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## 452 12th Avenue Mixed-Use

3037463-EG

Early Design Guidance

January 2021

### Owner / Developer

Mainframe Management LLC

1122 E Pike St. #1024

Seattle WA, 98122

### Architect

PUBLIC47 Architects

232 7th Ave. N. Suite 200

Seattle, WA 98109

### Landscape Architect

Karen Keist Landscape Architects

111 West John Street, Suite 306

Seattle, WA 98119

**PUBLIC47**ARCHITECTS

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# DEVELOPMENT OBJECTIVES

**PROJECT VISION:**

The 2-story brick building at 452 12th Avenue is an unreinforced masonry structure built in 1923. This project will extend the life of the mixed-use building by seismically reinforcing the structure and implementing other upgrades. The project will also add additional units to the site by creating a third floor penthouse on top of the existing building and expanding onto the east portion of the property, which is currently occupied by a surface parking lot. The goal of the design and development team is to create an environmentally-friendly mixed-use building that elegantly mixes old and new, enhancing the corner of 12th and Remington for the public and improving the habitability of the existing building for future generations of residential and commercial tenants.

Development Objectives:

- Provide ± 22 Apartment Units
- Provide ± 2,600-sf of Street-Level Commercial Space
- Renovate and seismically upgrade existing masonry structure
- Gracefully integrate old and new structures together
- Foster a pedestrian-friendly sidewalk environment



Existing Brick Facade



View of Existing Building from 12th Avenue



COMMUNITY ENGAGEMENT PLAN

Printed Outreach [High Impact]:

- Direct mailings to the residencies and business within 500ft radius of proposed site.

Digital Outreach [High Impact]:

- Developed an interactive project website with project information and a public commenting function.
- Created an online survey to allow for feedback on the proposed project.

SUMMARY OF COMMENTS RECEIVED

Design Related Comments:

- 44 percent of survey respondents said relationship to neighborhood character is the most important thing about a new building on this property
- 44 percent said interesting and unique design
- 44 percent said environmentally friendly design
- 22 percent said attractive materials
- 11 percent said parking
- Several respondents encouraged creating a beautiful building with high-quality design, materials and construction that does not feature any gimmicks or colorful expression because it looks cheap and does not age well. Other respondents encouraged sensitive, quiet and peaceful design that creates harmony and a considerate use of space relative to neighbors.
- 67 percent of respondents said landscaping is the most important consideration for the exterior space on this property
- 50 percent said seating and places to congregate
- 33 percent said lighting and safety features
- 17 percent said bike parking
- A few respondents encouraged having open spaces for tenants and customers, creative interactions with the public sidewalk, and a pedestrian-quality exterior along 12th and Remington, as both streets have the opportunity to develop nicely, with Remington acting as a green street and 12th acting as an active pedestrian street.
- A few respondents encouraged the project team to focus on sustainability and developing a strong green street character

Non-Design Related Comments:

- Several respondents noted that street parking in the area is already limited and is difficult for many living in the neighborhoods nearby, and encouraged the project team to reduce and/or eliminate off-street parking for automobiles.
- 62 percent of survey respondents said local and small businesses are what inspires them to return when visiting a building, office, restaurant, or retailer
- 25 percent said a sense of openness and natural light
- 22 percent said affordable spaces for Black-owned businesses that are being displaced from the neighborhood
- Several respondents noted that the site's displaced businesses were Black-owned, and encouraged the project team to making a commitment to bringing those businesses back to the renovated space or making sure that businesses owned by people of color are given priority with efforts made to make the spaces affordable.
- Another respondent encouraged project team to think about sidewalk activation and synergies with future developments on the south side of Remington.

Opportunity to Provide Online Input on the 452 12th Ave Project

ABOUT THE PROJECT

This project proposes the substantial renovation of a two-story brick mixed-use building, including required seismic upgrades, the installation of an automatic fire sprinkler system, and the construction of two new dwelling units. The project also includes the construction of a new five-story wood-framed residential addition. The total gross area of the completed project will be approximately 20,000 square feet and will include 22 residential units and 3,370 square feet of street-level commercial space.

**What:** Let us know what you think! Visit our website at [www.452TwelfthAveProject.com](http://www.452TwelfthAveProject.com) to learn more about this new project, including the team's proposed vision and approach.

**Survey:** Take our online survey to share your thoughts about the project site and components. (Survey located on the project website.)

**Comments:** Provide additional comments via our comment form or by email at [452TwelfthAvenue@earlyDRoutreach.com](mailto:452TwelfthAvenue@earlyDRoutreach.com).



ADDITIONAL PROJECT DETAILS

**Project Address:**  
452 12th Ave, Seattle WA 98122  
**Contact:** Natalie Quick  
**Applicant:** Mainframe Management LLC

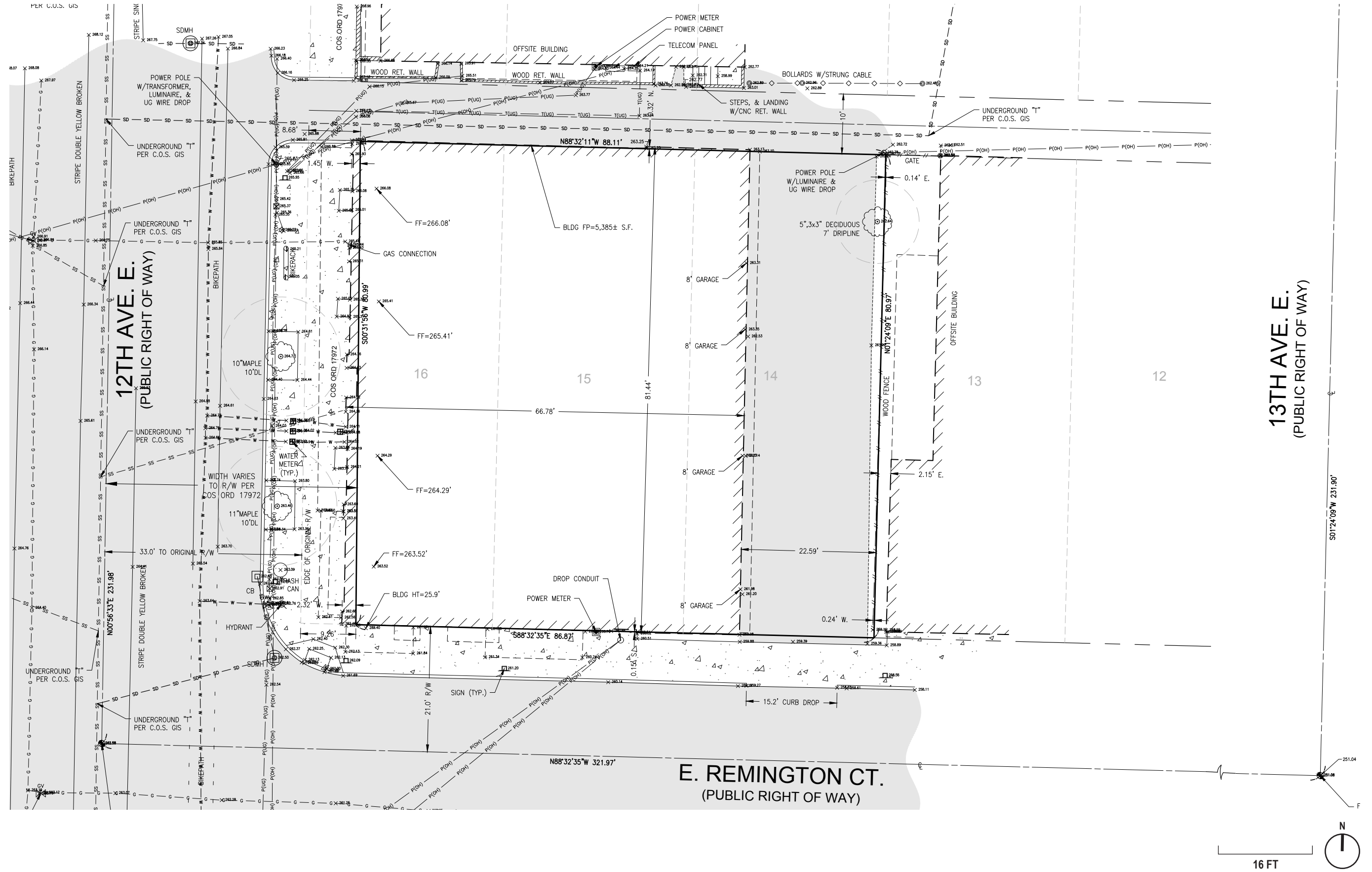
**Additional Project Information on Seattle Services Portal via the Project Number:**  
001176-20PA

**Project Email:**  
[452TwelfthAvenue@earlyDRoutreach.com](mailto:452TwelfthAvenue@earlyDRoutreach.com)  
Note that emails are returned within 2-3 business days and are subject to City of Seattle public disclosure laws.

This effort is part of the City of Seattle's required outreach process, in advance of Design Review.

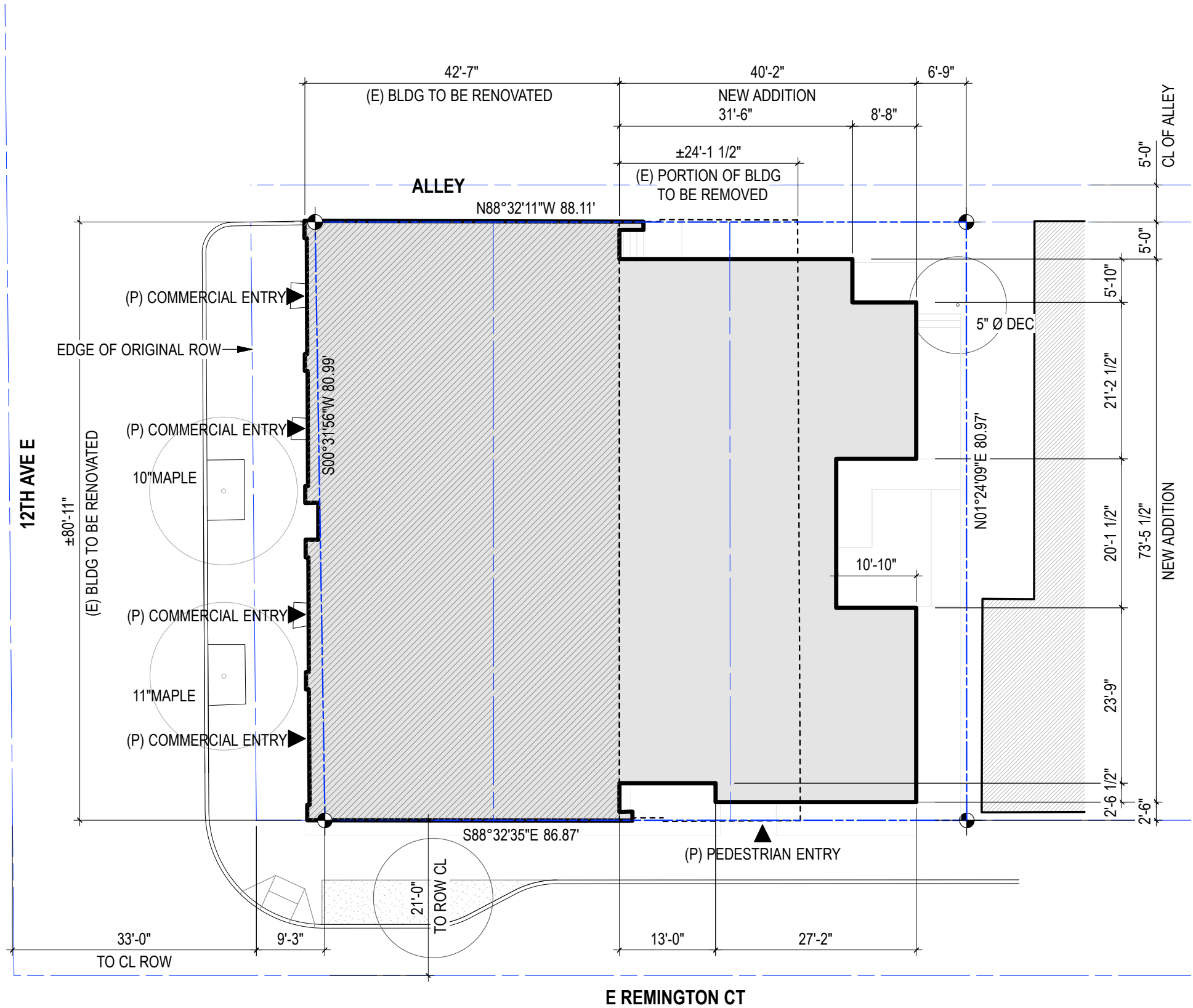


# TOPOGRAPHIC SURVEY





PRELIMINARY SITE PLAN



**OWNER**  
Mainframe Management LLC  
Matthew Mohr  
1122 E Pike St. #1024  
Seattle WA, 98122

**ARCHITECT**  
PUBLIC47 Architects  
232 7th Ave. North  
Seattle, WA 98109  
Kevin Tabari  
kevint@public47.com  
206-316-2647 extension 1

**SITE ADDRESS**  
452 12th Ave.  
Seattle WA 98122

**PARCEL NUMBER**  
794930-0080

**LEGAL DESCRIPTION**  
SQUIRES W C REPLAT BLK 9 LESS ST  
PLAT BLOCK: A  
PLAT LOT: 14-15-16





URBAN DESIGN ANALYSIS • NEIGHBORHOOD CONTEXT

ORIENTATION

The subject property is located at the intersection of 12th Avenue and East Remington Court just south of Seattle University in the First Hill / Capitol Hill Urban Center. 12th Avenue is a designated pedestrian street that marks the boundary between First Hill to the west and the Central District to the East. There is a broad mix of uses in the immediate vicinity including institutional, commercial, mixed-use, and multi-family. Zoning is similarly mixed with Major Institutional to the north, Neighborhood Commercial along 12th Avenue and East Jefferson Street, and Multi-family to the east. The recently completed King County Children and Family Justice Center is located just south of the site. Recent zoning changes and demand for housing in Seattle make redevelopment of numerous nearby sites likely in the near future.

- 1

Seattle University
- 2

Seattle University Park
- 3

Championship Fields
- 4

Seattle University Redhawk Center
- 5

Ba Bar
- 6

Taste of the Caribbean
- 7

Zobel Ethiopian Cuisine
- 8

L'Orsin
- 9

Center for Multicultural Health
- 10

KC Juvenile Youth Court Services
- 11

Swedish Hospital
- 12

Swedish First Hill Primary Care
- 13

Family Medicine Clinic at Harborview
- 14

St James Cathedral
- 15

Frye Art Museum
- 16

Harborview Medical Center





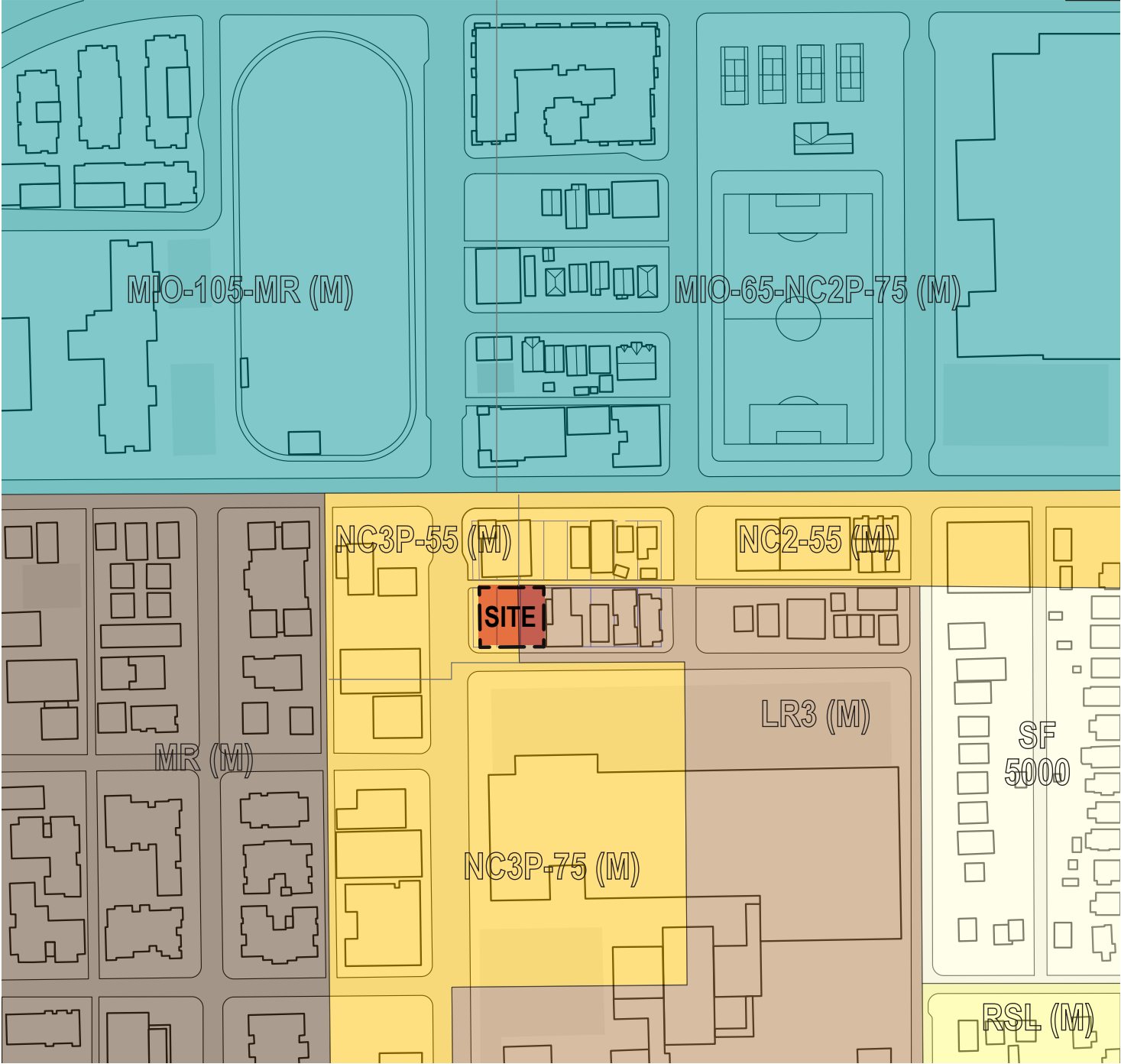
USE MAP

- Commercial
- Parks
- Institutional
- Multi Family / Mixed-use
- Single Family



ZONING MAP

- Major Institution Overlay
- Mid Rise
- Low Rise
- Neighborhood Commercial
- Single Family
- Residential Small Lot





