

2947 EASTLAKE





PROJECT INFORMATION

PROPERTY ADDRESS

2947 Eastlake Ave E, Seattle WA

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DEVELOPER

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LANDSCAPE

Karen Kiest Landscape Architects
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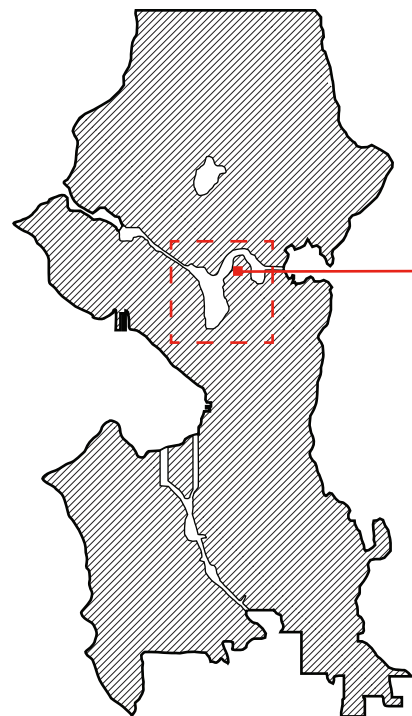
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3.0 PROPOSAL

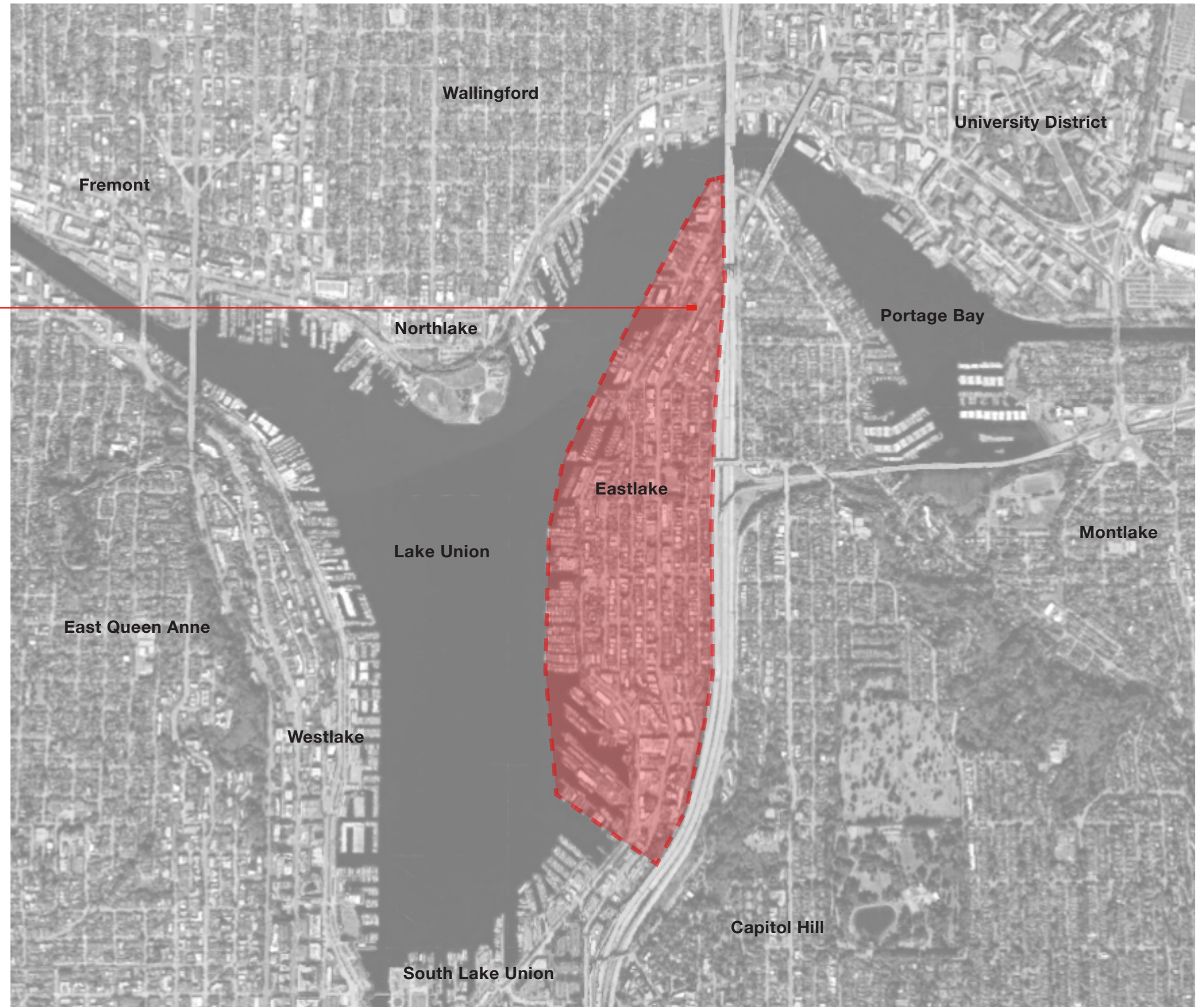
PROJECT LOCATION

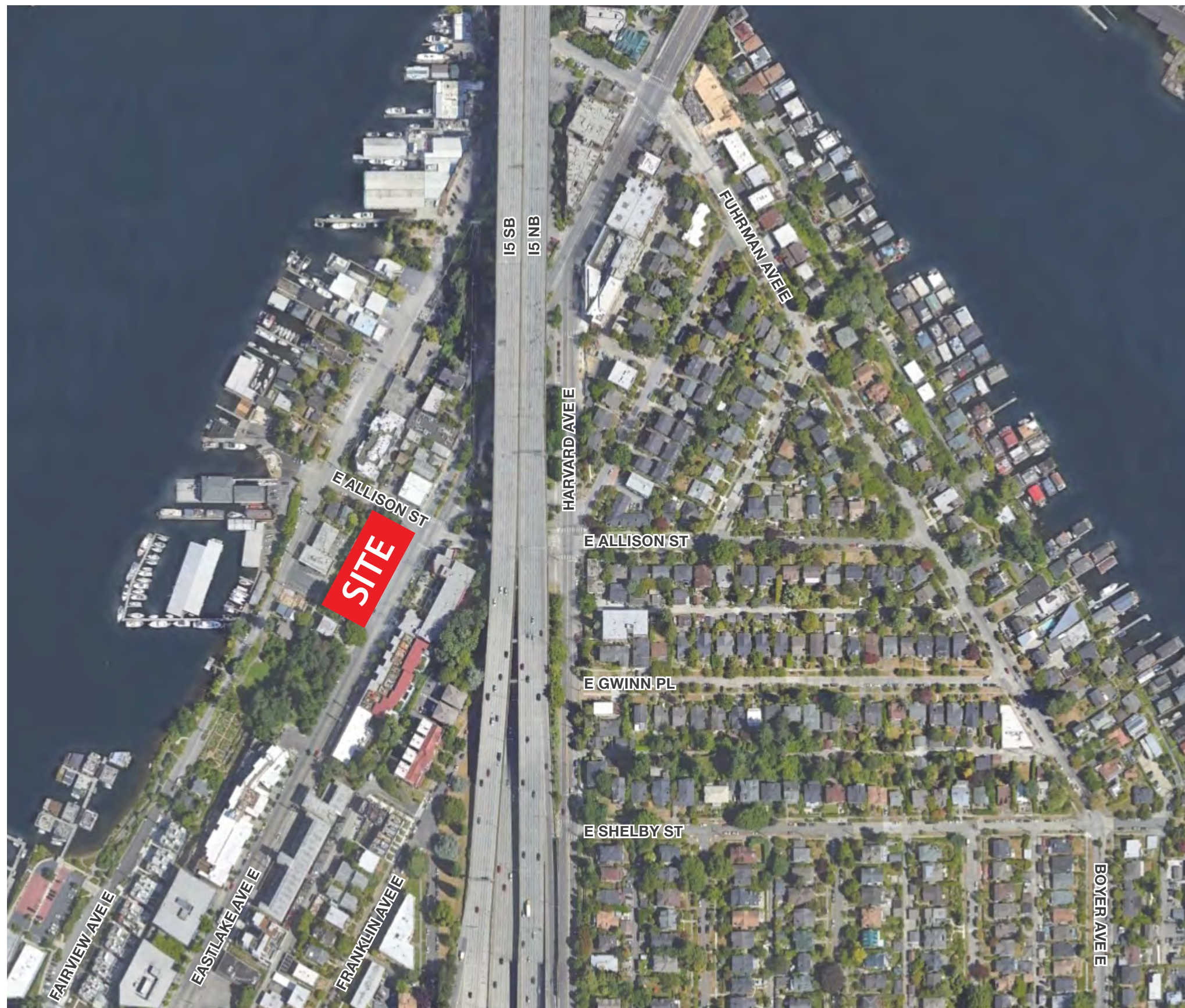
The project site is 27,505-sf or approximately 0.63-acres. Located on a corner lot bounded by Eastlake Avenue East (to the east) and East Allison Street (to the north), the site is zoned NC3-55 (M) - Neighborhood Commercial with a 55-foot height limit and is subject to the requirements for MHA-Mandatory Housing Affordability. It is located within the Eastlake Residential Urban Village. The western portion of the site is also subject to a Shoreline Zone with a 30-foot height limit.

The site is surrounded by a variety of building types, upcoming and existing, including 1-2-story office buildings, low rise multifamily, and single family housing to the west. This is contrasted with 4-story mixed-use apartment projects to the east. The higher density development holds a strong urban edge across Eastlake Avenue East and is activated by commercial character at the ground floor. This typology will continue to the north of the project site, across East Allison Street, with a new development at 3101 Eastlake Avenue East. A single story commercial building separates the site from Fairview Park to the south, while water access to Lake Union is located one block to the west, near The College Club and Thunderbird Marina.



SITE





PROJECT OVERVIEW

The site's unique topography, with elevation changes of 30' from east to west along the south property line and almost 10' from north to south along the alley influences a building massing that transitions from a 5-story building along Eastlake Avenue East to an 8-story building along the alley.

The site straddles the 200' shoreline setback. The portion of the property within the 200' setback is subject to a 30' height limit while the area beyond (along Eastlake Avenue East) is subject to the 55-foot height limit of the NC3-55 (M) zone. The proposed building is located entirely outside of the shoreline setback above the 30-foot height limit, allowing for the west edge of the site to act as a buffer between the higher zoning along Eastlake Avenue East and the lower heights of the buildings on properties to the west within the setback. Because of the contrasting site conditions, buffers in the form of building massing, landscaping, and hardscape must be implemented to appropriately respond to the distinct duality of the site.

The residential levels will have approximately **130 apartments** comprised of a mixture of two-bedroom, one-bedroom, open one-bedroom, and studio flats that are distributed from Levels P1-5. An on-site leasing and management office and associated building support spaces will be located at street level and below-grade. Residential amenities will be located primarily at Level B1, Level P1, and Level 01, along with an exterior residential roof terrace. Commercial spaces include **4 live-work units** (*for the preferred EDG concept) at approximately 3,350 sf, and a **restaurant**, approximately 2,770 sf, located on Level 1.

Parking is not required, but approximately **80 parking spaces** will be provided underground at Levels P1 and P2.

4.0 SUMMARY CONTEXT ANALYSIS

NEIGHBORHOOD CHARACTER

The character of the buildings immediately surrounding the project site are influenced by their proximity to Lake Union. To the west, a mixture of single family, low rise commercial, and low rise apartment buildings sit within the shoreline setback. In contrast, a strong urban edge is held on both sides of Eastlake Avenue East, broken up only by Fairview Park to the south of the site. The project has an opportunity to be welcoming as one transitions from the bustling public life of Eastlake Avenue East to a quieter environment near the water. It will be especially important to activate the east, north, and west sides of the project with building, open space, and landscape to aid in this transition.

Along Eastlake Avenue East, 4-story mixed-use apartment projects consistently form a strong urban edge on both sides of the street, interrupted only by Fairview Park. The immediate proximity and overwhelming scale of the I-5 Ship Canal Bridge approach is a formidable presence along this portion of Eastlake Avenue East, effectively separating this area from the lower density neighborhood to the east. The jarring scale differential between the bridge approach and the low rise development along the water to the west is somewhat mitigated by the mid-rise development along the Eastlake corridor.

NEIGHBORHOOD CONTEXT

1. New Development- 3150 Fairview Ave E
2. New Development- 3101 Eastlake Ave E
3. New Development- 117 E Allison
4. College Club Seattle
5. Thunderbird Marina
6. Fairview Park
7. Little Water Cantina
8. Coronado Apartments
9. L'Amourita Coop Apartments
10. Tramonti Condominiums
11. Ruby Condominiums

LEGEND

- Site
- Unbuilt



4.0 SUMMARY CONTEXT ANALYSIS



PRESENT LAND USE

LEGEND

- Single Family Residential
- Multi Family Residential
- Mixed Use
- Retail
- Office
- Surface Parking
- School / Institutional
- Utility
- Parks/Open Space
- Future Development
- Site

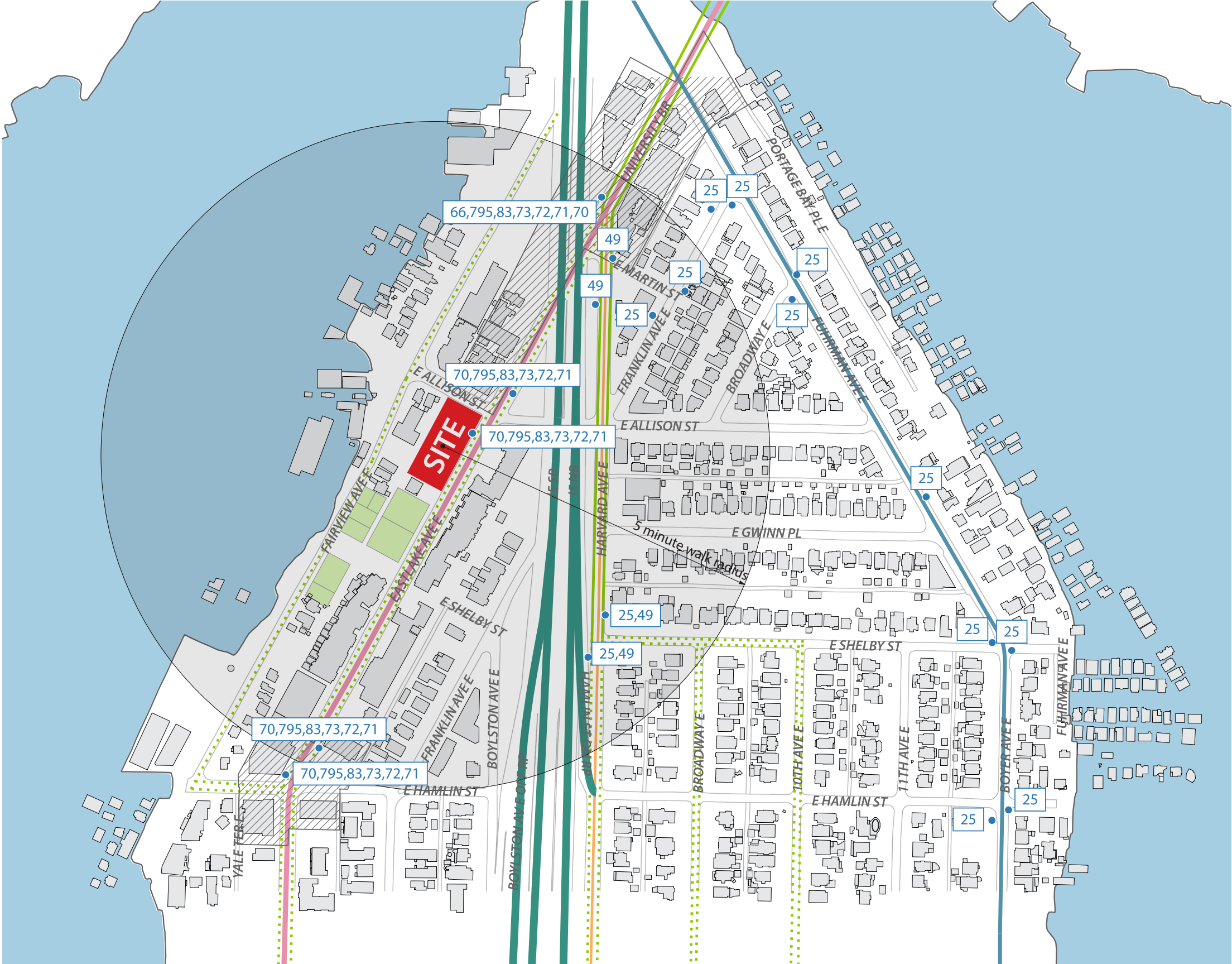


4.0 SUMMARY CONTEXT ANALYSIS

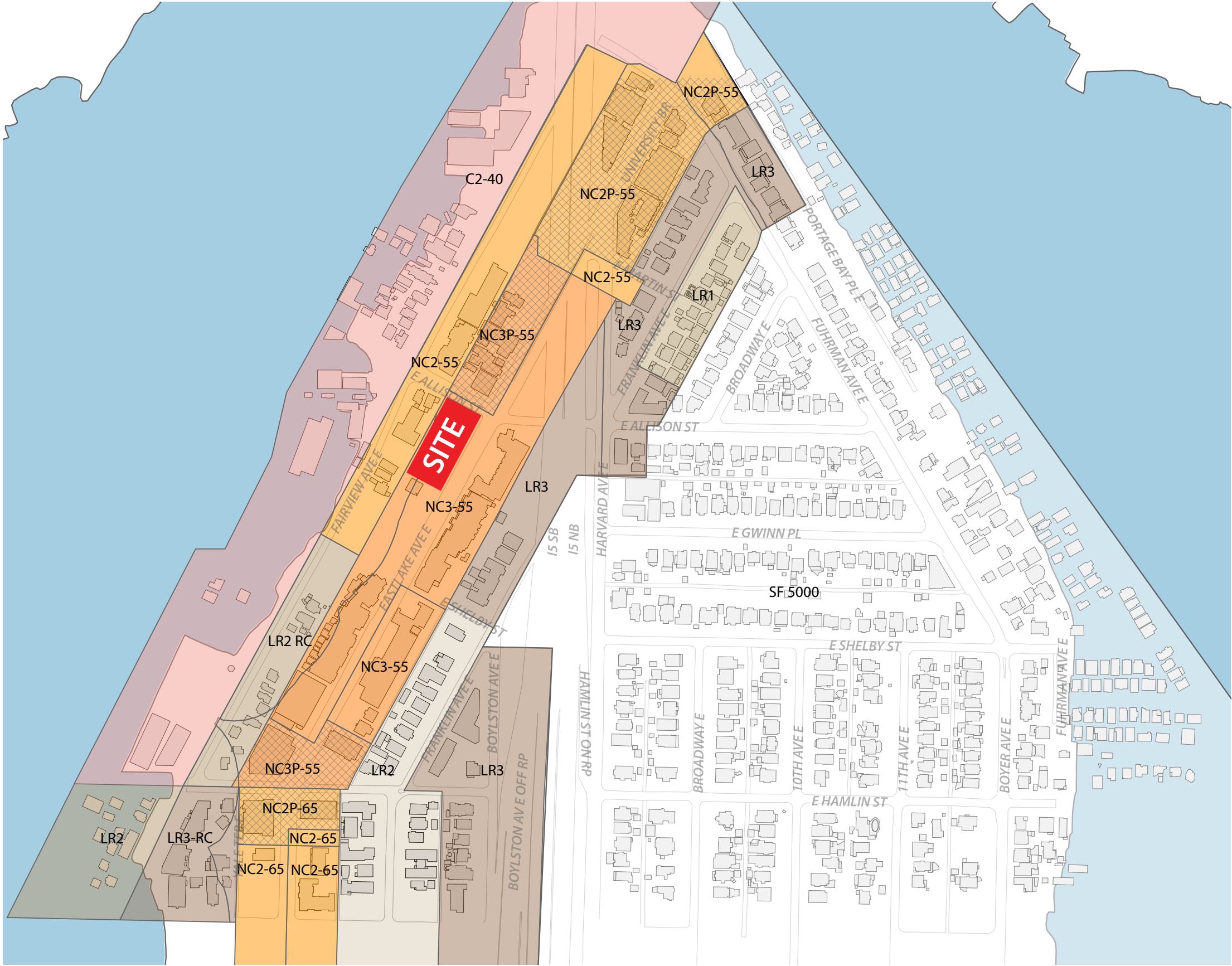
TRANSIT MODES

LEGEND

- I5, Ship Canal Bridge
- Principal Arterial
- Minor Arterial
- Bus Routes
- Bus Numbers 4
- Bicycle Dedicated Lanes
- Bicycle Friendly Roads
- 5 Minute Pedestrian Walkshed (approx.)



