 3- Looking NE



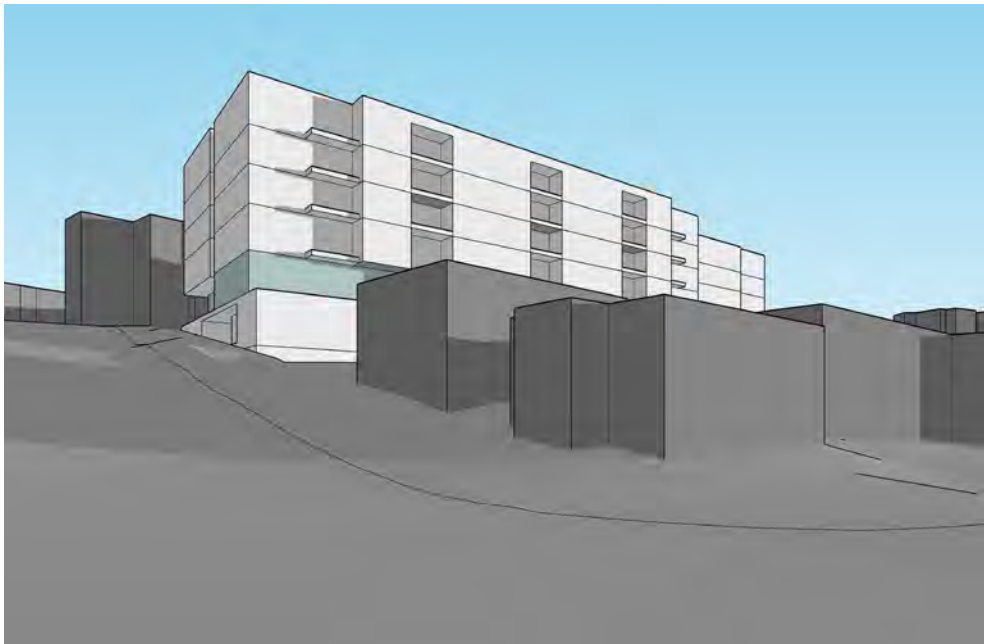
8.0 ARCHITECTURAL MASSING CONCEPT 2



View from Eastlake Avenue East, looking southwest



View from Eastlake Avenue East, looking northwest



View from Fairview Avenue East, looking southeast

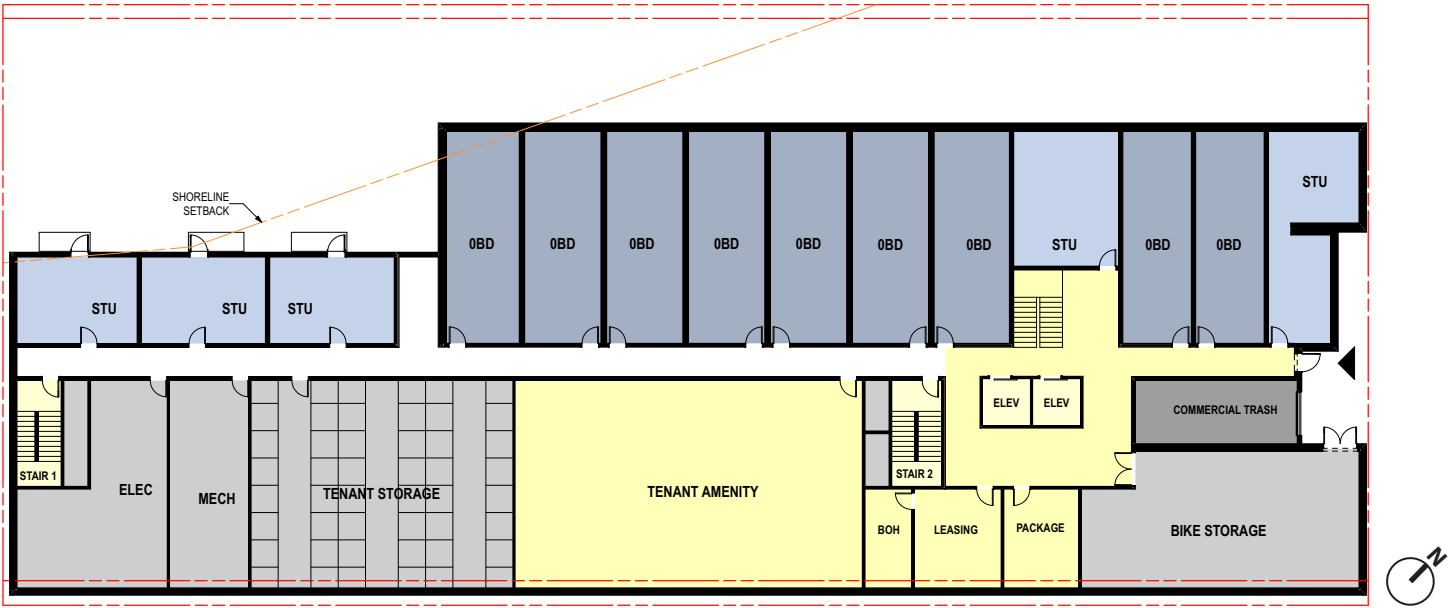


View from Fairview Avenue East, looking northeast

LEVEL P1 PLAN



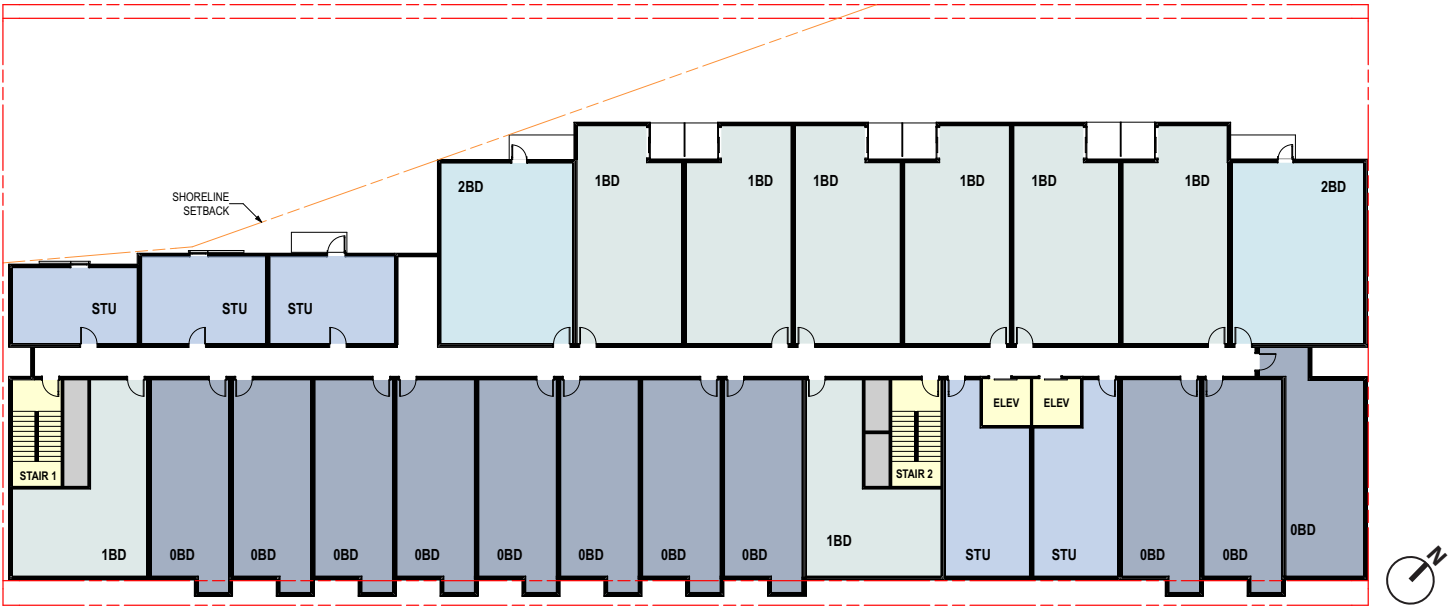
LEVEL B1 PLAN



LEVEL 1 PLAN



TYPICAL RESIDENTIAL PLAN (L2-L5)



8.0 ARCHITECTURAL MASSING CONCEPT 2



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8.0 ARCHITECTURAL MASSING CONCEPT 3

CONCEPT 3

Overall, each massing concept aims to:

- 1. **Massing:** Take advantage of unique site features and the corner lot condition as a gateway and transition point
- 2. **Public Life:** Focus on opportunities for the project to make strong connections to adjacent streetscapes and their character
- 3. **Open Space Concept:** Use elevation changes to strategically locate structure and associated open spaces

Massing- The massing moves for Concept 3 proportionally break up the volume on the east and west facades while maintaining a cohesive, well-proportioned building on all building elevations. Along the east façade, the separated residential and commercial lobby are highlighted through Levels 2-5, breaking up the upper volume into three well proportioned sections. Penthouses are strategically placed to highlight this massing move further, emphasizing the separate building entries. Along the west façade, more carving is implemented to break up the larger volume. Gaskets are incorporated to help further emphasize these major massing moves, defining a clear “base” at Level 1 which is now also identifiable along the west facade. The continuation of the gasket

