

SDCI Project: # 3037377-EG
6809547-CN
6809548-DM
Dropped Off: 02/19/2021



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Project Data		Key Metrics	Current	Previously
Address:	1412 21st Ave Seattle, WA 98112	Zone:	NC2P-55 (M1)	
Tax ID Number:	7228501000	Urban Village:	23rd & Union-Jackson Residential Urban Village	
SDCI Project Number:	# 3037377-EG # 6809547-CN # 6809548-DM	Frequent Transit:	Yes	
		Overlay Zoning:	No	
Lot Size:	4,572 SF		Required/Allowed	Proposed
Architect:	Julian Weber Architects, LTD. 1257 S. King St. Seattle, WA 98144	Density:	TH'S - Unlimited	(9) Townhomes
Owner/Applicant:	Legacy Group Capital 400 112th Ave NE #400 Bellevue, WA 98004	Vehicle Parking:	(0) Spaces	(0) Open Stalls
Proposal:	1412 21st Ave is currently (1) lot with (1) single family residence. The applicant proposes to demo the residence and construct (9) townhomes with future unit lot division.	Bike Parking:	Long-term: (1) Space per Dwelling Unit Short-term: (1) Space per 10,000 SF	(9) Long-term (2) Short-term
		FAR:	3.75 X 4,572 SF = 17,125 SF	10,538 SF
		Amenity Area:	25% of Lot Area = 1,143 SF	2,547 SF
		Structure Height:	55'-0" + 4' Parapet + 16' Penthouse Bonus	43'+ 10' Penthouse
		Front Setback (21st Ave):	none	0'-6"
		Rear Setback (east):	none	3'-0"
		Side Setback (North):	none	5'-0"
		Side Setback (South):	none	4'-0"

HIGH-IMPACT METHOD:

We distributed flyers in a 500 foot radius from the site. Flyers were mailed to all residences within this area. Flyers provided information about the project and location, as well as a link to the project website and on-line survey.


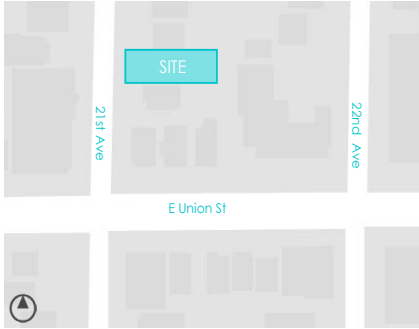
Approved by Department of Neighborhoods on 02/08/2021

Dear Resident, this flyer is to include you in a

PROJECT UNDER DESIGN REVIEW

at 1412 21st Ave

Legacy and JW Architects are collaborating to design the redevelopment of 1412 21st Ave.



Project information:
This project will be located on the east side of 21st Avenue. When it is complete, the new homes will be 3 stories with a mezzanine and will include 9 townhouses. We're just getting started planning now – construction could start in Summer 2021 and the building could be open as early as Winter 2022.


Project Contact:
Julian Weber, Founding Principal, JW Architects
outreach@jwaseattle.com

We request your input through:

ONLINE SURVEY
December 23, 2020 - January 13, 2021
Link to survey:
www.jwaseattle.com/1412

PROJECT WEBSITE
Link to website:
<https://jwaseattleoutreach.wixsite.com/1412>

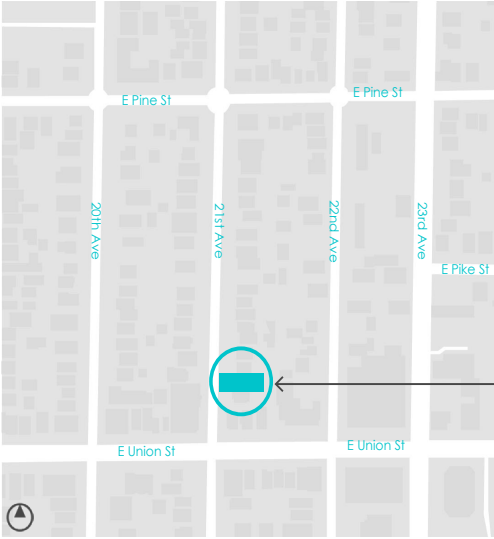
*additional info on back of flyer



Front page of Flyer.

Link to project website and survey.

Link to dedicated project website and public comments.



ONLINE SURVEY
December 23, 2020 - January 13, 2021
Link to survey:
www.jwaseattle.com/1412

*In person event is shifted to online interaction due to public health concern and City requirements by Seattle Department of Neighborhood

Site: 1412 21st Ave


To **find out more** about this project and share your thoughts on the future of the project, please visit JW Architects website (www.jwaseattle.com).

More information about early outreach for design review can be found on the Seattle Department of Neighborhood's web page (<http://www.seattle.gov/neighborhoods>).

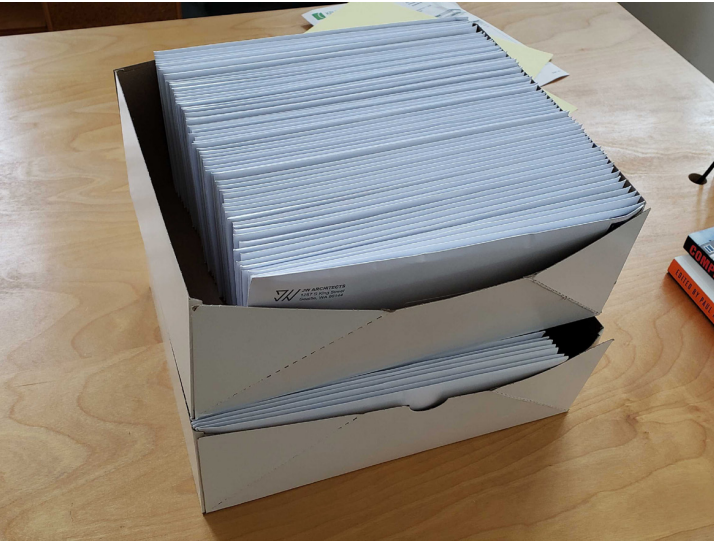
All information is being collected by JW Architects, but may be submitted to the City of Seattle. Therefore, personal information entered may be subject to disclosure to a third-party requestor pursuant to the Washington Public Records Act.

What type of feedback is the Design Review looking for?

- Reference unique neighborhood features and character
- Architectural design
- Building forms and materials
- Sidewalk experience
- Screening for privacy



Back page of Flyer.



Development Objectives & Public Outreach

DESIGN REVIEW OUTREACH SURVEY

Legacy and JW Architects are collaborating to design the redevelopment of 1412 21st Ave. When it’s complete, the new homes will be 3 stories tall with a mezzanine and will include 9 townhomes. We’re just getting started planning now – construction could start in Summer 2021 and the building could be open as early as Winter 2022.

This survey will be open from December 23, 2020 to January 13, 2021. After that, we’ll start preparing for the City’s Design Review process and other permitting steps.

To find out more about this project and track our progress through the design review and permitting process, search the project address (1412 21st Ave) or project number (3037377) in the Design Review Calendar and the [Seattle Services Portal](#). To find out more about early outreach for design review, visit the [Department of Neighborhood’s webpage](#).

This survey is anonymous, though information you share could be made public. Please do not share any personal/sensitive information. All information is being collected by JW Architects, but may be submitted to the City of Seattle. Therefore, personal information entered may be subject to disclosure to a third-party requestor pursuant to the Washington Public Records Act.

Questions:

1.

What is your connection to this development project? (select all that apply)
 - I live very close to the project
 - I live in the general area
 - I own a business nearby
 - I visit the area often for work or leisure
 - I don’t have a direct connection, but I care about growth and development in Seattle
 - Other [fill in blank, 100 character maximum]
2.

What is most important to you about a new building on this property? (select up to two)
 - That it fits into neighborhood look
 - That it stands out as a unique and landmark building
 - That it brings new services or amenities to the area (businesses, open space, etc.)
 - That is affordable for residents and/or businesses
 - That it is designed to be family-friendly
 - That it is designed with environmental sustainability in mind
 - Other [fill in blank, 100 character maximum]

SURVEY RESULTS

We received seven survey responses for this project. The survey was available on the JW Architects web-page from December 23th through January 13th.

Question 1:
88% live very close to the project
12% own a business nearby

Question 2:
23% want it to fit into neighborhood look
8% want it to stand out as a unique and landmark building
15% want it to bring new services or amenities to the area
23% want it to be affordable for residents and/or businesses
8% want it to be designed to be family-friendly
15% want it to be designed with environmental sustainability in mind
8% other- That appropriate setbacks are observed and that my property line is not compromised

Question 3:
42% want lots of plants/greenery
8% want additional designs for safety
25% want quality building materials at street-level.
8% want seating/places to congregate
8% want pet friendly areas
8% other-off street parking

Question 4:
18% concerned about construction noise/impact
9% concerned about the existing residence going away
18% concerned about the way it looks
27% concerned it will not be affordable
14% concerned the building may feel out of scale with other buildings nearby
5% did not really ave any specific concerns
9% Other- Parking, lack of sunlight and privacy in adjacent properties

Question 5:
Is there anything specific about this property or neighborhood that would be important for us to know?
[fill in blank, 300 character maximum]

Question 6:
What are some landmarks/spaces that help to identify your neighborhood?
[fill in blank, 300 character maximum]

Question 7:
What do you like most about living or working in your neighborhood?
[fill in blank, 300 character maximum]

Question 8:
What do you like least about living/working in your neighborhood?
[fill in blank, 300 character maximum]

Additional questions to help us analyze the survey results:

1. What is your age?

- Under 12 years old
- 12-17 years old
- 18-24 years old
- 25-34 years old
- 35-44 years old
- 45-54 years old
- 55-64 years old
- 65-74 years old
- 75 years or older

2. What are the languages spoken in your home? (select any/all that apply)

- English
- Spanish
- Amharic
- Oromo
- Tigrinya
- Other [please specify]