URBAN DESIGN ANALYSIS • IN THE VICINITY



Ba Bar Restaurant 1



Seattle University Park 2



12th Ave Square Park 3



Decibel Apartments 4



1316 E Remington Court Townhomes 5



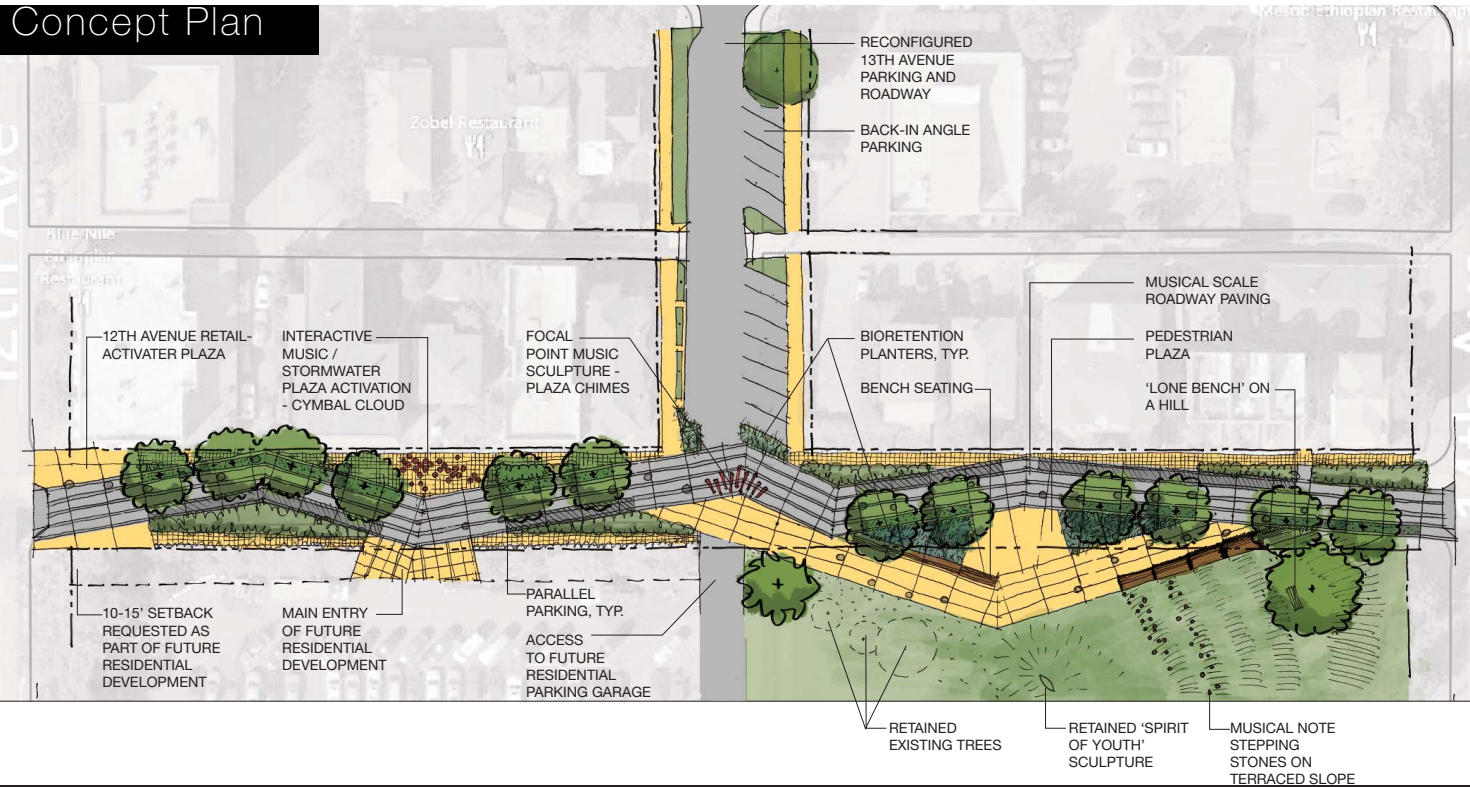
L'Oursin French Restaurant 6



Central Smoke Bar and Smokery 7



Concept Plan



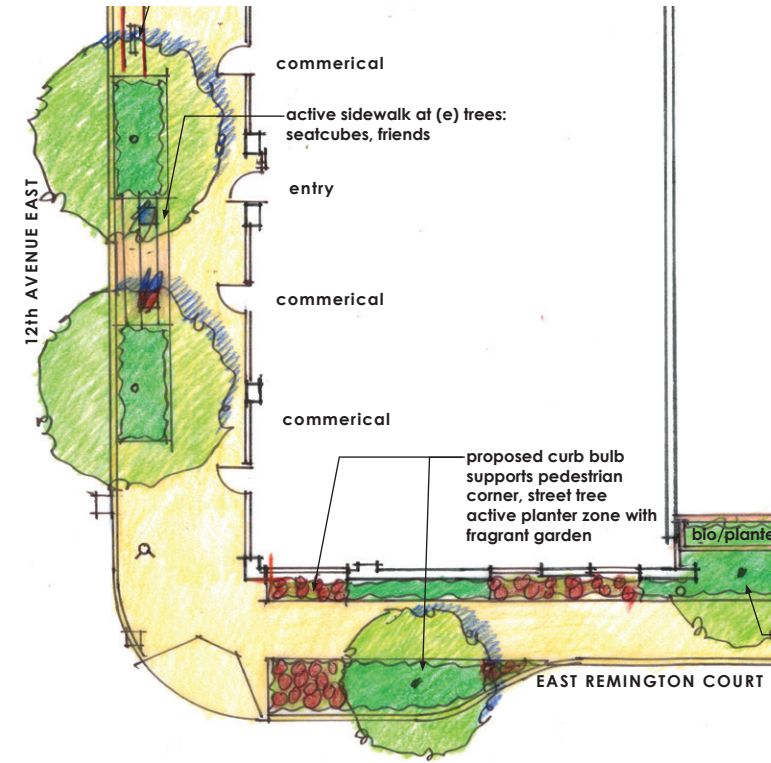
E Remington Court Woonerf Study provided by HEWITT

E REMINGTON CT STREETSCAPE

There is strong community support for enhancing the pedestrian character of East Remington Court. Recently, Hewitt prepared a concept plan to redevelop the right-of-way as a one-way Woonerf similar to James Court two blocks to the north. The Woonerf study engaged the community through design charrettes yielding a concept rooted in the neighborhood's rich musical history. Although the Woonerf project remains unrealized and is not currently funded, this proposal draws inspiration from the ambitions for a more vital pedestrian environment along E Remington Court. A key strategy to set the tone is the creation of a curb bulb at the southwest corner of the site. The curb bulb would provide a buffer to the noise and traffic of 12th Avenue and expand the sidewalk width, allowing for a street tree in front of the south façade of the existing building.



Rendering of Woonerf provided by HEWITT



Proposed Curb Bulb at Southwest Project Corner



James Court Curb Bulb



James Court Woonerf



URBAN DESIGN ANALYSIS • NEIGHBORHOOD CONTEXT

12TH AVENUE

12th Avenue is a designated pedestrian street that is a minor north-south arterial and marks the boundary between First Hill and the Central District neighborhood. More pedestrian-oriented commercial businesses to the north and give way to more institutional uses adjacent to the site, including the City of Seattle Central Customer Service Building next door to the subject property, the Juvenile Detention Center to the south, and the Center for Multicultural health across the street. Building scales vary based on year of construction. Several smaller industrial-era buildings have been adaptively re-used and now accommodate thriving businesses, such as Ba Bar Restaurant. Recent mixed-use apartment buildings such as the Jefferson, the Douglas and the Decibel portend the slow transformation of the neighborhood.



Ba Bar Restaurant

1



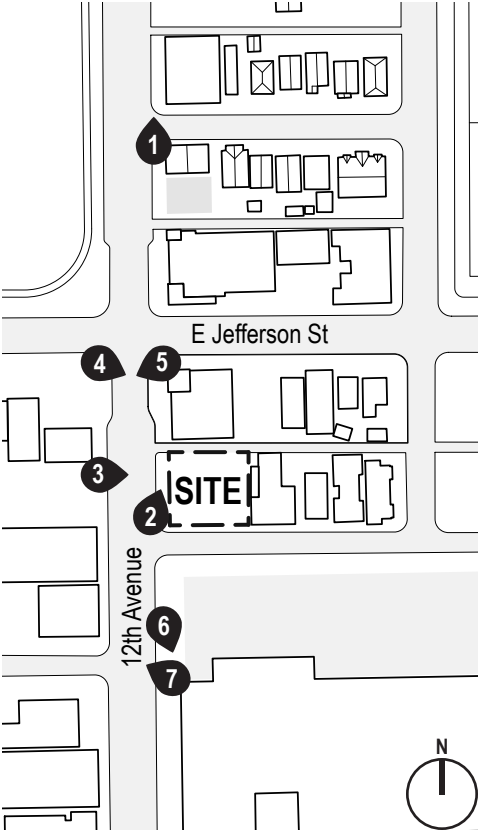
Existing Storefront at Project Site

2



Project Site

3



City of Seattle Central Customer Service

4



Chevron Gas Station

5



KC Juvenile Court Youth Services Center

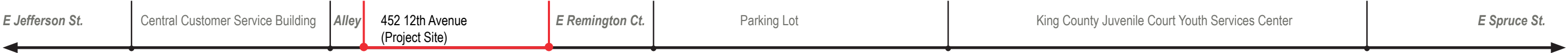
6



Center for Multicultural Health

7





12TH AVENUE PHOTO-MONTAGE LOOKING EAST



12TH AVENUE PHOTO-MONTAGE LOOKING WEST



URBAN DESIGN ANALYSIS • NEIGHBORHOOD CONTEXT

E REMINGTON COURT

East Remington Court is a relatively quiet residential street bound to the west by 12th Avenue and to the east by 14th Avenue. Multi-family buildings of various ages line the north side of the street, while the south side is dominated by the King County Children and Family Justice Center and its associated surface parking lot. In the future, the parking lot will be converted to green space at the east end of Remington and redeveloped as a multi-family building at the west end. There is strong community support for enhancing the pedestrian character of Remington Court. Recently, Hewitt prepared a concept plan to redevelop the right-of-way as a one-way Woonerf similar to James Court two blocks to the north. Refer to page 9 of this packet for more information.



View Looking East

1



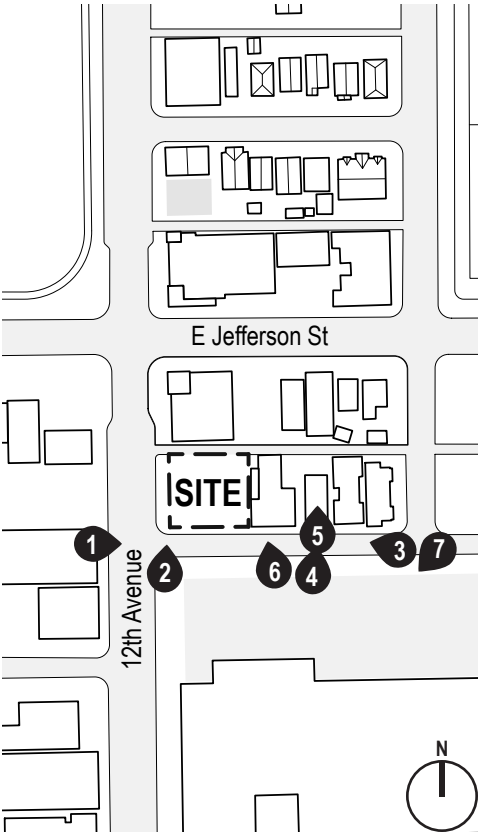
Project Site at Corner of 12th & E Remington Ct

2



View Looking Northwest

3



Apartment Building

4



Apartment Building Entry

5



Apartment Building

6



Parking Lot (KC Youth Services Center)

7





E REMINGTON CT. PHOTO-MONTAGE LOOKING NORTH



E REMINGTON CT. PHOTO-MONTAGE LOOKING SOUTH



URBAN DESIGN ANALYSIS • NEIGHBORHOOD CONTEXT

ALLEY

A 10' wide alley runs along the north side of the site. The alley is paved from 12th Avenue to a point just past the subject property. Parking and trash storage for neighboring properties is accessed from the alley despite its substandard width and the presence of power poles within the right-of-way. A through-block surface parking lot serving the City of Seattle Central Customer Service is located on the opposite side of the alley providing unobstructed views to E Jefferson Street beyond.



Northwest Corner Project Site

1



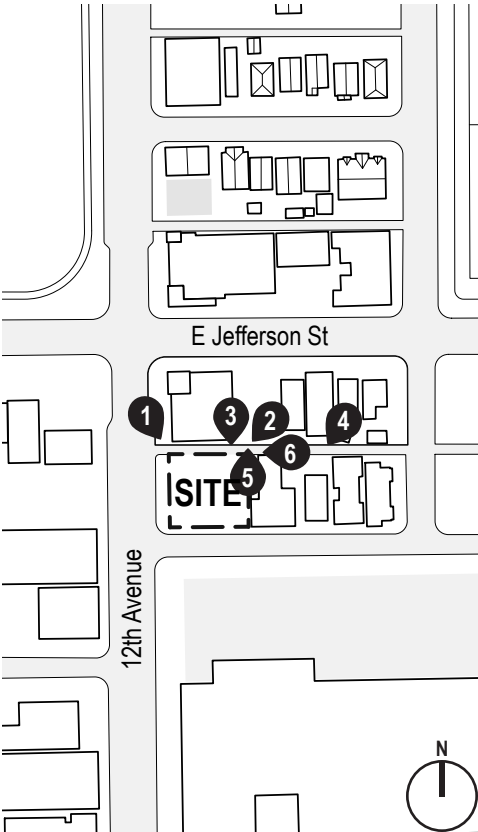
Northeast Corner Project Site

2



Garage / Parking Project Site

3



Parking in Alley for adjacent Apartments

4



Parking for Office Building / Access off of E Jefferson St

5



Alley Looking West

6





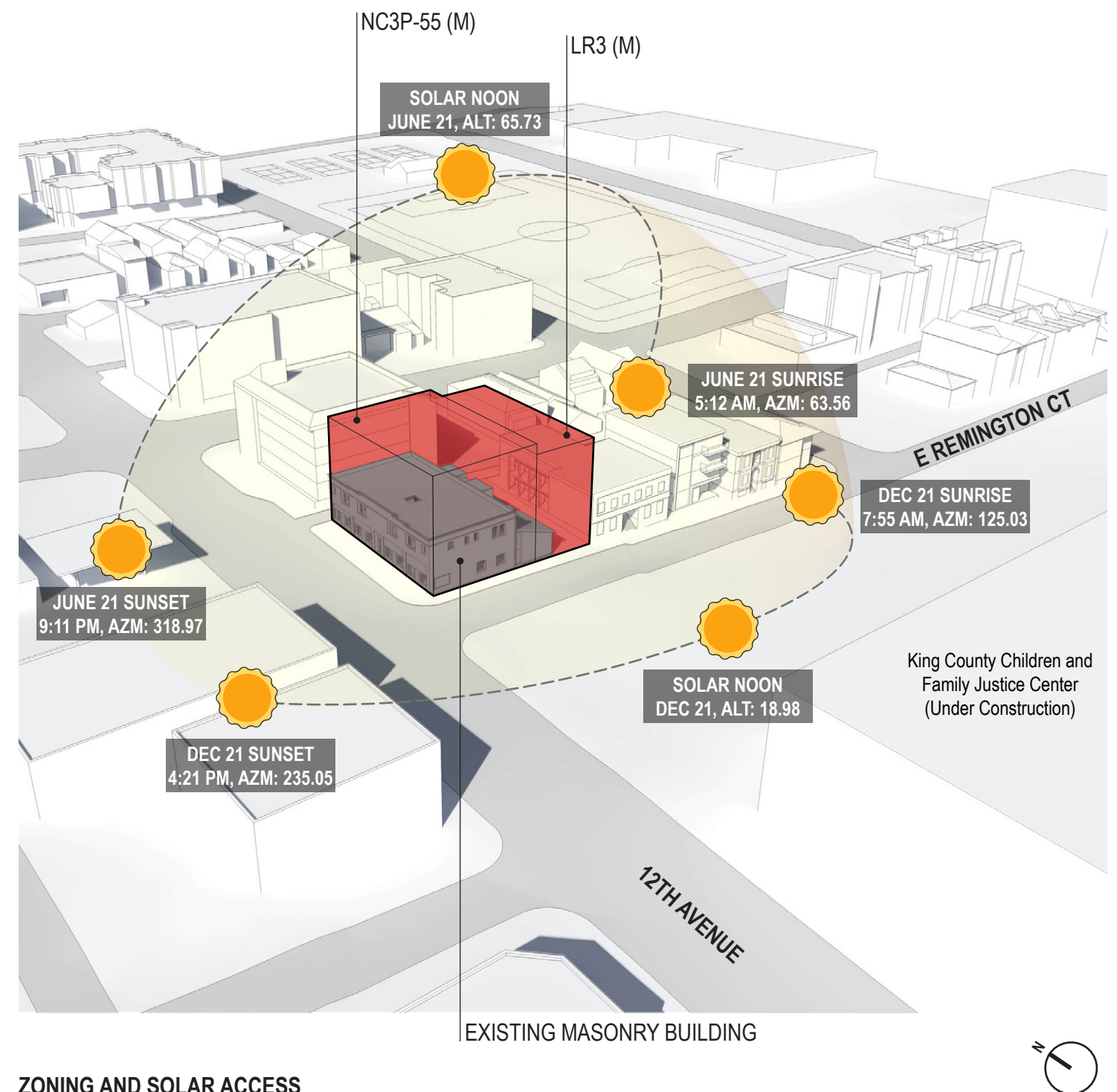
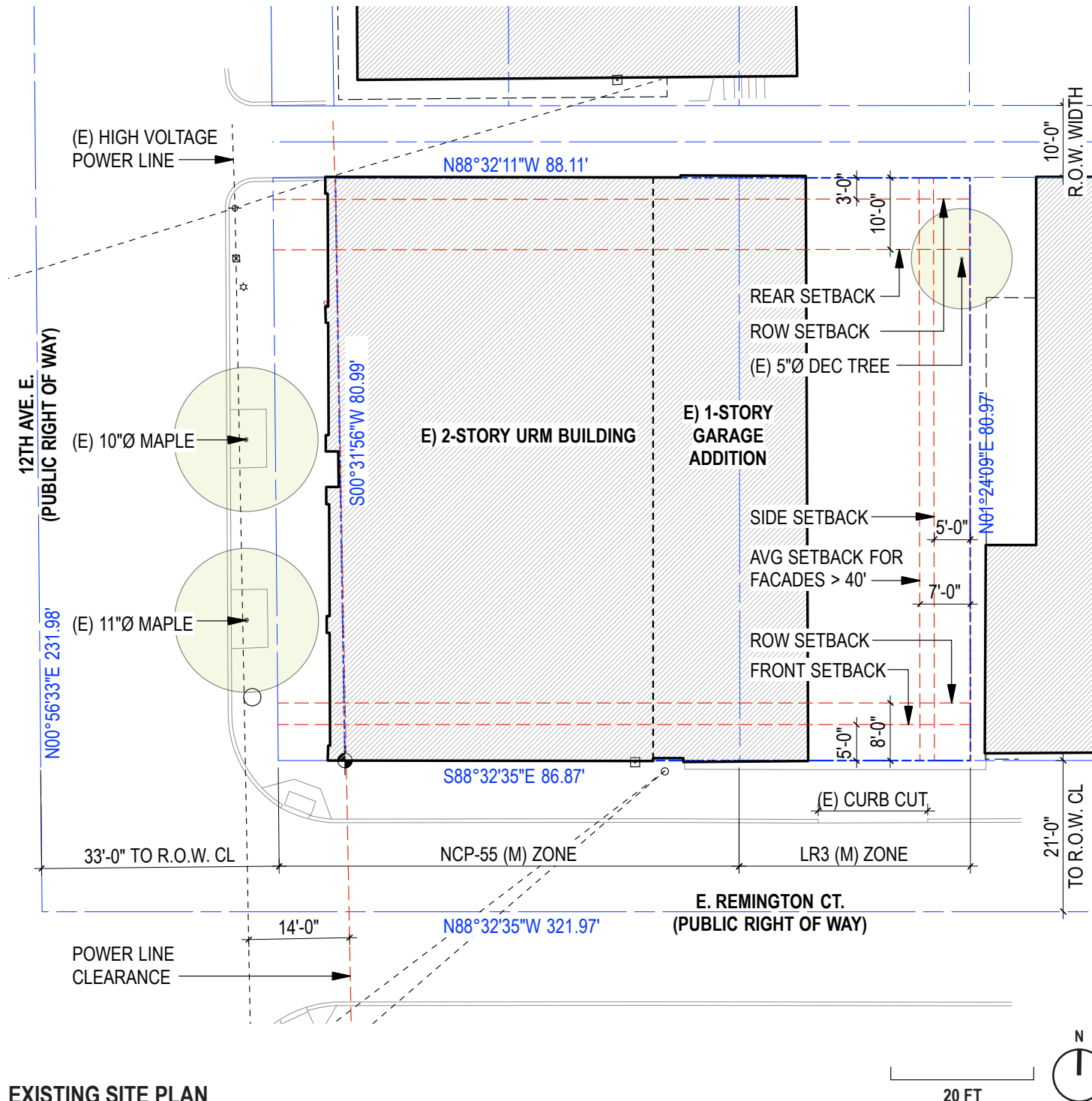


SITE ANALYSIS • ZONING SUMMARY

Overall Site		Western Parcels		Eastern Parcel	
Address	452 12th Avenue	Area	4,493-SF	Area	2,591-SF
Total Site Area	7,085-SF (per survey)	Zoning	NC3P-55 (M)	Zoning	LR3 (M)
Urban Center	First Hill / Capitol Hill Urban Center	Pedestrian Zone	Yes	Pedestrian Zone	No
Frequent Transit	No	Existing Bldg. Area	±8,472-SF	Existing Bldg. Area	±763-SF
Total Existing Bldg. Area	±9,235-SF	Powerlines / Setback	Yes, setback required along 12th Ave		