4.0 SUMMARY CONTEXT ANALYSIS



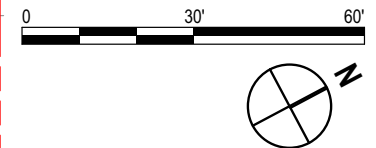
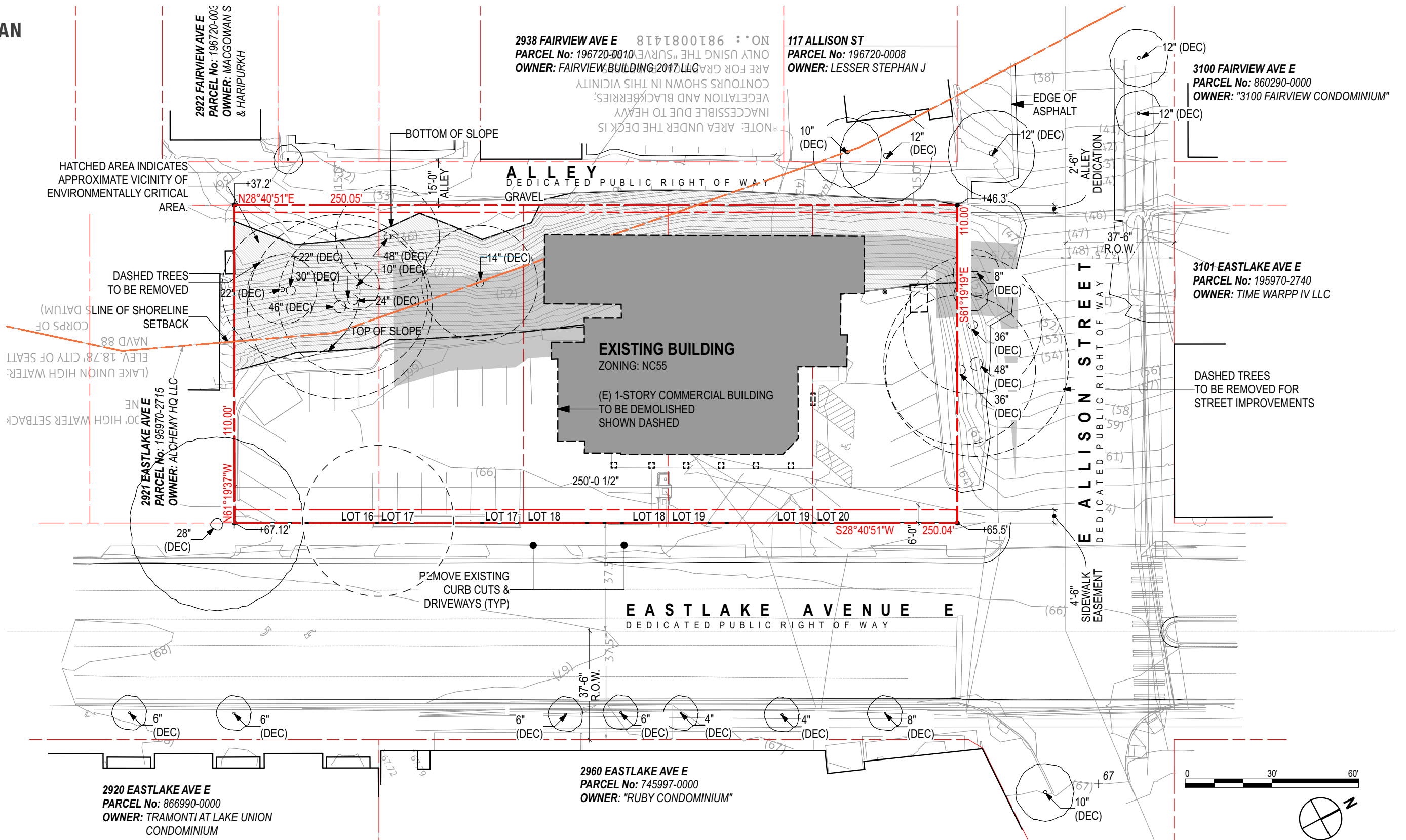
ZONING

ZONING LEGEND

- NC3P-55/ NC3-55
- NC2P-65/ NC2-55/65
- C2-40
- LR3-RC/ LR3
- LR2-RC/ LR2
- LR1
- SF 5000
- Zone Boundaries

5.0 EXISTING SITE CONDITIONS

EXISTING SITE PLAN



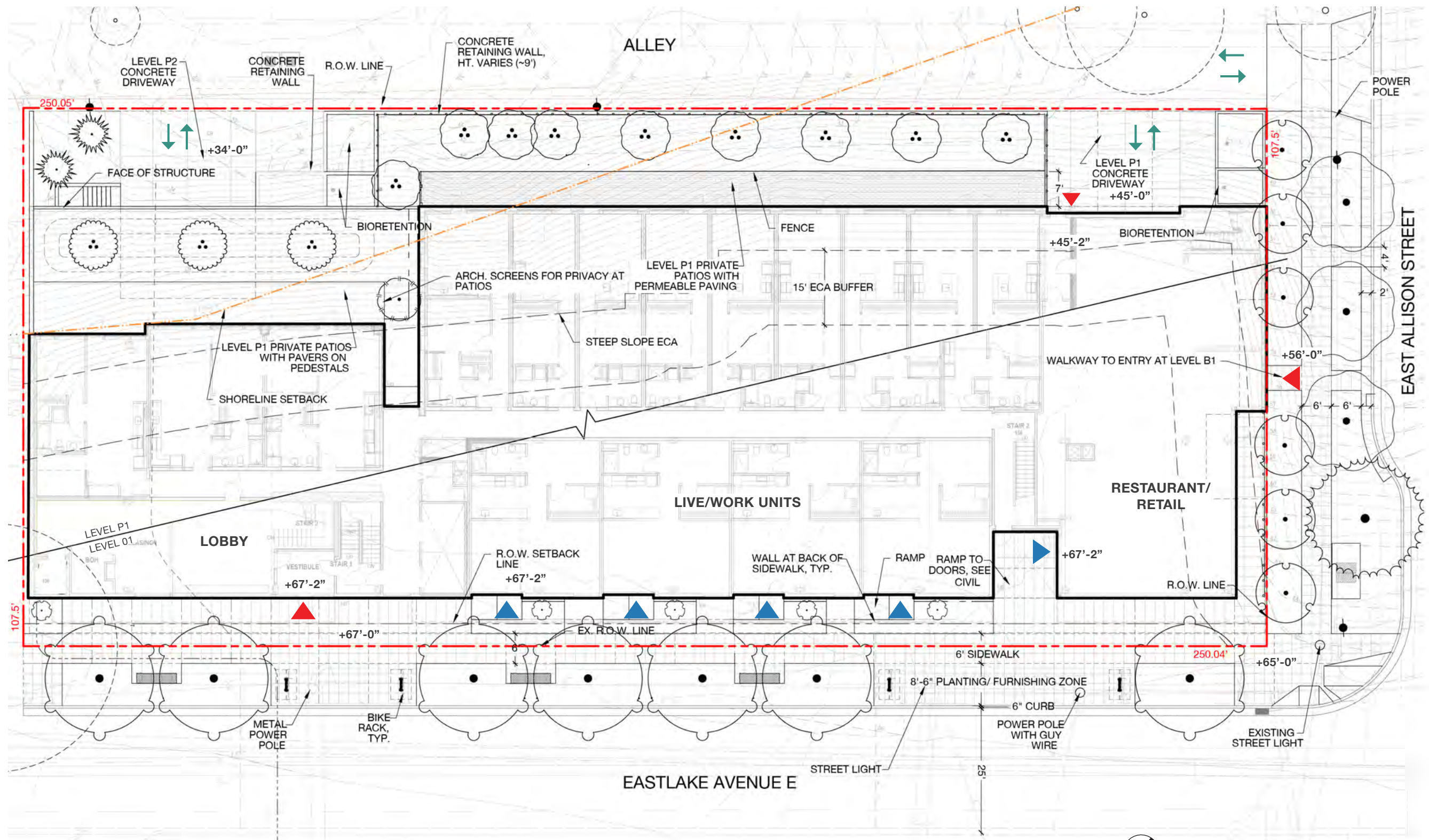
SEATTLE LAND USE CODE SUMMARY

Parcel Nos	195970-2735	
Lot Area	27,505-sf (±0.6314-acres)	
Zoning	NC3-55 (M)	
Overlay	Urban Commercial Shoreline Area (partial), Eastlake Urban Village	
Permitted Uses	Residential uses, live-work units, drinking establishments and restaurants	Will comply
Street Level Uses	Residential and commercial uses both permitted at street level	Will comply
Street Level Standards	<p>Basic street-level requirements:</p> <ul style="list-style-type: none"> - Blank segments on the street-facing façade between 2 and 8 feet above the sidewalk may not exceed 20 foot in width - The total of all blank façade segments may not exceed 40 percent of the width of the façade of the structure along the street - Street-level, street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks or other approved landscaped or open spaces are provided <p>Non-residential street-level requirements:</p> <ul style="list-style-type: none"> - Sixty percent of the street-facing façade between 2 and 8 feet above the sidewalk shall be transparent. - Non-residential uses greater than 600 sf shall extend an average depth of at least 30 feet and a minimum depth of 15 feet - Non-residential uses at street level shall have a floor-to-floor height of at least 13 feet <p>Where residential uses are located along a street-level, street-facing façade:</p> <ul style="list-style-type: none"> - At least one of the facades containing a residential use shall have a visually prominent pedestrian entry <p>When a live-work unit is located on a street-level, street-facing façade:</p> <ul style="list-style-type: none"> - The portion of each unit where business is conducted must be a minimum of 300sf and must be located between the street and residential portion - Each live-work unit must have a pedestrian entry on the street-facing façade and provide direct access to the non-residential portions of the unit 	Will comply
Structure Height	<p>Maximum structure height as zoned: 55-ft</p> <p>Rooftop features:</p> <ul style="list-style-type: none"> - Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets and firewalls permitted to exceed maximum height limit up to 4-ft - Solar collectors, stair penthouses, and mechanical equipment may extend 15-ft above maximum height limit provided roof coverage does not exceed 25% - Elevator penthouses may extend 16-ft above maximum height limit - Mechanical equipment and elevator penthouses to be screened 	Will comply
FAR	<p>Floor Area Ratio:</p> <ul style="list-style-type: none"> - Base FAR limit: 3.75 <p>Gross Floor Area not counted towards FAR:</p> <ul style="list-style-type: none"> - All underground stories or portions of stories - Portions of a story less than 4-ft above existing or finished grade, whichever is lower 	Maximum FAR limit: 103,143-sf
Setbacks	4.5 sidewalk easement, 2.5' Alley Dedication, Shoreline Setback. Setback requirements do not limit underground structures.	Will comply
Landscaping And Screening	<p>Green Factor of ≥0.30 required</p> <p>Street trees required with any development proposal</p> <p>Standards for landscaping and screening where required for certain uses to consist of fences, walls, or landscaped areas including bio-retention facilities</p>	Will comply
Light and Glare	Exterior lighting to be shielded and directed away from adjacent uses	Will comply
Parking	<p>No parking required for non-residential in urban villages within frequent transit service</p> <p>No parking required for residential in urban villages within frequent transit service</p> <p>Bicycle parking required for multi-family structures as follows: 1 space per DU long-term and 1 space per 20 DUs short-term. For residential uses, after first 50 parking spaces provided rate is reduced to 3/4 the ratio specified</p> <p>For eating and drinking establishments, 1 space per 5,000 sf long-term and 1 space per 1,000 sf short-term.</p>	<p>No parking required</p> <p>Will comply</p>

7.0 COMPOSITE SITE PLAN

LEGEND

- Residential Entry ▲
- Commercial Entry ▲
- Vehicular Access ⇕
- Property Line - - -
- Setback - · - ·



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8.0 EDG SUMMARY

APPROVED EDG CONCEPT

With unanimous support from the Design Review board, the design team has moved forward developing Design Concept 3 (the applicants preferred scheme).

Overall, the design concept aims to:

- 1. Massing:** Take advantage of unique site features and the corner lot condition as a gateway and transition point
- 2. Public Life:** Focus on opportunities for the project to make strong connections to adjacent streetscapes and their character
- 3. Open Space Concept:** Use grade changes to strategically locate structure and associated open spaces

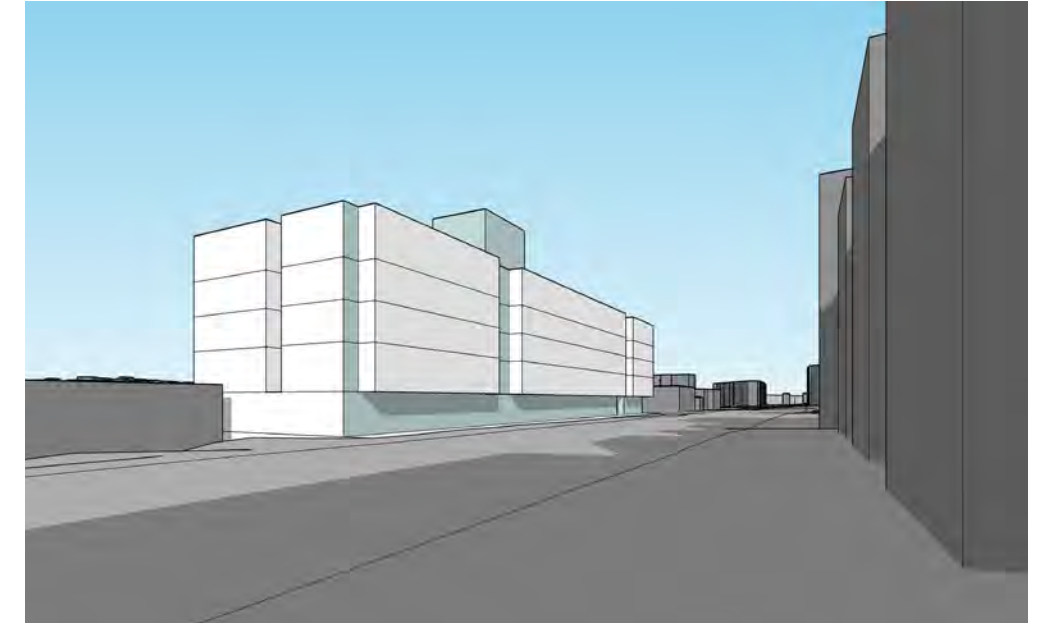
Massing- The massing moves for Concept 3 proportionally break up the volume on the east and west facades while maintaining a cohesive, well-proportioned building on all elevations. Along the east facade, the separated residential and commercial lobbies are highlighted through Levels 2-5, breaking up the upper volume into three well proportioned sections. Mechanical and elevator penthouses are strategically placed to highlight this massing move further, emphasizing the separate building entries. Along the west facade, more carving is implemented to break up the larger volume. Gaskets are incorporated to help further emphasize these major massing moves, defining a clear “base” at Level 1 which is now also identifiable along the west facade. The continuation of the gasket along the west elevation helps delineate the “top” and “base” of the building, and breaks the long facade into identifiable, yet cohesive breaks.

Public Life- The main residential lobby, now located slightly north of the southern property edge, is separated from the restaurant’s main entrance, activating both ends of the building along Eastlake Avenue East. Four well-proportioned Live/Work units span between the two entrances with individual entrances. An additional residential entrance is strategically placed on Level B1, based on the assumed regrading of East Allison Street.

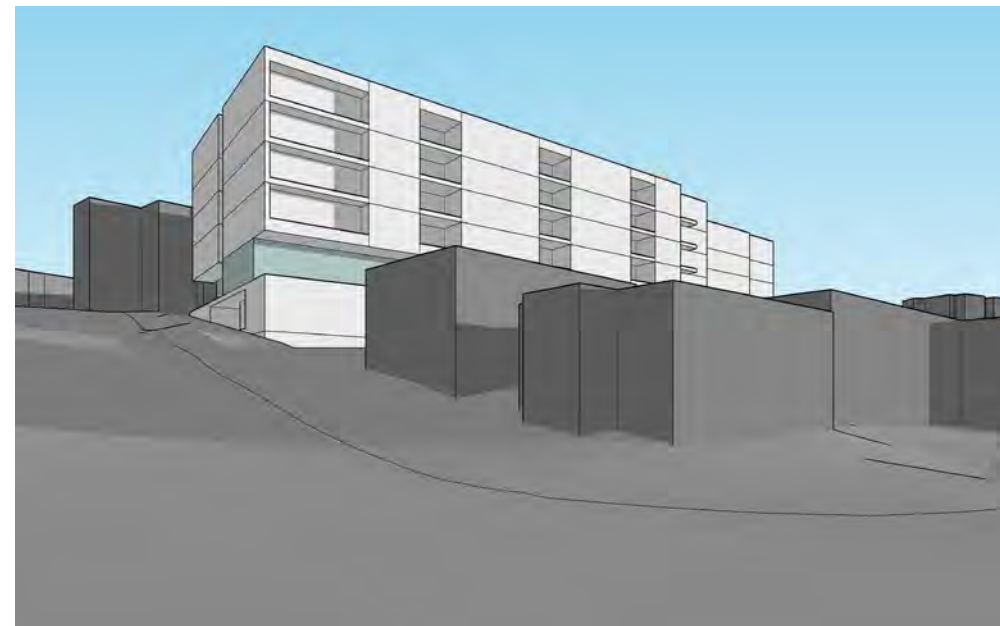
Open Space Concept- This area has been further refined to address the height, bulk, and scale transition of the west facade. Glazing, patios, and stepped bio-retention planters help alleviate the grade and activate the alley with a variety of uses.



