



**DESIGN REVIEW
REC PROPOSAL
300 W Republican Street
Seattle, WA 98119**

NEW MULTIFAMILY BUILDING | KOZ DEVELOPMENT

**SDCI # 3036974-EG
West Design Review Board
Meeting Packet for 2/16/22**

Table of Contents

01	Cover	33	08 Landscape Concept	57	Appendix EDG Documents
02	Table of Contents	34	08 Open Space & Landscape	58	Urban Context
03	Project Team	35	08 Open Space & Landscape	59	3rd Ave Street Elevation
04	03 Proposal	36	09 Site Plan	60	Republican Street Elevation
05	04 Summary Context Analysis	37	09 Floor Plans Level 1-2	61	Alley Street Elevation
06	04 Summary Context Analysis	38	09 Floor Plans Level 3-8	62	Site Photos
07	04 Summary Context Analysis	39	09 Roof Plan	63	Context Neighborhood Buildings
08	05 Existing Site Conditions	40	10 Composite Landscape/Hardscape Plan	64	Context Neighborhood Buildings
09	05 Existing Site Conditions	41	11 Elevations	65	Site Survey
10	06 Zoning Data	42	11 Elevations	66	Design Review Criteria
11	07 Composite Site Plan	43	11 Elevations	67	Design Review Criteria
12	08 Massing & Form Concept 01	44	11 Elevations	68	Design Options Summary
13	08 Massing & Form Concept 02	45	12 Material and Color Palette	69	Design Options Site Plan
14	08 Massing & Form Concept 03	46	13 Renderings	70	Massing Option C
15	08 Massing & Form Concept 04	47	13 Renderings	71	Massing Option C Plans
16	08 Massing & Form Versions	48	13 Renderings	72	Massing Option C Views
17	08 Massing & Facade Treatment Materials	49	14 Exterior Lighting Plan	73	Massing Option C Building Base
18	08 Massing & Facade Treatment Parapet Details	50	14 Exterior Lighting Plan	74	Shadow Massing Studies
19	08 Massing & Facade Treatment Proportions	51	15 Signage Concept Plan	75	DRB Meeting 1 Proposal
20	08 Massing & Facade Treatment Details	52	16 Building Sections	76	DRB Meeting 1 Proposal
21	08 Massing & Facade Treatment Details	53	16 Building Sections	77	DRB Meeting 1 Proposal
22	08 Massing & Facade Treatment Vent Details	54	16 Building Sections	78	DRB Meeting 1 Proposal
23	08 Massing & Facade Treatment Window Details	55	Blank Page	79	DRB Meeting 1 Proposal
24	08 Massing & Facade Treatment Window Details	56	Blank Page	80	DRB Meeting 1 Proposal
25	08 Street-Level Uses & Entry Experience Republican St			81	DRB Meeting 1 Proposal
26	08 Street-Level Uses & Entry Experience Republican St			82	DRB Meeting 1 Proposal - Landscape Plan
27	08 - Street-Level Uses & Entry Experience Main Entry			83	DRB Meeting 1 Proposal - Landscape Legend
28	08 Street-Level Uses & Entry Experience 3rd Ave			84	Neighborhood Outreach
29	08 Street-Level Uses & Entry Experience 3rd Ave			85	Neighborhood Outreach
30	08 Street-Level Uses & Entry Experience 3rd Ave			86	Blank Page
31	08 Street-Level Uses & Entry Experience North				
32	08 Street-Level Uses & Entry Experience North				

Project Team

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Kōz Development provides affordable, innovative living, in urban neighborhoods and near universities. Our housing is accessible to students and individuals in the workforce, providing a high quality housing option near work, school, and local amenities. Our projects are intentionally located near transit, requiring little to no dependence on an automobile for transportation.



1554 Market Street
 Tacoma, WA **104 Units**



KOZ on SE Ankeny
 Portland, OR **87 Units**



KOZ on Broadway
 Everett, WA **124 Units**



Koz on Weaver
 Snohomish, WA **100 Units**



Derby Slabtown
 Portland, OR **103 Units**



KOZ on 4th
 Portland, OR **108 Units**



Koz on State Street
 Salem, OR **148 Units**

Previous Work



Derby SLU
 Seattle, WA **47 Units**



Koz on Killingsworth
 Portland, OR **88 Units**



KOZ on Yamhill
 Portland, OR **30 Units**



Koz on Sandy
 Portland, OR **112 Units**



EvCC Student Housing
 Everett, WA **120 Units**

Section 3

Proposal

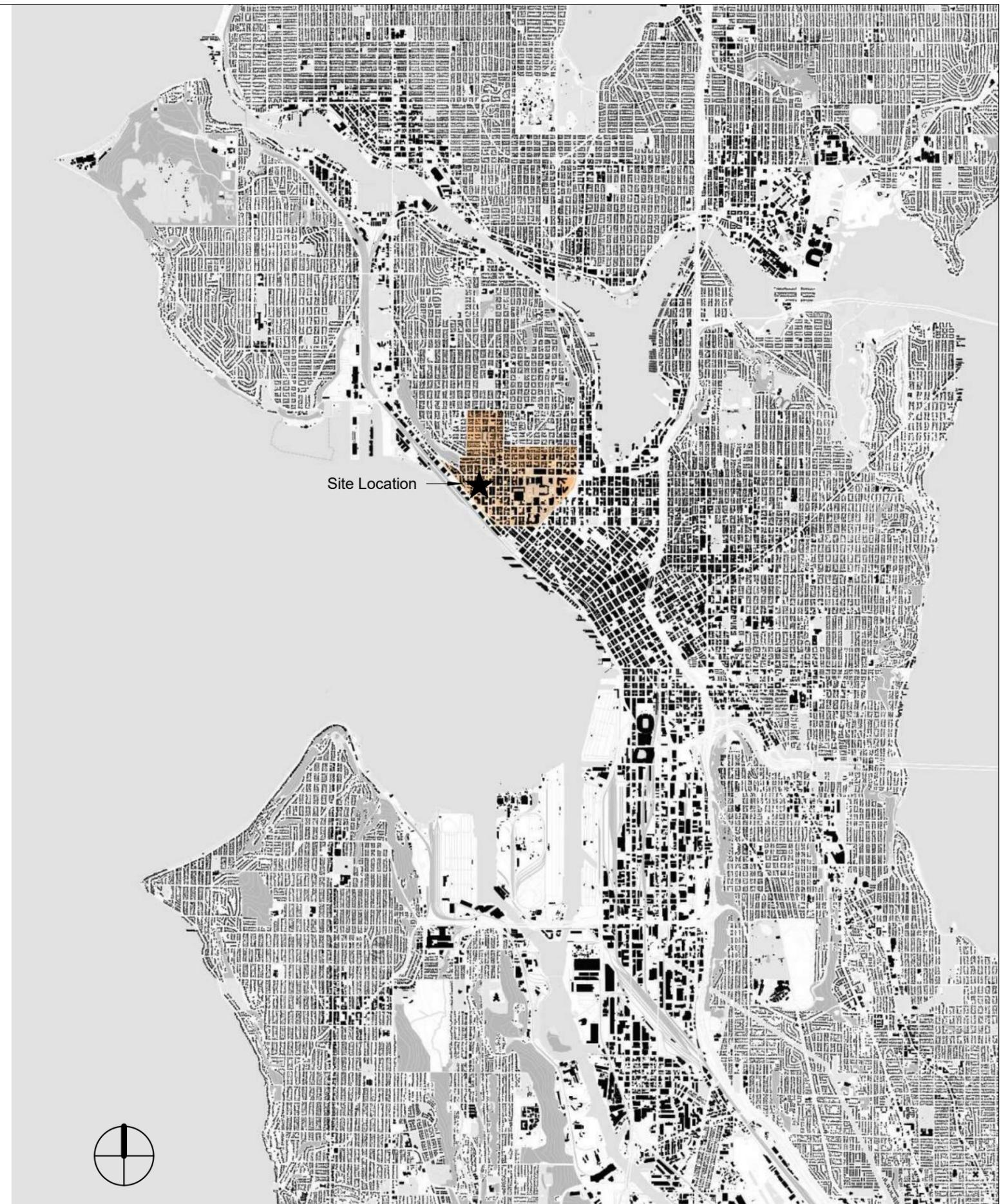
Development Goal

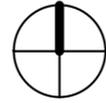
PROJECT:

The project proposed at 300 W Republican Street will consist of a 168-unit, 8-story residential apartment building with shared resident amenity spaces at grade level and level 8 roof deck. The majority of the upper level units will have views to Elliott Bay to the west and south and views to downtown and Seattle Center to the east. The majority of the units will be small single occupant studios ranging slightly in size from 258sf to 357sf with a few 2-story 1 and 2-bedroom units ranging approximately from 448sf to 634sf. No retail/commercial space is planned, and no on-site parking is provided. The project will seek to contribute and reinforce the character and identity of the historic uptown area.

PROJECT DATA

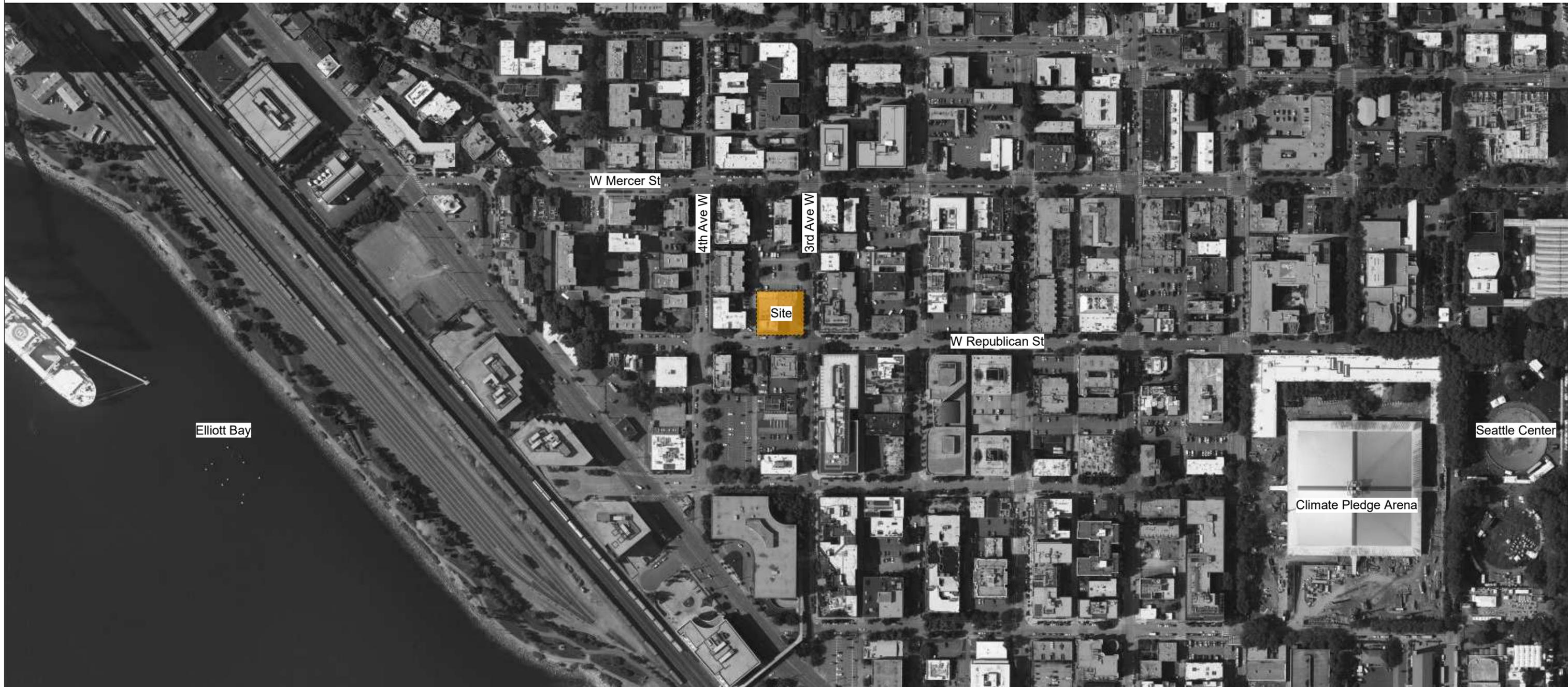
Parcel Number: 199020-0223 & 199020-0224
Lot Size: 14,408sf (0.33-acres)
Neighborhood: Uptown
Zoning: SM-UP 85 (M1)
Overlay: Uptown Urban Center; Uptown Park Character Area
Height Limit: 85'
Equity Area: No
Of Units: 169 Apartments





Uptown

"The design character of Uptown is dynamic and evolving. The range of housing types is broad; detached single-family residences, townhomes, and apartment buildings. The architectural style of the housing stock is varied. A rich collection of 20's, 30's and 40's era apartment buildings, including the art deco influenced multi-family housing along Roy Street, is mixed with a rapidly growing number of new, contemporary, mixed-use apartments and condominiums."



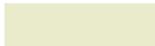
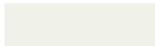
Existing Site Conditions

EXISTING SITE:

The existing site is fully developed, and the proposed project would take the place of an existing 2-story brick building, a single-story concrete/wood structure, and a small surface parking lot. The site is bounded by a parking lot to the north, 3rd Ave to the east, Republican Street to the south, and a paved Alley to the west. The project site will have views to Elliott Bay, downtown, and Seattle Center.

ADJACENT PROPERTIES:

The project site abuts only one other lot to the north which is currently a pay-per-use gravel parking lot. To the west across the alley is a 4-story apartment building with a courtyard facing the alley, to the north (across the adjacent parking lot) is a 9-story brick apartment building. East of the site across 3rd Ave is a 5-story apartment building, and directly across Republican Street is a single story office building.

	Mid/Low Rise Residential Apartments
	Single Family Residential 2-Stories or Less
	High-Rise Residential
	Commercial Use 2 stories or less
	Commercial Use Mid-Rise 4-5 Stories

SITE BUILDING CONTEXT

1.	530 4th Ave W	5-Stories
2.	510 4th Ave W	4-Stories Over Basement
3.	320 W Republican St	4-Stories
4.	323 W Republican St	5-Stories
5.	Center West Housing	9-Stories
6.	Surface Parking Lot	Undeveloped
7.	Private Single Family Houses	2-Stories
8.	Pacific Maritime Association	Single Story
9.	Betty May Apartments	3-Stories
10.	528 3rd Ave W	4-Stories
11.	520 3rd Ave W	3-Stories Over Basement
12.	Latitude Queen Anne Apartments	5-Stories
13.	Holland America Group	5-Stories

Site Overview

W MERCER ST

W REPUBLICAN ST



4TH AVE W

3RD AVE W

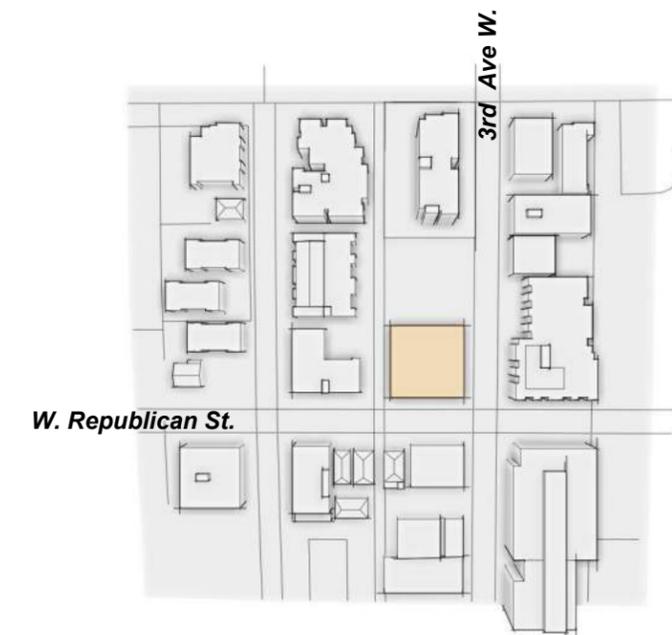
Northeast View



Site Context

BUILDING CONTEXT

As with much of the Seattle area uptown is a neighborhood in transition and currently consists of an eclectic mix of building types and uses, ranging from large, early-twentieth century warehouses and various apartment buildings to new modern commercial office buildings and recent mixed-use multifamily projects. There are also many sites of low density with surface parking lots, single family homes and single story office and commercial buildings. The area also consists of small commercial establishments, such as gas stations, bars, grocery stores, general retail, hotels, and small restaurants. There is a broad variety of building materials used in the area.



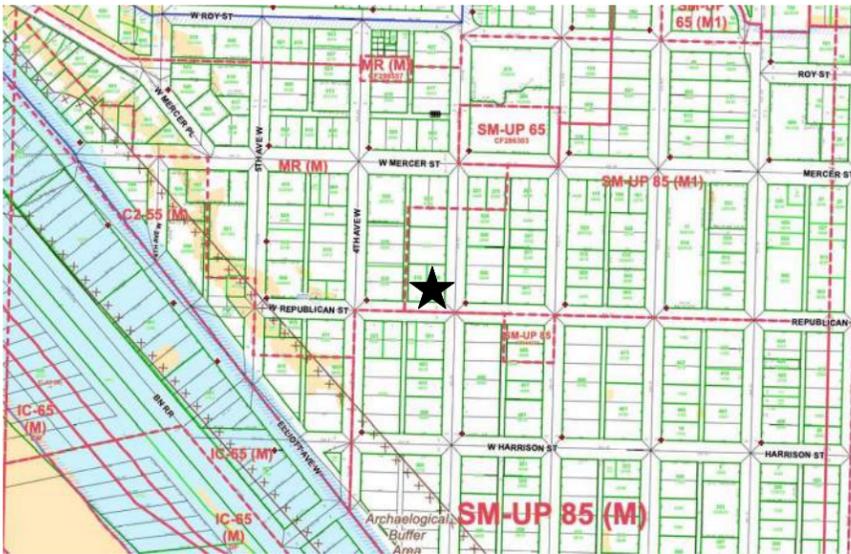
Section 5

Existing Site Conditions

Location and Vicinity

SITE OVERVIEW:

The site consists of two parcels totaling 14,408sf. The project site is located within the Uptown Urban Center at the base of Lower Queen Anne at the corner of 3rd Avenue West and West Republican Street. Key features within the surrounding area are; Seattle Center and Climate Pledge Area to the east, Myrtle Edwards Park and Elliott Bay to the west, Belltown and the Central business district to the south, and Queen Anne Hill to the north.



SITE ZONING:

The site is zoned SM-UP 85 (M1)

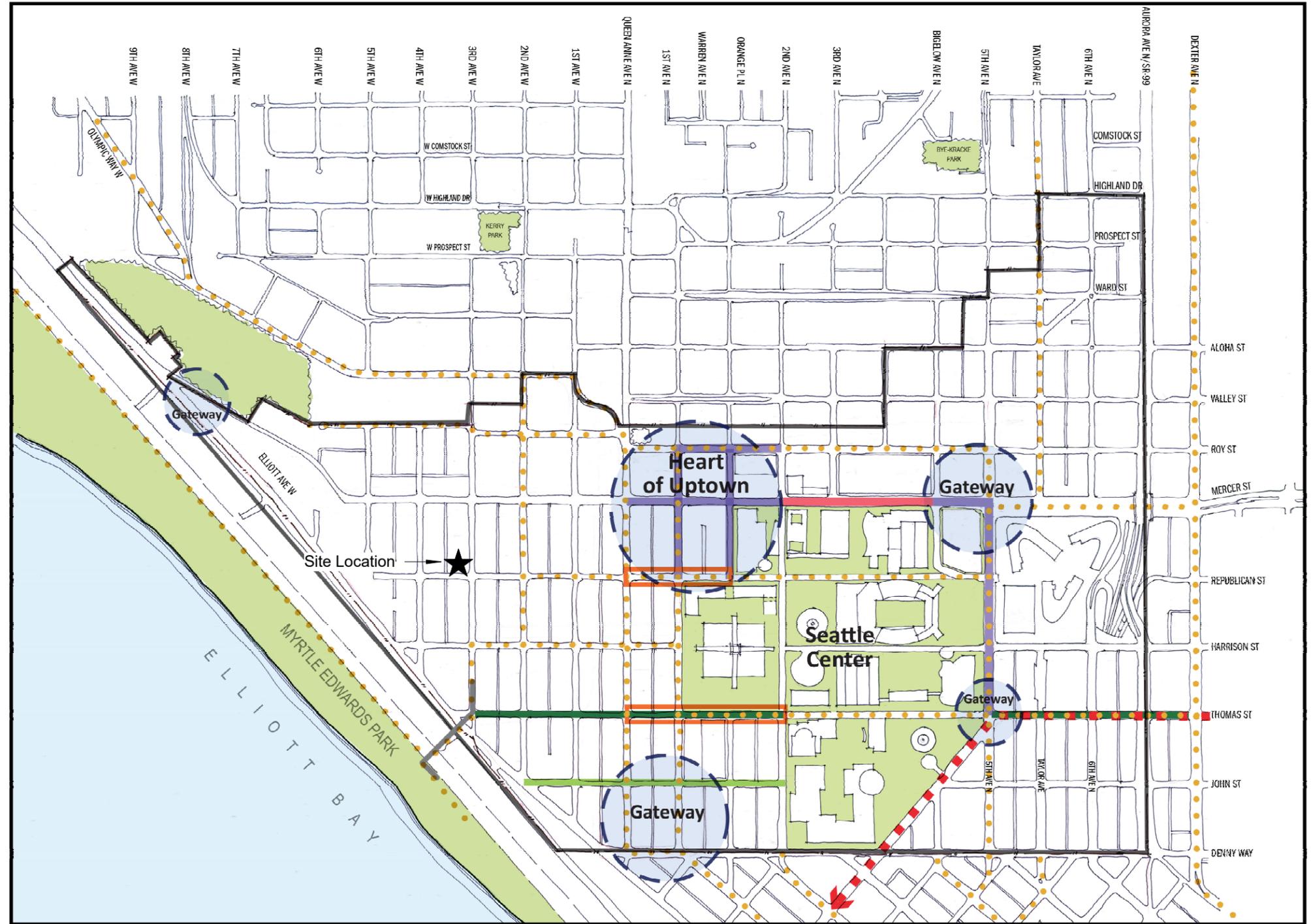
The alley adjacent to the west of the site is the boarder of the MR (M) zone

ZONING:

The area's recent upzone is anticipated to encourage density with new development to infill underutilized sites with existing commercial uses and surface parking lots. The 85ft height limit will allow an 8-story structure.

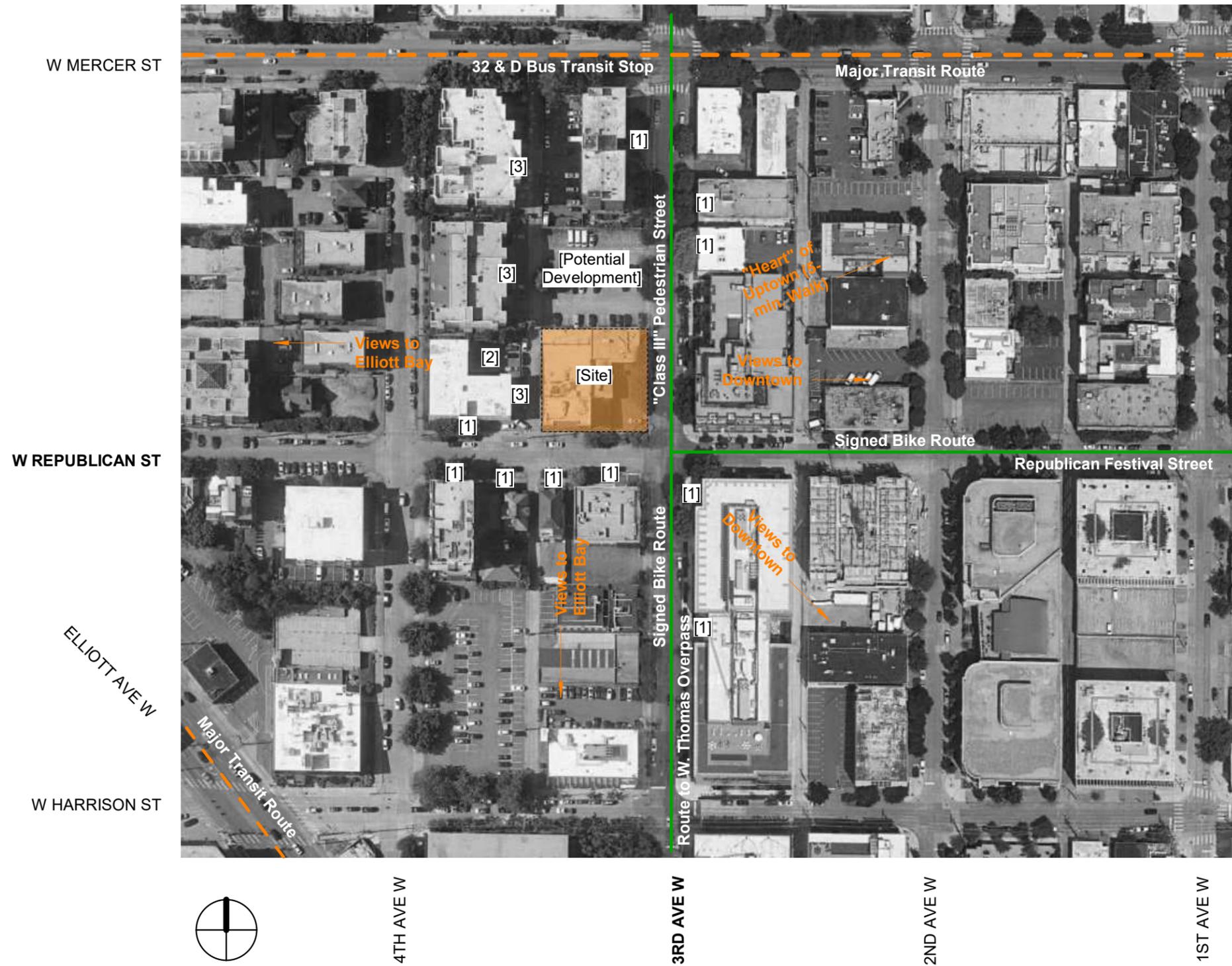
LAND USE:

The Neighborhood consists primarily of commercial office and multi-family residential land uses. To the east the area contains a large number of school and institutional uses that consist of the Seattle Center, various churches and other entities. The site has a direct connection to Myrtle Edwards Park via the W Thomas St Overpass to the south via 3rd Ave W. There are a significant number of new projects and projects under construction in the nearby area and further development of similar scale and size will likely follow. One candidate for future development is the adjacent parking lot directly to the north of the project site.



- Urban Center Boundary
Neighborhood Design Guidelines apply
- Center Connections Street
- Designated Green Street
- Potential Green Street
- Pedestrian/Bike Bridge
- Class I Pedestrian Street
- Class II Pedestrian Street
- Existing or Planned Bike Route
- Lake to Bay Trail

Site Overview



Existing Site/Area Conditions

THE UPTOWN URBAN CENTER:

"Seattle's Uptown neighborhood is one of the City's oldest neighborhoods. Initially settled by the Denny family in the late 1800's, the neighborhood has been shaped by several significant development periods, including the World's Fair of 1962 which established Seattle Center. Uptown today is a destination for visitors throughout the region. Uptown is home to Seattleites seeking to live close to downtown, a center for the performing arts, a place for families and the locaton of a growing workforce."

TRANSIT:

The neighborhood is served by automobile traffic as well as 5 different main tranist lines and other readily available public transportation systems. The site has a strong connection to pedestrain and bike paths, such as the W Thomas St overpass. The overpass connection along with public transit encourages a pedestrian oriented environment with easy access to Myrtle Edwards Park, Olympic Sculpture Park, Seattle Center, and other close by neighborhoods and parks. With the recent upzone, it is anticipated that the area will become even more pedestrian and bike-friendly as new developments occur.

PLAN NOTES:

1. Street Facing Entry
2. Private Courtyard
3. Alley Facing Residential Unit Windows

Section 6

Zoning Data

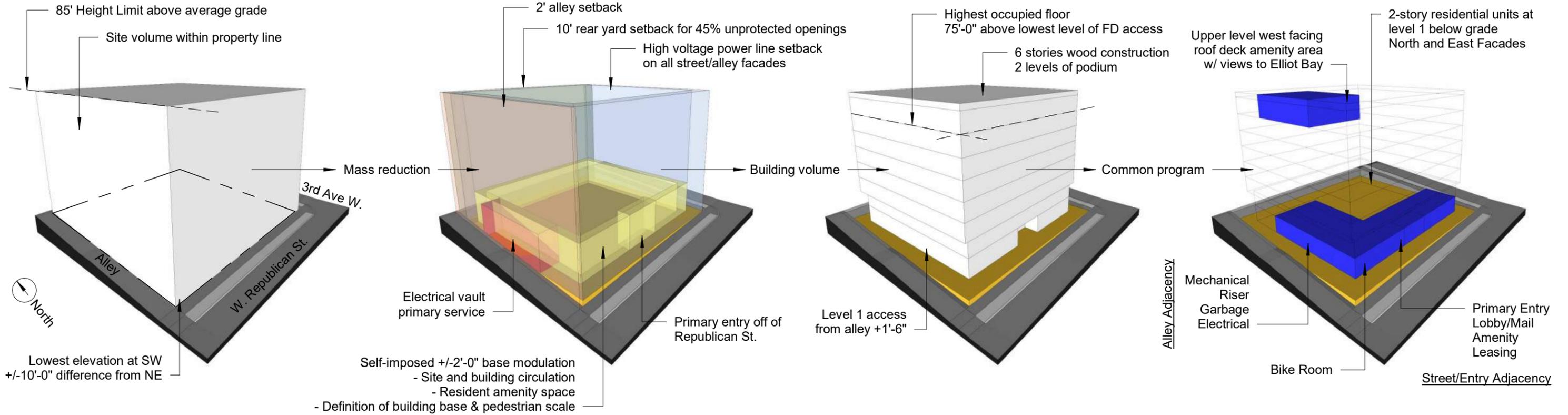
SEATTLE ZONING CODE SUMMARY

Parcel Number Lot Area Zoning Overlay Permitted Uses	99020-0224; 199020-0223 14,408sf (0.33 acres) SM-UP 85 (M1) Uptown Urban Center; Uptown Park Character Area All uses permitted outright	
Street Level Standards	<ul style="list-style-type: none"> A min. of 60 percent of the street-facing facade must be transparent if slope is less than 7.5 percent, minimum 45 percent transparent if slope exceeds 7.5 percent. Except for institutional uses, nothing shall completely block views into and out of the structure between 4 ft and 7 ft above adjacent grade. Blank facades are limited to segments 15 ft wide. The total width of all blank facade segments shall not exceed 40 percent of the width of the street-facing facade of the structure on each street frontage. Any blank segment of a street-facing facade shall be separated by transparent areas that are at least 2 ft wide 	<p>The design intent of the Republican St. facade shall have storefront glazing for the lobby and ground level functions that would meet or exceed the minimum requirements.</p> <p>The 3rd Ave facade will have residential units facing the street with a large amount of glazing which would meet or exceed the minimum glazing requirements.</p>
Structure Height	<ul style="list-style-type: none"> 85 ft as zoned. Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets and freewalls permitted up to 4 ft above height limit. Solar collectors may extend up to 7 ft above maximum height limit with unlimited rooftop coverage. Mechanical equipment, stair and elevator penthouses allowed to extend up to 15 ft above height limit. <ul style="list-style-type: none"> - Total coverage of stairs, elevators, and mechanical equipment not to exceed 25 percent of roof area. Rooftop features require 10 ft set back from edge, not including stairs, elevators, and mechanical equipment. Rooftop mechanical equipment and elevator penhouses shall be screened with fencing, enclosures, or other structures. 	The project will take advantage of the 85' height limit to get 8 levels.
FAR	<ul style="list-style-type: none"> Maximum FAR for structures that include residential use: 5.25 The following exemptions per 23.48.020 apply. <ul style="list-style-type: none"> - Exemption B.2 - Portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, excluding access. - Exemption B.3 - As an allowance for mechanical equipment, in any structure 65 feet in height or more, 3.5 percent of the total chargeable gross floor area in a structure is exempt from FAR calculations. - Exemption B.6 - The floor area of required bicycle parking for small efficiency dwelling units or congregate residence sleeping rooms, if the bicycle parking is located within the structure containing the small efficiency dwelling units or congregate residence sleeping rooms. Floor area of bicycle parking that is provided beyond the required bicycle parking is not exempt from FAR limits. 	Preliminary floor area calculations indicate the project as currently proposed will come in under the max 5.25 FAR ratio.
Amenity Area	<ul style="list-style-type: none"> Amenity areas are required in an amount equal to 5 percent of the total gross floor area in residential use. <ul style="list-style-type: none"> - Gross floor area excludes areas used for mechanical equipment and accessory parking. - Bioretention areas qualify as amenity areas. - All residents shall have access to the required amenity area. - A maximum of 50 percent of required amenity area may be enclosed. - Common amenity areas shall have a minimum horizontal dimension of 15 ft or 10 ft for landscaped open space located at street level and accessible from the street. - Minimum size for required amenity area is 225 sf. - Amenity provided as landscaped open space located at street level and accessible from the street shall be counted as twice the actual area towards the requirement. 	<p>Amenity space will be provided by a few options.</p> <ol style="list-style-type: none"> 1.) Upper level roof deck. 2.) Interior lobby sitting area. 3.) Exterior street level landscaped area and bioretention planter.
Landscaping	<ul style="list-style-type: none"> Landscaping must achieve a Green Factor score of 0.30 or greater. Existing street trees shall be retained unless the Director of Transportation approves their removal. 	Ample landscaping shall be provided to meet the minimum standard. The base of the project will use landscape planters to help contend with grading issues, provide screening between public and private space, and to soften the base of the structure at the pedestrian level.
Light and Glare	<ul style="list-style-type: none"> Exterior lighting must be shielded and directed away from adjacent uses. Interior lighting in parking garages must be shielded to minimize nighttime glare affecting nearby uses. 	Exterior lighting shall be thoughtful and appropriately designed.
Parking	<ul style="list-style-type: none"> No vehicle parking is required in Urban Centers. Bike Parking (For residential uses, after the first 50 spaces for bicycles are provided, additional spaces are required at three-quarters the ratio shown in Table D.) Short Term: 1 Space Per 20 Dwelling Units. 	<p>Long term bike parking: 50+(118 @.75 per unit = 89) = 139 Total</p> <p>Short term bike parking: 168/20 = 8</p>
Setbacks	<ul style="list-style-type: none"> A 2 ft setback is required along the west side of the site for an alley ROW. 	2' setback has been provided.