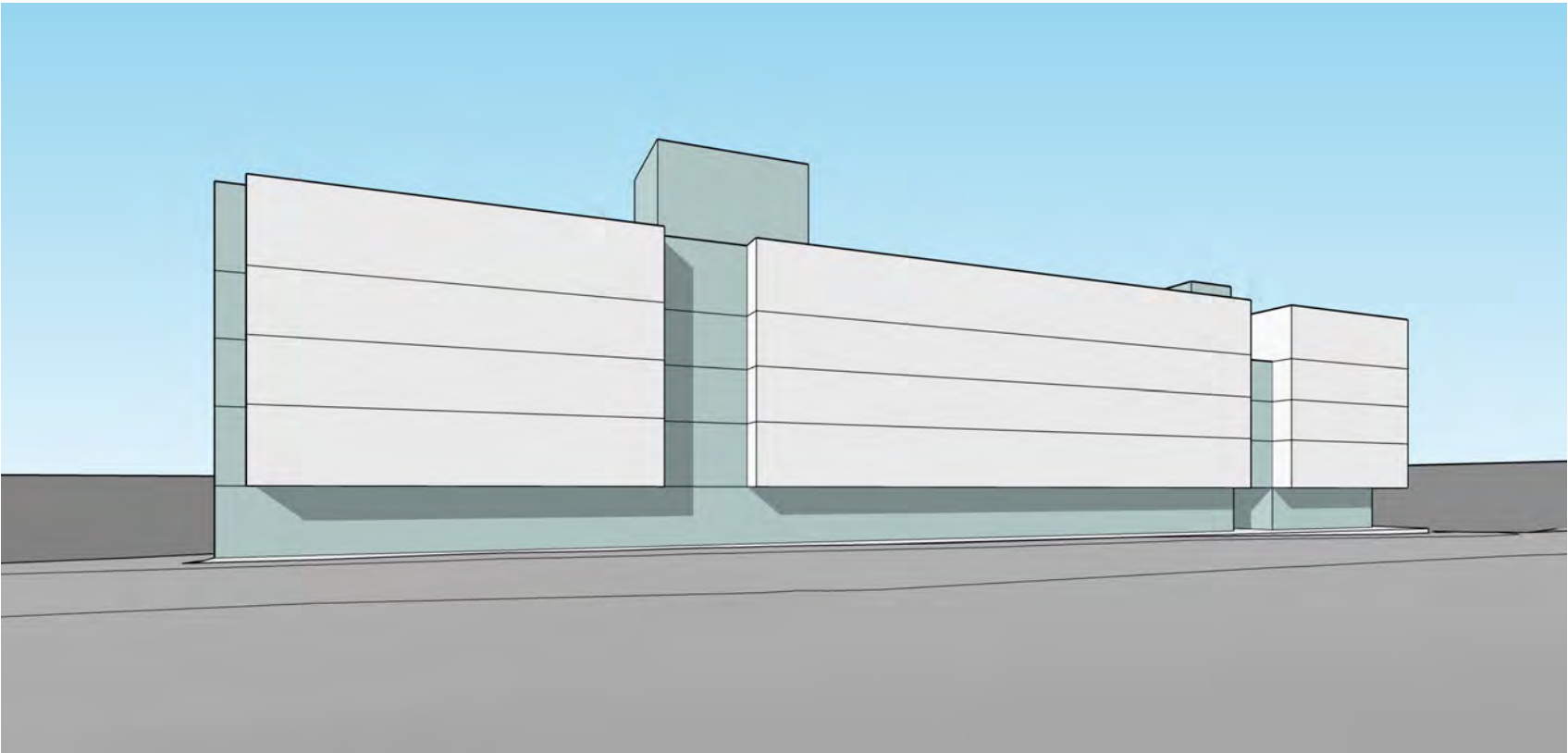
along the west elevation helps delineate the “top” and “base” of the building, and breaks the long facade into identifiable, yet cohesive breaks.

Public Life- The main residential lobby, now located slightly north of the southern property edge, is separated from the restaurant’s maintained main entrance, activating both ends of the building along Eastlake Avenue East. 4 well-proportioned live works now span in between the two entrances, each with an individual entry. Like the other massing concepts, an entry into B1 is strategically placed based on assumed regrading of East Allison Street.

Open Space Concept- This area has been further refined to address the height, bulk, and scale transition of the west façade. Glazing, patios, and stepped bioretention help alleviate the grade and activate the alley with a variety of uses. Reference sheets 54 and 55 for more detail.

The primary upsides of this concept are:

- Massing moves help diminish the appearance of bulk of the building on all facades while maintaining cohesiveness.
- The distribution of commercial and residential access helps activate the building in a balanced, lively way.