3. How long have you lived in this neighborhood?

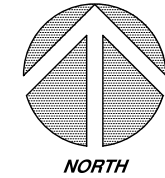
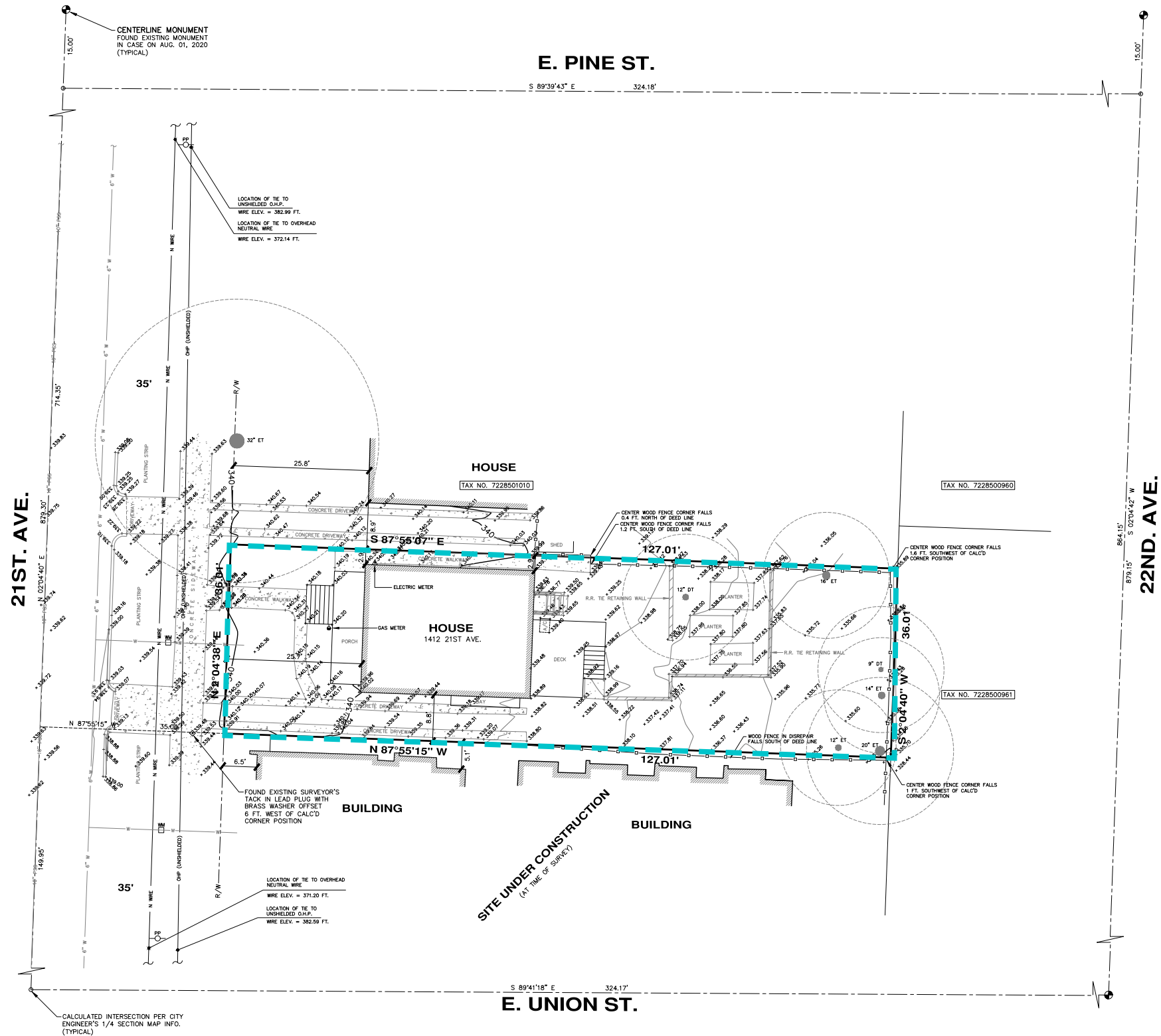
- Less than a year
- 1-2 years
- 3-5 years
- 5-10 years
- I do not live in this neighborhood

Thank you for sharing feedback about our project! Your input is helpful for us to hear as we start to plan for the new building.

To find out more about this project and track our progress through the design review and permitting process, search the project address (1017 6th Ave N) or project number (3037408) in the [Design Review Calendar](#) and the [Seattle Services Portal](#).

If you don’t want to respond to the survey but do want to share your thoughts, or you have any other project-related thoughts or ideas to share, the contact person for the project is Julian Weber at outreach@jwaseattle.com

Development Objectives & Public Outreach



SCALE: 1"=10'
0 5 10 20

NOTES

1. THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 10 SECOND "TOTAL STATION" THEODOLITE SUPPLEMENTED WITH A 100 FT. STEEL TAPE. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-130-090.
2. CONTOUR INTERVAL = 1 FT.
3. VERTICAL DATUM = NAVD'88, AS PER DIRECT OBSERVATIONS USING GPS EQUIPMENT ON SEPTEMBER 01, 2020.
HORIZONTAL DATUM = NAD 83/91
4. PARCEL AREA = 4,574 SQ. FT.
5. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THEREFORE EASEMENTS AFFECTING THE PROPERTY, IF ANY, ARE NOT SHOWN HEREON.
6. UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS APPROXIMATE ONLY AND IS BASED UPON CITY OF SEATTLE SEWER CARD NO. 490 & 491 AND ALSO AS PER TIES TO ABOVE GROUND STRUCTURES.
7. TAX PARCEL NO. 7228501000
8. TREE DIAMETERS AND DRIP LINES DISPLAYED HEREON ARE APPROXIMATE. FOR SPECIFIC GENUS AND DIAMETER, TREES SHOULD BE EVALUATED BY A CERTIFIED ARBORIST.
9. WE HAVE DETERMINED TO THE BEST OF OUR ABILITY THE OVERHEAD HIGH VOLTAGE POWERLINE WHICH IS CLOSEST TO THE PROJECT SITE AND HAVE DISPLAYED ITS HORIZONTAL AND VERTICAL LOCATION HEREON. HOWEVER, ADDITIONAL OVERHEAD SERVICE LINES MAY EXIST WHICH ARE NOT OBVIOUS TO US BY FIELD OBSERVATION AND POTENTIALLY IMPACT PROJECT DESIGN. THEREFORE, PRIOR TO DESIGN AND CONSTRUCTION WE RECOMMEND THAT SEATTLE CITY LIGHT BE CONSULTED REGARDING THE POSSIBLE EXISTANCE OF ADDITIONAL SERVICE LINES NOT DISPLAYED HEREON WHICH SHOULD BE CONSIDERED FOR PROJECT DESIGN.

PROPERTY DESCRIPTION

THE NORTH 24 FEET OF LOT 15 AND THE SOUTH 12 FEET OF LOT 16, BLOCK 11, RENTON HILL ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 68, RECORDS OF KING COUNTY, WASHINGTON



TOPOGRAPHIC SURVEY

1412 21ST AVENUE

SEATTLE, WASHINGTON

CHADWICK WINTERS
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

PROJECT #: 20-6857
DRAWING: 20-6857 TOPO.DWG
CLIENT: RYAN GILLIS
DATE: 10/02/2020
DRAWN BY: RCS

21ST AVE

3'-0" TYP

TYP

3'-0 5/32" 14'-0"

5'-0"
14'-0"

340.0
36.01'
340.0

TH1

TH2

TH3

TH4

TH5

TH6

TH7

TH8

TH9

patio

patio

patio

patio

patio

patio

patio

6"

26'-6"

13'-0"

13'-0"

6'-0"

13'-0"

13'-0"

13'-0"

13'-0"

13'-0"

3'-0 1/8"

127.01'

339.0

337.0

335.0

5'-0"
36.01'
27'-0"
4'-0 5/32"

Exceptional Tree on Adjacent Site (To Remain), see next page

New Street Tree (Per SDOT Urban Forestry)

Hybrid Trash Storage and Bike Parking In Crawl Space of TH1 and TH2

Bike Parking Below Stairs @ Entries

Trash Below Stairs

Unit entry, typ.

Pedestrian Path, pervious paving

Trash Staging Area (9 units)

Existing Curb Cut (to be removed)

Powerline



Scale: 1/16" = 1'-0"

