

Streamlined Design Review (SDR)

819 NW 54TH ST

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**Project #:** #3037376-EG

**Applicant Team:** Blackwood Builders Group  
*Developer*

b9 architects  
*Architect*



March 1, 2021

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# TABLE OF CONTENTS

<b>OBJECTIVES</b>	<b>04</b>
EARLY PUBLIC OUTREACH SUMMARY	05
<b>CONTEXT ANALYSIS</b>	<b>06</b>
ZONING SUMMARY	07
SITE OPPORTUNITIES & CONSTRAINTS	08
ADJACENT USES	08
EXISTING CONDITIONS	09
SITE SURVEY	12
ARBORIST REPORT	13
<b>CONCEPT DEVELOPMENT</b>	<b>14</b>
<b>ARCHITECTURAL CONCEPT</b>	<b>18</b>
SITE PLANS AND SECTION	18
RENDERINGS	20
FLOOR PLANS	24
ELEVATIONS	26
LANDSCAPE PLAN	28
<b>DESIGN GUIDELINES</b>	<b>29</b>
<b>COMPLETED WORK</b>	<b>30</b>



9th Avenue NW

8th Avenue NW

NW 54th Street

NW 53rd Street

OBJECTIVES

Construct one three-story and one four-story residential duplex structures for a total of four units. Parking is provided for three out of the four units. The existing structure will be demolished.

Gross Floor Area	5,600 sf
Number of Units	4
Number of Parking Spaces	3
Number of Long-term Bike Parking Spaces	4
Number of Short-term Bike Parking Spaces	2

Sustainability  
Design and construct new structure to achieve a 4-Star Built Green certification.



# EARLY PUBLIC OUTREACH SUMMARY

As the applicant for a townhouse proposal at 819 NW 54th St, b9 architects conducted and completed the Early Community Outreach requirements. Outreach included numerous posters placed throughout the neighborhood and on utility poles, created an interactive project website and created an interactive online survey.

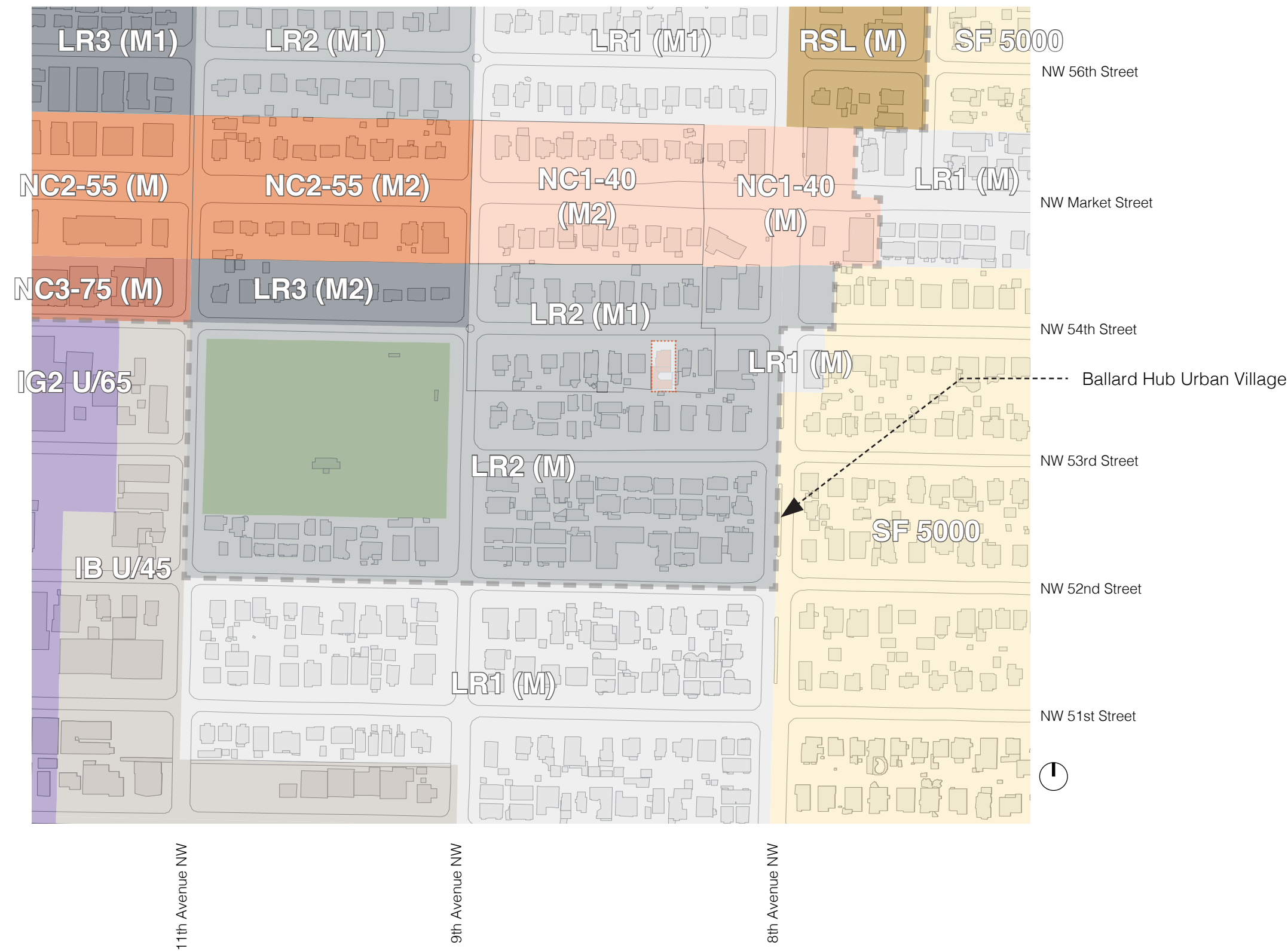
*Per the SDCI Director's Rule 4-2018/DON Director's Rule 1-2018 VI.E.- Documentation: Early Design Guidance*

*Applicants shall include a summary of the design-related feedback they heard during their community outreach as part of their final EDG packet. While collaborative approach is encouraged between the applicant and the community, the applicant is not required to incorporate any specific community feedback into the project's design. Comments and discussion presented at the Design Review meetings should focus on compliance with the established design guidelines. Applicants may, at their discretion, respond directly to the community about any feedback that is not related to Design Review.*

OUTREACH METHOD	DATE IMPLEMENTED	DESIGN-RELATED COMMENTS
① Posters placed in neighborhood businesses and utility poles	December 17, 2020	<ul style="list-style-type: none"><li>no comment was provided</li></ul>
② Digital Outreach with an interactive project webpage with public commenting function	December 16, 2020	<ul style="list-style-type: none"><li>no comment was provided</li></ul>
③ Digital Outreach in the form of an internet survey	December 16, 2020	<ul style="list-style-type: none"><li>no comment was provided</li></ul>

ZONING ANALYSIS

This site is located in an LR2 and does not directly abut any other zones.





# ZONING SUMMARY

**23.45.504 PERMITTED USES:**

- Residential use permitted outright

**23.45.510 FLOOR AREA RATIO:**

- 1.4, for zones with an MHA suffix

**23.45.512 DENSITY LIMITS:**

- No density limits

**23.45.514 STRUCTURE HEIGHT:**

- 40'-0" base height limit, for zones with an MHA suffix
- Open railings, planters, greenhouses not dedicated to food production, parapets, and firewalls on the roofs of principal structures may extend 4 feet above the maximum height limit
- For shed and butterfly roofs in LR zones:
  - 1. In LR zones, the high side(s) of a shed or butterfly roof may extend 3 feet above the height limits set in Table A for 23.45.514, provided that the low side(s) of the shed or butterfly roof are no higher than the height limit (see Exhibit A for 23.45.514) if the height limit exception in subsection 23.45.514.F is not used.
- - 2. The roof line of a shed or butterfly roof may be extended in order to accommodate eaves, provided that the highest point of the roof extension is no more than 4 feet above the height limit.

**23.45.518 SETBACKS AND SEPARATIONS:**

- Front- 7 feet average; 5 feet minimum
- Rear- 7 feet average; 5 feet minimum
- Side less than 40 feet- 5 feet
- Side more than 40 feet- 7 feet average; 5 feet minimum
- Separations - In LR and MR zones, if principal structures are separated by a driveway or parking aisle, the minimum required separation between the principal structures is 2 feet greater than the required width of the driveway or parking aisle, provided that the separation is not required to be any greater than 24 feet. If principal structures are separated by a driveway or parking aisle, projections that enclose floor area may extend a maximum of 3 feet into the required separation if they are at least 8 feet above finished grade.

**23.45.522 AMENITY AREA:**

- The required amenity area in LR2 zones for rowhouse and townhouse development is equal to 25 percent of the lot area.
- A minimum of 50% of the required amenity area shall be provided at ground level.
- All units shall have access to a common or private amenity area.

**23.45.524 LANDSCAPING STANDARDS:**

- A Green Factor Score of 0.6 or greater is required on LR lots with more than one new dwelling unit.
- Street trees are required if any type of development is proposed.

**23.45.527 STRUCTURE WIDTH AND FACADE LENGTH LIMITS:**

- Maximum Structure Width: 90 feet for townhouse developments in LR2 lots.
- Maximum Facade Length: 65% of lot line for portions of facade within 15 feet of lot line.

**23.45.534 LIGHT AND GLARE STANDARDS:**

- Exterior lighting shall be shielded and directed away from adjacent properties
- To prevent vehicle lights from affecting adjacent properties, driveways and parking areas for more than two vehicles shall be screened from abutting properties by a fence or wall between 5 feet and 6 feet in height, or a solid evergreen hedge or landscaped berm at least 5 feet in height. If the elevation of the lot line is different from the finished elevation of the driveway or parking surface, the difference in elevation may be measured as a portion of the required height of the screen so long as the screen itself is a minimum of 3 feet in height. The Director may waive the requirement for the screening if it is not needed due to changes in topography, agreements to maintain an existing fence, or the nature and location of adjacent uses.

**23.54.040 TRASH AND RECYCLING STORAGE:**

- Residential units: 2-8 dwelling units = 84 square feet minimum of shared storage area