View from Eastlake Avenue East, looking east

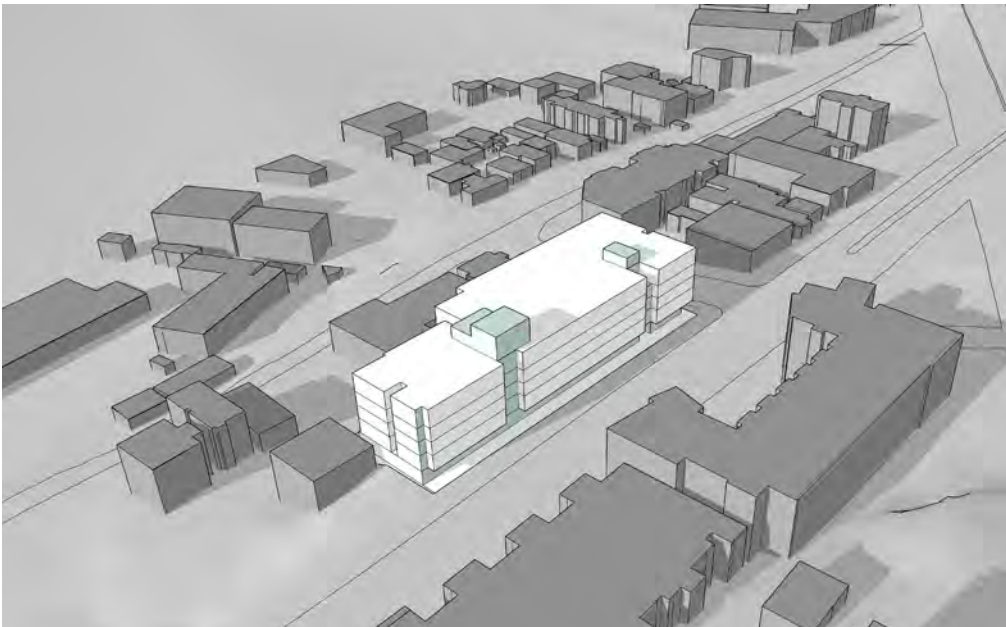
MASSING- AERIAL VIEWS



Looking southwest



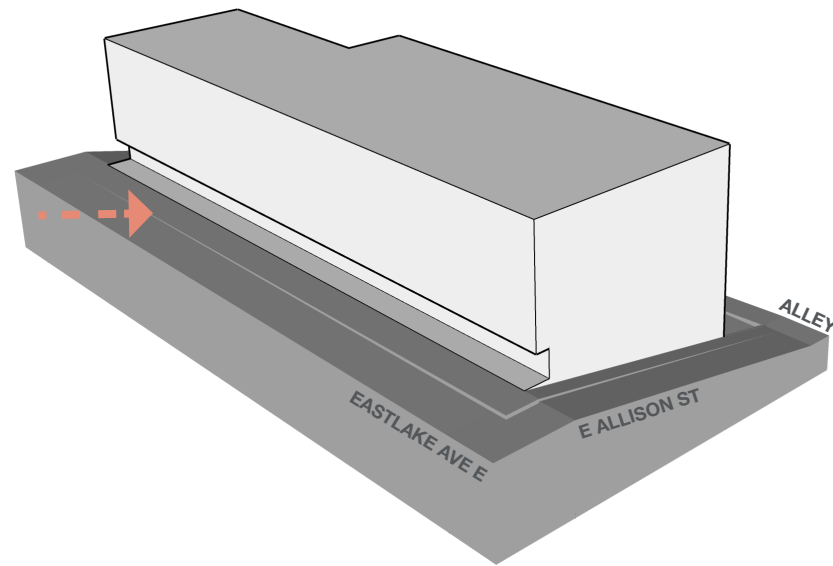
Looking northeast



Looking northwest

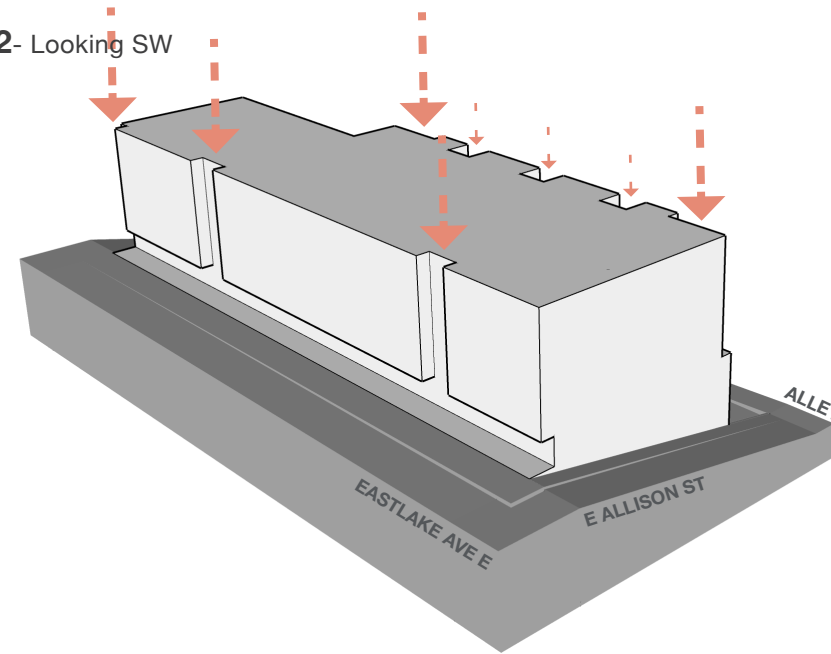
8.0 ARCHITECTURAL MASSING CONCEPT 3

STEP 1- Looking SW



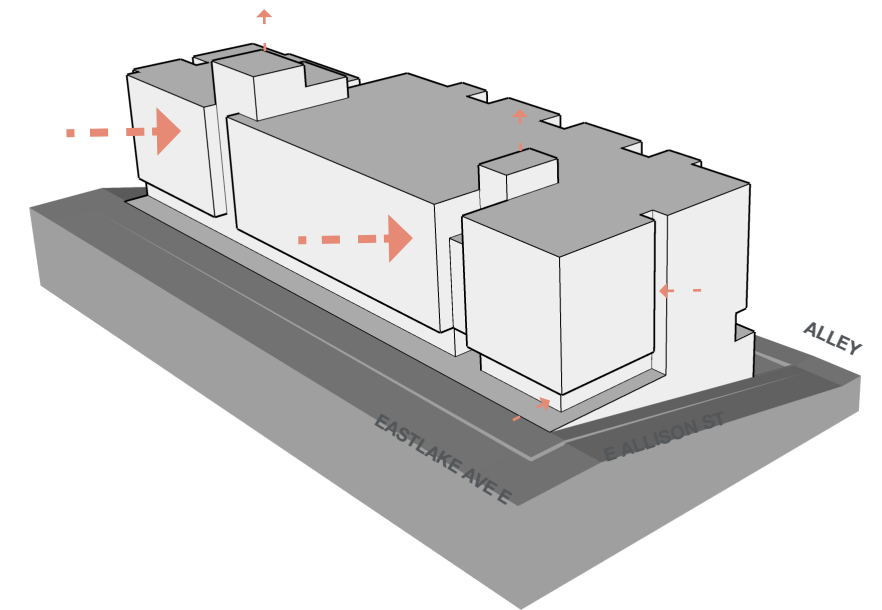
- ① The building has two required massing setbacks- the first off of the east facade along Eastlake Avenue East for right-of-way improvements at the ground level, the second due to the shoreline setback on the property which breaks up the west facade along the alley into 2 primary volumes.

STEP 2- Looking SW



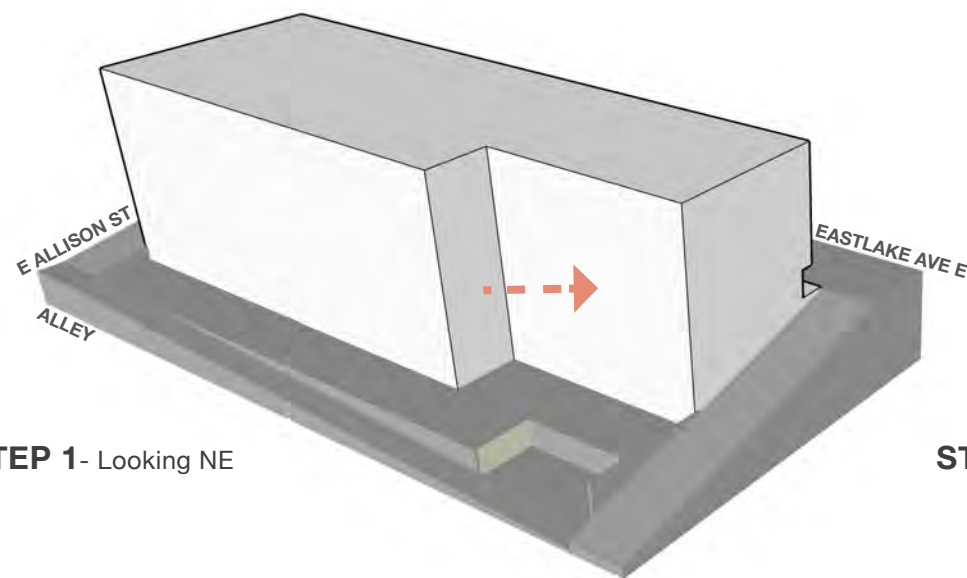
- ② The main residential and commercial entries are defined in massing, breaking up the massing into three primary sections along Eastlake Avenue East. For the rear, slots are incorporated to introduce decks, avoid the shoreline setback, and alleviate the scale of the 7/8-story facade.

STEP 3- Looking SW

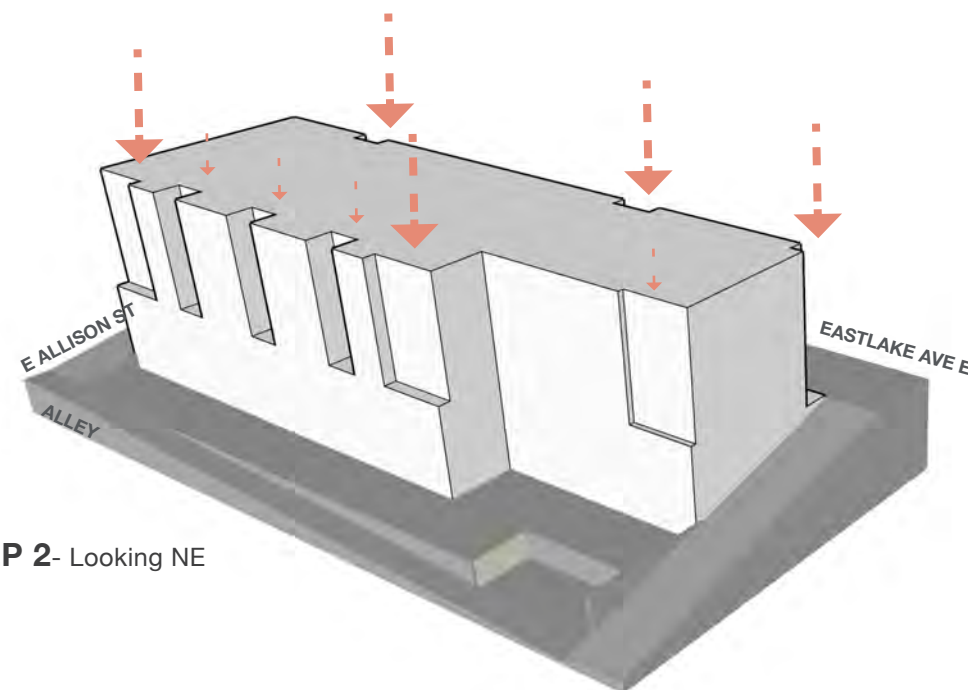


- ③ Gaskets now better aid in emphasizing the main massing moves, defining a clear “base” at level one. The continuation of the gasket along the west elevation helps delineate the “top” and “base” of the building, and sections out the long facade into identifiable, yet cohesive pieces.