NC3P-55 ZONE	Code Citation	Standard	Project-Specific Notes
Street Level Uses	SMC 23.47A.005 C.1.c	In NC zones maximum 20% street-level street facing residential uses in pedestrian-designated zone facing primary pedestrian street	Confirm 12th Avenue is a designated principal pedestrian street
Street -Level Development Standards	SMC 23.47A.008	A.2 Blank Facades: 20' max; No more than 40% of width of façade	Confirm relevance on Remington for existing façade to remain
		B.2 Transparency: 60% of the street-facing façade between 2' + 8'	
Structure Height	SMC 23.47A.012	Max structure height = 55'	
Floor Area Ratio	SMC 23.47A.013, Table A	Max FAR = 3.75	Max Chargeable Area (NC3P-55 portion of site) = 3.75 x 4,493-sf = <b>16,849-gsf</b>
Setback Requirements	SMC 23.47A.014	B.1 15' triangular setback where a lot abuts the intersection of a side and front lot line of a lot in a residential zone	Not applicable - LR zone and NC zone are on same property
		B.2 Upper-level setback along rear lot line abutting LR zone as follows: ten feet for portions above 13'	
Landscaping Standards	SMC 23.47A.016	A. Green Factor score of 0.30 or greater is required	
		B. Street trees required. Existing street trees to remain unless removal approved	
Amenity Area (Apartments)	SMC 23.47A.024	A. Required Amenity Area = 5% of Gross Residential Area	
		B.1 All residents shall have access to at least one amenity area	
		B.4 Common amenity shall have min horiz dim of 10', min area of 250-sf	
		B.5 Private balconies and decks shall have min horiz dim of 6', min area of 60-sf	
LR3 ZONE	Code Citation	Standard	Project-Specific Notes
Floor Area Ratio	SMC 23.45.510, Table A	FAR Limit = 2.3 for developments in LR3-zones with MHA suffix located in urban centers	Max Chargeable Area (LR3 portion of site) = 2.3 x 2,591-sf = <b>5,959-gsf</b>
Density Limit	SMC 23.45.512 A.1	No denisty limit	
Structure Height	SMC 23.45.514, Table A	Height Limit = 50' for apartments in LR3-zones with MHA suffix located in urban centers	
Setbacks	SMC 23.45.518, Table A	Front: 5' minimum	Potential Departure Request
		Side: 5' minimum, 7' average fo façades greater than 40' in length	
		Rear: 10' minimum with alley	Potential Departure Request
Amenity Area (Apartments)	SMC 23.45.522	A.1 25% of lot area	Minumum Amenity Area (LR3 portion of site) = 25% x 2,591-sf = 648-sf
		A.2/A.4 Minimum of 50% of required amenity area to be located at ground level and to be common	Minimum Common Amenity Area = 50% x 648-sf = 324-sf
		D.5.a No common amenity may be less than 250-sf in area, or 10' in length	
		D.5.b At least 50% of common amenity area at ground level must be landscaped	
Landscaping Standards	SMC 23.45.524 A.2.a	Green Factor score of 0.6 or greater is required	
Façade Length	SMC 23.45.527 B.1	Maximum façade length within 15' of side lot lines shall not exceed 65% of length of lot line	Max façade length within 15' of east prop line = 65% x 80.97' = 52.63'
ALL ZONES	Code Citation	Standard	Project-Specific Notes
Improvements for Existing Streets	SMC 23.53.015	Table A: Min right-of-way widths for existing nonarterial streets, NC3 zone = 52'	Remington Court is 42' wide
		D.1.b A setback is required equal to half the difference between the current right-of-way width and the minimum right of way width	5' setback required
		D.3.f Setback requirement may be waived if one or more substantial principal structures on same side of block ast proposed project is in area needed for future expansion and the structure's condition makes future widening of ROW unlikely.	Existing building is in the area needed for future expansion
Alley Improvements	SMC 23.53.030	Table C: Min right-of-way widths for alleys with majority LR3/NC2 frontage = 16'	Alley is 10' wide
		F.1 A dedication is required equal to half the difference between the current right-of-way width and the minimum right of way width	3' dedication required
		G.8 Dedication requirement may be waived if one or more substantial principal structures on same side of block ast proposed project is in area needed for future expansion and the structure's condition makes future widening of ROW unlikely.	Existing building is in the area needed for future expansion
Required Parking	SMC 23.54.015 Table A	Item IIJ: No minimum parking for non-residential uses in urban centers	
	SMC 23.54.015 Table B	Item III: No minimum parking for residential uses in urban centers	
Bicycle Parking	SMC 23.54.015 Table D	A.1 Eating + drinking establishments: 1/5000-sf long-term, 1/1000-sf short-term	
		D.2 Multi-family structures: 1 per dwelling unit for first 50 long term, then 3/4 per dwelling unit; 1 per 20 dwelling units short term	
Solid Waste + Recycling	SMC 23.54.040 Table A	Storage area, residential: 16-25 dwelling units requires 225-sf	
		Storage area, non-residential: 0-5,000-sf requires 82-sf; for mixed-use only 50% needs to be provided per SMC 23.54.040 B	
MHA Payment Option, Commercial	SMC 23.58B.040	First 4,000 gross square feet of street-level commerical uses are exempt	
MHA Payment Option, Residential	SMC 23.58C.040 A.1.b	\$20.75 / SF for the gross floor area in residential use in the addition	







# SITE ANALYSIS • EXISTING BUILDING

## EXISTING BUILDING HISTORY

*General*

The existing building at 452 12th Avenue consists of a 2-story unreinforced masonry structure constructed in 1923 and a single-story addition along the east elevation constructed around 1980. The original structure consists of 9" two-wythe unreinforced masonry walls supporting wood framed floor and roof construction. Reinforced concreted beams supported by unreinforced masonry columns span across first floor storefront openings along the west façade. The first floor is a 4" slab on grade, stepping with the changing grade. The original building is supported by a conventional shallow foundation. The single-story addition is wood framed with premanufactured trusses and masonry walls at the north and south elevations. Originally designed as garage and storage space, the addition has more recently served as an extension of tenants' retail spaces, housing a kitchen and a pool room.

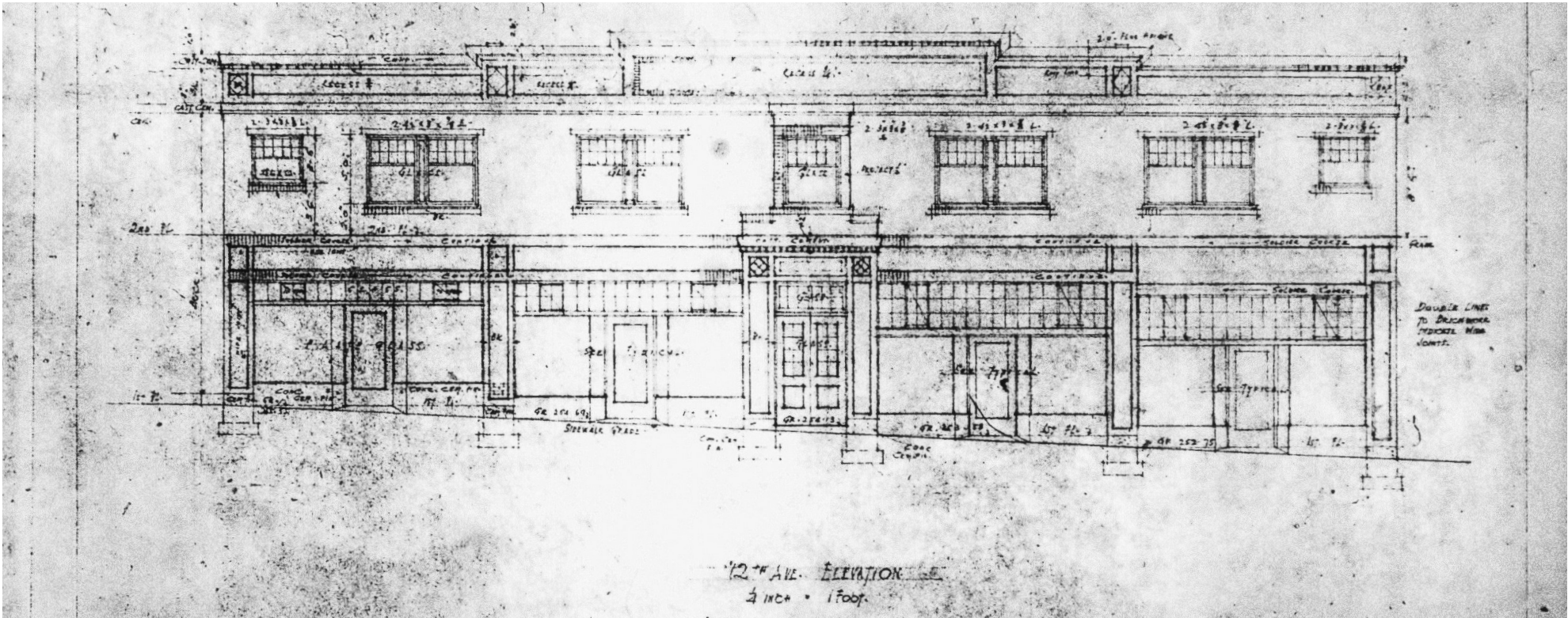
- Exterior*
- Original brick and terracotta detailing of the exterior remain mostly intact
  - Windows have been modified over the years
  - Original storefront glazing has been replaced with framed in-fill walls, clad in wood lap siding with punched windows and doors
  - Awnings were added in the 1980's
  - A single-story addition along the east elevation constructed around 1980

- Interior*
- The building consists of four street-level commercial spaces fronting 12th Avenue.
  - The second floor consists of four one-bedroom apartment units organized around two stairs.
  - The interior is in need of maintenance and repair.

*Architect*

Pierce A. Horrocks, Architect of Record, was born in England where he received his architectural education and training. He practiced architecture in Chicago before relocating to Seattle in the 1920s. He was partner of McQuaker and Horrocks Architects from 1919-1922 and shortly after established his own practice, Pierce A. Horrocks Architect, which operated from 1922-1939. In 1925 he designed the Women's Century Club (Harvard Exit Theater) in Capitol Hill. He is the Architect of Record for the Seattle Buddhist Church in First Hill and collaborated with John R. Nevins on the Yancy-Donworth Building located downtown.

- Timeline*
- 1923 Permit to build 2-story "Stores and Apartment" Building for Squire Investment Co.
  - 1959 Interior non structural changes for Dry Cleaning business
  - 1980 Permit to build 1600 SF garage addition
  - 1981 Interior alteration to existing apartment
  - 1984 Exterior aluminum awnings added
  - 1996 Retail use changed to Restaurant



Original West Building Elevation (SDCI - Microfilm Library)



Photograph of Original Structure Built in 1923 (SDCI Microfilm Library - Date Unknown)



Photograph of Garage Addition (SDCI Microfilm Library - 1981)





View of Existing Building along 12th Avenue



Terracotta and Brick Detailing



Aluminum Awnings added in the 80's



In-fill Walls at Storefront



View of Garage Addition from E Remington Ct



Neighboring Building along East of Project Site



View of Garage Addition from Alley



PRIORITY DESIGN GUIDELINES

CONTEXT + SITE

\*Denotes Central Area Neighborhood Guideline

CS2 Urban Pattern + Form

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces and open spaces in the surrounding area.

**CS2.A2 Architectural Presence:** Evaluate the degree of visibility or architectural presence that is appropriate or desired given the context.

**CS2.B2 Connection to the Street:** Identify opportunities for the project to make a strong connection to the street and carefully consider how the building will interact with the public realm.

**CS2.D4 Massing Choices:** Strive for a successful transition between zones where a project abuts a less intense zone.

**CS2.D3 Zone Transitions:** For projects located at the edge of different zones, provide an appropriate transition or complement to adjacent zone.

**\*CS2.1 Transition and Delineation of Zones:** a) Where denser zones transition to lower density residential zones, provide privacy layering and scale for ground related entrances, porches, and stoops on the façade facing the less dense residential zone.

**CS3 Architectural Context + Character**

Contribute to the architectural character of the neighborhood.

**CS3.A1 Fitting Old and New Together:** Create compatibility between new projects and existing architectural context...through building articulation, scale and proportion, roof forms, detailing, fenestration, and/or the use of complementary materials.

**CS3.A4 Evolving Neighborhoods:** In neighborhoods where architectural character is evolving or otherwise in transition, explore ways for new development to establish a positive and desirable context for others to build upon in the future.

**CS3.B2 Historical/Cultural References:** Reuse existing structures on the site where feasible as a means of incorporating historical or cultural elements into the new project.

**\*CS3.1 Neighborhood Context:** a) Retain and encourage the extension of existing positive attributes of the surrounding neighborhood character; b) Where appropriate, encourage the preservation, rehabilitation, adaptive reuse, and/or addition to existing structures as a way to continue the existing neighborhood fabric.

RESPONSE:

In the spirit of Design Guidelines, CS3.A1 and CS3.B2, the preferred design strategy preserves the 1923 masonry building and thoughtfully adds a modern addition to the site. The penthouse portion of the addition, which adds a third story to the existing structure is kept to a single level in order to maintain the prominence of the existing structure. The penthouse and the adjacent five story addition that sits on the eastern portion of the site are designed to be compatible, but clearly differentiated from the original architecture. Steel braced frames will be installed to seismically retrofit the original building and while the masonry shell and terracotta detailing will be preserved, opportunities to weave meaningful modern intervention into the original structure, such as expanded windows will be explored. The proposed new structure in the preferred design strategy is organized around an east-facing mid-block courtyard that is calibrated to align with the balconies of the neighboring apartment building, providing a generous landscaped buffer.

PUBLIC LIFE

\*Denotes Central Area Neighborhood Guideline

PL1 Connectivity

Complement and contribute to the network of open spaces around the site and the connections among them.

**PL1.A2 Adding to Public Life:** Seek opportunities to foster human interaction through an increase in the size and/or quality of project related open spaces available for public life. Consider features such as widened sidewalks, recessed entries, curb bulbs, courtyards, or through-block connections...

**PL2 Walkability**

Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.

**PL2.A1 Access for All:** Provide access for people of all abilities in a manner that is fully integrated into the project design.

**PL2.B1 Eyes on the Street:** Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies and street-level uses.

**PL2.B3 Street-Level Transparency:** Ensure transparency of street level uses (for uses such as nonresidential uses or residential lobbies), where appropriate...

**PL2.C1 Weather Protection Locations and Coverage:** Overhead weather protection is encouraged and should be located at or near uses that generate pedestrian activity...

**PL3 Street-Level Interaction**

Encourage human interaction and activity at street-level with clear connections to building entries and edges.

**PL3.A1 Entries:** Design primary entries to be obvious, identifiable, and distinctive... Common entries to multi-story residential buildings need to provide privacy and security for residents, but also be welcoming and identifiable to visitors.

**PL3.C1 Porous Retail Edges:** Engage passerby with opportunities to interact visually with the building interior using glazing and transparency.

**\*PL3.1 Frontages:** c) Promote transparency and “eyes on the street”

**\*PL3.2 Streetscape Treatment:** c) To protect pedestrians along the sidewalk, provide overhead weather protection at all non-residential frontages; h) Encourage a safe comfortable environment for pedestrians with components of complete streets (ex: wide planter zones, wide sidewalks, and/ or building setbacks to allow for usable porches, stoops and outdoor seating)

RESPONSE:

The existing building offers no accessibility to the 2nd floor apartments. The preferred alternative retains the existing building, but adds elevator access. Following the pattern of articulated residential entrances of the neighboring apartment buildings, the proposed lobby has been located along Remington Court and is setback to create a well-defined entry porch. This porch could include an integrated bench to encourage outdoor seating, enlivening the pedestrian environment. Balconies and ample glass will provide added eyes on the street enhancing the safety and vitality of the sidewalk environment. The storefront openings in the existing façade along 12th Avenue will be restored back to their fully glazed condition offering visual accessibility into the commercial spaces. New canopies will provide overhead protection to the four commercial entrances.

DESIGN CONCEPT

\*Denotes Central Area Neighborhood Guideline

DC2 Architectural Concept

Develop an architectural concept that will result in a unified and functional design that- fits well on the site and within its surroundings.

**DC2.A Massing:** 1) Arrange mass of the building taking into consideration the characteristic of the site and proposed uses of the building and its open spaces; 2) Use secondary architectural elements to reduce the perceived massing of larger projects.

**DC2.B Architectural and Façade Composition:** 1) Design all building façades considering the composition and architectural expression of the building as a whole

**DC2.C1 Visual Depth and Interest:** Add depth to facades where appropriate by incorporating balconies, canopies, awnings, decks, or other secondary elements into the façade design.

**DC2.D Scale and Texture:** 1) Incorporate architectural features, elements, and details that are of human scale into the building façade... 2) Design the character of the building, as expressed in the form, scale and materials, to strive for a fine-grained scale, or “texture”...

**\*DC2.1 Building Layout and Massing:** a) Project concepts should be intelligible and clear; c) Smaller and varied building forms are encouraged.

**DC4 Exterior Elements + Finishes**

Use appropriate and high-quality elements and finishes for the building and open spaces.

**DC4.A1 Exterior Finish Materials:** Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

**\*DC4.2 Building Materials:** c) Salvage building materials when possible. If reusable materials, such as brick, are removed from demolished buildings, use them in the new development as visible building components.

**\*DC4.3 Building Details and Elements:** a) Provide operable windows in a way that promotes natural ventilation; b) Incorporate building materials that reflect human scale and craftsmanship of the building process; d) Façades should exhibit a rhythm of fenestration, and transparency of the inside program out to the public realm.

RESPONSE:

Consistent with Central Area Design Guideline DC2.1c, the preferred design alternative configures the penthouse and addition in a manner that is more granular than the other options. The articulated massing of the new structures offers depth, rhythm, and scale, and does not compete with the purity of original brick box. The addition and penthouse likely to be clad in profiled metal cladding providing texture and a crisp contrast to the vintage masonry of the existing building.