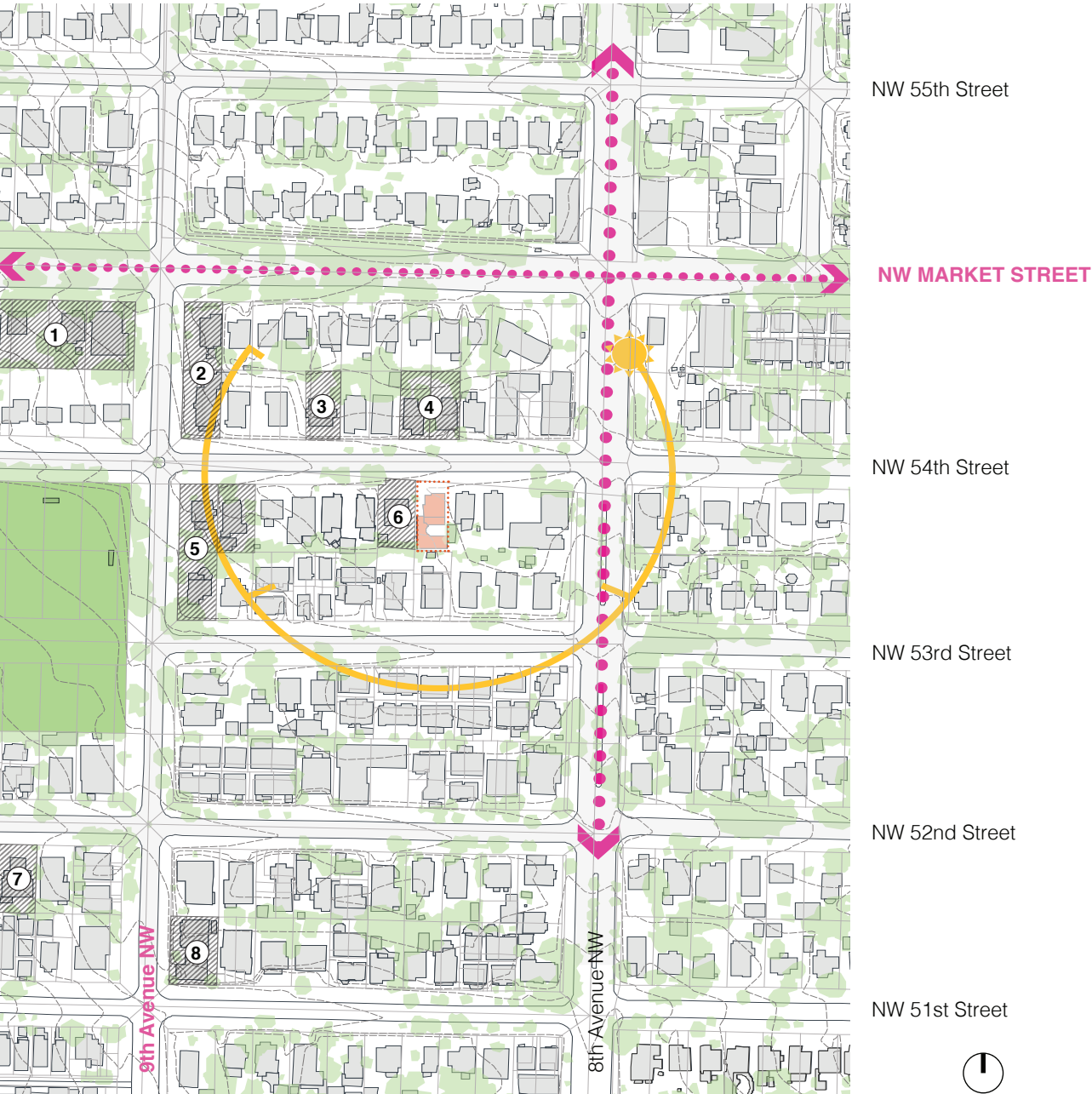
**23.54.015 PARKING**

- `For multifamily residential uses, except as otherwise provided; 1 space per dwelling unit required
- Per 23.45.536.1: If parking is required, it shall be located on the same lot as the use requiring the parking, except as otherwise provided in this subsection 23.45.536.B.
- Except as otherwise provided in this subsection 23.45.536.B, surface parking may be located anywhere on a lot except: between a principal structure and a street lot line, in the required front setback or side street side setback, and within 20 feet of any street lot line

**23.54.015.K BICYCLE PARKING:**

- Long Term Parking Requirement : 1 Per Dwelling Unit
- Short Term Parking Requirement : 1 Per 20 Dwelling Units.
- Long term bicycle parking shall be located where bicyclists are not required to carry bicycles on a stair to access the parking
- Provide full weather protection for all required long-term bicycle parking.
- Rounding. For long-term bicycle parking, calculation of the minimum requirement shall round up the result to the nearest whole number. For short-term bicycle parking, calculation of the minimum requirement shall round up the result to the nearest whole even number.

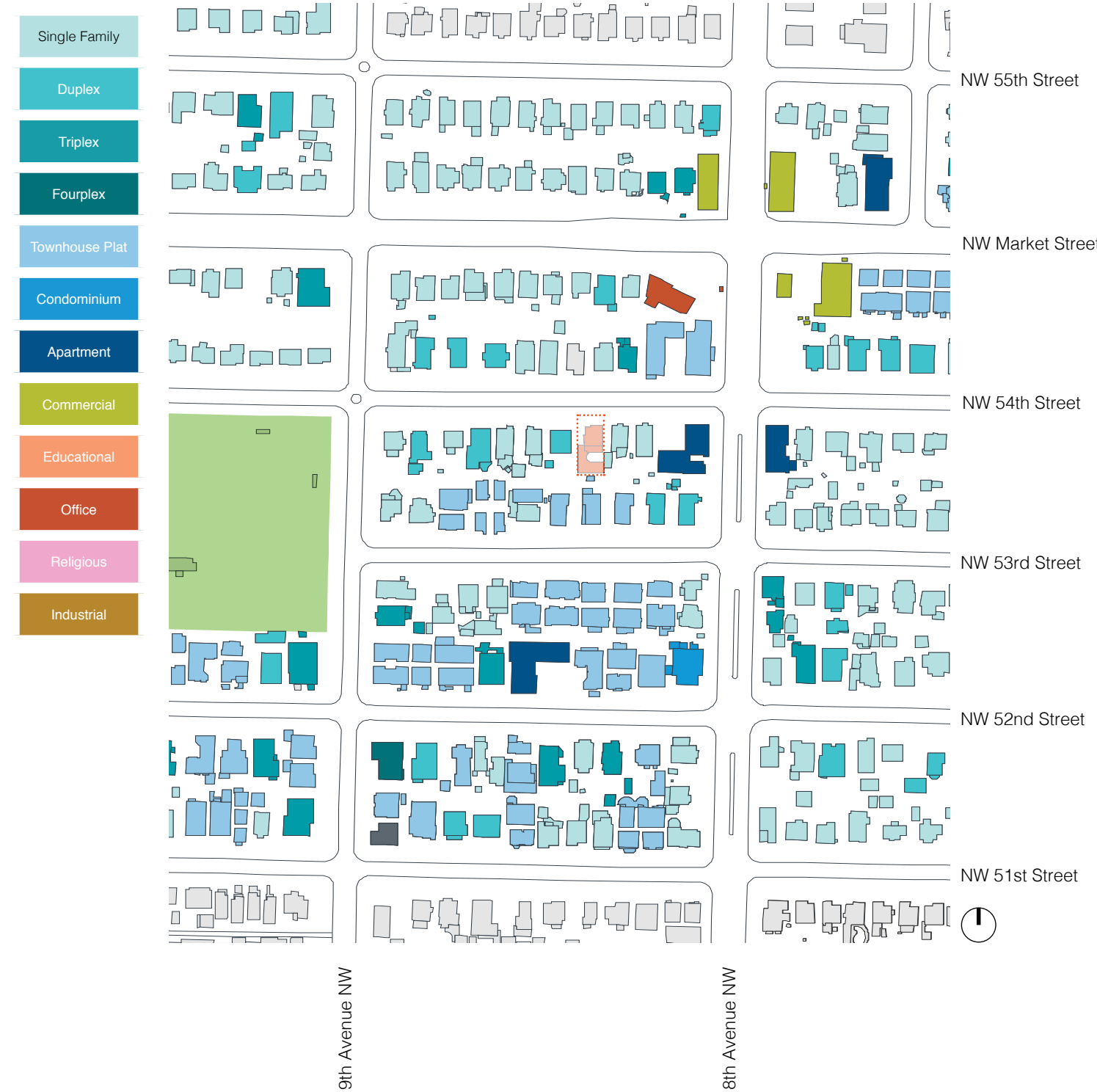
SITE OPPORTUNITIES & CONSTRAINTS



Proposed Developments in Proximity to the Site

Address	Proposal	Address	Proposal
① 907 NW Market St	5-Story Apartment Building	⑤ 849 NW 54th St	10 3-Story Rowhouses
② 849 NW Market St	4-Story Apartment Building	⑥ 825 NW 54th St	6 Townhouse Units
③ 832 NW 54th St	7 Townhouses	⑦ 917 NW 52nd St	Multifamily Structure
④ 814 NW 54th St	4 Townhouses	⑧ 5100 9th Ave NW	Rowhouse

ADJACENT USES





# EXISTING CONDITIONS

- 819 NW 54th Street is a 4,000 square foot mostly rectangular lot with approximate dimensions of 100 feet north-south and 40 feet east-west. The lot currently contains an existing one-story single-family structure. The immediate surroundings are a mix of single-family and townhouse structures.
- The site slopes gradually down to the south but is mostly flat, with an existing concrete driveway and parking area occupying a large percentage of the site.
- A large evergreen tree, noted as exceptional by the arborist report provided in this packet, is situated in the southeast corner of the adjacent lot to the east. A tree protection area has been identified with this proposal consistent with the arborist report.
- The adjacent lot to the west is currently under development. This development is proposing 6 units on its respective site, one duplex and four townhouses. Other development is proposed on the block or has occurred recently.



1 View facing South looking at site



2 View facing Southeast looking at site



3 View facing Southwest looking at site



4 View facing West looking at site



# NEIGHBORHOOD ANALYSIS

- The parcel is located midblock on the north side of NW 54th Street between 9th Avenue NW and 8th Avenue NW.
- Prior to the recent upzone through the city's Mandatory Housing Affordability [MHA] legislation, the site's zoning designation was changed from SF 5000 to LR2 (M1). The immediate context along the north and south sides of NW 54th Street consists of predominantly existing single family structures or new townhouses created after the MHA rezone. Many of the townhouses are very recent or are being currently developed, including the lots to the west of the site. South of the site are various townhouse developments, built in the 2000's and 2010's.
- This site is well served by bus lines, including the #44, #40, #28, and the D line, facilitating travel to many Seattle neighborhoods including; Downtown, Wallingford/Fremont, Magnolia, Interbay, Queen Anne, and neighborhoods further to the south. The site is less than 1 mile to the Burke-Gilman trail along Lake Union.
- The intersection of NW Market Street and 8th Avenue NW is located two blocks northeast of the site. The site is close to significant mixed-use developments along NW Market Street.



1 Single Family House across NW 54th Street from site



2 Retail Shops at the corner of NW Market Street and 8th Avenue NW



3 Single Family House on NW 53rd Street at corner of 9th Avenue NW



4 Woodlawn Park from 9th Avenue NW





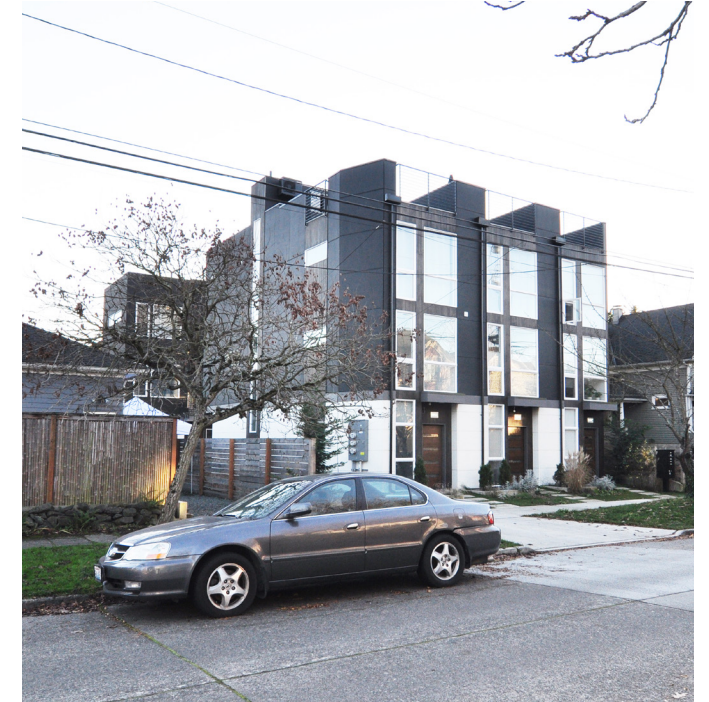
⑤ Townhouses on NW 54th Street between 8th Avenue NW and 9th Avenue NW - directly north from site



⑥ Apartments on NW 54th Street between 9th Avenue NW and 8th Avenue NW



⑦ Single Family House on NW 56th Street between 9th NW Avenue and 8th Avenue NW



⑧ Townhomes on NW 52nd Street between 9th Avenue NW and 8th Avenue NW



⑨ Shell Gas Station on 8th Avenue NW and at intersection of NW Market Street



⑩ Townhomes at intersection of 9th Avenue NW and NW 52nd Avenue



⑪ Brewery of corner of 11th Avenue NW and NW 52nd Street



⑫ Townhomes on NW 53rd Street between 9th Avenue NW and 8th Avenue NW



SITE SURVEY

ADDRESS

819 NW 54th St

PARCEL #

122503-9016

LEGAL DESCRIPTION

The west 40 feet of the following described tract; beginning at the intersection of the south line of West 54th Street with the west line of 8th Avenue NW, thence west along the south line West 54th Street to a point 50 feet east of its intersection with the west line of the east half of tract 41 1/2 of Farmdale Homestead (vacated) as per plat thereof recorded in Volume 1 of plats, page 211, records of King County, thence south on a line parallel to the said west line 100 feet, thence east on a line parallel to the south line of West 54th Street, to the west line of 8th Avenue NW, thence north along said west line to the point of beginning.