Section 8

Response to EDG/DRB 1 Comments

01 Massing & Form Concept at EDG



01 SITE VOLUME

02 SITE EXTERNAL SHAPING

03 BUILDING VOLUME

04 BUILDING PROGRAM

- The site is comprised of two parcels, totaling approximately 14,408sf, is roughly 120'x120'.
- Site boundaries are 3rd Ave West on the east side, West Republican St. on the south, an improved alley on the west, and a shared property line with a private parcel (gravel parking lot) to the north.
- The upper extent of the site volume is bound by an 85' height limit.
- The grade change across the site is roughly 10'-0" from the northeast corner to the lowest point at the southwest corner.

- The allowable building volume is formed by external and internal factors, some of these factors such as the alley dedication, and high voltage power lines are inflexible whereas others are self-imposed such as the entry location and base setback and are less rigid.
- Factors influencing building volume:
 1. High voltage power lines exist along the east, south, and west sides of the site and require a setback consisting of a 14' radius to the structure from the nearest permanent overhead line.
 2. A 2' setback is required along the alley.
 3. An on-site electrical vault is required for a service transformer.
 4. A self-imposed 10' setback at the north side of the site is used for constructability, allowable unprotected openings for residential units, and fire separation.
 5. The main building entry was selected to be from West Republican Street due to grades.
 6. Self-imposed setback at the building base is flexible but was factored into the volume to allow for site circulation around the building, constructability, resident amenity space, and a definition of the building base/mass and pedestrian scale.

- The building mass is further influenced by program and code factors. The construction of the building will be 2 levels of noncombustible podium construction with 6 levels of wood construction, totaling 8 levels.
- All occupied levels are set below a 75' threshold for the lowest level of fire department access.
- Level 1 was set at grade to match the southeast corner for ease of access into the building.
- Alley access will likely be +/-1'-6" above level 1.

- The project proposes a +/-162-unit residential apartment building with no retail or parking.
- The given building program is simple, comprising of the typical MEP functions, garbage, bike, amenity, and lobby spaces.
- The adjacency factors for these functions are flexible but also straightforward; "back-of-house" functions are situated along the alley and more public front-facing functions are located along the street adjacent to the proposed entry.
- A roof deck is proposed at the uppermost level and is planned to face west to capitalize on views towards Elliot bay and downtown, and also to maximize unit views along the street facades.
- Level 1 residential units are planned along the north and east facades; these units will be below adjacent grade and will be planned as 2-story 1- and 2-bedroom units. The ground level residential units are planned to have exterior entries with small private courtyards which are meant to activate and engage the street level in an effort to provide a vibrant interesting base.

02 Massing & Form Refinement

Building Concept and Parti Massing Diagram



ARCHITECTURAL CONCEPT

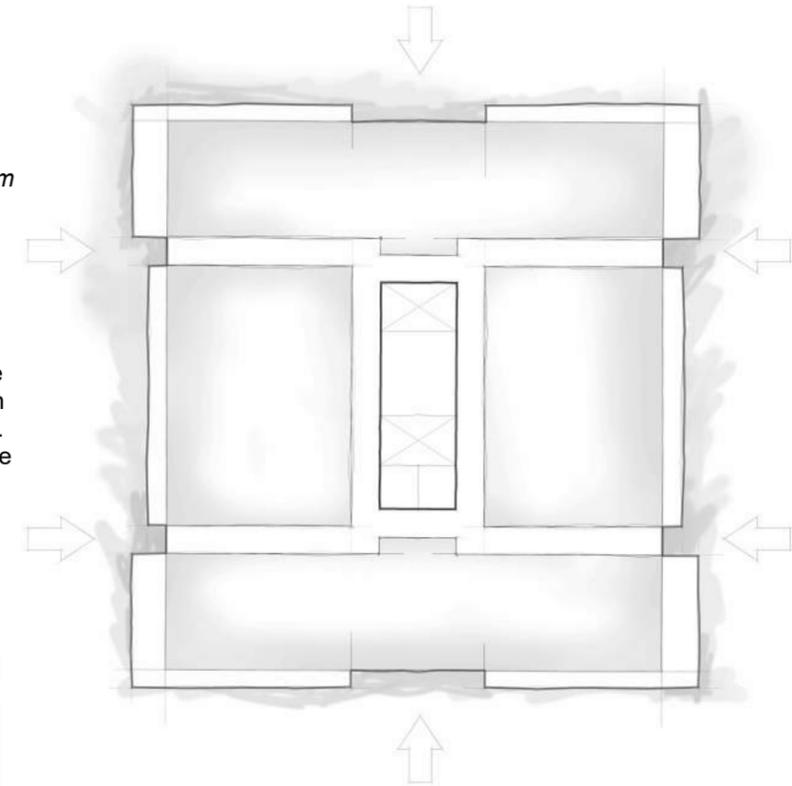
Erosion is the action of surface processes that remove or dissolve material.

Visible and invisible forces such as rain and wind, or gravity and time shape our environment. The built environment is also subject to visible and invisible forces that enact influence over mass and form such as physical boundaries or obstacles and prescribed spatial limitations or code requirements. Interior program, construction type, proximity relationships, site grading, and location can similarly act as shaping forces. Identifying and mapping invisible and visible forces and then using them as a driving concept to influence the shape and design is what has created the overall framework for the form.

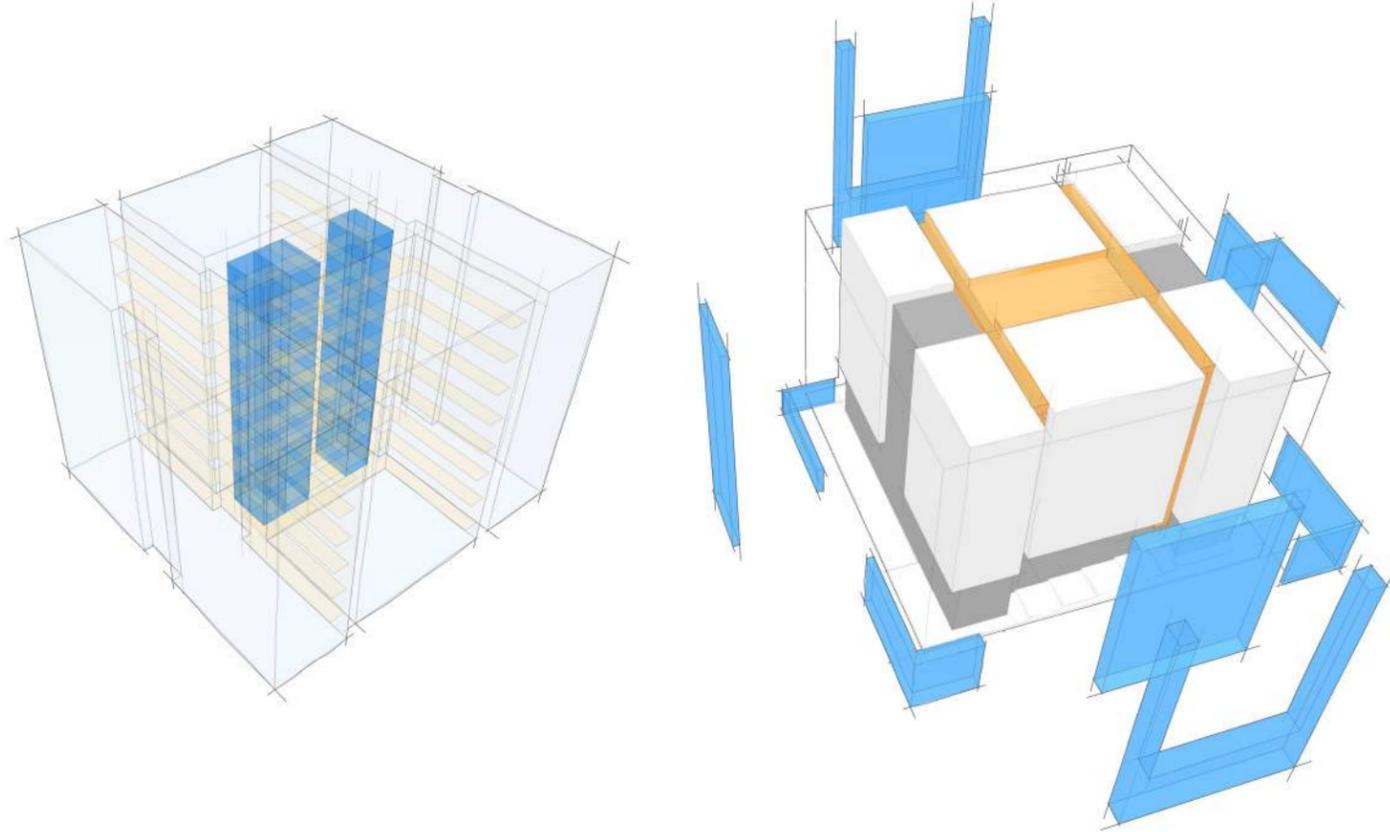
REMOVING MASS (EROSION)

The conceptual idea of erosion as a process to create form is used as a guiding rationalization for design choices.

Creating building form using the concept of erosion was accomplished by removing mass from the allowable buildable volume. Larger portions of the facade were removed similar to the process of erosion where lighter material is dissolved leaving dense material behind. The interior program is organized around a central core which maximizes living area along the perimeter of the building. After the larger portions of mass were removed the facade was further eroded and fine-tuned leaving a regimented frame and panel infill of windows reflecting the repetitive nature of the living units.



03 Massing & Form Refinement



Conceptual Volume of the Parti

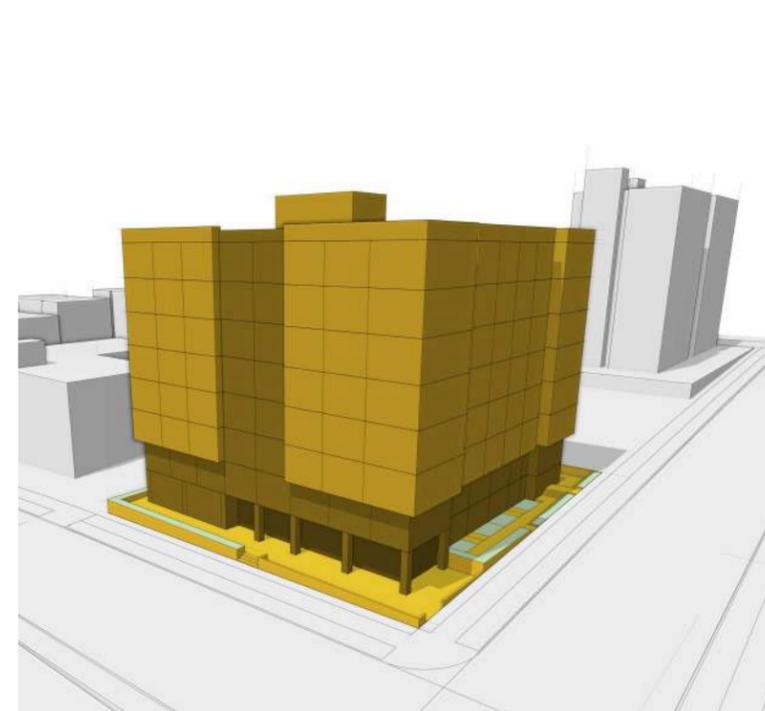
Translation of the parti diagram around the building core and interior circulation as it fits within the overall buildable site area.

Living areas located along the perimeter of the building to maximize access to natural light.

Erosion of the Buildable Volume

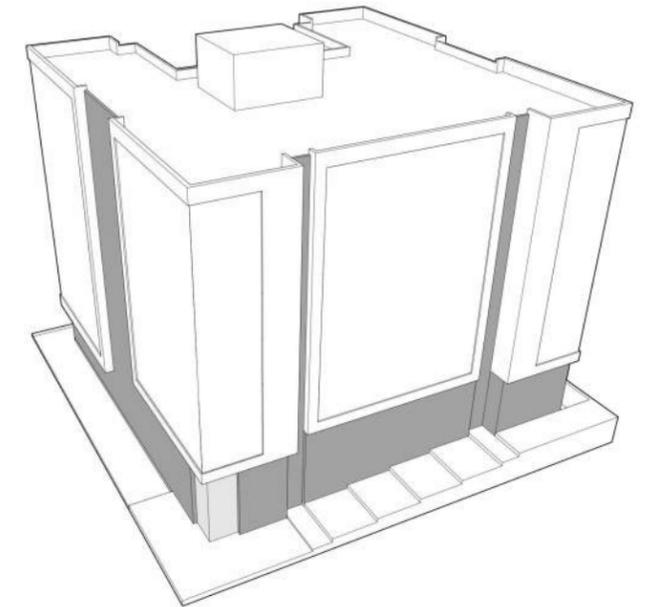
Erosion of the allowable massing fashioned by the arrangement of program and how these spaces relate to the construction type, program, site, and vertical circulation.

Portions of the facade were removed, pushed, or pulled where spatially the interior allowed.



Approved EDG massing option

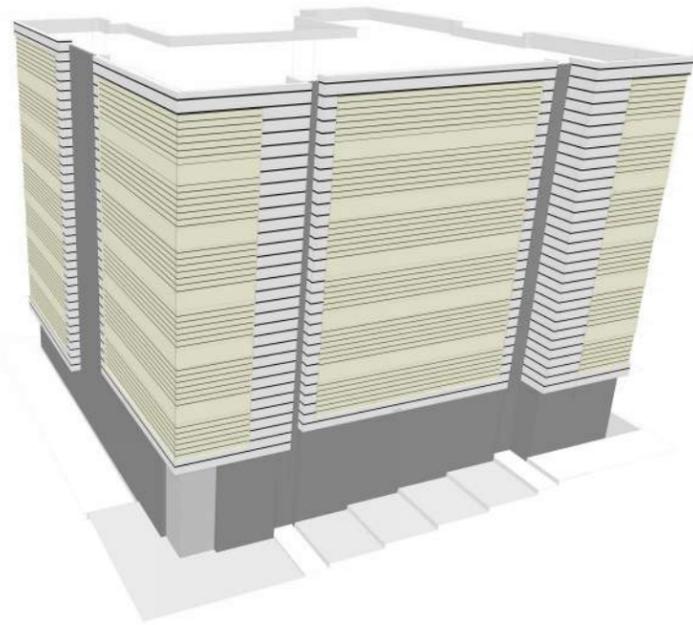
- Organized central core with vertical circulation.
- Views from all units are outward facing.
- Maximizes units facing south along Republican and east along 3rd Avenue.
- Minor modulation of the exterior facades is allowed by the internal program and layout.
- Desirable corner units (4) per floor.
- Large roof deck on west facade.



Refinement of the overall massing

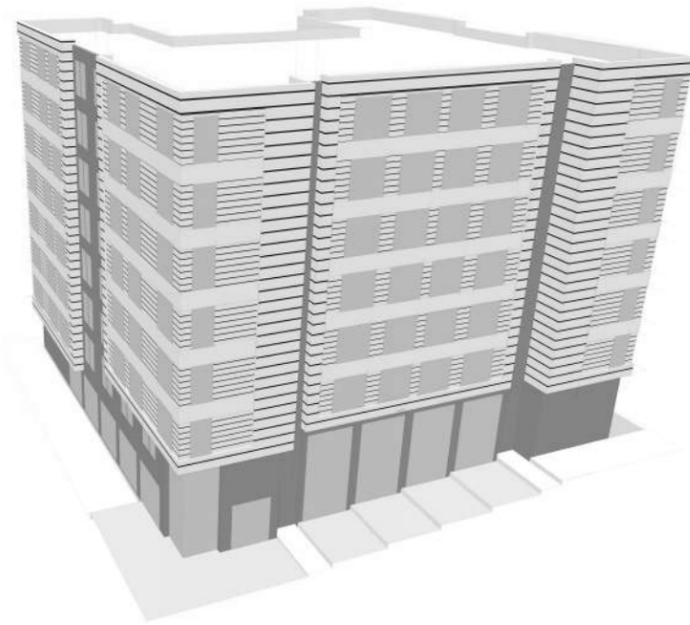
- Modulation of the exterior massing is fine-tuned.
- Refinement of the architectural concept to the exterior look and feel.
- The interaction of the building to the various site conditions is modified and adjusted.

04 Massing & Form Refinement



A dark color was selected for the deeper eroded areas while the upper less eroded areas of the facade use 3 different materials for variation of texture and use a lighter color for contrast from the base material.

The cladding materials and patterning are intended to provide a horizontal stratified layering of texture, rhythm, and relief. The detailing and transitions between materials will strengthen the concept of erosion and emphasize the stratified effect.



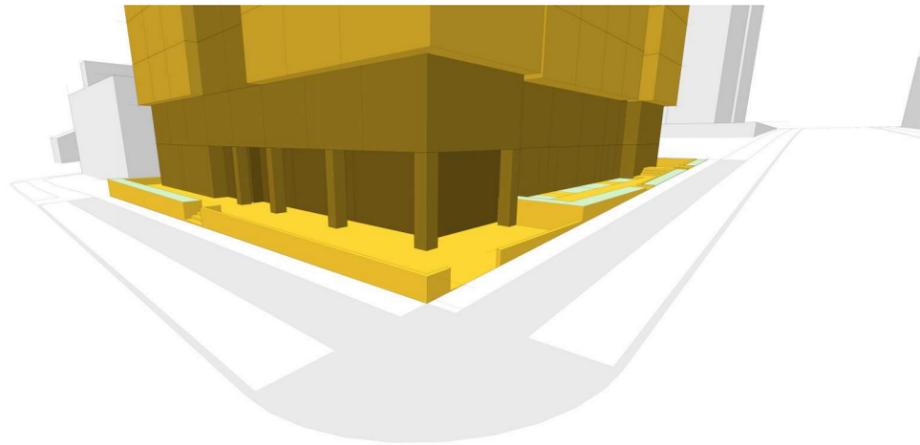
The same high-quality materials and detailing are applied to all elevations of the building. Although each elevation has its own unique features and differences that are responding to site conditions or program, the facade language, fenestration, and cladding patterns are copied and translated around to all sides. On all four corners the materials wrap around to maintain elevation lines onto the adjacent facade for a homogenous look. Window rhythm stacks vertically.



A 2-story glass storefront entry vestibule anchors the corner and announces the main building entrance location. The entry court paving extends out to the sidewalk to provide interest and call attention to the access points.

The main level of the building is set to correspond to the grade at the main entry near the corner of 3rd and Republican. The building entries at the ground floor units along 3rd avenue step with the topography to correspond with the street grades. The overall massing of the building uses a building base for human scale at levels 1 and 2 but steps the southeast corner down to better respond to site topography.

Massing & Facade Proportions



Approved EDG massing option

The massing concept at EDG created an amenity area at the exterior base with a porch, recessed façade, and raised concrete planters. The porch was freely accessed at grade from the sidewalk at the corner of 3rd and Republican. The massing was eroded at levels 1 and 2 with an assumed darker colored material and the upper levels above the podium were modulated at a single datum line around the entire structure. The treatment of the ground level units along 3rd Avenue was proposed to be a single point entry but was suggested to step with the grades.

DRB Design Proposal I

At the first recommendation meeting the design expanded the idea of the porch into a large public facing deck, removed the concrete planters, used a cable railing around the porch, and centralized the main entry along Republican with a stair and ramp. The ground floor units along 3rd avenue stepped with the grades and used a cable railing fence to enclose the private patios. The overall massing concept was similar to the EDG concept but sought to lower the perceived massing along Republican to better correspond with the grades by changing the materials at level 2, adjusting the proportions of levels 1 and 2, and adjusting the depth of the eroded patio and entry. The color scheme in this version switched the dark and light portions of the façade from the EDG concept.

DRB Design Proposal II

The current design relocates the main entry to the corner and downsizes the patio area to an entry plaza. The plaza and main entry are set to be nearly at grade with the corner sidewalk which eliminates the need for a ramp. All cable railings have been removed from the project and the 3rd Avenue ground level units step along with the grades. Each ground level unit will have a single step up to a private patio. The overall massing of the current design is similar to the previous versions with the exception of the base condition which raises the perceived massing at the corner to allow for a 2-story glass entry that anchors the corner and announces the point of main entry. The color scheme in the current design returned to the original concept of the darker material as the base/background/core and a lighter colored material above.

Massing & Facade Treatment

c.) The Board directed further development of a high-quality material palette and fenestration pattern that creates depth and texture, and wraps all facades for a consistent overall architectural expression. In response to public comment, the Board supported the proposed use of brick and metal panel, and specifically prioritized Uptown Design Guideline DC4-1, Building Materials. (DC2-B-1, DC4-A, DC4-1).

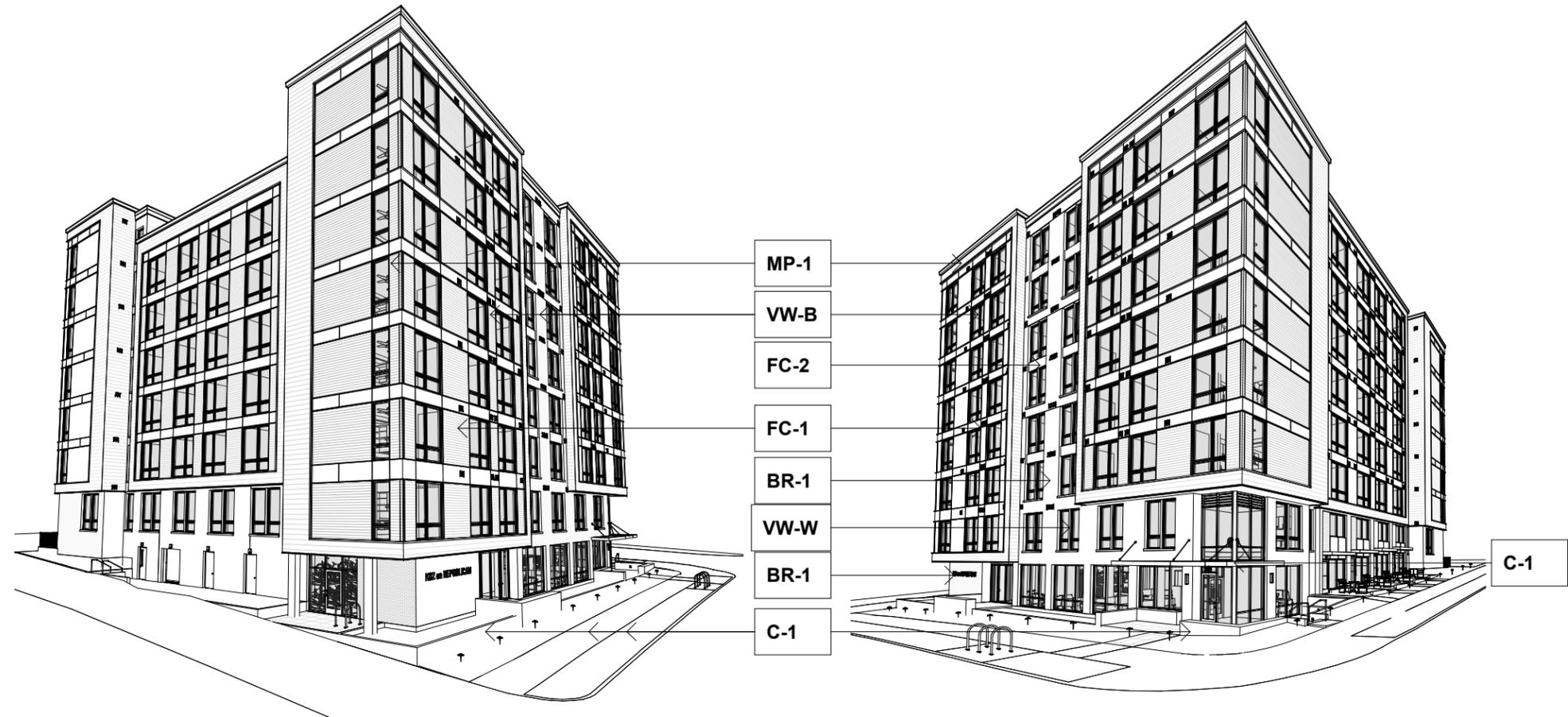
Response

The materials chosen for the cladding have been selected for reasons of durability, quality, texture, depth, and low maintenance.

A dark brick was selected for the deeper eroded portions of the façade to further support the parti diagram and erosion concept of a heavier mass core. The other primary cladding materials are a light-colored metal and cement board Nichiha panel. The 3" deep ribbed metal panels are used for depth and texture around the secondary eroded portions of the upper facade. Flat panels are used between the windows to create a rhythm of stratified layers within the secondary eroded upper portions. Finer horizontal layering is created between the flat panel layers using a ribbed pattern Nichiha panel.

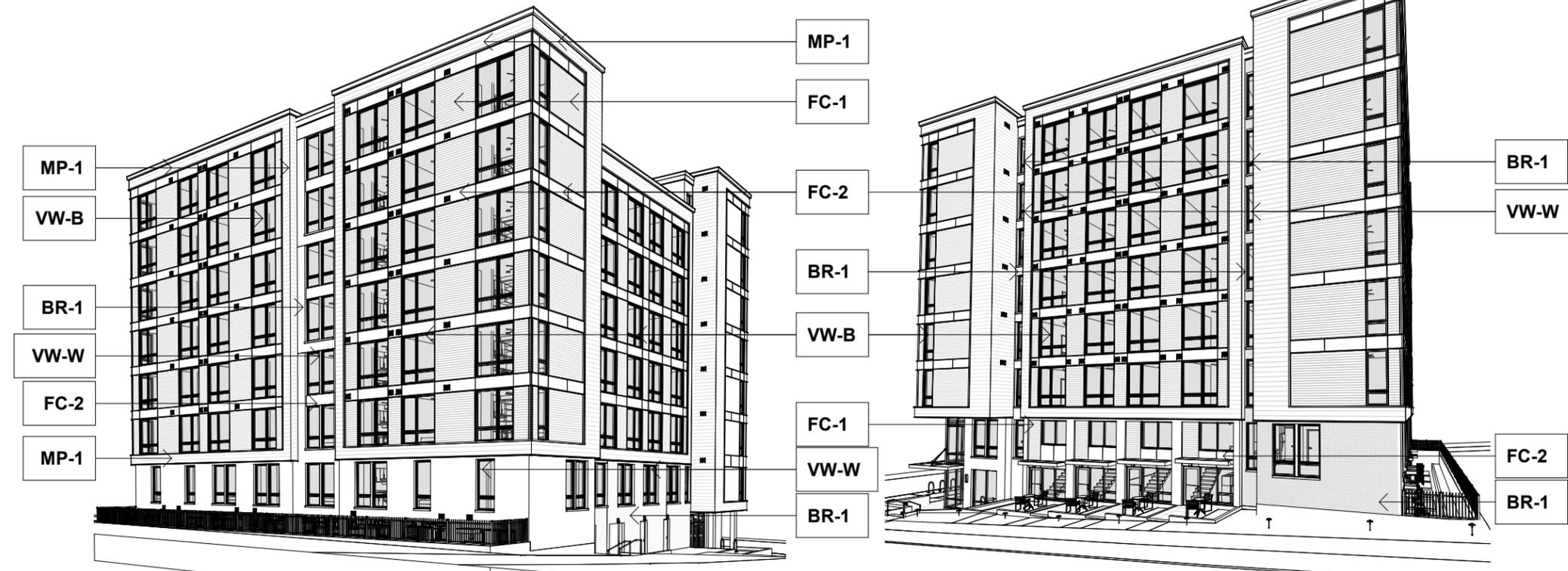
Fenestration for the units has been maximized and are operable black and white vinyl windows. The window composition and mullion design have a slightly different language between windows placed within the brick facade massing and windows placed in the metal facade massing. The window composition is further defined within their massing areas by the treatment of the accent fiber cement panels which differ slightly between the two primary chosen cladding options.

This refrained color scheme is meant to let the textures and detailing become the interest and to avoid a busy facade.



01 Southwest Perspective

02 Southeast Perspective



03 Northwest Perspective

04 Northeast Perspective

- FC-1** Fiber Cement Panels
Horizontal Lines
- FC-2** Fiber Cement Panels
Flat Smooth Panel
- MP-1** Metal Panel
3" Horizontal Rib
- BR-1** Brick
Common Running Bond
- C-1** Concrete
Boardform Decorative
- VW-W** Vinyl Window
Frame Color: WHITE
- VW-B** Vinyl Window
Frame Color: BLACK

Note: Elevations show material and texture composition only. For consistency, material colors have been purposefully omitted on this page and are addressed later in this packet.

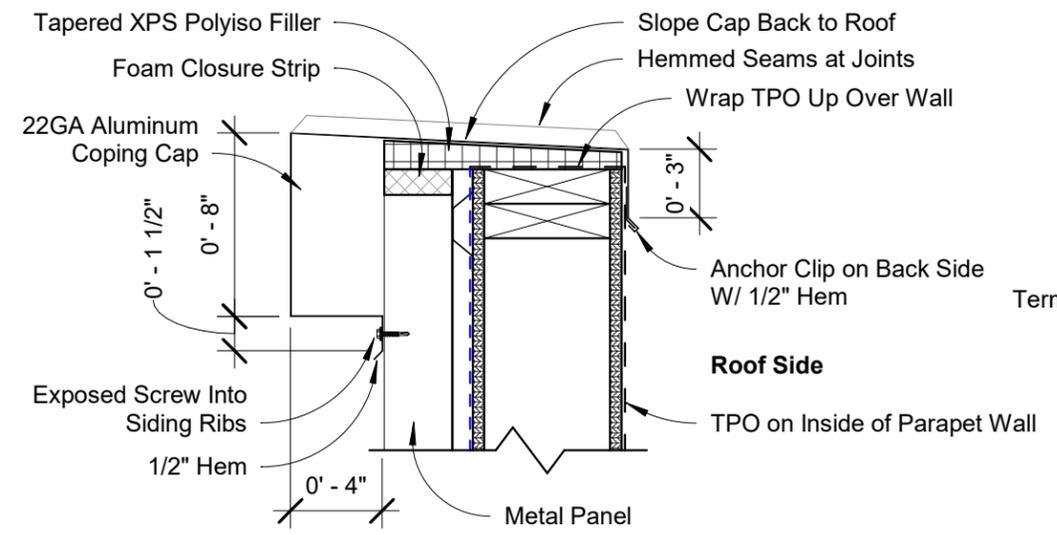
Massing & Facade Treatment

d.) The Board noted that the strength of the architectural expression will depend on high-quality detailing, and requested that material details be provided in the Recommendation packet. (DC2-B-1, DC4-A, DC4-1)

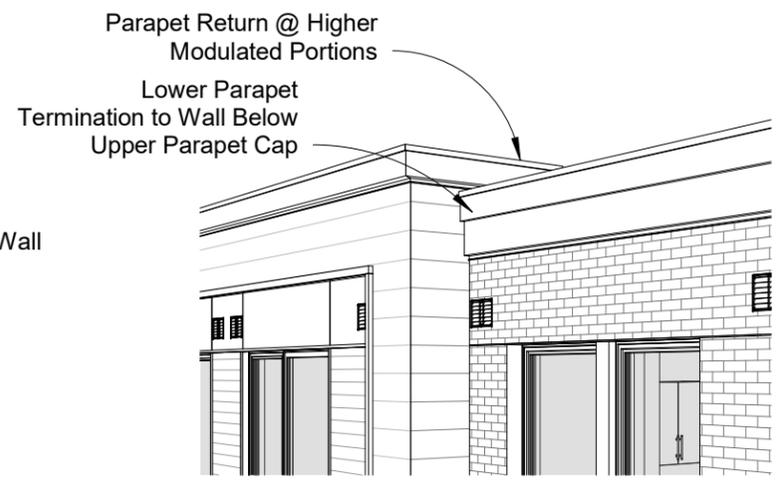
Response

Material transition details, parapet profile, brick detailing, and various other details pertaining to the overall appearance and success of the facade treatment are provided on the following sheets.

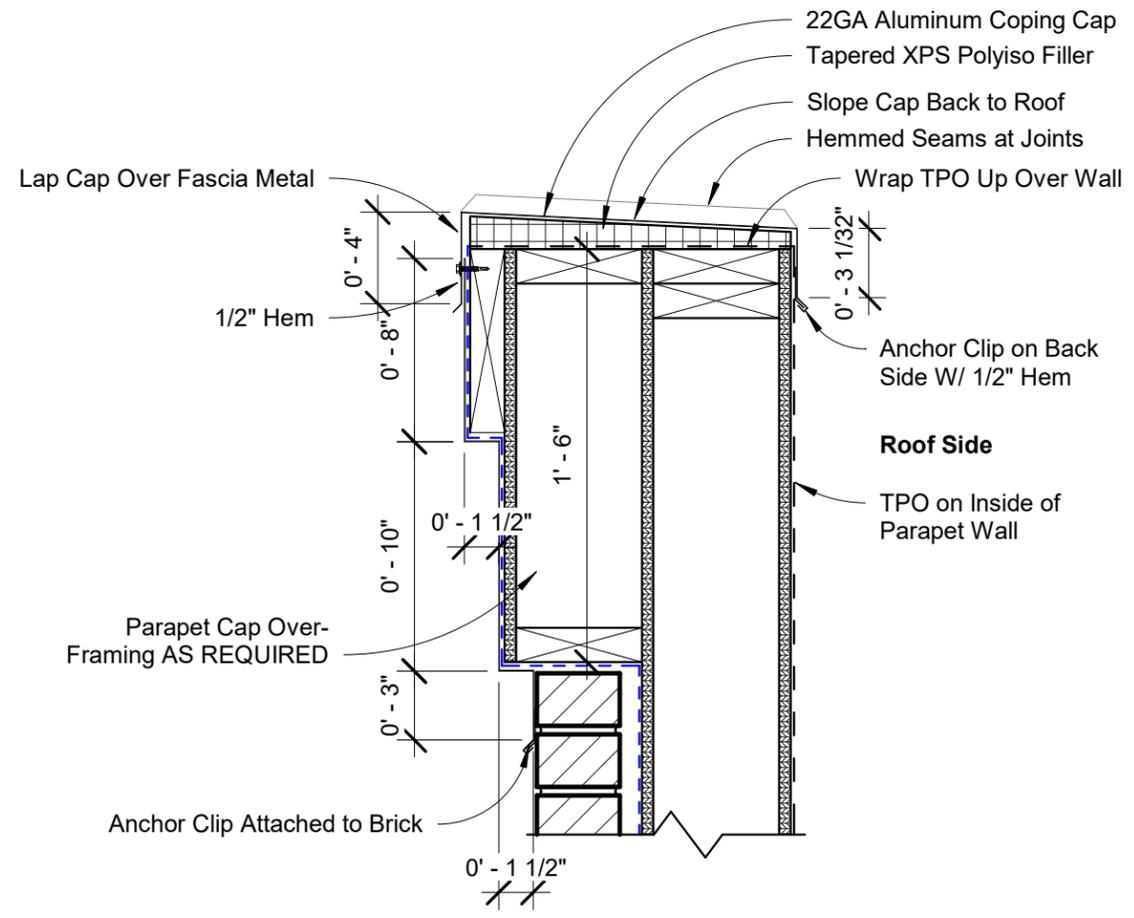
The parapet is modulated to be lower at the brick portions of the facade Consistent with the concept of a deeper errored core



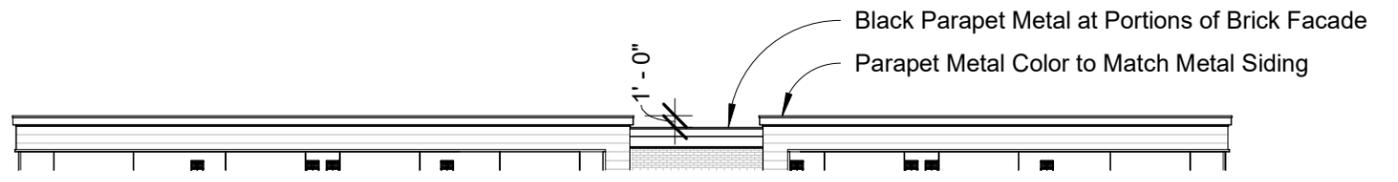
1 Parapet Coping @ Metal Siding
1 1/2" = 1'-0"



3 Parapet View



2 Parapet Coping @ Brick
1 1/2" = 1'-0"



4 North/South Parapet Modulation
1/16" = 1'-0"



5 East Parapet Modulation
1/16" = 1'-0"

Massing & Facade Proportions



① South Elevation Diagram
1/16" = 1'-0"

The fenestration in all portions of the facade intentionally align and form a rational pattern on all sides that responds to the regular arrangement of units. Spacing between the windows was arranged strategically and compositionally with the interior program, material limitations (avoiding or strategically placing breaks and seams), venting clearances, and repeating proportions.