Modern Penthouse / Vintage Base - Materiality + Form



Modern Penthouse / Vintage Base - Materiality + Form



Fitting Old + New Together - Local Example



Modern Penthouse / Vintage Base - Local Example



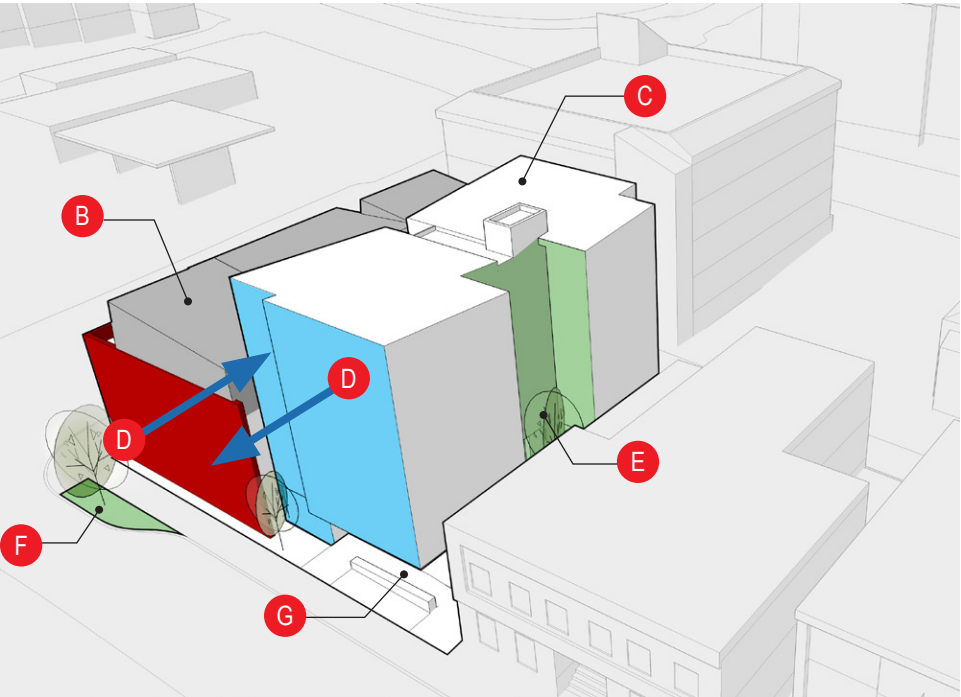
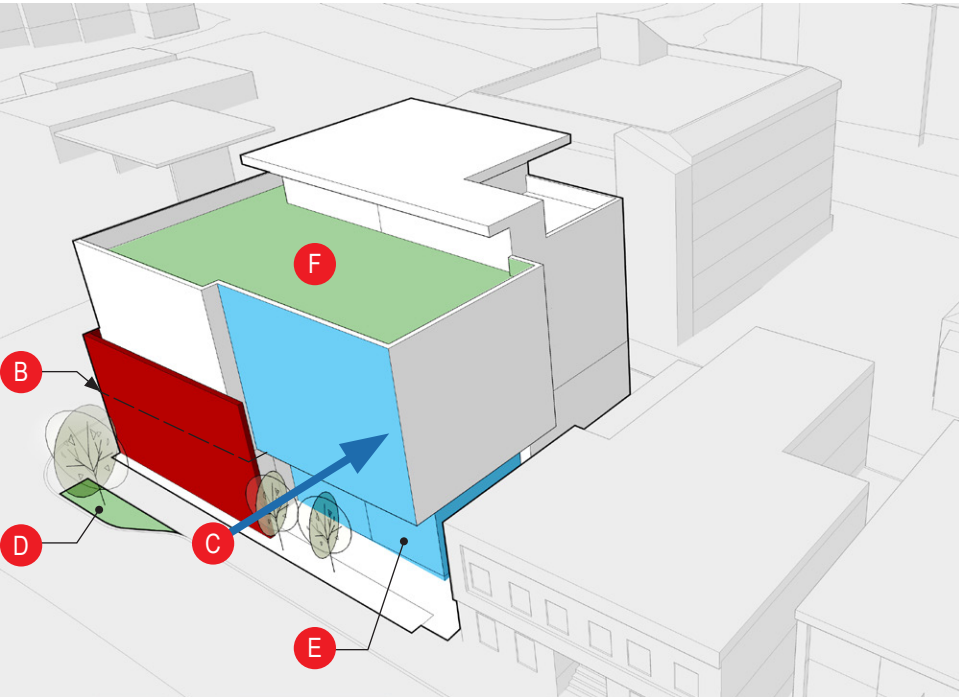
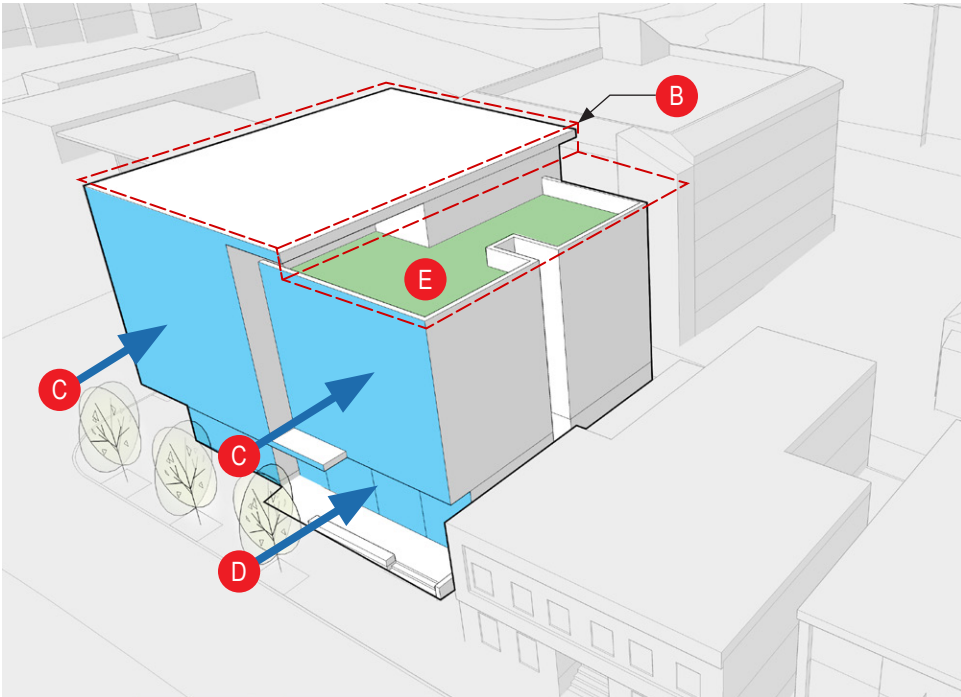
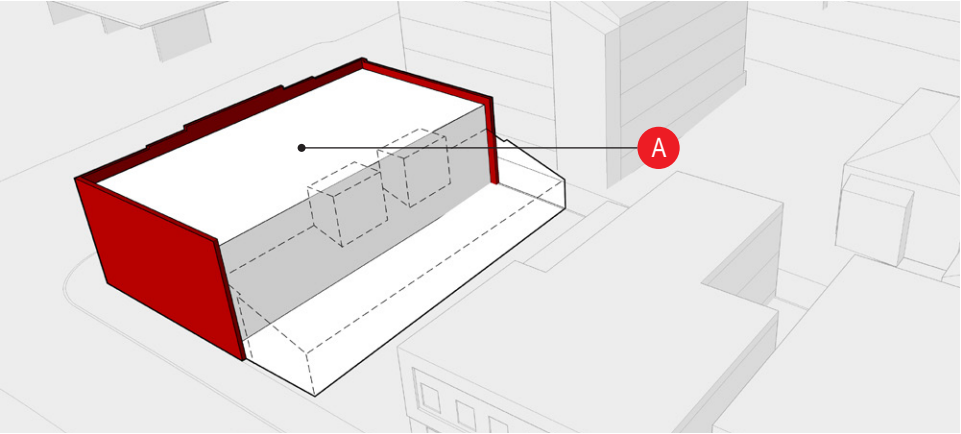
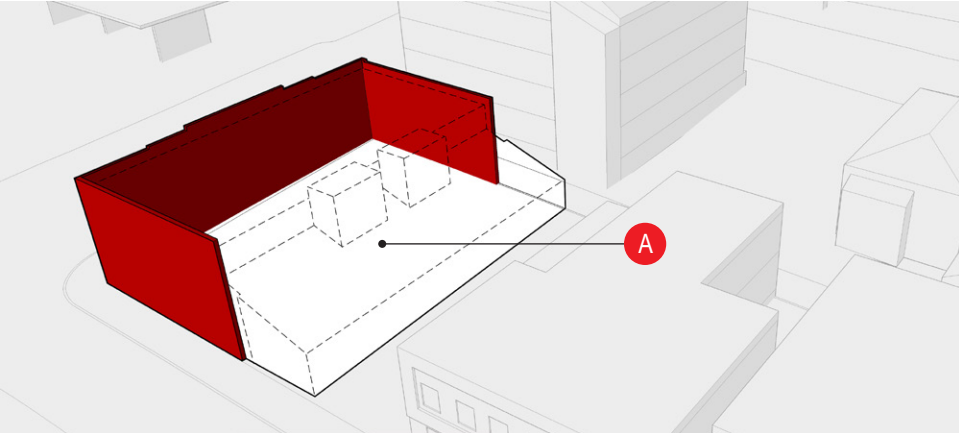
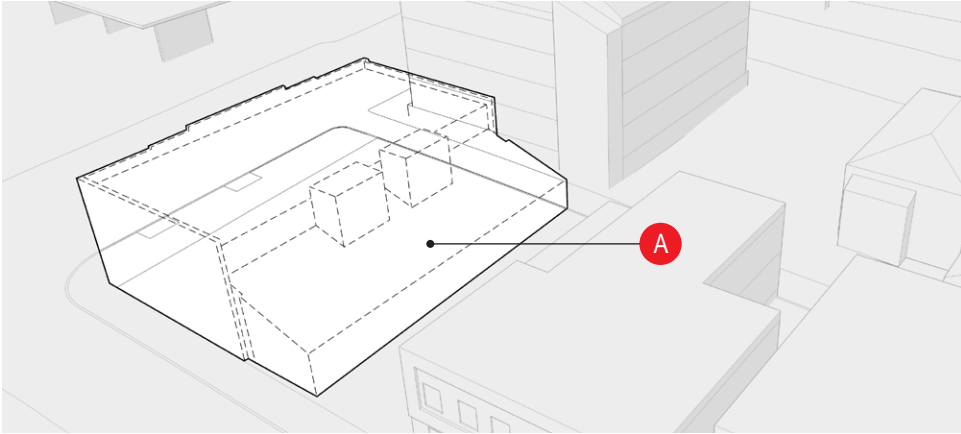
Well-Defined Residential Entrance with Porch / Stoop - Local Example



Balconies, Visual Connection + Façade Depth



MASSING CONCEPTS • COMPARISON OF SCHEMES



Alternative 1 (Code Compliant Scheme)

- A Demolish existing building
- B Split grade plane results in stepped building height
- C South facade pushed in 5' at NC zone and 8' at LR zone for required ROW setbacks
- D First floor pushed in to create integrated rain coverage at commercial and residential entrance
- E Southwest roof deck opportunity at shift in building height

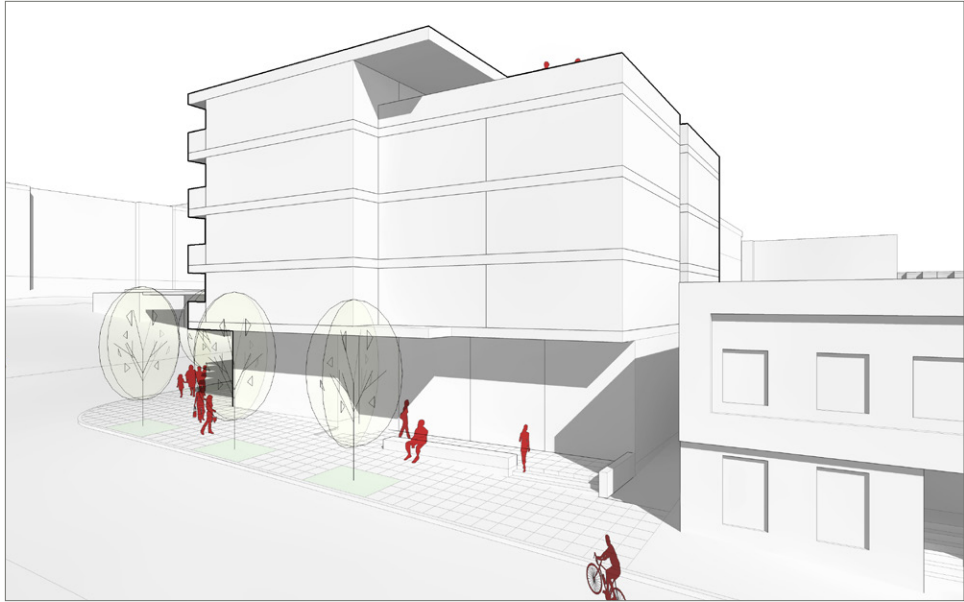
Alternative 2 (Code Compliant Scheme)

- A Demolish existing building, but save the north, west and south facades
- B Set floor lines based on existing facade openings
- C Push east half of south mass in to allow for street tree at back of Remington sidewalk
- D Create curb bulb at corner to enhance pedestrian experience, provide a buffer from 12th Avenue, and create a street tree opportunity
- E Expanded first floor height at southeast corner is an opportunity for 2-story loft units along Remington
- F Locate amenity pavillion and roof deck at fifth floor

Alternative 3 (Preferred Scheme)

- A Retrofit original structure and remove added garage structures
- B Add third floor penthouse units clearly differentiated from existing structure
- C Create a 5-story addition on the eastern half of the site, connected to original building and providing shared elevator and lobby
- D Push and pull south face of new structure to manage scale and allow for street tree at back of Remington sidewalk
- E Create east-facing mid-block courtyard, calibrated to align with balconies on existing apartment to the east
- F Create curb bulb at corner to enhance pedestrian experience, provide a buffer from 12th Avenue, and create a street tree opportunity
- G Recess first floor along Remington to create covered residential entry porch





### Alternative 1 (Code Compliant Scheme)

*Description*  
Alternative 1 proposes demolishing the entirety of the existing building, clearing the site for new construction. Establishing a split average grade based on the shift in zoning allows for 5-stories of construction along the western two-thirds of the site and four stories at the eastern portion, with gracious floor to floor heights. The step-in building height is consistent with the shift from more intensive commercial zoning along 12th Avenue to less intensive multi-family along Remington Court and creates an opportunity for a communal roof deck at the fifth level that is oriented to the southeast. Strict adherence with the required Right of Way setbacks creates a shift in the south elevation which helps to break down the massing. Pushing in the first floor allows for continuous integrated rain coverage. The residential entrance is recessed further creating a covered porch along Remington Court. Commercial spaces are oriented toward 12th Avenue.

- Program*
- 28 Apartments
  - Average Unit Size: 539-SF
  - 1,755-SF of Commercial Space
  - No Auto Parking

- FAR Utilization:*
- NC3P-55: 16,630-GSF (97%)
  - LR3: 5,043-GSF (85%)
  - Total: 21,403-GSF (94%)

- Advantages*
- Efficient use of site allows for maximized unit count
  - Rooftop Amenity Space
  - Widened sidewalks
  - Gracious floor to floor heights

- Challenges*
- Loss of the character and texture connected to existing building
  - Creates abrupt scale shift to neighboring apartments on Remington
  - Limited unit variety



### Alternative 2 (Code Compliant Scheme)

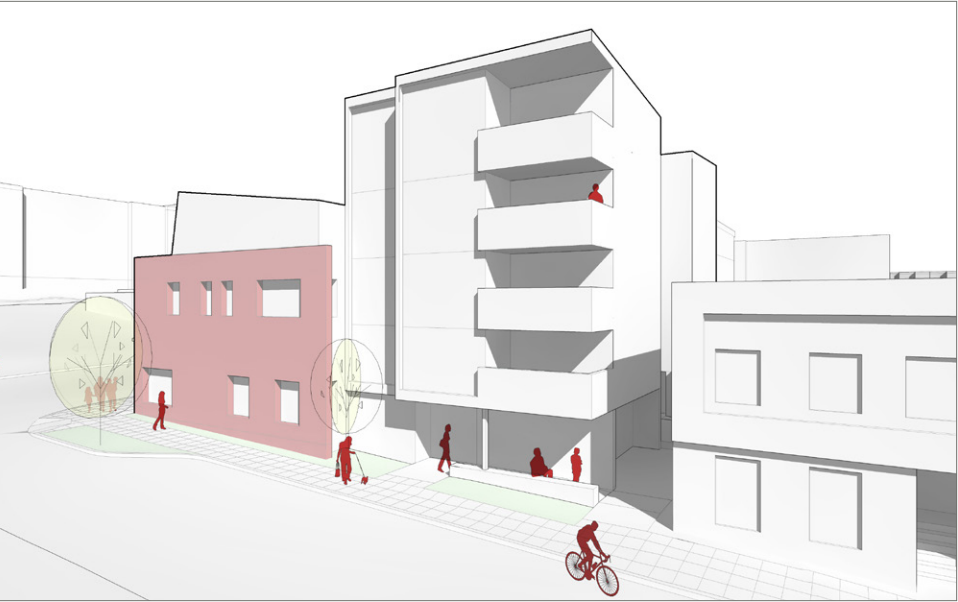
*Description*  
Alternative 2 proposes gutting the existing building and only preserving the north, east and south exterior walls of the original structure. A new five-story structure is configured within the shell of the old building, expanding to the east setback limits. The eastern half of the massing pushes in 5-feet to observe the front setback along Remington and allow space for a back-of-sidewalk street tree. Existing façade openings set the location of the second floor, which allows tall first floor spaces and accommodates 2-story loft units at the eastern half of the Remington Court streetfront. The residential lobby is accessed from 12th Avenue through the existing façade, as are a pair of commercial spaces. The fifth floor is set back from the street façades and is limited to an amenity pavilion, associated circulation and a communal roof deck. A curb bulb at the intersection enhances the pedestrian experience by buffering the noise and traffic from 12th Avenue, expanding the sidewalk width and allowing for a street tree in front of the original south façade.

- Program*
- 23 Apartments
  - Average Unit Size: 635-SF
  - 2,300-SF of Commercial Space
  - No Auto Parking

- FAR Utilization:*
- NC3P-55: 16,848-GSF (100%)
  - LR3: 5,202-GSF (87%)
  - Total: 22,050-GSF (97%)

- Advantages*
- Retains existing character façade
  - Rooftop Amenity Space
  - Curb bulb sets pedestrian-oriented tone
  - High utilization of FAR

- Challenges*
- New construction dominates existing structure and creates awkward proportions
  - Street-level loft units along Remington Court provide minimal pedestrian engagement
  - Limited unit variety



### Alternative 3 (Preferred Scheme)

*Description*  
Alternative 3 proposes retaining and retrofitting the original unreinforced masonry structure. The building program remains the same with commercial spaces at the ground level and four apartment units at the second level. A pair of third floor penthouse is added to the top of the building, clearly differentiated in material and form to maintain the legibility of the original construction. The rear garage sheds are removed to allow for a five-story addition on the eastern portion of the site. Corridors will link the new structure back to the older building, providing elevator access where none had previously existed. Push and pull of the south façade of the new addition allows for more granular articulation and creates a planter for a back-of-sidewalk street tree. A mid-block courtyard along the eastern edge of the property provides a landscaped buffer to the neighboring apartment building. The addition and renovation share a common residential lobby accessed from a covered entry porch fronting Remington Court. As with Alternative 2, a curb bulb at the intersection enhances the pedestrian experience and allows for a street tree in front of the original building's south façade.

- Program*
- 22 Apartments
  - Average Unit Size: 600-SF
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  - No Auto Parking

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  - LR3: 5,957-GSF (100%)
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- Extends life of existing character-rich building
  - New construction complementary to and differentiated from original
  - Granular massing is consistent with Central Area Design Guidelines
  - Lobby location + covered entry porch enhance pedestrian environment
  - Curb bulb sets pedestrian-oriented tone
  - Configuration affords wide variety of unit types

- Challenges*
- Departures required



# MASSING CONCEPTS • ALTERNATIVE 1

CODE COMPLIANT SCHEME

*Description*  
Alternative 1 proposes demolishing the entirety of the existing building, clearing the site for new construction. Establishing a split average grade based on the shift in zoning allows for 5-stories of construction along the western two-thirds of the site and four stories at the eastern portion, with gracious floor to floor heights. The step-in building height is consistent with the shift from more intensive commercial zoning along 12th Avenue to less intensive multi-family along Remington Court and creates an opportunity for a communal roof deck at the fifth level that is oriented to the southeast. Strict adherence with the required Right of Way setbacks creates a shift in the south elevation which helps to break down the massing. Pushing in the first floor allows for continuous integrated rain coverage. The residential entrance is recessed further creating a covered porch along Remington Court. Commercial spaces are oriented toward 12th Avenue.