Situate in the County of King, State of Washington

LOT SIZE

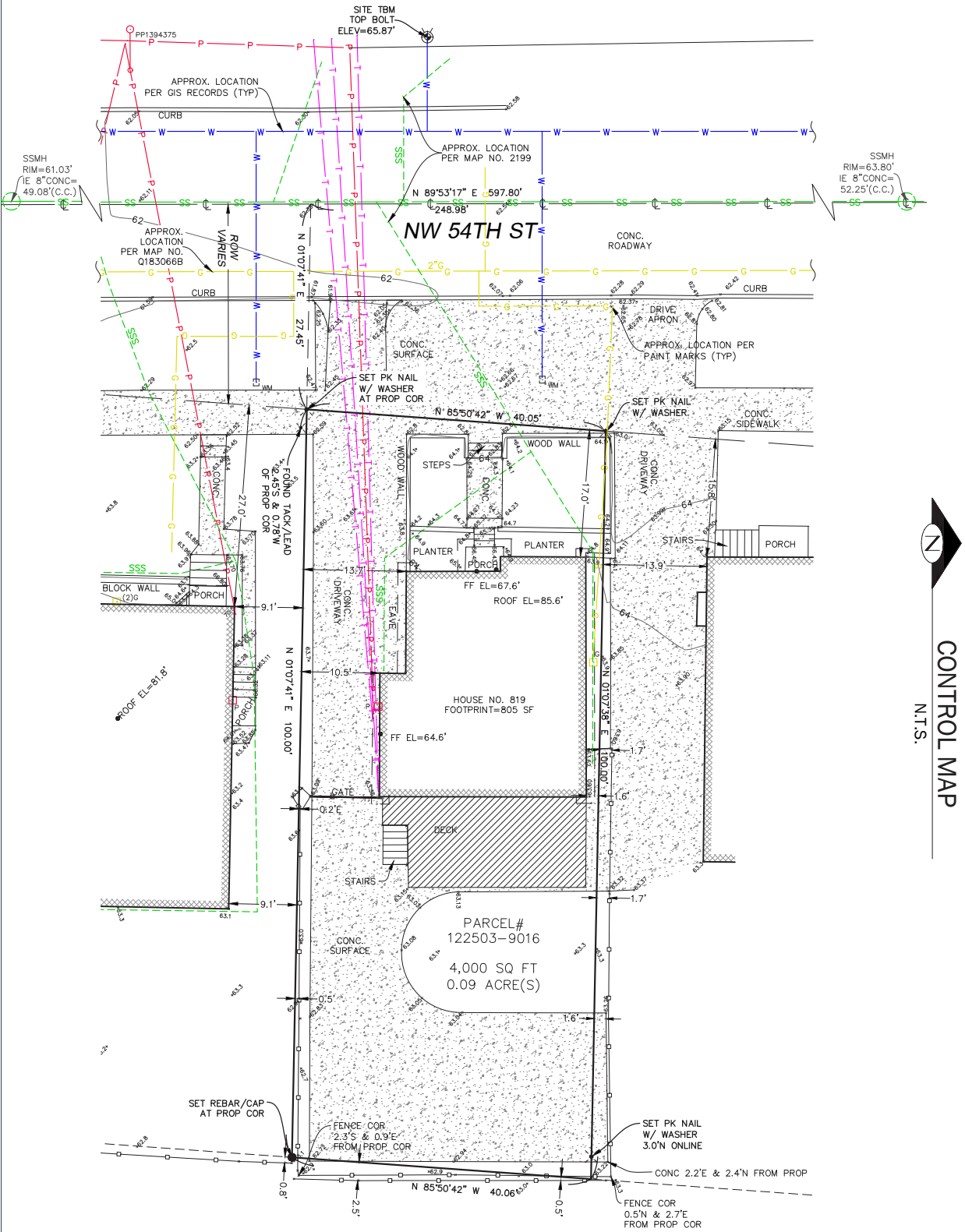
4,000 SF

ZONE

LR2 (M1)

URBAN VILLAGE OVERLAY

Ballard Hub Urban Village

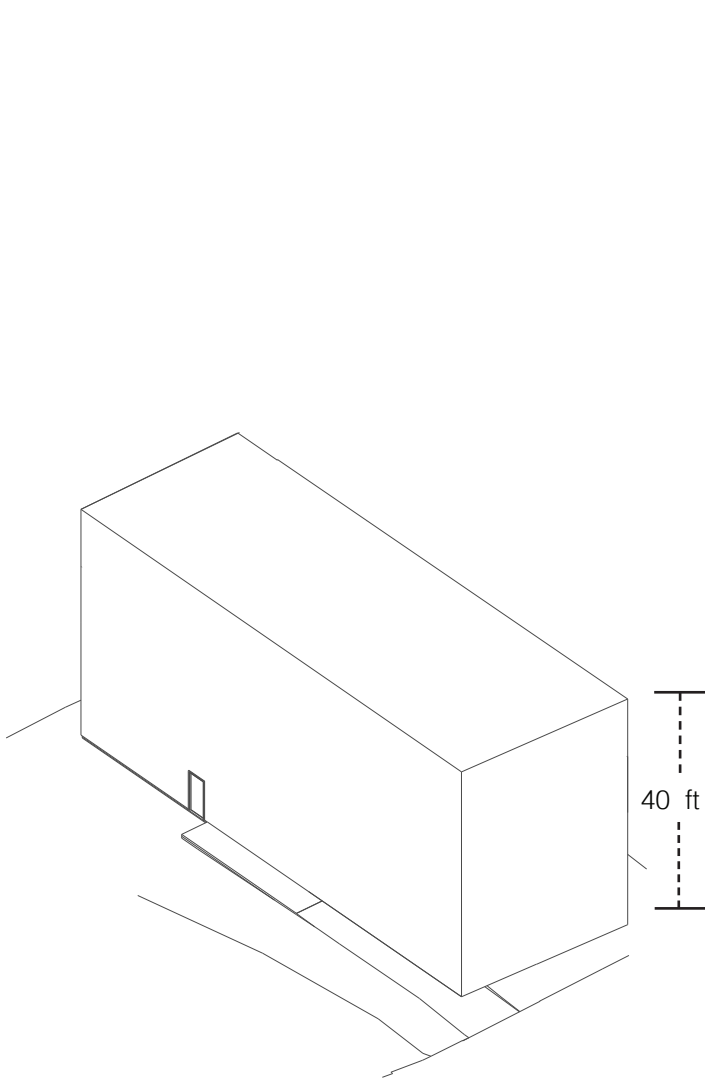




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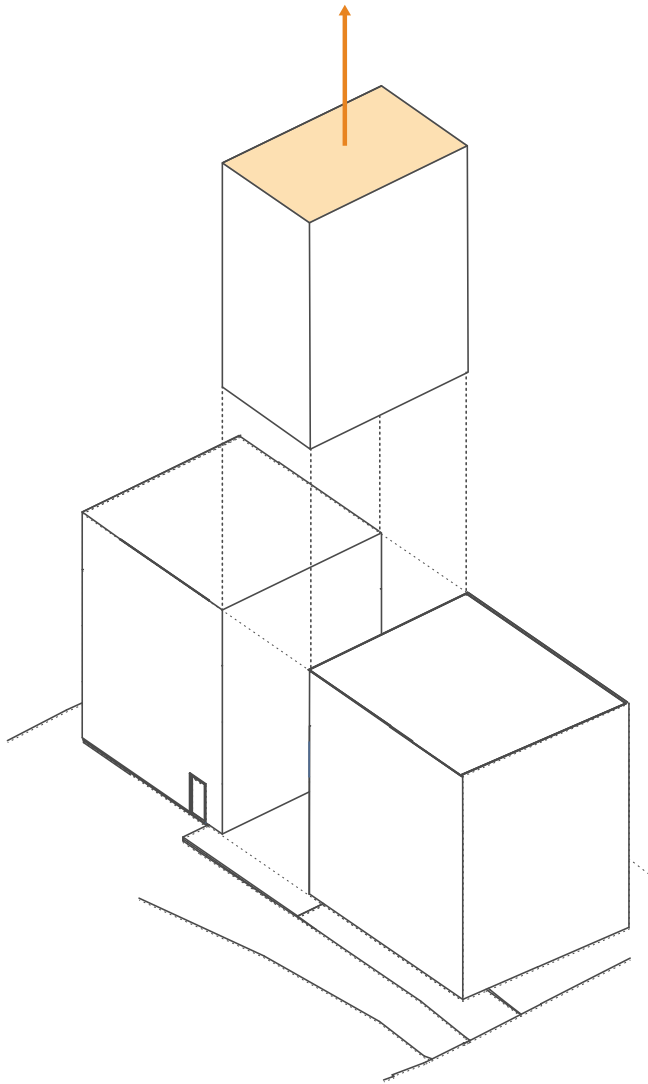


MASSING DEVELOPMENT



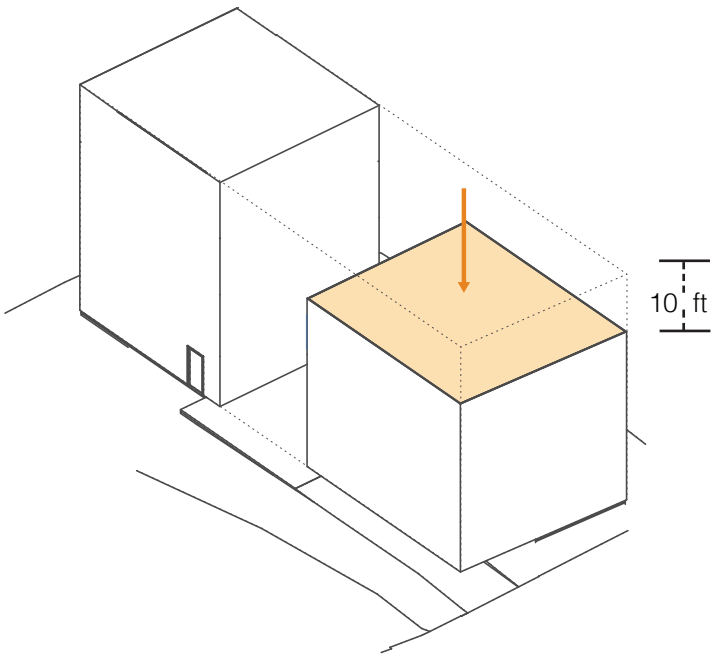
1. ZONING ENVELOPE

Based on allowable height and setbacks.



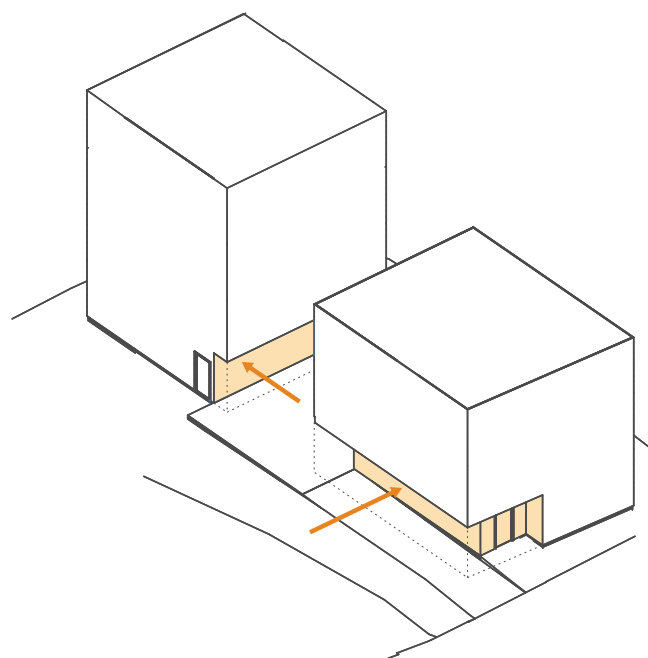
2. DIVIDE INTO TWO MASSES

Incorporate facade length requirements and separate massing into two smaller structures.