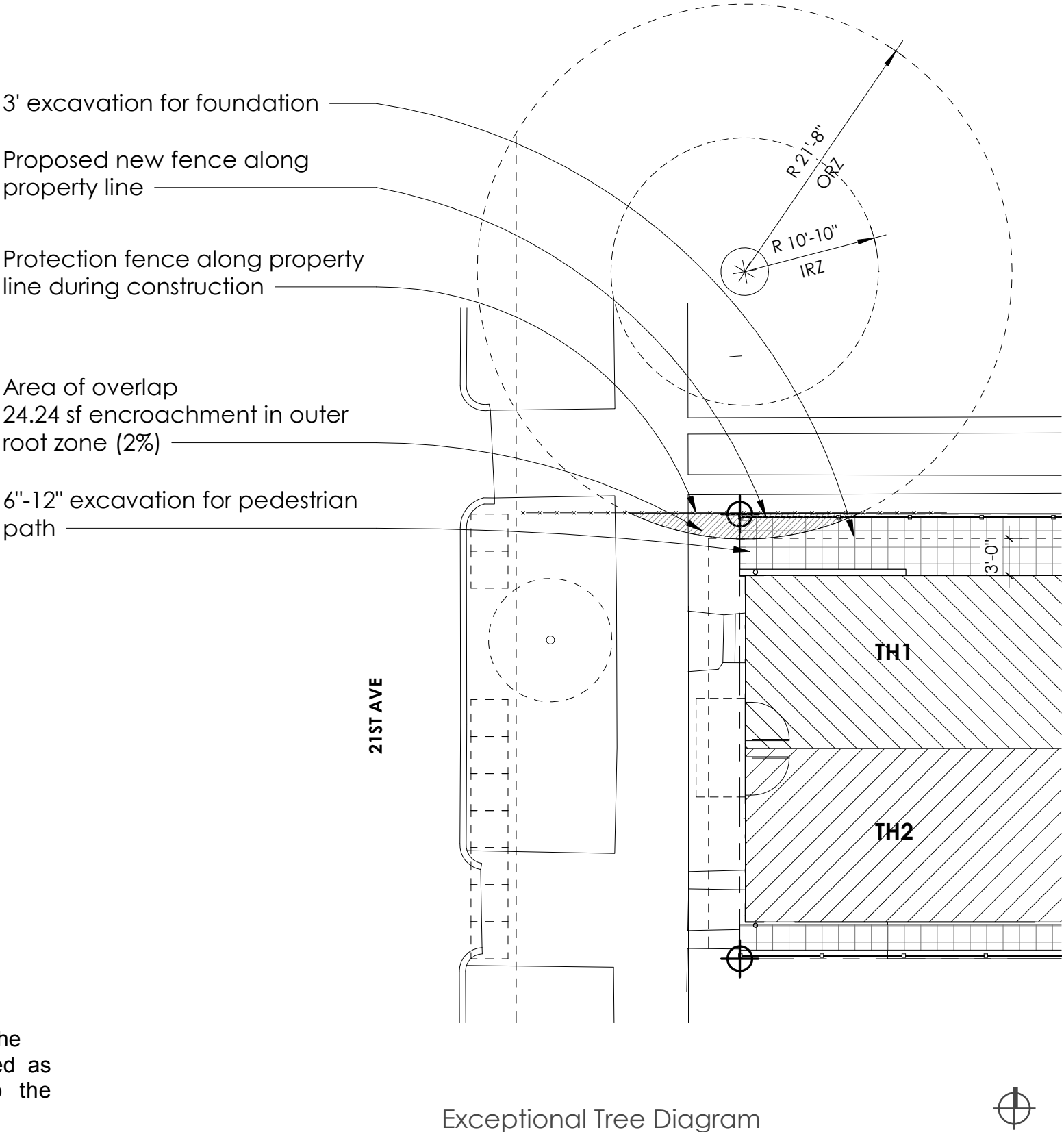
Site Plan

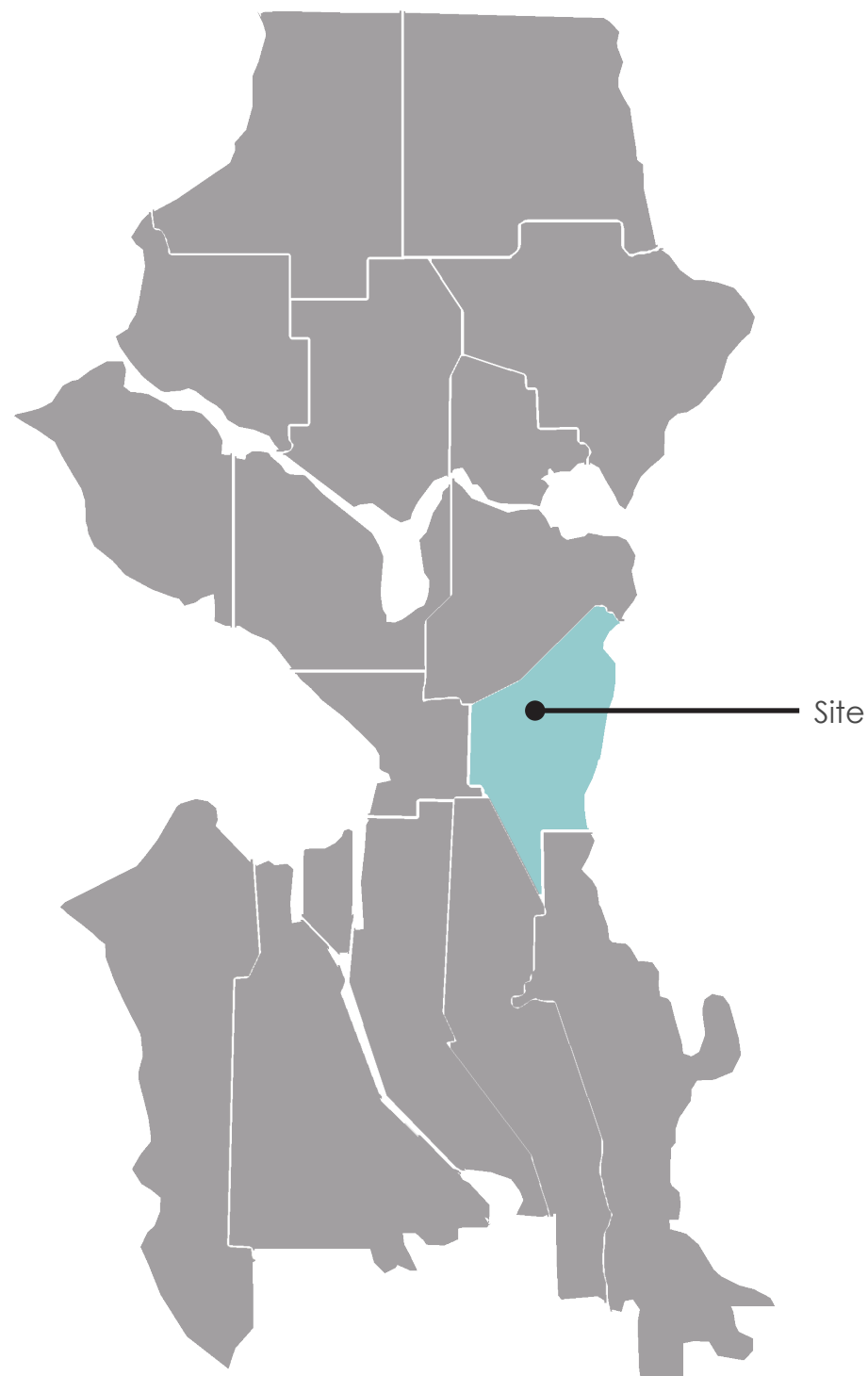


Photo of Off-Site Exceptional Tree

Arborist Report by Shoffner Consulting
 Tree information:
 *no exceptional trees on site

#	Species	Dbh	CSD	Condition and Status
1	Douglas fir (Pseudotsuga menziesii)	34"	2'	Good condition and health. Meets the threshold diameter to be classified as exceptional. Located off-site to the north. Required to be protected.