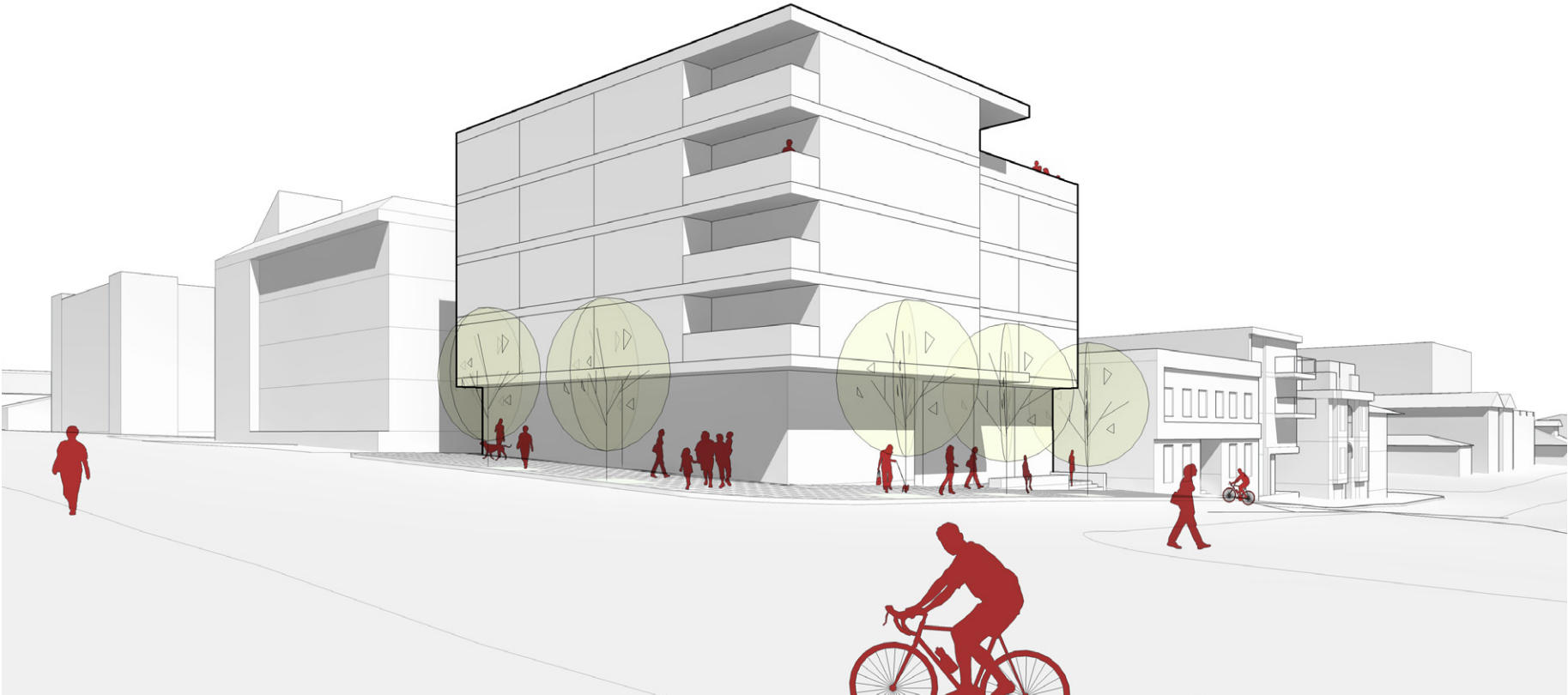
- Program*

  - 28 Apartments
  - Average Unit Size: 539-SF
  - 1,755-SF of Commercial Space
  - No Auto Parking
- Advantages*

  - Efficient use of site allows for maximized unit count
  - Rooftop Amenity Space
  - Widened sidewalks
  - Gracious floor to floor heights
- FAR Utilization:*

  - NC3P-55: 16,630-GSF (97%)
  - LR3: 5,043-GSF (85%)
  - Total: 21,403-GSF (94%)
- Challenges*

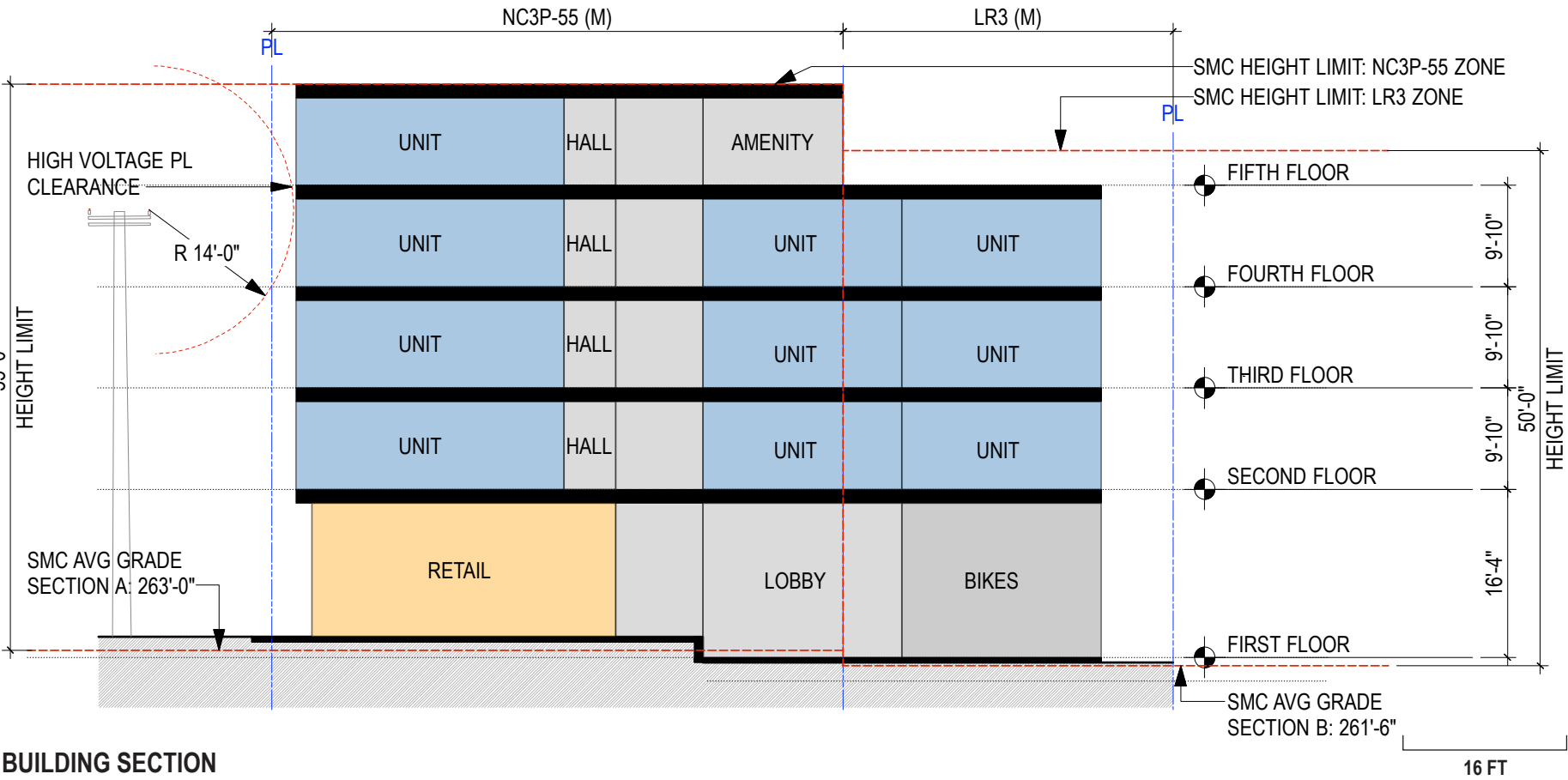
  - Loss of the character and texture connected to existing building
  - Creates abrupt scale shift to neighboring apartments on Remington
  - Limited unit variety



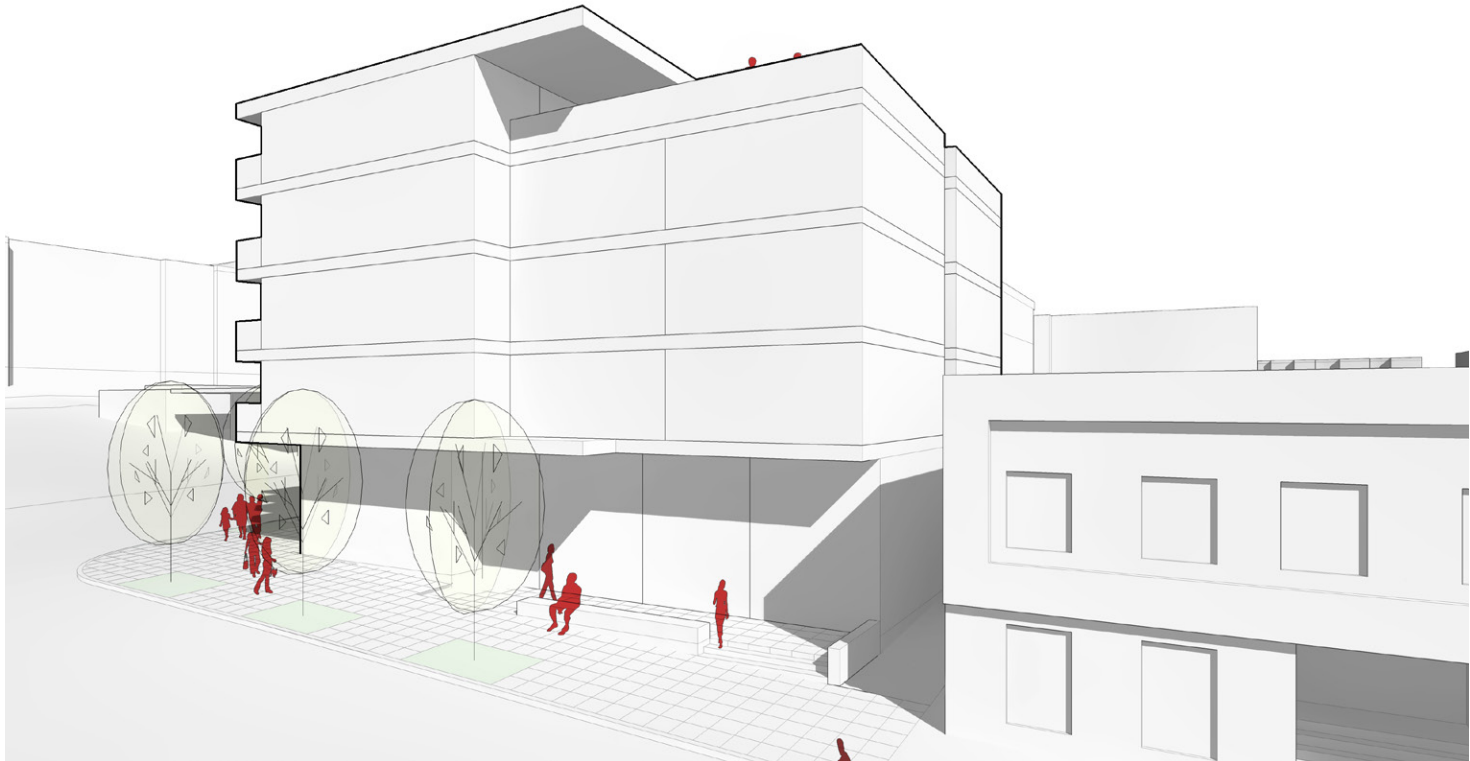
View Looking Northeast



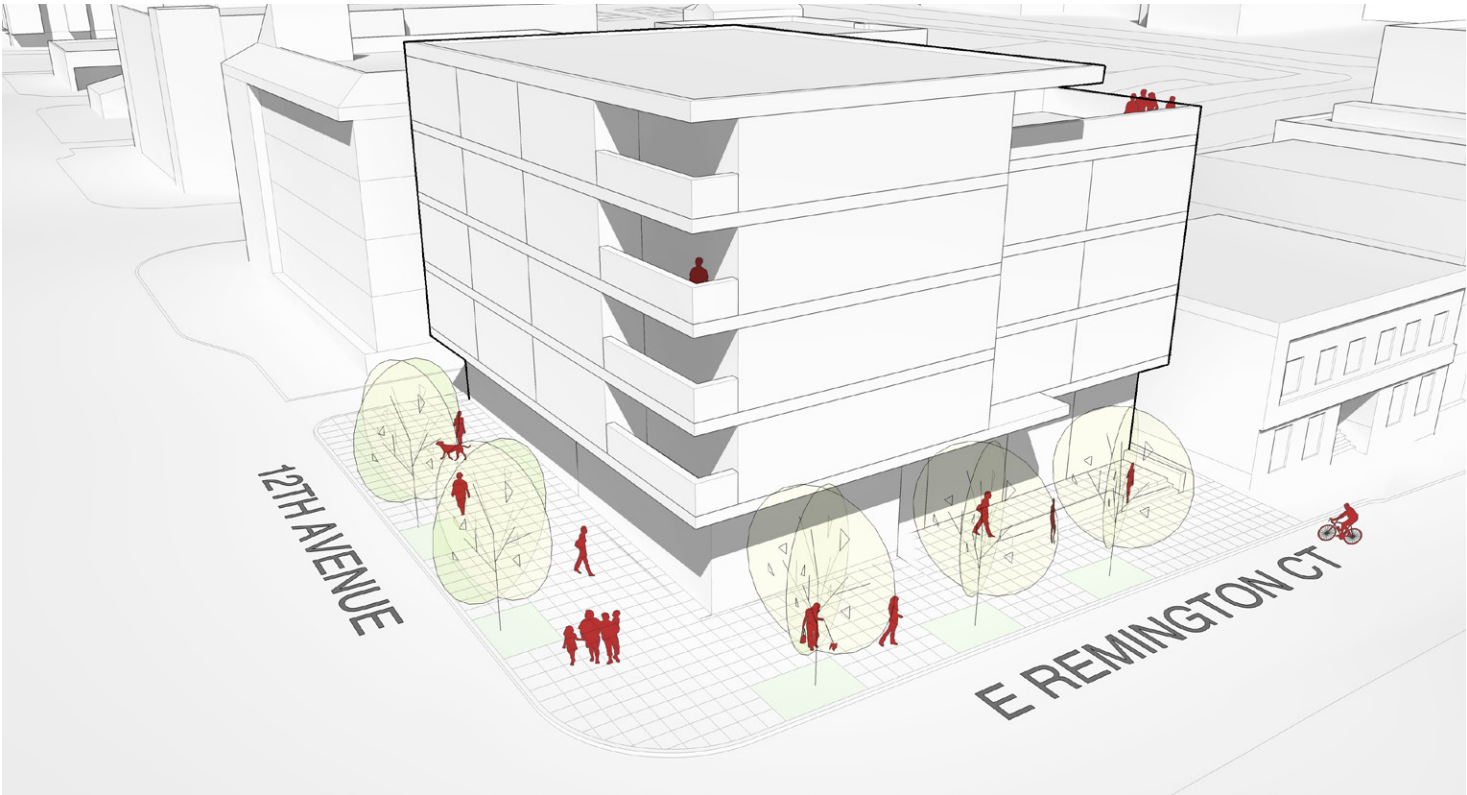
View Looking North



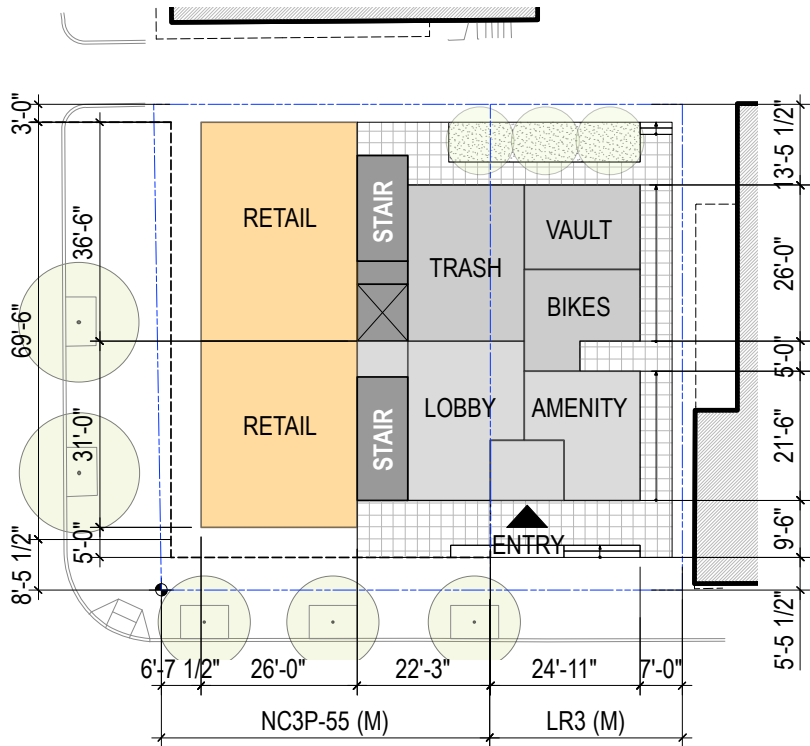




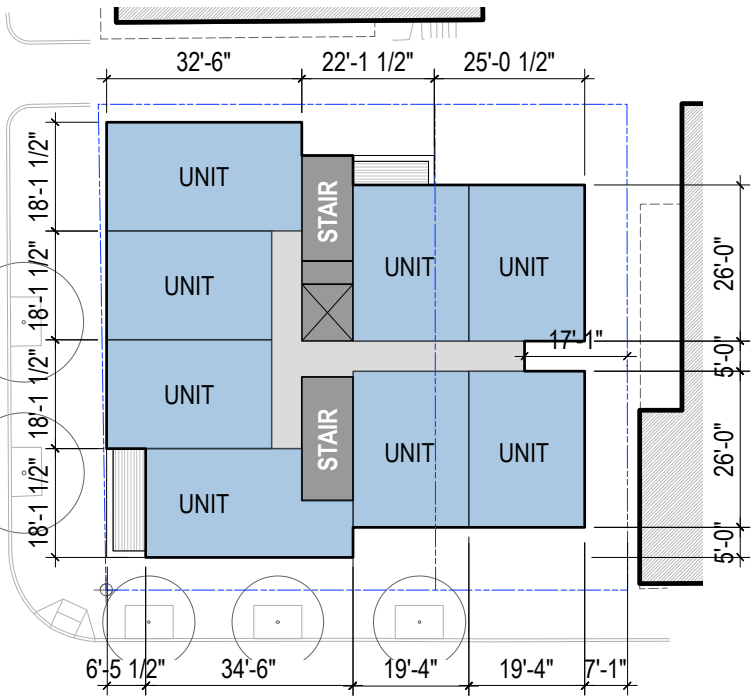
View Looking Northwest



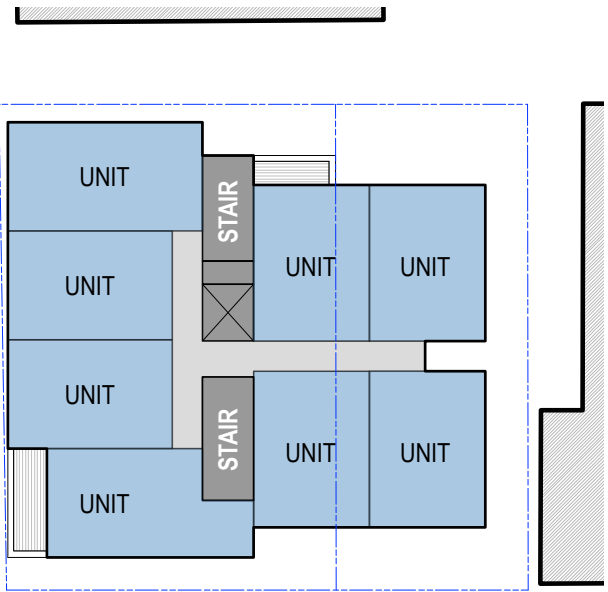
Birds Eye View



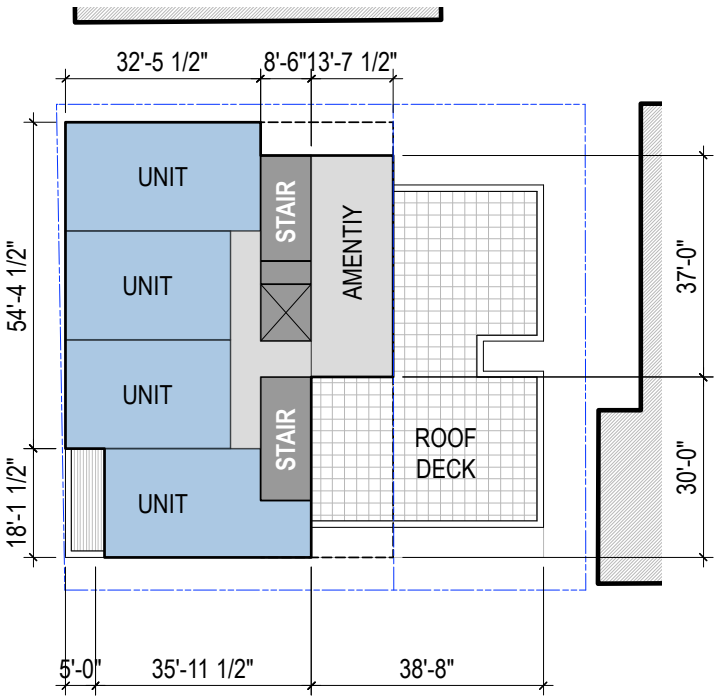
**FIRST FLOOR**  
2,845-GSF (NC3P-55)  
1,179-GSF (LR3)



**SECOND FLOOR**  
3,460-GSF (NC3P-55)  
1,288-GSF (LR3)



**THIRD / FOURTH FLOOR**  
3,460-GSF (NC3P-55)  
1,288-GSF (LR3)



**FIFTH FLOOR**  
3,144-GSF (NC3P-55)  
0-GSF (LR3)





## CODE COMPLIANT SCHEME

*Description*

Alternative 2 proposes gutting the existing building and only preserving the north, east and south exterior walls of the original structure. A new five-story structure is configured within the shell of the old building, expanding to the east setback limits. The eastern half of the massing pushes in 5-feet to observe the front setback along Remington and allow space for a back-of-sidewalk street tree. Existing façade openings set the location of the second floor, which allows tall first floor spaces and accommodates 2-story loft units at the eastern half of the Remington Court streetfront. The residential lobby is accessed from 12th Avenue through the existing façade, as are a pair of commercial spaces. The fifth floor is set back from the street façades and is limited to an amenity pavilion, associated circulation and a communal roof deck. A curb bulb at the intersection enhances the pedestrian experience by buffering the noise and traffic from 12th Avenue, expanding the sidewalk width and allowing for a street tree in front of the original south façade.