EASTLAKE AVE E, LOOKING SOUTHWEST



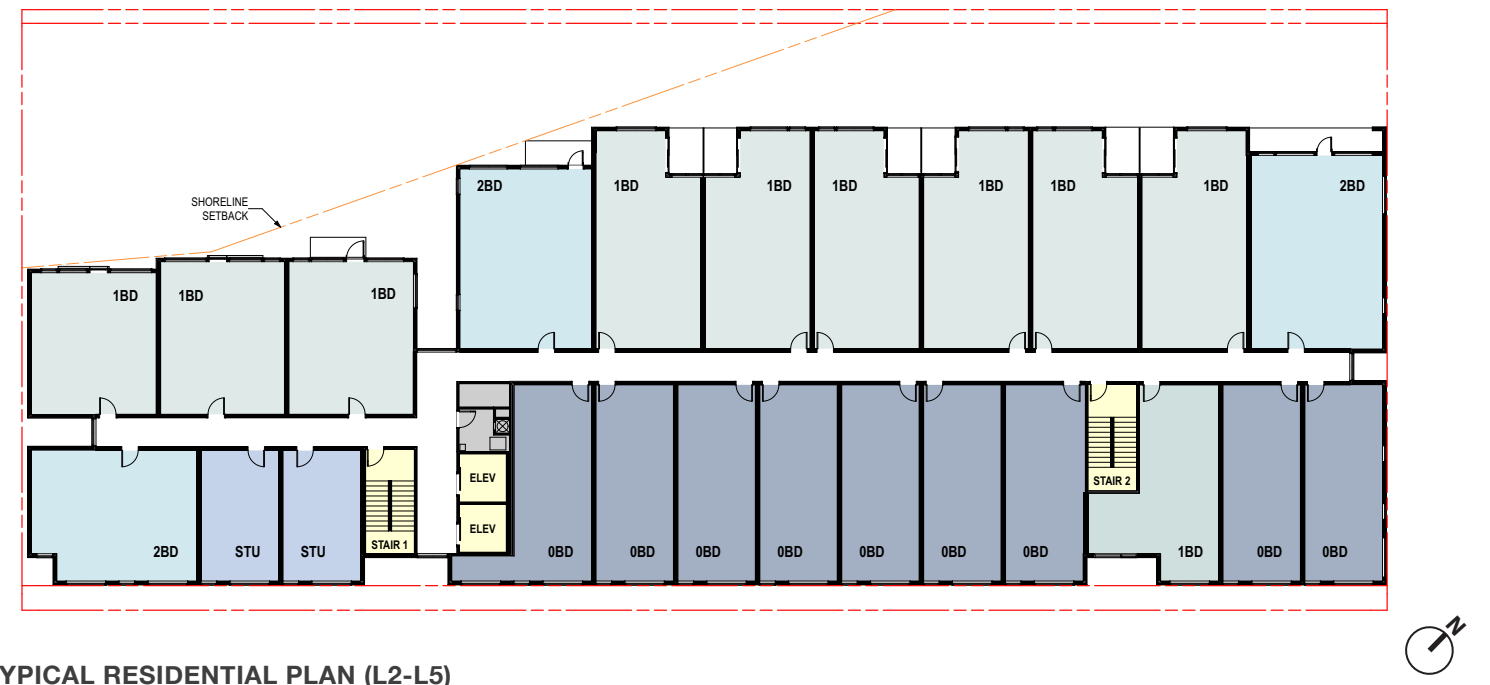
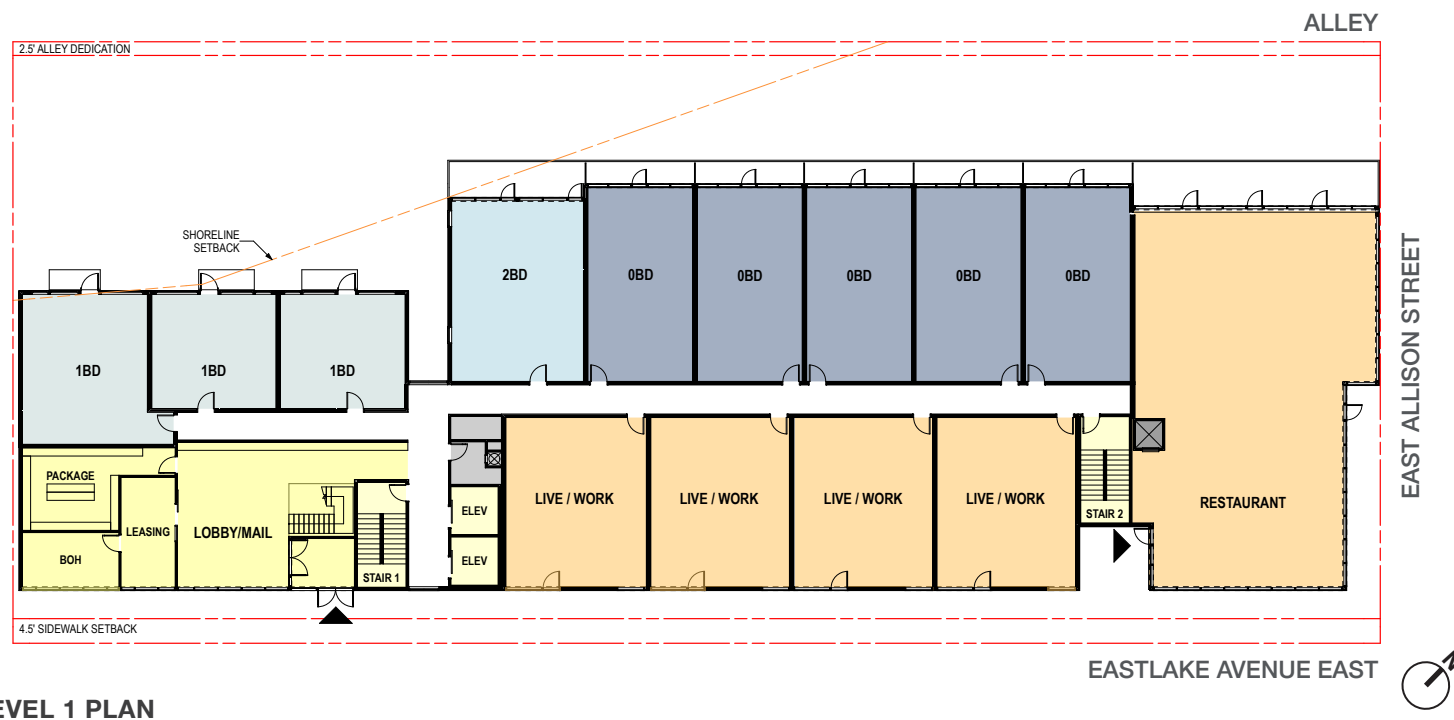
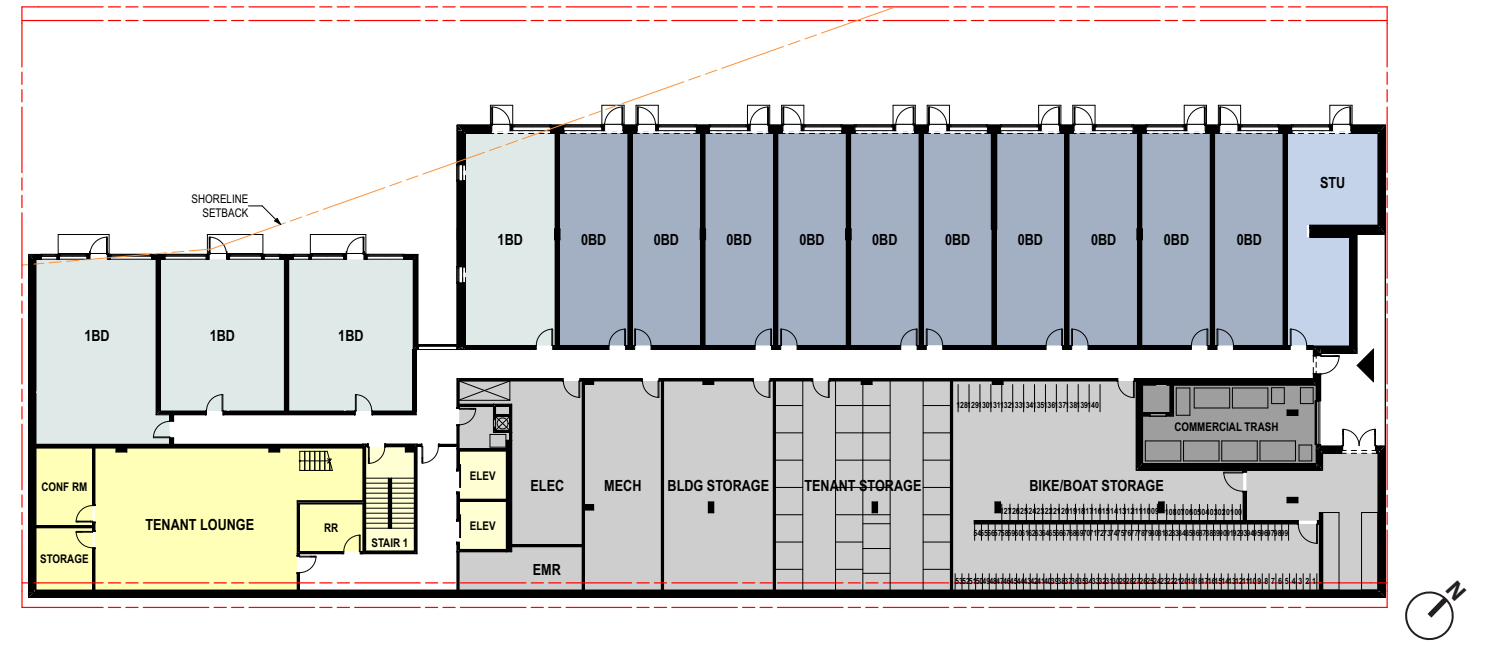
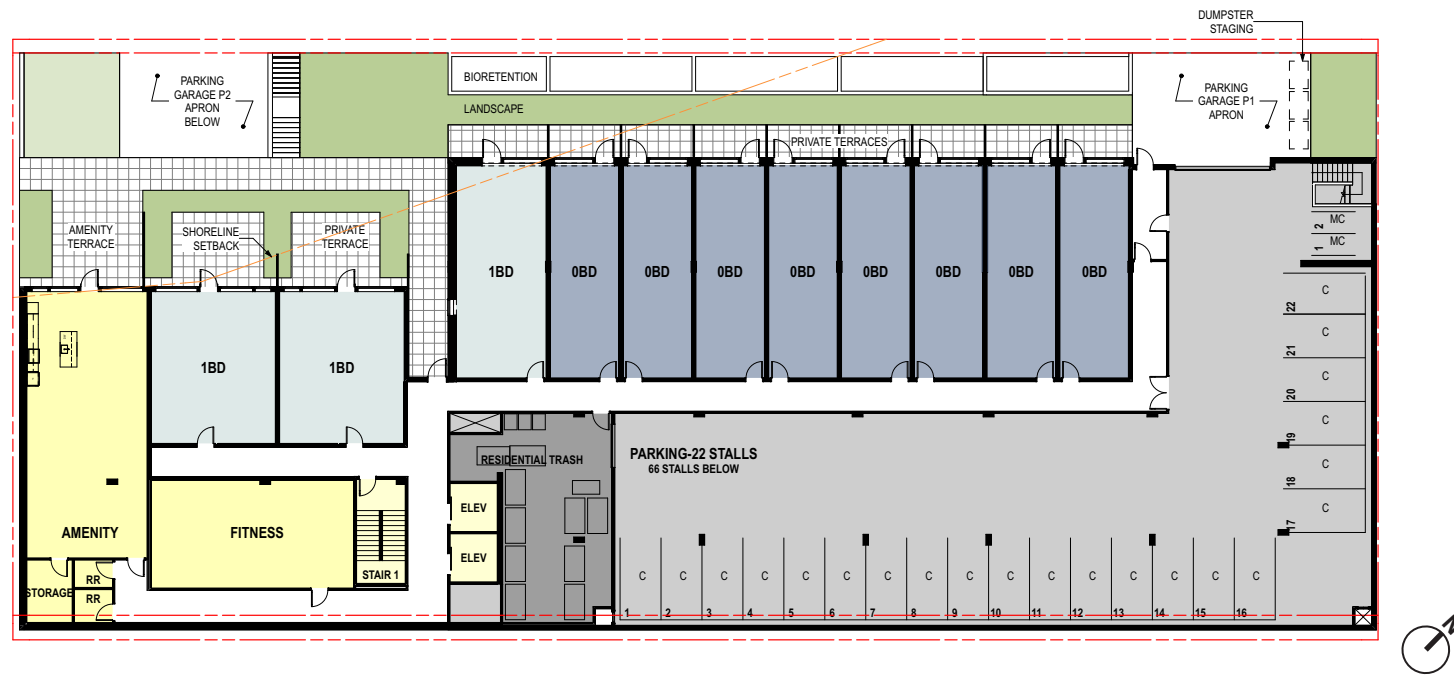
EASTLAKE AVE E, LOOKING NORTHWEST



FAIRVIEW AVE E, LOOKING SOUTHEAST



FAIRVIEW AVE E, LOOKING NORTHEAST



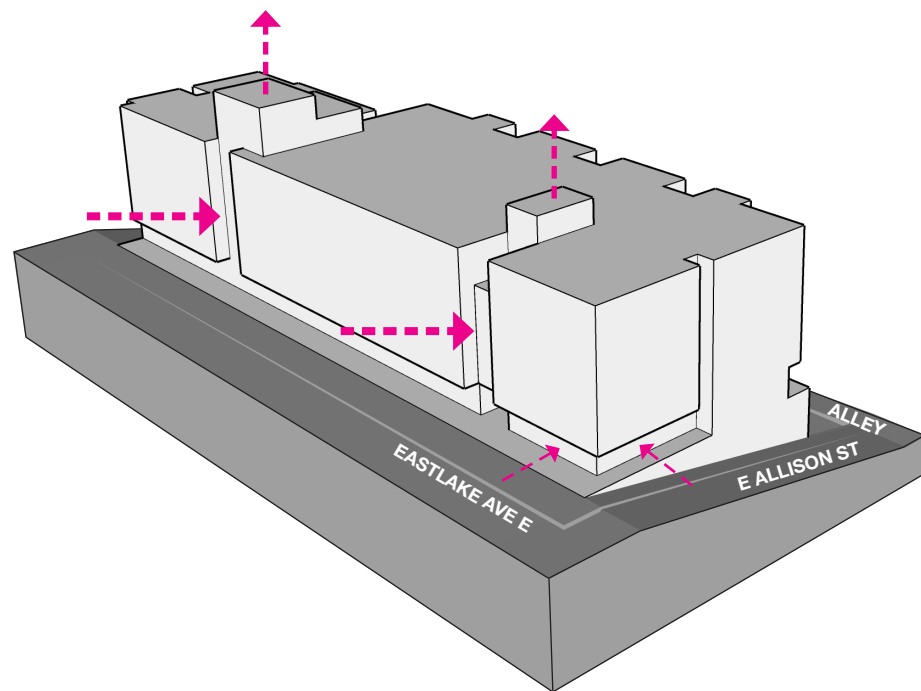
8.0 ITEMIZED RESPONSE TO EDG

1. MASSING SCHEMES:

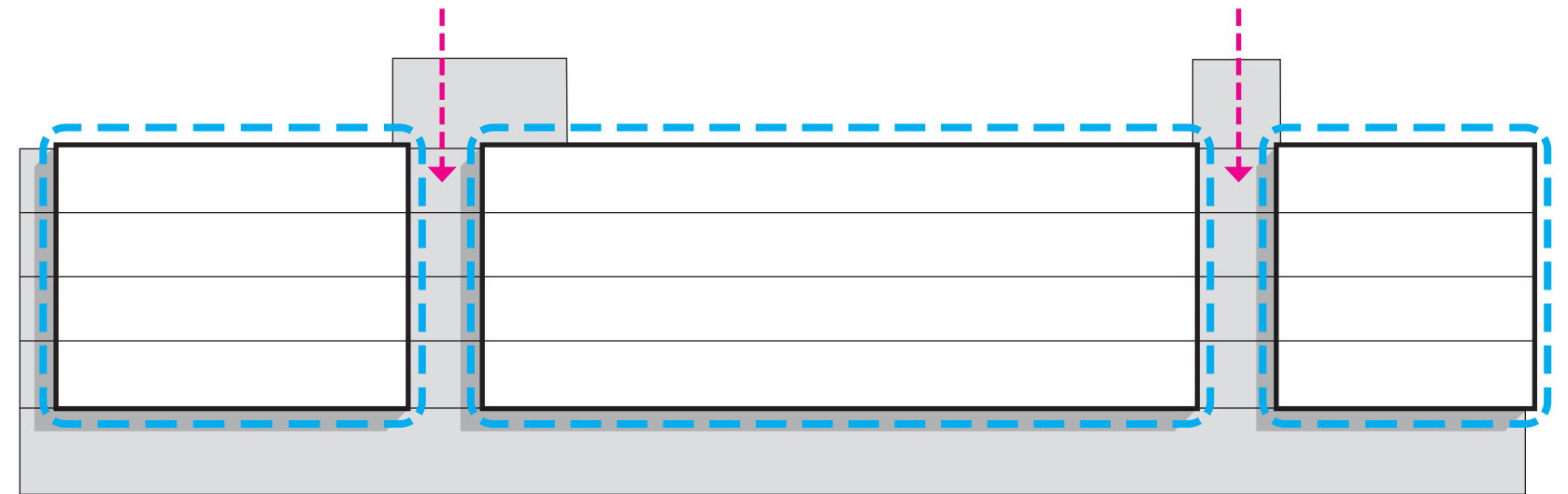
The Board agreed that the packet had provided sufficient analysis of the site and potential design options to provide guidance and move the project on to MUP submittal.

- 1a) The board unanimously supported Option 3 (the applicants preferred scheme) noting the deep facets that separate the building in to three masses and help mitigate the height, bulk, and scale of the project. (CS2-D, DC-2)

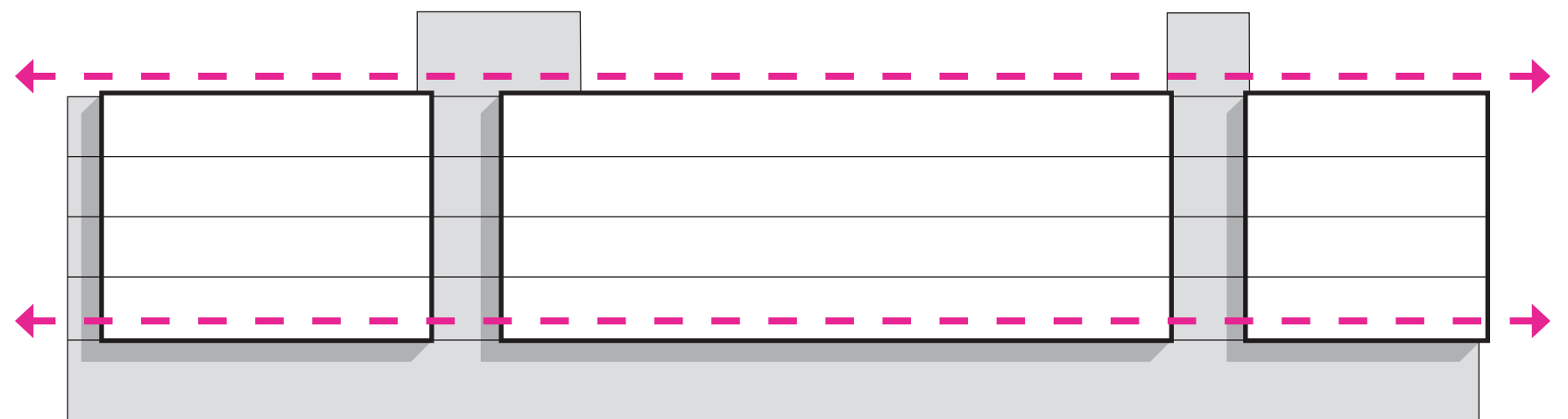
Response:
Comment upheld.



OPTION 3 - 3D MASSING STRATEGIES



ELEVATION HIERARCHY - MASSING BREAKS & RECESSED ENTRANCES



HORIZONTAL DATUM - CONSISTENT UNDERCUT & UNIFORM PARAPET



1. MASSING SCHEMES

- 1b** *b) The board agreed that although broken by these facets in Option 3, the consistent parapet height and uniform plane of the Eastlake facade would require the addition of depth, texture, and secondary detail on the Eastlake facade to minimize the height, bulk and scale, particularly its great length. (CS2-D, DC-2)*

Response:
Comment upheld.