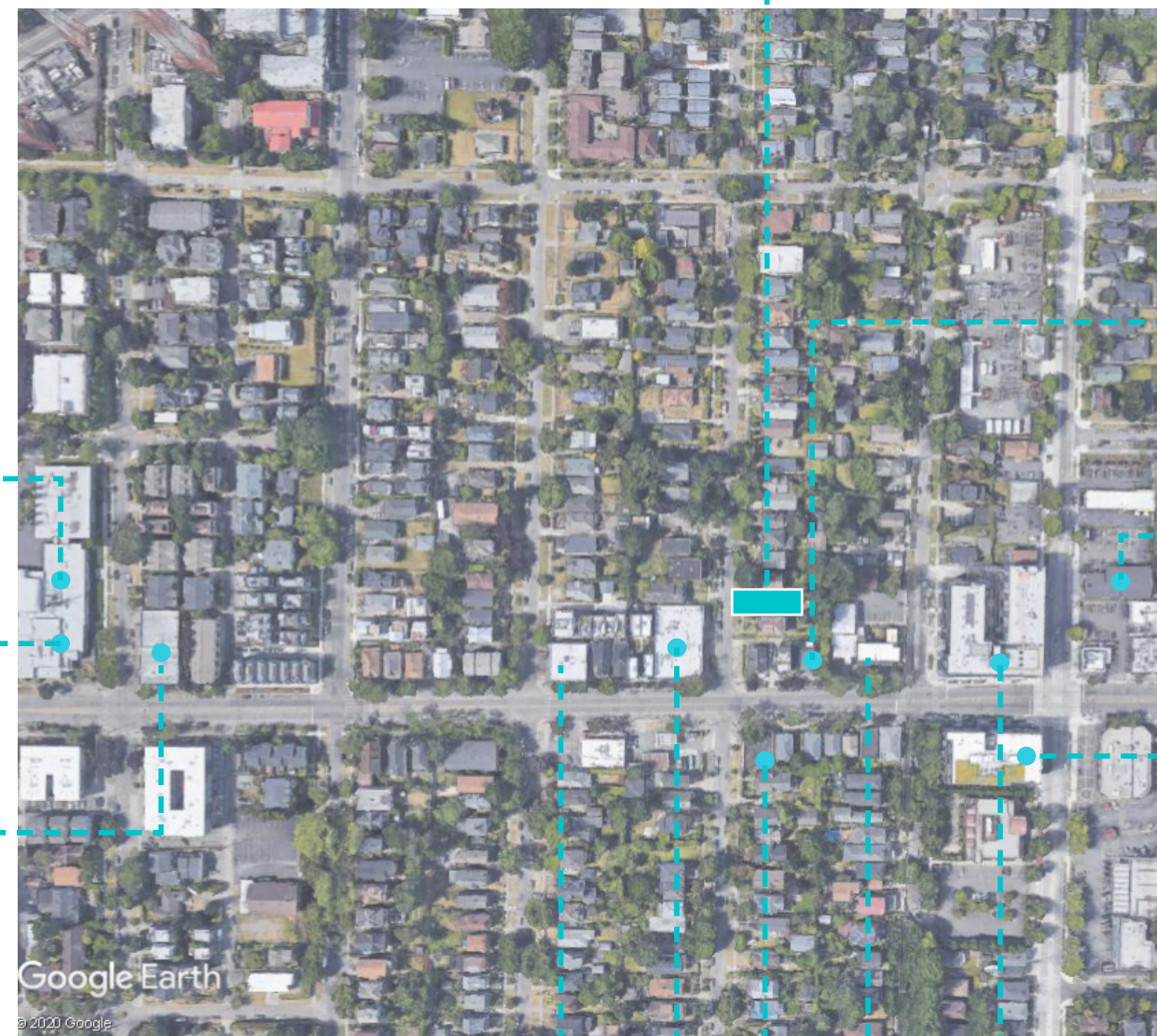
Central Community Church



Seattle World School



18th & Union Theatre



SITE: 1412 21st Ave

Music School



Mt Calvary Christian Center



Restaurant



Restaurant



Central Cinema



Grocery Store



Lutheran Church-Good Shepherd Church

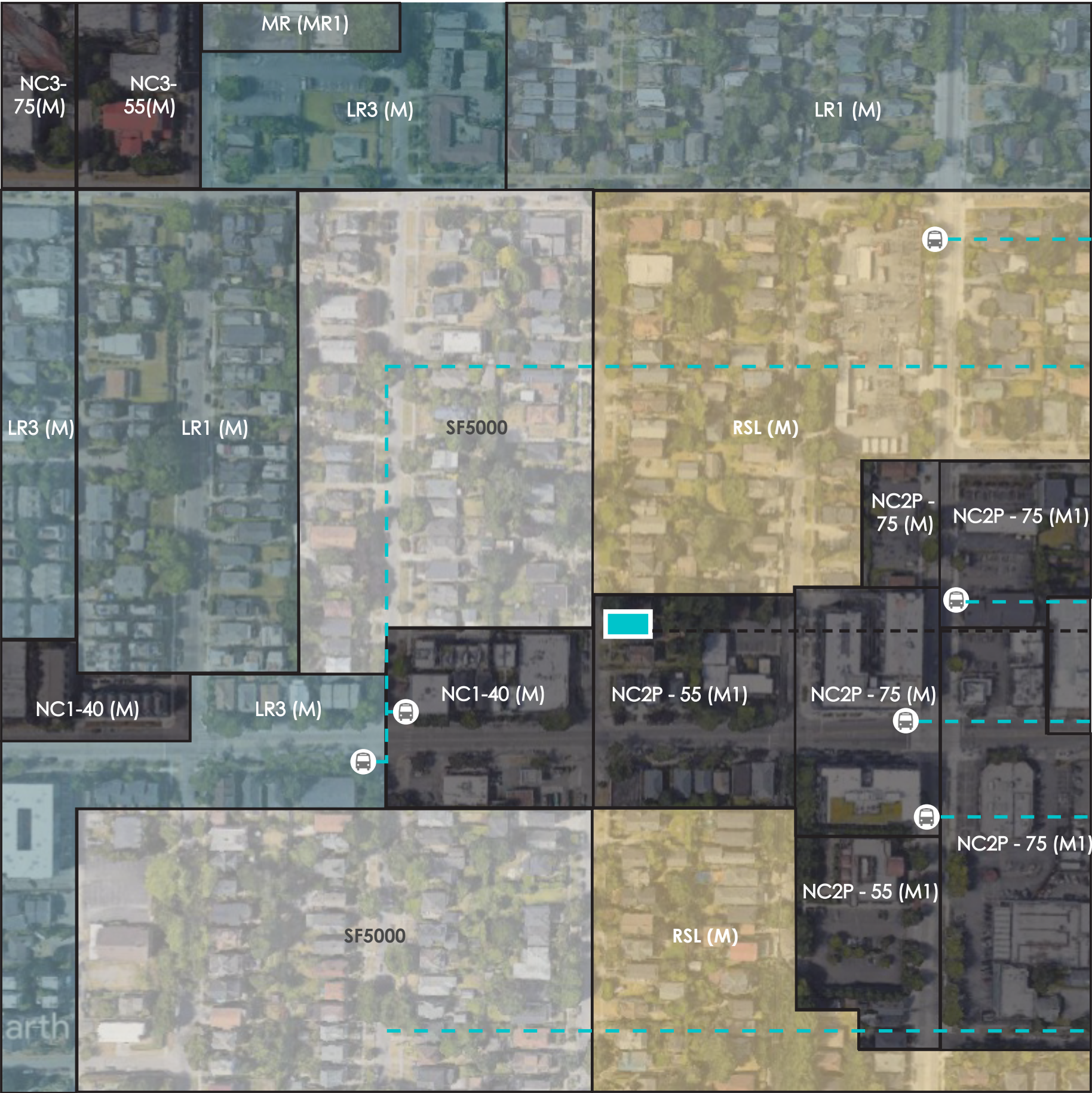


Deli/ Corner Store



Scale: NTS

Context & Zoning Analysis



Project Site Zoning: NC2P-55 (M1)

Adjacent Zoning: SF5000, RSL (M), NC29-75(M), NC1-40(M)

Public Transportation: **Line 02**- E Uion St and 20th Ave

Line 02- E Uion St and 22th Ave

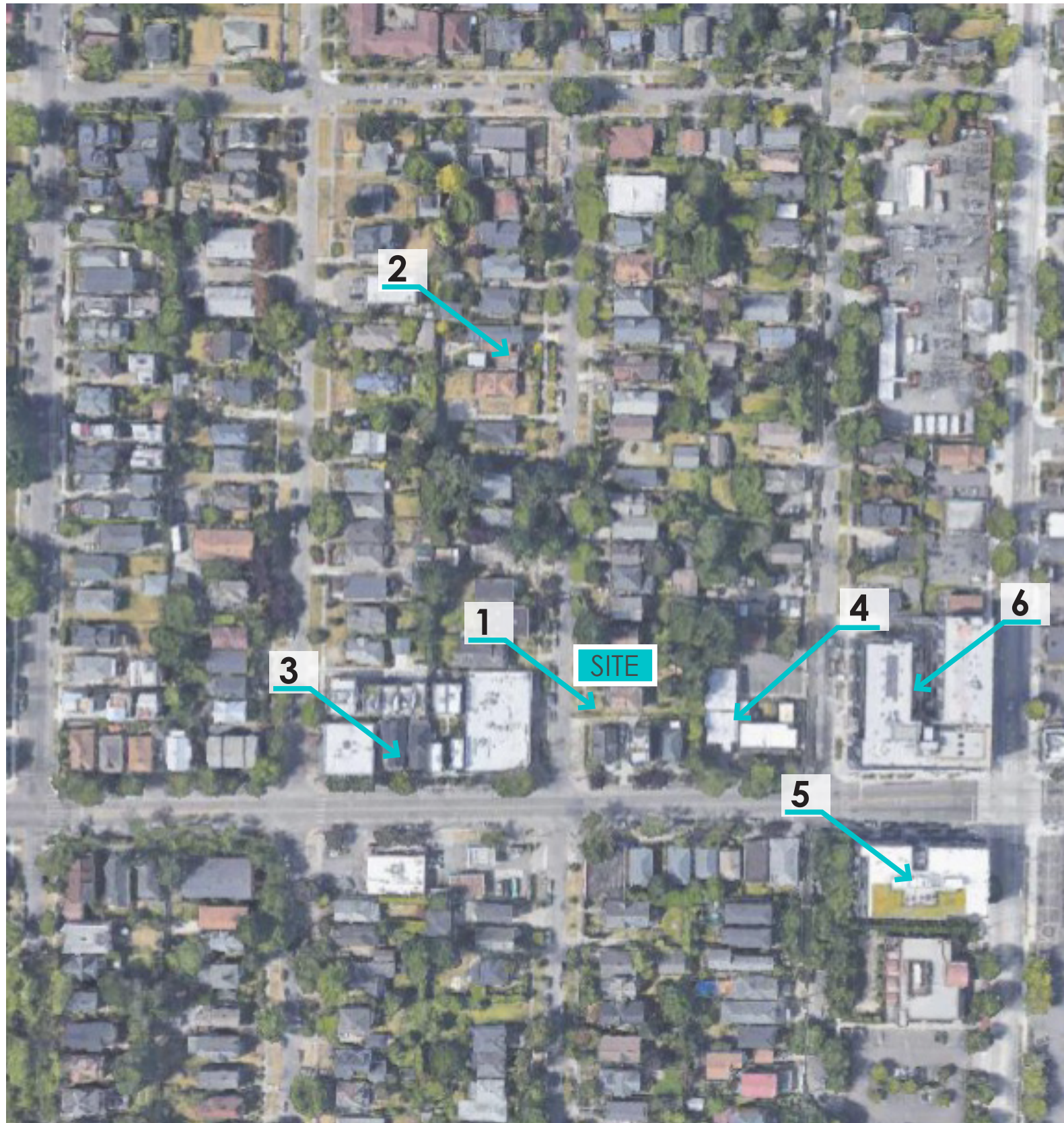
Line 02- E Uion St and 23th Ave

Line 48- 23rd Ave and E Union St

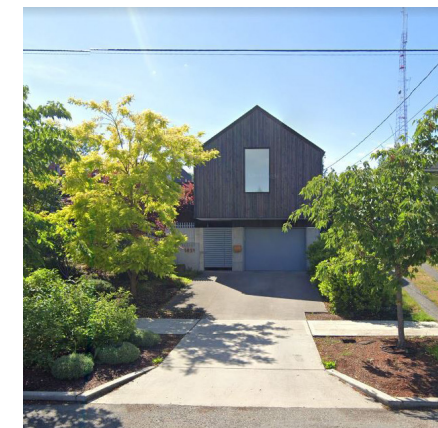
Line 48- 23rd Ave and E Pine St

Key:

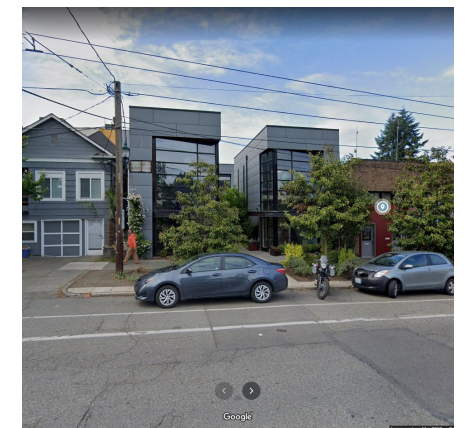
- SF5000
- RSL
- LR1
- LR2
- LR3
- NC
- C1 & C2



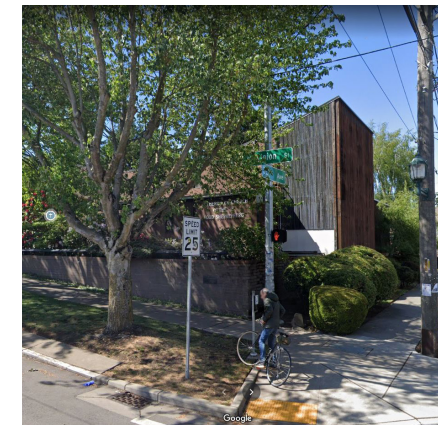
1. 1408 21st Ave
3 story, 8 units



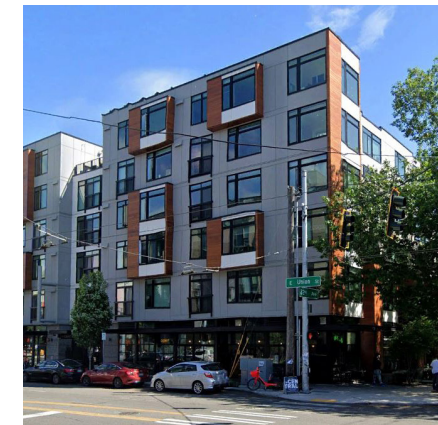
2. 1451 21st Ave
2 story



3. 2012 E Union St
3 story



4. 2116 East Union St



5. 2203 E Union St
6 story



6. 220 E Union St
6 story

Neighborhood

The project at 1412 21st Ave is located near the edge of a neighborhood commercial zone adjacent to a single family residential neighborhood. The neighborhood is a dense mix of commercial, multifamily residential, and single family residential. The commercial corridor along E Union St and 23rd Ave contains access to public transportation and amenities to support the neighborhood.



Scale: NTS

21st Ave Looking West

NORTH



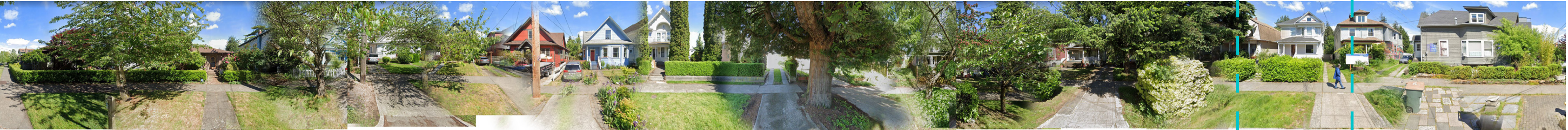
E PINE ST

SOUTH

E UNION ST

21st Ave Looking East

SOUTH



E UNION ST

NORTH

E PINE ST



CS1. Natural Systems and Site Features	1a – Local Topography and Connection	The proposed project responds to the subtle sloping landscape by stepping the units in groups. This grouping move has been repeated in the design by creating grouped entries which provide shared weather protection and attractive points of entry. The two front units have a grouped entry under one awning. Landscaping is provided between the buildings and at the patios. A pedestrian path is proposed on the north façade so the south façade and patios can capture more daylighting opportunities.
CS2. Urban Pattern and Form	1a – Transition and Delineation of Zones	The site is located near the edge of a neighborhood commercial zone adjacent to a single family residential neighborhood. The neighborhood is a dense mix of commercial, multifamily residential and single family residential. The proposed development reflects the character of the residential neighborhood while also embracing the historical commercial character.
	1b – Building Massing and Articulation	The buildings are reduced in appearance by the breaking of the masses. Stair penthouses are only used where necessary for water drainage, in order to reduce the overall mass. The street facing façade is stepped down to meet the street which addresses the smaller scale buildings adjacent.
CS3 Architectural Context & Character	1a-c – Neighborhood Context	The proposed project incorporates materials, colors, and glazing strategies of the neighborhood. Brightly colored entry doors are common pattern around the neighborhood and are utilized at the entries. Common materials in the neighborhood context are brick and lap siding. The front building mass will be brick to reflect its adjacent context; the cinema across the street, along with the square paneled commercial sash windows which are applied throughout the entire project. Lap siding is used as the primary material for the rest of the massing.
PL3 Street Level Interaction	1a – Frontages	The front massing is inspired by the cinema across the street from the project site. The massing height was lowered to fit in with the adjacent buildings. The window massing is inspired by square paneled commercial sash windows. A canopy covers the front two entries and the sidewalk. The townhouse interior level is 4 feet above sidewalk but the front door meets the grade and property line to speak to the street like the surrounding commercial street fronts.

DC2 Architectural Concept	1e – Building Layout and Massing	All sides of the proposed project have been considered in relationship to the neighboring lots while also creating a dynamic and attractive massing. The street façade has been stepped down to relate to context. The north façade has been activated by extruding volumes and grouping recessed entries. The extruded volumes provided windows looking east to west. Window overlapping has have been avoided as much as possible, while still creating a quality interior spaces. The site is split into two buildings where its open space is aligned with the adjacent lot's open space to the south. This maximizes daylighting through the massings. Half-stair penthouses are used to reduce bulk and shadow.
	2a – Building Materials	The color palette contains a vibrant and bold color which reinforces local cultural references. This is balanced with the surrounding commercial context which has historically used brick and square paneled sash windows.
DC4 Exterior Elements & Finishes	3c-d – Building Details and Elements	The proposed project utilizes distinct and quality details. The projecting volumes on the north façade create a dynamic façade. Their randomized pattern is repeated on the south façade with the variations of window stacks. High quality materials are used at street level while accent color is utilized at the unit entries beyond the street front.



1417 21st Ave



1610 21st Ave



1472 21st Ave



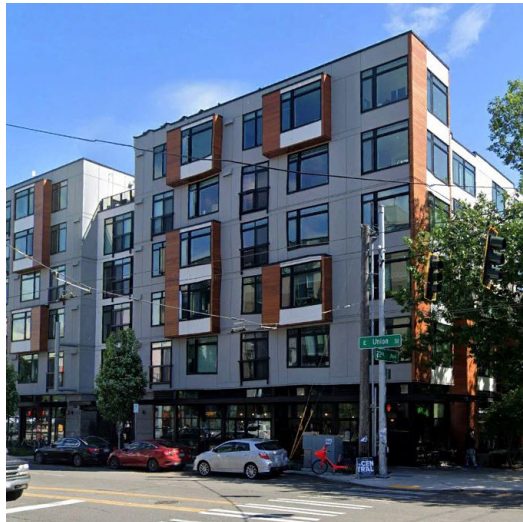
1428 21st Ave



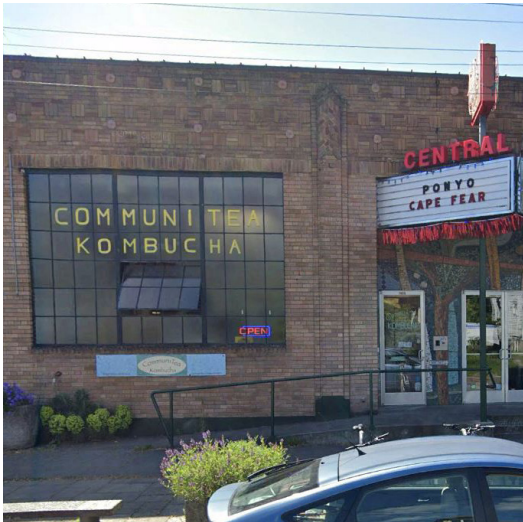
1473 21st Ave



1474 21st Ave



2203 E Union St



1407 21st Ave



1413 21st Ave

APPROACH

Brightly colored entry doors are common pattern around the neighborhood.

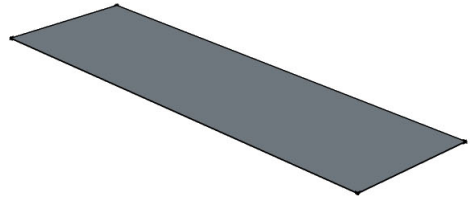
MATERIALITY

Common materials in the neighborhood context are brick and lap siding. The front building mass will be brick to reflect its adjacent context. Lap siding is used as the primary material for the rest of the massing. The doors and entry area colors were inspired by the warm tones found in the neighborhood.

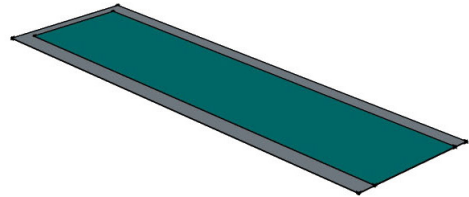
MASSING

The front massing is inspired by the cinema across the street from the project site. The massing height was lowered to fit in with adjacent buildings. The window massing is inspired by square paneled commercial sash windows.