The fenestration patterns in the two different massing portions of the facade are purposefully dissimilar in color and proportions to emphasize the two contrasting areas.

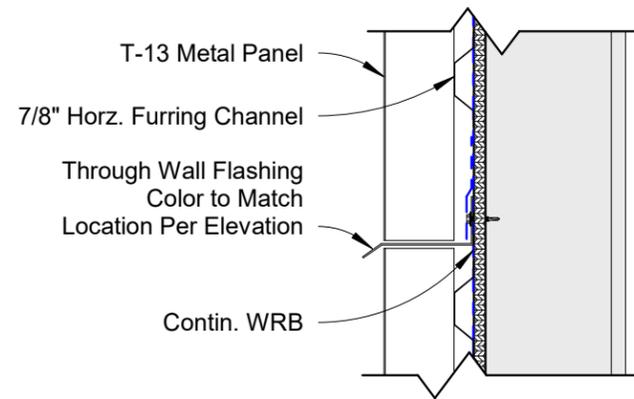
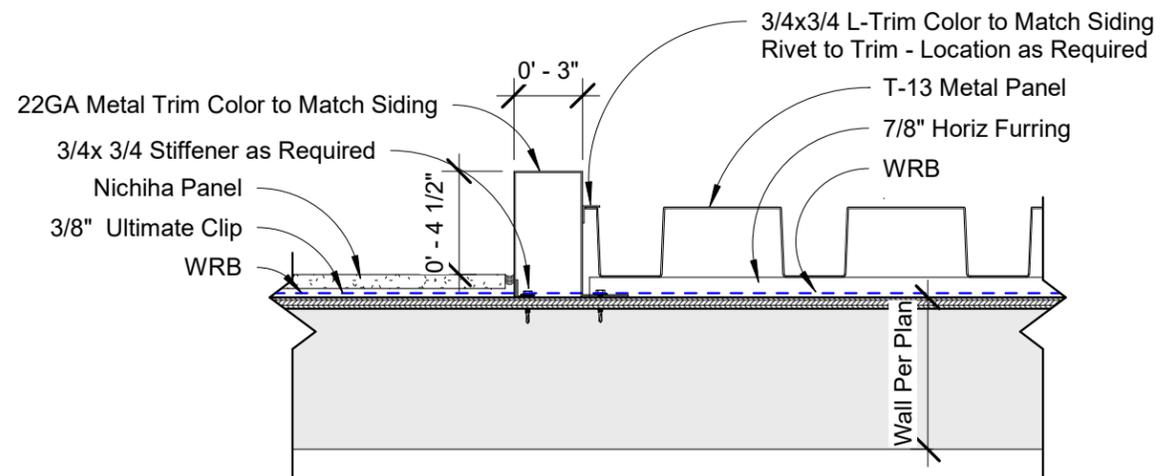


② East Elevation Diagram
1/16" = 1'-0"

Maximizing window size for natural light into the units creates a connection to the exterior and provides a more spacious feeling interior. The windows will be detailed to appear recessed.

Window mullion arrangement and pattern was established by creating a balance of allowable operable panel size, ADA reach range requirements, building code, interior sight lines, and manufacture limitations.

Note: Colors are for illustration purposes only and do not represent the color scheme.

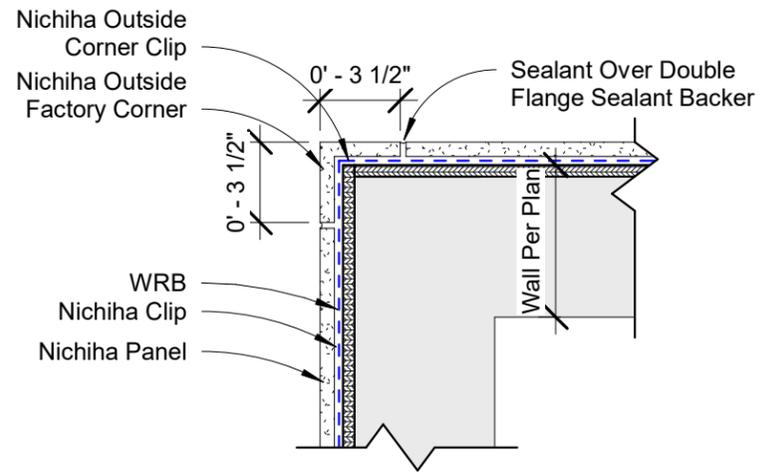


① Metal Nichiha Transition
1 1/2" = 1'-0"

③ Metal Through Wall Flashing
1 1/2" = 1'-0"



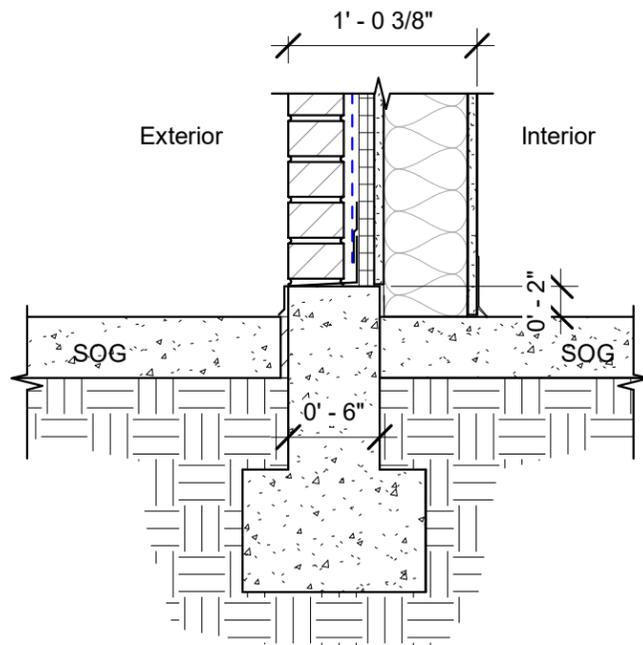
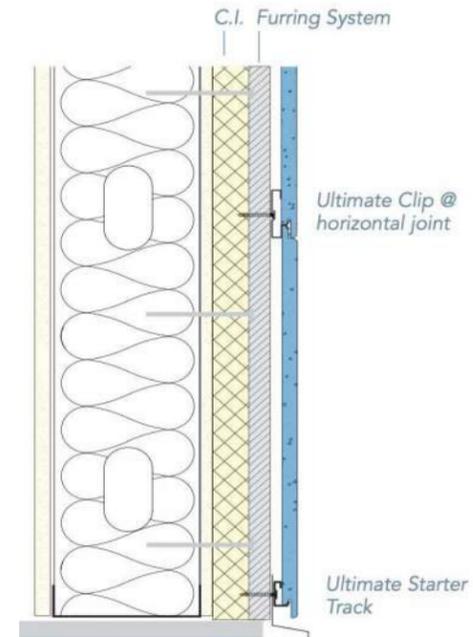
Examples of Outside Corner Metal Detailing



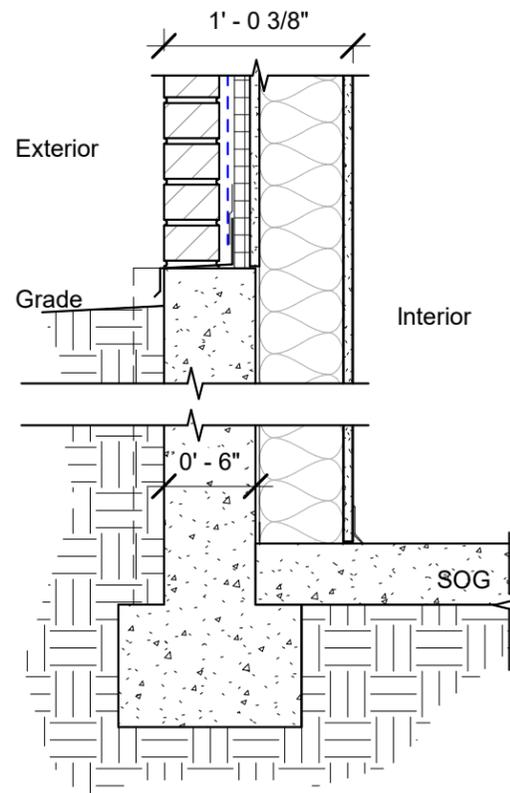
① Nichiha Outside Corner
1 1/2" = 1'-0"



Example of Outside Corner



② Exterior Wall Sill TYP.
1" = 1'-0"

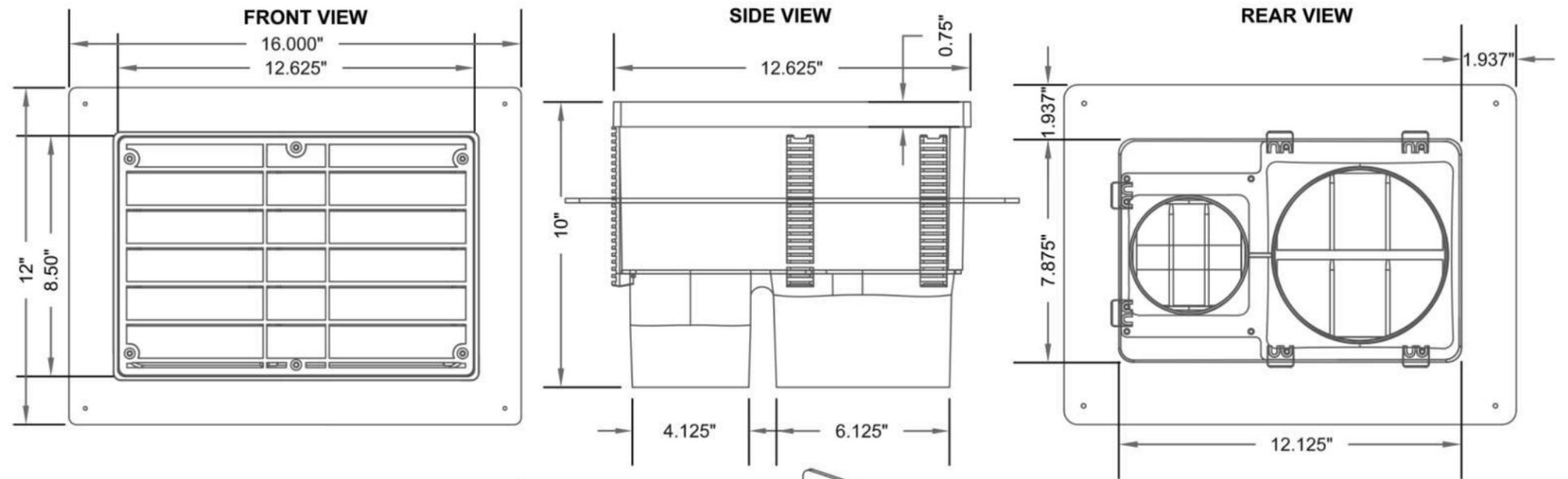


Exterior Venting

XVent Box Ventilation Systems

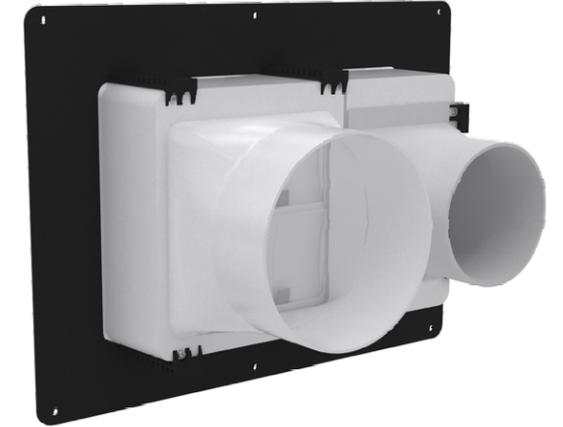
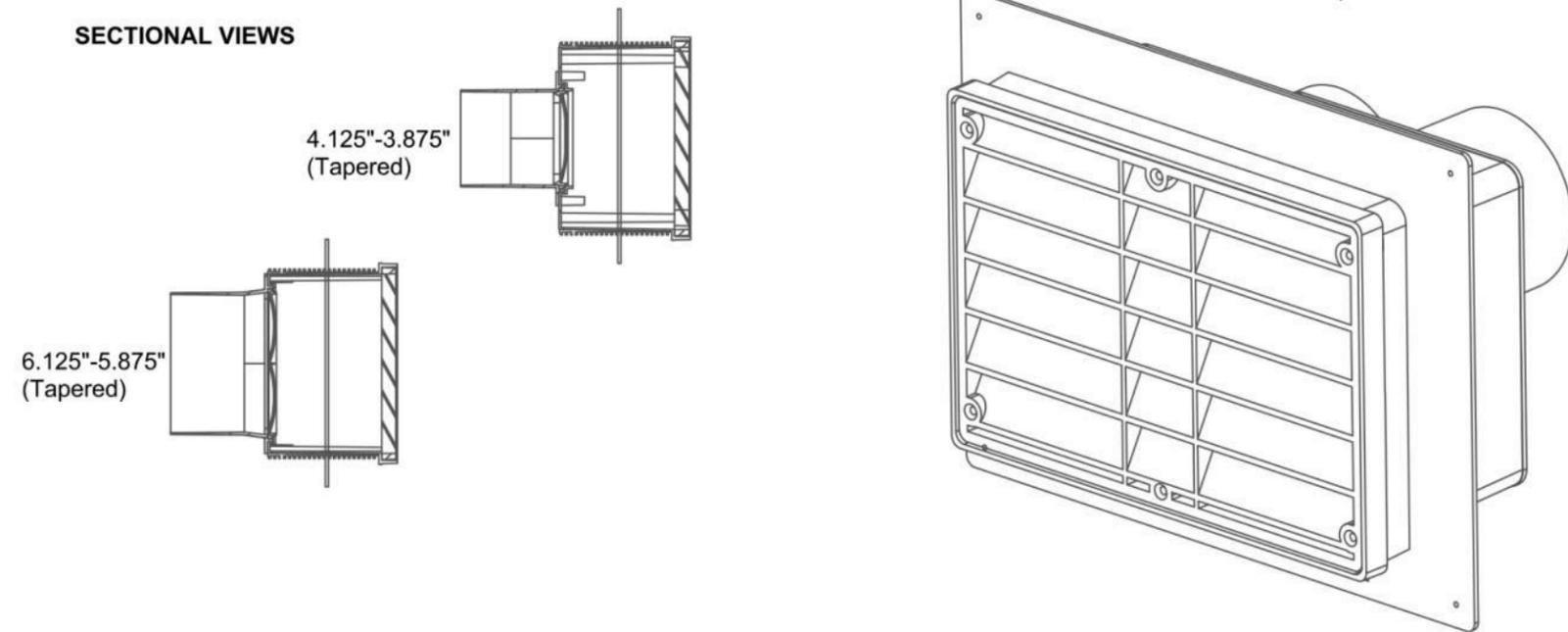
Model # DHEB-64R-BR

The DHEB Xvent option has an adjustable flange to allow the face louver to be adjusted to mount flush with the exterior surface of the building regardless of the depth of facade material. The construction is a durable impact resistant, UV stabilized plastic available in any custom color. Gravity backdraft dampers and a separator fin prevents exhaust from mingling inside the box and also prevents air returning into the ducting.



Color Matched Xvent Installation in Metal Siding

SECTIONAL VIEWS



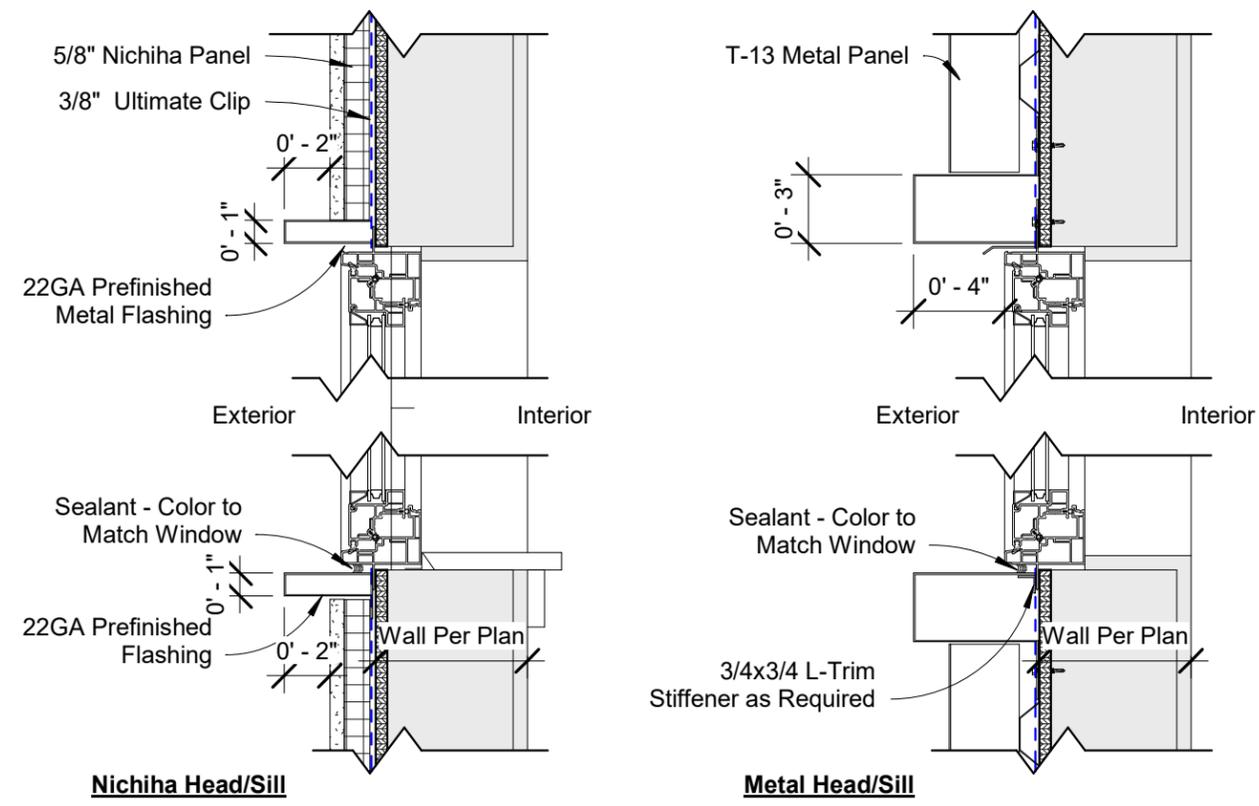
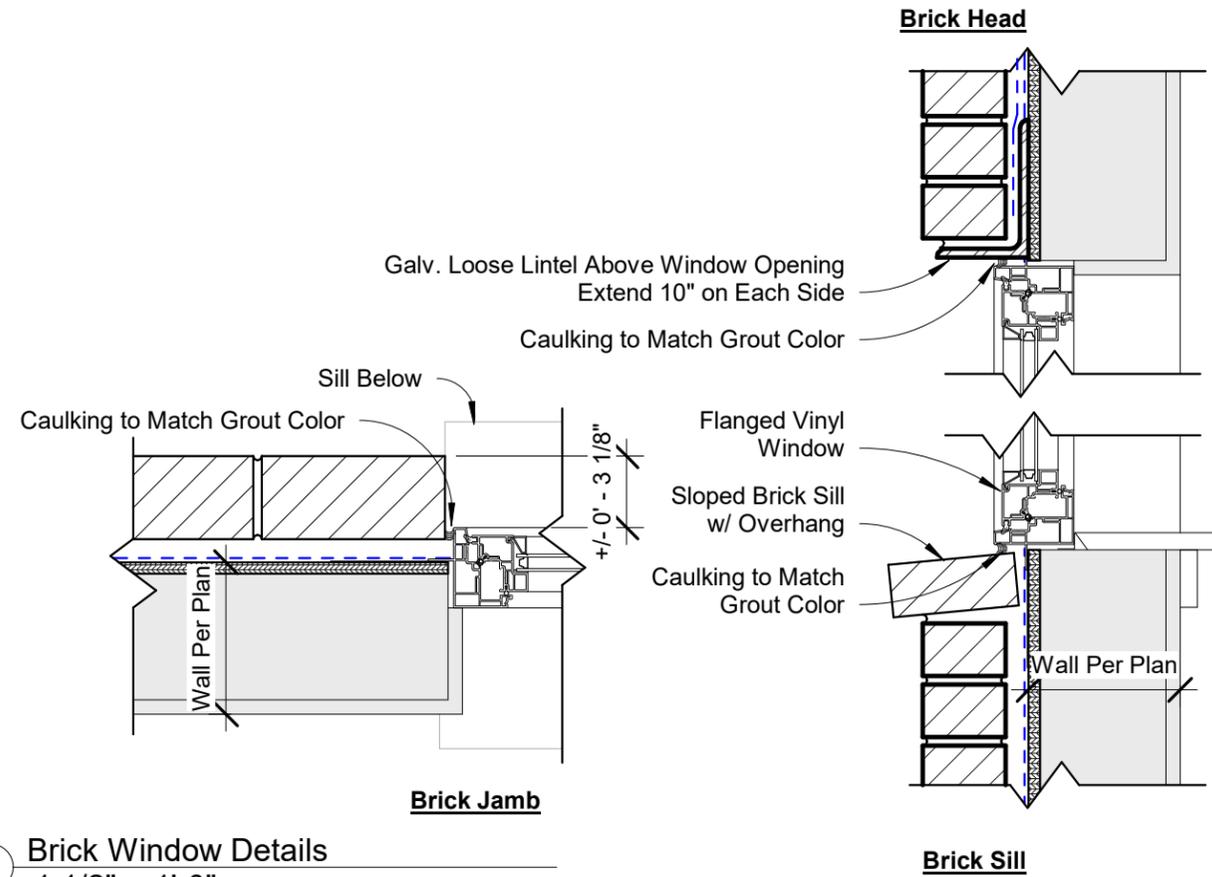
Massing & Facade Treatment

e.) The Board specifically prioritized Uptown Design Guideline DC2-3-b, Window Design, which encourages "substantial window detailing and recessed windows" and discourages "flush window treatments". (DC2-3-b)

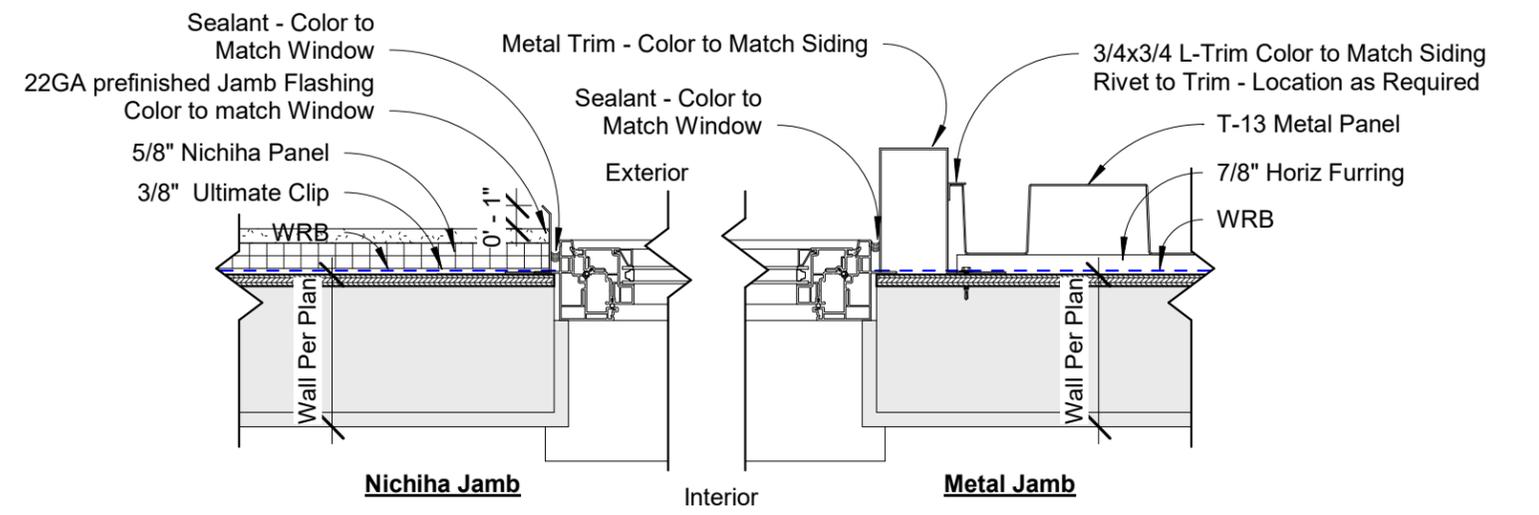
Response

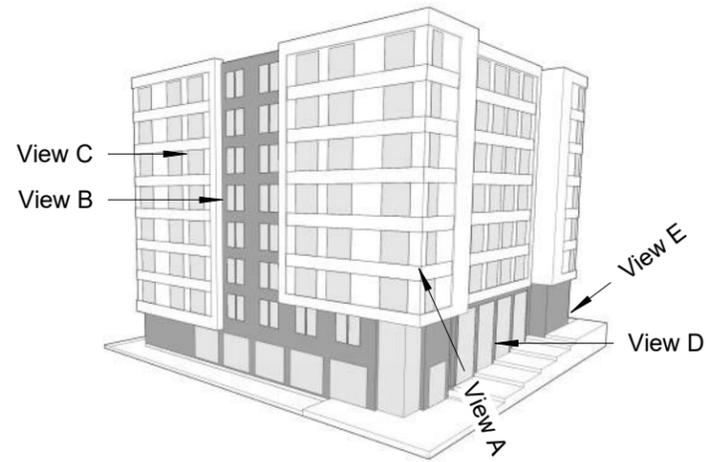
Window detailing has been provided on the following sheets to illustrate design intent, depth, and treatment of the cladding around the windows. Flanged vinyl windows are proposed for cost effectiveness, durability, and ease of waterproofing. The typical window area/size has been maximized based on the north elevation proximity to the property line which allows a maximum 45% unprotected opening with a 10' minimum setback to the structure. Windows have been standardized for a consistent architectural language around the building on each façade. The proposed design uses the exterior cladding materials to create depth, rhythm, and an architectural language around the grouping of the exterior fenestration. The composition of the windows and patterning changes are based on the façade cladding, primarily between the brick and metal but also at the lower level grade units with patios. Nichiha panels are used as an accent in both the metal portions of the façade and the brick. Metal trim and brick provide a deeper reveal (between 3-4"), while the Nichiha panel intentionally has the window +/-1/2" proud of the exterior surface. The difference in depth between materials creates a language and pattern in the façade that helps reinforce variation in planes without complicated and wasteful over-framing. While the design guidelines "discourages" flush window treatments, the 1/2" reveal using the Nichiha is sparingly used and is used very deliberately for effect and an emphasis on depth around the windows.

1 Brick Window Details 1 1/2" = 1'-0"



2 Window Details 1 1/2" = 1'-0"

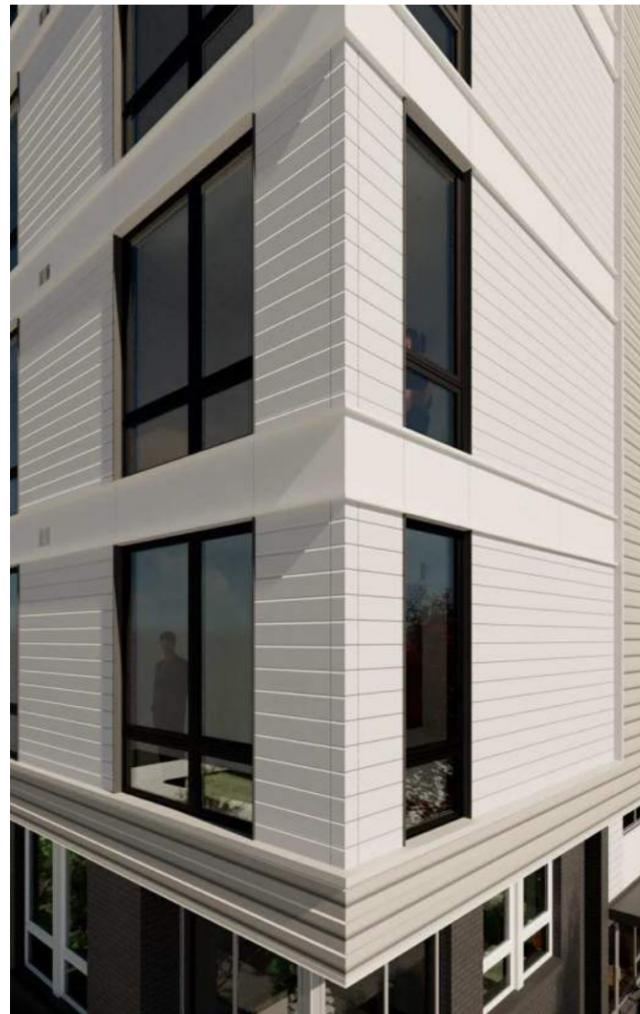




The fenestration in all portions of the facade intentionally align both vertically and horizontally and form a rational pattern on all facades that reflects the repetitive nature of the living units on the interior. Spacing between the windows was arranged strategically and compositionally with the interior program, material limitations (avoiding or strategically placing breaks and seams), venting clearances, and repeating proportions on the exterior.

The fenestration patterns in the two different massing portions of the facade are purposefully dissimilar in color and proportions to emphasize the two contrasting massing shapes.

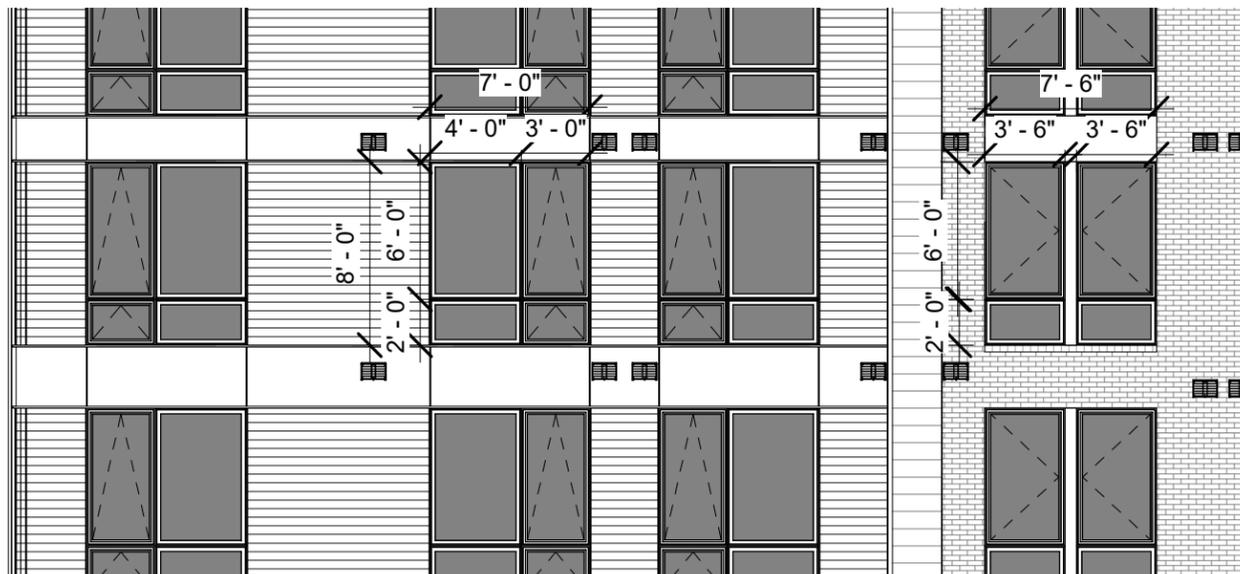
Maximizing window size for natural light into the units creates a connection to the exterior and provides a more spacious feeling interior. The windows will be detailed to provide depth and relief in the facade.