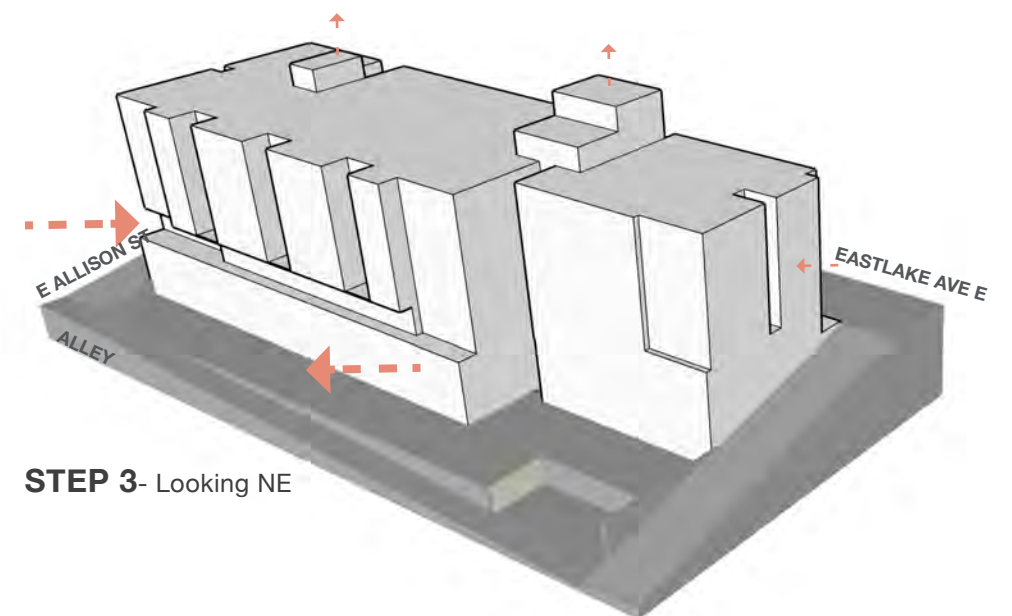
STEP 1- Looking NE



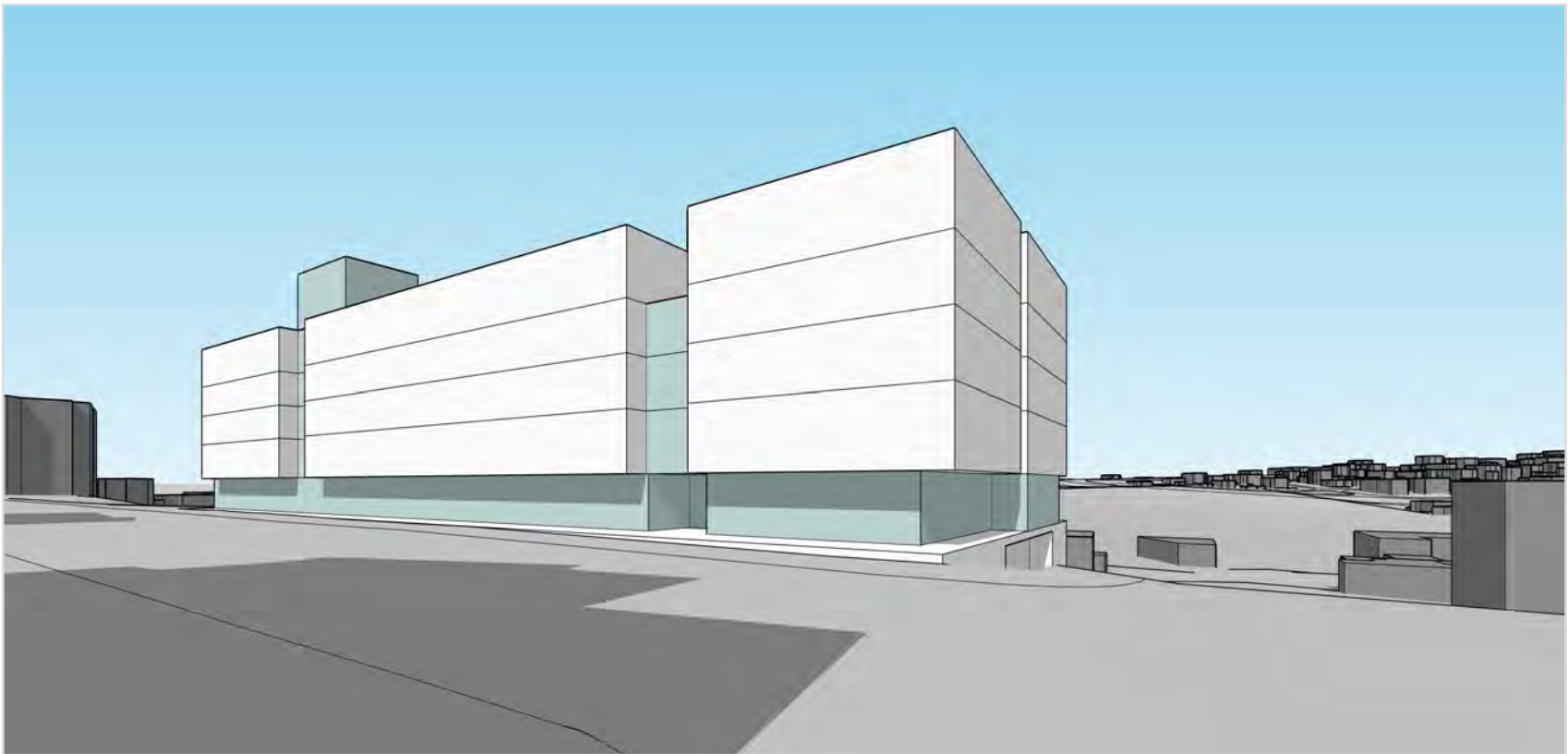
STEP 2- Looking NE



STEP 3- Looking NE



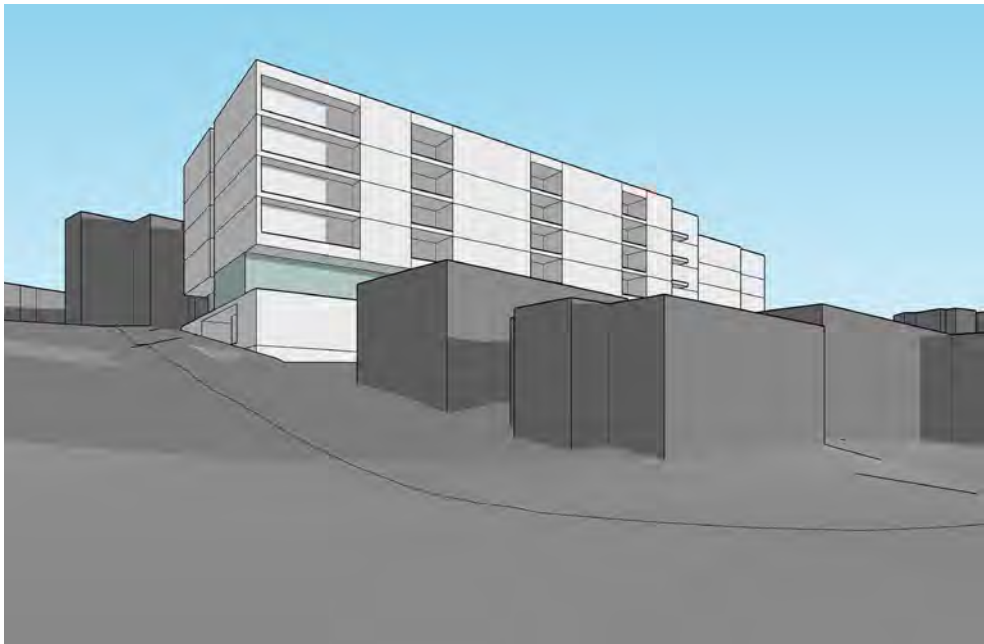
8.0 ARCHITECTURAL MASSING CONCEPT 3



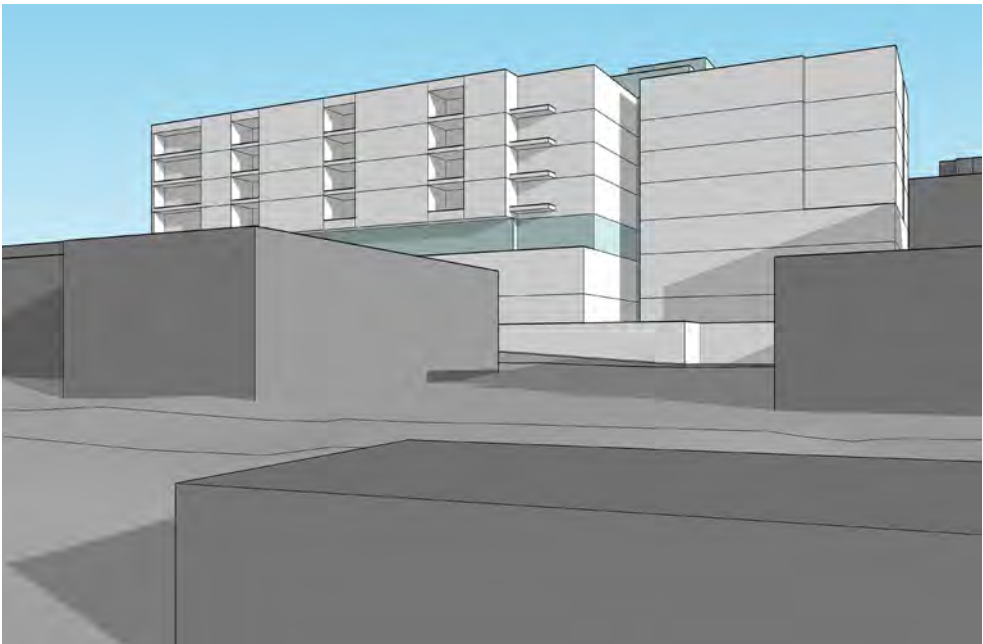
View from Eastlake Avenue East, looking southwest