8.0 ITEMIZED RESPONSE TO EDG

1. MASSING SCHEMES:

1c

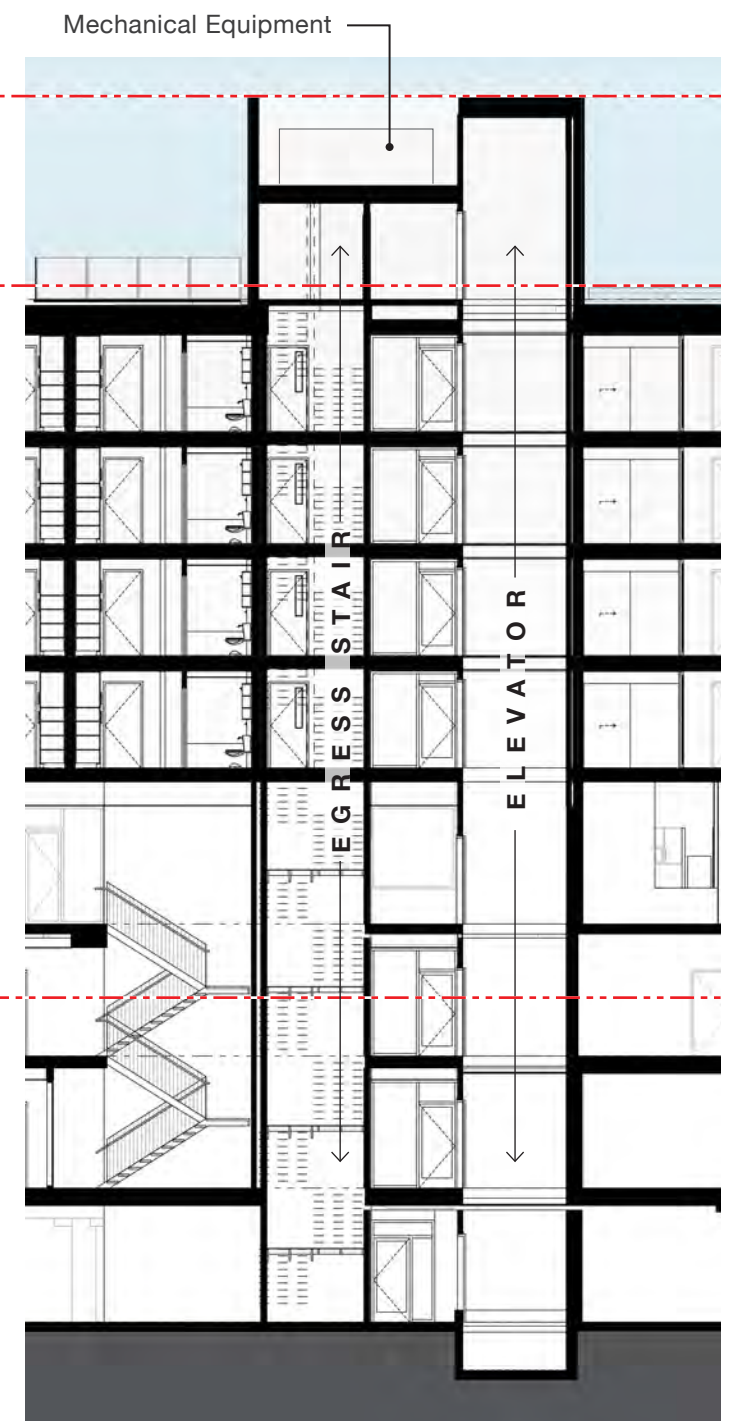
c) The board questioned the height and size of the mechanical penthouse in the preferred option and asked to have details explaining its use and composition for the Recommendation phase of review. (CS2-D, DC-2-A)

Response:

The height and size of the mechanical penthouse is required for the elevator overrun and to screen mechanical equipment. The penthouse complies to SMC 23.47A.012.4F, granting stair and elevator penthouses to extended up to 16' above the applicable land use height limit.



EAST ELEVATION AT EASTLAKE AVE E



BUILDING SECTION AT ELEVATOR PENTHOUSE



2. CONTEXT AND DESIGN CONCEPT

- 2a) *a) The Board noted the rich and varied history of the Eastlake neighborhood, its deep connection to the commercial and recreational opportunities of Lake Union and the rich and varied architectural character of the area. The Board agreed that the “story” of this project’s response to that context should be clearly explained at the next meeting and should be legibly expressed in the design. (CS2-B, DC2-B, CS2-A)*

Response:

The Eastlake neighborhood maintains a modest and charming residential character of historic and modern housing typologies, primarily of low to mid-rise in scale. Bordered by I-5 to the east and Lake Union to the west by a distance of only five blocks, the Eastlake Ave corridor provides a highly concentrated commercial center to this linear neighborhood.

The 2947 Eastlake project responds to these conditions by stitching together the neighborhood density between the eastern and western slopes of the neighborhood. The carefully choreographed massing composition forms a human-scaled undercut for pedestrian and retail experiences on the ground level. The residential levels above provide a critical mass of “eyes on the street” while creating a strong urban edge for the commercial street corridor. The building opens up on the west side towards the lake to take advantage of views for both residents and pedestrians. The western facade adjusts in scale and incorporates a variety of balconies indicative of the surrounding residential architecture.

The primarily stucco facade creates an added grain to the neighborhood fabric, while the accented finishes of metal panels and wood slats provide a fresh and contemporary aesthetic for the evolving neighborhood of Eastlake.

8.0 ITEMIZED RESPONSE TO EDG

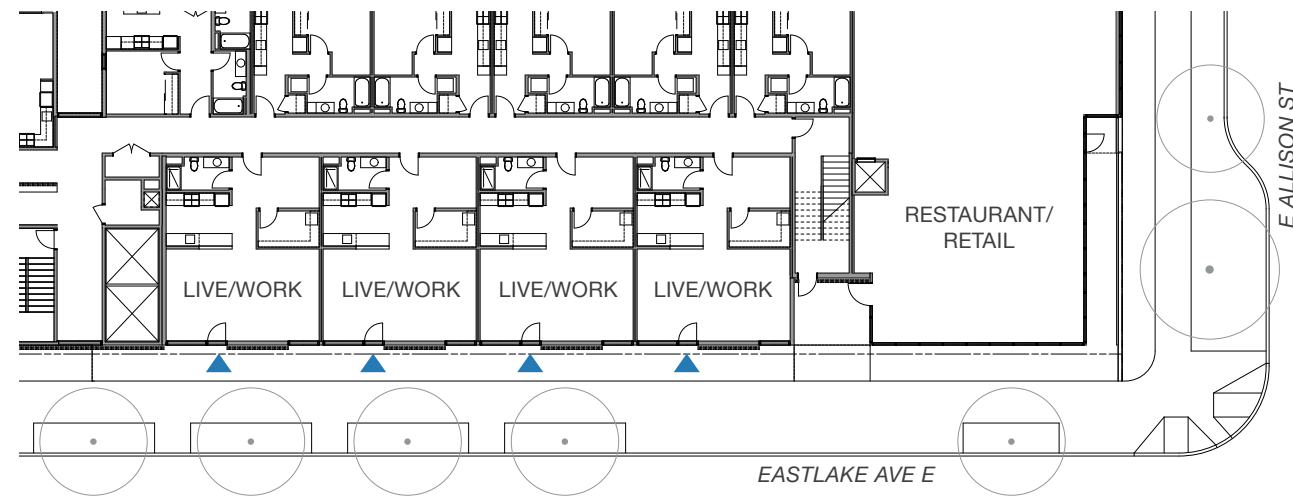
3. EASTLAKE STREETScape

3a a) The Board agreed that porosity, both physical and visual, and the programming of active and engaging uses at the street edge will be critical in creating connection to the public realm, pedestrian amenity and street level interaction, as called for in the guidelines. (CS2, PL3, PL2)

Response:
Comment upheld.

3b b) The Board expressed unanimous concern regarding the ability of the live work units on Eastlake to actively engage the street edge, particularly given the challenge of creating viable separation between commercial and residential uses in single story units. The Board agreed that this programming choice often resulted in awkward apartments with curtains drawn, and that particular care would be required to create an edge that fosters human interaction. (PL3-A, CS2-B, PL3-B, PL3-C, PL3)

Response:
The entrance to each Live/Work unit integrates a ramped surface and low concrete stem wall surrounded by a landscape buffer. These elements create a border and well defined boundary between the Live/Work units and the public realm of the sidewalk. Pedestrian benches between the street trees provide additional points of interest and activation for retail uses along Eastlake Ave E.



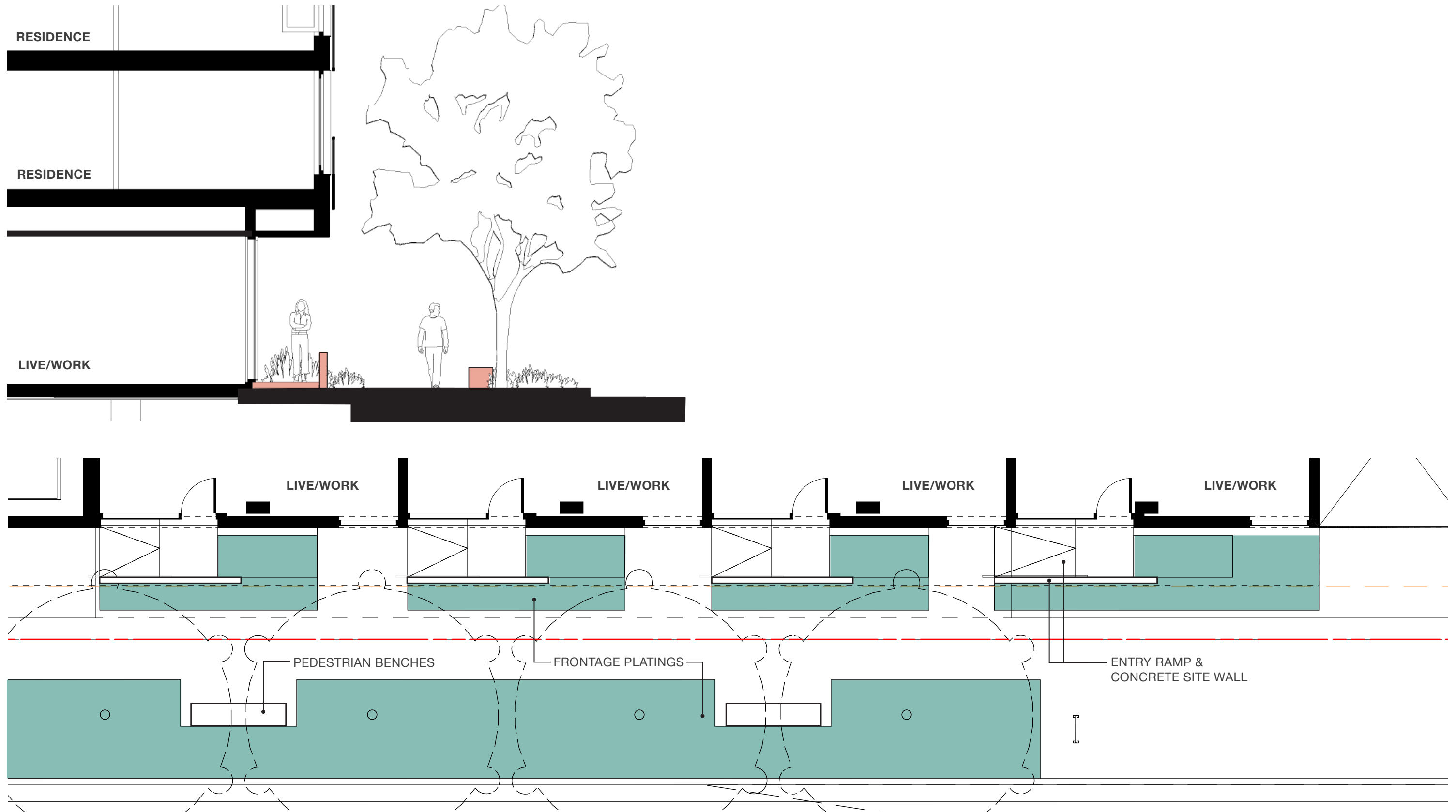
PREVIOUS SCHEME AT EDG



PROPOSED - EASTLAKE AVE E, LOOKING NORTHWEST



PROPOSED - EASTLAKE AVE E, LOOKING SOUTHWEST



PROPOSED - STREET SECTION & PLAN AT LIVE/WORK UNITS

8.0 ITEMIZED RESPONSE TO EDG

3. EASTLAKE STREETScape

3c c) The Board supported the restaurant use, full glazing, and outdoor areas associated with the commercial space at the corner of Eastlake Ave E and E Allison St, stating that it had great potential to create a vibrant and engaging neighborhood focal point in the manner of the existing use on site. (DC1-A, PL3-C, PL1)

Response:
Comment Upheld.

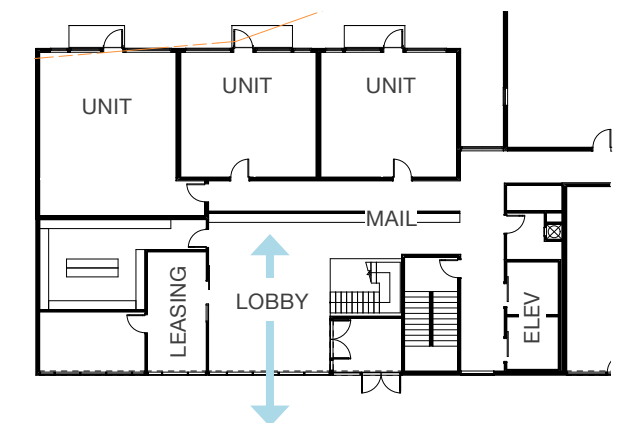




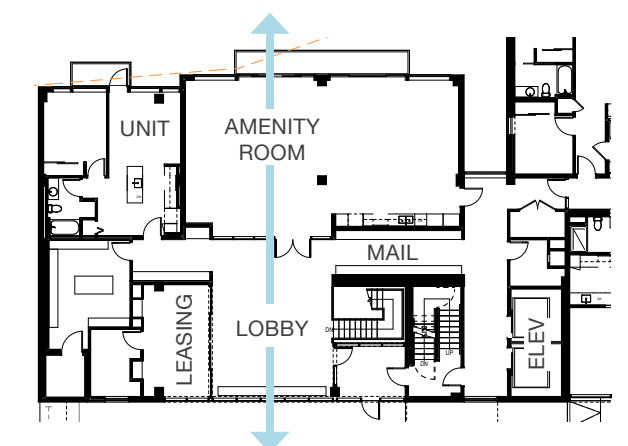
3. EASTLAKE STREETScape

3d d) The Board agreed that the entry lobby and associated uses (including leasing and back of house uses proposed at the street frontage) did not appear to be configured in a manner that would create activity and foster human interaction as called for in the Guidelines. The applicant provided additional information regarding the development of the lobby design and intention to eliminate residential units, in favor of communal space that would be extensively glazed and visually connected to the street and to the lake beyond. The Board unanimously supported this design intent. (PL3, DC3-A)

Response:
Comment upheld. See below.



PREVIOUS SCHEME AT EDG



PROPOSED DESIGN

8.0 ITEMIZED RESPONSE TO EDG

3. EASTLAKE STREETScape

3d

Response Continued:

The building entrance has been redesigned to provide a more active facade with high visual transparencies to the entry lobby, leasing, and amenity stair. The leasing, break room and elevator lobby also include exterior glazing behind perforated areas of the metal panel facade.

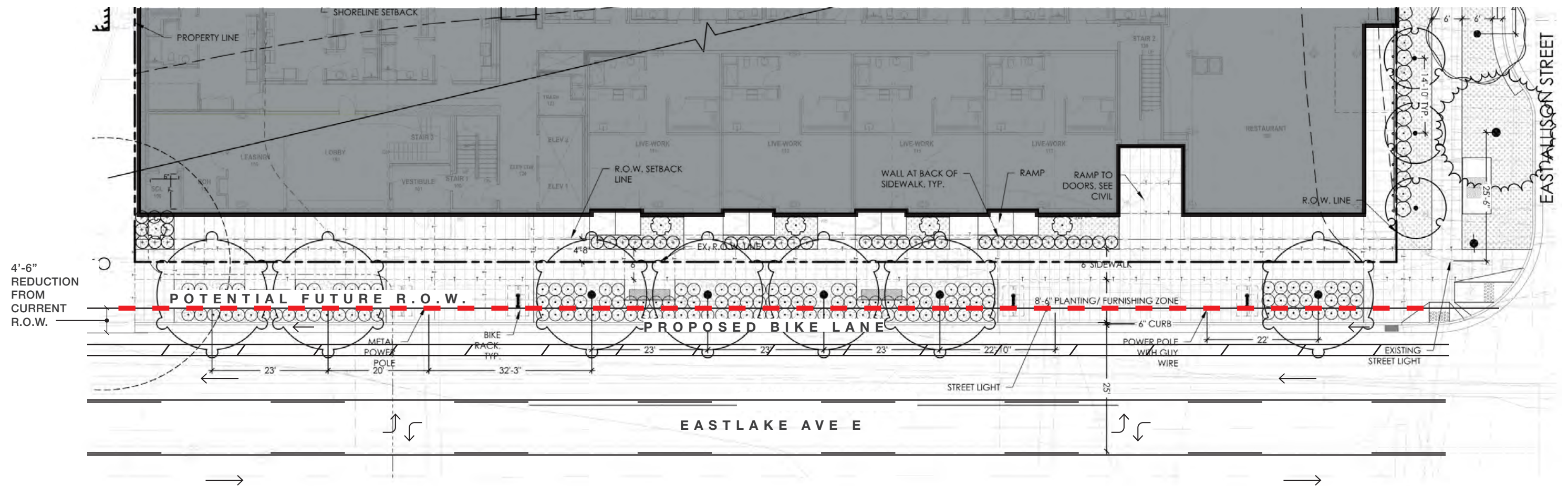




3. EASTLAKE STREETScape

3e e) The Board recognized that the street dedication was required by SDOT to allow for a future street widening. The Board asked that the possibility of a wider future street be considered and shown in the design at the Recommendation phase of review.

Response:
The new streetscape plan follows specific requests from SDOT, including a 6' wide sidewalk corridor and an 8' wide planting/furnishing zone adjacent to the curb. The street trees are placed beyond the future potential roadway extension of 4'-6". The current bus stop will be moved to a new location beyond the boundaries of this site with the development of the Rapid Ride line on Eastlake Ave E.



8.0 ITEMIZED RESPONSE TO EDG

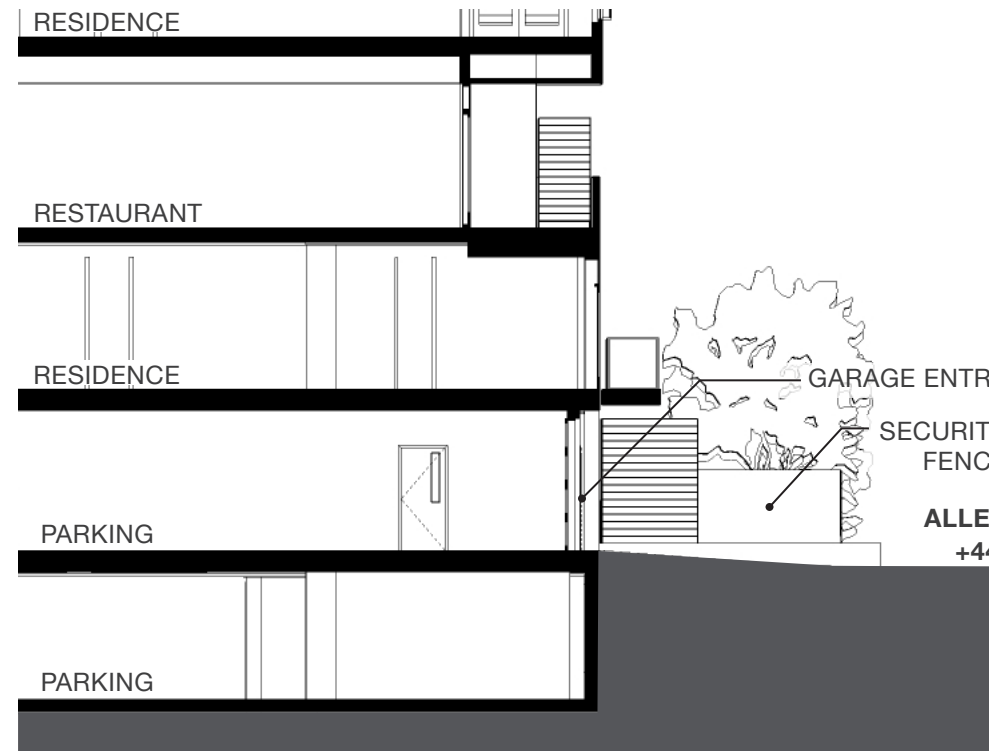
4. E ALLISON STREET AND ALLEY:

4a

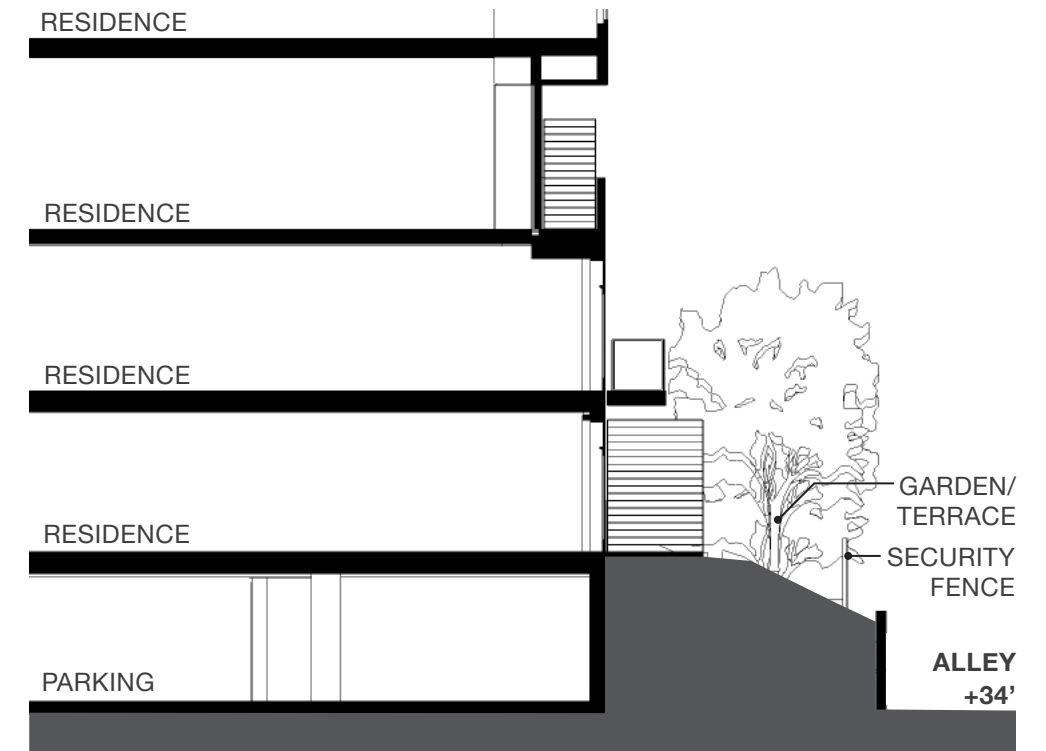
a) The Board expressed general support for the creation of a residential entrance on E. Allison Street and for the composition of the additional development shown at the alley edge. However, the Board agreed that limited information in the EDG packet made it difficult to understand these areas, particularly retaining walls and bioretention, and how each responded to the significant grades. For the next review phase please include complete details including orthographic and perspective drawings showing this information. (CS1-C, CS1-E.2, CS2-B, PL1)

Response:

The proposed design integrates residential units and a buffer of garden terraces on Level P1. The alley grades take advantage of the sloped site to provide parking garage entrances on Levels P1 and P2. A concrete retaining wall and security fence with integrated plantings maintain consistent grades for the patio and garden spaces. These elements provide a residential character to the alley while responding to the changing grades of the alley.