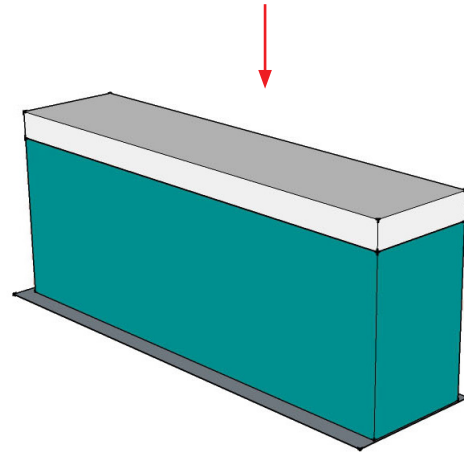
Neighborhood Precedents



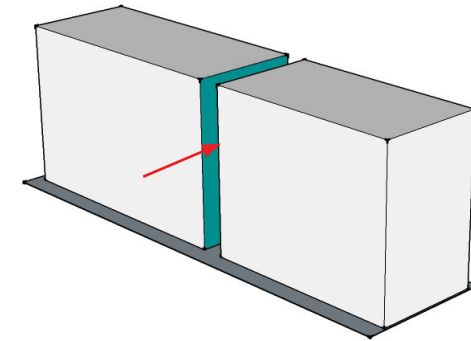
1. Project Site



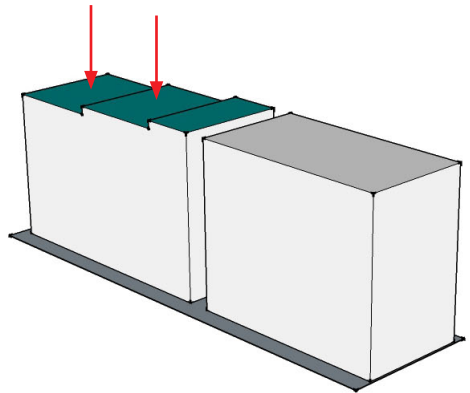
2. Project footprint steps away from northern, southern, and eastern property lines.



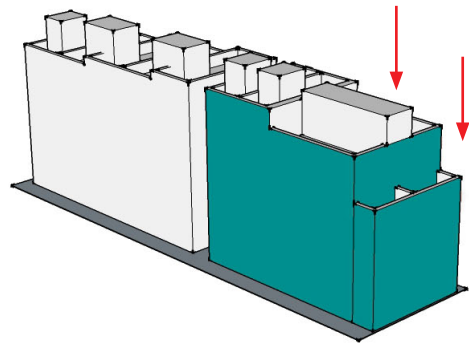
3. Mass volume height lowered from max height of 50' to 43'



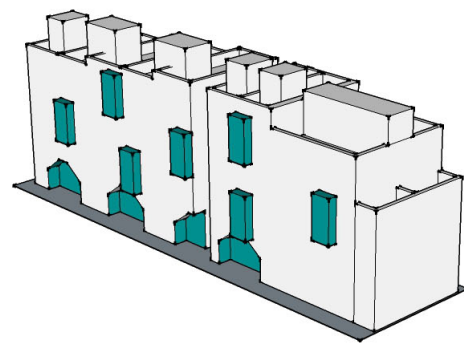
4. Split building mass volume in two



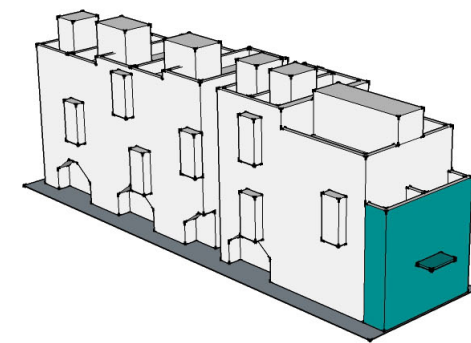
5. Step down back mass towards the east to follow the grade change.



6. Step down front mass to relate to adjacent context



7. Activate north facade and entry sequences by extruding volumes and grouping recessed entries



8. Use quality materials at street level



NORTH

RENDERED LANDSCAPE PLAN
NTS



Bergenia c. 'Winterglut'



Carex testacea



Phormium tenax



Berberis t. 'Orange Rocket'



Liriope muscari 'Big Blue'



Nandina d. 'Gulf Stream'



Carex 'everillo'

Concept Landscape Plan



LA

SURFACE WALL MOUNT DOWN LIGHT
LOCATION: ENTRIES THROUGHOUT



SPECIFICATIONS	
Construction:	Die-cast Aluminum
Power:	30W, 16W
Input:	120-277 VAC, 50/60Hz
Dimming:	ELV: 100-15%, 0-10V: 100-10%
Light Source:	Integrated LED
Rated Life:	70000 Hours
Mounting:	Mounts directly to junction box, Can be mounted on wall in all orientations
Finish:	Electrostatically Powder Coated White, Electrostatically Powder Coated Bronze, Electrostatically Powder Coated Black, Electrostatically Powder Coated Brushed Aluminum, Electrostatically Powder Coated Graphite
Operating Temp:	-40°F to 122°F (-40°C to 50°C)
Standards:	ETL, cETL, Wet Location Listed, IP65, Title 24: 2019, Title 24:

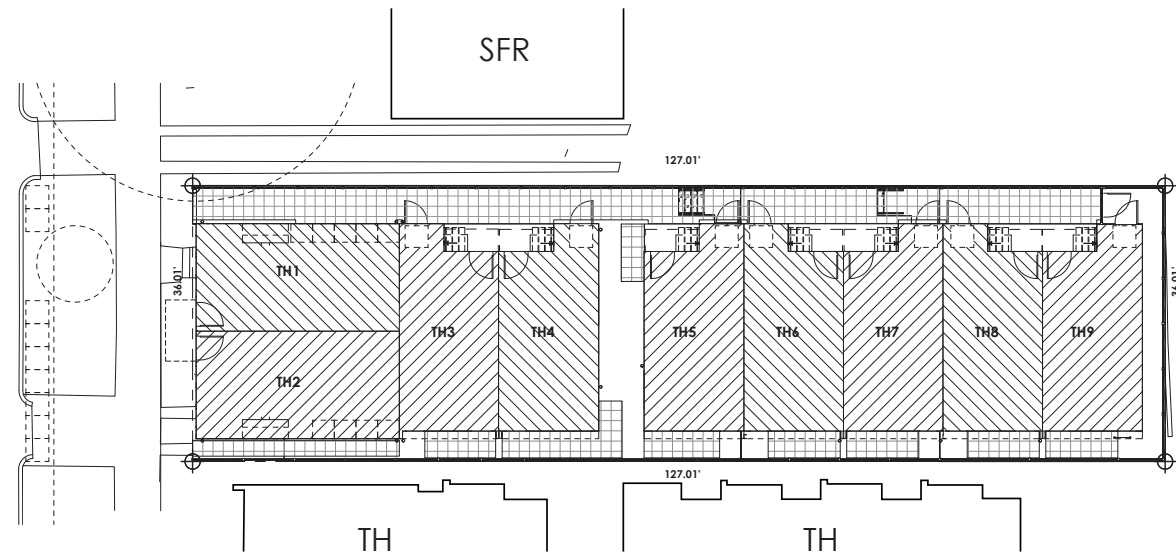
LB

RECESSED WALL MOUNT STEP LIGHT
LOCATION: WALK WAYS THROUGHOUT



SPECIFICATIONS	
Input:	9-15VAC (transformer is required)
Power:	2W / 3.1VA
CRI:	90
Mounting:	Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H Includes bracket for J-Box mount
Rated Life:	60,000 hours