View from Eastlake Avenue East, looking northwest

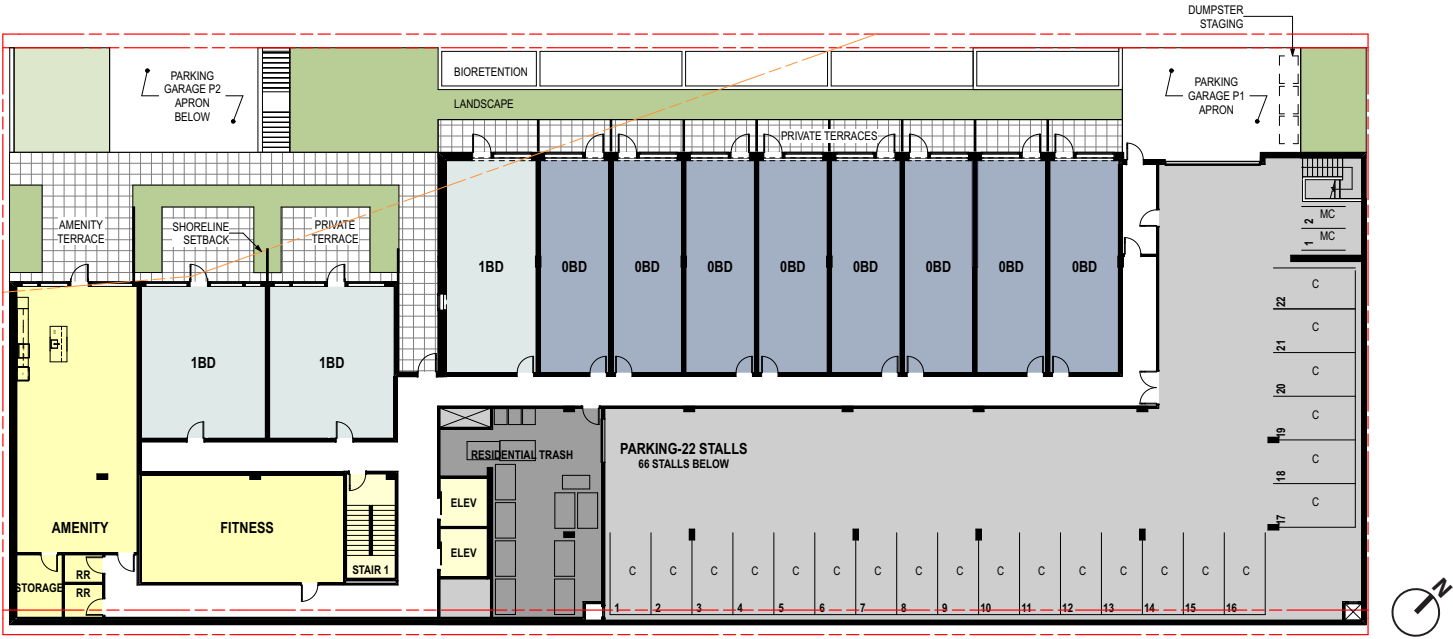


View from Fairview Avenue East, looking southeast

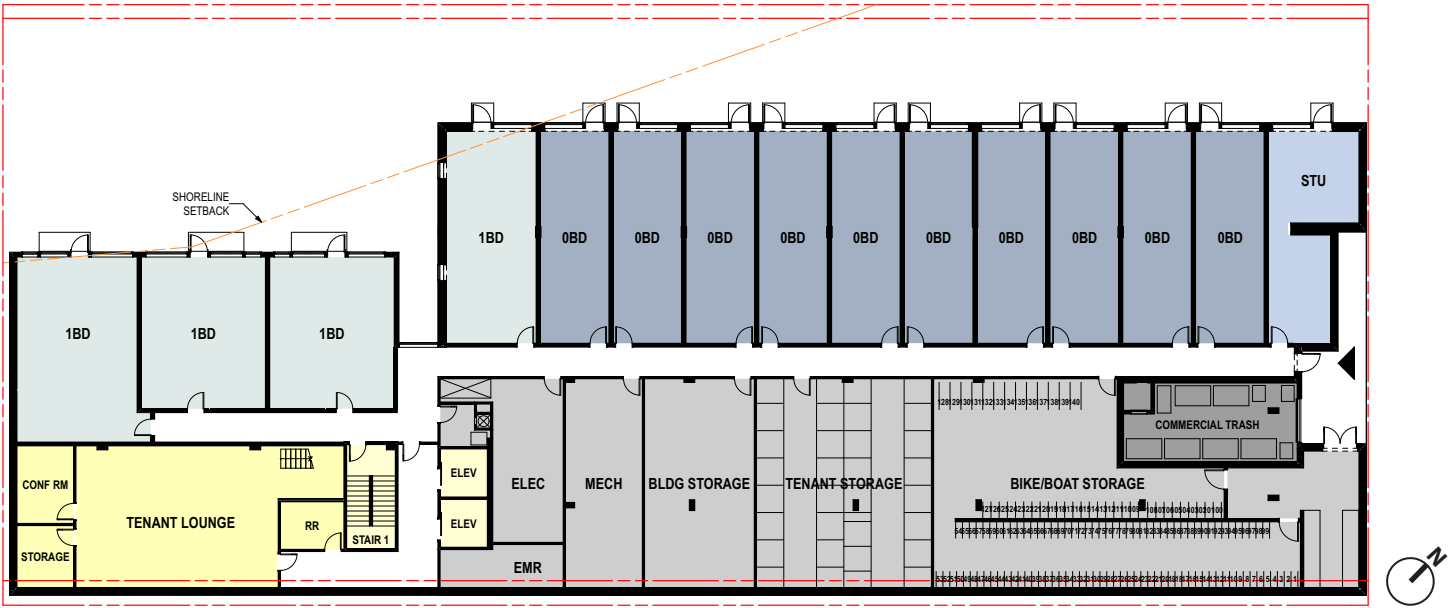


View from Fairview Avenue East, looking northeast

LEVEL P1 PLAN



LEVEL B1 PLAN



LEVEL 1 PLAN



TYPICAL RESIDENTIAL PLAN (L2-L5)