SECTION A - ALLEY



SECTION B - ALLEY





4. E ALLISON STREET AND ALLEY:

- 4a Response Continued:**
The residential entrance along E. Allison Street is located adjacent to the sidewalk on Level B1. Placed midway on the facade, the entry creates a human scale and provides residents ample access to bike and boat storage. A window was added to the adjacent residential unit to further activate the facade and provide additional ventilation and daylight. A planting buffer creates a boundary between the building and sidewalk.
- 4b** *b) The Board agreed that the northwest corner of Level B1 may not be well suited for residential units and asked the applicant to demonstrate exploration of other possible uses associated with shared amenity or the restaurant space. (DC1-A)*

Response:
Due to the steep grades and non-commercial nature of E Allison St, the northwest corner of the building is best suited for residential use. The unit's balcony provides additional interest and activation to the corner.

8.0 ITEMIZED RESPONSE TO EDG

4. E ALLISON STREET AND ALLEY:

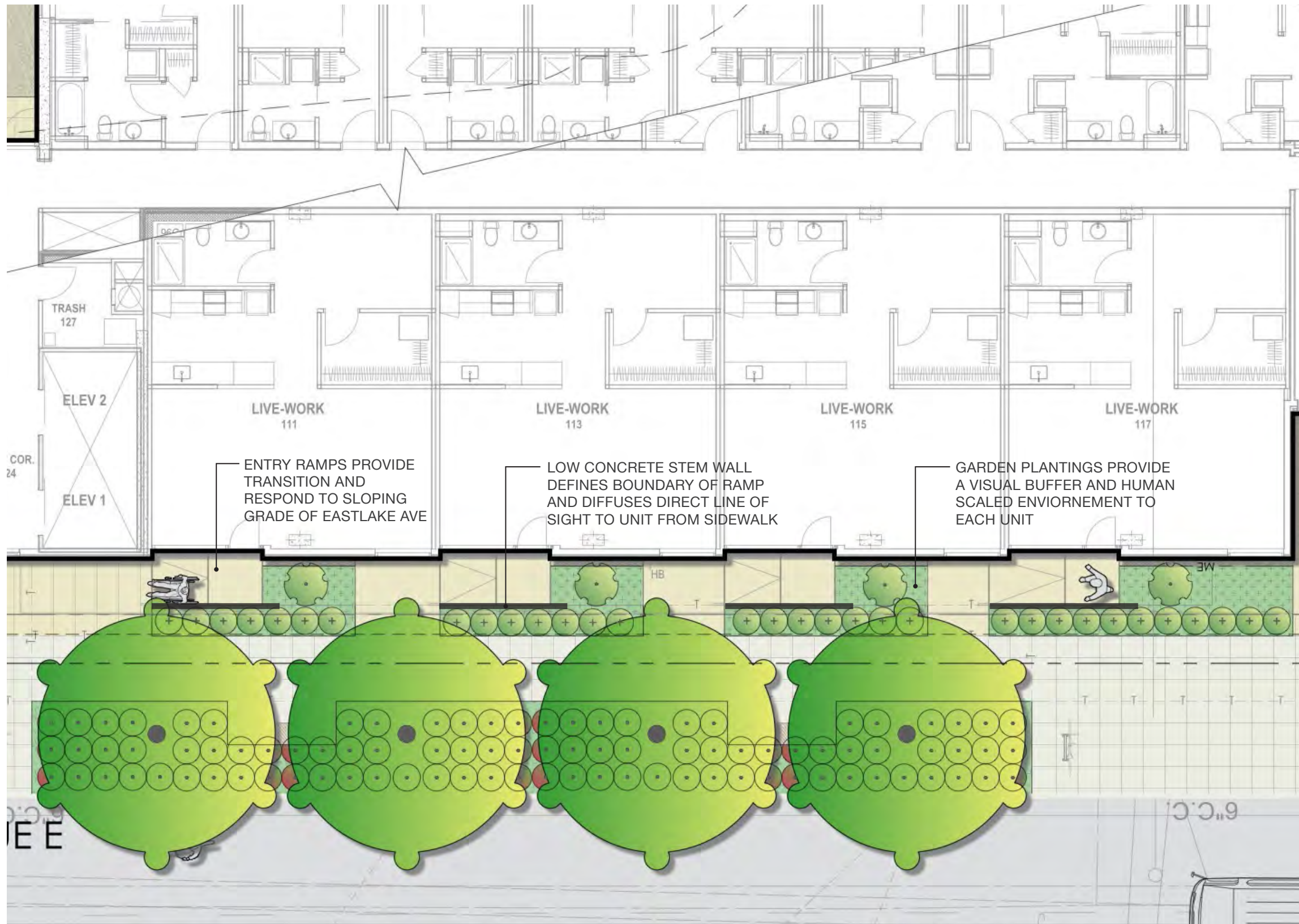
4C

e) The Board noted that the step in the southern volume associated with the Shoreline setback line should be carefully articulated to result in a unified and coherent design. (DC2, DC2-B)

Response:

The design team chose to make the step in the southern volume vertically continuous on all residential levels, highlighted by the dashed area on the adjacent image. This move clarifies the massing expression and simplifies exterior detailing. This expression also acts harmoniously with the stepped massing of the northern volume.





5. LANDSCAPE:

5a a) The Board supported the schematic landscape design and noted that complete site planning details including hardscape, landscape and planting plan will be required during the Design Recommendation review. (CS1, DC4-D)

Response: Comment Upheld.

5b b) The Board encouraged further development of landscaped areas at the Live/Work units on Eastlake to help create a buffer that strikes an appropriate balance between privacy and security and engagement with the public realm. (PL3-B, PL3-A)

Response:

The exterior entrances of each Live/Work unit integrate a ramped surface, low concrete stem wall and a planted garden space. This zone acts as a *stoop* or *front porch* on the avenue and provides a human-scaled transition between the public realm of the sidewalk and private interior spaces of the units.

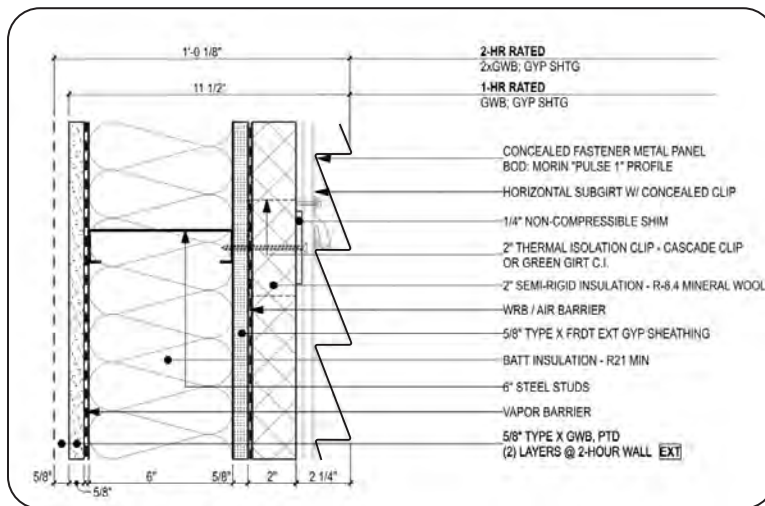
8.0 ITEMIZED RESPONSE TO EDG

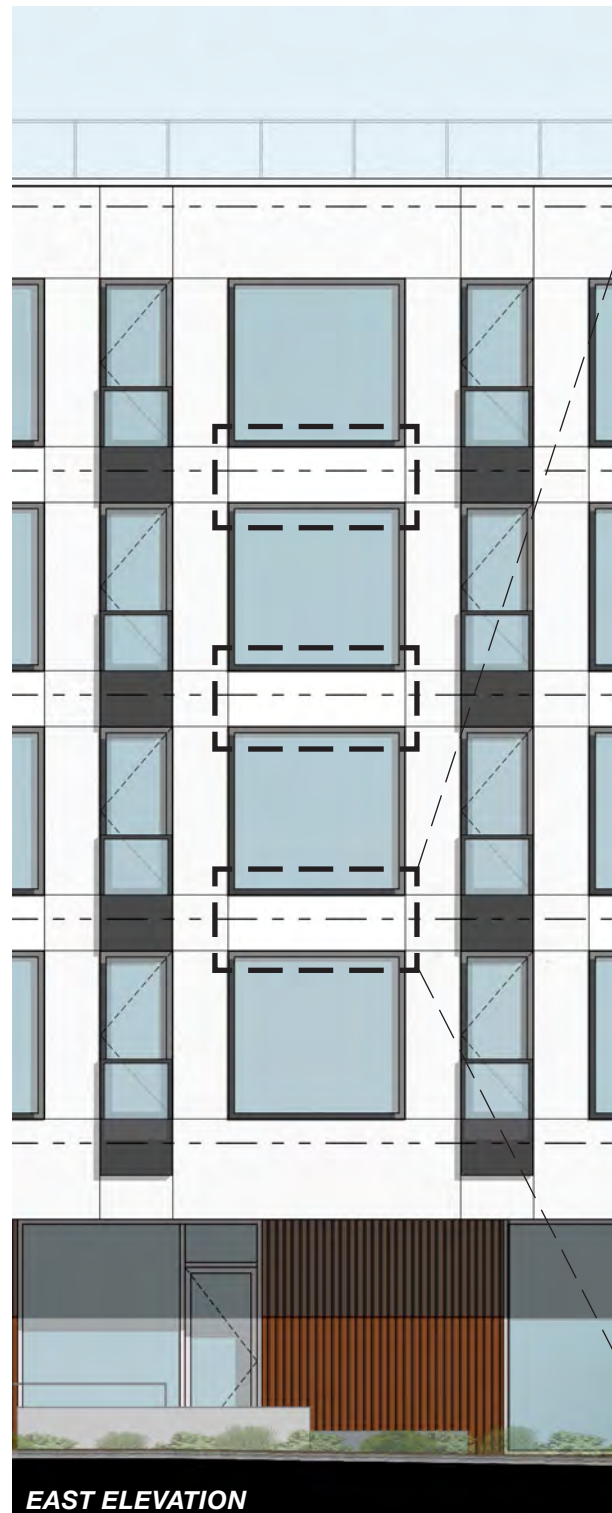
6. EXTERIOR MATERIALS AND DETAILING:

6a a) The Board agreed that the exterior materials and detailing will be critical elements in creating the depth, shadow, texture, and visual interest required to mitigate height bulk and scale, particularly the great length and flatness of the upper levels of the Eastlake Ave E facade. (DC2-A, CS2-D, DC2-C, DC2-B, DC2-D)

Response:

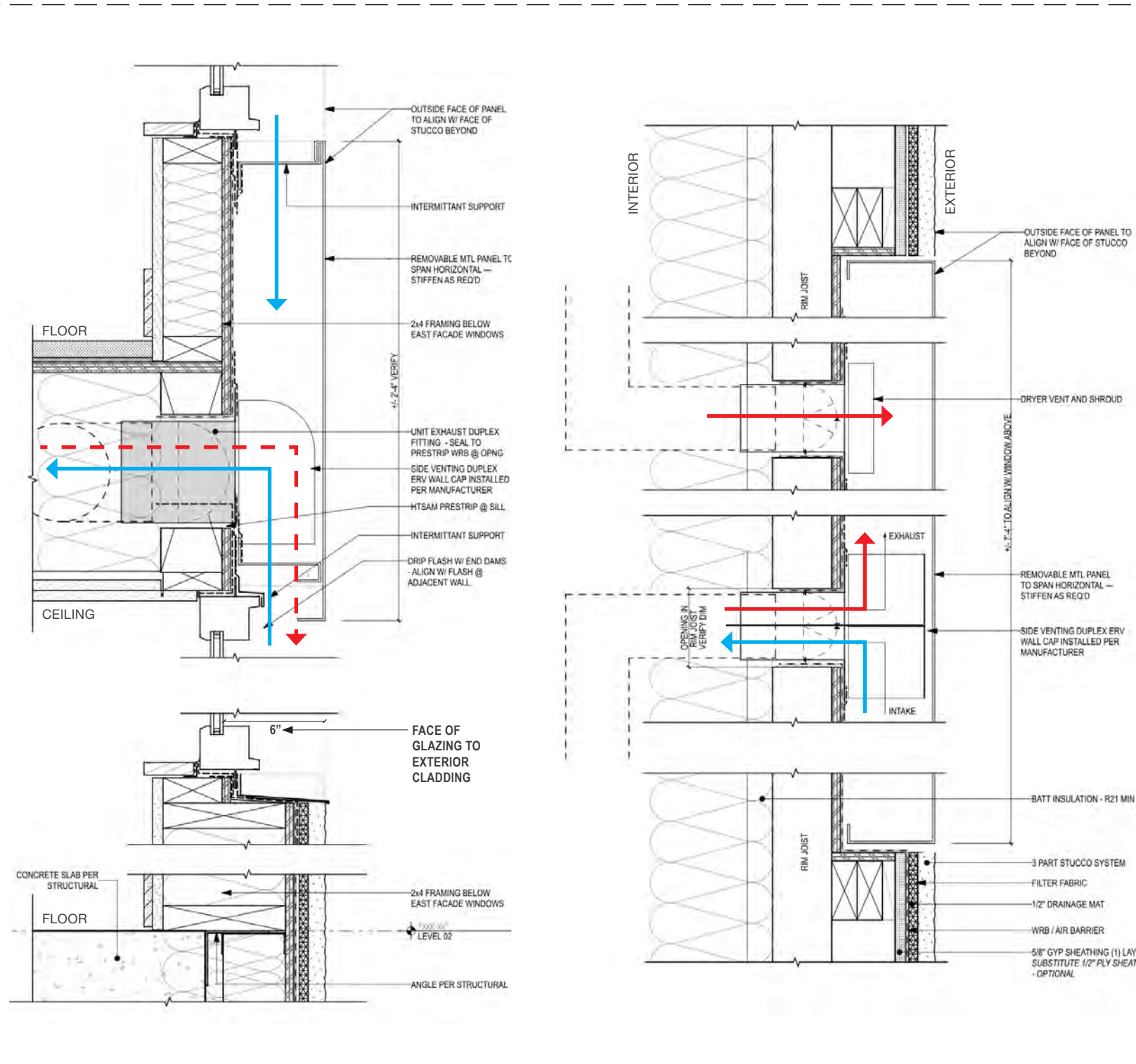
A variety of design strategies are employed to create visual interest and depth to the facade. The overall design concept creates a simple three-part massing of floating stucco boxes. These elements create an undercut at the street level for pedestrian scale. Vertical metal panel cladding contrasts the stucco to provide warmth and interest with additional color and shadow. The window glazing on levels 2-5 along Eastlake Ave and E Allison St is inset by 6" with black brake metal frames. This provides depth and shadow while complimenting the primarily white stucco facade. Carefully composed joint lines compliment the window pattern. Each apartment incorporates a juliet balcony and operable exterior door. These glass balconies with integrated black metal panels add texture and allow inhabitants to animate the facade.