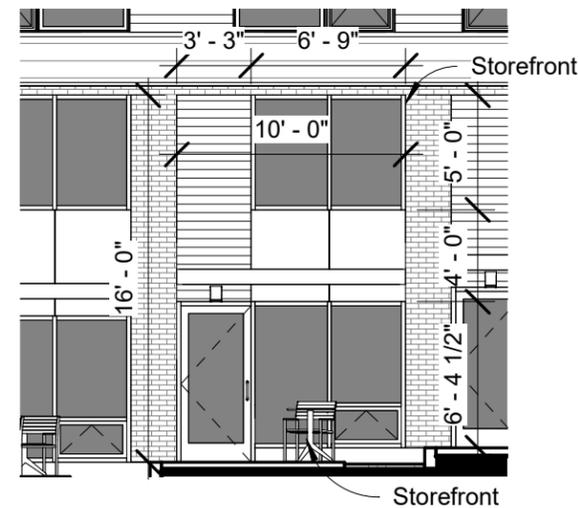
Perspective View A



Perspective View B



Elevation View C



Elevation View D



Elevation View E

Street-Level Uses & Entry Experience



Bioretention Planter
Arctic Fire Red Twig Dogwood
Dwarf Purple Osier Willow



Stormwater Planter Mix (Bioretention Planter)
50% Carex Obnupta/Slough Sedge
25% Juncus Effusus/Soft Rush
25% Scirpus Microcarpus/Small-Fruited Bulrush



GS Garden Sage



FG Japanese Forest Grass

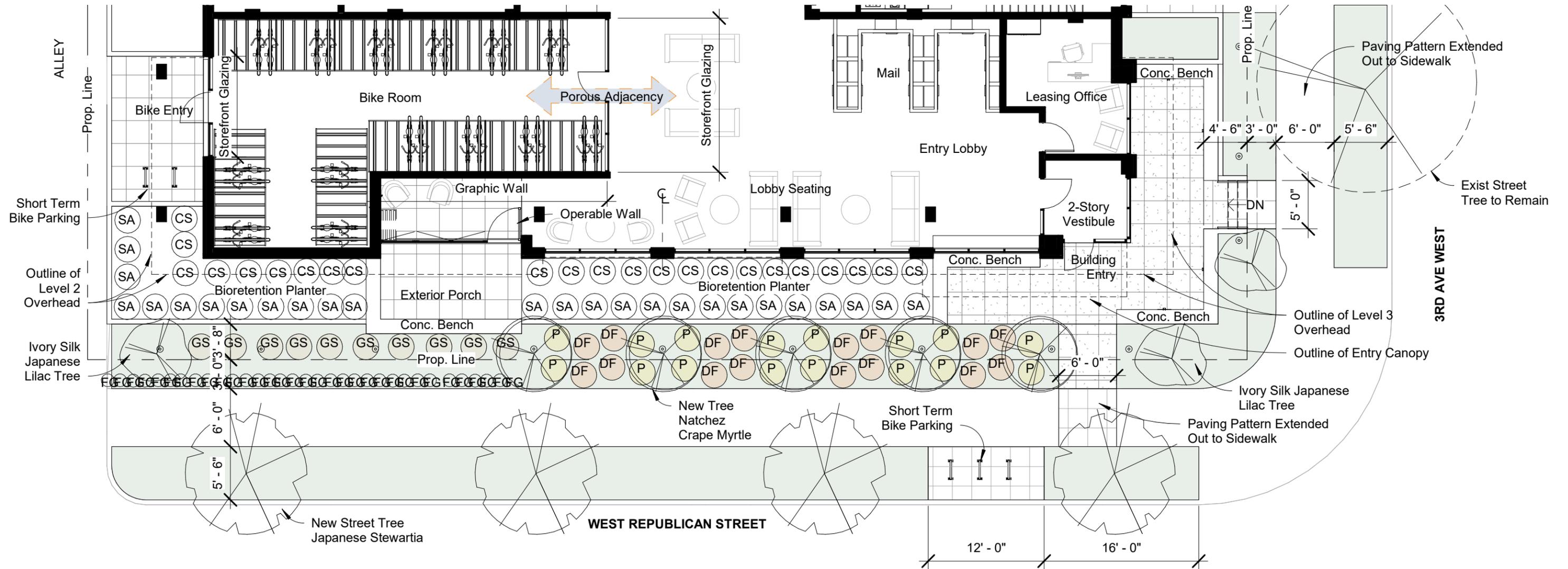
Bike Room

The choice of showcasing the bike room at such a prominent location punctuates the hierarchy of the function, supports the message that the bike room is not an "afterthought", and promotes the area's goals of pedestrian activity and the message of using efficient transportation methods. Along with the location significance, security of the bike room is an important factor of the design; placing the bike room in a highly visible location adjacent to high traffic building functions increases security. Interior storefront glazing at the entry of the bike room will support a visual connection to the overall lobby space. Lastly, the look and feel of the room will be designed as a playful space with graphics and bright color to further support the idea that the bike room is part of the overall space and is intentional vs an "afterthought".

- i. The Board questioned the rationale of closing the corner entry and placing barriers at the exterior space. They noted that fences are the opposite of what the Design Guidelines are trying to achieve along the streetscape edges, and recommended the design be modified to resolve this concern. **CS2-3 Corner Sites, CS2-B-2. Connection to the Street**
- ii. In response to public comments related to the enclosed patio, the Board recommended that the applicant to revise the landscape design to bring it closer to the design intent of the accessible corner courtyard presented at EDG. They noted that an integrated ADA accessible walk access, a semi-public exterior gathering area, and integration with active building uses, should be studied. The Board specifically prioritized Uptown Design Guidelines **CS2-3-a, Address the Corner, CS2-3-c, Special Features, PL1-1, Enhancing Open Spaces, and CS1-1, Topography.**

Response

The corner patio has been largely removed and revised to become a semi-public entry court and is now a space of transition without barriers to the public. A 2-story glass entry vestibule has been added for clear definition of the main building entry. Paving patterns at the entry have been extended out through the sidewalk to create interest and interaction with the public ROW. Seating areas have been added along the Republican Street sidewalk with adjacency to the generous storefront glazing at the lower-level lobby.



1 Republican St Arch Landscape Plan
1" = 10'-0"

Street-Level Uses & Entry Experience

Response

The main level primary entry is prominently located to be obvious, identifiable, and distinctive with clear lines of sight to the public right-of-way. Generous glazing is used along the south façade to promote a storefront/retail like feel and also to increase the visual connection between interior and exterior.





Building Main Entry View 1



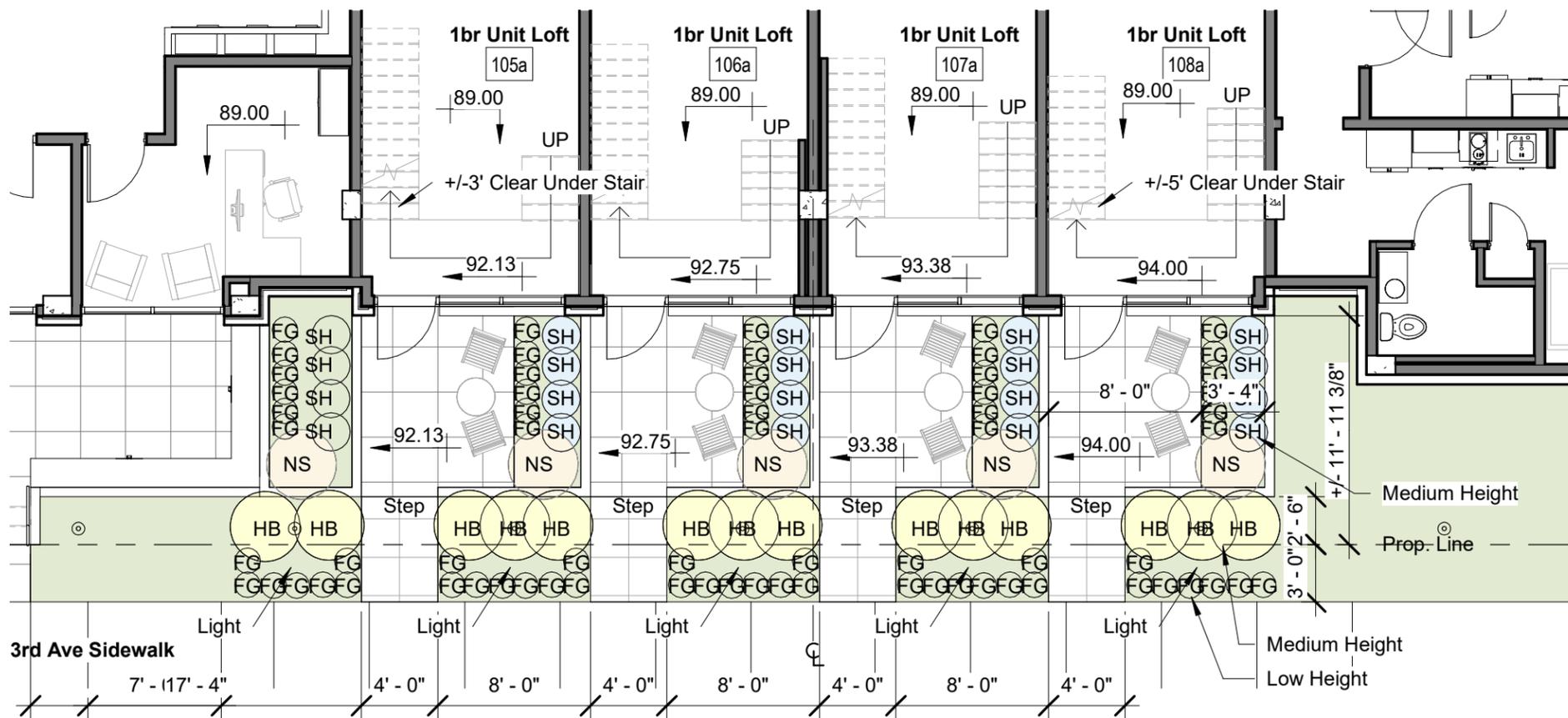
Building Main Entry View 2



Building Main Entry View 3



3 EAST - Partial Elevation
1/8" = 1'-0"



1 East Private Patio Plan
1/8" = 1'-0"



The treatment of the street level courtyards at the 3rd avenue units uses multiple entry points off the sidewalk that step with the grade. A 5'-6" landscape buffer is used for privacy between the sidewalk and the private courtyards with medium height shrubs. The individual patios step at a regular interval of 7 1/2" at each unit which responds closely to the grade change. The consistent stepping creates an ordered rhythm.

Street-Level Uses & Entry Experience

- ii. The Board did not support the predominance of fences and gates shown in the studies. The Board recommended evaluation of the need for fencing within the streetscape design development; if fences are necessary, the Board noted that they needed to be integrated with hardscape layout, planting, and other elements of the site/landscape design. **PL3-3-d. Gates & Fencing, PL3-A-3. Individual Entries**
- iii. The Board also questioned the on-grade entrances in relation to the levels of the interior of the units. They noted that the studies looking at separation and privacy should also include the interior levels of the units as part of the studies, especially as they relate to Code requirements. **PL3-3-b. Elevate the Ground Floor**
- iv. The Board specifically noted that there was also a lack of design elements that addressed privacy between units that would make the patios more usable, and recommended the design be modified to resolve that issue. **PL3-3 Ground Level Residential Edge**

Response

The fences and gates have been removed. Medium height shrubs are used for privacy between the public way and between units.

PL3-3

Two of the 3 guidelines of PL3-3 have been incorporated. PL3-3-A: A direct entry from the street to the unit has been provided. Weather protection at the entry has been provided. PL3-3-B: Elevating the ground floor entry at this location is problematic due to interior access and the existing grades (this guideline is asking us to move the entry UP when it needs to go DOWN). PL3-3-C: Distinctive paving, landscaping, and detailing have been proposed. The individual courtyards will propose a hardscape pattern, a single step up from the sidewalk defines private from public, and landscaping is proposed as a screen to impede views into the units. Individual addresses and lighting are proposed at each entry.



NS Northline Serviceberry



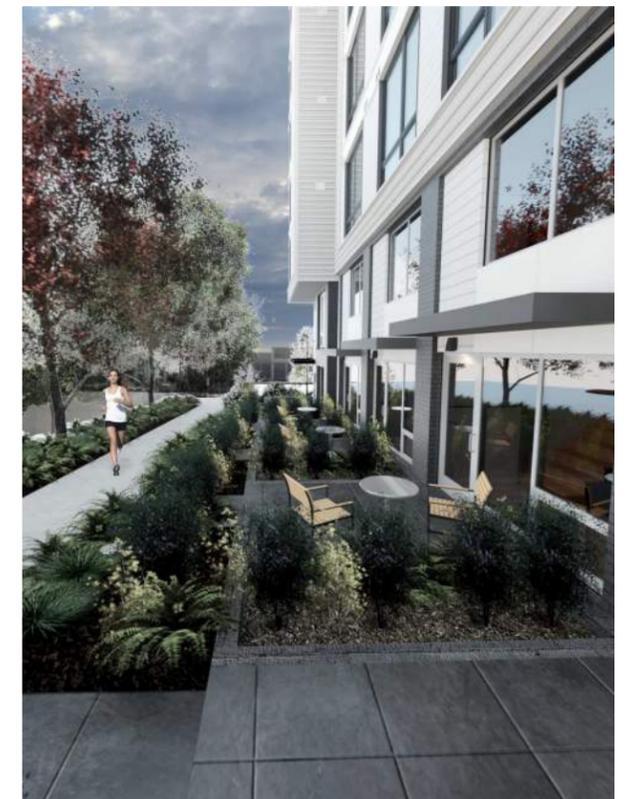
SH Scallywag Holly



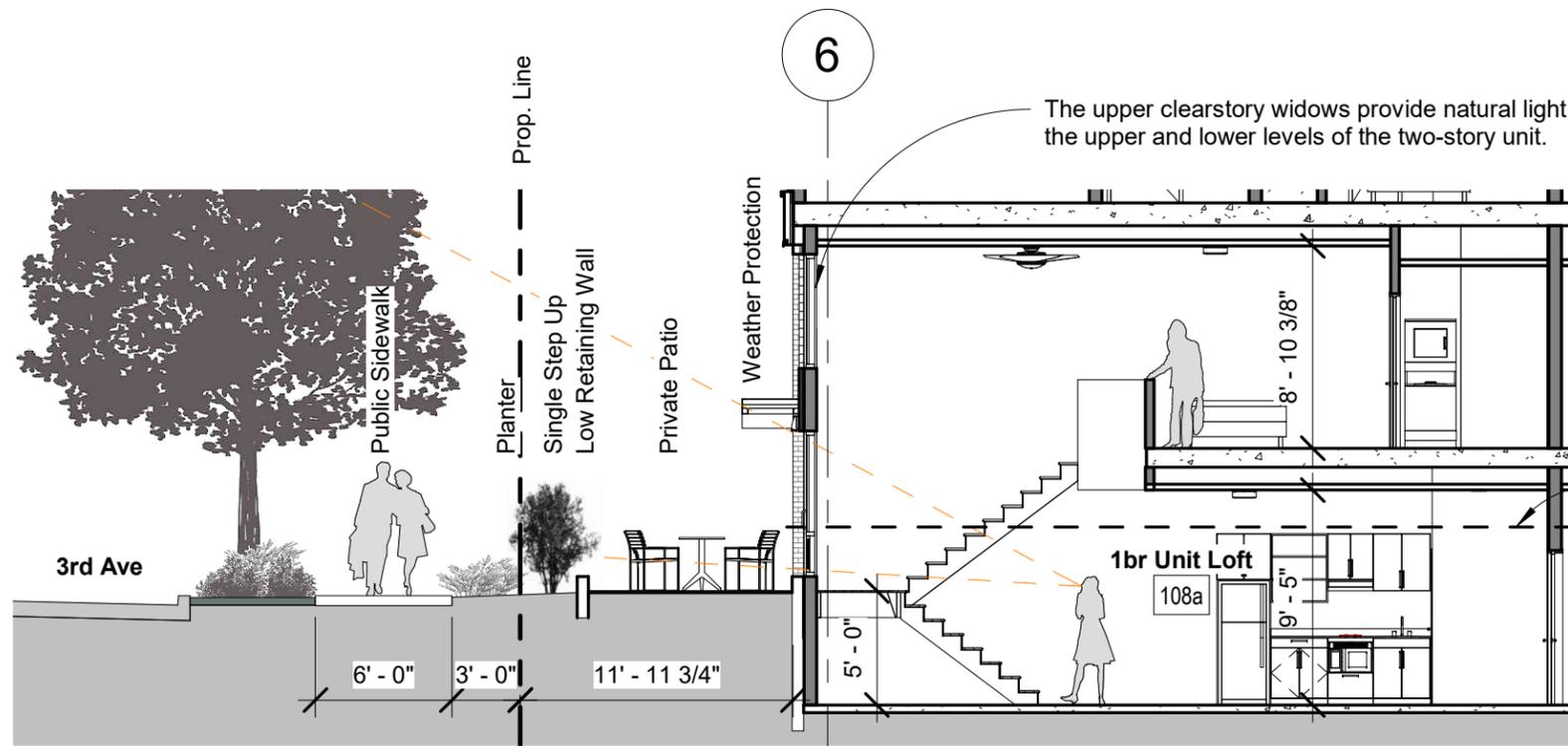
HB Heavenly Bamboo



FG Japanese Forest Grass







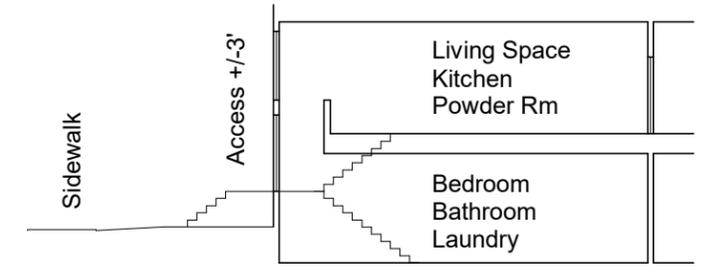
① 3rd Ave Unit 108 Section
1/8" = 1'-0"

Level 03
111' - 0"

Level 02
100' - 3"

Level 01
89' - 0"

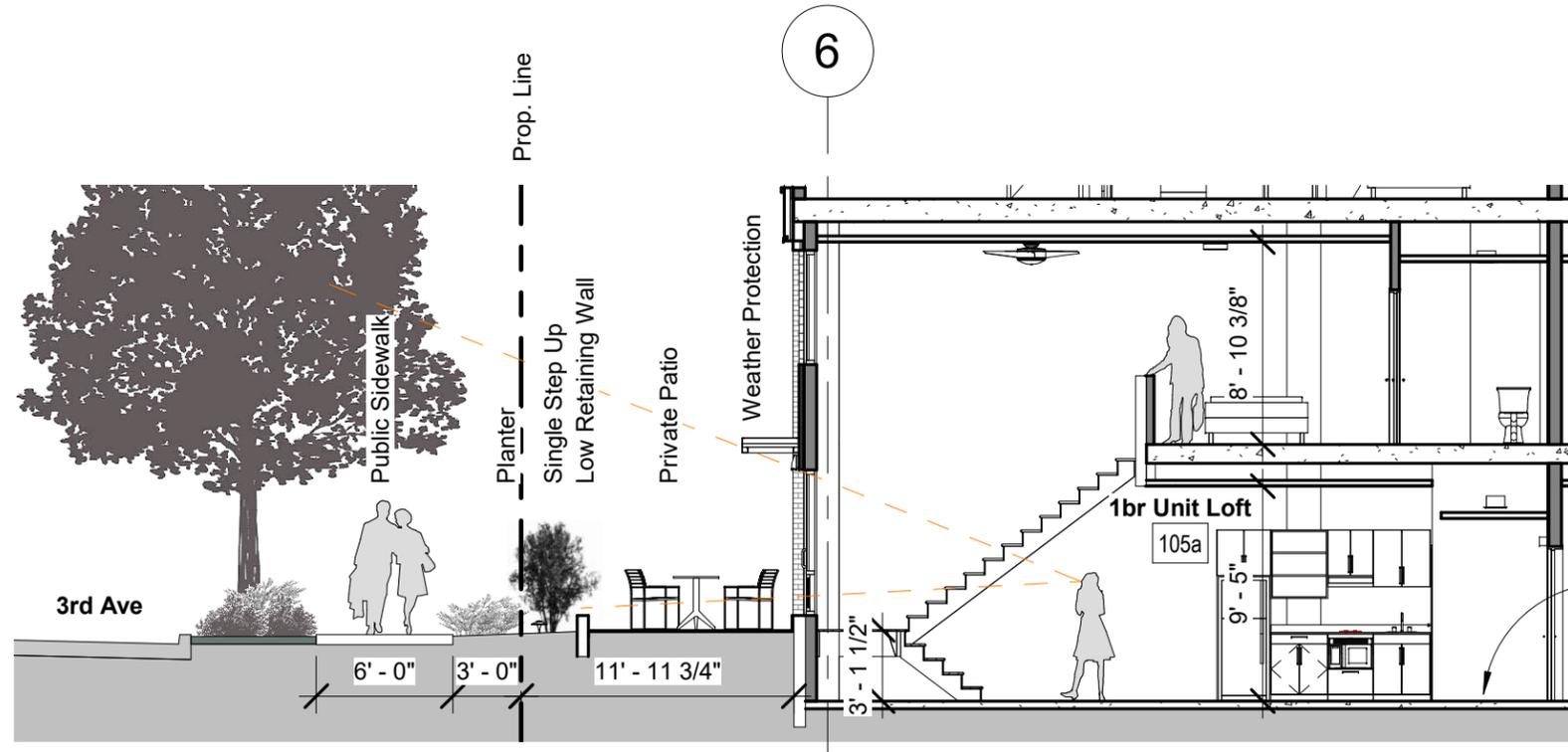
Floor level +/-3' Above adjacent sidewalk.
This floor level would either assume changing the two-story units to a single level accessed from floor 2 or assumes removing access to the unit from the interior (level 1) which would exclude these units from the building community. Alternatively, the entry landing could be moved up to the 3' level but this would add additional stairs to both the interior and exterior which would take up additional space for very little benefit.



STUDY: Upper living floor area is compromised, lower level has limited access to natural light, and additional stairs are required for access to the entry level 3' above the sidewalk.



Example of Unit Interiors



② 3rd Ave Unit 105 Section
1/8" = 1'-0"

Level 03
111' - 0"

Level 02
100' - 3"

Level 01
89' - 0"

To allow for a habitable two-story unit access from level 1 is required. Living space accessed from level 1 is not conducive to a lower level bedroom with a window.

Street-Level Uses & Entry Experience

c.) The Board directed further study of the entry experience and design of the private patios along the north property line in response to Uptown Design Guideline PL3-3, Ground Level Residential Edges, and requested more detail on the design of these individual ground-level units in the Recommendation packet. (PL3-A, PL3-B, PL3-3)



Golden Sedge



Deer Fern



Caress Mahonia



Black Tower Elderberry



Forest Grass



Sky Pencil Holly



Golden Columnar English Yew



Fragrant Sarcococca



Emerald n Gold Wintercreeper



Climbing Hydrangea



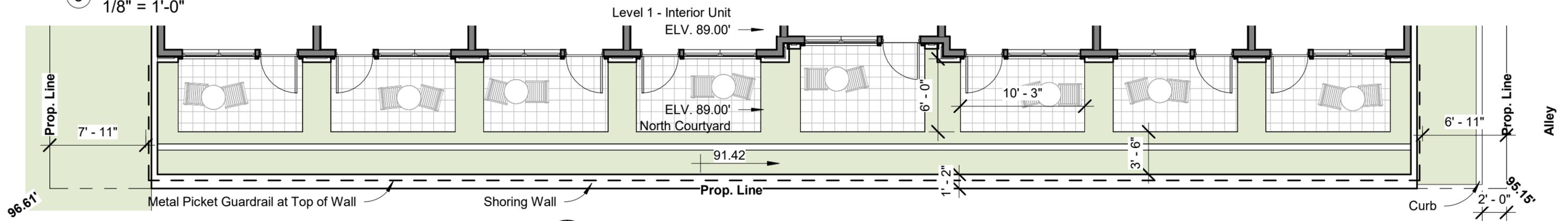
Avalanche Evergreen Clematis

Response

The north building façade abuts an adjacent parcel, which will likely be developed in the future. To achieve large windows for the north facing units the façade was set back from the property line a minimum of 10' to take advantage of the 45% allowable unprotected openings and to provide "breathing" room from the adjacent parcel. This setback allows the units at level 1 to take advantage of the ground area for private courtyard space and will have direct access to the exterior from the units. Due to height constraints and interior program the level 1 units and courtyards are proposed to be set below grade at the level 1 elevation of 89.0. The current design intent of the shoring wall will be to use textured concrete and climbing vines to soften the look and feel.



③ NORTH - Partial Elevation
1/8" = 1'-0"



① North Courtyard Partial Plan - Removed Circulation
1/8" = 1'-0"



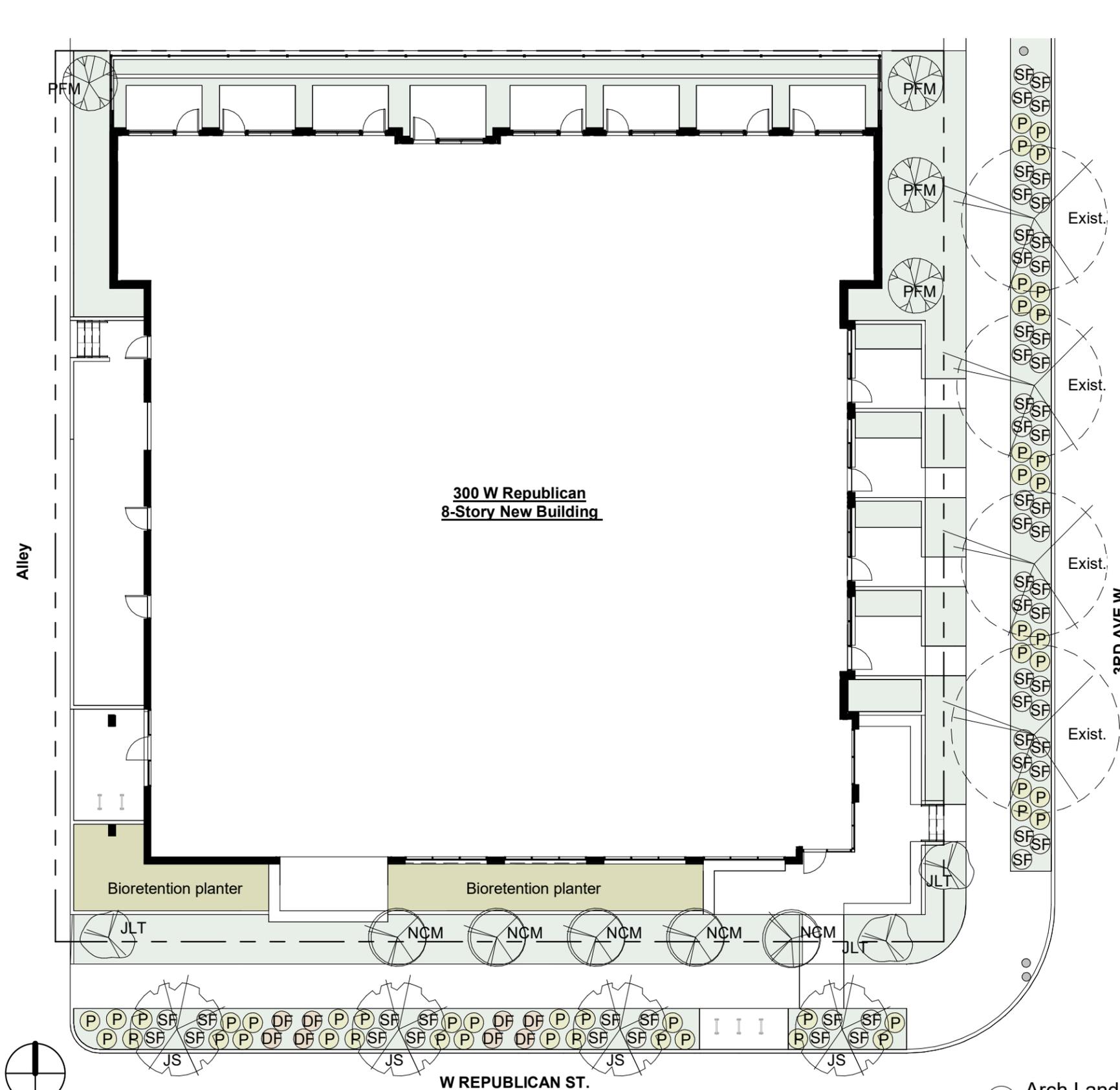
Open Space & Landscape

c.) The Board specifically prioritized Uptown Design Guideline DC4-4, Trees, Landscape and Hardscape Materials, and requested a landscape plan in the Recommendation packet that identifies plantings and hardscape materials. (DC4-D, DC4-4)

Response

A detailed landscape plan that identifies plant species has been provided.

The vast majority of the existing site is currently developed impervious surface with only a couple of overgrown planters. There is a single row of existing trees along Republican Street in small square cut-outs between the sidewalk and the street which are proposed to be removed and replaced with a long planter and new trees. A double row of trees exist in two long planter strips along 3rd Ave on either side of the sidewalk. The outer row of trees along 3rd Ave nearest to the street are proposed to remain and new ground planting will be planted. All other plantings have been strategically placed to soften the building base, provide color interest and texture, or to provide privacy between the ROW and building functions.



SF Western Sword Fern



P Mount Vernon Laurel



DF Divided Soft Shield Fern



JS Japanese Stewartia



JLT Japanese Lilac Tree (Ivory)



PFM Pacific Fire Vine Maple



NCM Natchez Crepe Myrtle



1 Arch Landscape Plan
1/16" = 1'-0"

Open Space & Landscape

d.) The Board specifically prioritized Design Guidelines DC4-B, Signage, and DC4-C, Lighting, and stated the lighting plan should avoid "up lighting". (DC4-B, DC4-C)

Response

Attention has been given to the pedestrian level lighting adjacent to the sidewalks within the landscaping, building mounted lighting, and illumination for the building signage. The previously proposed landscape uplighting has been deleted. For additional details on lighting design, type, and locations refer to the lighting site plan and lighting elevations within this packet. For signage location, lighting, and details refer to the signage concept plan within this packet.



Previous Design

Section 9

Floor Plans

UTILITIES AND IMPROVEMENTS:

Sewer availability will likely come from 3rd Ave where a combined sanitary/storm exists; 15" nearside and 18" farside.

Several existing gas lines come to the site from Republican Street and 3rd Avenue. If possible the project will reuse one of these existing lines, and the others will be capped.

Water availability is still TBD but is thought to likely come from the 8" line on the near side of Republican Street.

Overhead power lines exist along 3rd Avenue, Republican Street, and the alley. A 14' radial clearance is required from overhead power lines to the permanent structure. There are currently several overhead strikes to the structures coming from the alley and from 3rd Avenue south of Republican. New power will likely come from the northeast pole on 3rd Avenue.

ADA paired ramps shall be assessed by a civil engineer. The ramp at the corner of 3rd and Republican adjacent to the project site will need to be replaced.

The alley surface is paved with concrete - no improvements will be required other than patching and repair.

Building Demo: The buildings on the site are planned to be demolished and no salvage of architectural elements are planned.

Parcel Number

199020-0223
199020-0224

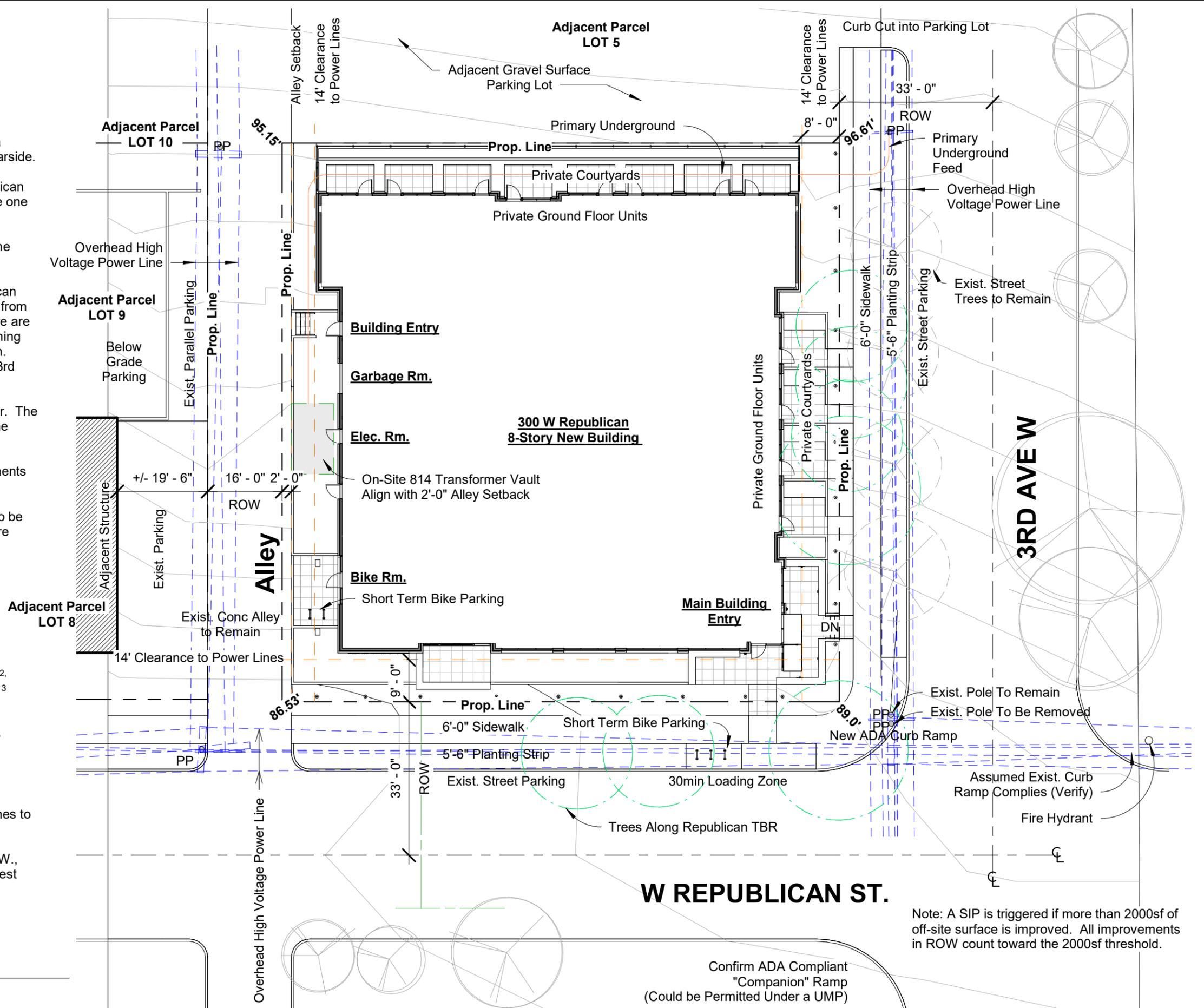
Legal Description

Parcel A:
THE EAST HALF OF LOTS 6 AND 7 IN BLOCK 7 OF A REPLAT OF BLOCKS 1, 2, 6, 7, 13, 14 AND 23 NORTH SEATTLE, AS PER PLAT RECORDED IN VOLUME 3 OF PLATS, PAGE 81, RECORDS OF KING COUNTY, WASHINGTON.

Parcel B:
THE WEST 60 FEET OF LOTS 6 AND 7, BLOCK 7, A REPLAT OF BLOCKS 1, 2, 6, 7, 13, 14 & 23 OF NORTH SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 81, IN KING COUNTY, WASHINGTON

14' radial clearance is required from overhead power lines to the permanent structure.