Concept Lighting Plan



Adjacency Plan Diagram
NTS



Adjacent SFR Windows
Adjacent SFR Massing

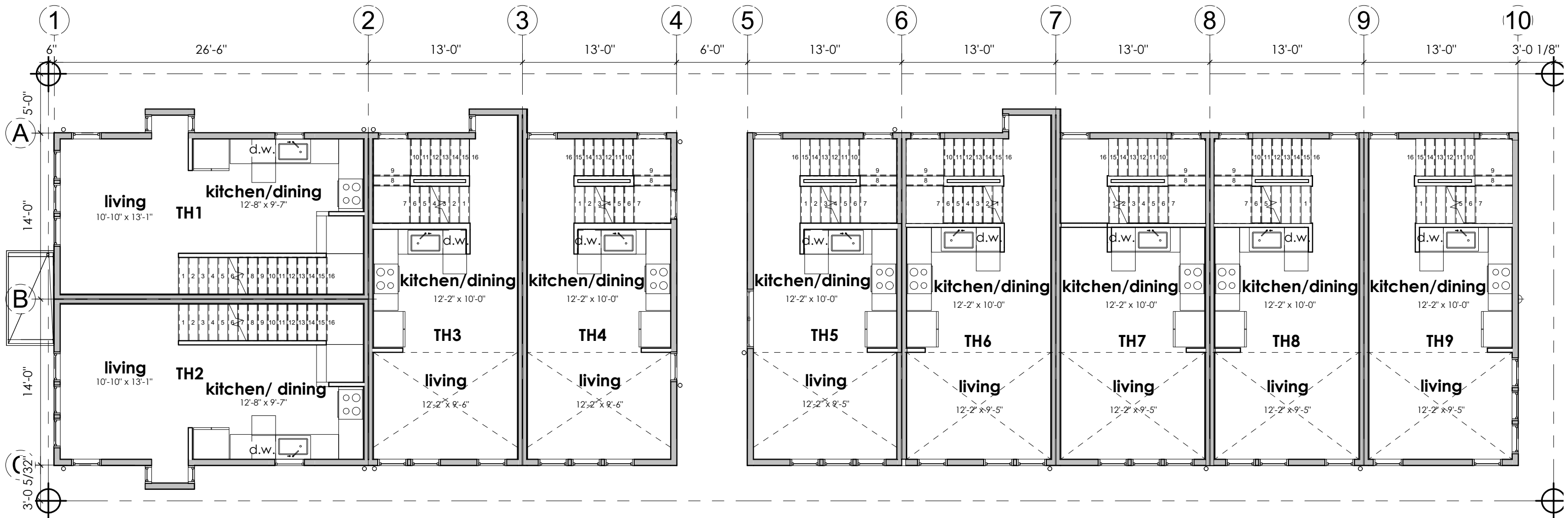
Window Diagram - North Elevation
NTS



Adjacent TH Windows
Adjacent TH Massing

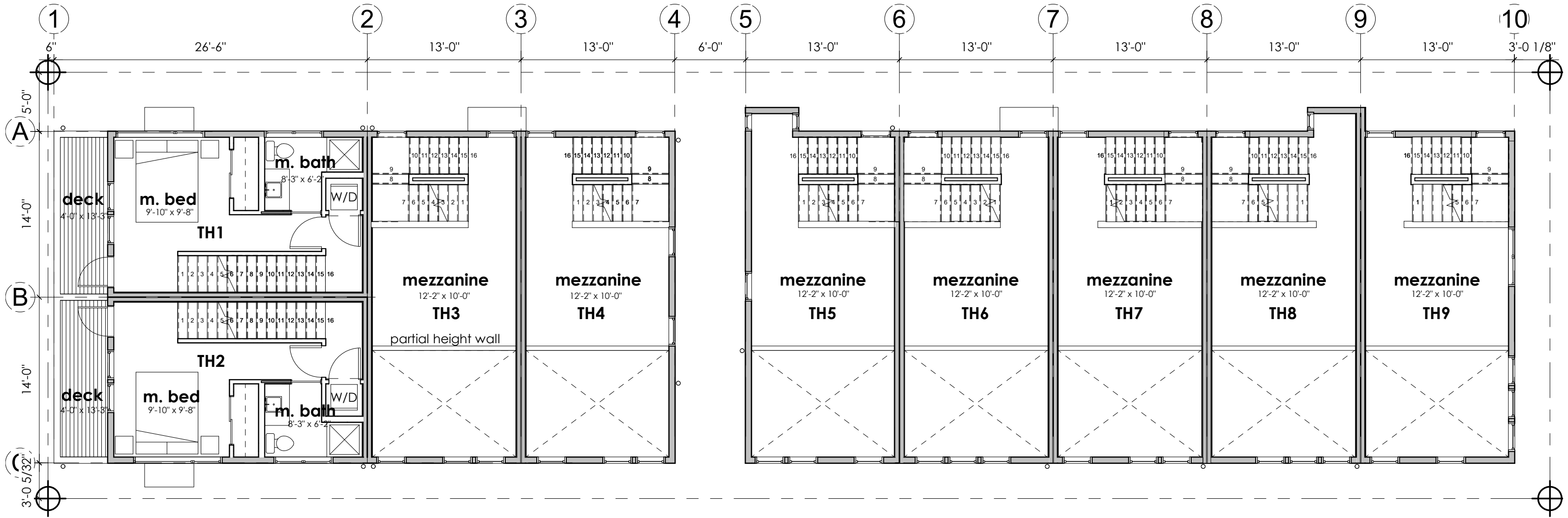
Window Diagram - South Elevation
NTS

Adjacency Diagrams



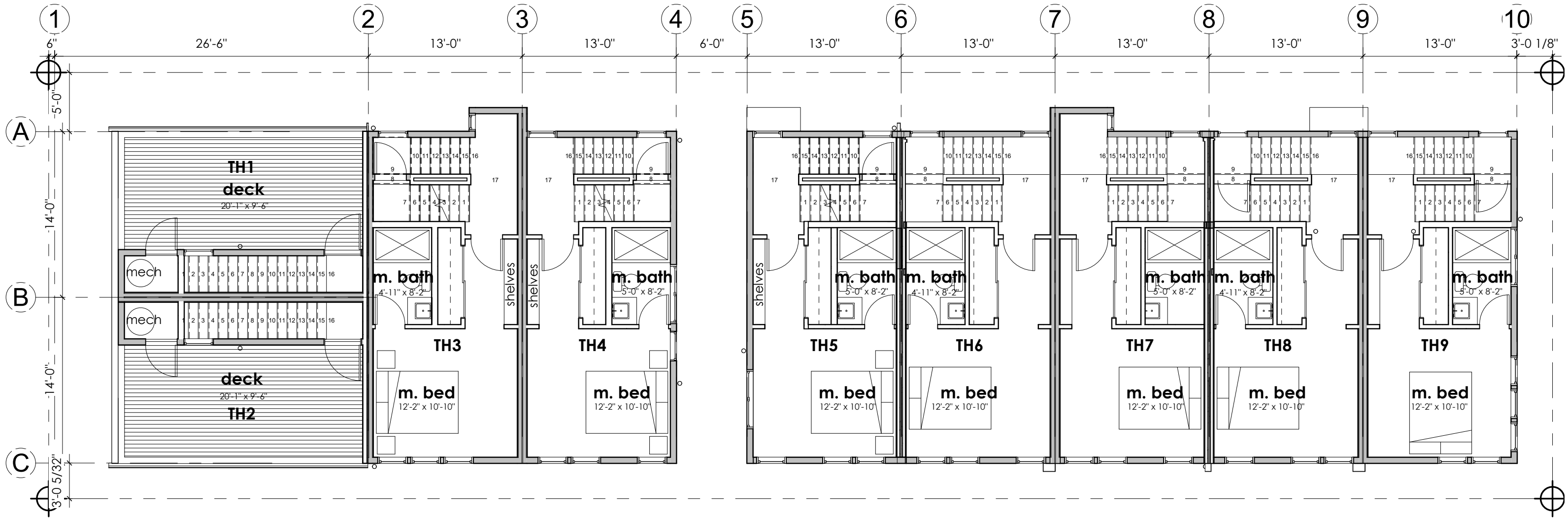
Scale: 1/8" = 1'

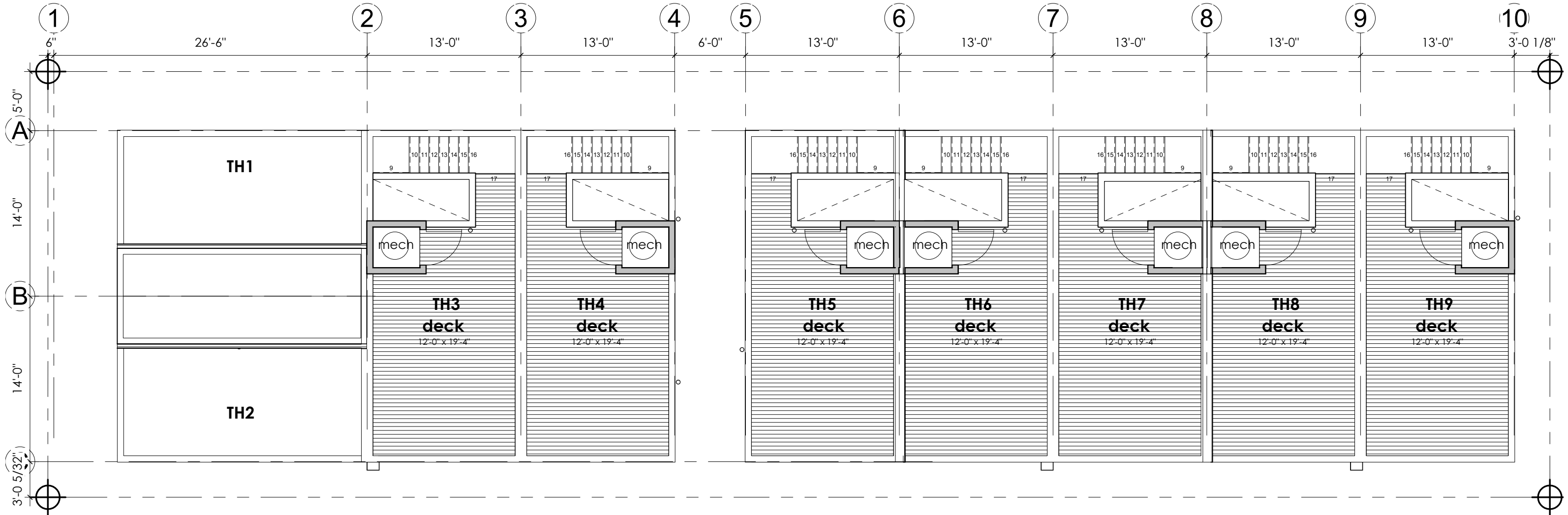
LEVEL TWO



Scale: 1/8" = 1'

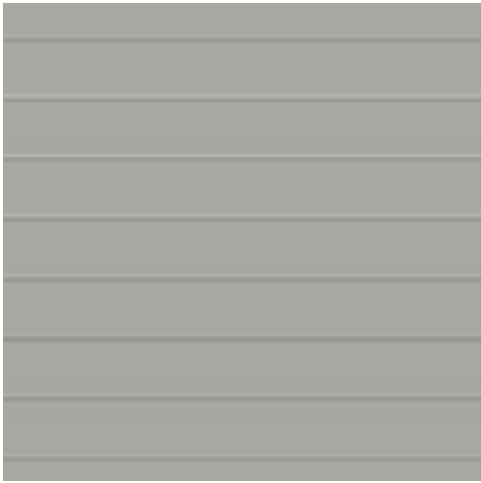
LEVEL THREE





Scale: 1/8" = 1'