EAST ELEVATION

CONCEALED VENTING LOCATIONS



EAST UNIT VENTILATION - SECTION DETAIL

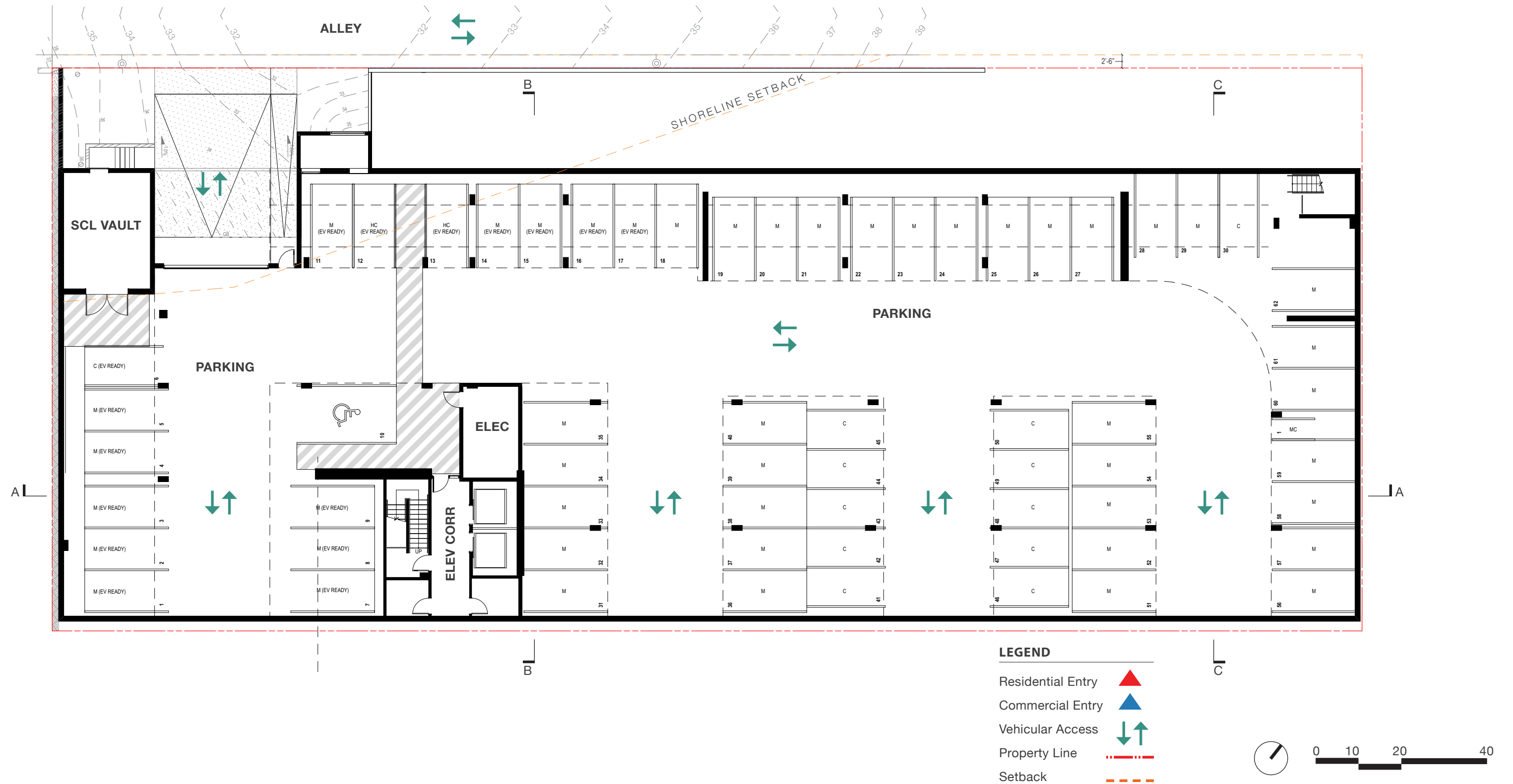
EAST UNIT VENTILATION - PLAN DETAIL

6. EXTERIOR MATERIALS AND DETAILING:

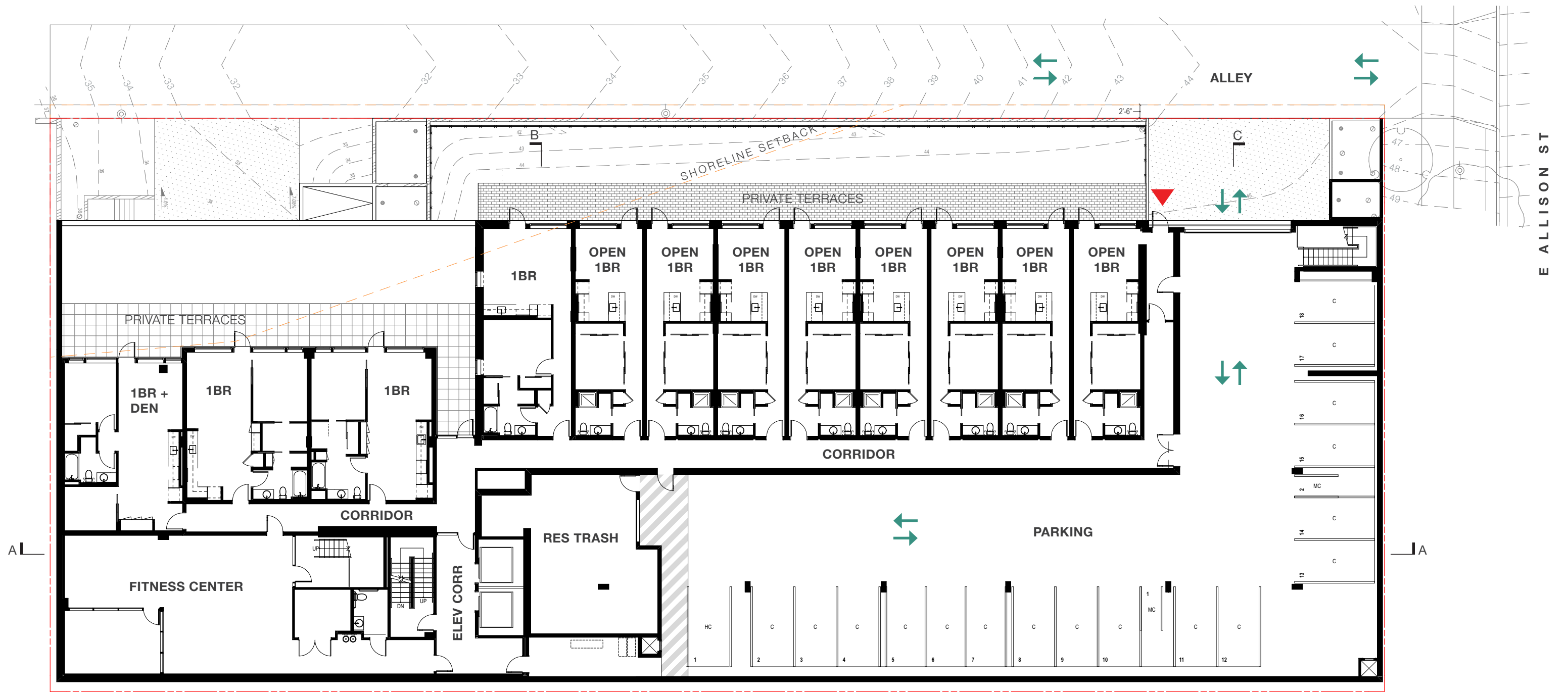
6b b) The Board stated that exterior vents should be included on the drawings for Design Recommendation review, and that vents should be flush and color-matched on all elevations. (DC2-C, DC4-A)

Response:
 For the east facing units along Eastlake Ave E, the mechanical venting for levels 2-4 will route horizontally to the exterior. The fifth level venting will route vertically to the roof. To conceal the horizontal venting, the facade incorporates a wall recess between the non-operable windows on each level. This provides a space for all required vent covers and shrouds to sit behind the perceived exterior wall plane. A demountable metal panel, color matched to the stucco facade, spans the length of the window and conceals the vents. This cavity is open-air and allows ventilation through the top and bottom spaces between the exterior edge of wall and metal panel.

9.0 FLOOR PLANS: LEVEL P2



9.0 FLOOR PLANS: LEVEL P1

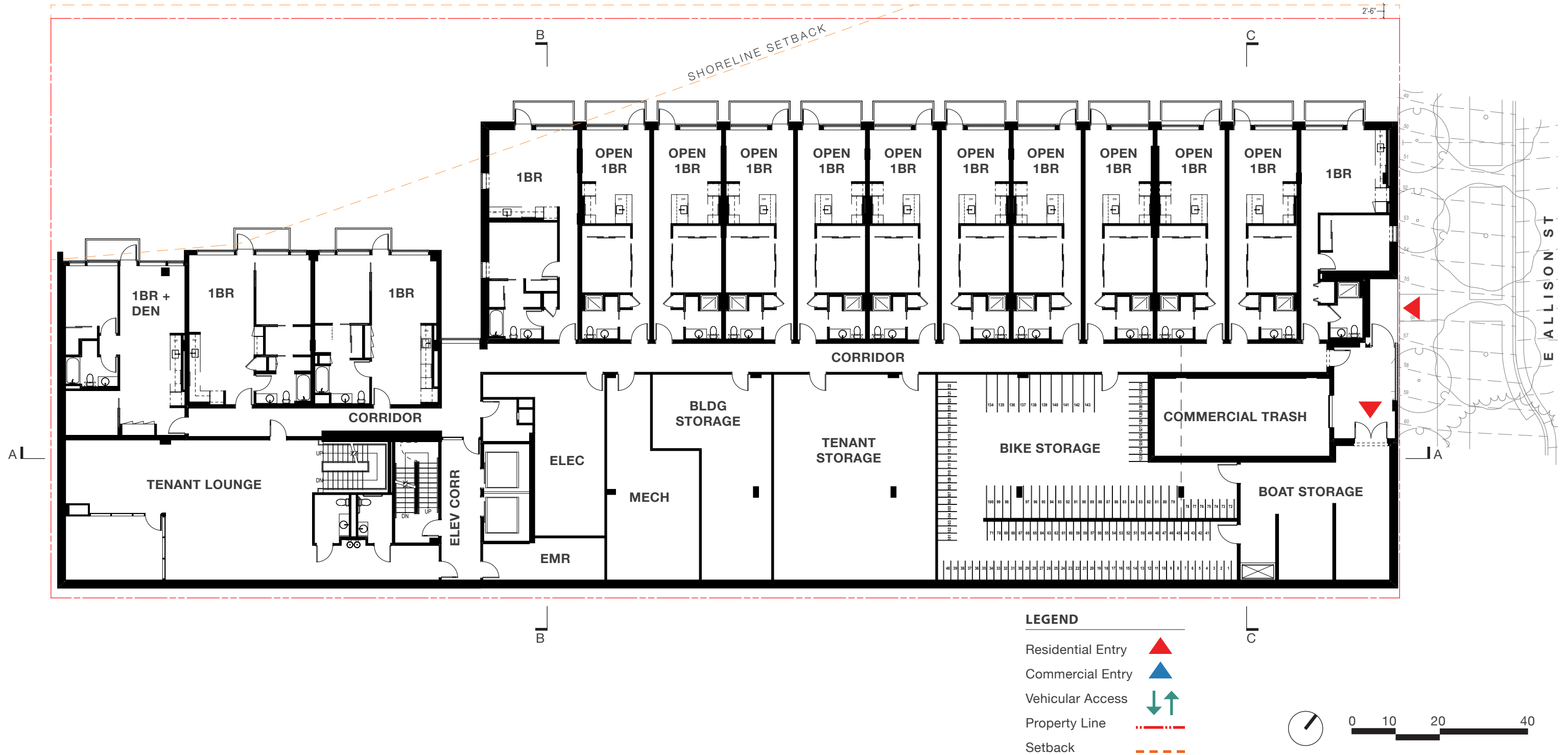


LEGEND

- Residential Entry ▲
- Commercial Entry ▲
- Vehicular Access ↕
- Property Line - - -
- Setback - - - -



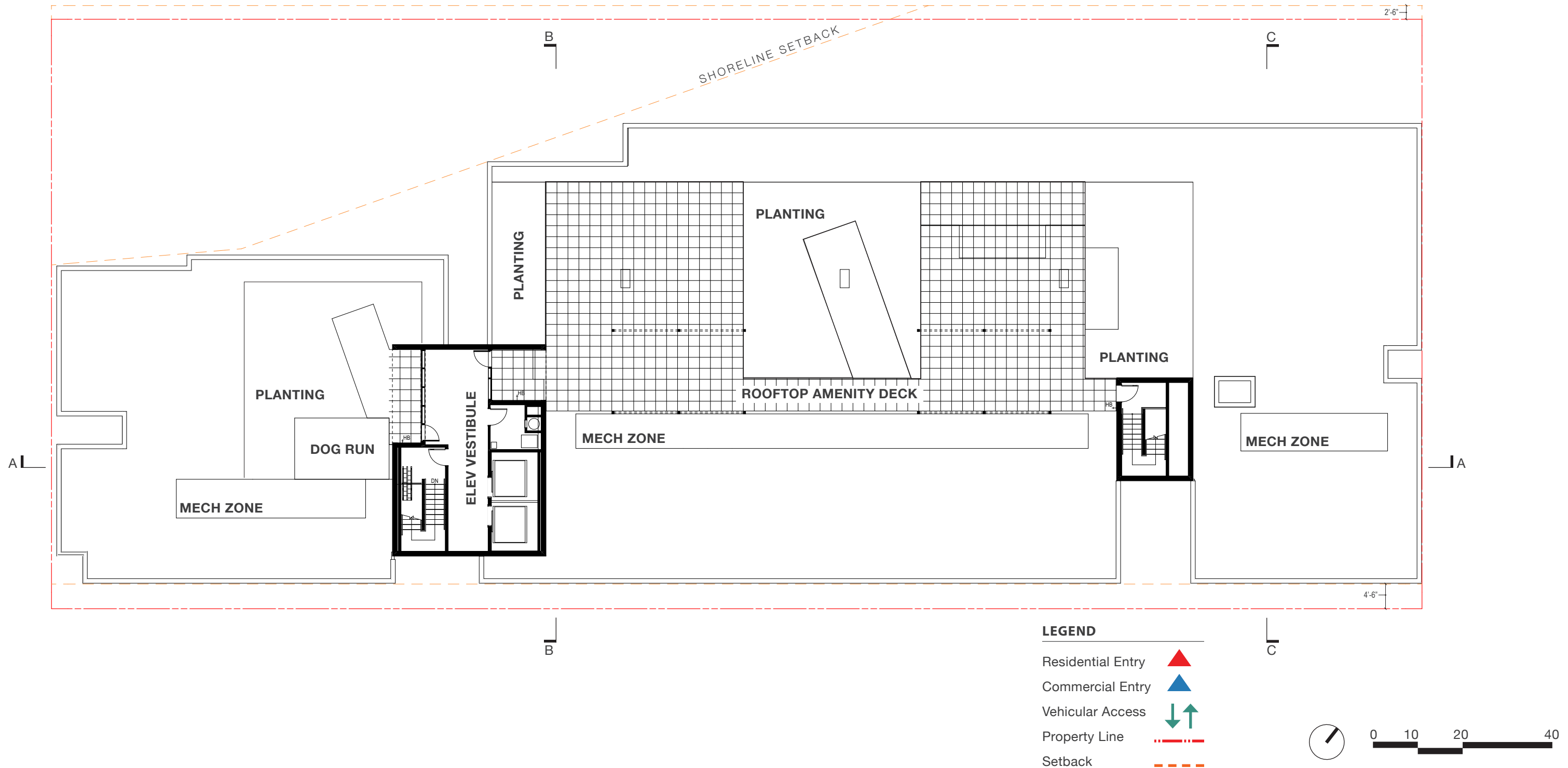
9.0 FLOOR PLANS: LEVEL B1





9.0 FLOOR PLANS: LEVEL 02-05 (TYP)





LEGEND

- Residential Entry ▲ (Red triangle)
- Commercial Entry ▲ (Blue triangle)
- Vehicular Access ↕ (Green double-headed arrow)
- Property Line - - - (Red dashed line)
- Setback - - - (Orange dashed line)



10.0 COMPOSITE LANDSCAPE / HARDSCAPE PLAN



overhang, active streetscape room for bikes



stone slab



terraces, storm planters

- | | |
|---|---|
| — | STONE SLAB
24" X 24" X 6"
SALT AND PEPPER GRANITE
SOURCE: COVERALL STONE |
| — | POURED PAVEMENT
DESCRIPTION |
| — | THROUGH JOINT |
| — | UNIT PAVING
DESCRIPTION |
| — | 2X2 CONCRETE PAVERS ON PEDESTALS |
| — | 12"X24"X2" THICK PRECAST CONCRETE PAVERS, TEXADA
HYDRAPRESSED SLABS, COLOR: NATURAL, AVAILABLE FROM
ABBOTSFORD CONCRETE PRODUCTS, 1-800-663-4091. |



RENDERED GROUND LEVEL LANDSCAPE PLAN

10.0 COMPOSITE LANDSCAPE / HARDSCAPE PLAN

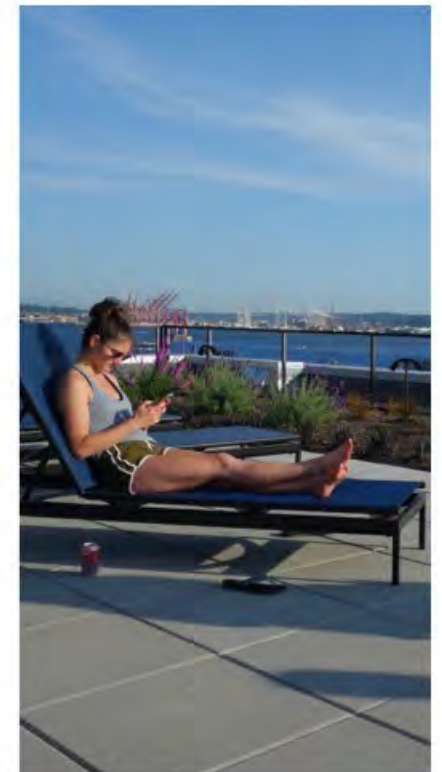
SYMBOL	UNIT PAVING DESCRIPTION	SYMBOL	DESCRIPTION
	2X2 CONCRETE PAVERS ON PEDESTALS		ARTIFICIAL TURF DOG RUN
	12'X24'X2" THICK PRECAST CONCRETE PAVERS, TEKADA HYDRAPRESSED SLABS, COLOR: NATURAL, AVAILABLE FROM ABBOTSFORD CONCRETE PRODUCTS, 1-800-663-4091.	SYMBOL	ROCK DESCRIPTION
SYMBOL	SITE FURNISHINGS DESCRIPTION		PEBBLE MULCH 7/8" WASHED DRAIN ROCK 2" MIN. DEPTH, 4" MAX. DEPTH, REF. LANDSCAPE DETAILS
	BARBECUE PROVIDED BY OWNER	SYMBOL	PLANTING DESCRIPTION
	SINK, REFERENCE ARCH FOR OUTDOOR KITCHEN		CRUSHED ROCK SURFACING
	SQUARE FIRE PIT 45" SQ. PALOFORM CALDERA, CORTEN STEEL, PLUMBED TO NATURAL GAS	SYMBOL	UNIT PAVING DESCRIPTION
	WOODEN BENCH		WOODEN DECKING



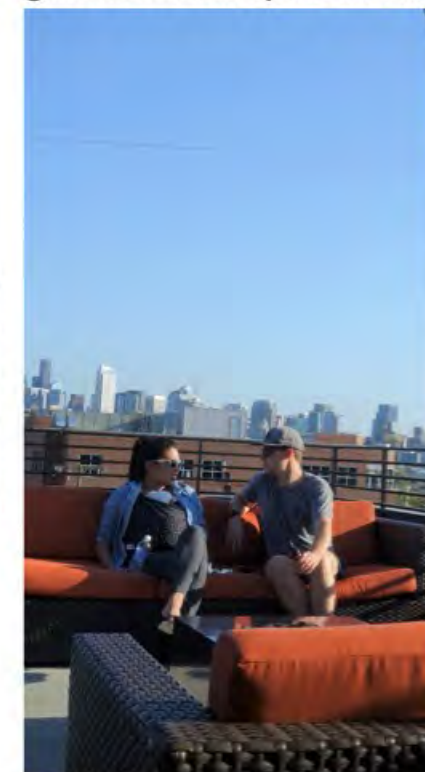
RENDERED ROOF DECK LANDSCAPE PLAN



green roof with perennials



lounging

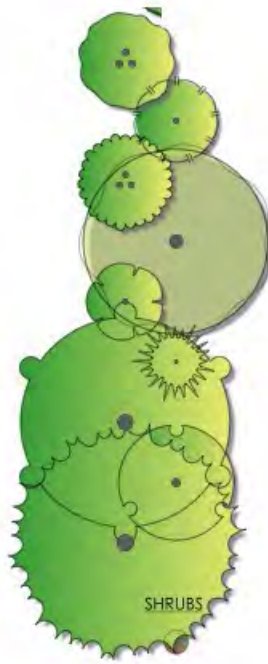


fire, friends & killer views



a room with a view

10.0 COMPOSITE LANDSCAPE / HARDSCAPE PLAN



- ACER CIRCINATUM / VINE MAPLE
- ACER PALMATUM 'SANGO KAKU' / CORAL BARK MAPLE
- AMELANCHIER ALNIFOLIA / SERVICEBERRY
- BETULA NIGRA 'BNMTF'™ / DURA HEAT RIVER BIRCH
- LAGERSTROEMIA X 'TUSCARORA' / RED CRAPE MYRTLE MULTI-TRUNK
- PINUS CONTORTA 'CONTORTA' / SHORE PINE
- QUERCUS COCCINEA / SCARLET OAK
- RHAMNUS PURSHIANA / CASCARA
- SEQUOIA SEMPERVIRENS 'APTOS BLUE' / COAST REDWOOD

BOTANICAL / COMMON NAME

ROW SHRUBS

- ILEX CRENATA 'CONVEXA' / CONVEX-LEAVED JAPANESE HOLLY
- ROSA X 'NOASCHNEE' / FLOWER CARPET WHITE GROUNDCOVER ROSE
- SPIRAEA THUNBERGII / THUNBERG SPIREA
- VIBURNUM DAVIDII / DAVID VIBURNUM

NATIVE HEDGE

- MAHONIA AQUIFOLIUM / OREGON GRAPE
- VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY

LARGE SHRUBS

BOTANICAL / COMMON NAME

- VIBURNUM X BODNANTENSE 'DAWN' / VIBURNUM

SHRUB AREAS

BOTANICAL / COMMON NAME

- NATIVE PLANT MIX AT GRADE**
- FRAGARIA CHILOENSIS / BEACH STRAWBERRY
 - MAHONIA AQUIFOLIUM / OREGON GRAPE
 - MAHONIA NERVOSA / CASCADE OREGON GRAPE
 - POLYSTICHUM MUNITUM / WESTERN SWORD FERN
 - RIBES SANGUINEUM / RED FLOWERING CURRANT
 - VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY

BIORETENTION MIX

- CAREX OBNUPTA / SLOUGH SEDGE
- IRIS SIBIRICA / SIBERIAN IRIS
- JUNCUS PATENS / CALIFORNIA GRAY RUSH

LOW SAND DUNES

- ARMERIA MARITIMA / SEA THRIFT
- ASTER X FRIKARTII 'MONCH' / MONCH FRIKART'S ASTER
- LEYMUS MOLLIS / AMERICAN DUNEGRASS
- NASSELLA TENUISSIMA / TEXAS NEEDLE GRASS
- PANICUM VIRGATUM 'ROTSTRAHLBUSCH' / ROTSTRAHLBUSCH RED SWITCH GRASS
- PENSTEMON X 'GARNET' / GARNET PENSTEMON
- SEDUM X 'AUTUMN JOY' / AUTUMN JOY SEDUM
- STIPA GIGANTEA / GIANT FEATHER GRASS
- VERBENA BONARIENSIS / TALL VERBENA

GREEN ROOF WITH PERENNIALS

- ACHILLEA MILLEFOLIUM 'SUMMER PASTELS' / SUMMER PASTELS YARROW
- AGAPANTHUS PRAECOX ORIENTALIS 'BENFRAN'™ / BABY PETE LILY OF THE NILE
- ASTER DOUGLASII / DOUGLAS ASTER

TREES



Acer circinatum
Vine Maple



Acer palmatum
Japanese Maple



Betula nigra 'Dura Heat'
Dura Heat River Birch



Quercus coccinea
Scarlet Oak

SHRUBS, ETC.