*Program*

- 23 Apartments
- Average Unit Size: 635-SF
- 2,300-SF of Commercial Space
- No Auto Parking

### Advantages

- Retains existing character façade
- Rooftop Amenity Space
- Curb bulb sets pedestrian-oriented tone
- High utilization of FAR

*FAR Utilization:*

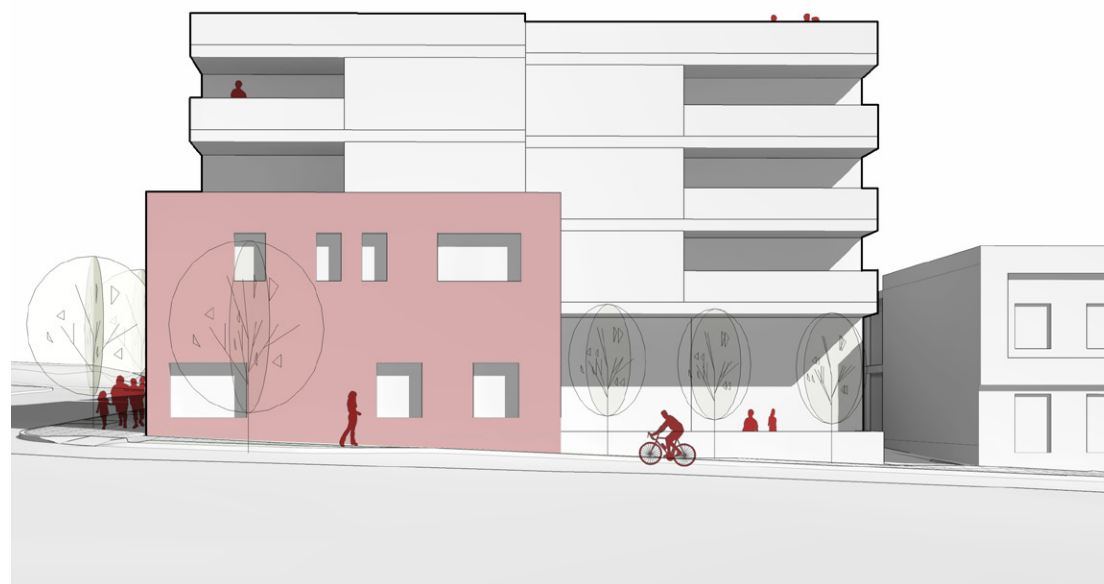
- NC3P-55: 16,848-GSF (100%)
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- Total: 22,050-GSF (97%)

## Challenges

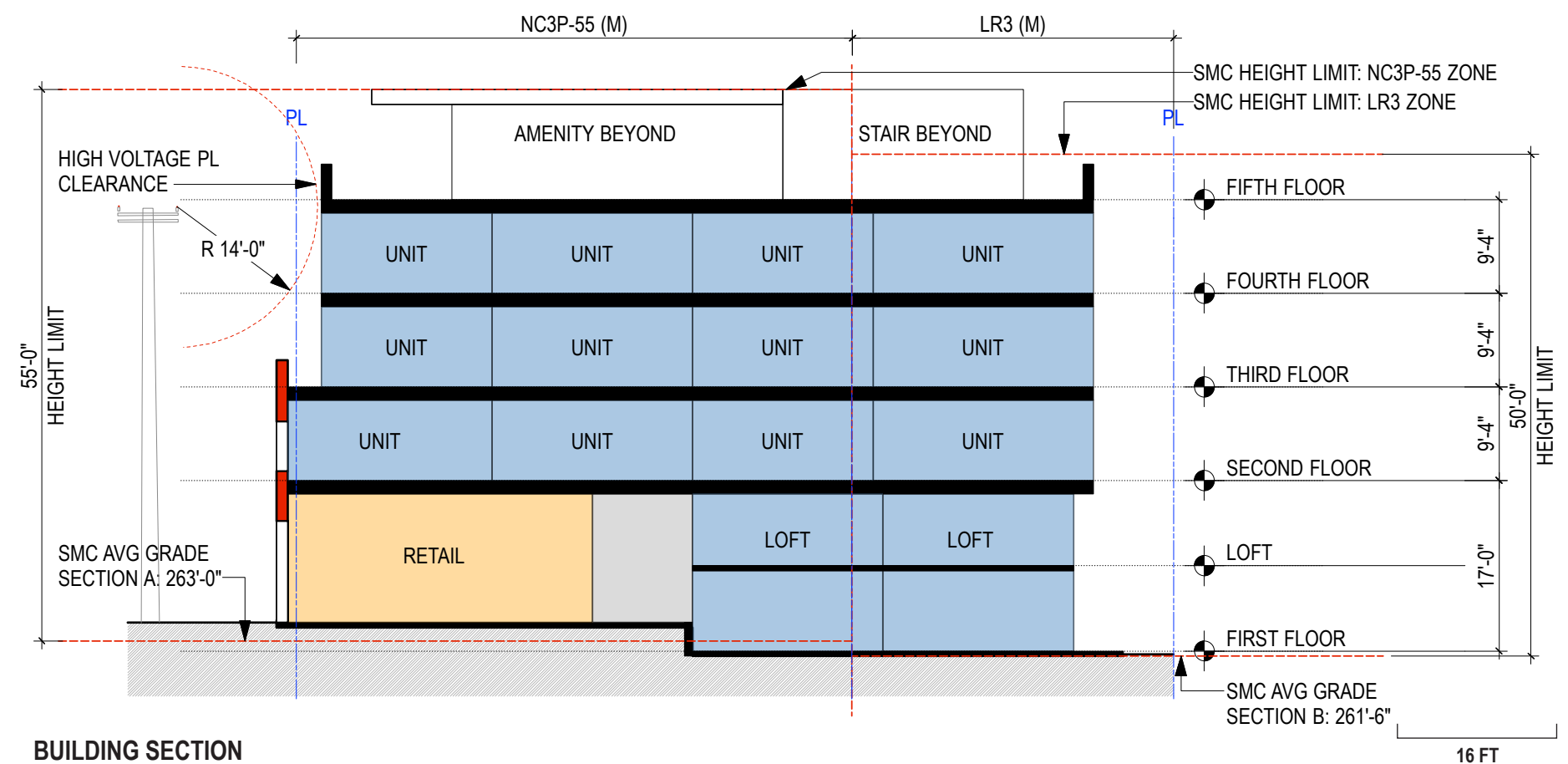
- New construction dominates existing structure and creates awkward proportions
- Street-level loft units along Remington Court provide minimal pedestrian engagement
- Limited unit variety



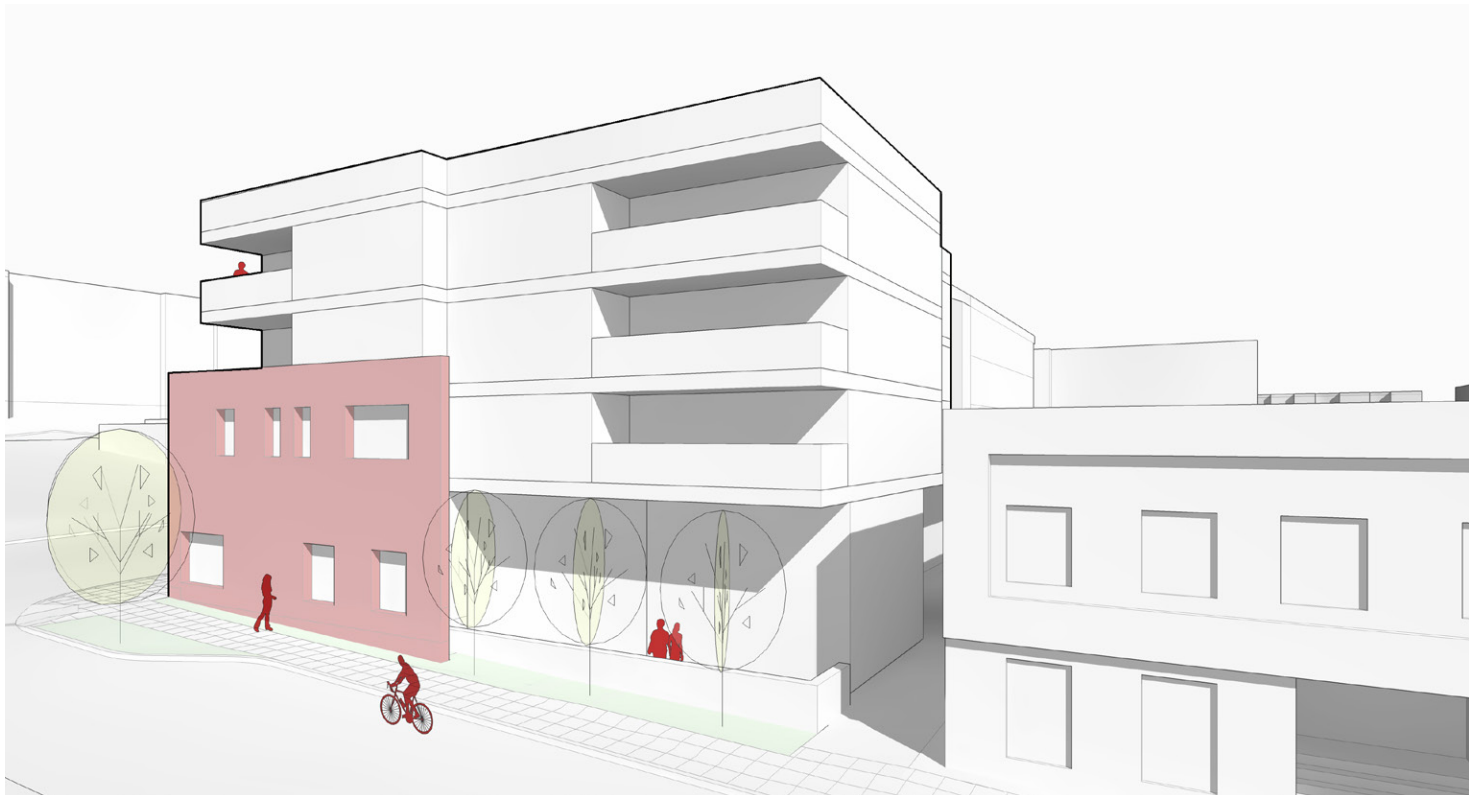
*View Looking Northeast*



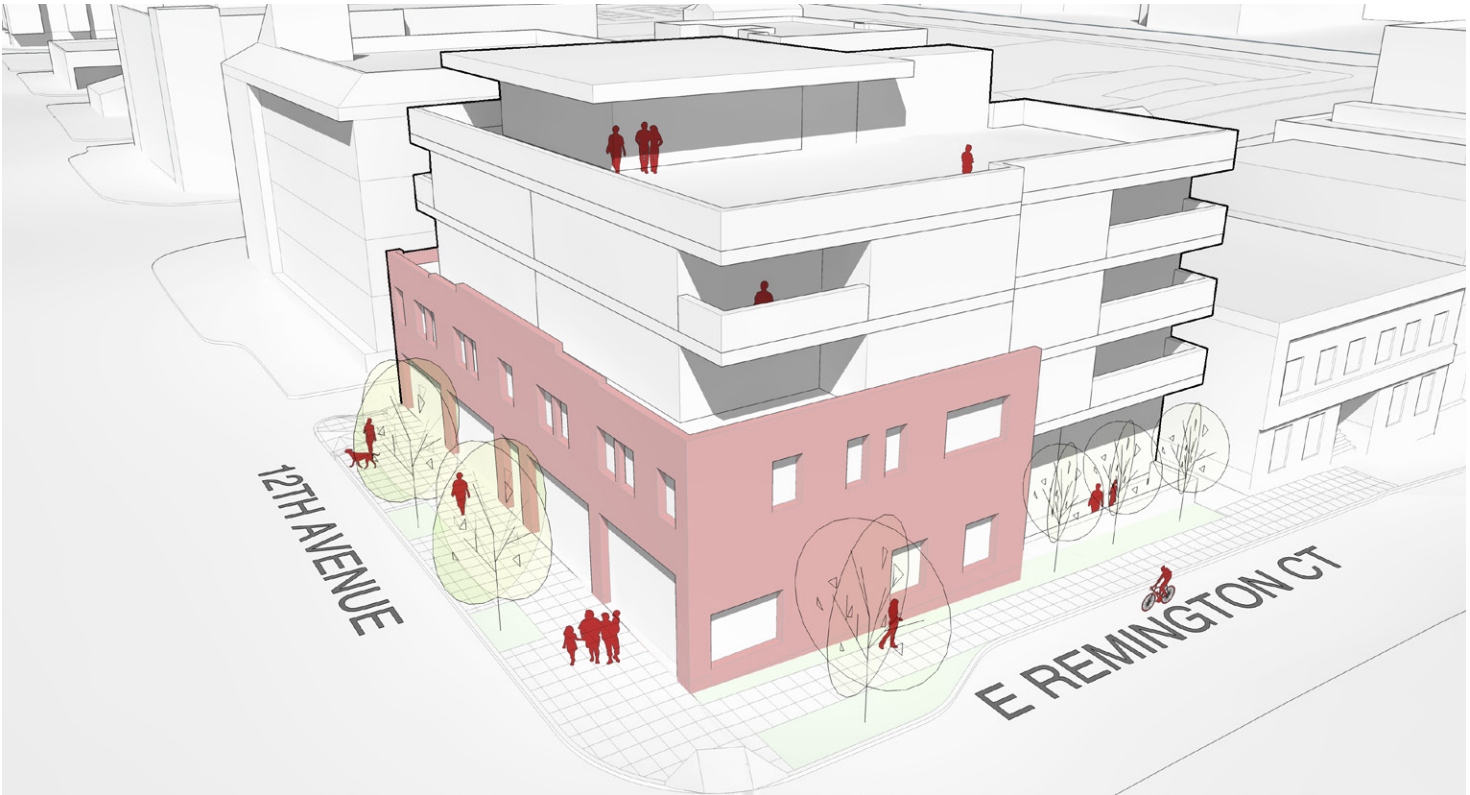
*View Looking North*



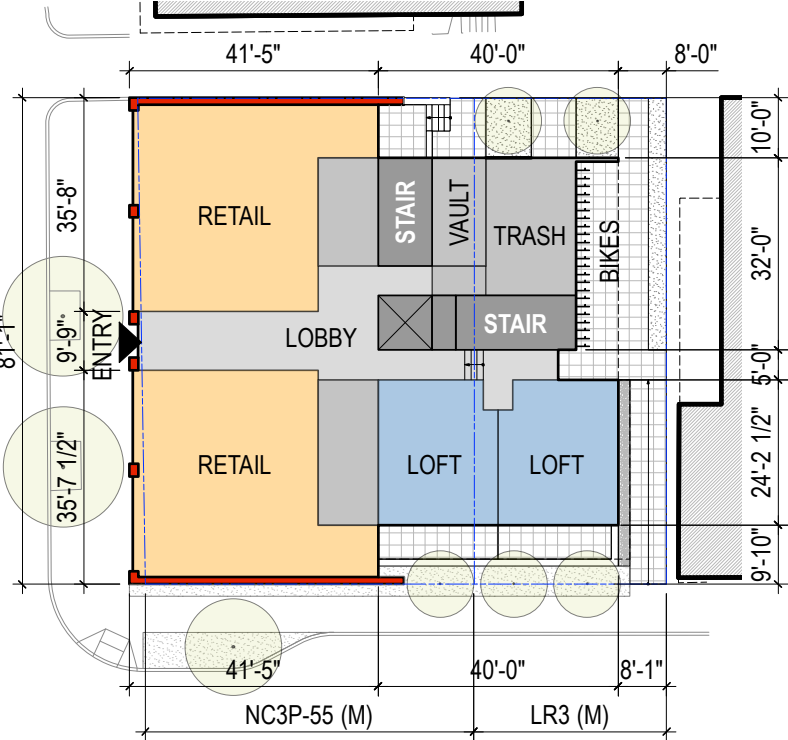




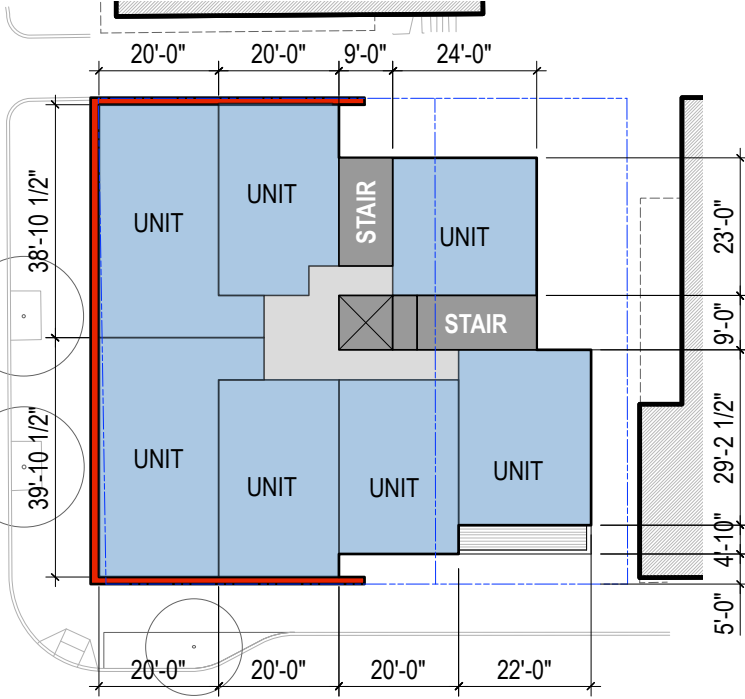
View Looking Northwest



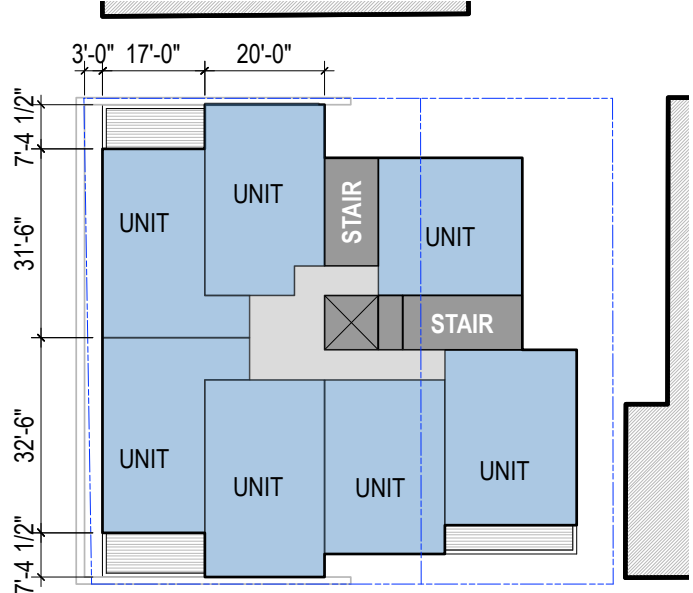
Birds Eye View



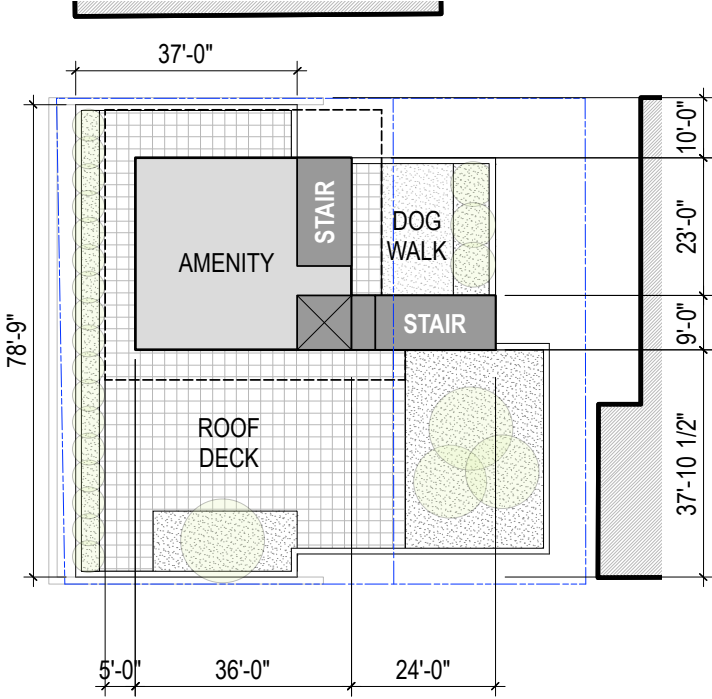
FIRST FLOOR 4,152-GSF (NC3P-55)  
1,117-GSF (LR3)



SECOND FLOOR 4,174-GSF (NC3P-55)  
1,240-GSF (LR3)



THIRD / FOURTH FLOOR 3,585-GSF (NC3P-55)  
1,240-GSF (LR3)



FIFTH FLOOR 1,122-GSF (NC3P-55)  
125-GSF (LR3)





MASSING CONCEPTS • ALTERNATIVE 3  
PREFERRED SCHEME

*Description*  
Alternative 3 proposes retaining and retrofitting the original unreinforced masonry structure. The building program remains the same with commercial spaces at the ground level and four apartment units at the second level. A pair of third floor penthouse is added to the top of the building, clearly differentiated in material and form to maintain the legibility of the original construction. The rear garage sheds are removed to allow for a five-story addition on the eastern portion of the site. Corridors will link the new structure back to the older building, providing elevator access where none had previously existed. Push and pull of the south façade of the new addition allows for more granular articulation and creates a planter for a back-of-sidewalk street tree. A mid-block courtyard along the eastern edge of the property provides a landscaped buffer to the neighboring apartment building. The addition and renovation share a common residential lobby accessed from a covered entry porch fronting Remington Court. As with Alternative 2, a curb bulb at the intersection enhances the pedestrian experience and allows for a street tree in front of the original building's south façade.