8.0 ARCHITECTURAL MASSING CONCEPT 3- MASSING DEVELOPMENT

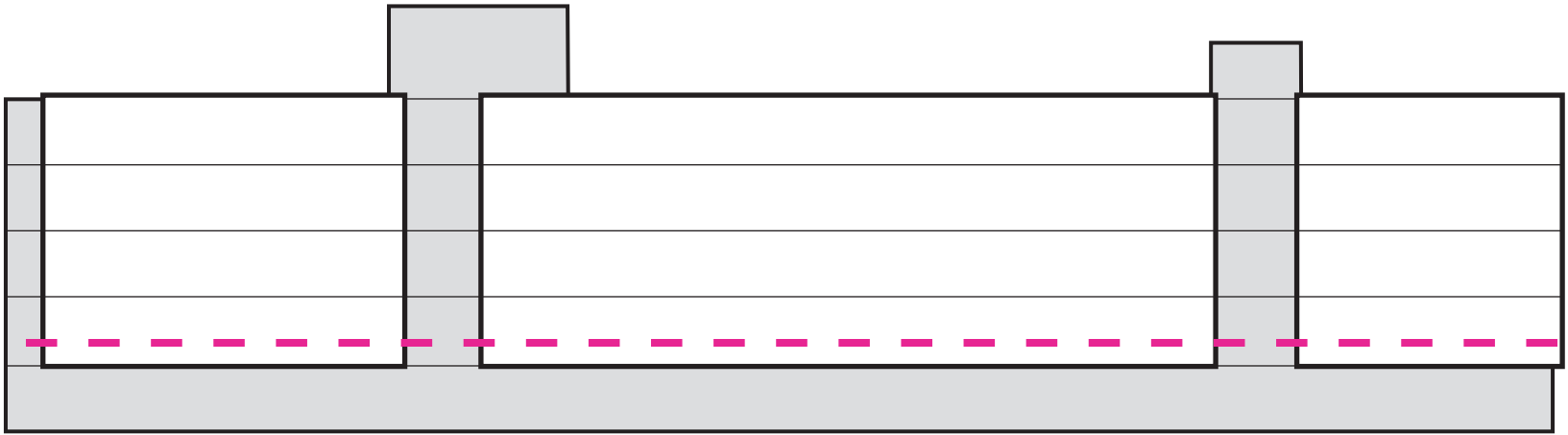


8.0 ARCHITECTURAL MASSING CONCEPT 3 - CONTEXT CONNECTIONS



2936 EASTLAKE AVE E

HORIZONTAL DATUM

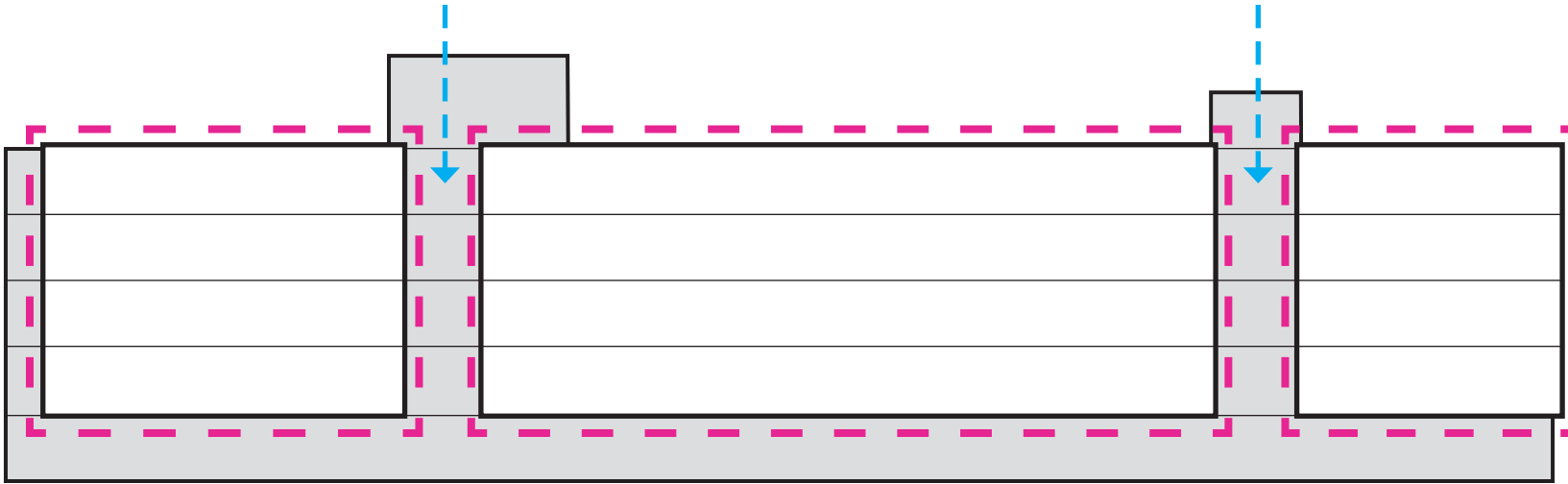


PROPOSED MASSING



2851 EASTLAKE AVE E

MASSING BREAKS & RECESSED ENTRANCES



PROPOSED MASSING

8.0 ARCHITECTURAL MASSING CONCEPT 3 -CONTEXT CONNECTIONS



3272 FUHRMAN AVE E
Brick & Metal Panel



3218 EASTLAKE AVE E
Concrete & Rainscreen Panel



3150 FAIRVIEW AVE E (PROPOSED)
Concrete & Metal Panel



3101 EASTLAKE AVE E (PROPOSED)
Brick & Metal Panel



2517 EASTLAKE AVE E (PROPOSED)
Brick & Metal Panel



2359 FRANKLIN AVE E
Brick & Wood Panel



67 E LYNN ST (PROPOSED)
Brick, Cedar Panel, Board & Batten



2027 EASTLAKE AVE E (HISTORIC)
Brick & Stone



1823 EASTLAKE AVE E
Brick & Fiber Cement

8.0 ARCHITECTURAL MASSING CONCEPTS 1,2,3- ALLEY DEVELOPMENT

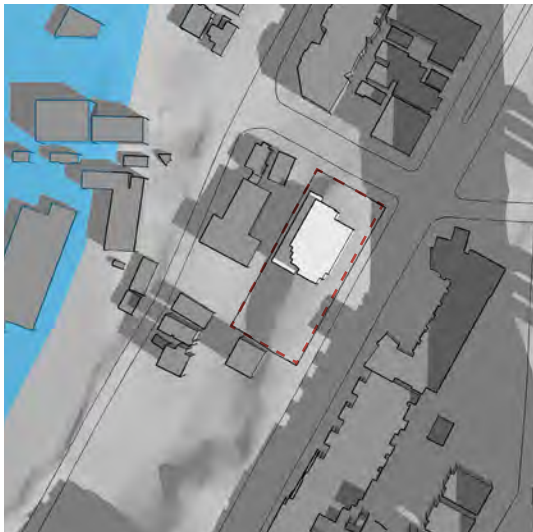


8.0 ARCHITECTURAL MASSING CONCEPTS 1,2,3- ALLEY DEVELOPMENT

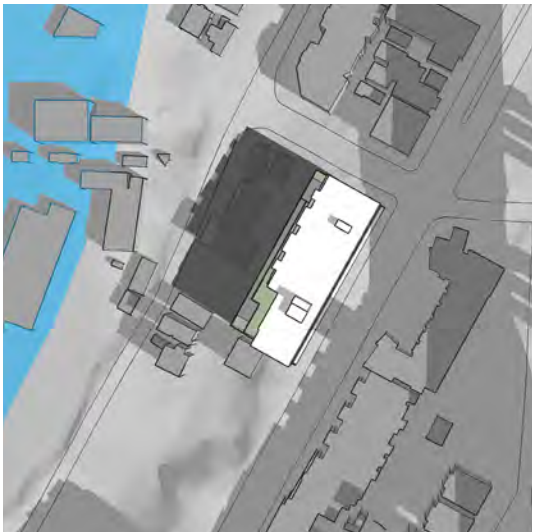


SUN/SHADOW ANALYSIS: MARCH 21/SEPTEMBER 21

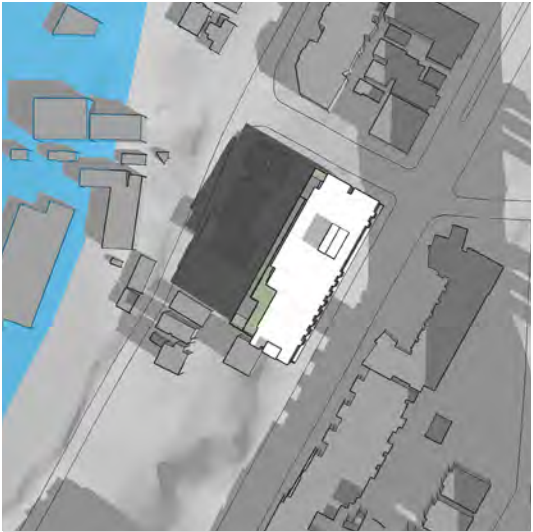
EXISTING SITE



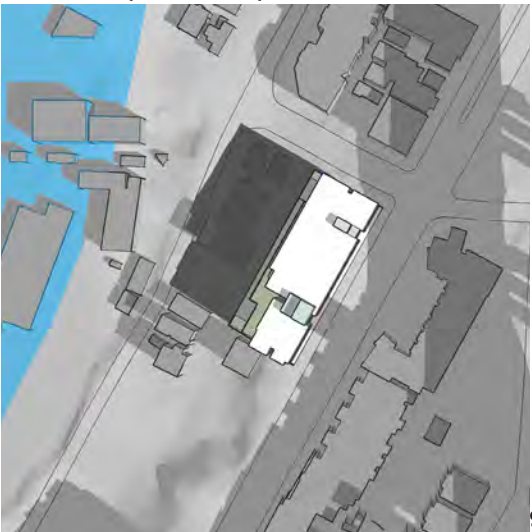
CONCEPT 1



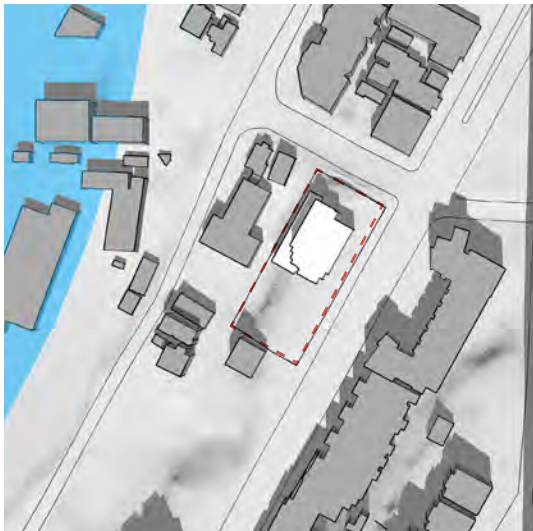
CONCEPT 2



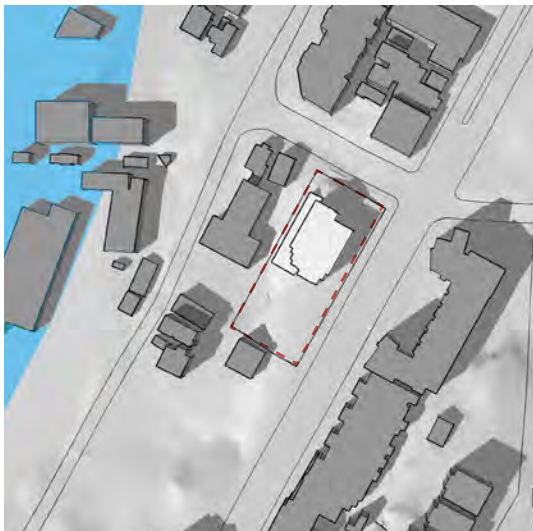
CONCEPT 3 (PREFERRED)



9:00AM

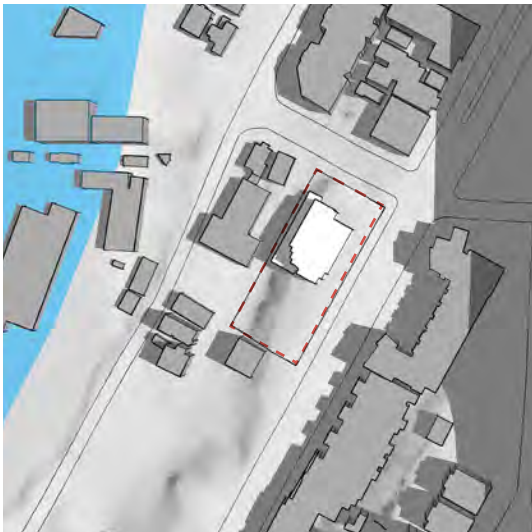


12:00 NOON

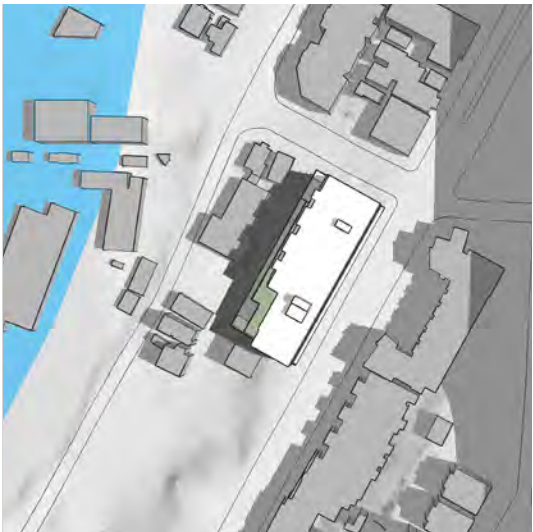


3:00PM

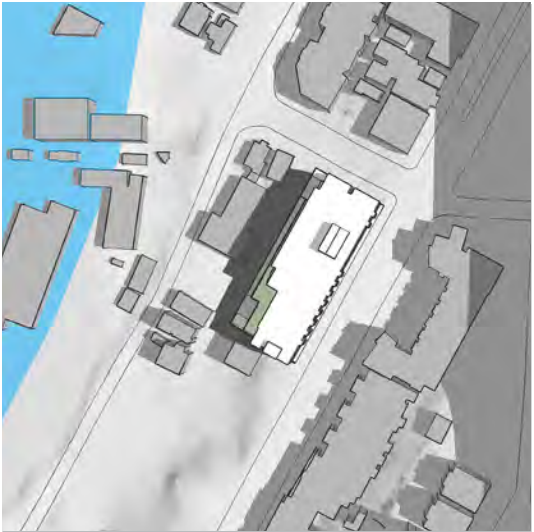
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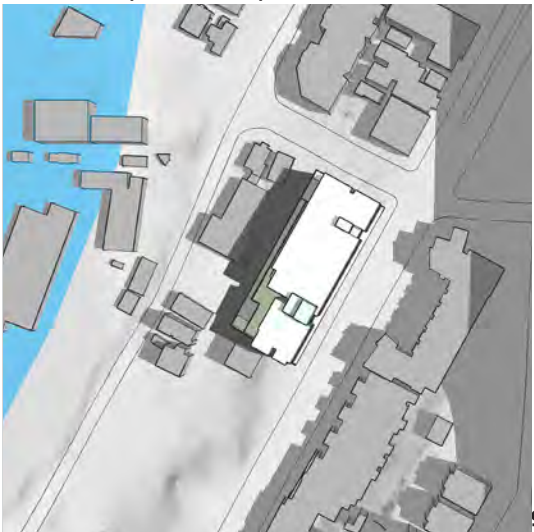
CONCEPT 1