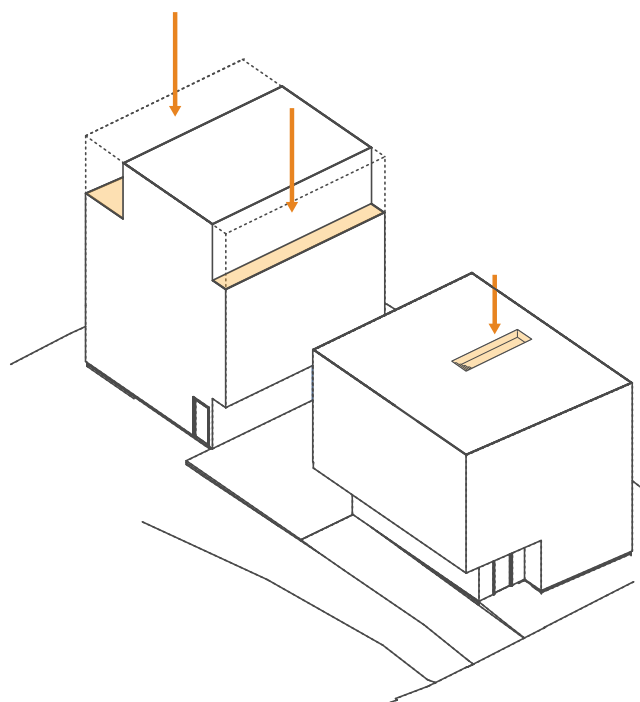
3. REDUCE SCALE AT STREET

Responding to existing context, the height of the front structure is reduced by 10 feet to be three stories.



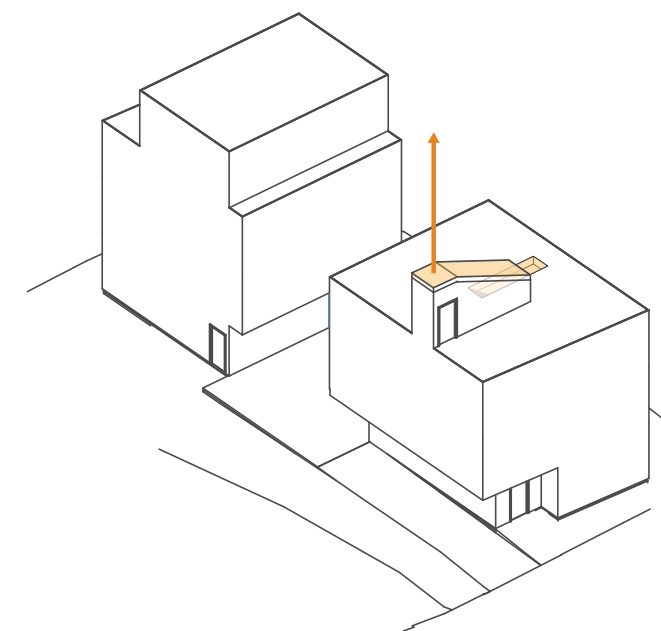
#### 4. EMPHASIZE ENTRIES AND PEDESTRIAN CIRCULATION

Massing is further articulated, carving away at street level to highlight individual unit entries and pedestrian circulation.



#### 5. UPPER LEVEL SETBACK AT REAR STRUCTURE

Massing is further reduced by carving away at the fourth floor of the rear structure. This provides a better-scaled solution and an opportunity for decks connected to living space.

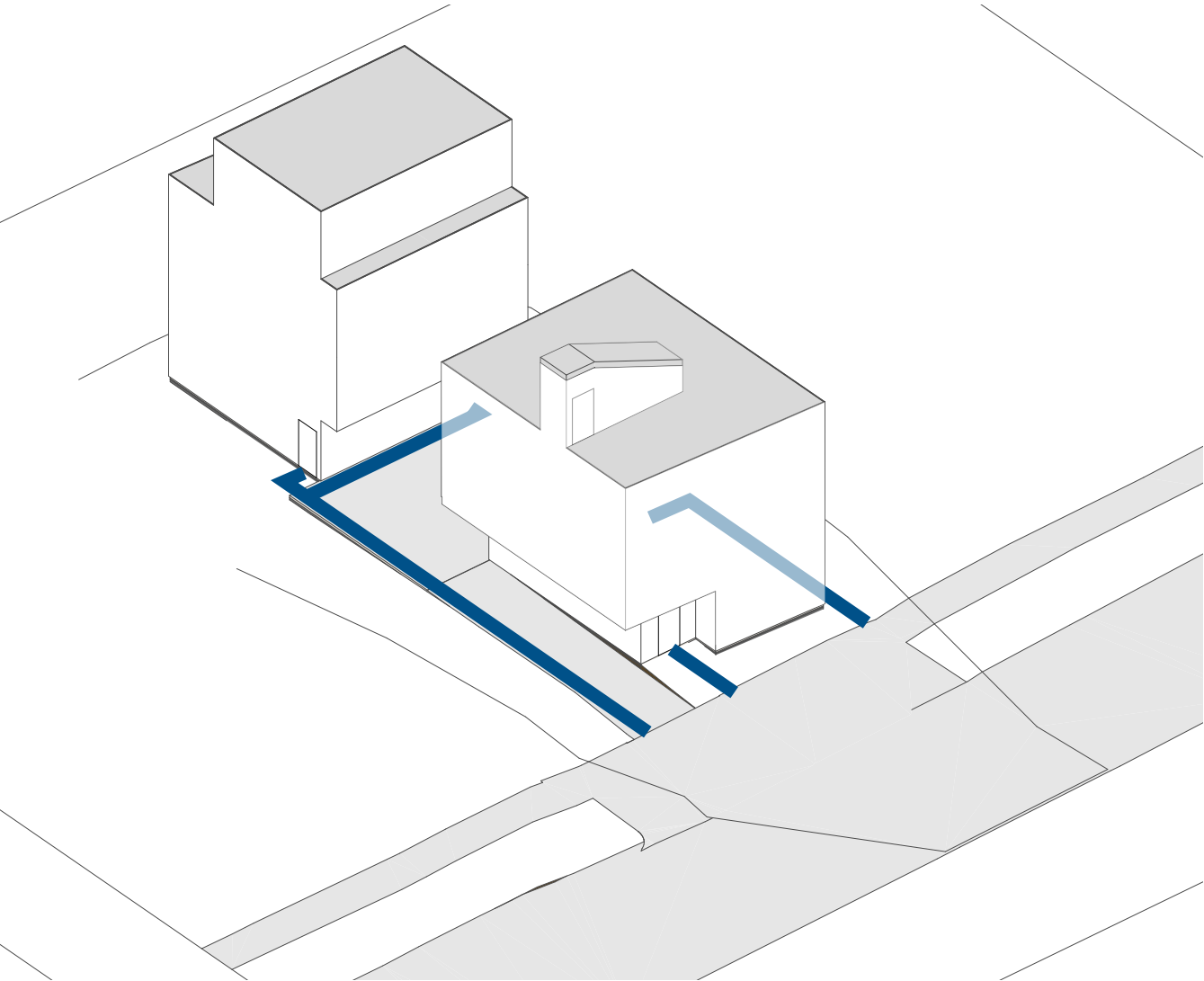


#### 6. INDIVIDUAL STAIR PENTHOUSE ADDED

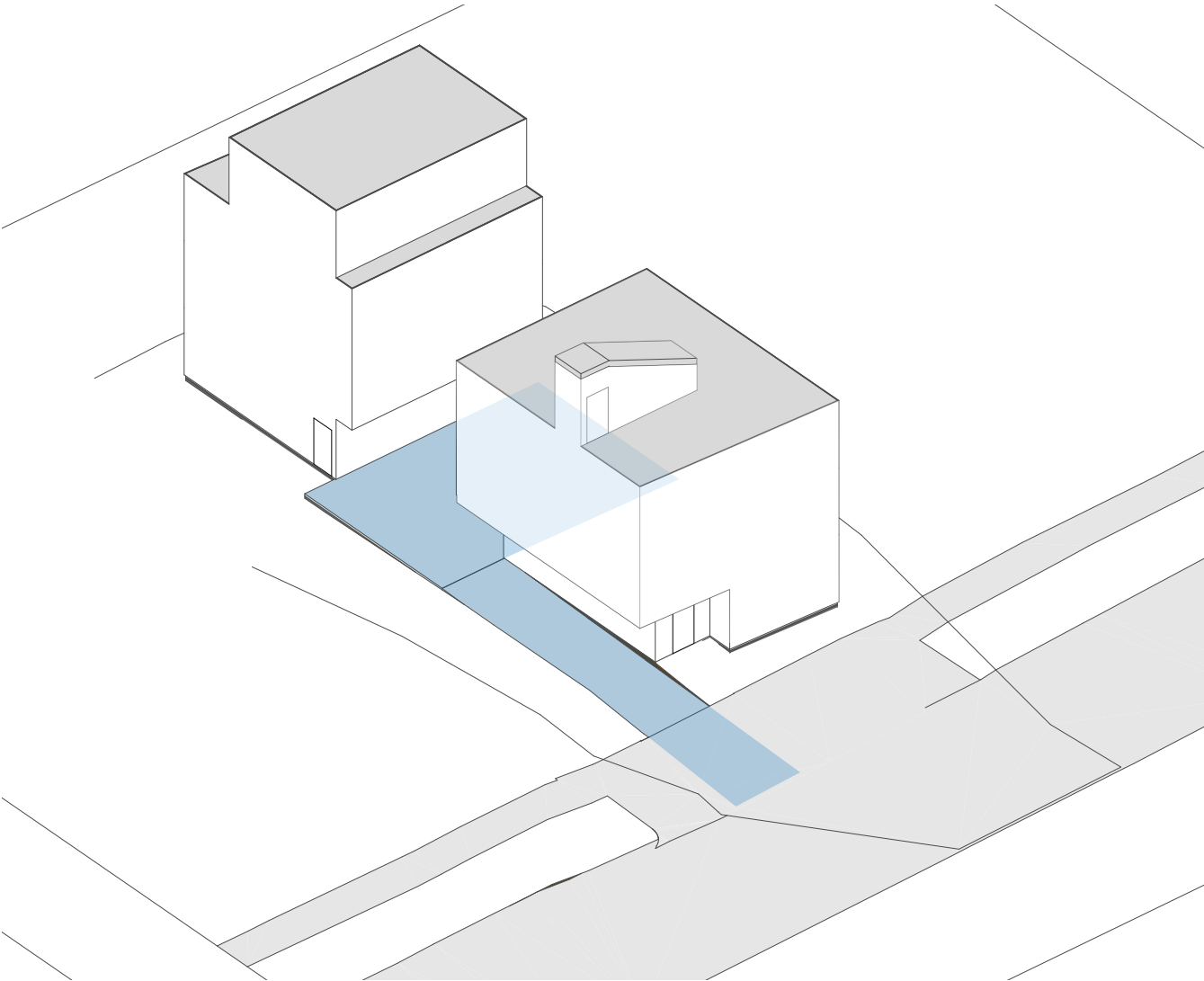
Roof deck access for the front duplex is provided through a small stair penthouse, oriented east-west, to minimize impact on adjacent sites.