High voltage lines exist along the west side of 3rd Ave W., on the North side of W Republican St., and along the west side of the alley.

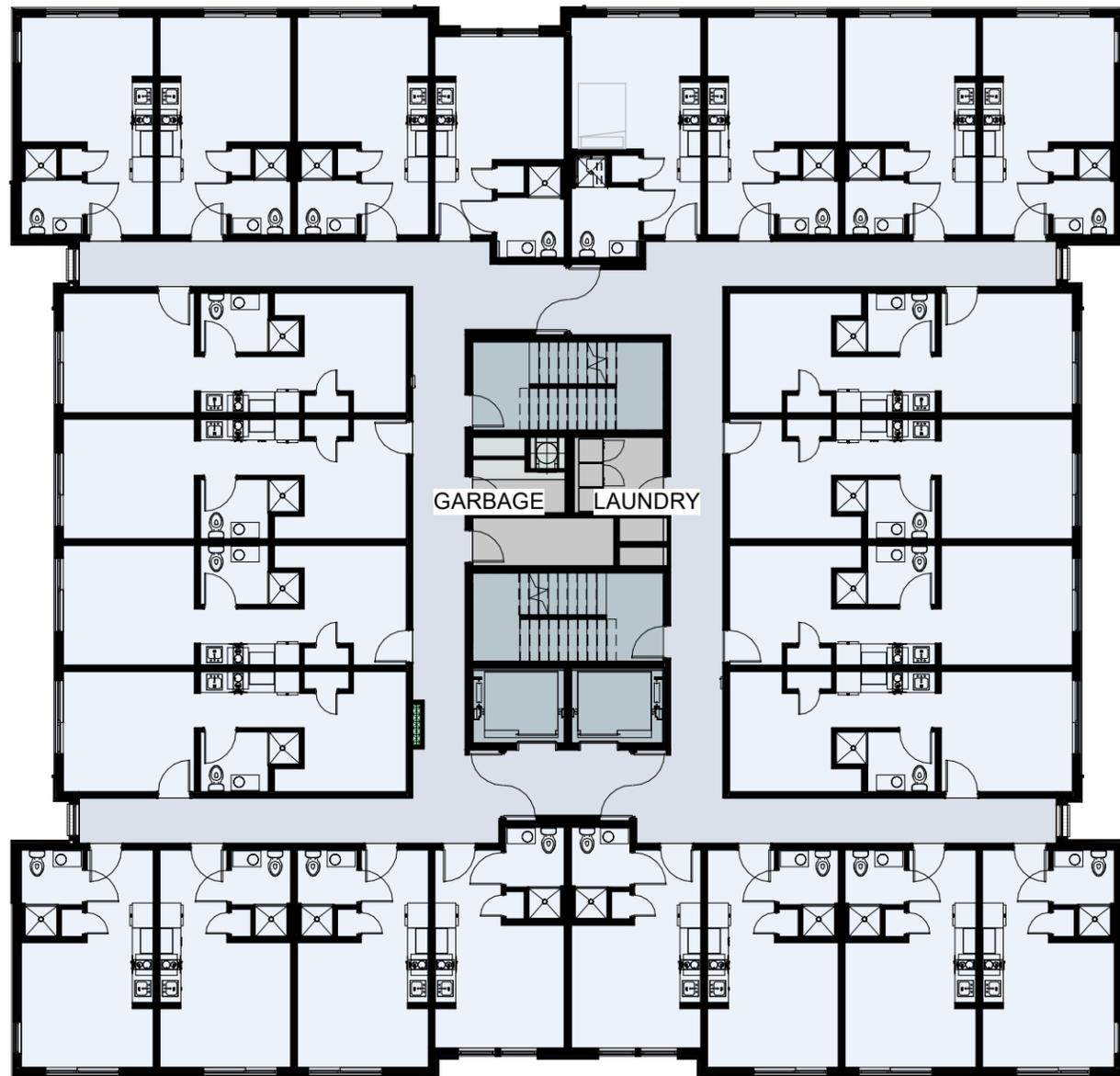


Note: A SIP is triggered if more than 2000sf of off-site surface is improved. All improvements in ROW count toward the 2000sf threshold.

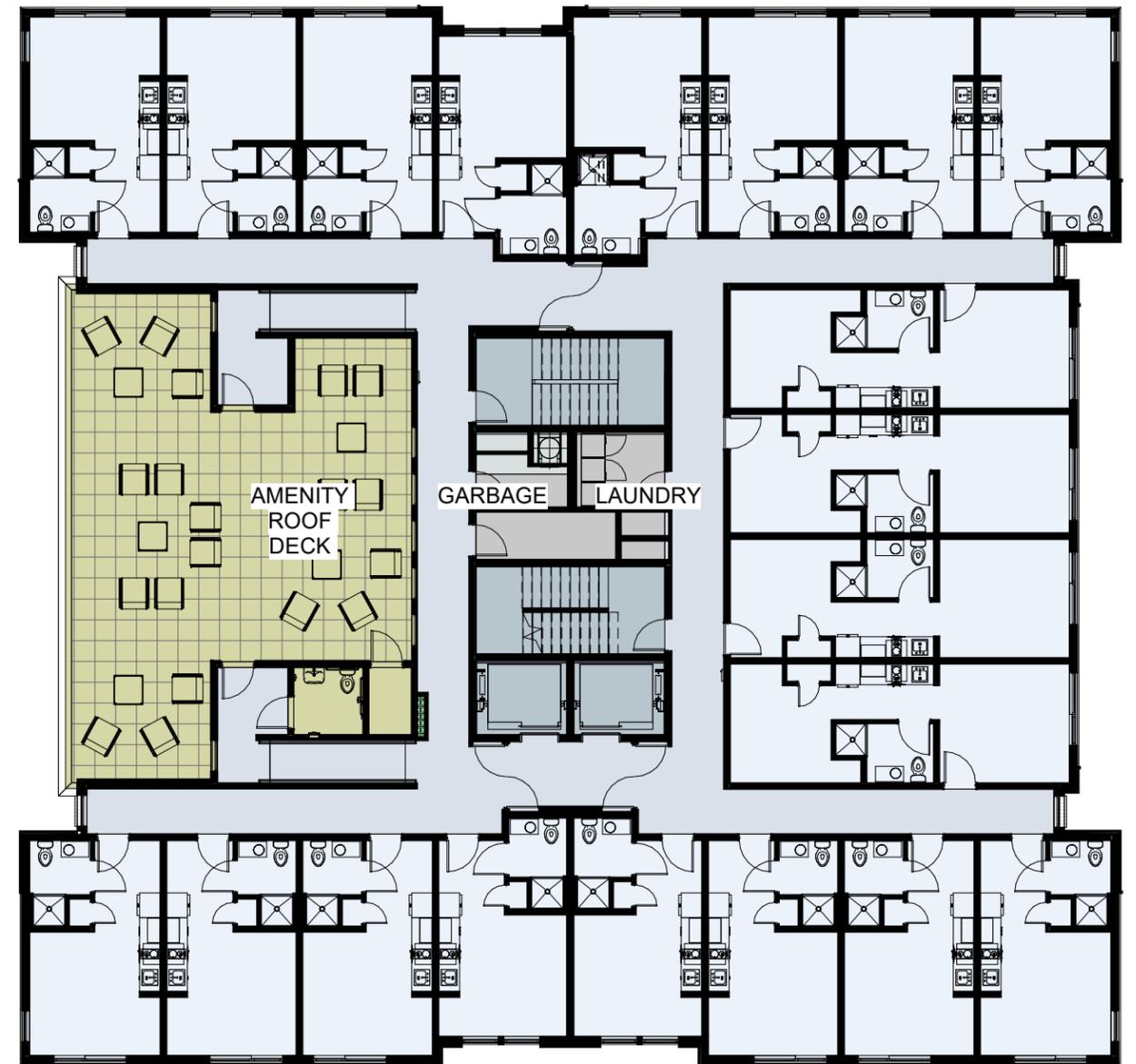
Confirm ADA Compliant "Companion" Ramp (Could be Permitted Under a UMP)



1 Overall Site Plan
3/64" = 1'-0"

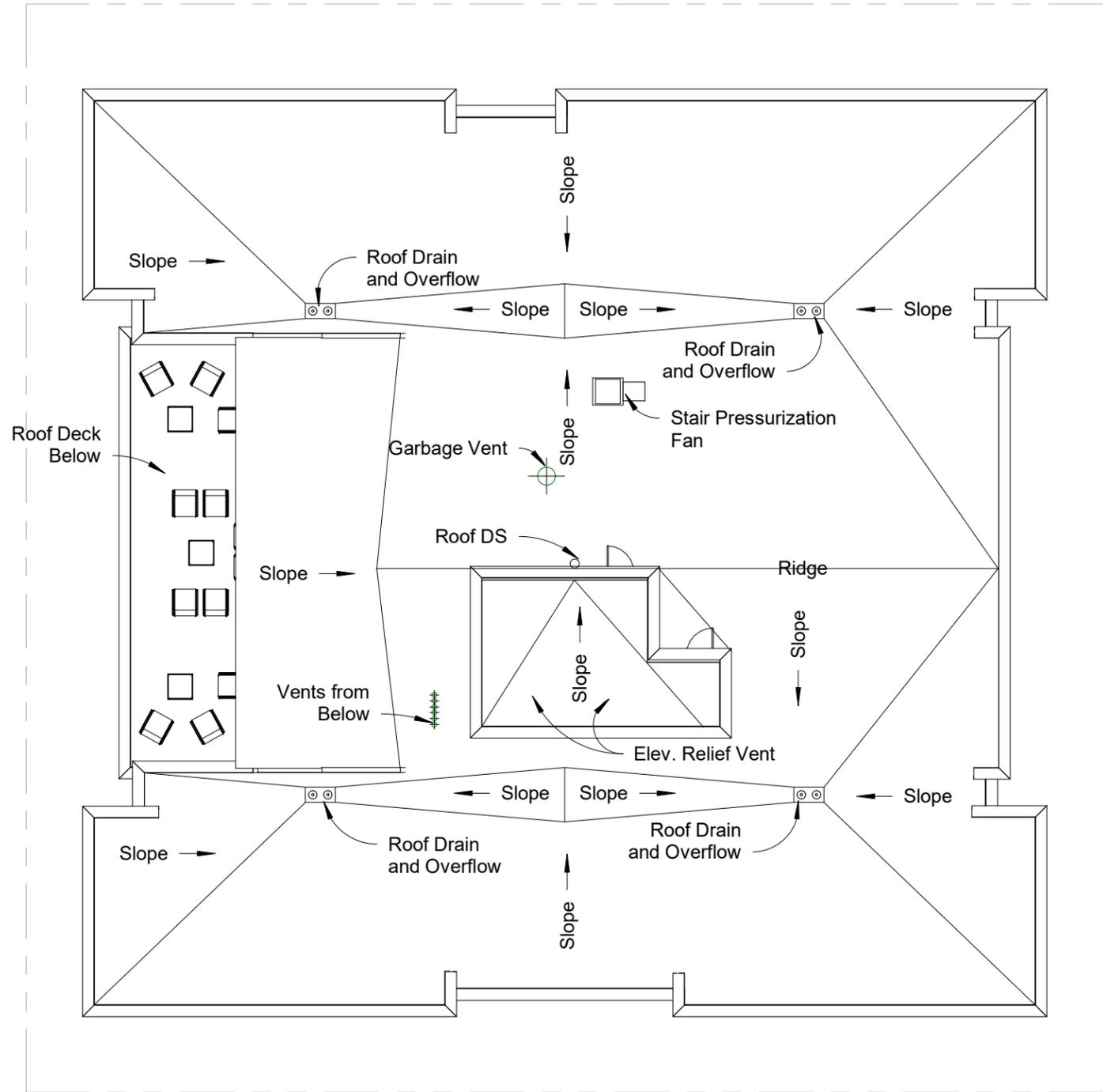


1 Floor Plan Levels 3-7
1/16" = 1'-0"



2 Floor Plan Level 8
1/16" = 1'-0"

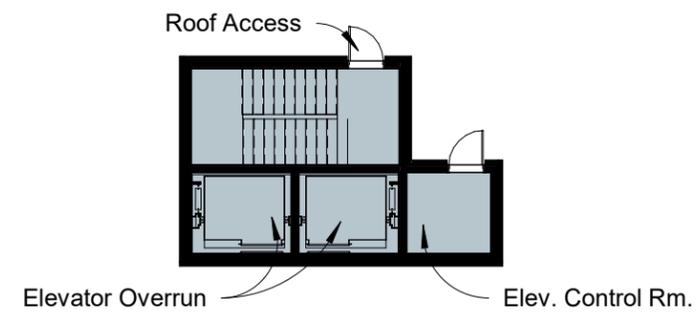




① Floor Plan Roof
1/16" = 1'-0"



Tan TPO Roofing

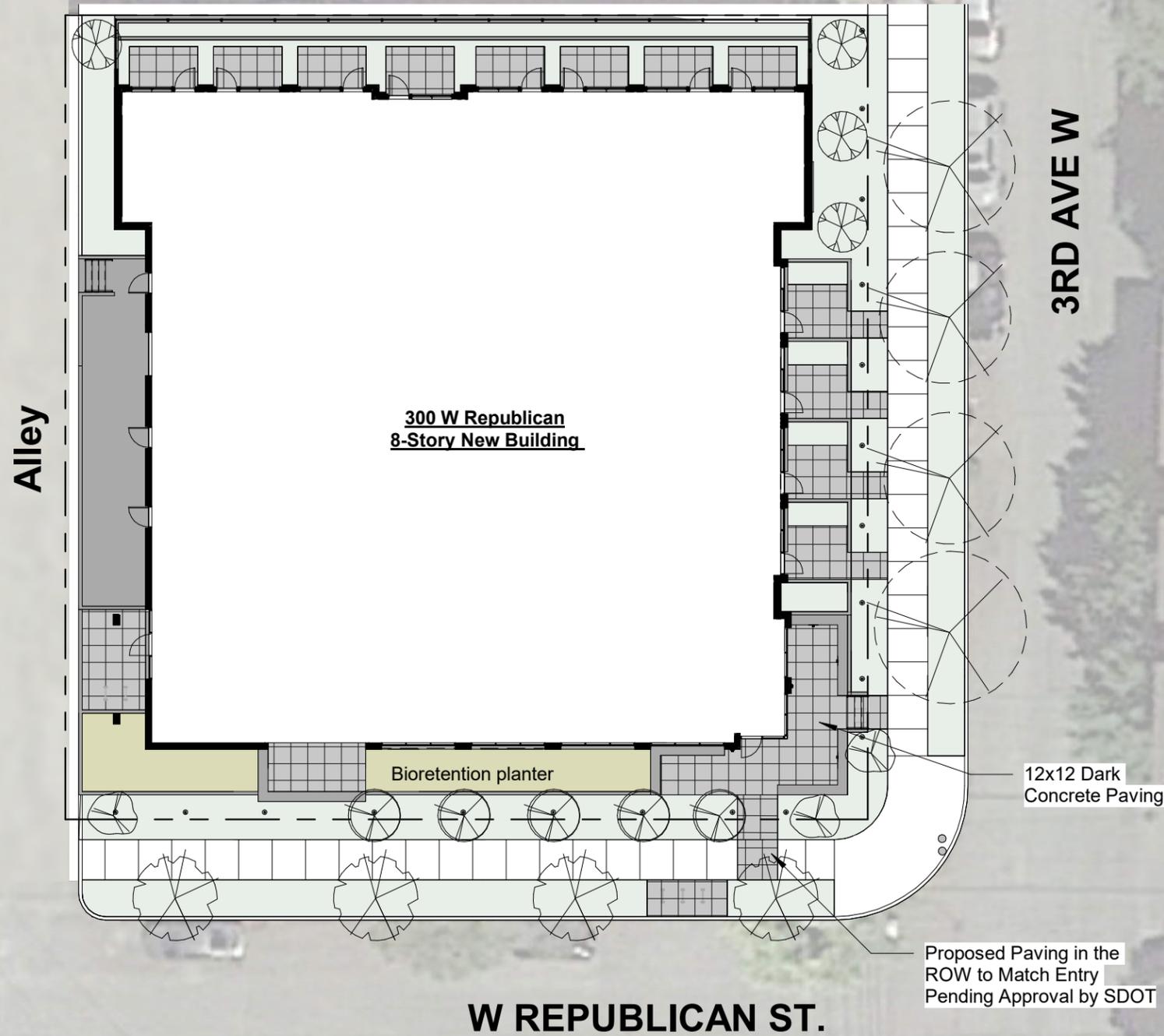


② Floor Plan Roof Penthouse
1/16" = 1'-0"



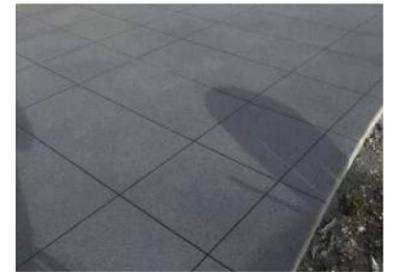
Section 10

Composite Landscape/Hardscape Plan



Bioretention Planter Calculation

Roof Area Including Penthouse	9,040sf
Uncovered Level 8 Roof Deck	621sf
Total On-Site Roof Area	9,660sf
5.6% Sizing Factor	
Bioretention Area Required	541sf
Bioretention Area Provided	600sf



12x12 Scored Concrete
Color: Lamp Black Dye in Conc Mixture



12x12 Scored Concrete in ROW
Example in Queen Anne Area

① Composite Hardscape Plan
3/64" = 1'-0"

Section 11

Elevations

T.O. Roof Deck
162' - 1"



T.O. Penthouse
182' - 4"
Bldg. Height Limit
175' - 6"

Roof
171' - 0"

Level 08
161' - 0"

Level 07
151' - 0"

Level 06
141' - 0"

Level 05
131' - 0"

Level 04
121' - 0"

Level 03
111' - 0"

Level 02
100' - 3"

Level 01
89' - 0"

1 SOUTH ELEVATION - Facing Republican
3/32" = 1'-0"



- T.O. Penthouse 182' - 4" 
- Bldg. Height Limit 175' - 6" 
- Roof 171' - 0" 
- Level 08 161' - 0" 
- Level 07 151' - 0" 
- Level 06 141' - 0" 
- Level 05 131' - 0" 
- Level 04 121' - 0" 
- Level 03 111' - 0" 
- Level 02 100' - 3" 
- Level 01 89' - 0" 

① EAST ELEVATION - Facing 3rd Ave W
 3/32" = 1'-0"



① NORTH ELEVATION - Facing Adjacent Property
 3/32" = 1'-0"



- T.O. Penthouse 182' - 4" 
- Bldg. Height Limit 175' - 6" 
- Top of Parapet 174' - 6" 
- Roof 171' - 0" 
- T.O. Roof Deck 162' - 1" 
- Level 08 161' - 0" 
- Level 07 151' - 0" 
- Level 06 141' - 0" 
- Level 05 131' - 0" 
- Level 04 121' - 0" 
- Level 03 111' - 0" 
- Level 02 100' - 3" 
- Level 01
— Lowest Level Fire Department Access 86' - 0" 

① WEST ELEVATION - Facing Alley
3/32" = 1'-0"

Section 12
Material and Color Palette



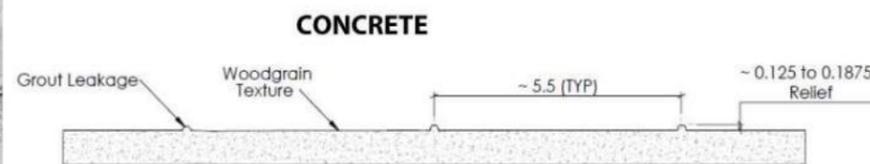
42" Black Metal Picket Fence - North End



Example of Concrete w/
Graffiti Coating



Exposed Concrete Walls



RIBBED



IVORY

Nichiha Cement Panel
Wall Panel - Ribbed & Flat Panel
Color: Ivory



THE BRICK BOOK
COLORS | TEXTURES | ASTM
Traditional Iron Wash

COLOR: Coal Creek
TEXTURE: Coated
TYPE: Stocking
PLANT: Columbia, OR
COLLECTION: The Northwest
Collection

ASTM: ASTM C-216, SW, FBA

Due to the limitations of photography, the actual product shipped is not guaranteed to duplicate the image shown here. Final color and product selection should be made from actual samples.

**Special Order Colors require a minimum order. Additional production time should be allowed.

Considering brick for your project?
For samples and ordering information, contact your
Mutual Materials Sales Representative or call
800.458.4220.



Mutal Materials
Color: Coal Creek
Texture: Mission
Mortar: Gray (natural)

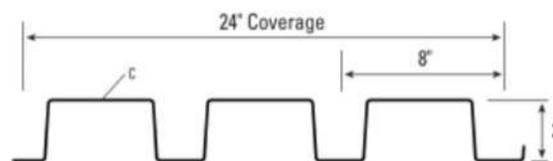
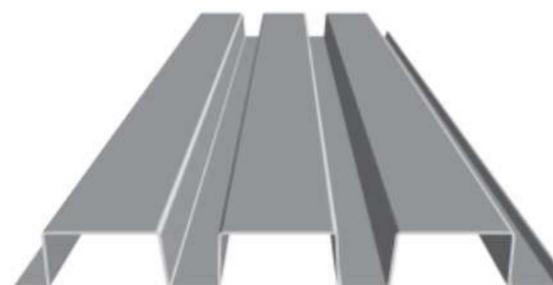


Tilt/Turn Unit Glazing
Flanged Vinyl windows
Color: Black & White (Per Elev)



Taupe (74)

SR = 0.44 TE = 0.87 SRI = 49



T13 Wall Panel
3" Rib Height
24GA
24" Panel Coverage
Exposed Fasteners
Acrylic Coated Galvalume Finish





Previous Design



Previous Design

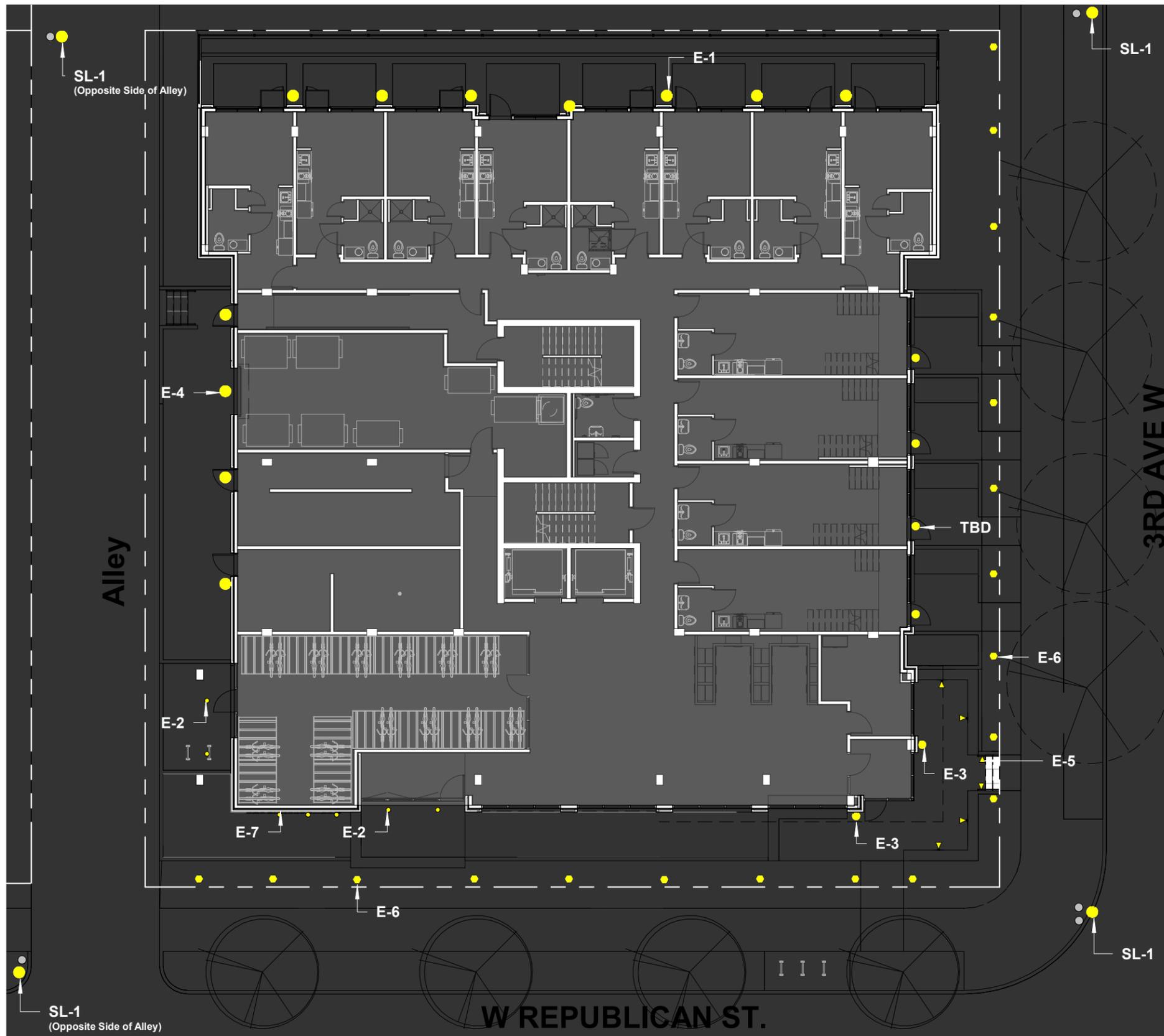


Section 14

Exterior Lighting Plan

DC4 - Commercial Lighting

A rhythm of up/down wall mounted building lighting is proposed along the base of the building. At the lower level residential units the fixture type would change type to help create an individual expression and residential feel. The concrete landscape # 2 planters along 3rd Ave and Republican Street shall have appropriate pedestrian-scaled lighting within the planters. All lighting is intended to provide both security and visual interest to the building.



SL-1 Existing Pole mounted "Cobra head" Street Light



E-1 Wall Mounted Sconce Down building Light



E-2 Soffit Surface Mount



E-3 Wall Mounted Sconce



E-4 Wall Mounted Downlight



E-5 Cast-In Place Step Light



E-6 Low Voltage Landscape Lighting



E-7 Signage Wall-Wash



1 Site Lighting Plan - Current Proposal
1/16" = 1'-0"



Partial 3rd Ave Elevation - Conceptual Lighting



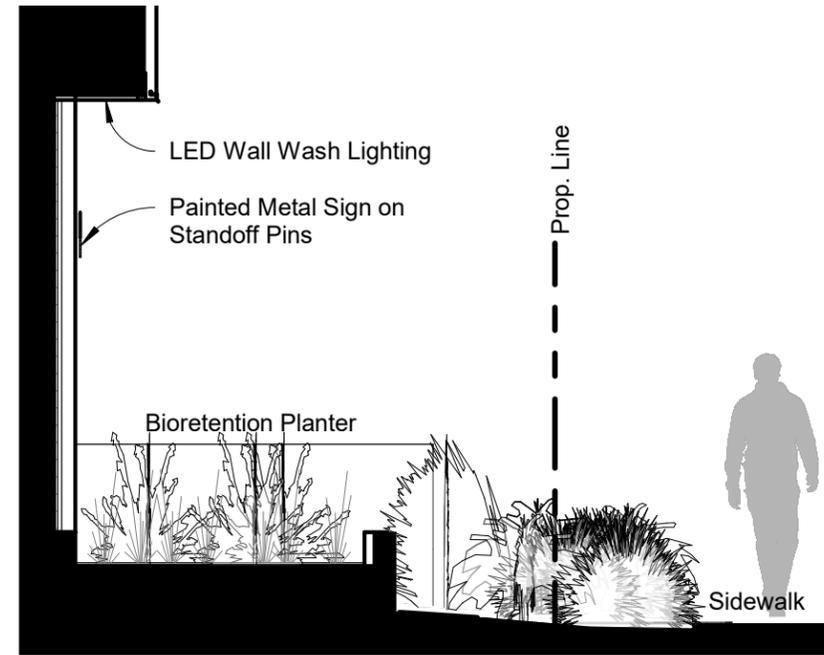
Partial Republican Street Elevation - Conceptual Lighting

Section 15

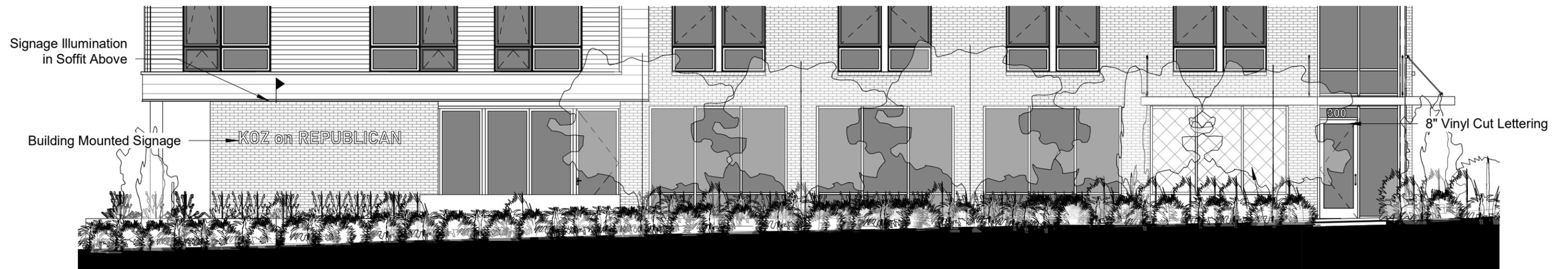
Signage Concept Plan

Signage

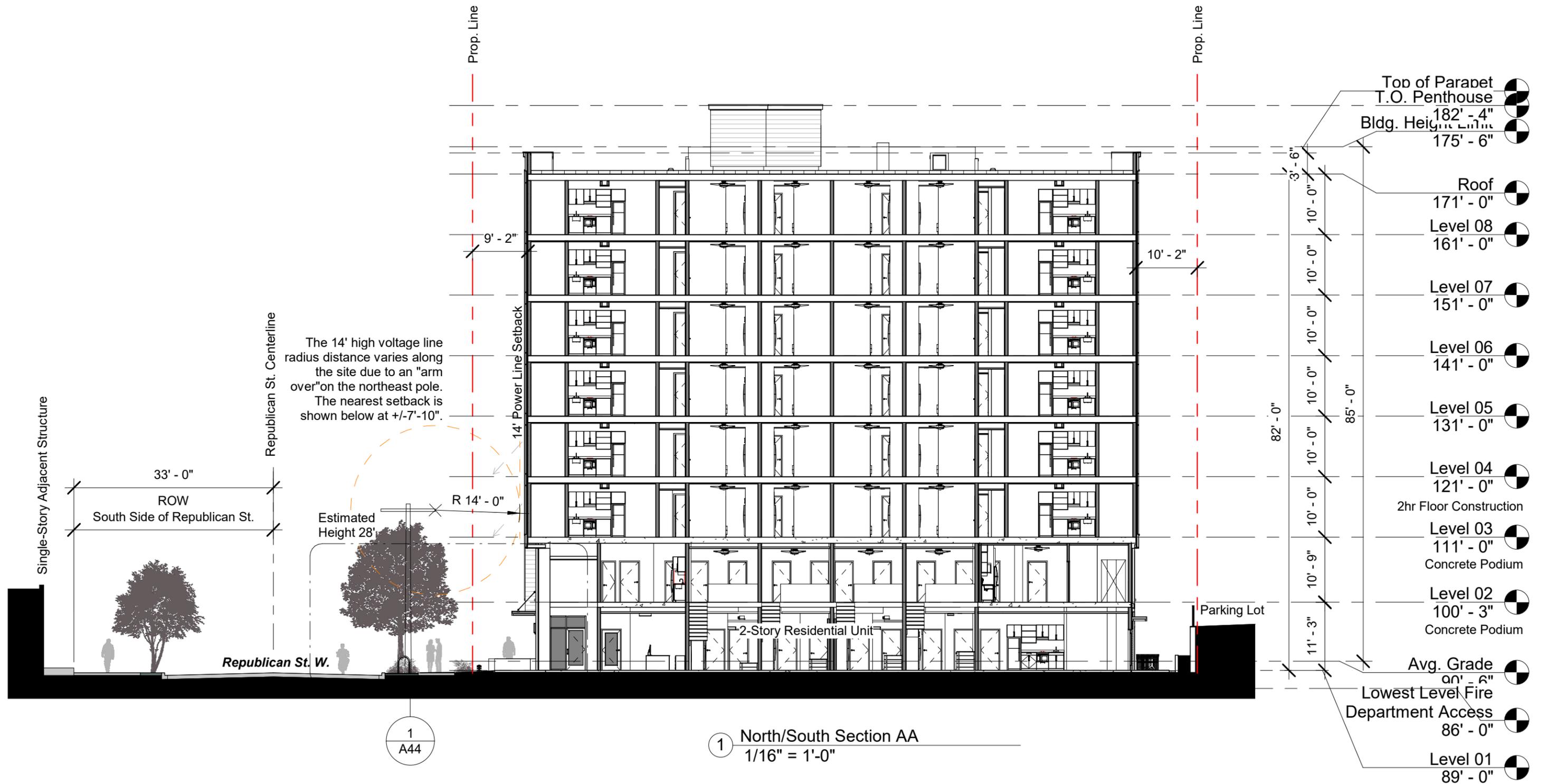
The building signage is intended to provide building identity and branding for the project but is not intended to be an overwhelming architectural design feature or as advertisement.