CONCEPT 2



CONCEPT 3 (PREFERRED)



9:00AM



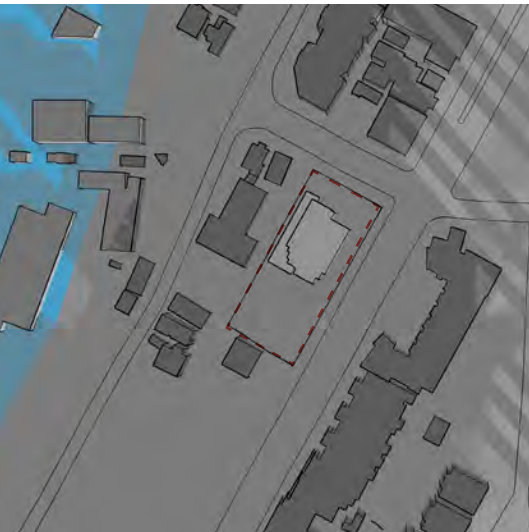
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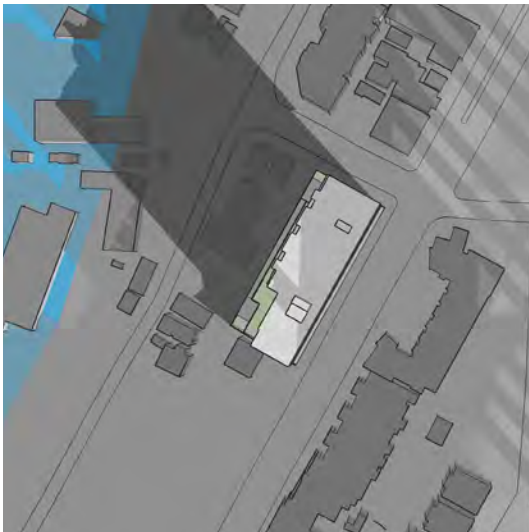
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SUN/SHADOW ANALYSIS: DECEMBER 21

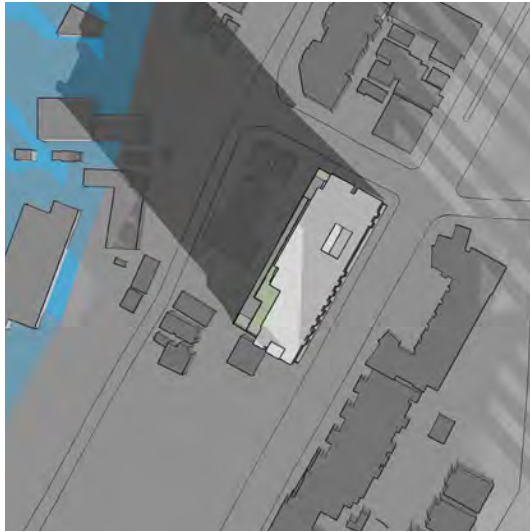
EXISTING SITE



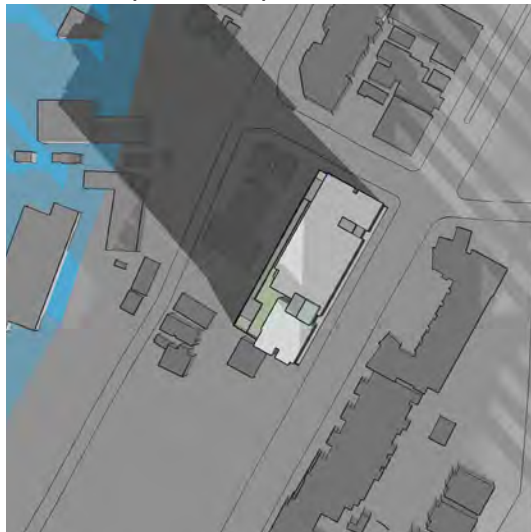
CONCEPT 1



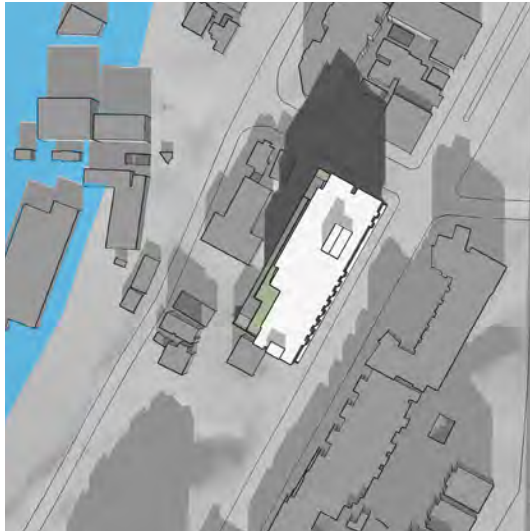
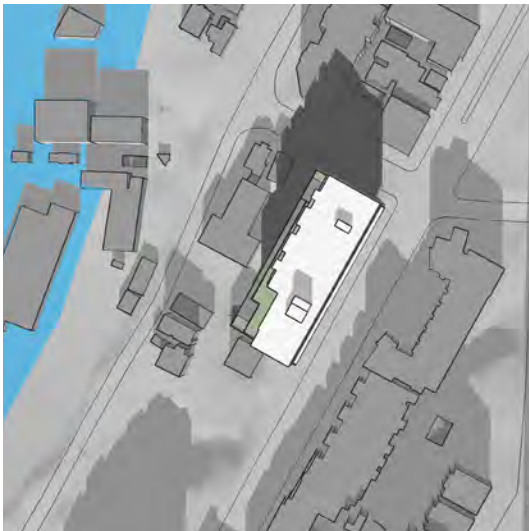
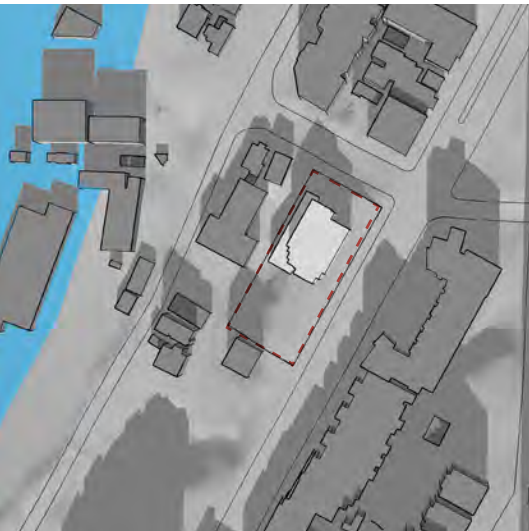
CONCEPT 2



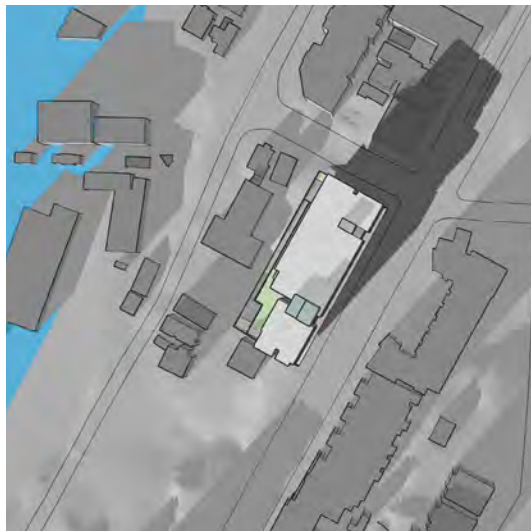
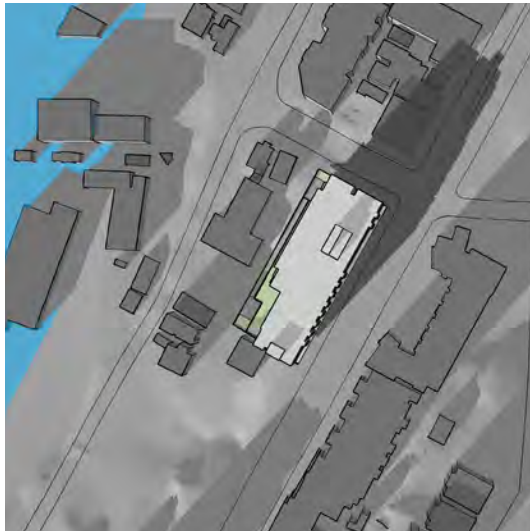
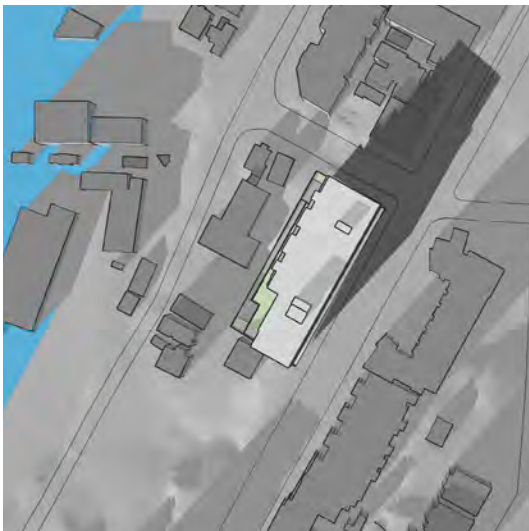
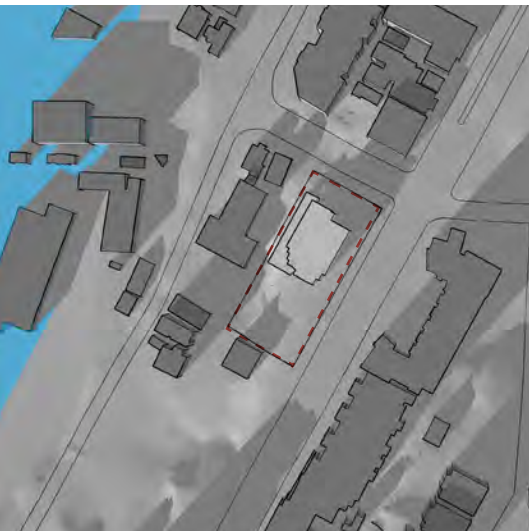
CONCEPT 3 (PREFERRED)