- Program*

  - 22 Apartments
  - Average Unit Size: 600-SF
  - 2,600-SF of Commercial Space
  - No Auto Parking

*FAR Utilization:*

  - NC3P-55: 13,614-GSF (81%)
  - LR3: 5,957-GSF (100%)
  - Total: 19,571-GSF (86%)
- Advantages*

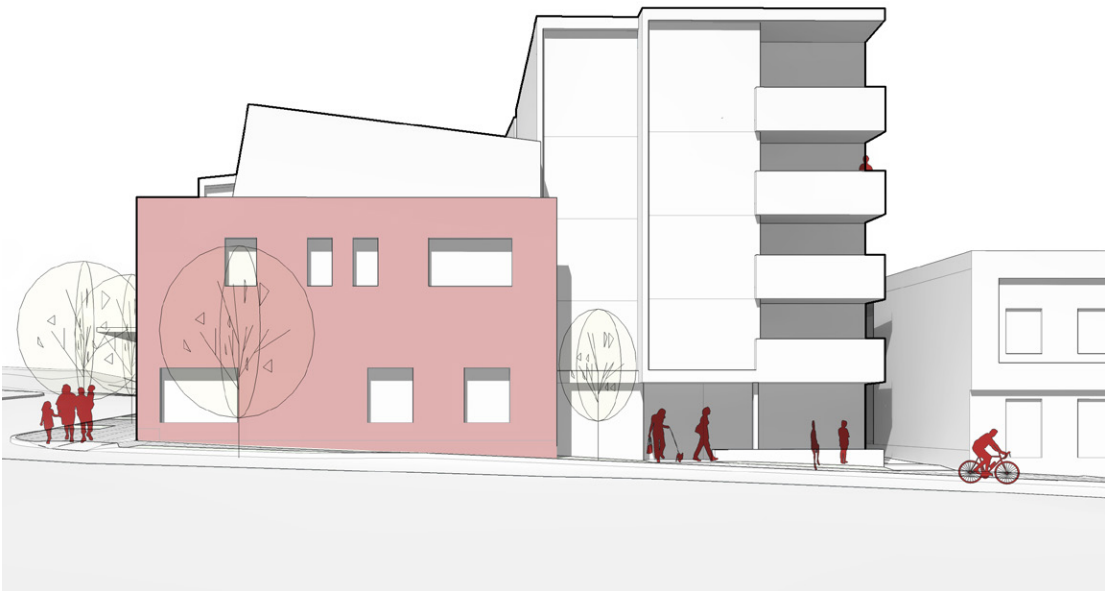
  - Extends life of existing character-rich building
  - New construction complementary to and differentiated from original
  - Granular massing is consistent with Central Area Design Guidelines
  - Lobby location + covered entry porch enhance pedestrian environment
  - Curb bulb sets pedestrian-oriented tone
  - Configuration affords wide variety of unit types

*Challenges*

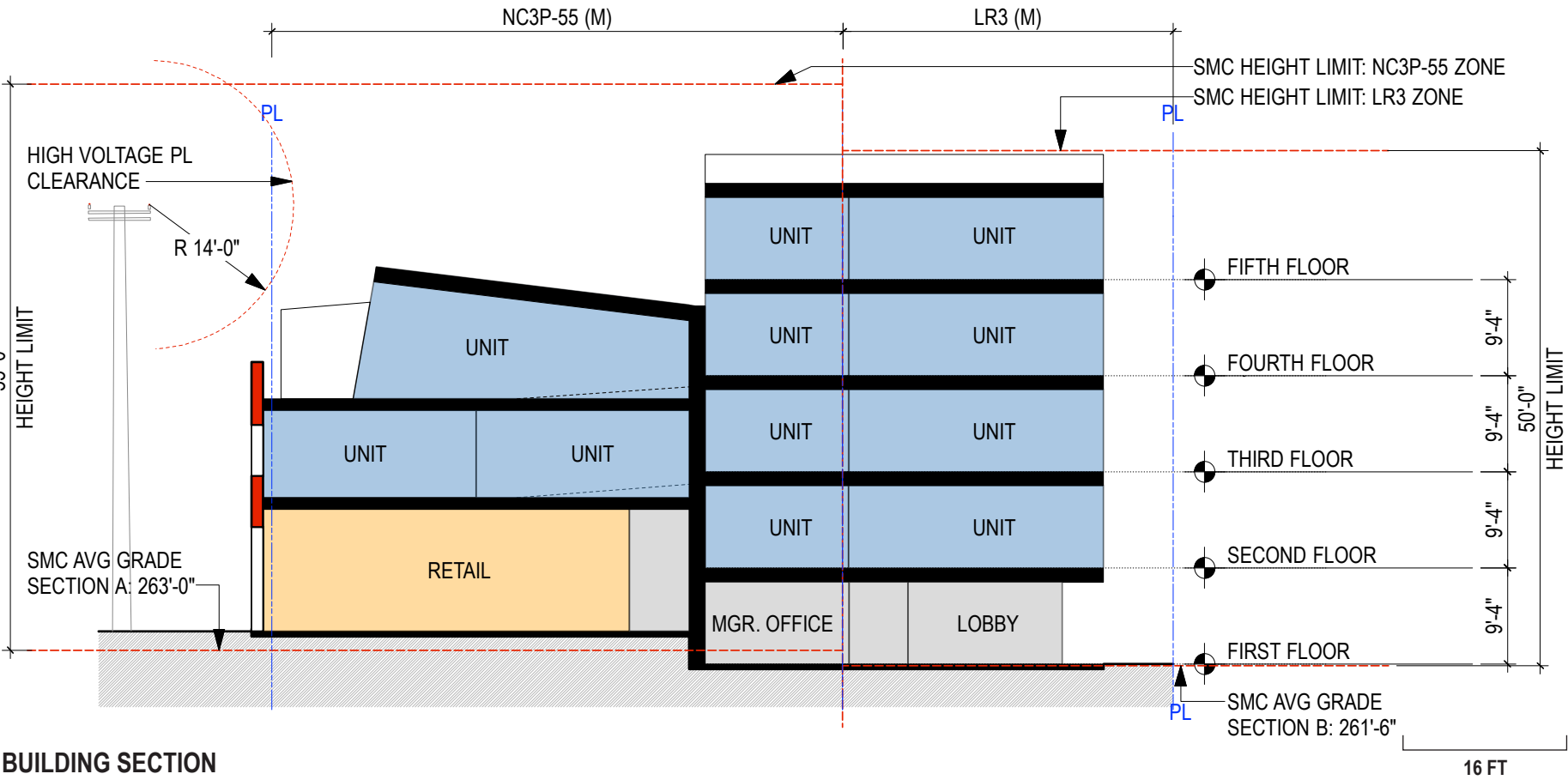
  - Departures required



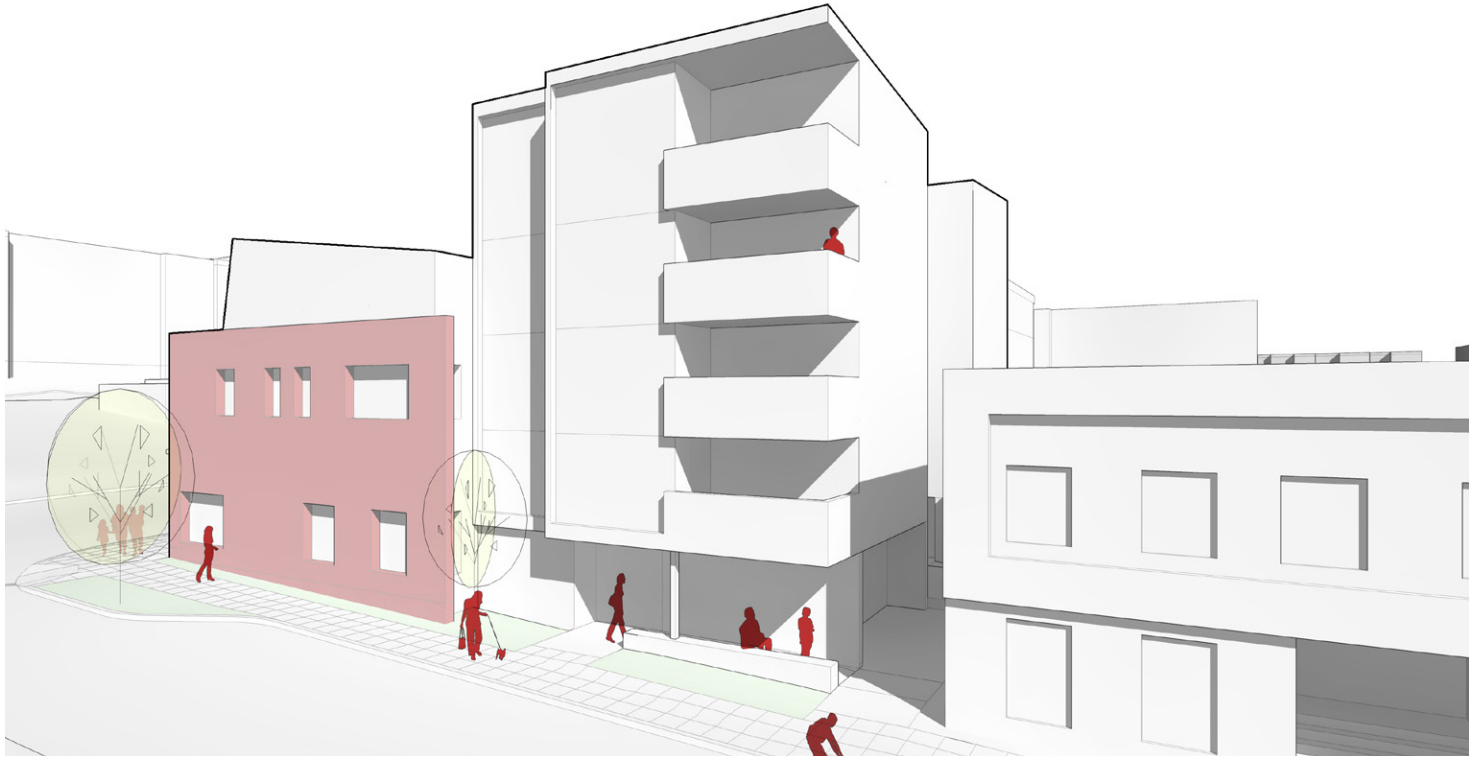
View Looking Northeast



View Looking North



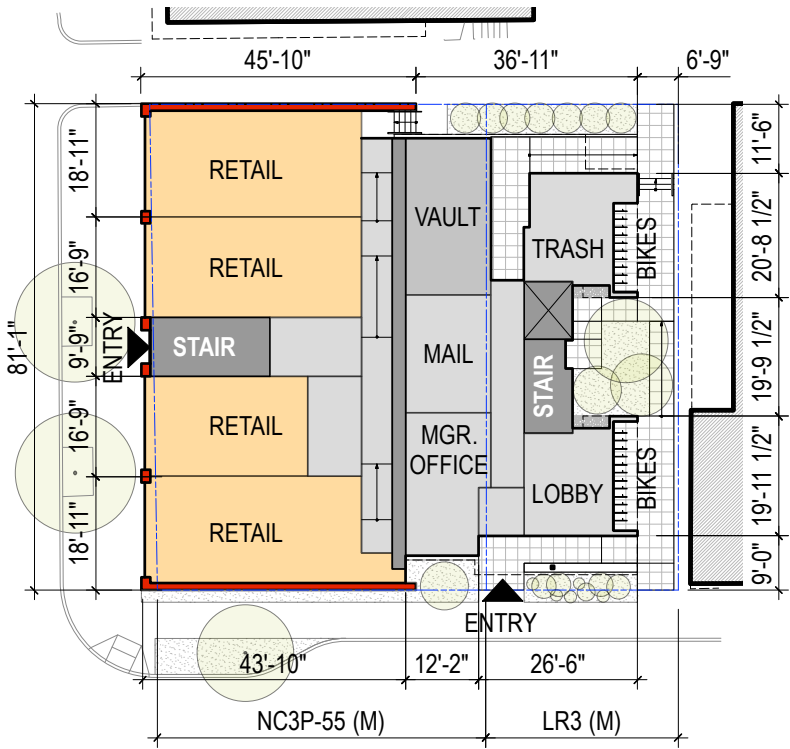




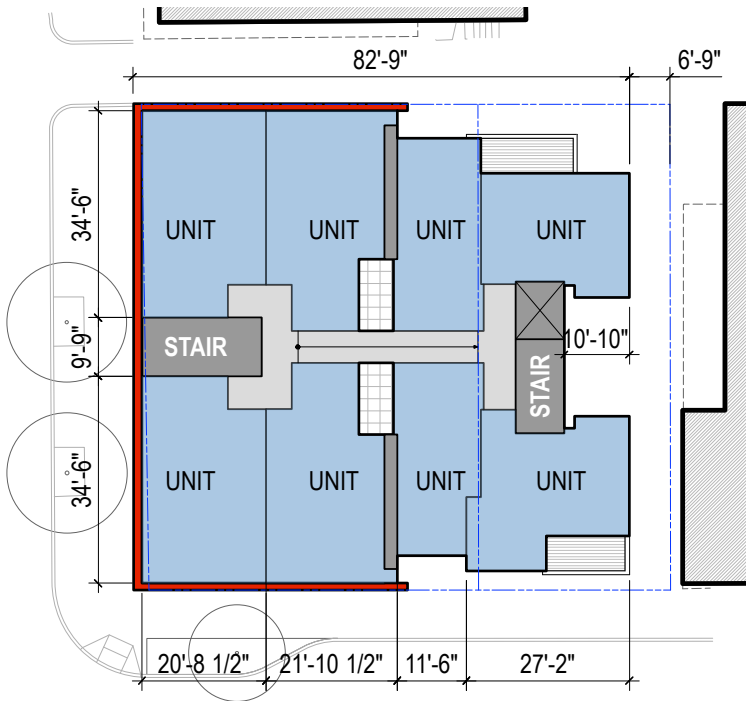
View Looking Northwest



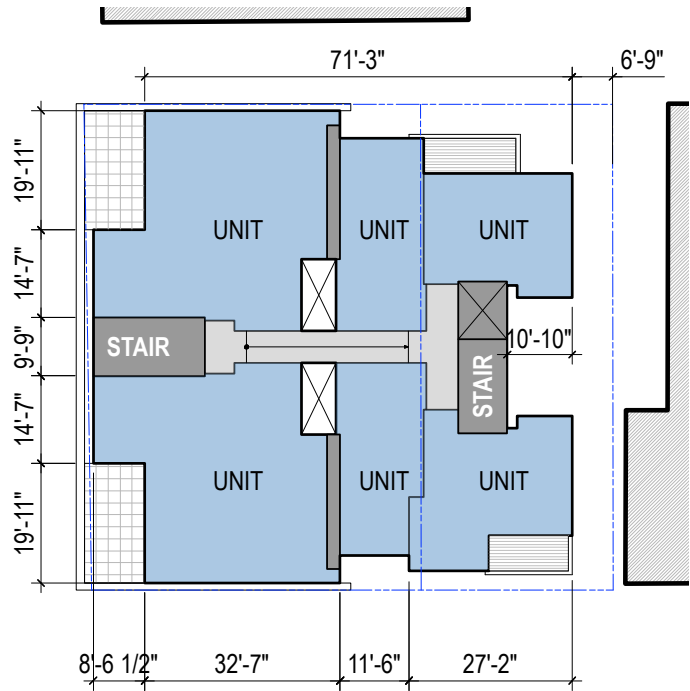
Birds Eye View



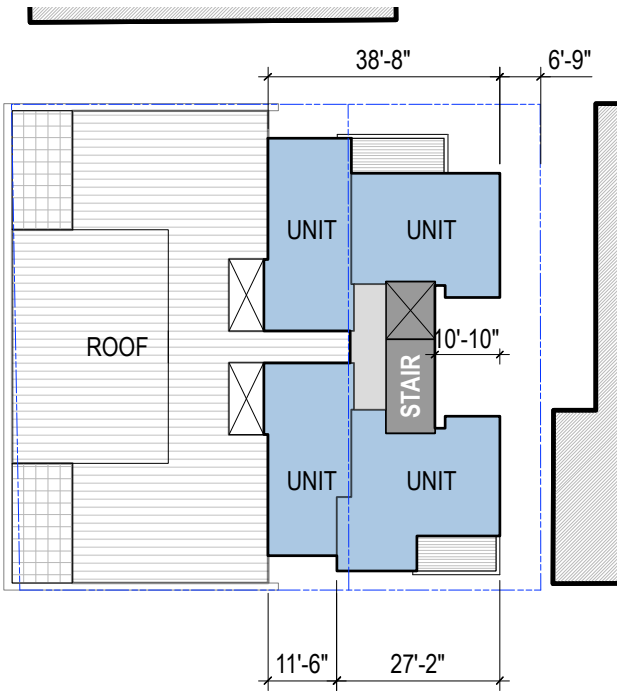
FIRST FLOOR 4,315-GSF (NC3P-55)  
913-GSF (LR3)



SECOND FLOOR 4,112-GSF (NC3P-55)  
1,264-GSF (LR3)



THIRD FLOOR 3,513-GSF (NC3P-55)  
1,264-GSF (LR3)



FOURTH / FIFTH FLOOR 837-GSF (NC3P-55)  
1,258-GSF (LR3)