② Signage Section
1/4" = 1'-0"



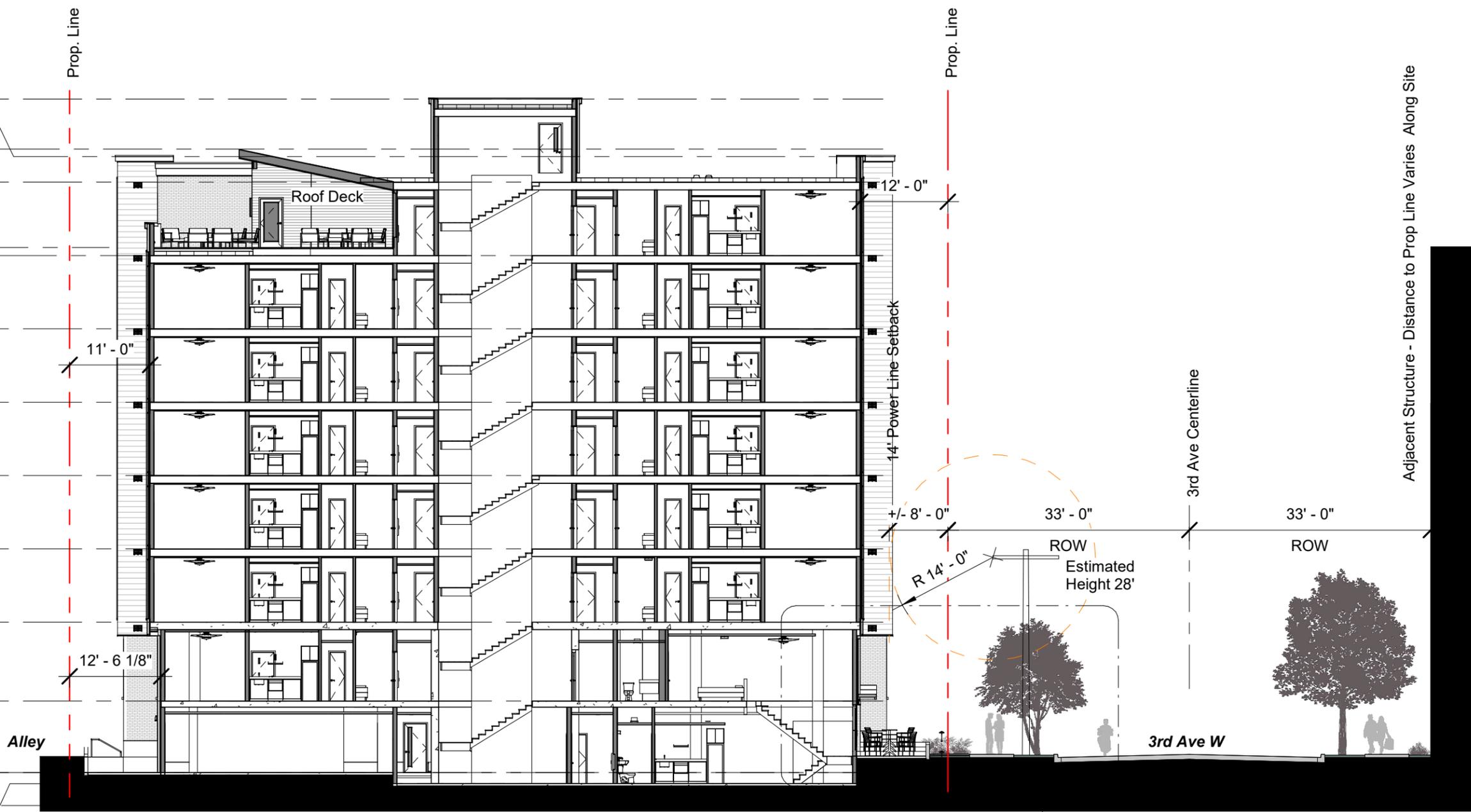
① Signage Elevation
1/8" = 1'-0"



1 North/South Section AA
1/16" = 1'-0"

1
A44

- Top of Parapet
- T.O. Penthouse
- 182' - 4" Flight Limit
- 175' - 6"
- Roof
- 171' - 0"
- T.O. Roof Deck
- 162' - 1"
- Level 08
- 161' - 0"
- Level 07
- 151' - 0"
- Level 06
- 141' - 0"
- Level 05
- 131' - 0"
- Level 04
- 121' - 0"
- Level 03
- 111' - 0"
- Level 02
- 100' - 3"
- Avg. Grade
- 90' - 6"
- Lowest Level Fire Department Access
- 86' - 0"
- Level 01b
- 90' - 6"
- Level 01
- 89' - 0"



Adjacent Structure - Distance to Prop Line Varies Along Site

1 East/West Section CC
1/16" = 1'-0"

2
A44

APPENDIX

THE FOLLOWING PAGES ARE TAKEN FROM THE FEBRUARY 17, 2021
EDG PACKET AND THE AUGUST 18, 2021 DRB PACKET
PAGES ARE INCLUDED FOR REFERENCE ONLY.

NO NEW INFORMATION



Existing Southwest Corner.
 Little to no response to planned minor node.
 Little to no response to planned green street.



Existing Street View Facing North on 3rd Ave W
 Planting strips are evident on both sides of the street
 between the sidewalk and the road.

Urban Design

BUILDING SITE CONTEXT

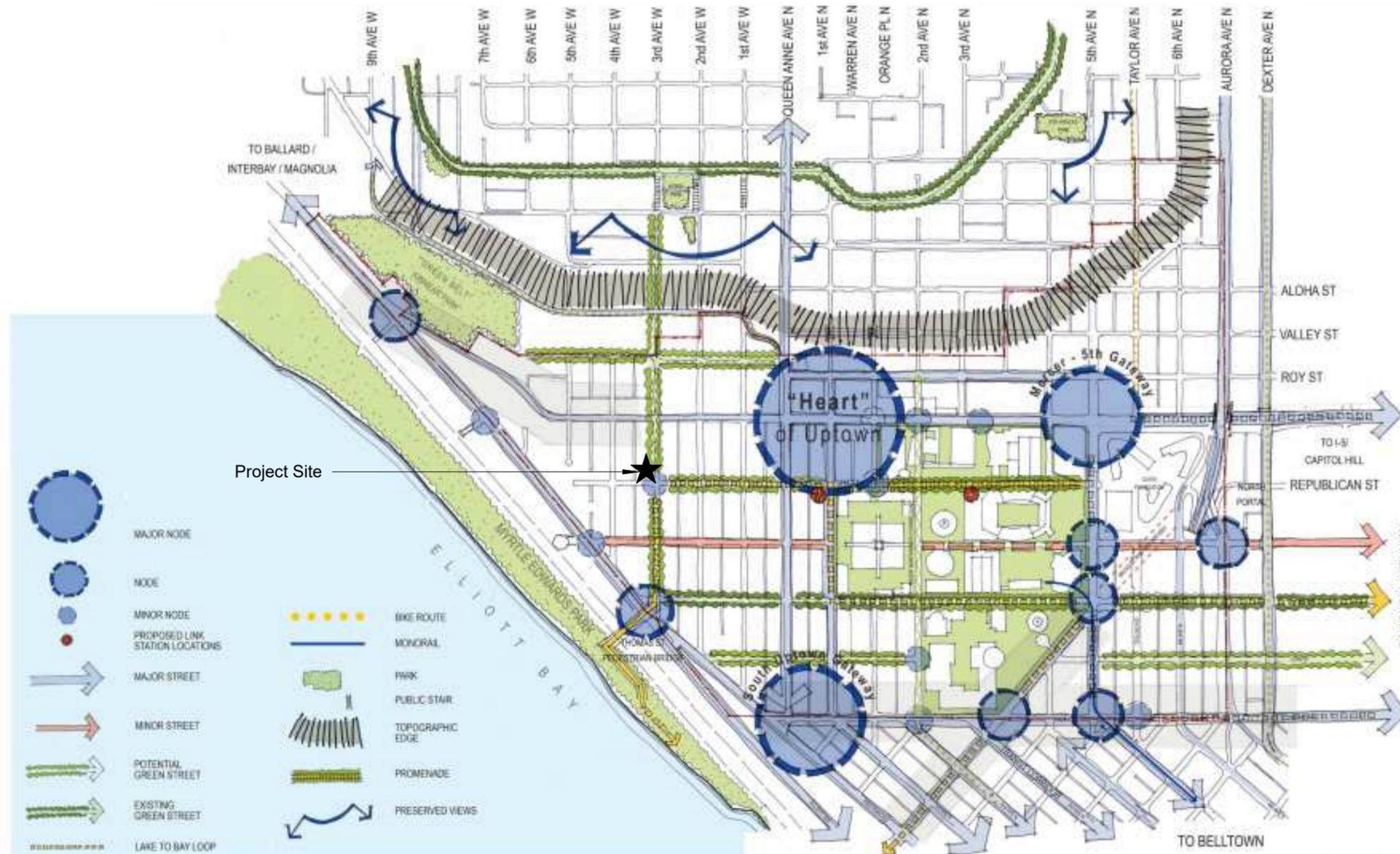
The project site is located on a minor community node corner a few blocks west of the "heart of uptown".



Existing Northeast Corner of 3rd and Republican.
 Minimal response to planned minor node.
 Street trees and planting seem to respond to
 planned green street concepts.



Existing Southeast Corner of 3rd and Republican.
 Minimal response to planned minor node.
 Street trees and planting seem to respond to
 planned green street concepts.



A sketch of activity nodes, gateways, view corridors, open space, and transportation. (City of Seattle)

Project Site

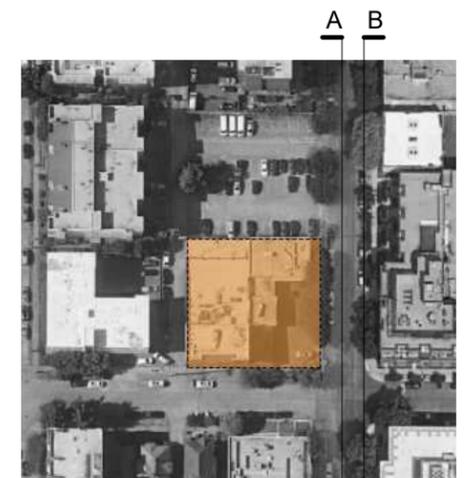


A: 3rd Avenue West Street Elevation Looking west.

Opposite of Site



B: 3rd Avenue West Street Elevation Looking east.



Site Map

Existing street elevation images taken from the previous EDG design packet created by WeinsteinA+U

Project Site



A: West Republican Street Elevation Looking north.

Opposite of Site



B: West Republican Street Elevation Looking south.



Site Map

Existing street elevation images taken from the previous EDG design packet created by WeinsteinA+U



A: Alley Elevation Looking west.



B: Alley Elevation Looking east.



View looking South Down Alley

The adjacent properties facing the alley, opposite the project site, all have comparable building features; A row of vehicle parking in front of the building, dumpster staging in various locations, pockets of landscaping, open balconies or walkways, and unit windows looking onto the alley.

Parking and dumpster staging in the alley is common on all sites.



A B

Site Map



A) View of northeast power pole on 3rd. Showing existing street lighting and high voltage lines along 3rd Ave.



B) View facing north showing the southeast power pole with high voltage lines running up 3rd Ave.



C) Site view facing northwest showing the southeast power pole with high voltage lines running up 3rd Ave and along Republican Street.



D) Southeast power pole with high voltage lines running up 3rd Ave and along Republican Street.



E) Site view facing south from the adjacent parking lot.



F) Site view facing north into the alley showing the southwest power pole with high voltage lines running up the alley.



G) Site view facing north showing the northwest power pole with high voltage lines running up the alley.



H) Architectural character on the existing 3rd street building.



I) View of existing brick building facing north along Republican street.



J) Existing wood and masonry building.

Site Photos



Site Map



A) Single story business on the south side of Republican Street directly across from the project site.



B) 2-story residential single family homes on the south side of Republican across from project site.



C) 5-story residential building on the south side of Republican Street, southwest of the project site.



D.1) 4-story residential building on the west side of the alley facing Republican street.



D.2) 4-story residential building on the west side of the alley. Courtyard facing the alley.



E) Multi-family residential buildings northeast of the site facing the alley.



F) 9-story residential building directly north of the project site with the pay-per-use parking lot in the foreground.



Site Map



G) Multi-family residential building northeast of the project site along the east side of 3rd Ave.



H.1) 5-story residential building on 3rd Avenue directly across from the project site.



H.2) 5-story residential building on the the corner of Republican Street and 3rd Avenue facing Republican Street.



I) Holland America Group Building southeast across Republican and 3rd.

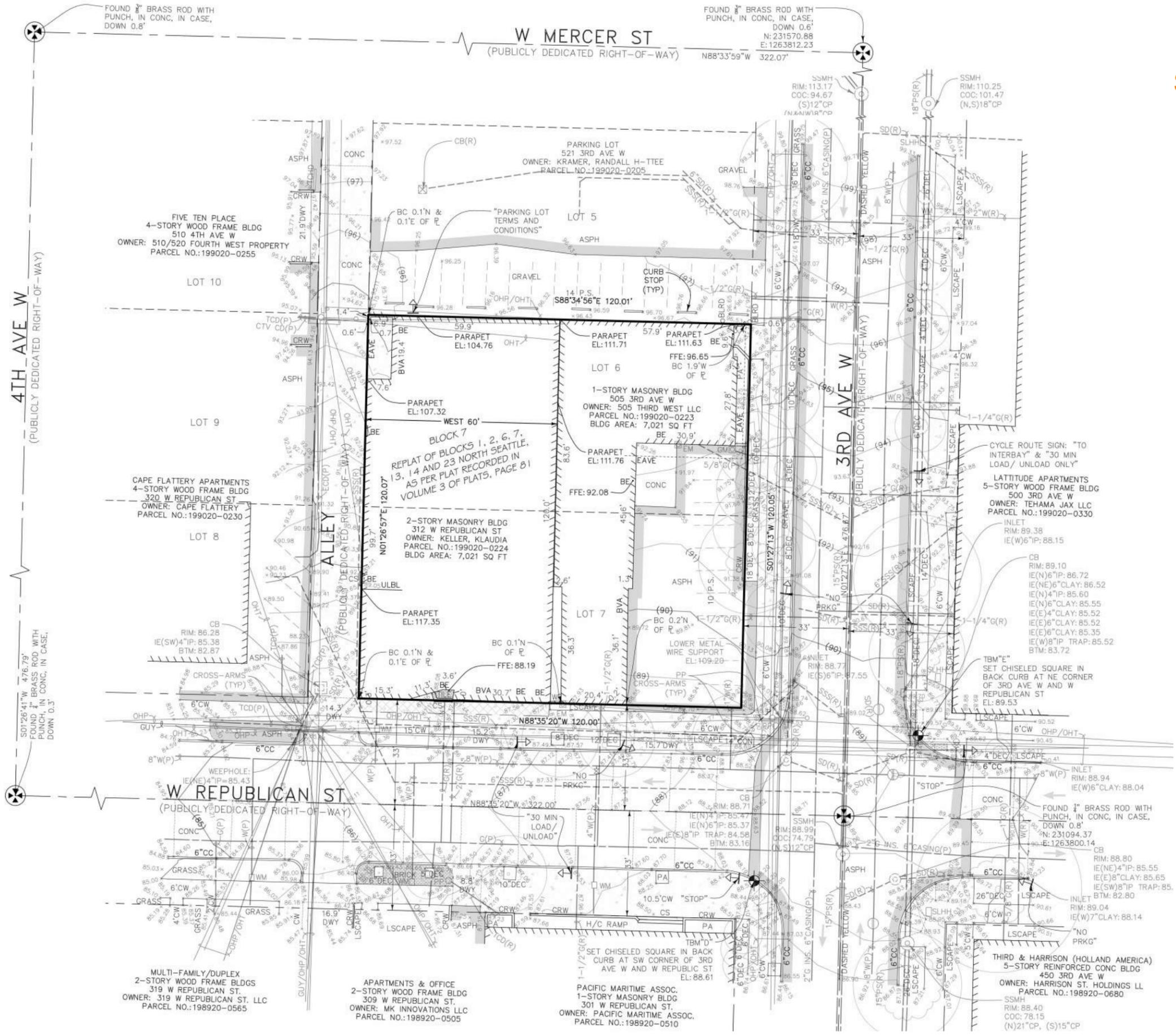


J) New Multi-family residential building southeast along the south side of site along Republican.



Site Map

Site Survey



Responding to Design Guidelines



Example of Grade Transition at Residential Units.



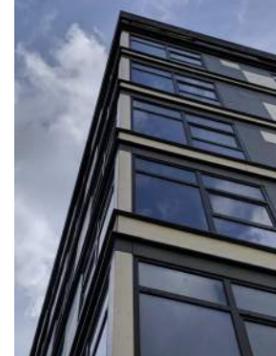
Example of Interior Unit Grade Transition.



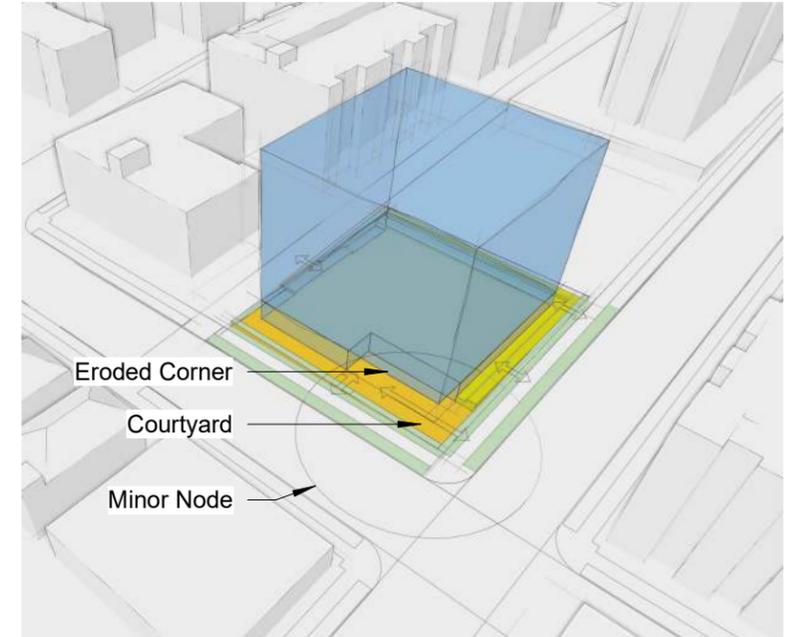
Example of Nichiha panel with vinyl flanged VPI window.



Example of vinyl flanged window with proposed brick detailing.



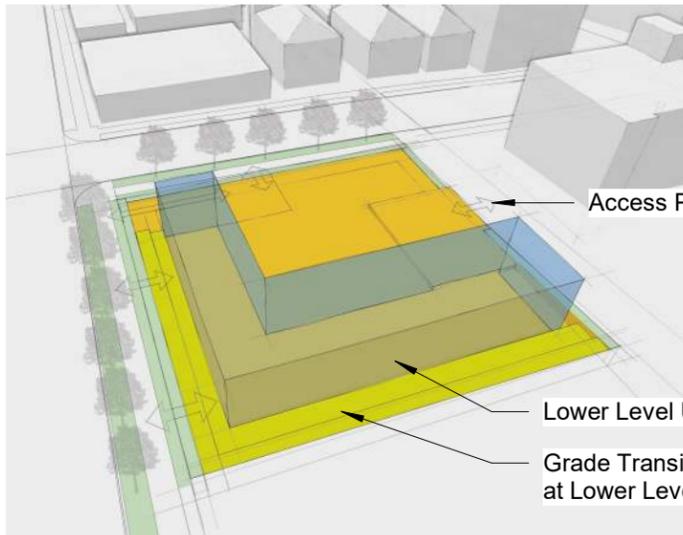
Example of Metal Trim Used for Depth



Eroded Corner

Courtyard

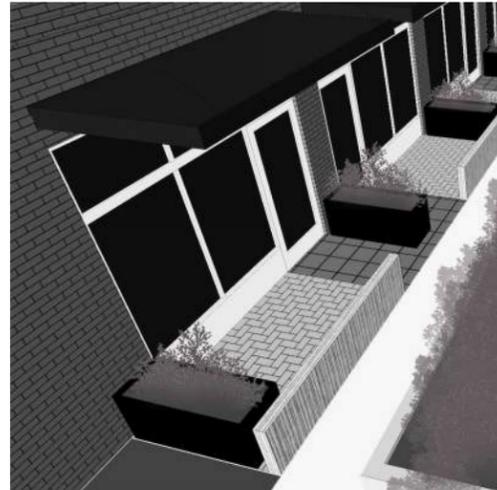
Minor Node



Access Points

Lower Level Units

Grade Transition at Lower Level Units



Example of Residential Unit Patios.



Example of Eroded Corner and Street Level Courtyard

CONTEXT & SITE

CS1 NATURAL SYSTEMS AND SITE FEATURES

Use natural systems and features of the site and its surroundings as a starting point for project design.

1.) Topography

- The ground level of the building will respond to the existing topography of the site, particularly along 3rd Ave. Entry points onto the site will be located at strategic points that work with the existing grades.
- The transition between the sidewalk and entry stoops will incorporate landscaping, stairs, and rockeries to provide a visual connection and a boundary between private and public. The goal will be to provide screening and privacy to the units while still creating an attractive pedestrian experience.
- Fencing is planned to be used as additional screening and security, and will step or respond with grade changes.
- Screening, fencing and gates will be open and transparent to the public way for a balance of privacy and visibility that promotes safety via "eyes on the street".

PUBLIC LIFE

PL3 STREET LEVEL INTERACTION

Encourage human interaction and activity at the street level with clear connections to building entries and edges.

2.) Residential Edges on Pedestrian Streets

- Level 1 unit entries shall incorporate ground floor "porch" features such as low-level landscaping, paving, lighting, and stoops to create individual safe private outdoor spaces.
- Window shades for ground floor units shall raise and lower from the top and bottom to provide interior natural light and privacy.
- Operable windows shall be provided at all ground floor units. Glazing to be maximized as allowable by code to enhance security and provide natural interior light.
- All entrances, courtyards, walkways, and usable spaces shall be designed for accessibility and universal access.
- Weather protection shall be proposed at level 1 unit entries.
- A physical "threshold" along 3rd ave and Republican with a wide +/-6' planter is proposed to provide separation and pedestrian interest.

CONTEXT & SITE

CS2 URBAN PATTERN AND FORM

Strengthen the most desirable forms, characteristics and patterns of the surrounding area.

1.) Sense of Place: Placemaking

3.) Corner Sites

- Pedestrian level lighting within the planters and around the building will be used to enhance, encourage, interest and provide security for pedestrians.
- Create a unique architectural gesture at the corner of 3rd and Republican that becomes a focal point for the project that addresses the unique corner location.
- Use open space at the main level to promote activity and "activate" the corner at the pedestrian level.
- Locate interior common space adjacent to the exterior open space to add interest and promote additional engagement at the pedestrian level (potential for spatial connection).
- Integrate the building entry along with the exterior open space.
- The primary building entry shall engage the street, sidewalk and shall be identifiable using key features such as storefront glazing, canopy for weather protection, changes in materials, and articulation of the building mass. The building entry shall be a pedestrian focal point.

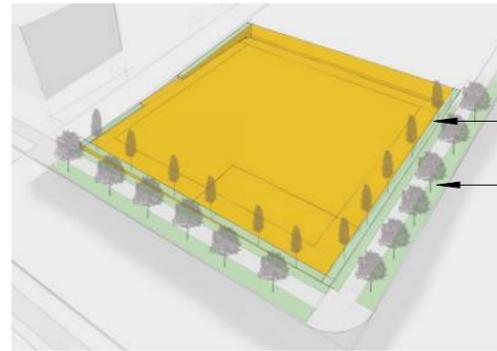
Responding to Design Guidelines



Example of architectural scale and quality detailing.



Example of an "edge" using architectural features and landscaping.



Landscape Design Intent.



Example of landscape lighting.



Lighting used for security and pedestrian engagement/interest.



Short-term bike storage strategically placed to encourage usage.



Example of well lit and well designed bike storage

DESIGN CONCEPT DC2 ARCHITECTURAL CONCEPT

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

1.) Architectural Context

- Building materials and architecture shall emphasize human scale, streetscape rhythm, and quality detailing.
- Design considerations shall be given to all facades of the project. Materials, massing, and form shall be translated around all corners and intentionally wrapped and detailed to continue the design concept on all parts of the structure.
- Ground level courtyards shall engage the public ROW and will encourage interaction at the pedestrian level.
- Low level landscaping and other architectural features provide an "edge" at the interface of the courtyards and public ROW.
- Street trees and yard trees will be proposed to add texture, color, screening, and scale at the pedestrian level.

DESIGN CONCEPT DC4 EXTERIOR ELEMENTS & FINISHES

Use appropriate and high-quality elements and finishes for the building and its open spaces

1. Building materials
2. Signage
3. Lighting
4. Landscaping

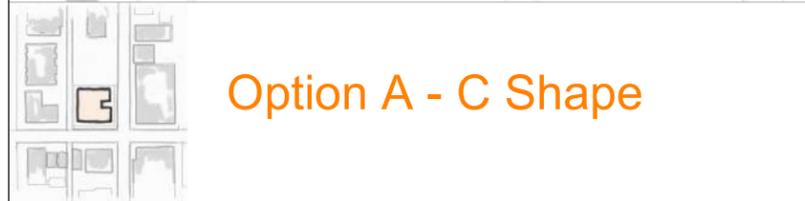
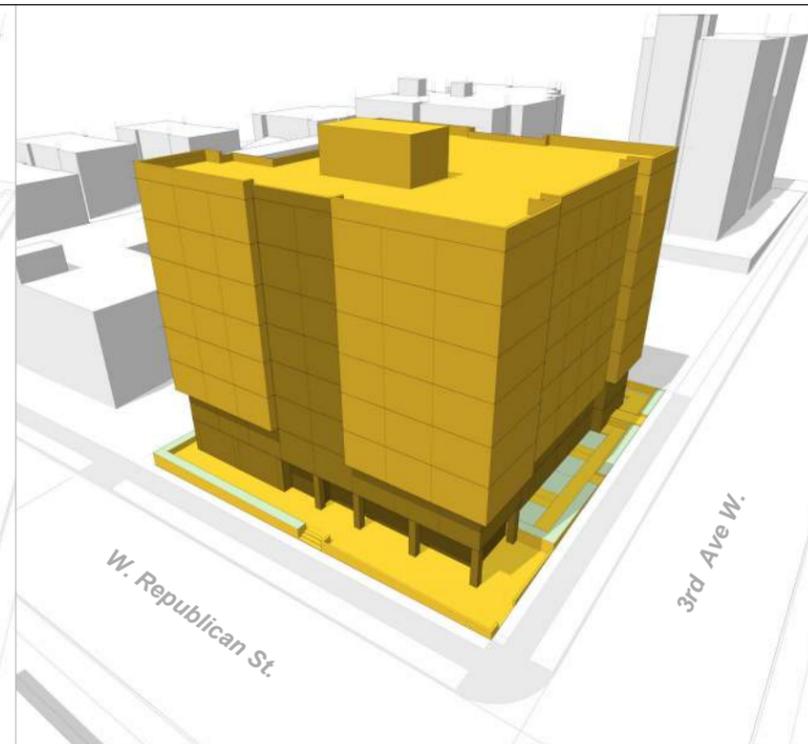
- Wall mounted building lighting shall be proposed along the base of the building. At the lower level units the fixture type would change style to help create an individual expression and residential feel.
- The landscape planters along the sidewalks shall have appropriate pedestrian-scaled lighting within the planters.
- Lighting shall be used to provide security, safety, and interest to outdoor spaces and building features such as entries and feature walls. Warm tone diffuse lighting shall be used to prevent unneeded light pollution to the surrounding area.
- Building signage: A building sign will be used to identify the building and will incorporate elements of color and light to create a unique, creative, and individual expression for the project.
- Material choices will reflect quality, durability, and shall consider maintenance and longevity, such as materials that do not require re-painting or continuous maintenance.
- Materials shall provide texture and help to emphasize mass and scale.
- Plant selection shall consider height, texture, durability, and species variation. Native, low maintenance, low resource planting shall be proposed. Planting shall be used to emphasize edges and create zones at the pedestrian level.

PUBLIC LIFE PL4 ACTIVE TRANSPORTATION

Incorporate design features that facilitate active forms of transportation such as walking, bicycling and use of transit.

2.) Planning Ahead for Bicyclists

- Long-term bike storage shall be conveniently located for the bicycle riders ease of use (towards the front of the project adjacent to the entry).
- Safety and security of long-term bike parking will be a design priority. Natural light, security cameras, room location/design and locking doors shall be proposed.
- Short-term bike parking to be located at or near the main entry within the ROW and will have "Uptown" branding on the "inverted U" racks.
- Parking is not provided for the project and vehicle ownership for the tenants is not encouraged.



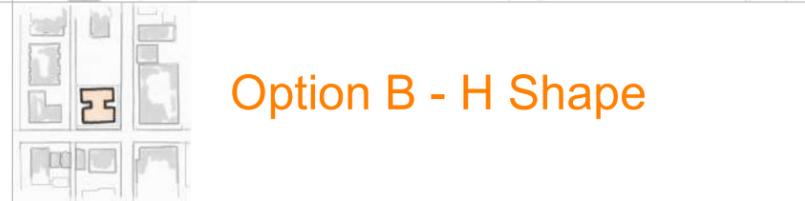
Option A - C Shape

Pros:

- Activates the corner at the pedestrian level with a moderately sized courtyard adjacent to interior amenity.
- Deep recess in the east facade creates visual interest.
- Angled wall creates drama and pulls attention to the corner.
- Level 1 base relief and facade treatment responds to the corner and provides pedestrian level scale.
- Base level around the site responds to grade conditions.

Cons:

- Unit views within the recessed area of the building along 3rd Ave will be compromised.
- Although the recessed C shape provides visual interest to the east facade; the massing feels forced and does not respond to the internal program as well as the preferred option.
- Smallest ground level courtyard of all options.
- Due to site constraints and internal program the angled wall may be difficult to achieve and would be more successful if the angle were greater or more acute.
- Lack of articulation in the South facade will need to rely on detailing and window placement.



Option B - H Shape

Pros:

- Activates the corner at the pedestrian level with a large courtyard space adjacent to interior amenity.
- Level 1 base relief and facade treatment responds to the corner and provides pedestrian level scale.
- Greatest number of desirable corner units.
- Alley courtyard responds to the adjacent building courtyard.
- Base level around the site responds to grade conditions with individual unit entries along 3rd Ave.

Cons:

- Complicated overall form.
- Least variation in unit type. This building option deletes an entire unit type from the program.
- Upper level roof deck is extremely compromised by the building form.
- Unit views within the two recessed areas of the building will be compromised.
- Facade modulation of the exterior does not respond to internal program and layout.



Option C - Full Square Preferred Option

Pros:

- Activates the corner at the pedestrian level with a large courtyard space adjacent to interior amenity.
- Level 1 base relief and facade treatment responds to the corner and provides pedestrian level scale.
- All units are outward facing.
- Base level around the site responds to grade conditions.
- Facade modulation of the exterior responds to internal program and layout.
- The massing form is simple, restrained, and effective.
- Greatest variation in unit types; Note that variation in unit type is one of uptown's encouraged priorities.

Cons:

- Lack of deep reliefs may make the structure feel larger than the other options.

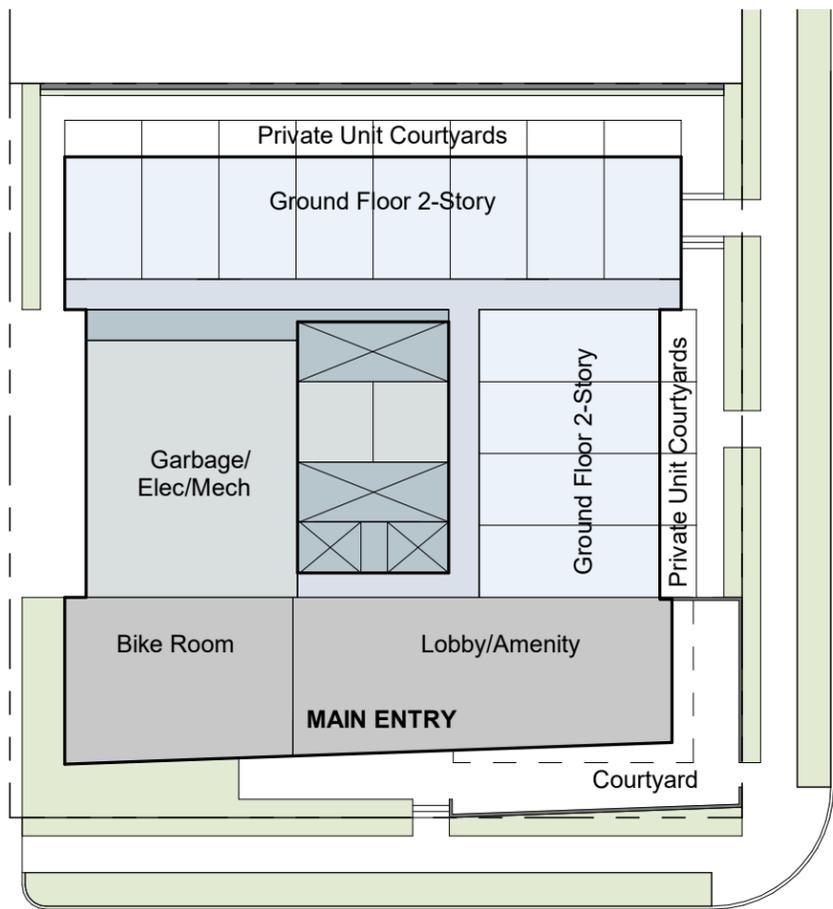
Note:

Coloring depicted in the massing model is meant to show possible material variation only and is not representative of the final building material color.

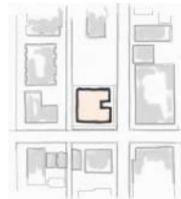
All options:

- The proposed building mass for all options is set back from the property lines +/-12' along 3rd and Republican due to overhead power line constraints adjacent to the site. The adjacent structures to the east and west are also set back from their property lines approximately equal distance for the same reason and if the parcel to the north is developed in the future the power line constraint will likely set that project back from the property line as well. The alley facade is similarly constrained by overhead lines and is set back from the property line however, this constraint allows "breathing room" from the adjacent structure.
- All design options have units facing the alley which is a common theme along this alley; all buildings on the block have alley facing residential units.
- Adjusted base scale; the building scale has been adjusted on all options with a 2' step at level 3 to provide visual interest, modulation, patio space, and pedestrian scale at the lower two levels. The lower level base materials will differ from the materials used above to further emphasize the "base" condition from the overall structure.

Design Options A, B, & C



West Republican St.