# CONCEPT DEVELOPMENT

This project, four townhouses located mid-block in a quickly developing Ballard neighborhood, seeks to create a simple, yet elegant design solution with clear circulation and compelling architectural gestures. The massing consists of two volumes separated by a shared space for access at the center of the site. They form a collection of vertical and horizontal elements, breaking up each facade to add to the character of the block. Window openings provide punches within the horizontal wood-clad areas and continue an alternating rhythm across the rest of the massing elements. Alignment of openings emphasizes verticality and creates a more rhythmic placement in horizontal masses. Contrasting materials distinguish the primary horizontal forms with dark-stained wood elevated above street level and more naturally-stained wood at street level highlighting all townhouse unit entries. As a secondary design strategy throughout the site, the site circulation is articulated as part of the woonerf with differentiated pavers connecting unit entries to the public realm and sidewalk. They are further emphasized with dark painted canopies where they are not recessed through massing moves.

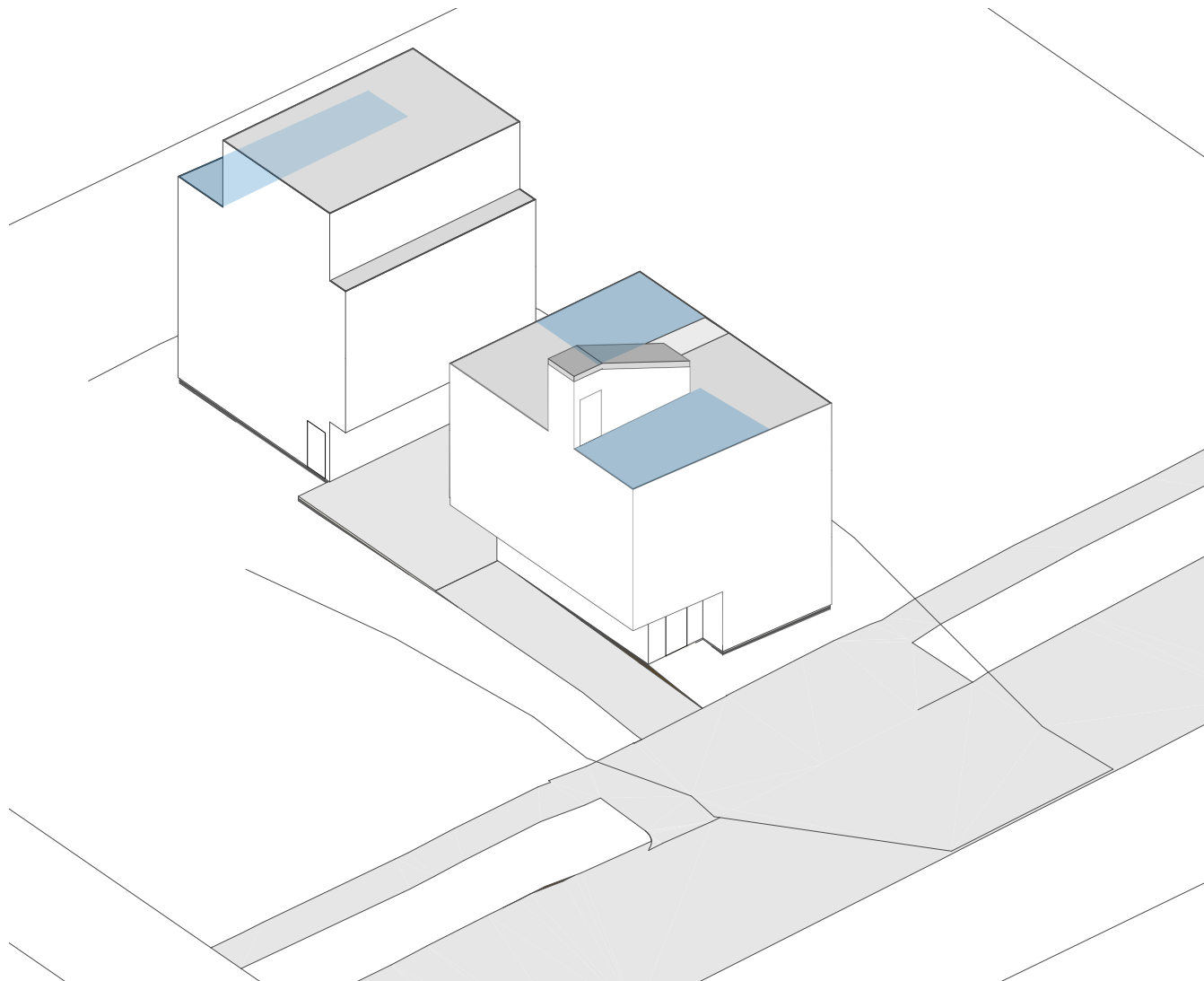


1. PEDESTRIAN CIRCULATION DIAGRAM

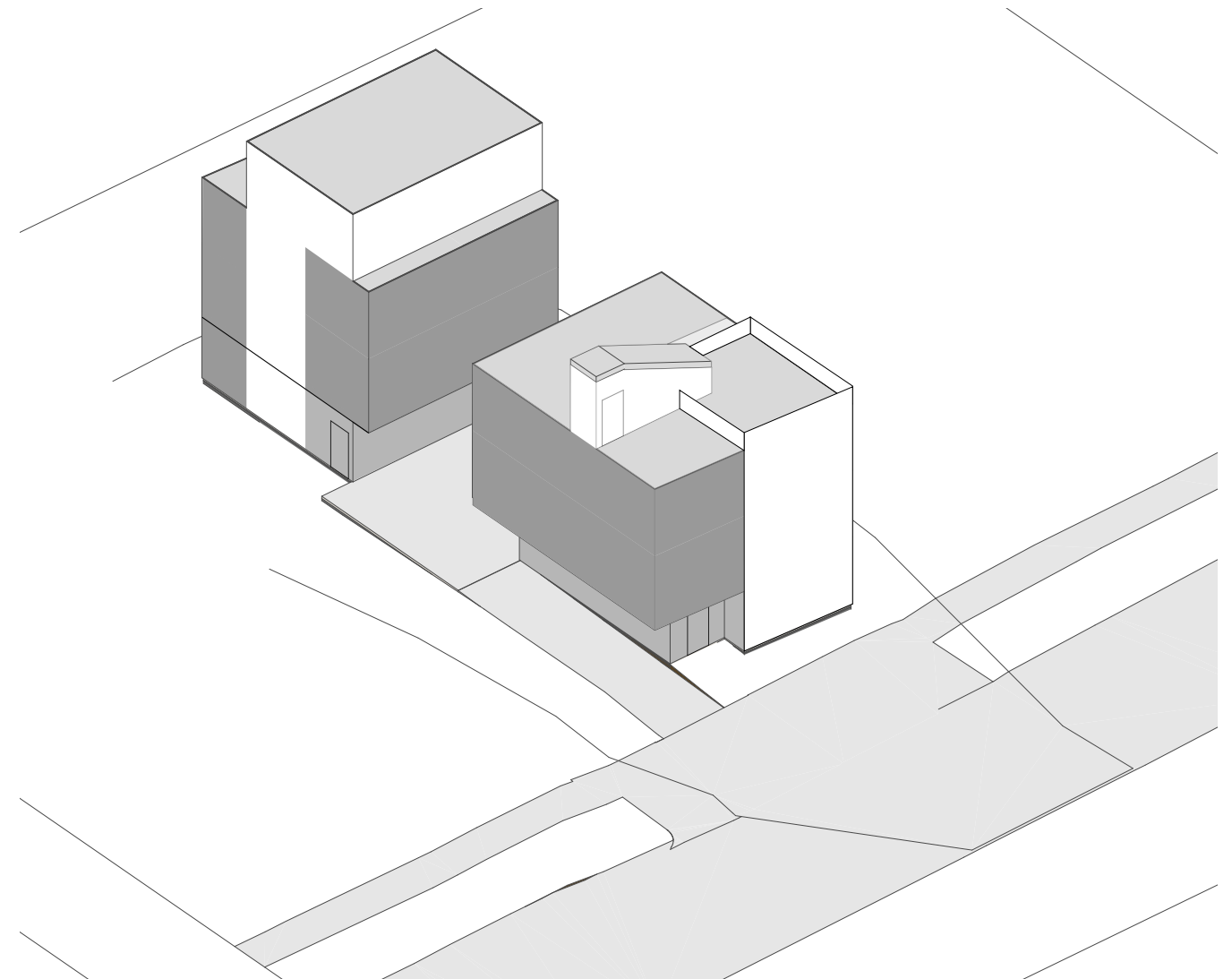


2. VEHICLE CIRCULATION DIAGRAM



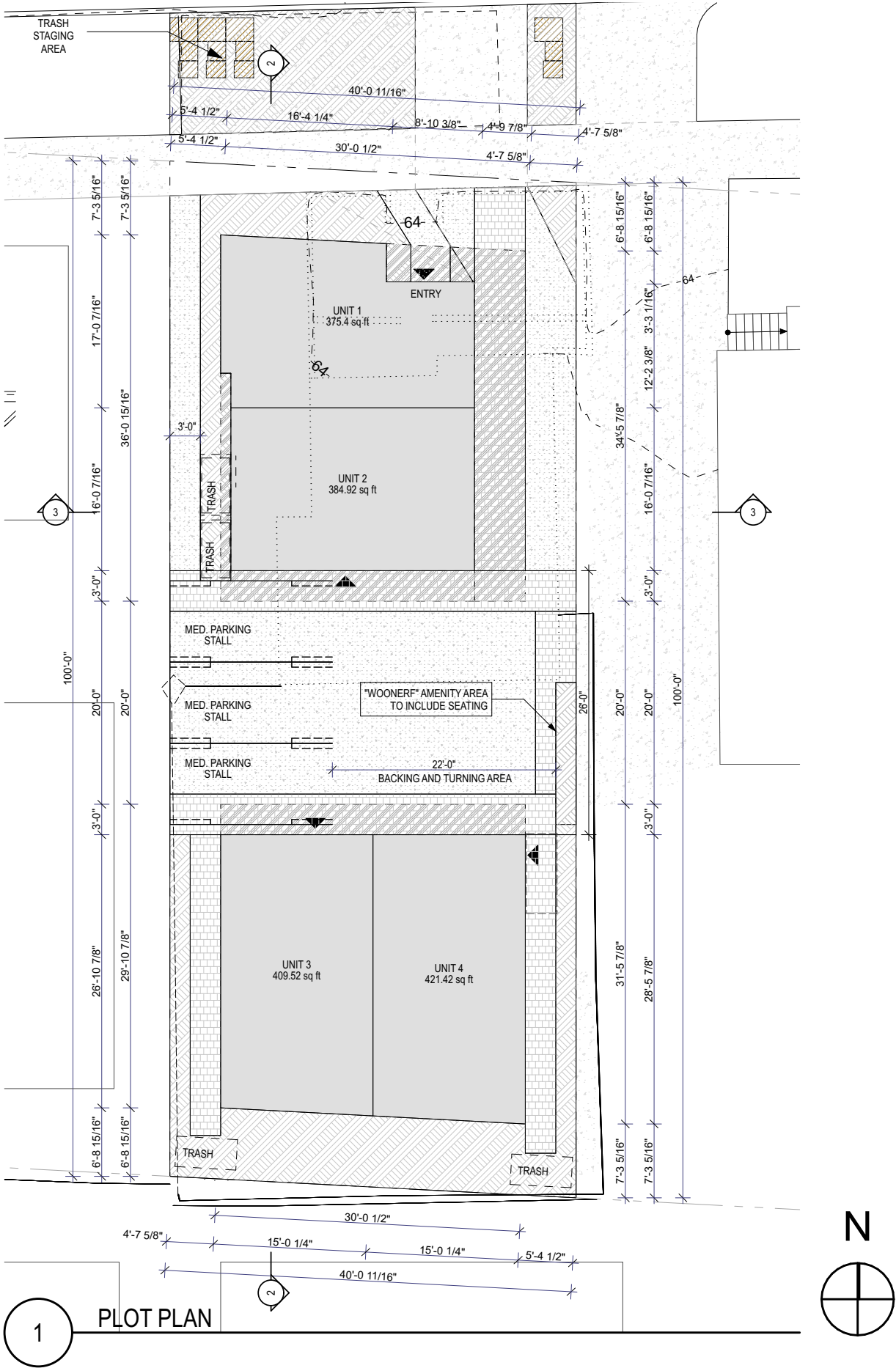


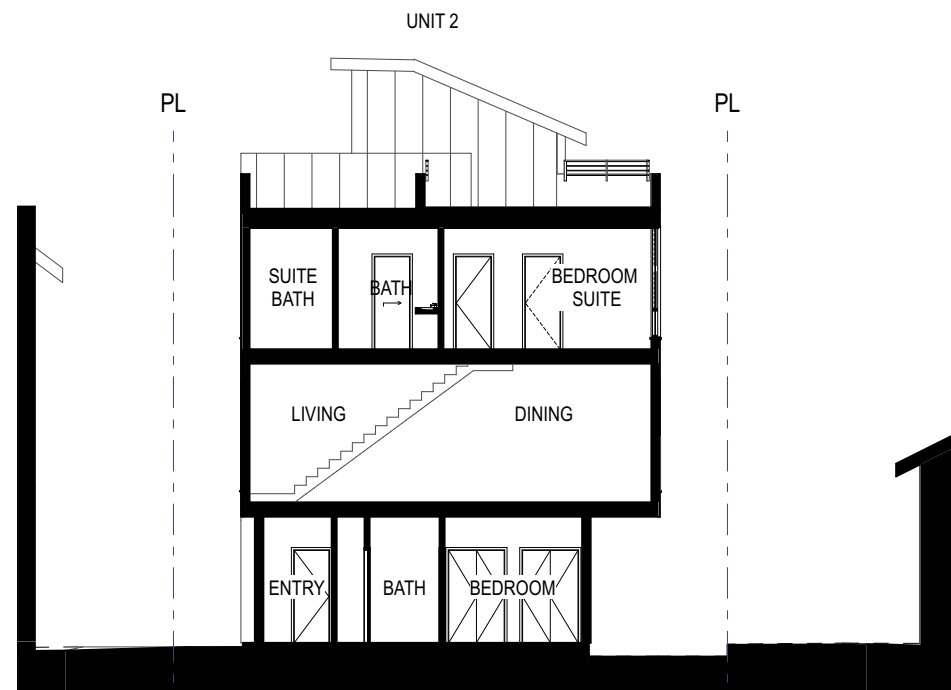
3. ROOF DECK DIAGRAM



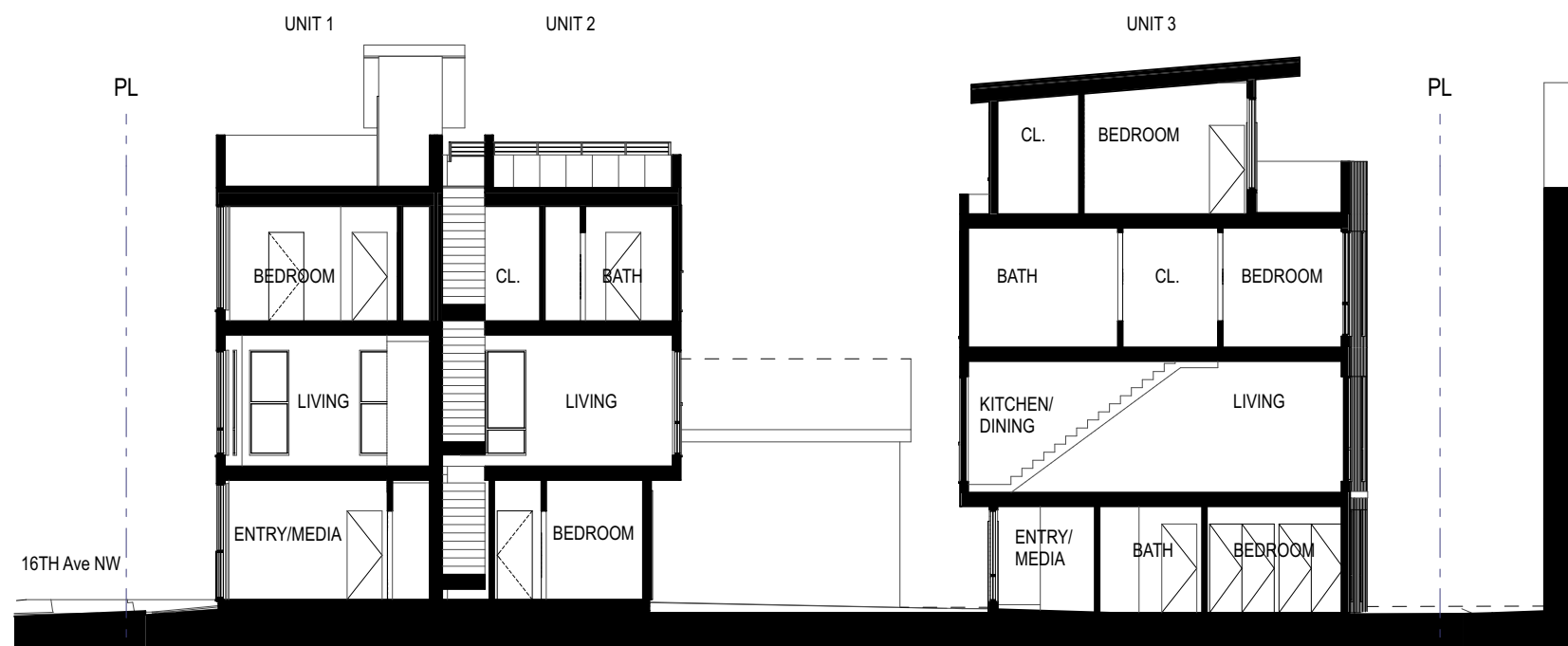
4. MATERIAL DIAGRAM

SITE PLANS AND SECTION





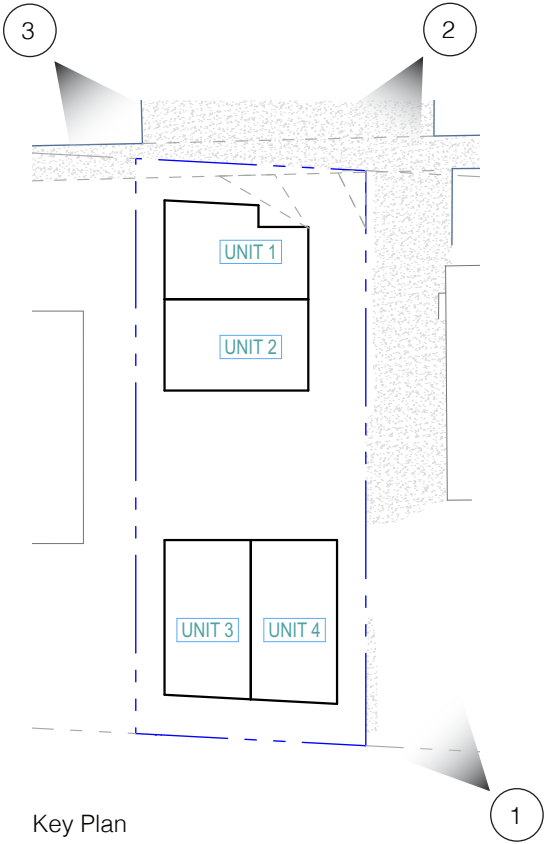
3 SITE TRANSVERSE SECTION



2 SITE LONGITUDINAL SECTION



RENDERINGS



1. Axonometric View looking Northwest





2. Axonometric View looking Southwest



3. Axonometric View looking Southeast



RENDERINGS



3. Street View looking Southwest





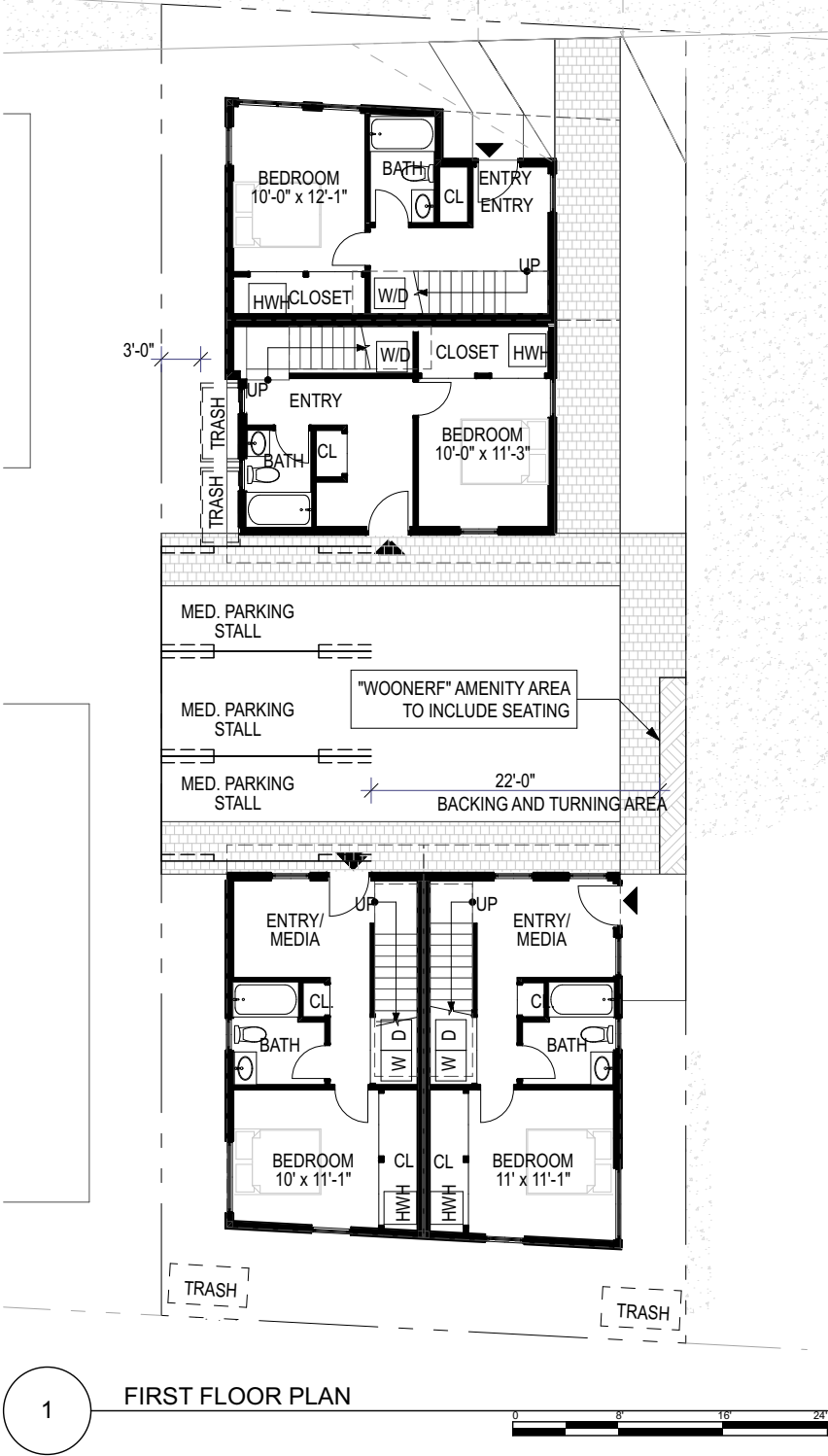
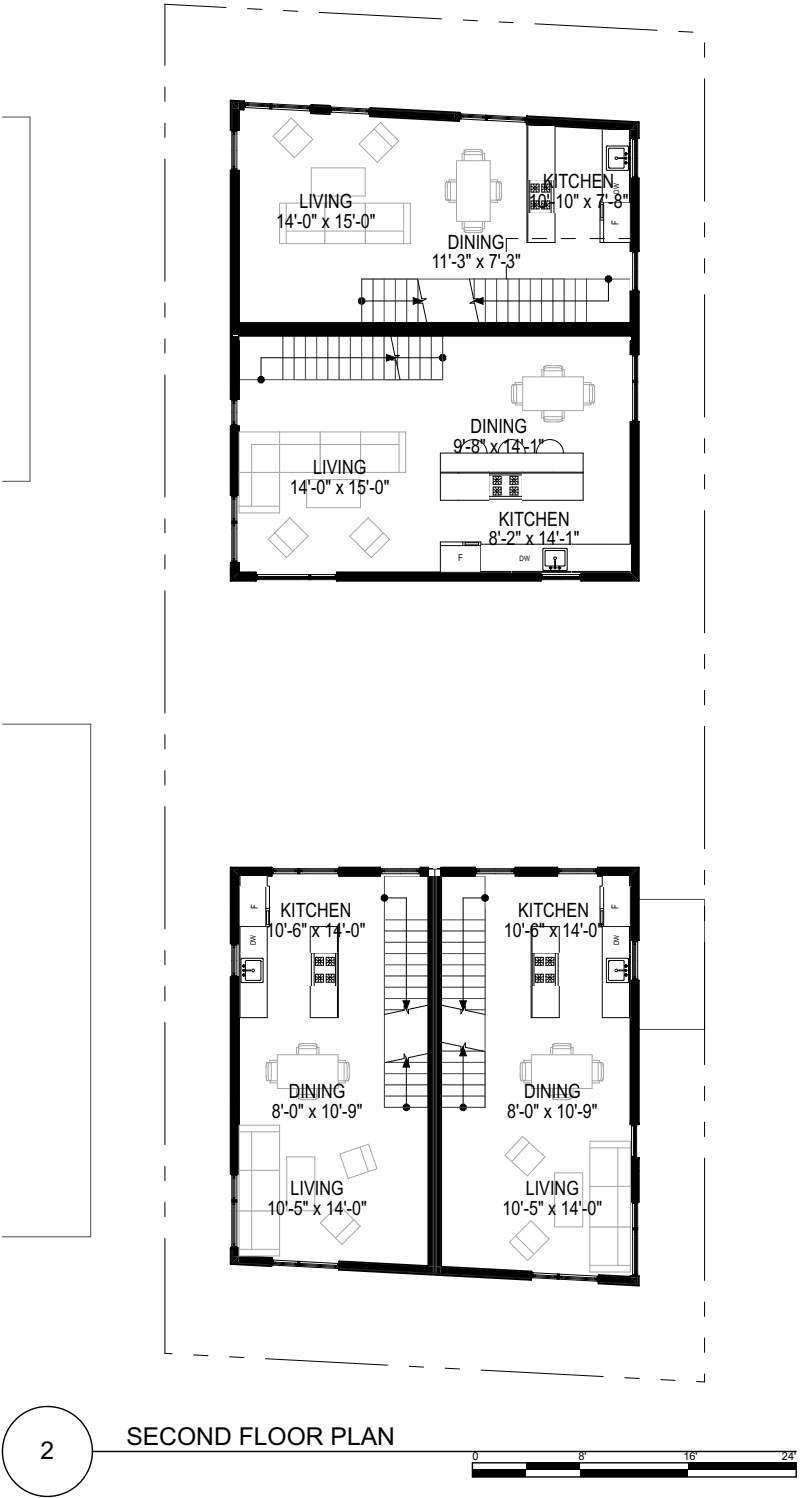
4. Street View looking Southeast