Ilex crenata 'convexa'
Japanese Holly



Rosa 'Noaschnee'
'White Flower Carpet' Rose



Spiraea x bumalda 'Denistar'
Superstar Spirea



Viburnum davidii
David's Viburnum



Mahonia aquifolium
Oregon Grape



Mahonia nervosa
Longleaf Mahonia



Ribes sanguineum
Red-Flowering Currant



Vaccinium ovatum
Evergreen Huckleberry

MIXES



Native Mix - Salal, Ferns, Mahonia



Bioplanter Mix: Kelsey Dogwood,
Slough Sedge



Elymus mollis
Dune Grass

Aster suspicatus
Douglas Aster



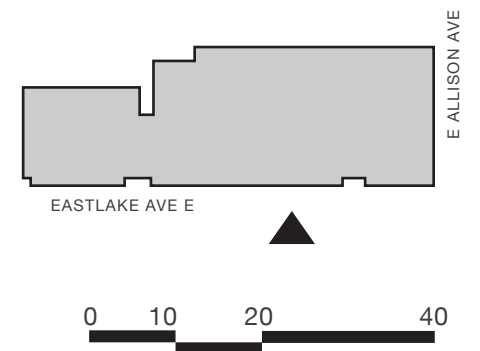
Sedum green roof with colorful
perennials

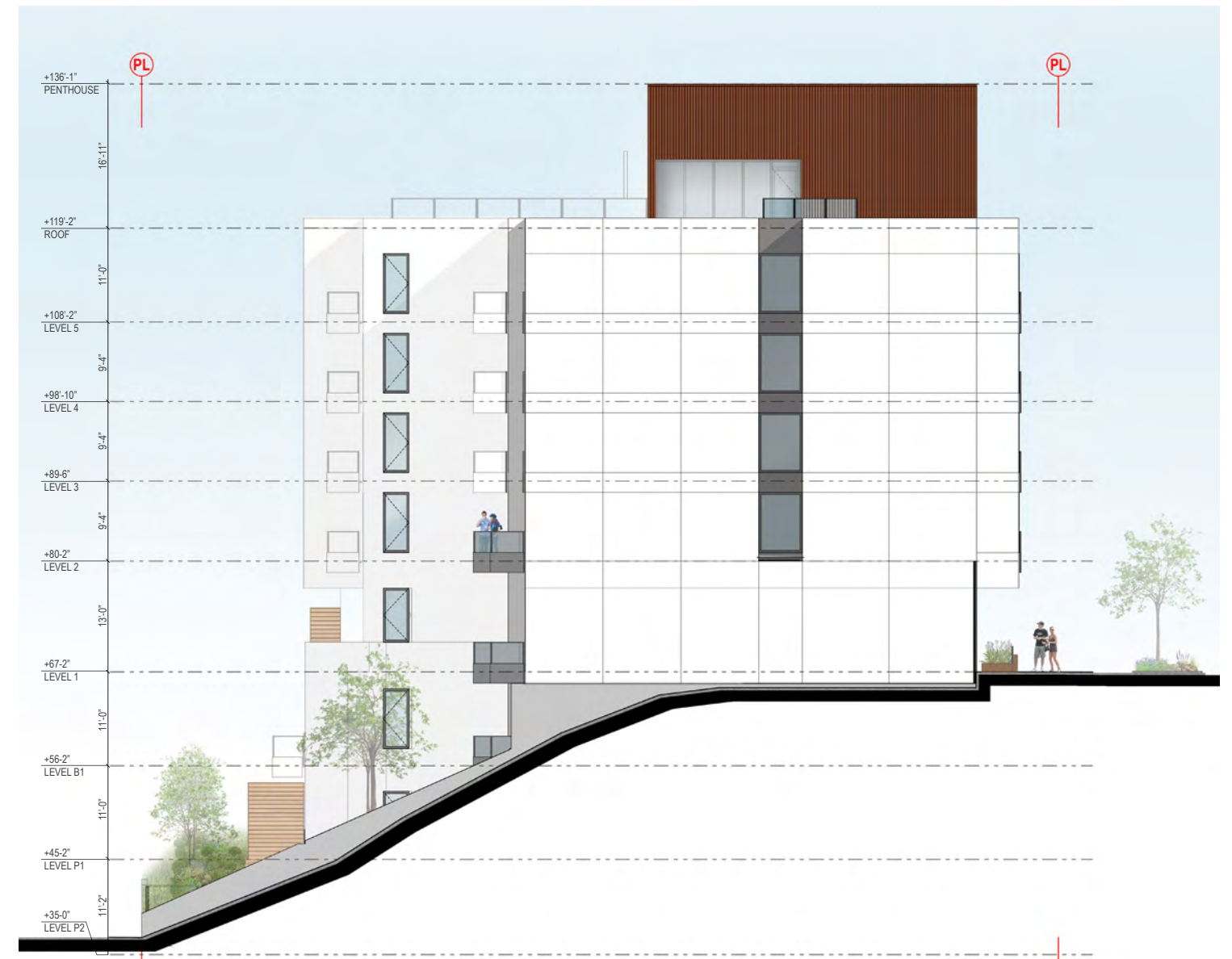
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11.0 ELEVATIONS

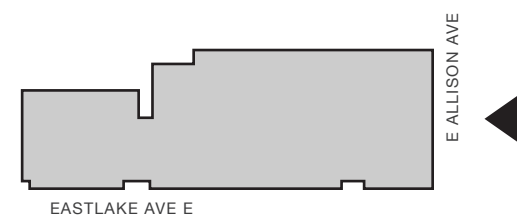


EAST ELEVATION - EASTLAKE AVENUE E

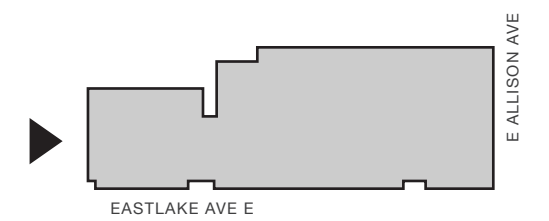




NORTH ELEVATION - E ALLISON ST



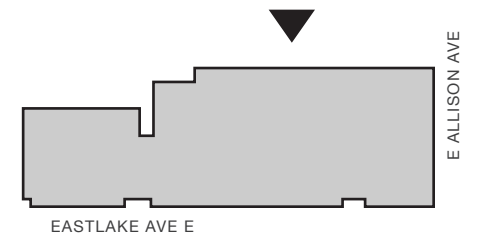
SOUTH ELEVATION



11.0 ELEVATIONS





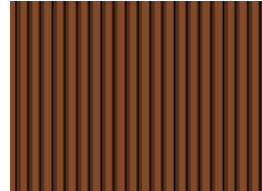

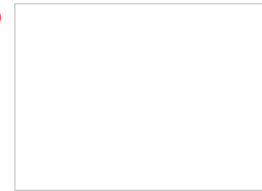

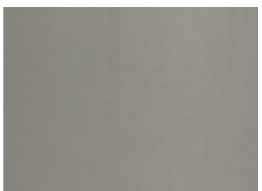

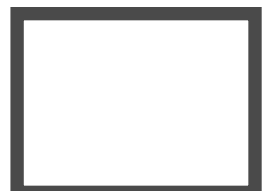
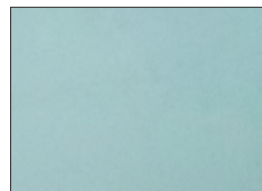
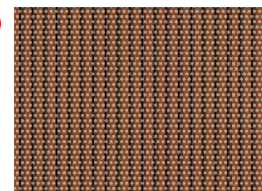
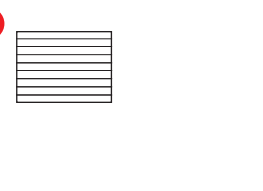
WEST ELEVATION - ALLEY



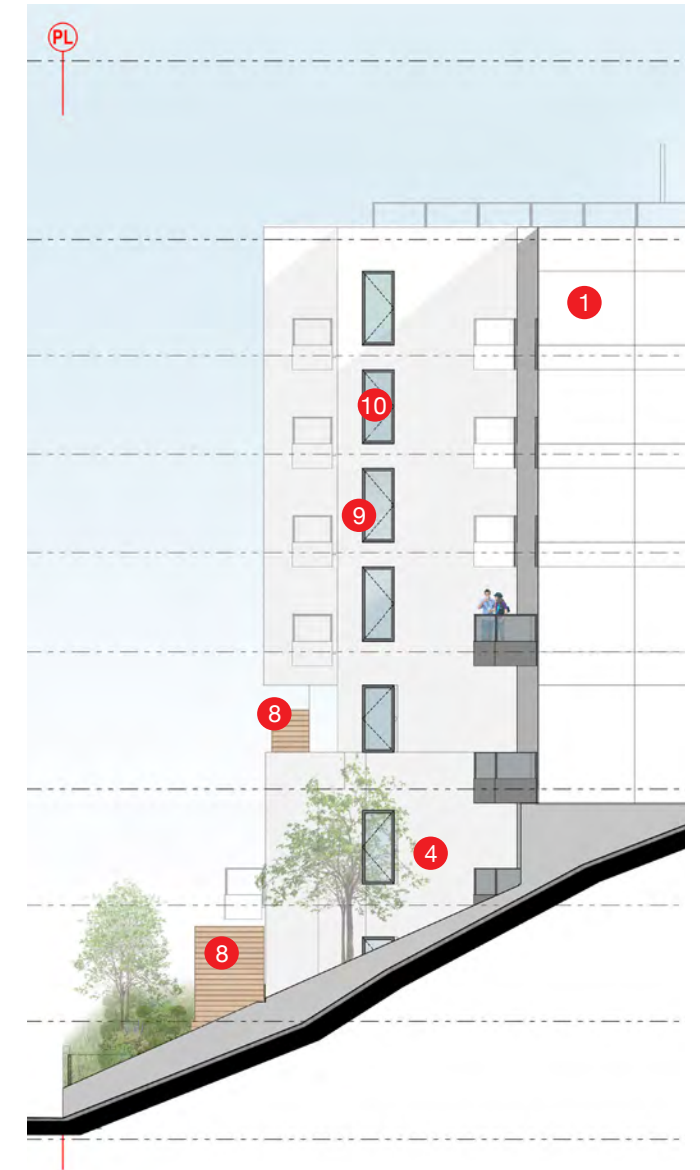
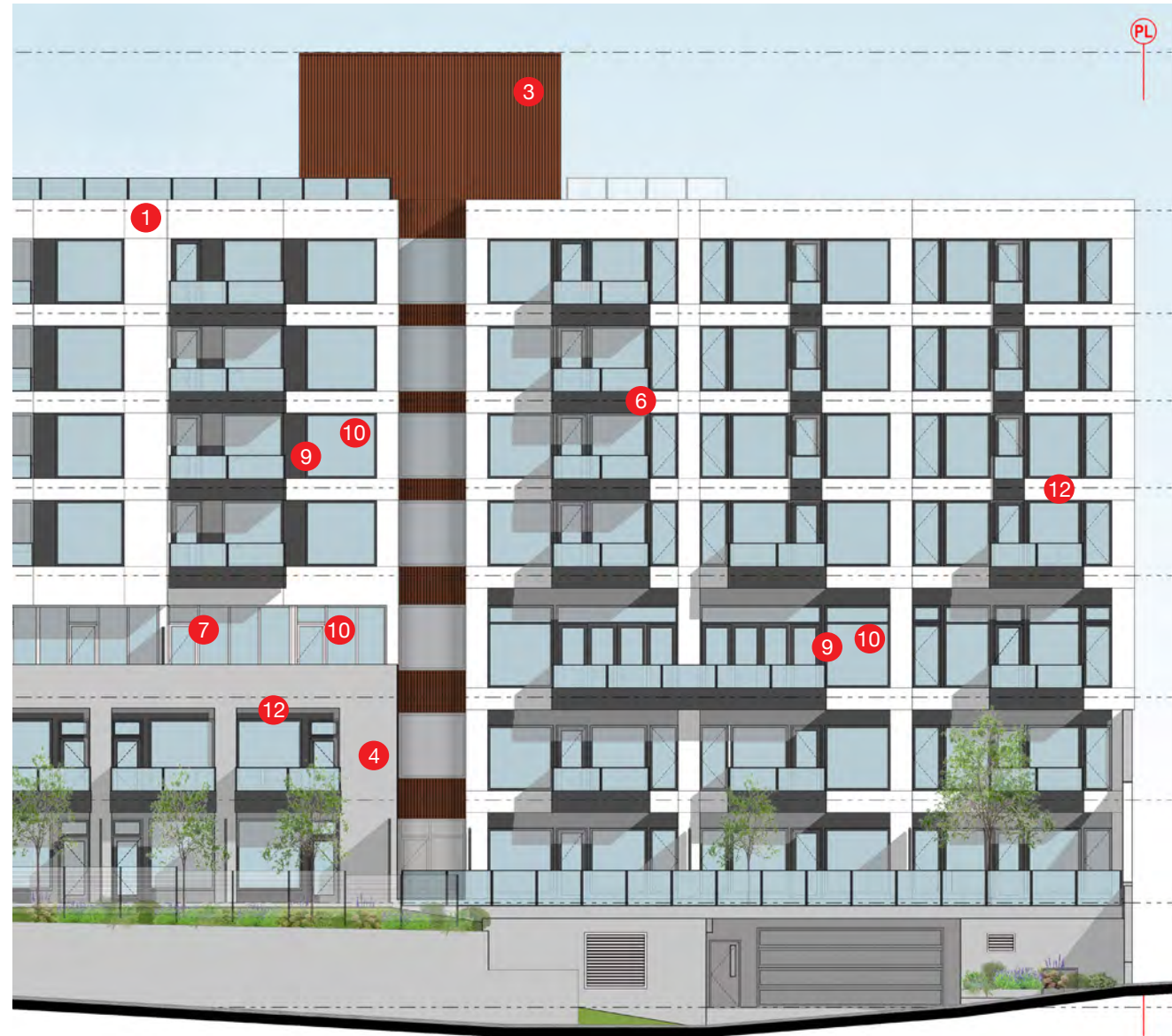
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12.0 MATERIAL AND COLOR PALETTE



- | | | | | | | | | | | | |
|---|---|---|---|---|---|----|---|----|---|----|---|
| 1 |  | 2 |  | 3 |  | 4 |  | 5 |  | 6 |  |
| | White Stucco | | Gray Stucco | | Vertical Metal Panel | | Concrete | | White Metal Panel | | Black Metal Panel |
| 7 |  | 8 |  | 9 |  | 10 |  | 11 |  | 12 |  |
| | Anodized Aluminum Storefront | | Wood Slat Partitions | | Black Vinyl Windows w/ Brake Metal Frame | | Low-e Vision Glass | | Perforated Vertical Metal Panel over glazing | | Vent Louver Panel |