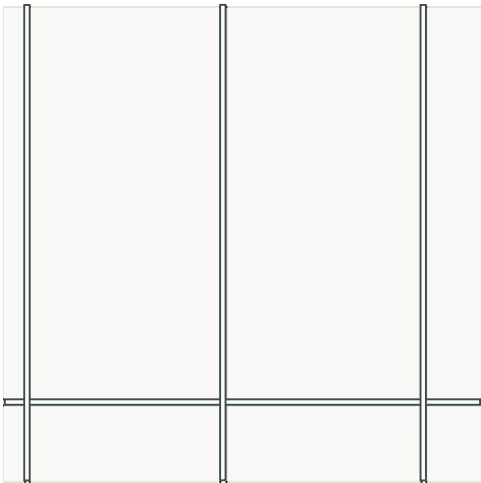
ROOF LEVEL



1. GRAY LAP

7.25" James Hardie Lap Siding

Sherwin Williams #7658
Grey Clouds



2. WHITE PANEL

7/16" James Hardie Panel

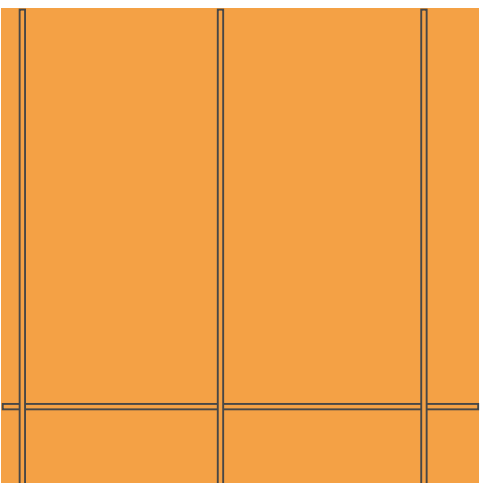
Sherwin Williams #7100
Arcade White



3. BRICK

Brick

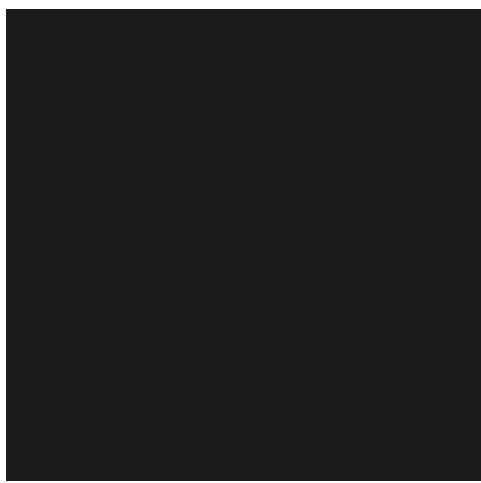
Mutual Materials
Vintage Color
Mission Texture
Dark Grey Grout



4. ORANGE PANEL

7/16" James Hardie Panel

Sherwin Williams 6890
Osage Orange



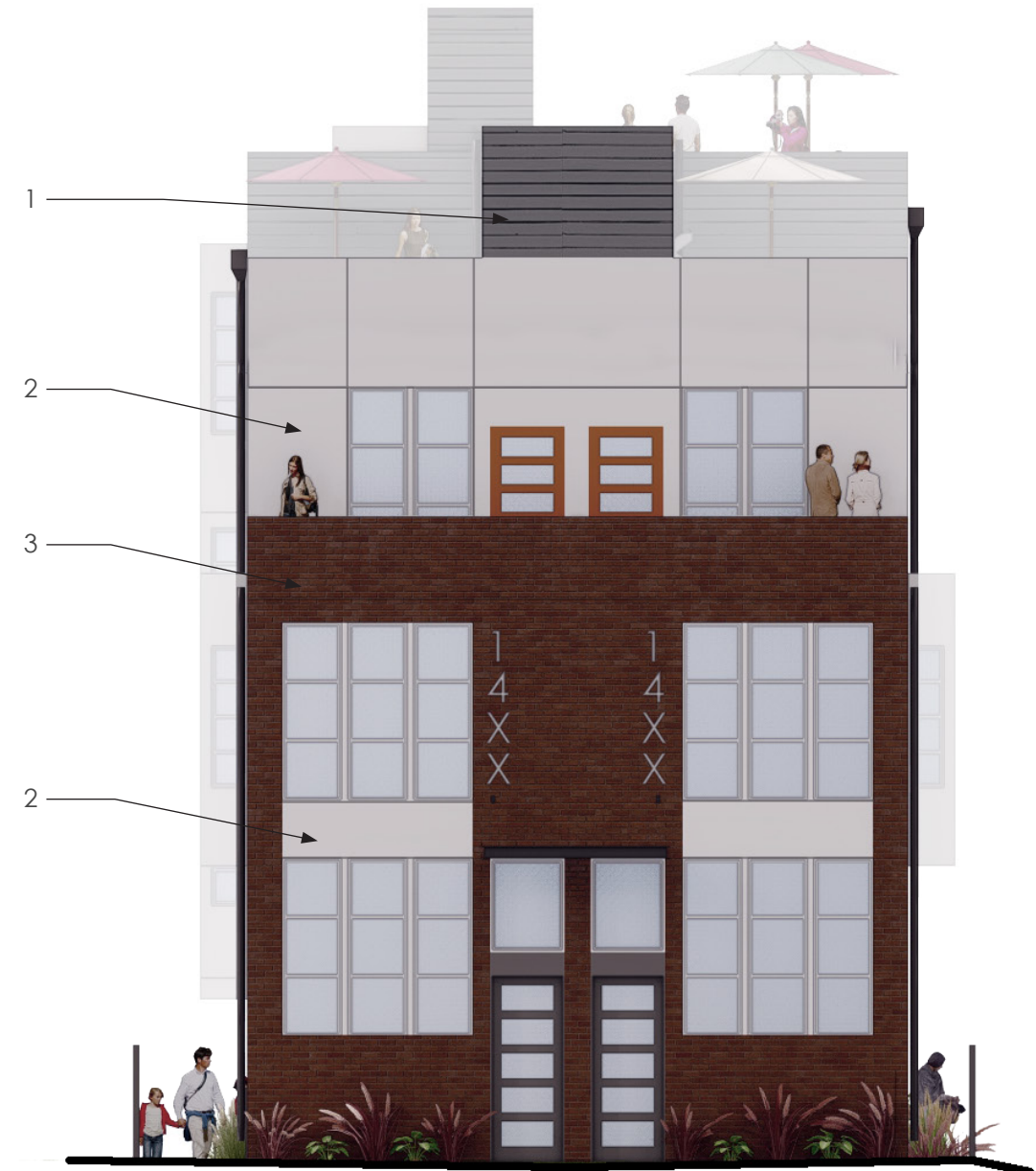
5. BLACK METAL

Sheet Metal

Factory Finish Black



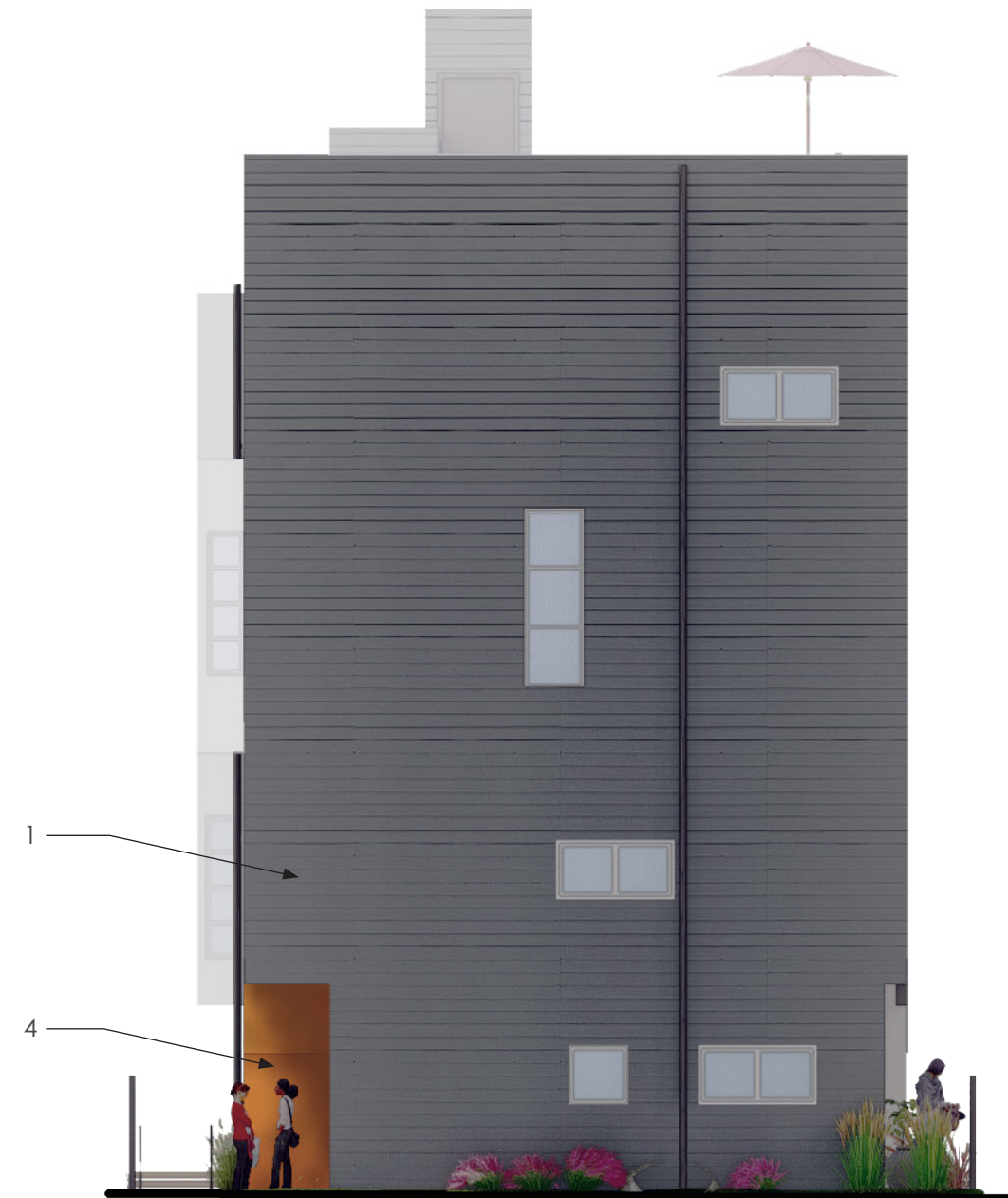
East Elevation



(21 Ave) West Elevation



East-Building 1



West-Building 2



South

Scale: 1/8" = 1-0'

Building Elevations



North



West facade along 21st Ave



View of Entries



Aerial view looking West



Neighborhood Aerial



Roof Decks