9:00AM



12:00 NOON



3:00PM

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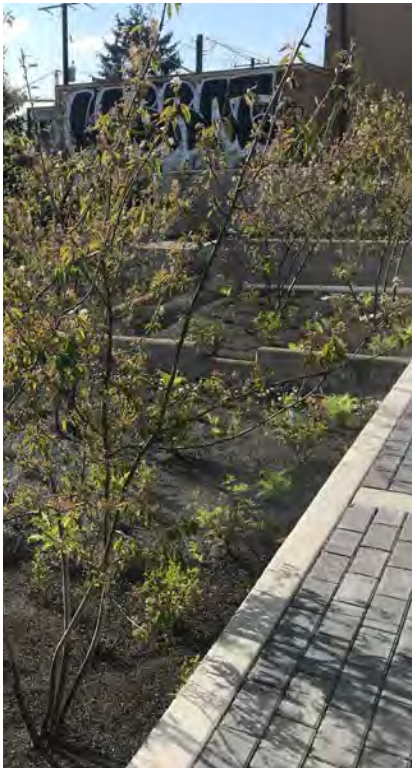
CONCEPTUAL LANDSCAPE INSPIRATION (STREETSCAPE & PODIUM)

- 1 Ainsworth & Dunn, 2815 Elliott Ave
- 2 Rooster, 900 NE 65th St
- 3 Station House, 900 NE 65th St





overhang, active streetscape room for bikes



terraces, storm planters



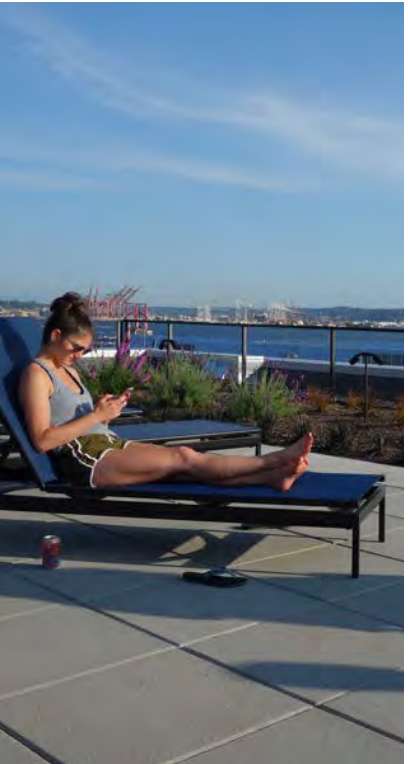
lower level amenity



CONCEPTUAL ROOF PLAN



green roof with perennials



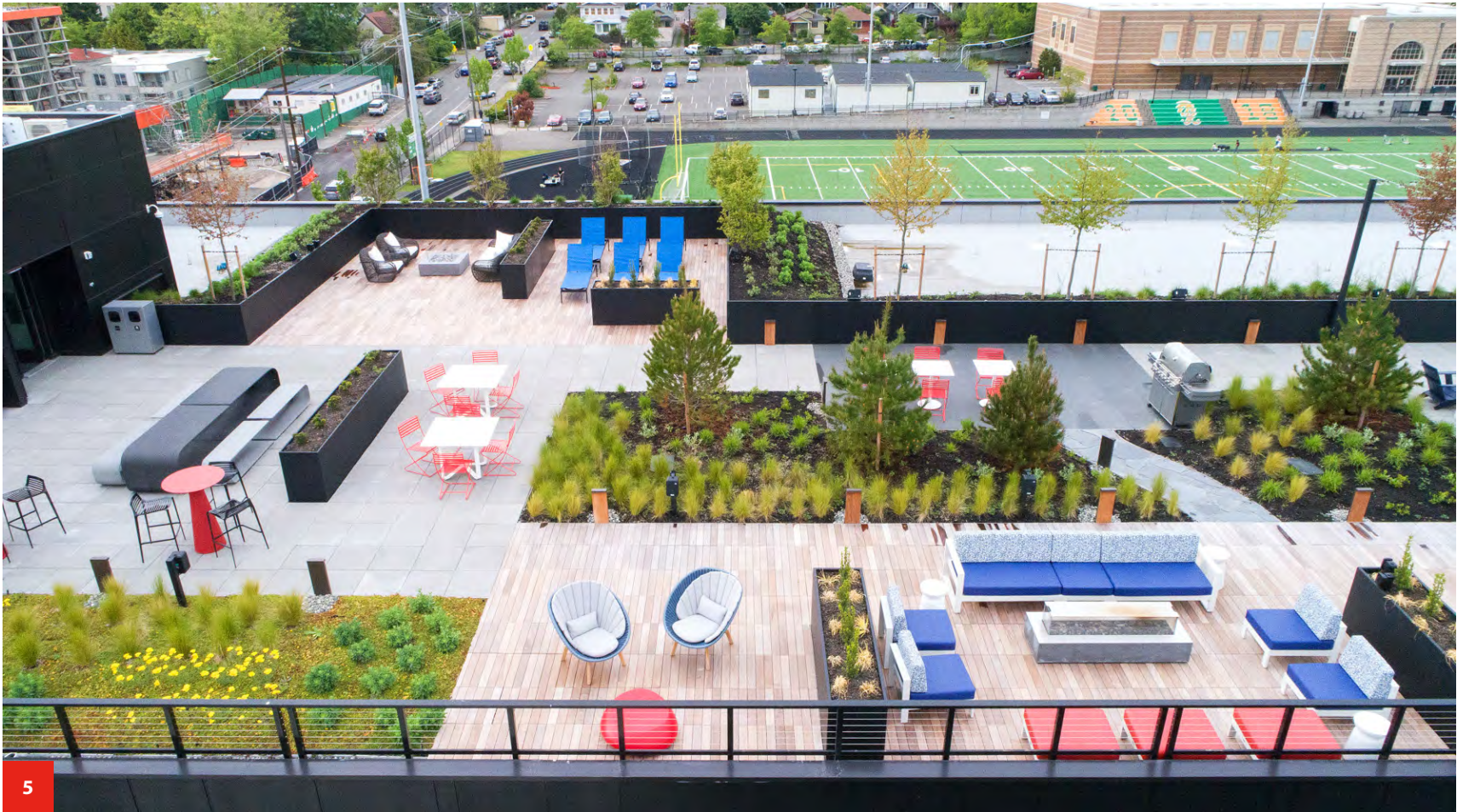
lounging



fire, friends and killer views....



CONCEPTUAL LANDSCAPE INSPIRATION (ROOF)



- 5 Vida, 1205 NE 66th St
- 6 Vida, 1205 NE 66th St
- 7 Rooster , 900 NE 65th St



REPRESENTATIVE PROJECTS

Weinstein A+U is recognized as one of the Northwest’s leading design firms and has continually demonstrated design excellence on a broad array of projects for State, City, Federal, private, and not-for-profit clients. We are passionate about our city and the shaping of its urban neighborhoods through the integration of architecture and urban design is central to our practice.

Well-designed and thoughtful urban housing is a special concern of ours, and we have worked aggressively to advance the expectations of mixed-use projects in Seattle, both technically and aesthetically. While each project presents very specific challenges, a number of recurring themes inform much of our work and form the basis of our approach to housing design:

- All of our buildings are situational and are inseparable from their sites. They sit comfortably amongst their established neighbors, drawing from established precedents while looking to the future
- Well-designed unit plans are essential to the success of a housing project. While the functionality of each unit type is important, the organization of units across a floor plate and their influence on building elevations is equally important
- Appropriately located and proportioned open space is a significant design determinant for most mixed-use and urban housing projects
- We avoid arbitrary façade embellishment. Instead we utilize the organization of individual units and their aggregation to establish the pattern and rhythm of multi-family facades that is furthered informed by site organization and orientation. Plans correlate to elevations and variation occurs within an established system
- The constrained budgets for typical mixed-use projects demand careful consideration of a project’s primary orientation and configuration to provide cost effective sustainable design strategies
- The scale and proportion of new mixed-use buildings must address, but need not directly reflect, those of adjacent structures. Plan, section, and elevation strategies should be integrated to provide a comprehensible “read” of the building’s composition and organization



- 1 Agnes Lofts**, 1433 12th Ave
- 2 19th and Mercer**, 526 19th Ave E
- 3 Rooster**, 900 NE 65th St
- 4 Ainsworth & Dunn**, 2815 Elliott Ave
- 5 East Union**, 2220 E Union St,
- 6 Vida**, 1205 NE 66th St
- 7 Belroy Apartments**, 703 Bellevue Ave E
- 8 Banner Building**, 2600 Western Ave



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