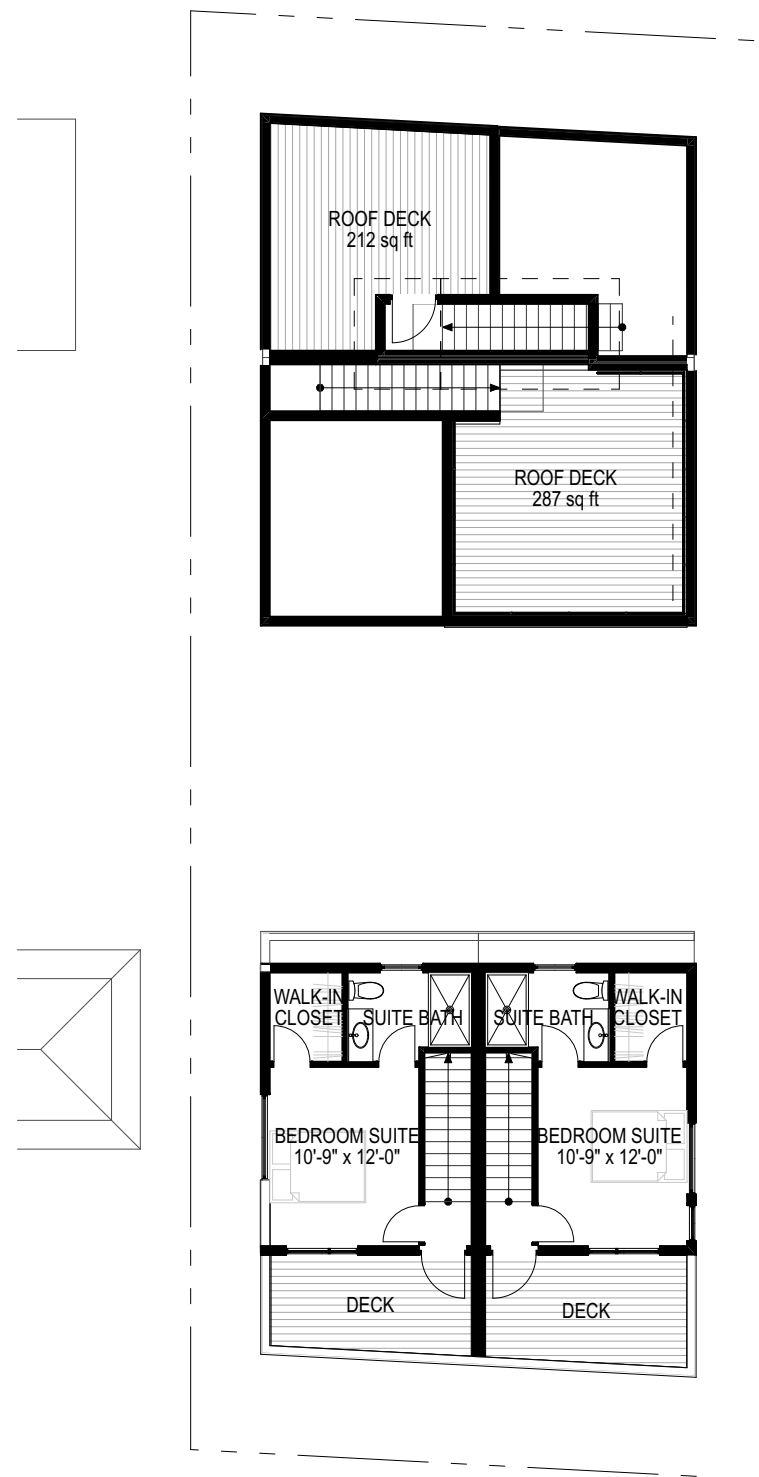


5. View looking Northwest



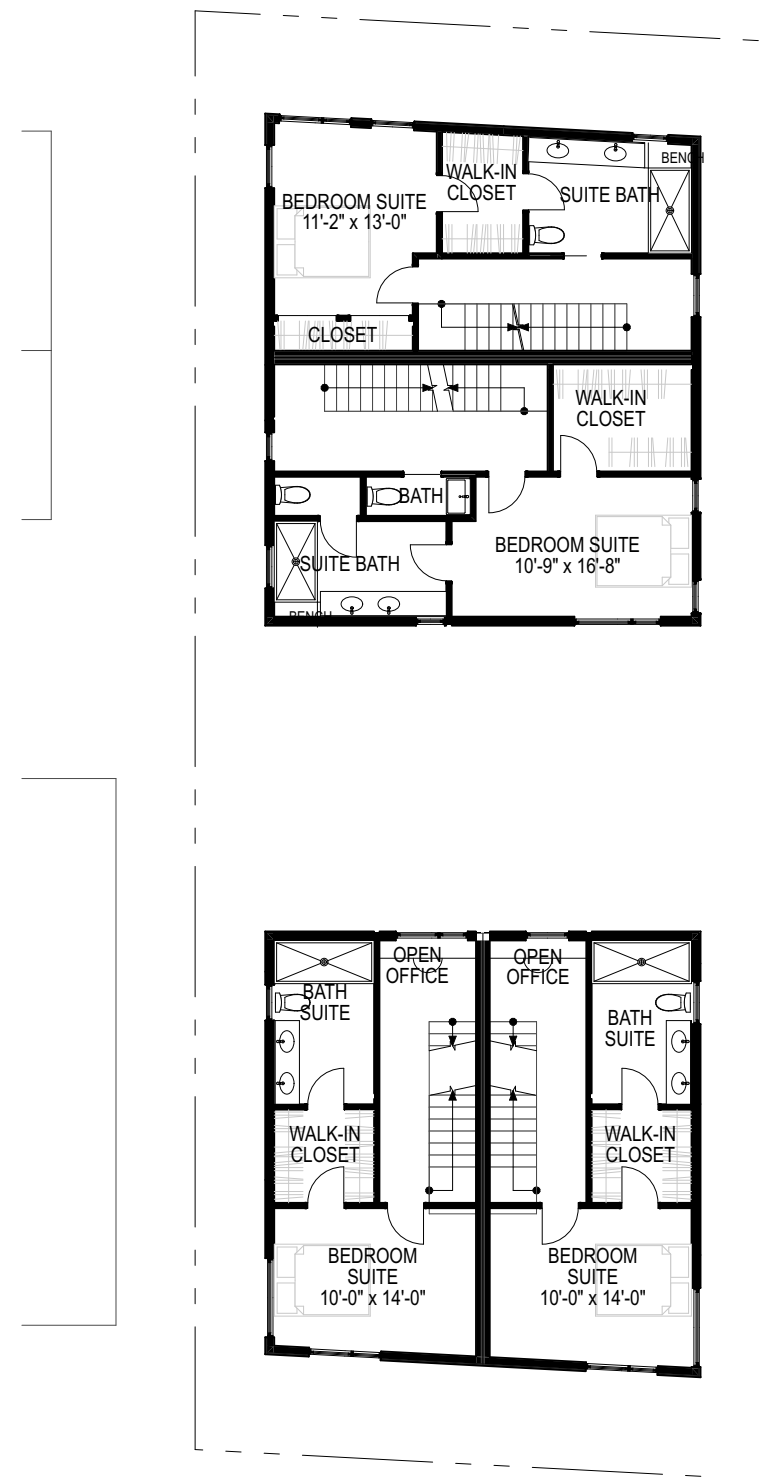
FLOOR PLANS





2 ROOF PLAN - FOURTH FLOOR

0 8' 16' 24'



1 THIRD FLOOR PLAN

0 8' 16' 24'



ELEVATIONS

MATERIAL LEGEND

1. DARK-STAINED WOOD

2. 2'X8' FIBER-CEMENT PANEL  
WHITE

3. NATURAL-STAINED WOOD

4. 2'X8' FIBER-CEMENT PANEL  
IRON ORE OR SIM.