MASSING CONCEPTS • SHADOW ANALYSIS

ALTERNATIVE 1



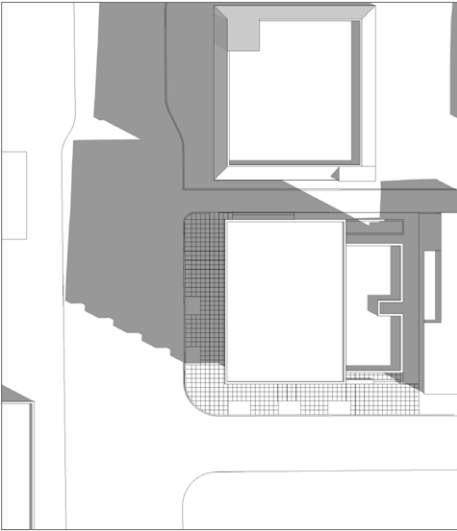
ALTERNATIVE 2



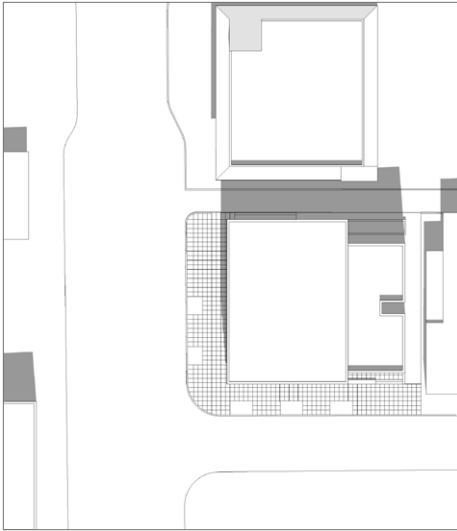
ALTERNATIVE 3



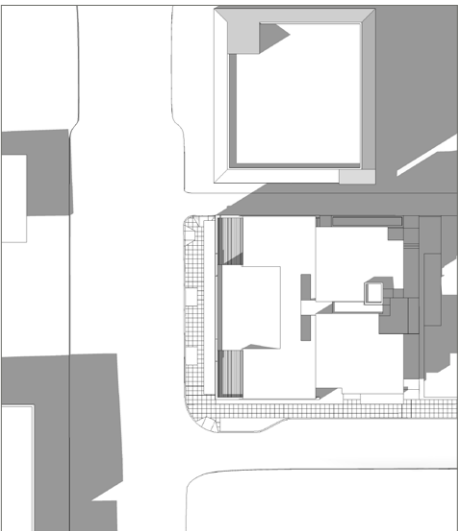
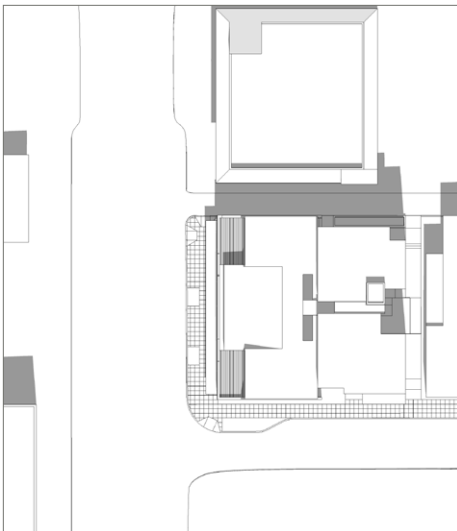
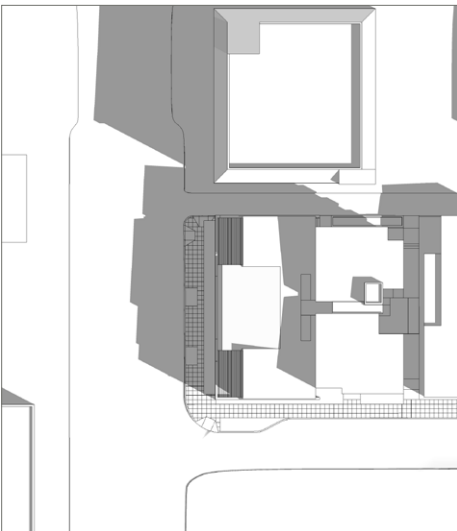
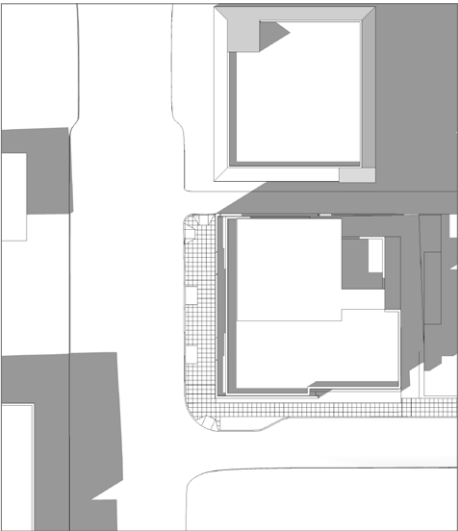
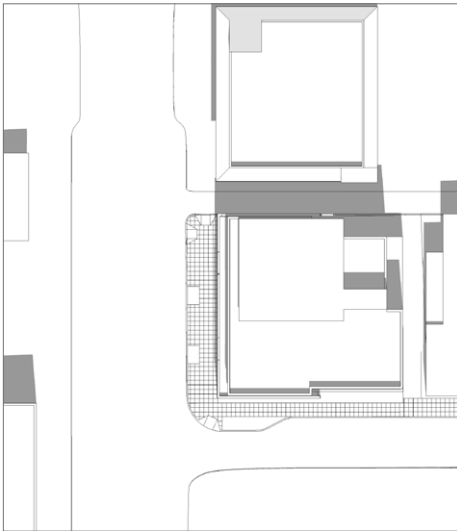
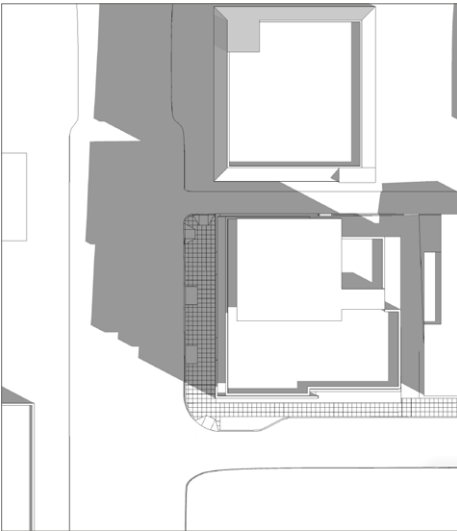
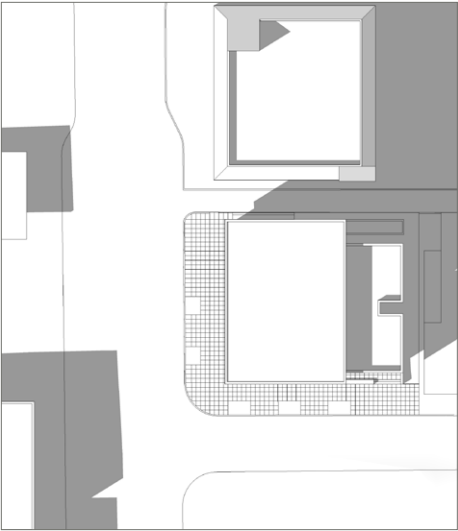
MARCH/ SEPTEMBER 21  
9 AM



MARCH/ SEPTEMBER 21  
12 PM



MARCH/ SEPTEMBER 21  
3 PM





# MASSING CONCEPTS • SHADOW ANALYSIS

JUNE 21  
9 AM

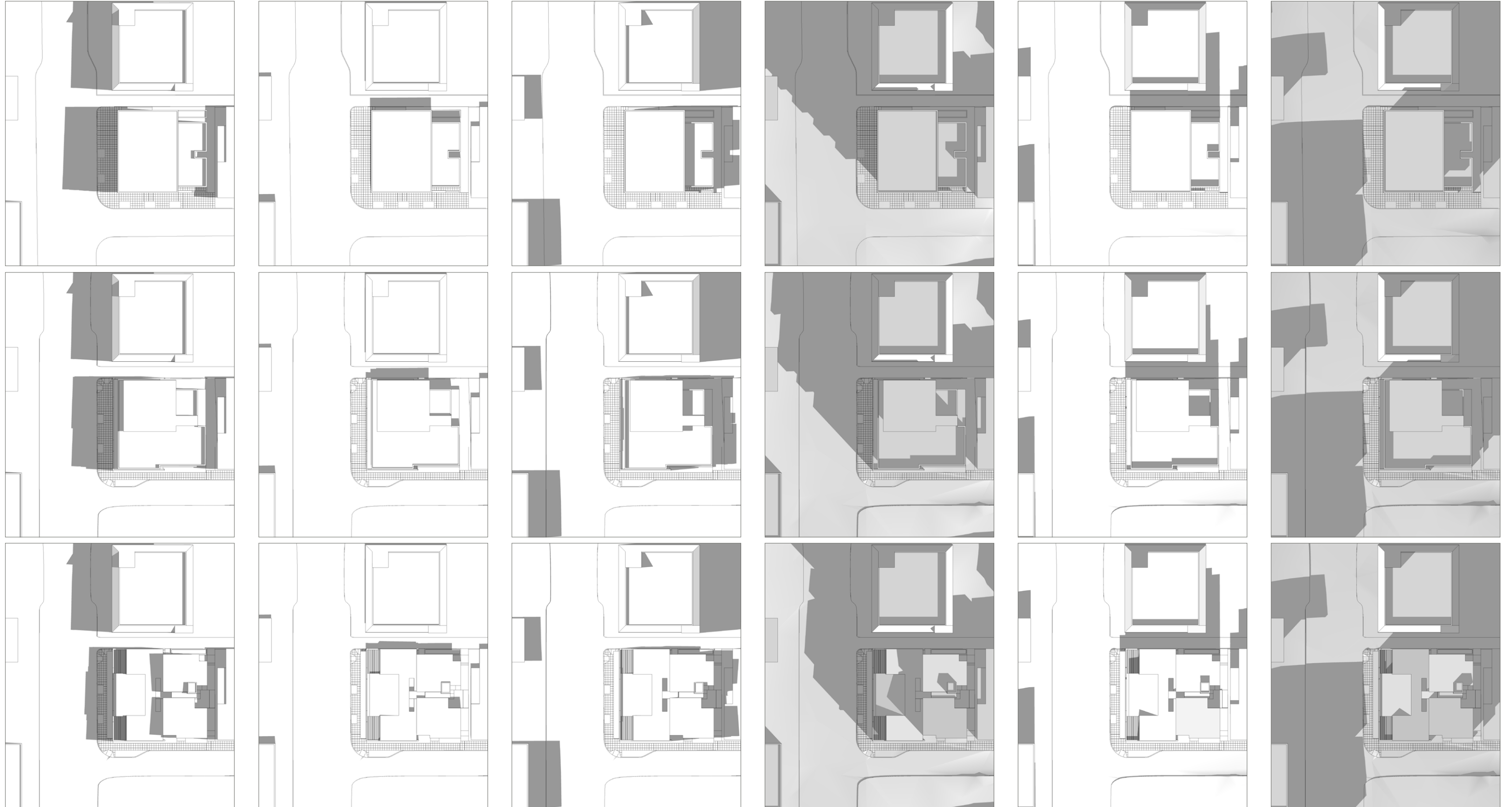
JUNE 21  
12 PM

JUNE 21  
3 PM

DECEMBER 21  
9 AM

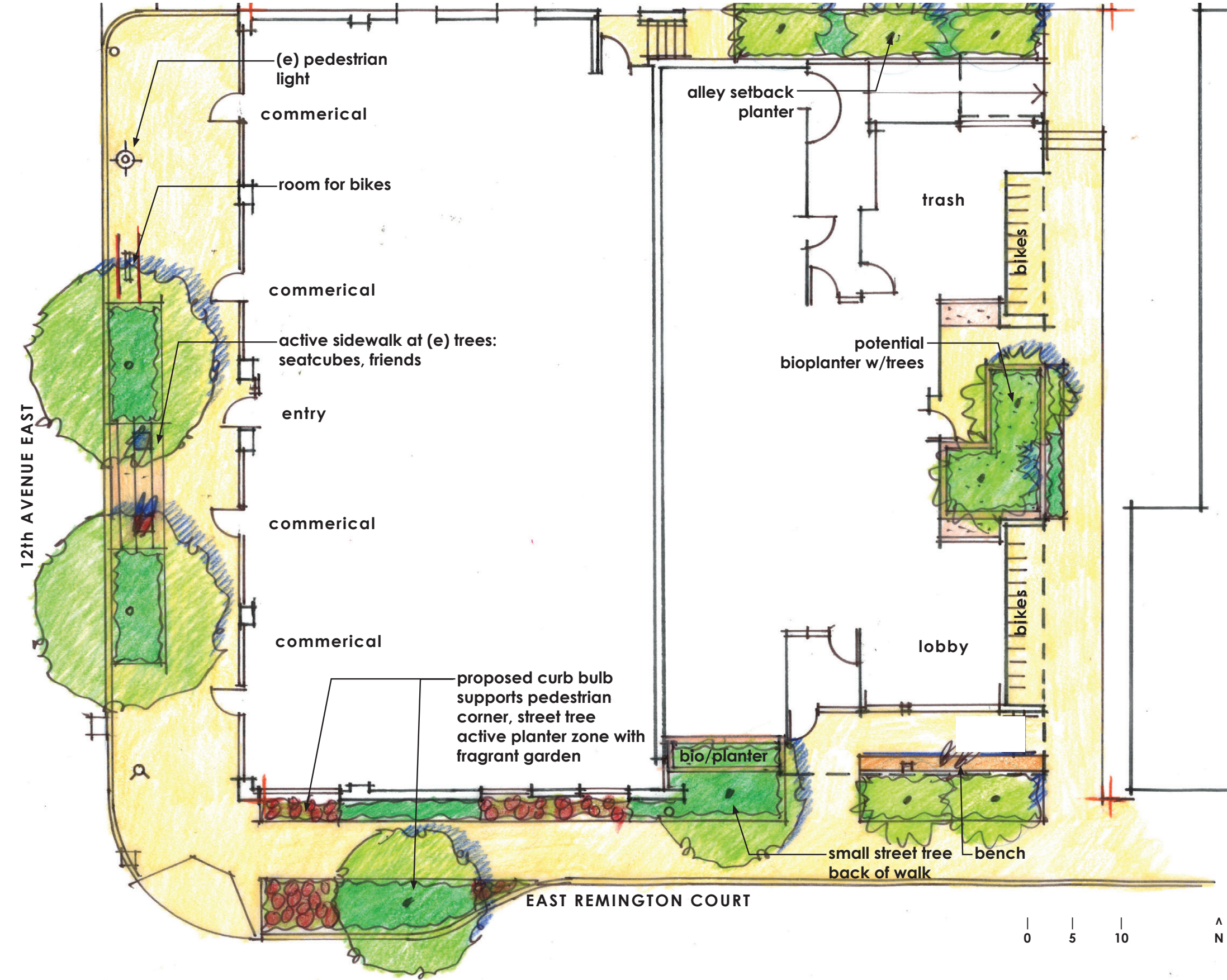
DECEMBER 21  
12 PM

DECEMBER 21  
3 PM





LANDSCAPE PLANS



community seat cubes



room for bikes



fragrant garden



corner curb bulb



DEPARTURE SUMMARY



Departure Request #1: SMC 23.45.518 A1 Setbacks

*Standard:*  
A 5' minimum front setback is required for apartments in LR zones.

*Proposed:*  
Allow the upper levels of the proposed addition to extend into the front setback.

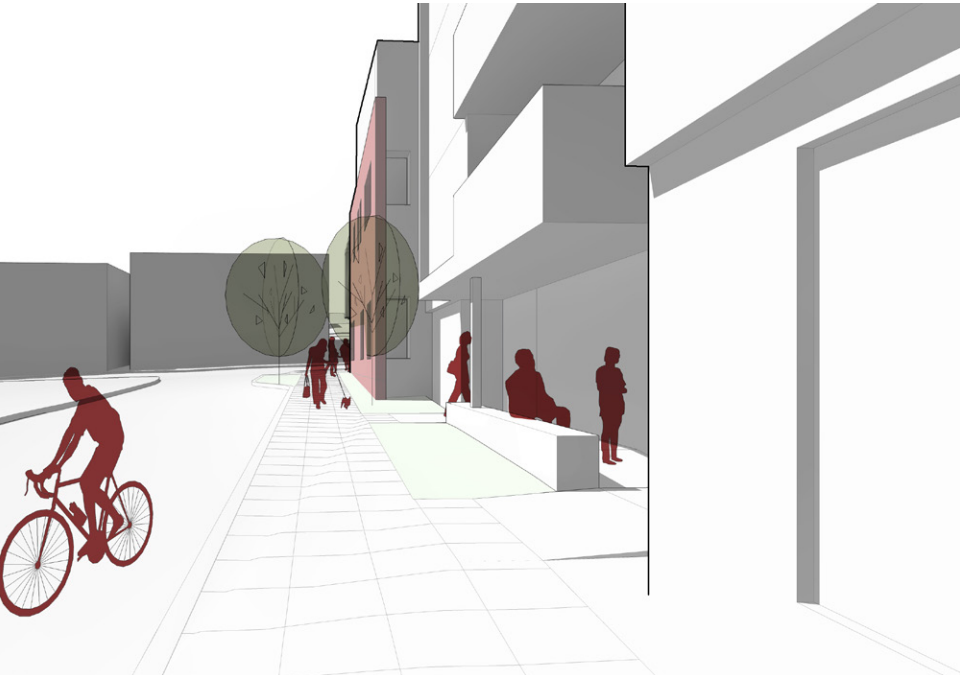
*Rationale:*  
The existing building extends all the way to the property line and the neighboring building to the east extends to within a foot of the property line, creating a strong street edge. A stronger continuation of the existing street wall pattern is maintained by extending the upper levels of the proposed addition into the required setback. A greater setback at the first level provides for an expanded semi-public entry porch, pursuant to Design Guideline PL1.A2.

Departure Request #2: SMC 23.45.518 A1 Setbacks

*Standard:*  
A 10' minimum rear setback is required for apartments in LR zones with an alley

*Proposed:*  
Allow the proposed addition to extend into the rear setback.

*Rationale:*  
Both the existing building and the neighboring building to the east extend all the way to the north property line. By extending the proposed addition into the rear setback five feet, open space can be allocated to the middle of the site, where a courtyard provides common amenity space and expanded landscaping to buffer the neighboring property.



East Remington Court Looking West, Preferred Alternative



EXAMPLES OF PAST WORK



Anhalt Apartments Renovation + Addition - Seattle, WA

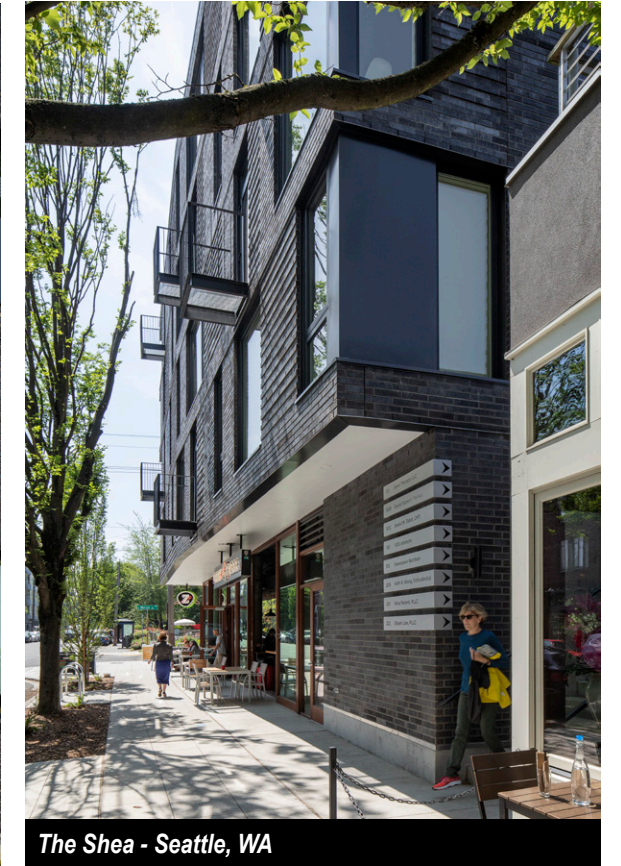


Henry Apartments - Seattle, WA





## EXAMPLES OF PAST WORK



*The Shea - Seattle, WA*



*Inspire Apartments - Seattle, WA*