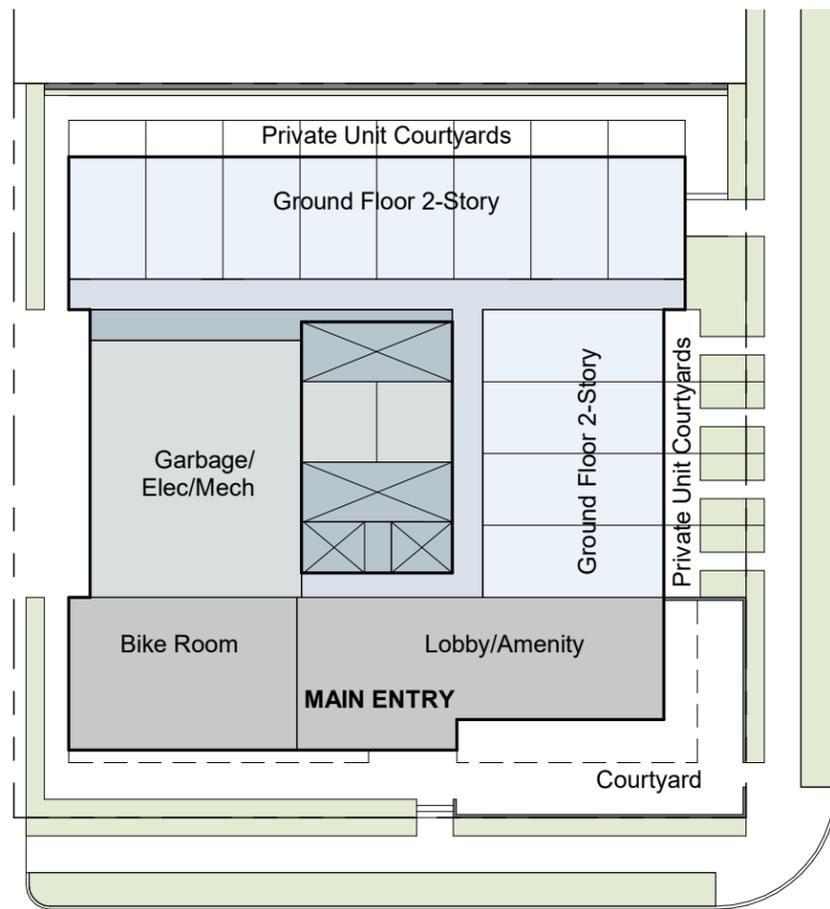
Option A - C Shape

Pros:

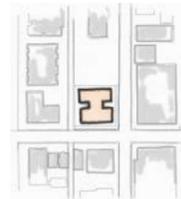
- Activates the corner with a courtyard adjacent to interior amenity.
- Angled wall creates drama and pulls attention to the corner.
- Base level around the site responds to grade conditions.
- Grade level units with individual courtyards arranged around the North and East facades create vibrancy, interest and scale at the pedestrian level.
- Garbage and other building functions arranged in the alley.
- Bike room is prevalent and forward facing.

Cons:

- Smallest ground level courtyard of all options.



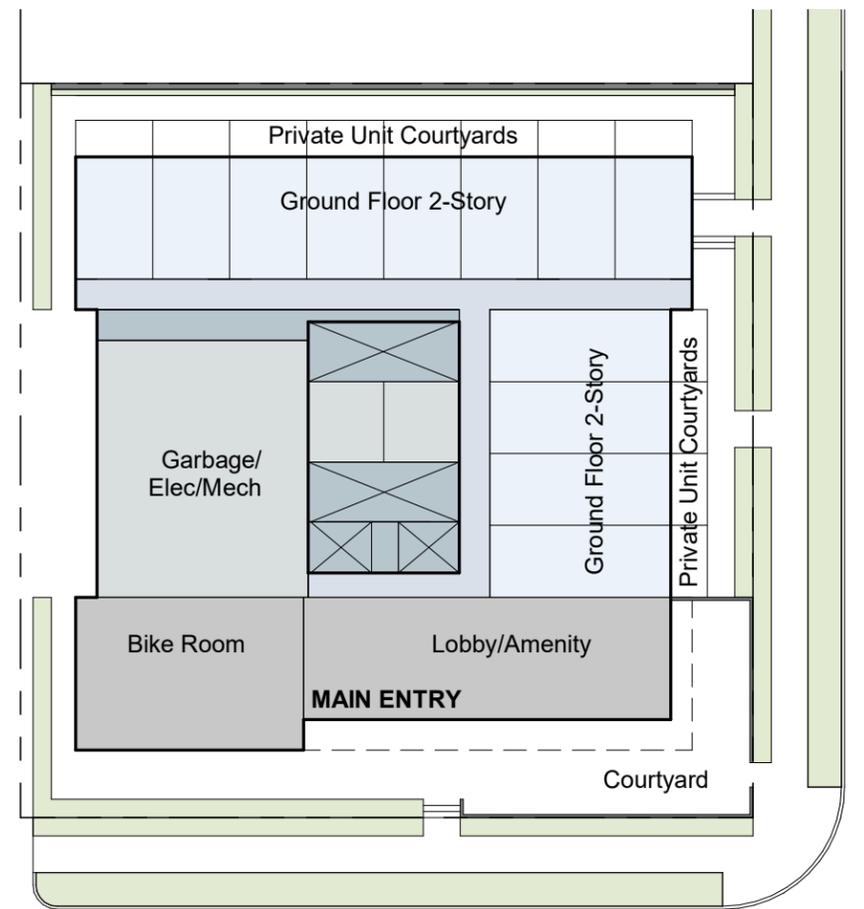
West Republican St.



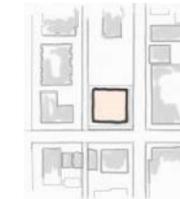
Option B - H Shape

Pros:

- Activates the corner with a courtyard adjacent to interior amenity.
- Base level around the site responds to grade conditions with Individual unit entries along 3rd Ave.
- Grade level units with individual courtyards arranged around the North and East facades create vibrancy, interest and scale at the pedestrian level.
- Garbage and other building functions arranged in the alley.
- Bike room is prevalent and forward facing.



West Republican St.



Option C - Full Square Preferred Option

Pros:

- Activates the corner with a courtyard adjacent to interior amenity.
- Base level around the site responds to grade conditions with Individual unit entries along 3rd Ave.
- Grade level units with individual courtyards arranged around the North and East facades create vibrancy, interest and scale at the pedestrian level.
- Garbage and other building functions arranged in the alley.
- Bike room is prevalent and forward facing.

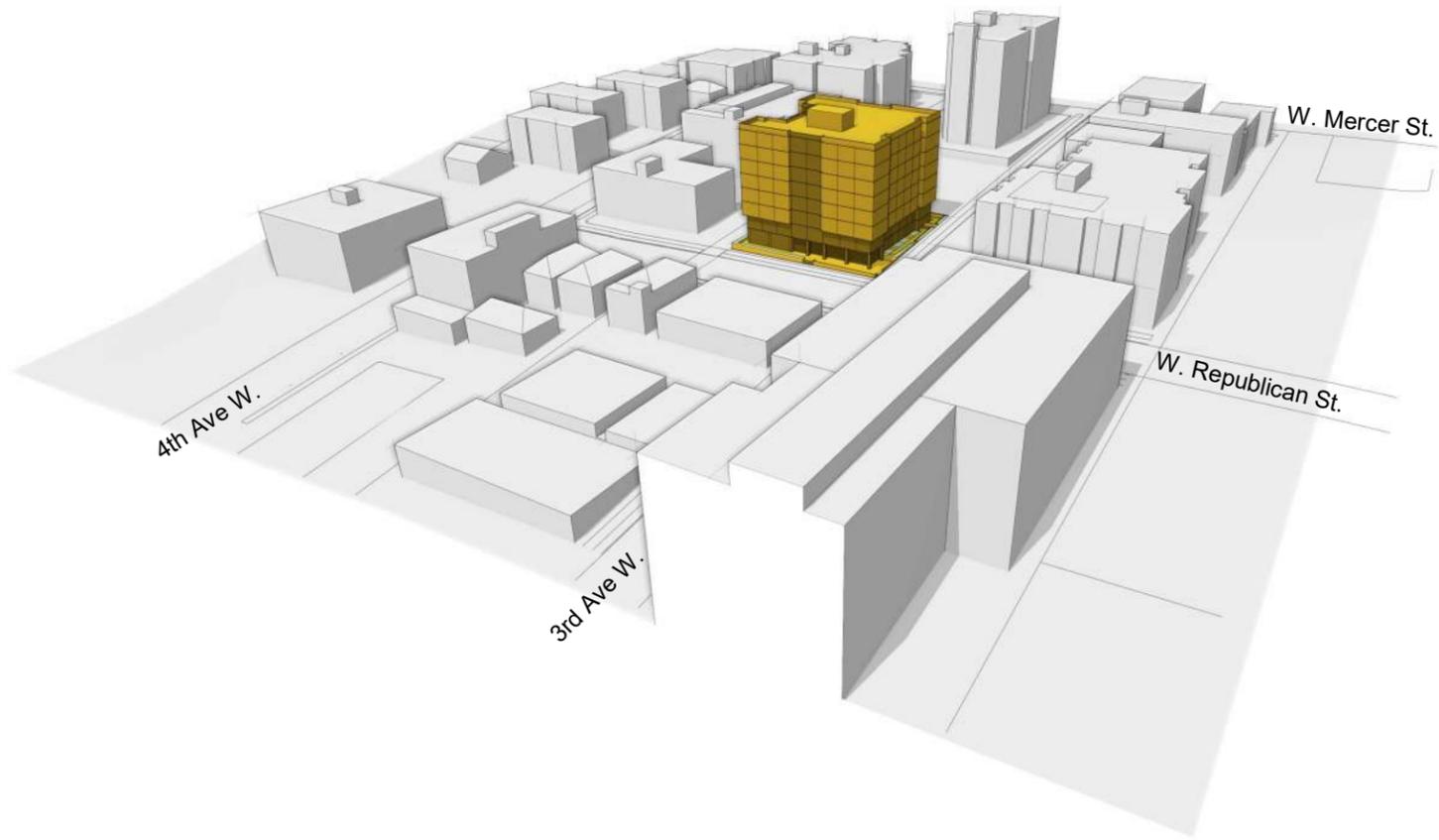
All options:

Neighborhood Green Street and Minor Node Goals:

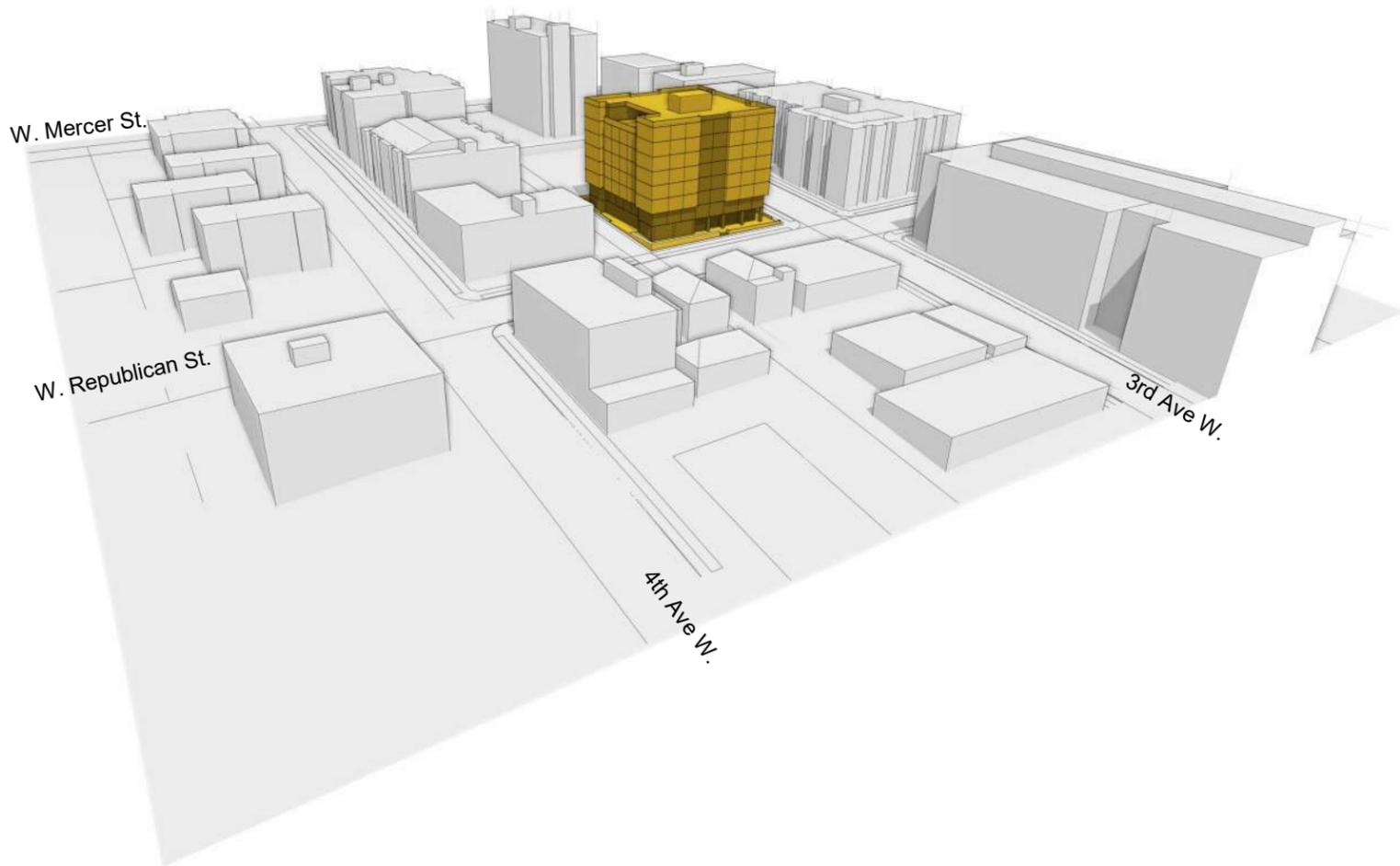
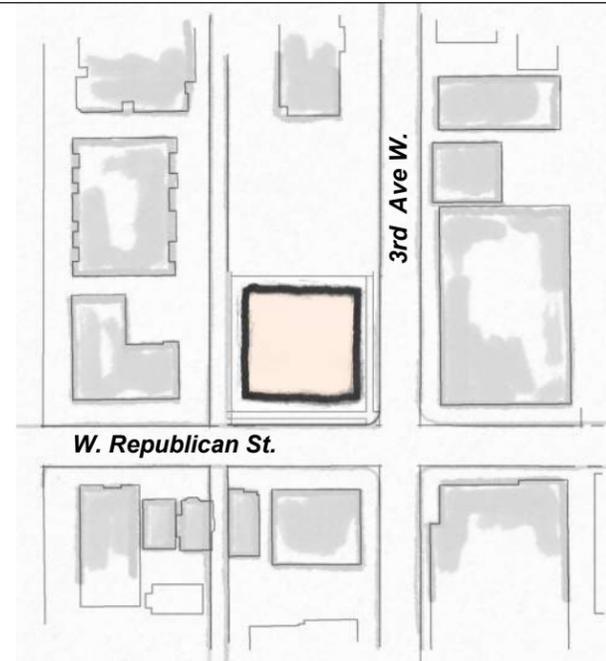
- Reflect the local area's specific streetscape design and patterning landscaping. Maximize where possible. All options propose a 5'-6" planter at the street, 6' Sidewalk, and 3' planter at the property line.
- All options use grade level courtyards and individual porch entries to enhance the pedestrian environment and attract pedestrians.
- Open space opportunities in all options have been maximized as much as possible at the ground level.



Design Options A, B, & C Site Plan

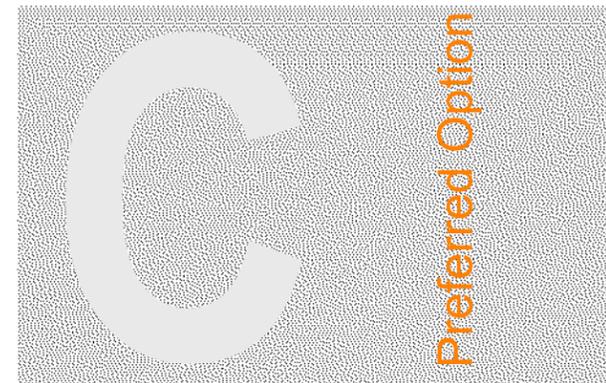


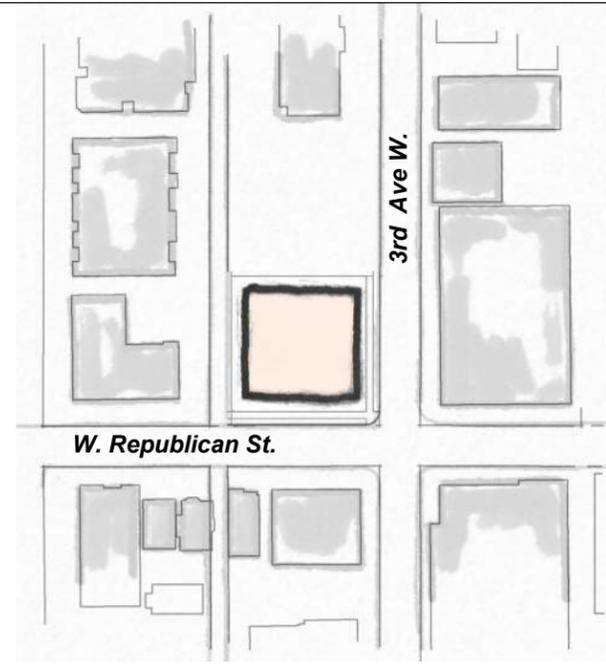
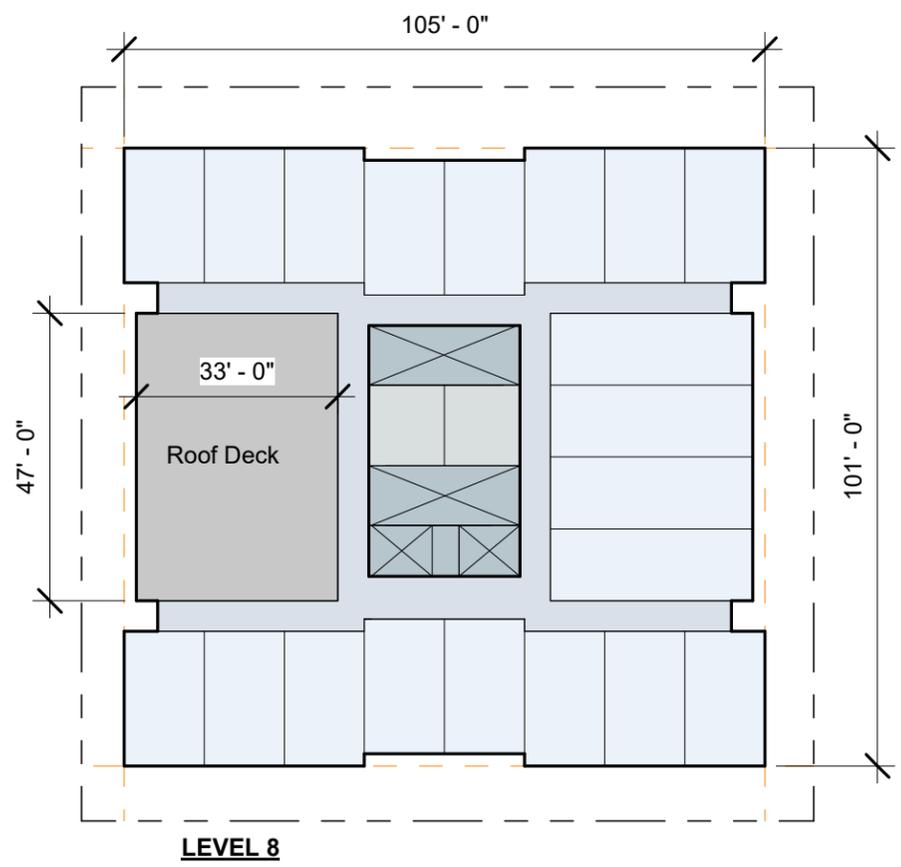
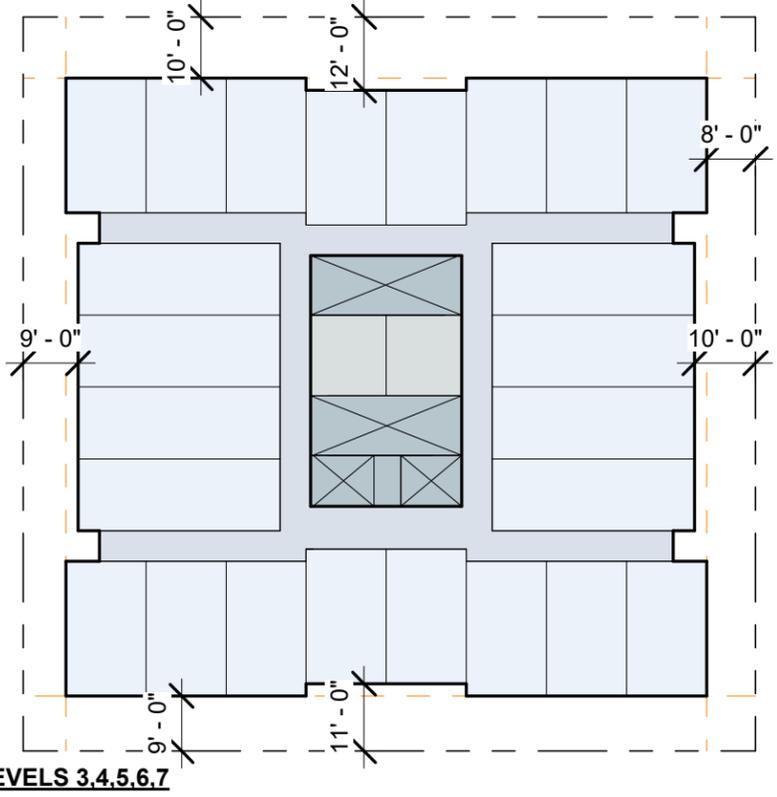
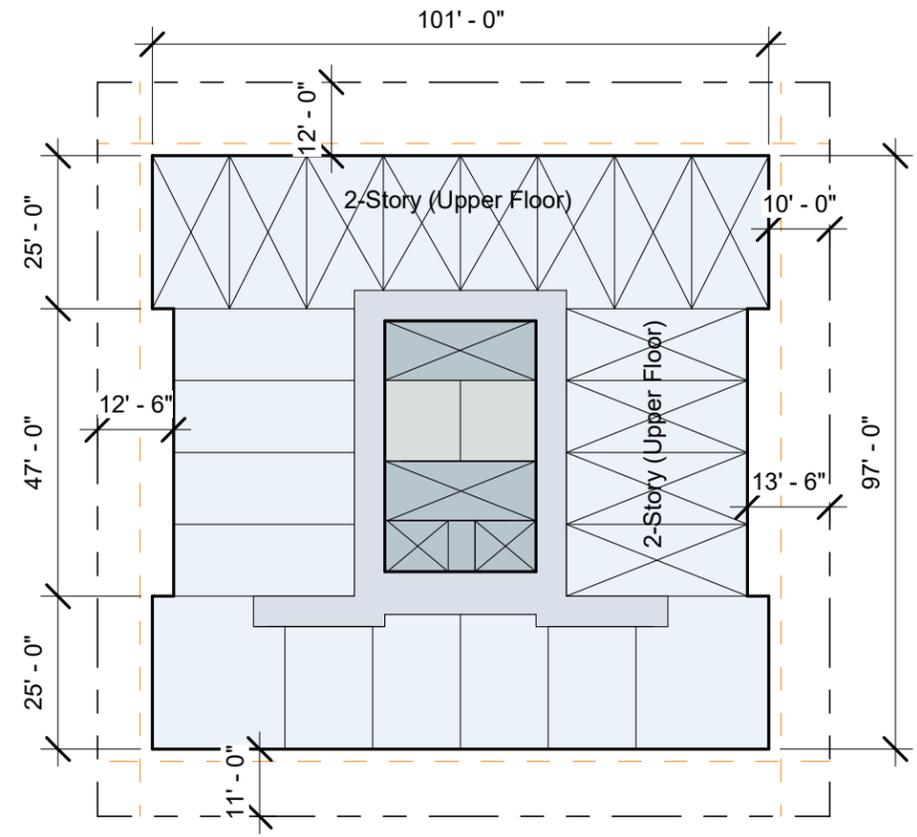
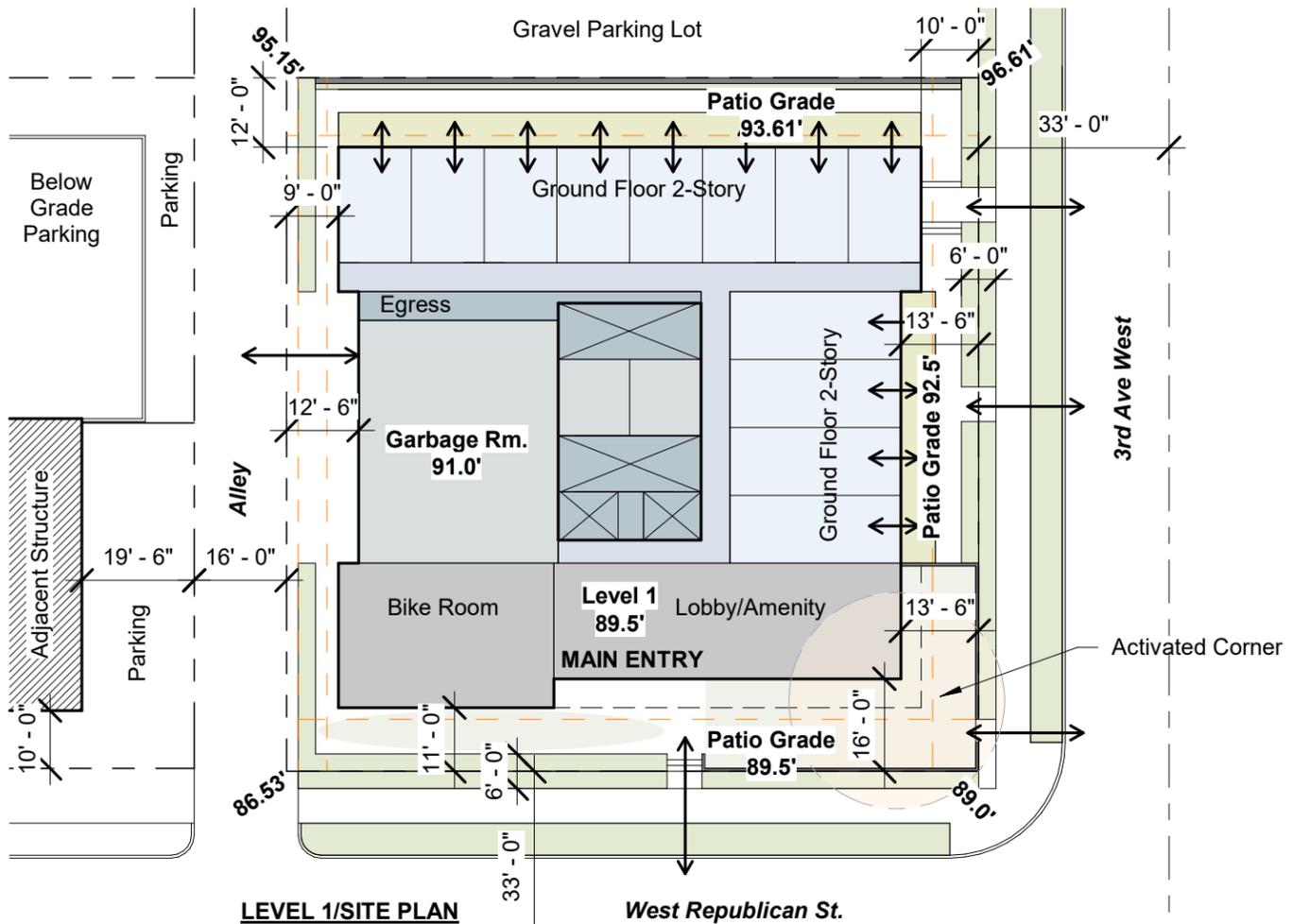
- 162-units.
- Greatest variation of unit sizes of all options.
- Organized central core with vertical circulation.
- Views from all units are outward facing.
- Maximizes units facing south along Republican.
- Minor modulation of the exterior facades is allowed by the internal program and layout.
- Desirable corner units (4) per floor.
- Large roof deck on west facade.



Option C - Full Square

Vicinity Map

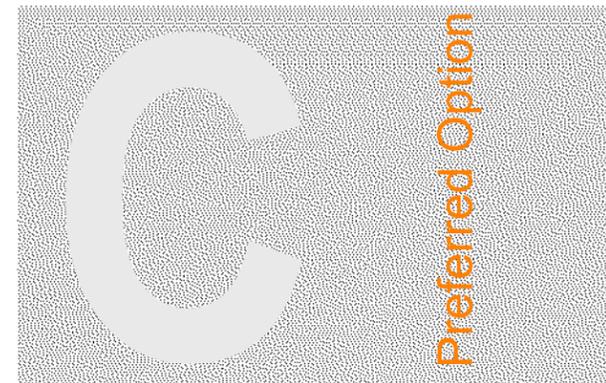


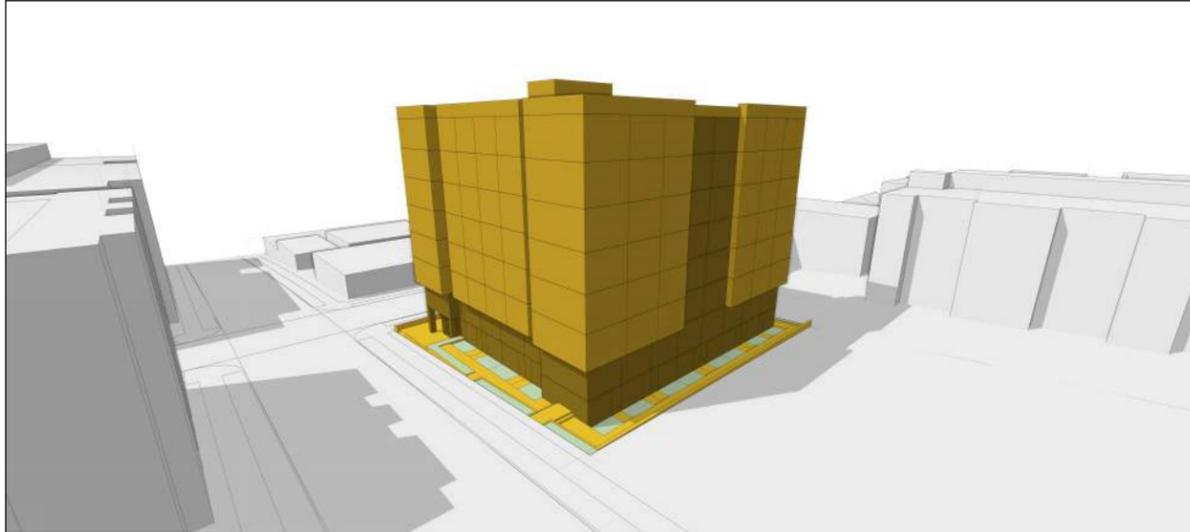


Option C - Full Square

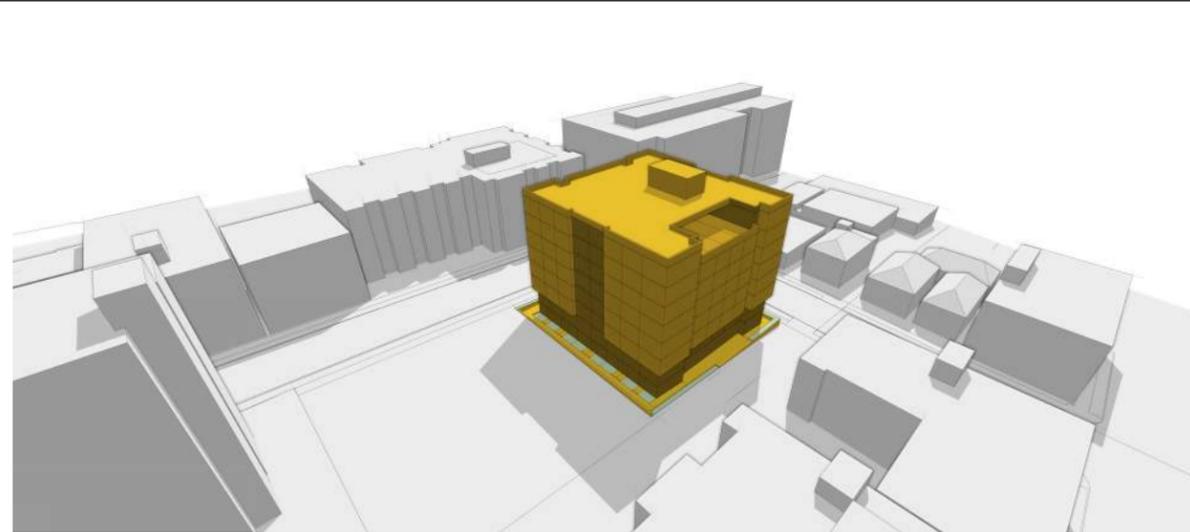
- Option A Summary**
- Total Units: **162 Units**
- (10) 1br
 - (4) 2br
 - (48) Urban
 - (100) Studio

- - - - - Building Setback
- Building Circulation
- Residential Units
- Amenity Space
- Garbage/Laundry/MEP
- Exterior Patio/Amenity
- Exterior Residential Patio

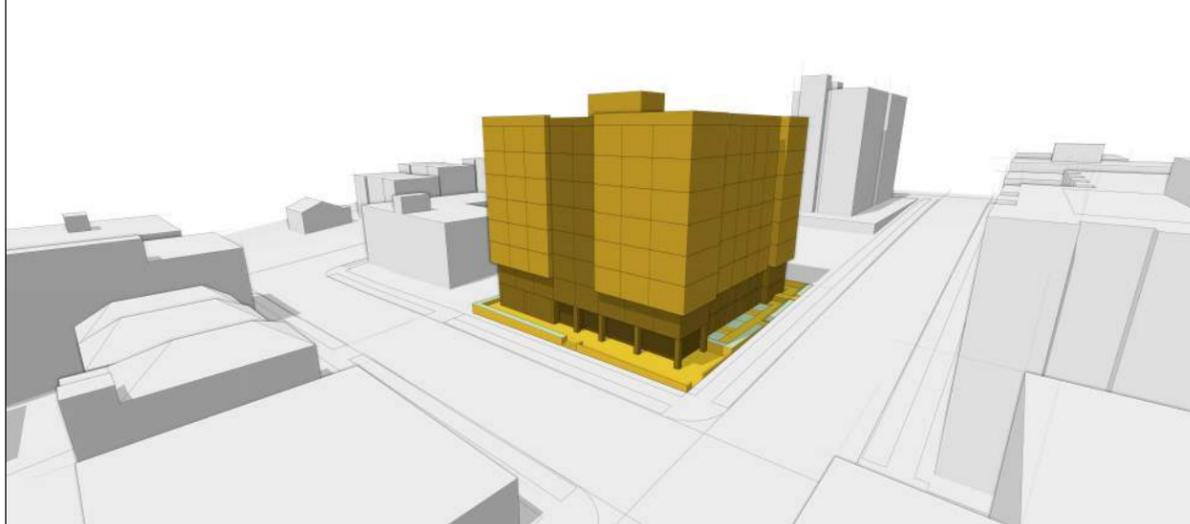
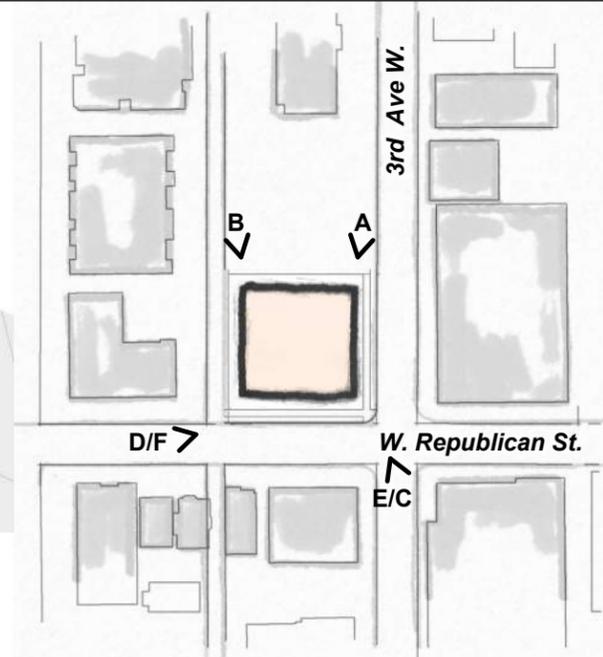