12.0 MATERIAL AND COLOR PALETTE



*SEE MATERIAL BOARD FOR ACTUAL MATERIALS AND COLORS

13.0 RENDERINGS





13.0 RENDERINGS



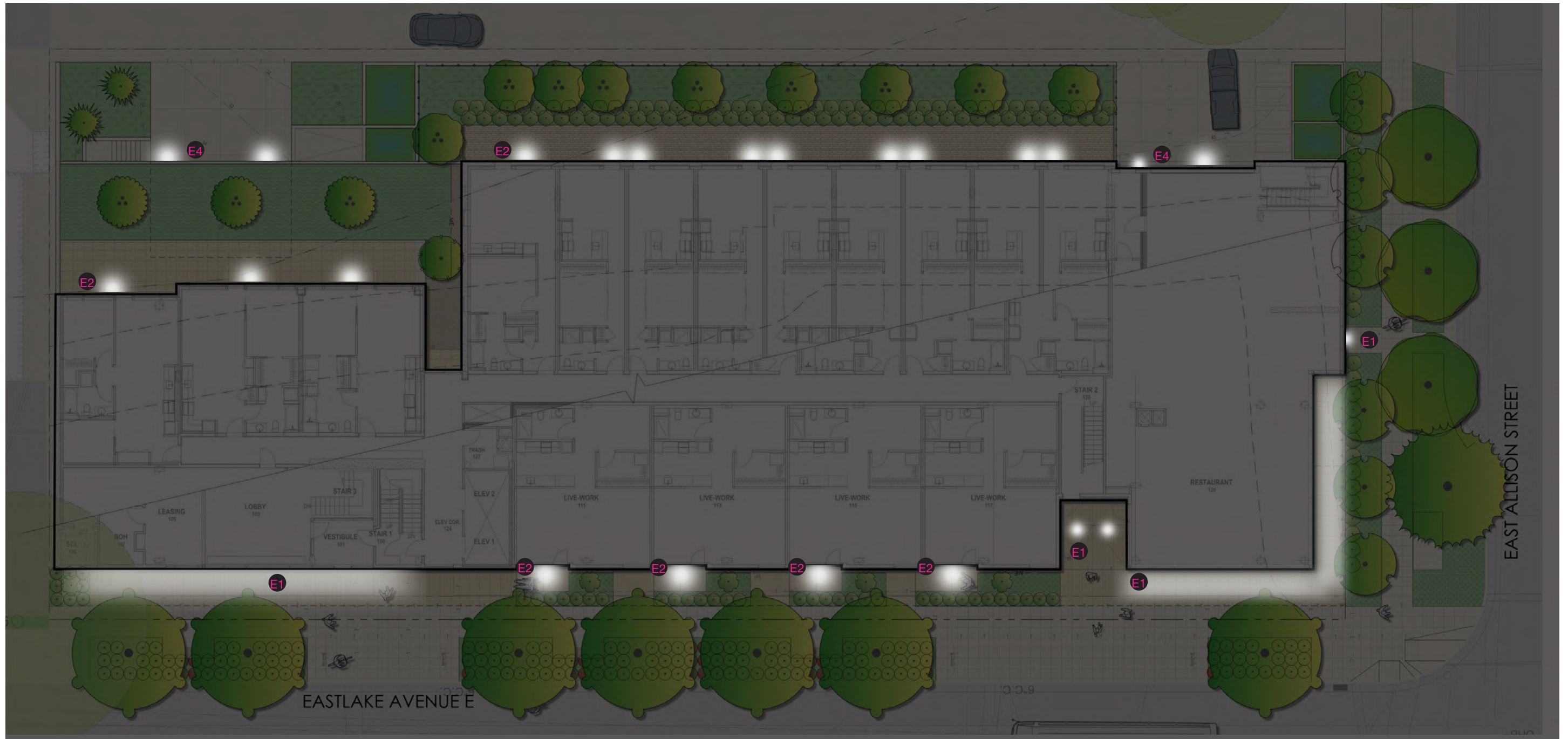


13.0 RENDERINGS





14.0 EXTERIOR LIGHTING PLAN



GROUND LEVEL LIGHTING PLAN



E1 Recessed Downlights at Soffit



E2 Exterior Sconce



E3 Recessed Egress Lights



E4 Wall Pack Light



E5 Catenary Lighting



ROOF DECK LIGHTING PLAN

15.0 SIGNAGE CONCEPT PLAN



1 WALL MOUNTED SIGN

2 BUSINESS BLADE SIGN



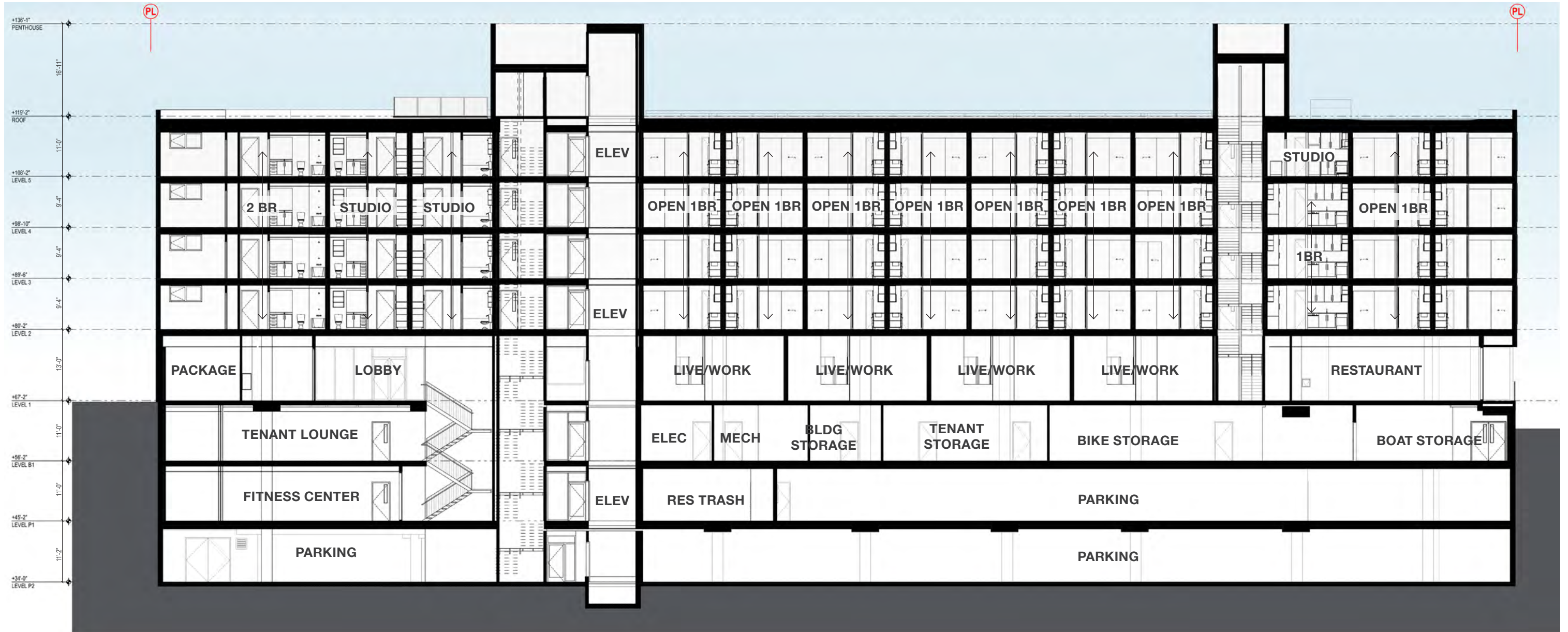


PROPOSED SIGNAGE AREA - RESIDENTIAL ENTRY

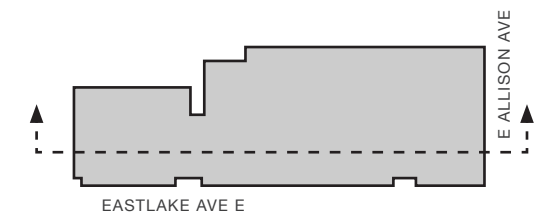


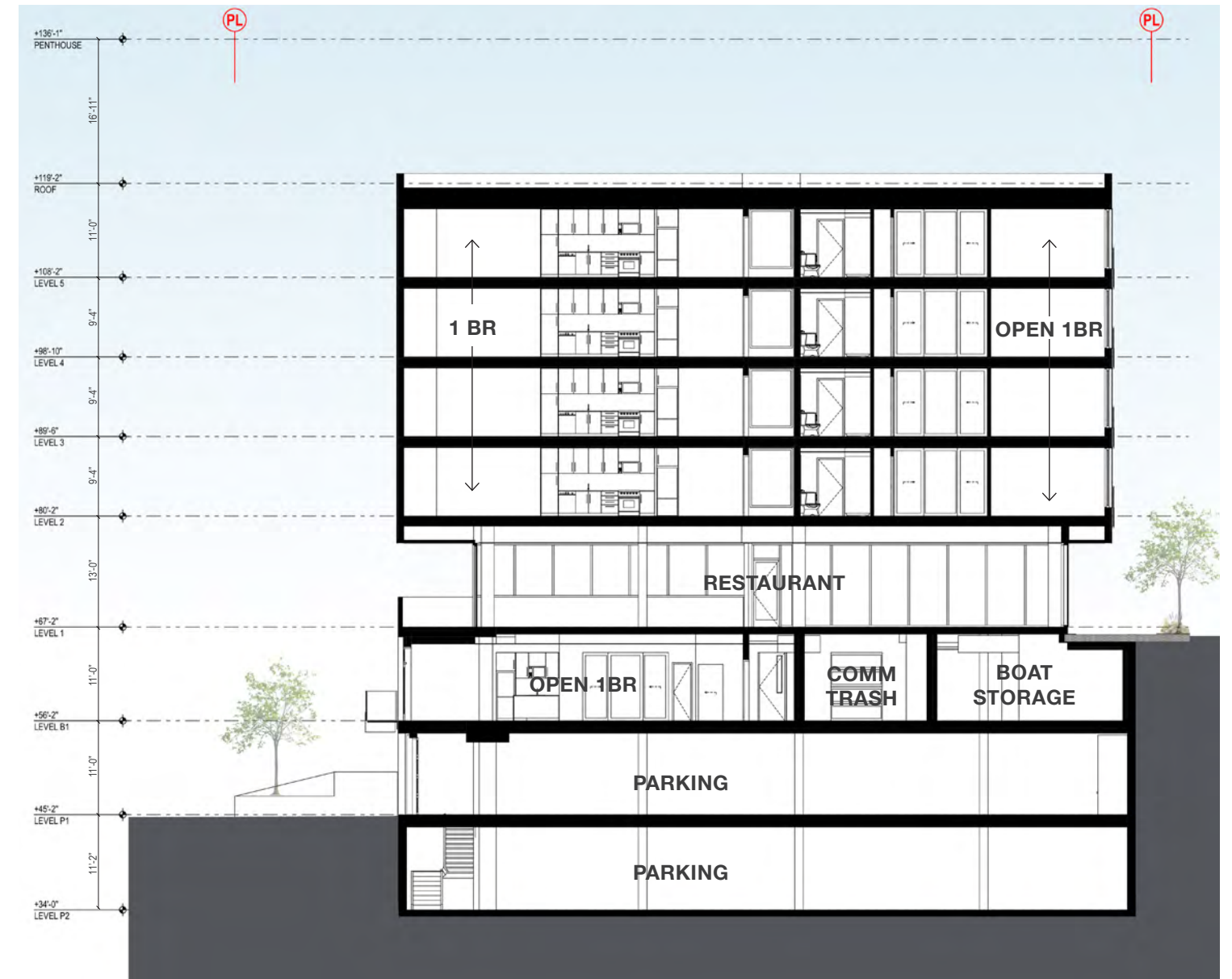
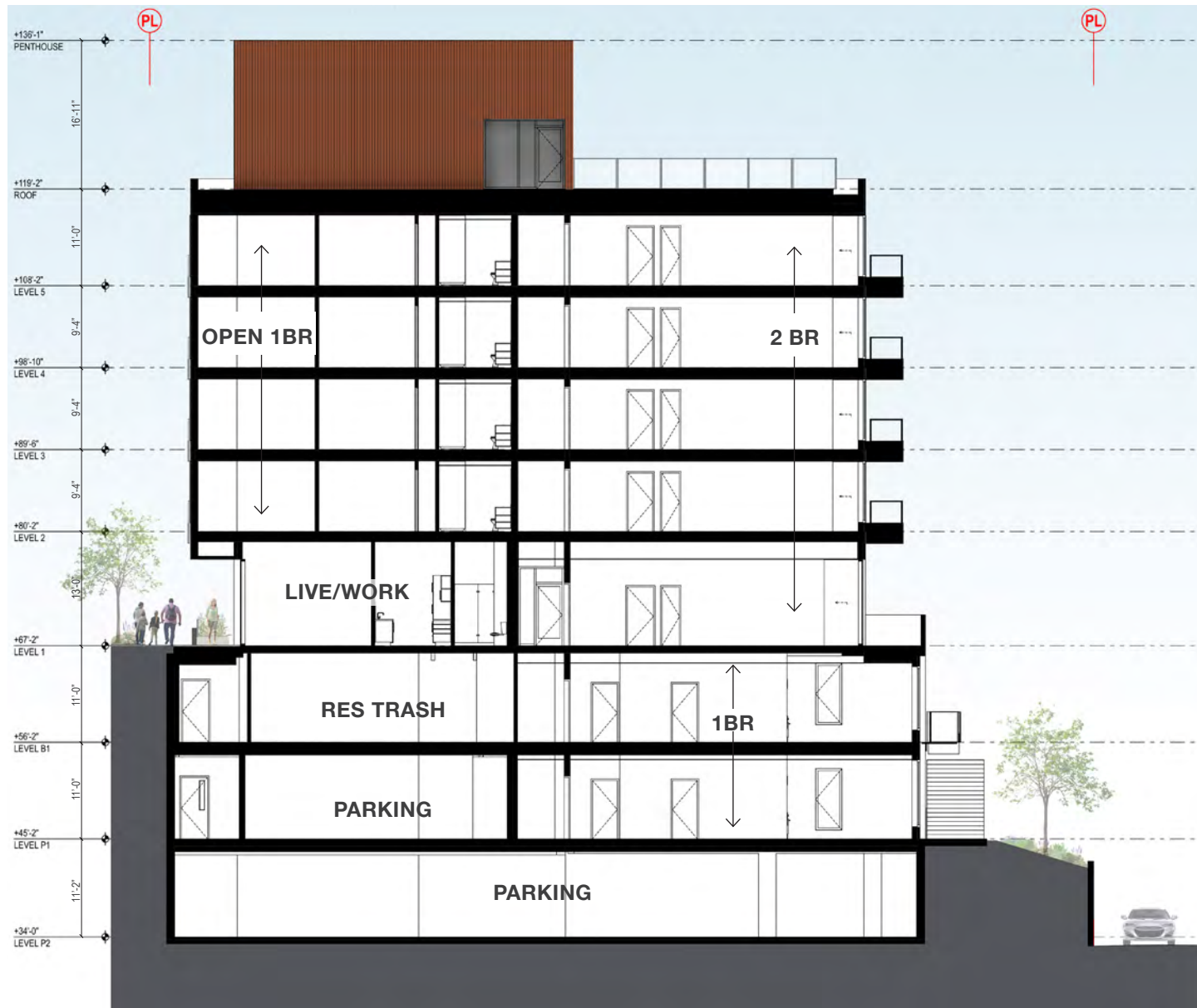
PROPOSED SIGNAGE AREA - RESTAURANT

16.0 BUILDING SECTIONS

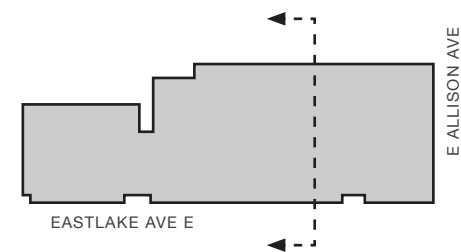


SECTION A

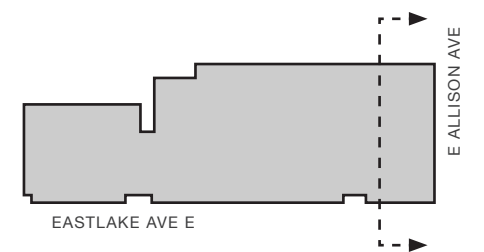




SECTION B



SECTION C



17.0 DEPARTURES

DESIGN DEPARTURE #1

Street Level Development Standards (SMC 23.47A.008.B.2.A)

Development Standard

Non-residential uses at street level shall have a minimum 60% transparency at street level between 2' and 8' above the sidewalk.

Departure Request

Allow the north facade between 2' and 8' above the sidewalk to be 14.8% transparent, less than the minimum 60% required.

Rationale

The massing concept of the building is comprised of white stucco boxes floating over a concrete plinth, separated by a street-level swath of storefront glazing and metal panel accents. Due to the steep slope of the site between Eastlake Ave E and the alley, the concrete plinth is significantly exposed along the north facade. With the exception of one residential unit on the west corner, which has been provided with a north-facing window, the uses behind this portion of the facade are back-of-house and would not benefit from additional transparency, which would in turn erode the massing concept. Instead of glazing, relief is provided in the form of the residential exit and bike room entry recess, which includes a custom steel screen and gate assembly. This face of the building is also set back 7'-6" from the inside edge of the sidewalk and the intervening space is landscaped with plantings at a variety of scales, providing a visual screen between pedestrians and the concrete beyond.

TRANSPARENCY REQUIREMENTS:

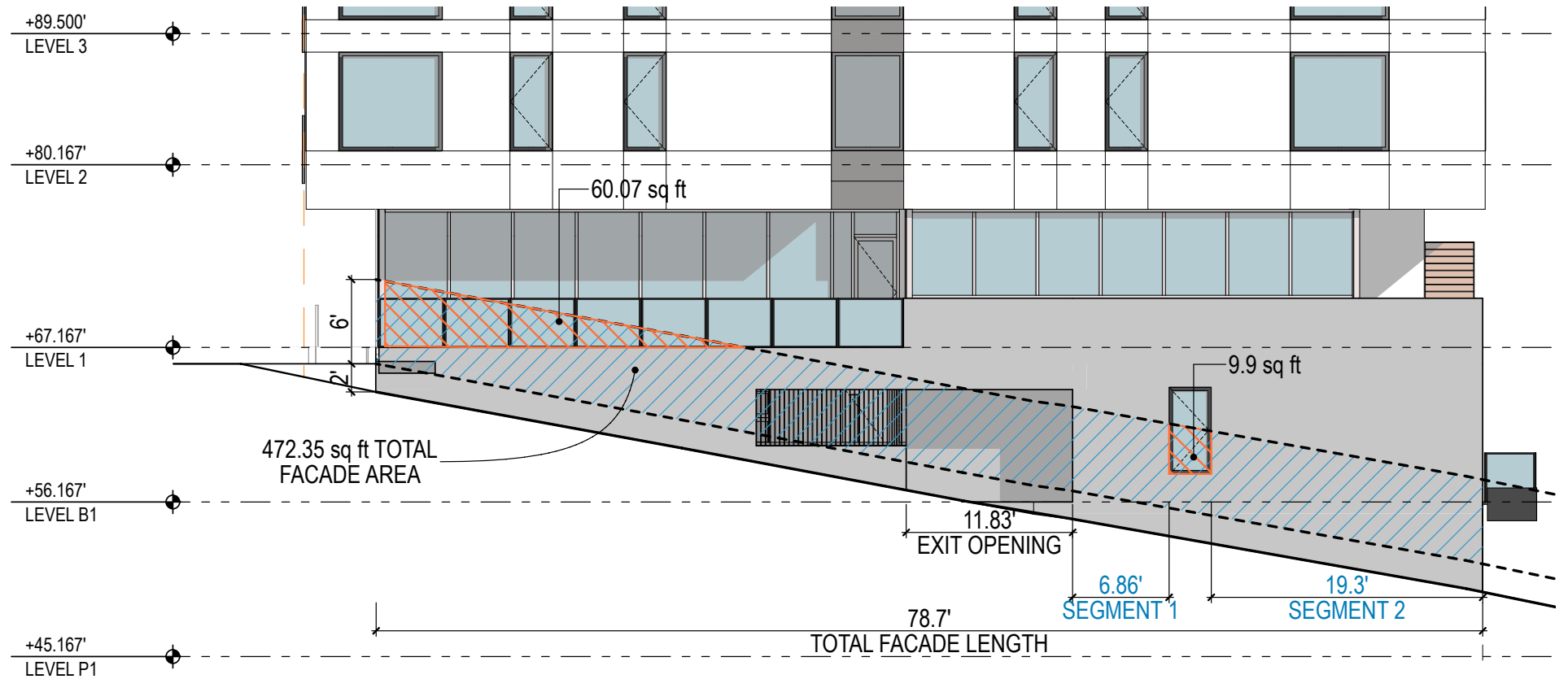
Total Facade Area between 2'-8' above grade:

Segment 1:	60.07 sf
Segment 2:	9.90 sf
Total	69.97 sf

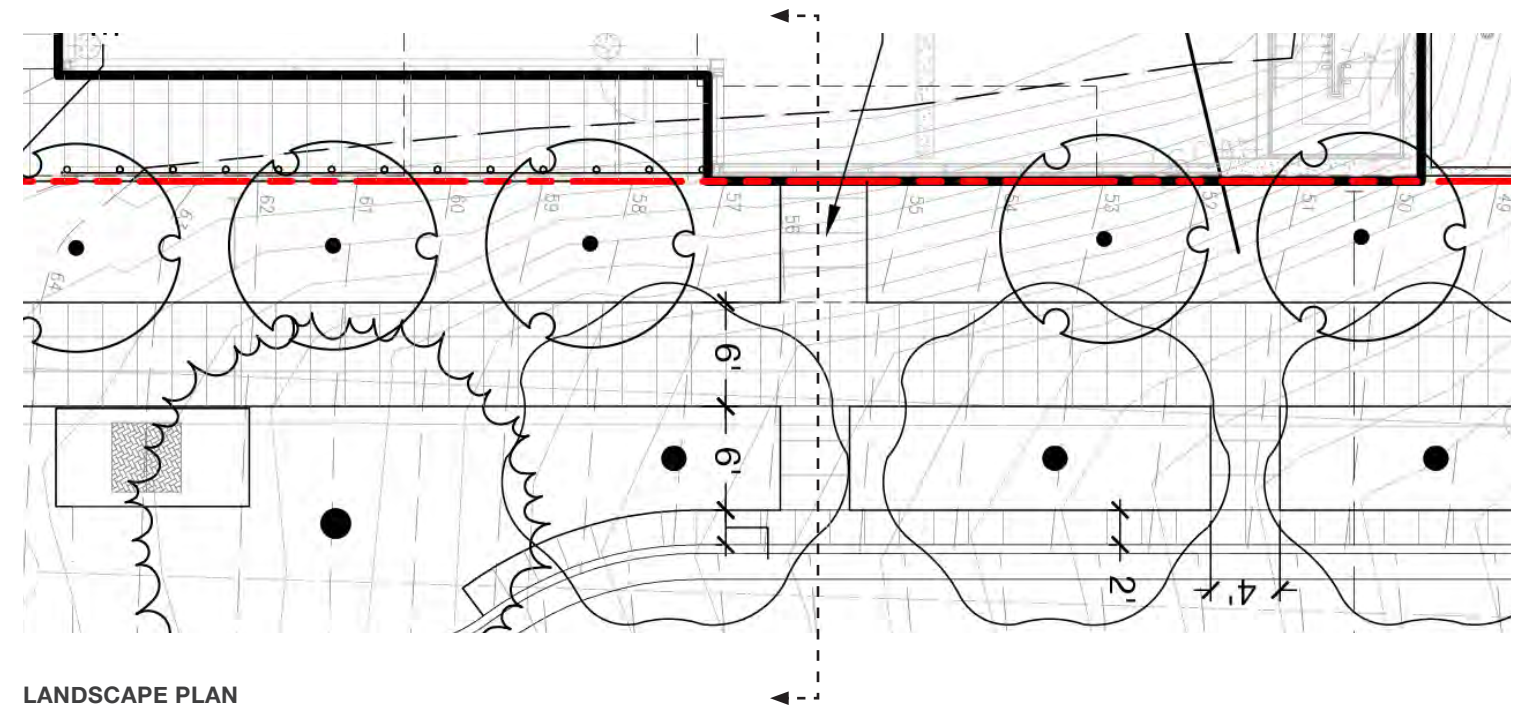
$69.97 \text{ sf} / 472.35 \text{ sf} = 14.8\%$
 $< 60\%$ Not Allowed

Does not comply

-Project requesting departure from DRB



SECTION PERSPECTIVE AT B1 ENTRY



LANDSCAPE PLAN

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