5. FIBER-CEMENT PANEL  
DARK GRAY

6. BLACK TRIM  
MATTE BLACK

7. COLOR METAL FEATURES  
MATTE BLACK

8. WHITE WINDOWS  
ALL WINDOWS WHITE, EXCEPT  
NOTED OTHERWISE

9. BLACK WINDOWS

UNIT 1

7

1

6

3

5

7

2

6

9

1 NORTH RENDERED ELEVATION

UNIT 2

7

2

7

6

1

5

3

2 NORTH COURTYARD RENDERED ELEVATION

UNIT 4

6

9

7

4

8

7

5

3

3 EAST RENDERED ELEVATION

UNIT 2

UNIT 1

7

1

6

5

8

3

2

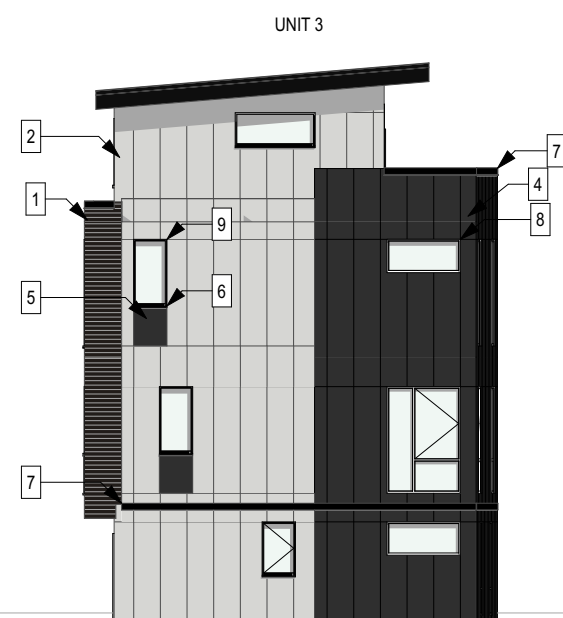
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b9 architects



4 WEST RENDERED ELEVATION



7 SOUTH COURTYARD RENDERED ELEVATION



6 SOUTH RENDERED ELEVATION



STREET FACADE ELEVATION

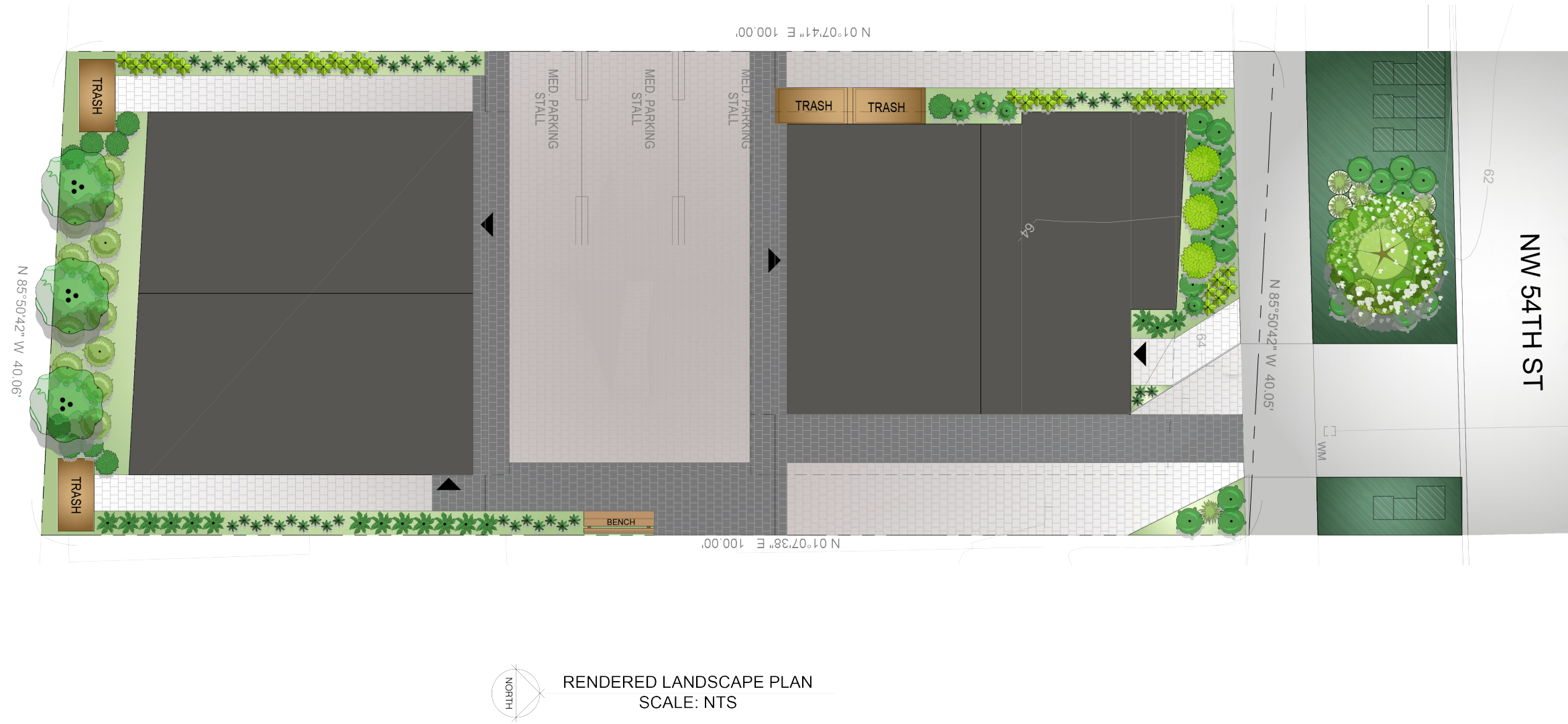


2 NORTH STREET FACADE RENDERED ELEVATION

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LANDSCAPE PLAN



PLANT SCHEDULE



New Zealand Brass Buttons



Heavenly Bamboo



Limelight Hydrangea



Ice Dance Hedge



Fountain Grass



Mount Vernon Laurel

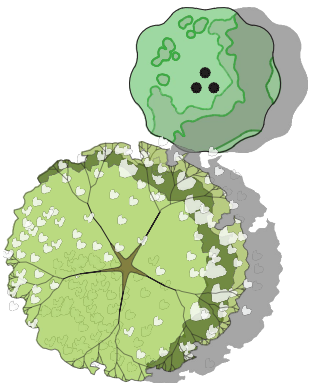


Big Blue Lilyturf



Holly Fern

TREES



BOTANICAL / COMMON NAME

Acer circinatum / Vine Maple

Quercus frainetto / Italian Oak  
Street Tree

SHRUBS



Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge



Cyrtomium fortunei / Japanese Holly Fern



Evonymus japonicus 'Greenspire' / Greenspire Upright Evonymus



Hydrangea paniculata 'Limelight' / Limelight Hydrangea



Leucothoe fontanesiana 'Rainbow' / Rainbow Leucothoe



Liriope muscari 'Big Blue' / Big Blue Lilyturf



Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo

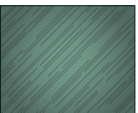


Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass



Prunus laurocerasus 'Mount Vernon' / Mount Vernon Laurel

GROUND COVERS



BOTANICAL / COMMON NAME

Leptinella squalida 'Platt's Black' / New Zealand Brass Buttons



DESIGN GUIDELINES

CONTEXT AND SITE

CS1 NATURAL SYSTEMS & SITE FEATURES

CS1.A & B: Energy Use and Sunlight and Natural Ventilation

The project will achieve 4-Star Built Green certification (refer to page 04). Also refer to PL1 Open Space Connectivity and DC4 Exterior Elements and Materials.

CS2 + CS3 URBAN PATTERN & FORM, ARCHITECTURAL CONTEXT & CHARACTER

CS2.C: Relationship to the Block  
CS2.D: Height, Bulk, and Scale  
CS3.A: Emphasizing Positive Neighborhood Attributes

Located mid-block on NW 54th Street, the project responds to both the existing single-family structures and to the new similarly scaled three to four-story developments occurring to the west and around the whole block. The block directly west of the site is made up of primarily three and four-story townhouse developments, many of which are recent and contemporary in design. The project is split into two smaller masses, each with two townhouse units, to create residentially scaled structures.

The project responds to the street-scape context by dividing the front mass into three hierarchical forms, each clad with different materials. This treatment splits a portion of the front structure into two offset horizontal volumes of contrasting materials with a recess highlighting the entry to the site as well as the front unit. The larger four-story structure is located at the rear of the site. Similar massing and material strategies, including a sloped roof with eaves and upper level setbacks at the fourth floor transition from the front three-story mass.

PUBLIC LIFE

PL1 OPEN SPACE CONNECTIVITY

PL1.A: Network of Open Spaces  
PL1.B: Walkways and Connections  
PL1.C: Outdoor Uses and Activities

The project is centered around a central paved area for shared pedestrian and vehicular circulation. Refer to DC1.C response for articulation of the paved surface. This area provides an outdoor space internal to the side between all four units for their shared use. Canopies located at each unit entry with bicycle parking structures are secondary architectural elements emphasizing the entrances. The hardscape paver area features plantings and a mix of pedestrians with seating to provide opportunities for different functions between the four townhouses.

PL2, PL3, + PL4: WALKABILITY, STREET LEVEL INTERACTION, ACTIVE TRANSIT

PL2.D: Wayfinding  
PL3.A: Entries  
PL3.C: Residential Edges  
PL4.A Entry Locations and Relationships

The primary pedestrian circulation occurs within the central shared space (refer to PL1 description above), connecting the street to the south entry of the front townhouse structure and to both entries of the rear structure. This shared pedestrian and vehicular access is clearly identifiable, the material of the pedestrian path contrasts the rest of the driveway and the walls defining it are clad with natural wood. A cantilevered volume, clad in dark-stained wood, provides weather protection and further definition to the pedestrian path below where it connects the sidewalk to the central shared space. The natural wood signifies all unit entries throughout the project.

DESIGN CONCEPT

DC1 PROJECT USES AND ACTIVITIES

DC1.C: Parking and Service Uses

Three surface parking stalls are provided between the two structures, out of view from the street and away from unit entries. Trash storage areas are located in the side and rear setbacks, away from unit entries and the street frontage. The parking and driveway prioritizes pedestrian circulation and safety. The pedestrian circulation is incorporated through a path identified with a change in paver tone, as seen in the renders and plans. This path directly connects to each unit entry and is also incorporated into the design of the shared woonerf space.

DC2 ARCHITECTURAL CONCEPT

DC2.A: Massing  
DC2.B: Architectural and Facade Composition  
DC2.C: Secondary Architectural Features  
DC2.D: Scale and Texture

The massing consists of two volumes separated by a shared space for access at the center of the site. They form a collection of vertical and horizontal elements, breaking up each facade to add to the character of the block. Window openings provide punches within the horizontal wood-clad areas and continue an alternating rhythm across the rest of the massing elements. Alignment of openings emphasizes verticality and creates a more rhythmic placement in horizontal masses. Contrasting materials distinguish the primary horizontal forms with dark-stained wood elevated above street level and more naturally-stained wood at street level highlighting all townhouse unit entries. As a secondary design strategy throughout the site, the site circulation is articulated as part of the woonerf with differentiated pavers connecting unit entries to the public realm and sidewalk. They are further emphasized with dark painted canopies where they are not recessed through massing moves.

DESIGN CONCEPT

DC3 OPEN SPACE CONCEPT

DC3.A: Building-Open Space Relationship

Refer to PL1 Open Space Connectivity

DC4 EXTERIOR ELEMENTS AND MATERIALS

DC4.A: Exterior Elements and Finishes  
DC4.D: Trees, Landscape and Hardscape Materials

The project design features simple massing and corresponding material expression. Two tones of wood cladding offset horizontal volumes that are visible from the street, with the lighter wood at street level articulating all unit entries. The volumes of dark wood cladding are elevated above street level and provide a strong contrast to the other siding materials. The wood is broken down further with “punches” of glass and infill panels. The remaining volumes, primarily vertical, are clad in painted fiber cement board panels, cut to be two feet in width. All cladding materials add texture and visual interest to the site.

The conceptual landscape plan provides vegetation primarily at the streetscape and all along the property boundaries of the site. Other areas are hardscape pavers of two different tones, to distinguish pedestrian and vehicular circulation. Within the hardscape areas, there are opportunities for limited plantings between pavers and at planting structures.





COMPLETED WORK b9 ARCHITECTS



1623 14th Ave by b9 architects



416 19th Ave E by b9 architects





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3515-3519 Wallingford Ave N by b9 architects