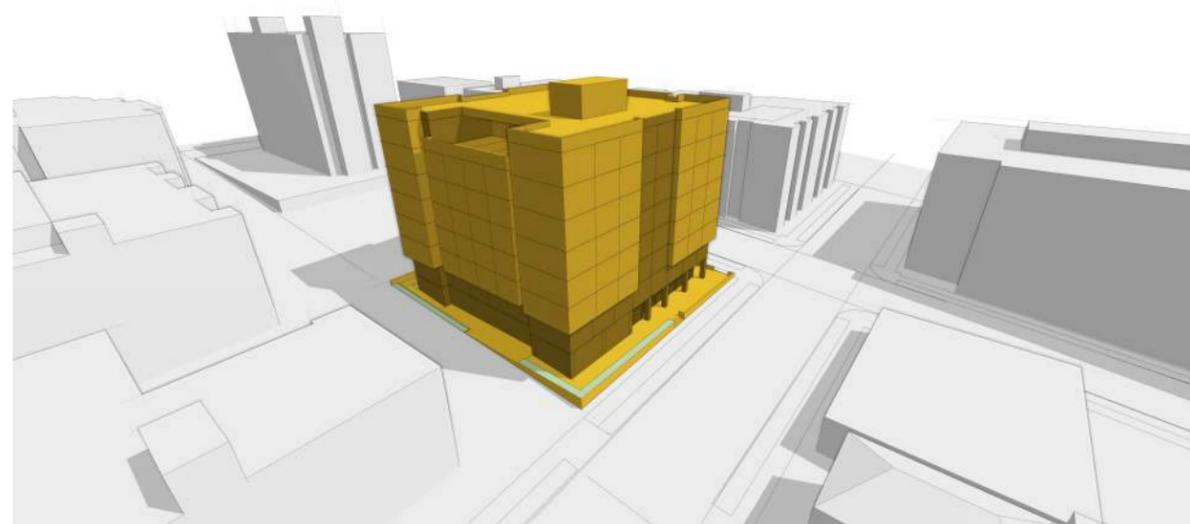
View A: Northeast Corner



View B: Northwest Corner

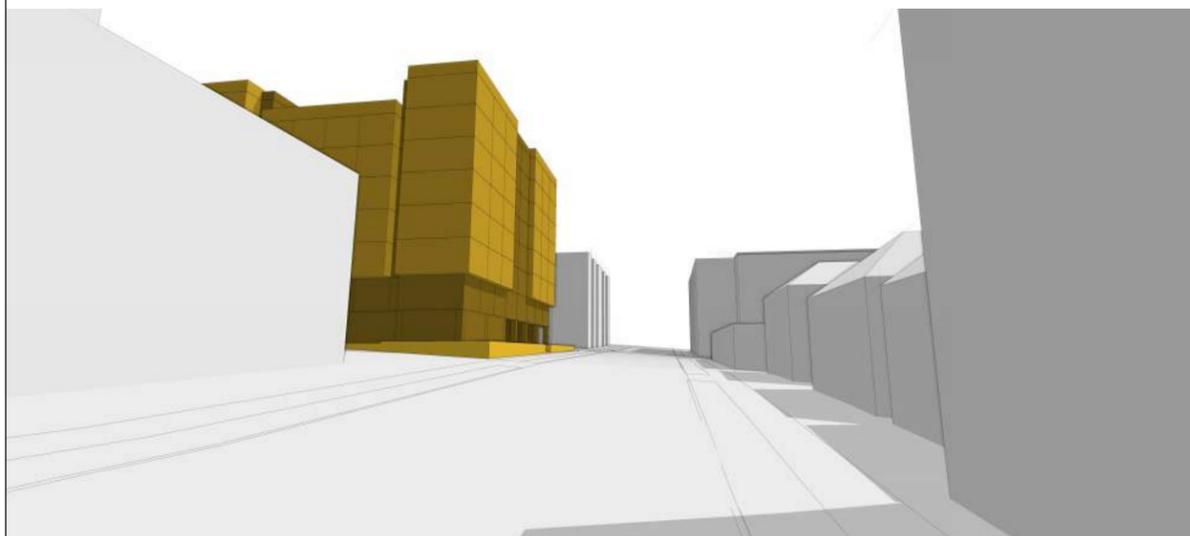


View C: Southeast Corner

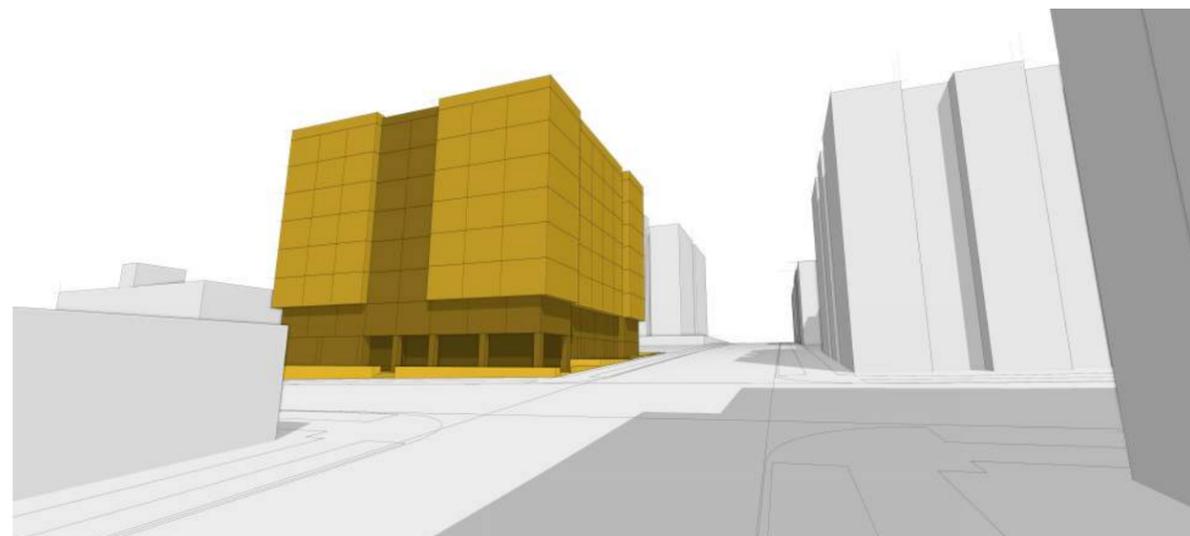


View D: Southwest Corner

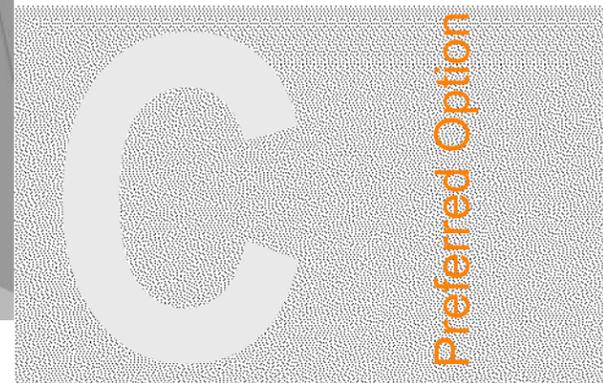
Option C - Full Square



View E: Southeast Street Level



View F: Southwest Street Level



Level 3 modulation is consistent around the entire structure

Level 1 Courtyard 89.5'

Exist. Grade 89.0'

Private Unit Patio Grade 92.5'

3rd Ave W.

Site Access

Site Access

3' Landscape Planter

6' Sidewalk
5'-6 Planter

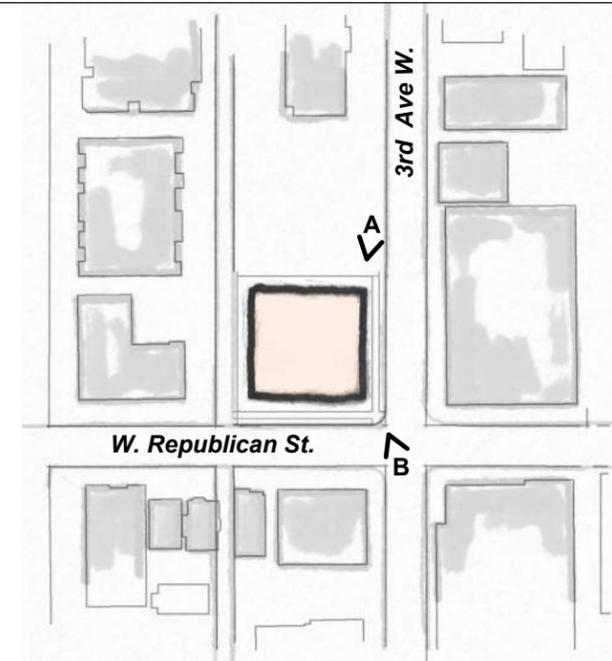
Exist. Grade 95.15'

Building Level 1 89.5'

Private Unit Patio Grade 92.5'

Walkway Grade 93.61'

Exist. Grade 96.61'



Option C - Full Square

Level 3 modulation is consistent around the entire structure

Level 1&2 Base Relief for Pedestrian Level Scale

Exist. Grade 86.53'

W. Republican St.

6' Sidewalk
5'-6 Planter

3' Planter

Level 1 Courtyard 89.5'

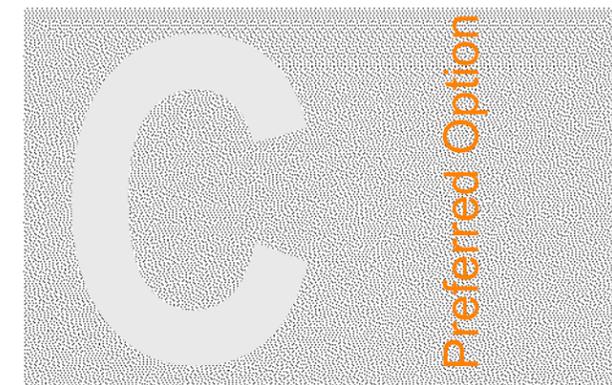
Exist. Grade 89.0'

Massing Relief at Corner

Exist. Grade 96.61'

Private Unit Patio Grade 92.5'

3rd Ave W.



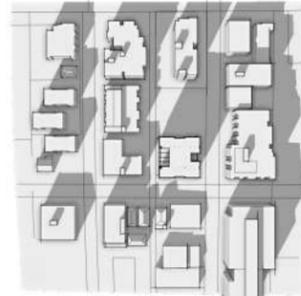
Option A: Dec 21th 9:00



Option A: Dec 21th 12:00



Option A: Dec 21th 3:00



Option A: Mar 21th 9:00



Option A: Mar 21th 12:00



Option A: Mar 21th 3:00



Option A: Jun 21th 9:00



Option A: Jun 21th 12:00



Option A: Jun 21th 3:00



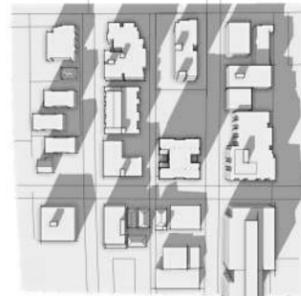
Option B: Dec 21th 9:00



Option B: Dec 21th 12:00



Option B: Dec 21th 3:00



Option B: Mar 21th 9:00



Option B: Mar 21th 12:00



Option B: Mar 21th 3:00



Option B: Jun 21th 9:00



Option B: Jun 21th 12:00



Option B: Jun 21th 3:00



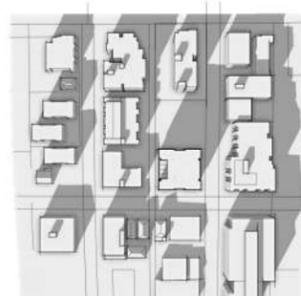
Option C: Dec 21th 9:00



Option C: Dec 21th 12:00



Option C: Dec 21th 3:00



Option C: Mar 21th 9:00



Option C: Mar 21th 12:00



Option C: Mar 21th 3:00



Option C: Jun 21th 9:00



Option C: Jun 21th 12:00



Option C: Jun 21th 3:00



Winter Solstice

Equinox

Summer Solstice

DRB Meeting 1 Proposal

A-B-A Patterning

To further support the A-B-A concept established by the massing and window grouping, the secondary cladding material around the windows have been organized to directly respond in an A-B-A configuration. The proportions of the panels between the windows remains consistent along the entire façade but changes coloring as it relates to each 'A' or 'B' section. This subtle change in material coloring supports the façade organization but also provides interest and movement in a clear intentional scheme.



DRB Meeting 1 Proposal

Further develop the corner exterior amenity space.

The other design options created “barriers” between the public way and the building amenity spaces (lobby and patio). Columns are large, fence is used at the SW concrete wall, and the planters have large concrete walls which block views. The next design progression was to explore ways to better activate the corner patio space, increase the visual connection and transparency from the sidewalk.

The provided study explores a new configuration of the corner patio. The concrete planters and picket fence have been removed and the wall of the interior lobby has been moved out several feet towards the sidewalk. The exterior patio has also been extended out closer to the property line and a cable railing is proposed to increase transparency and visual connection to the ROW. The large columns have been reconfigured and have been hidden or blend with the new arrangement. The east portion of the patio has been redesigned such that the main access point onto the patio is located along the east façade from the lobby and the storefront glazing along this façade has been taken all the way to the ground for a greater sense of transparency. This study resulted in a positive change and is now considered the preferred option.



Previous Design



Example of Exposed Concrete

Example of Stones Proposed in Planter Beds



Preferred Revision



Previous Design



Preferred Revision

DRB Meeting 1 Proposal



Preferred Revision

Better response to topography.

The preferred design changes the material and apparent massing of the level 2 units along the south façade to better respond to the site. This change establishes a difference in the perceived massing from the south end to the north and delivers a more elegant window layout for the level 2 units. A “datum line” was used previously for façade organization and although this line continues around the building and does not directly respond to the slopes of the site but it does respond to the interior program and the functions within the building and responds honestly to its construction type. The datum line is not entirely continuous and is interrupted by the base cladding where interior layout permits. The window types and layout reflect the interior program and if the massing were adjusted to erase the datum line it would also delete the developed language and would create complications and compromise the interior layout. The interior program, arrangement of functions, massing, and the interaction of the architecture at the base level as it relates to the topography all respond directly to the site and its unique setting. There were some massing options presented in the early EDG studies that did consider massing changes in relation to site elevation but none of these variations were noted as being worthy of further study and so the preferred option was approved and pursued. At this point we feel the overall façade treatment, organization, and massing is strong and works well for this building. This study resulted in a positive change and is now considered our preferred option.



Previous Design

Entry and Republican St amenity area reworked on the current design

Material change on current design for perceived massing in response to topography.

3rd Ave Elevation reworked on current design

Column line is moved back on the current design

DRB Meeting 1 Proposal



DRB Meeting 1 Proposal

3rd Avenue Residential Entries.

The previous design both design for the residential entries created tall barriers between the ROW and the building with walls, fence, and gates. Can these barriers work better to connect the building with the ROW?

The preferred option is a stepped approach which creates individual patios for the ground level residential units. To decrease the appearance of barriers all the concrete walls around the courtyards have been reduced to be as low as possible. The metal picket fence previously proposed has been changed to a cable railing to increase visibility and to compliment the rail used along the south façade. The overall height of the rail has been lowered to 3' and a gate is used to provide residents a sense of privacy and security without creating an imposing barrier.

This study resulted in a positive change and is now considered our preferred option.



Lowered wall, Fence, and Gate. Regular stepping of patios with existing grades.



View C



View A

DRB Meeting 1 Proposal

Republican street main entrance.

The previous design had an alignment of the main entry stair which appeared divorced from the main entry door and the overall entry arrangement seemed to lack prominence. The goal was to change the entry sequence to enhance and improve the approach to the main entry and create a distinctive identifiable main entry experience?

In the provided study the entry stair has been aligned with the main entry door and a ramp has been added adjacent to the stair. The ramp and stair have been pushed back from the property line to allow for a better approach onto the site. The ramp, stair, and entry path create a clear identifiable entry sequence and have been aligned to relate to the recessed portion of the main level façade; all of which create a better entry experience and relationship with the primary entry into the building.

This study resulted in a positive change and is now considered our preferred option.

DRB Meeting 1 Proposal



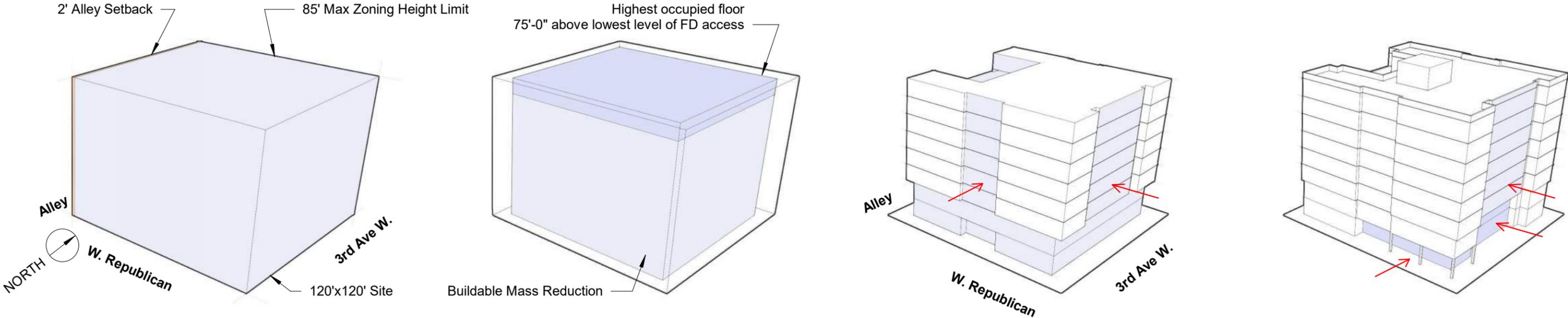
Current Proposal
Partial 3rd Ave Elevation - Conceptual Lighting

Notes:
Some trees and plantings have been omitted for clarity. Existing street lighting is not shown, and the light from the streetlamps has not been factored. Lighting shown in the rendering is conceptual; the light has been overemphasized with a long exposure for effect to show location of fixtures and overall lighting design.



Current Proposal
Partial Republican Street Elevation - Conceptual Lighting

DRB Meeting 1 Proposal



- SITE**
- The site is comprised of two parcels, totaling approximately 14,408sf, and is roughly 120'x120'.
 - Site boundaries are 3rd Ave West on the east side, West Republican St. on the south, an improved alley on the west, and a shared property line with a private parcel (gravel parking lot) to the north.
 - The upper extent of the site volume is bound by an 85' height limit.
 - The grade change across the site is roughly 10'-0" from the northeast corner to the lowest point at the southwest corner.
 - A 2' setback is required along the alley.

- VOLUME REDUCTION**
- High voltage power lines exist along the east, south, and west sides of the site and require a setback consisting of a 14' radius to the structure from the nearest permanent overhead line.
 - +/-8'-0" Along 3rd Ave
 - +/-9'-0" Along Republican Street
 - +/-7'-0" Along the Alley Including the Setback
 - A self-imposed +/-10' setback at the north side of the site is used for constructability, allowable unprotected openings for residential units, and site circulation.
 - All occupied levels are set below a 75' threshold for the lowest level of fire department access.
 - Level 1 was set at grade to match the southeast corner for ease of access into the building.

MASS ARTICULATION - EDG

The massing is organized around a central vertical circulation core which maximizes residential unit placement along the exterior walls. The units are tightly packed around the circulation core in an ordered efficient method that stacks up the building. Building functions such as the main entry and lobby were located along republican street while "back of house" functions such as the electrical, mechanical, and garbage rooms were placed along the alley. 2-story units are located at the base level along 3rd and at the north façade which faces the adjacent parcel. The roof deck was located at the upper level west façade for views to downtown and Elliot bay. The articulation in the massing is largely a function of the interior program as it relates to the interior core.

MASS ARTICULATION - DRB Meeting 1

Mass articulation responds to site topography, refined program, exterior composition, and exterior and interior constraints such as minimum required SF for spaces and minimum building setbacks.

PRELIMINARY PLANT SCHEDULE (SEE SHEET L1 FOR STREET LEVEL PLAN)

PLANT SCHEDULE NOTES + SYMBOLS

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE
	2	ACER CIRCINATUM 'PACIFIC FIRE' / PACIFIC FIRE VINE MAPLE * + # SPECIMEN QUALITY, SYMMETRICAL, SINGLE STRAIGHT LEADER, BRANCHED TO 5'; MULTI-STEM AS APPROVED - SUBMIT PHOTOS	B & B	1.5" CAL
	4	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE MULTI-TRUNK SPECIMEN QUALITY, SYMMETRICAL, SINGLE STRAIGHT LEADER, BRANCHED TO 5'	B & B	1.5" CAL
	4	STEWARTIA PSEUDOCAMELLIA / JAPANESE STEWARTIA FULL AND MATCHING, STAKE AND GUY ONE GROWING SEASON, NURSERY GROWN FOR STREET TREE USE, BRANCHED AT 5' HT.	B & B	2" CAL
	2	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC SPECIMEN QUALITY, SYMMETRICAL, SINGLE STRAIGHT LEADER, BRANCHED TO 5'	B & B	1.5" CAL

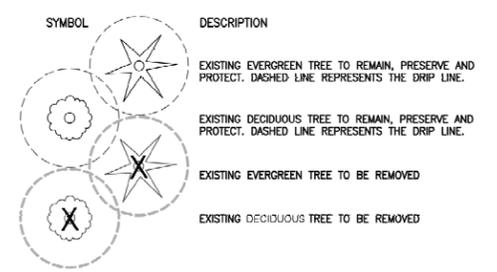
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE
	2	CHAMAECYPARIS OBTUSA 'GRACILIS' / SLENDER HINOKI FALSE CYPRESS * + FULL TO BASE, SINGLE, UN-CUT LEADER.	B & B	6" MIN. HT.
	2	PICEA OMORIKA 'SKY TRAILS' / SKY TRAILS SERBIAN SPRUCE * + FULL TO BASE, SINGLE, UN-CUT LEADER.	B & B	6" MIN. HT.
	4	TSUGA MERTENSIANA / MOUNTAIN HEMLOCK * + # FULL TO BASE, SINGLE, UN-CUT LEADER, NURSERY GROWN	B & B	6" MIN. HT.

FERNS	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	FOLIAGE
	20	BLECHNUM SPICANT / DEER FERN + # MIN. 6 FRONDS, WELL ROOTED	2 GAL.	LOW	EVERGREEN 24" o.c.
	69	POLYSTICHUM MUNITUM / WESTERN SWORD FERN ^ + # MIN. 6 FRONDS, WELL ROOTED	2 GAL.	LOW	EVERGREEN 33" o.c.
	24	POLYSTICHUM SETIFERUM 'DIVISIOBUM' / DIVIDED SOFT SHIELD FERN ^ + MIN. 6 FRONDS, WELL ROOTED	2 GAL.	LOW	EVERGREEN 30" o.c.

GRASSES	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	FOLIAGE
	19	CAREX ELATA 'BOWLES GOLDEN' / BOWLES GOLDEN SEDGE ^ FULL TOP GROWTH, WELL ROOTED	1 GAL.	MEDIUM	SEMI-EVERGREEN 24" o.c.
	11	HAKONECHLOA MACRA 'ALBO-STRIATA' / WHITE STRIPED JAPANESE FOREST GRASS WELL ROOTED, FULL TOP GROWTH	1 GAL.	MEDIUM	DECIDUOUS 21" o.c.
	8	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF FULL TOP GROWTH, WELL ROOTED	1 GAL.	LOW	EVERGREEN 18" o.c.
	7	MISCANTHUS SINENSIS 'MORNING LIGHT' / MORNING LIGHT EULALIA GRASS ^ + FULL TOP GROWTH, WELL ROOTED	1 GAL.	LOW	DECIDUOUS 30" o.c.

LARGE & MEDIUM SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	FOLIAGE
	9	AMELANCHIER ALNIFOLIA 'NORTHLINE' / NORTHLINE SERVICEBERRY ^ + # FULL AND BUSHY	18" MIN. HT.	LOW	DECIDUOUS 42" o.c.
	2	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD ^ + # FULL AND BUSHY	18" MIN. HT.	LOW	DECIDUOUS 42" o.c.
	30	ILEX CRENATA 'SKY PENCIL' / SKY PENCIL JAPANESE HOLLY ^ + FULL AND BUSHY	24" MIN. HT.	MEDIUM	EVERGREEN 18" o.c.
	49	ILEX X MESERVEAE 'MONNIEVES' TM / SCALLYWAG HOLLY ^ + FULL AND BUSHY	24" MIN. HT.	LOW	EVERGREEN 34" o.c.
	9	MAHONIA AQUIFOLIUM / OREGON GRAPE ^ + # FULL AND BUSHY	18" MIN. HT.	LOW	EVERGREEN 42" o.c.
	12	NANDINA DOMESTICA 'GULF STREAM' TM / GULF STREAM HEAVENLY BAMBOO ^ + FULL AND BUSHY	18" MIN. HT.	LOW	EVERGREEN 42" o.c.
	1	RIBES SANGUINEUM / RED FLOWERING CURRANT ^ + # FULL AND BUSHY	24" MIN. HT.	LOW	DECIDUOUS 42" o.c.
	3	SALIX PURPUREA 'NANA' / DWARF PURPLE OSIER WILLOW ^ + FULL AND BUSHY	18" MIN. HT.	MEDIUM	DECIDUOUS 42" o.c.
	4	SAMBUCUS NIGRA 'EIFFEL 1' / BLACK TOWER ELDERBERRY ^ FULL & BUSHY, STRAIGHT LEADER	16" HT. MIN.	MEDIUM	DECIDUOUS 30" o.c.
	5	SARCOCOCCA RUSCIFOLIA / FRAGRANT SARCOCOCCA ^ + FULL AND BUSHY	18" MIN. HT.	LOW	EVERGREEN 42" o.c.
	9	TAXUS BACCATA 'STANDISHII' / GOLDEN COLUMNAR YEW ^ + FULL TO BASE, SINGLE STRAIGHT LEADER	24" MIN. HT.	MEDIUM	EVERGREEN 22" o.c.

LANDSCAPE LEGEND



- * INDICATES SMALL TREE WITH 8'-15' CANOPY (TOTAL PROVIDED = 6)
- ** INDICATES SMALL/MEDIUM TREE WITH 16'-20' CANOPY (TOTAL PROVIDED = 2)
- *** INDICATES MEDIUM/LARGE TREE WITH 21'-25' CANOPY (TOTAL PROVIDED = 4)
- **** INDICATES LARGE TREE WITH 26'-30' CANOPY (TOTAL PROVIDED = 0)
- ^ INDICATES SHRUBS, GRASSES, FERNS & PERENNIALS 2 FT. OR MORE MATURE HEIGHT
- + INDICATES DROUGHT RESISTANT SPECIES ONCE ESTABLISHED
- # INDICATES NATIVE SPECIES

TOTAL QUANTITY OF PLANTS PROVIDED: 928 TOTAL
PLANTS DROUGHT RESISTANT SPECIES REQUIRED:
MIN. 484 (50%)
TOTAL DROUGHT RESISTANT PLANTS PROVIDED:
905 (98%)
3178 SF OF PLANT BED AREA IS PLANTED
WITH DROUGHT TOLERANT SPECIES
TOTAL SHRUBS, FERNS, GRASSES, VINES
AND PERENNIALS GREATER THAN 2 FT. HT.
AT MATURITY PROVIDED: 330 PLANTS

PRELIMINARY PLANT SCHEDULE (CONTINUED)

PERENNIALS	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	FOLIAGE
	11	ASTER X FRIKARTII 'MONCH' / MONCH FRIKART'S ASTER ^ + # FULL TOP GROWTH, WELL ROOTED	1 GAL.	LOW	PERENNIAL 30" o.c.
	12	HELLEBORUS NIGER 'COSEH 220' / HGB JONAS CHRISTMAS ROSE + FULL TOP GROWTH, WELL ROOTED	1 GAL.	LOW	EVERGREEN 24" o.c.

SMALL SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	FOLIAGE
	7	CORNUS SERICEA 'KELSEY' / KELSEY DWARF REDTWIG DOGWOOD ^ + # FULL AND BUSHY	12" MIN. HT.	MEDIUM	DECIDUOUS 30" o.c.
	8	EUONYMUS FORTUNEI 'EMERALD 'N GOLD' / EMERALD 'N GOLD WINTERCREEPER ^ + FULL AND BUSHY	12" MIN. HT.	LOW	EVERGREEN 30" o.c.
	17	MAHONIA EURYBRACTEATA 'SOFT CARESS' / SOFT CARESS MAHONIA ^ + FULL AND BUSHY	12" MIN. HT.	LOW	EVERGREEN 30" o.c.
	71	PRUNUS LAUROCERASUS 'MOUNT VERNON' / MOUNT VERNON LAUREL + FULL AND BUSHY	12" MIN. HT.	LOW	EVERGREEN 30" o.c.
	16	VACCINIUM OVATUM 'VACSID1' TM / SCARLET OVATION EVERGREEN HUCKLEBERRY ^ + i FULL AND BUSHY	18" MIN. HT.	LOW	EVERGREEN 30" o.c.

VINES	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	FOLIAGE
	4	CLEMATIS X CARTMANII 'BLAVAL' / AVALANCHE EVERGREEN CLEMATIS ^ + MIN. 3 LONG RUNNERS, WELL ROOTED, PROVIDE WIRE SUPPORT FOR VINE CONNECTING BASE OF VINE TO FENCE ON TOP OF WALL	1 GAL.	LOW	EVERGREEN 12" o.c.
	12	HYDRANGEA ANOMALA PETIOLARIS 'MIRANDA' / CLIMBING HYDRANGEA ^ + MIN. 3 LONG RUNNERS, WELL ROOTED, STAKE UP TO ADJACENT RETAINING WALL	1 GAL.	LOW	DECIDUOUS 12" o.c.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	FOLIAGE
	132	ARCTOSTAPHYLOS UVA-URSI / KINNIKINICK + # MIN. 3 RUNNERS, WELL ROOTED	1 GAL.	LOW	EVERGREEN 24" o.c.
	62	EUONYMUS FORTUNEI 'KEWENSIS' / KEW EUONYMUS + MIN. 3 RUNNERS, WELL ROOTED, LOCATE MIN. OF 4 GROUNDCOVERS IN EACH OF THE SQUARE POTS ON THE SOUTH SIDE OF THE BUILDING	4" POT	LOW	EVERGREEN 18" o.c.
	165	FRAGARIA CHILOENSIS / BEACH STRAWBERRY + # MIN. 3 RUNNERS, WELL ROOTED	1 GAL.	LOW	EVERGREEN 24" o.c.
	65	LIRIOPE MUSCARI 'SILVER DRAGON' / SILVER DRAGON LILYTURF + MIN. 3 RUNNERS, WELL ROOTED			
	40	PACHYSANDRA TERMINALIS 'GREEN CARPET' / GREEN CARPET JAPANESE PACHYSANDRA MIN. 3 RUNNERS, WELL ROOTED			

GREEN ROOF + 8,496 SF
TRAY SYSTEM WITH 2" TO 4" DEPTH
GROWING MEDIUM AS
MANUFACTURED BY COLUMBIA
GREEN OR APPROVED EQUAL.
PLANT SPECIES MIX TO BE
DETERMINED AND SHALL BE
DROUGHT TOLERANT AND ADAPTED
TO LOCAL CLIMATE.
(SEE SHEET L2 FOR ROOF LEVEL PLAN)

NO SYMBOL PROVIDE 2'-4" DEPTH ARBORIST WOOD CHIP
MULCH PER CITY OF SEATTLE GREEN FACTOR
REQUIREMENTS THROUGHOUT PLANT BEDS,
TYP.
3,539 SF PLANTED AREAS =
328 CY MULCH AT 3' DEPTH

UP-LURC COMMITTEE PROJECT REVIEW: August 19, 2020 505 3rd W

Project was evaluated based on the new Uptown-specific Design Guidelines approved by City Council in February 2019

CS1: Site and Context

Design ground-level treatments that create a safe, attractive transition between the building, site and the sidewalk.

- The site topography presents some challenges that need to be taken into account with electrical lines along both 3rd Ave W and the alley and a 10ft grade. Residential units are proposed at ground level. The challenge will be how to provide screening and privacy to those units while still creating an attractive pedestrian experience.
- The residential entry location was discussed along Republican or 3rd Ave W. There was no consensus at this time siting opportunities and challenges each street represents. Republican offers other existing storefronts, calmer pedestrian flow and an opportunity to increase safety with more activity; 3rd Ave W has more drive-by traffic which may better support commercial uses.
- Back of House space off the alley is good.
- Separate entry for bicycles is strongly supported.

CS2: Sense of Place

Use site identity features with art, welcoming signage, distinct architecture or public open space to celebrate this neighborhood as an Arts District.

- While this is not a gateway location, there is pedestrian traffic running north and south along 3rd west and east-west along Republican so special attention needs to be taken designing the lighting and pedestrian-feel around the building. The developer should take special effort to incorporate the Arts + Culture designation of the community.
- Corner Site: Uptown Design Guidelines encourage strong corners with buildings that meet the corner.

CS2: Sense of Place: Placemaking:

- The developers stated that the landscape plan will eliminate the sense of blank facades however no landscape plan was presented. LURC members will need more information to evaluate this. A large landscape barrier is recommended for the residential units at grade to separate them from the sidewalk.
- LURC also encouraged the developer to incorporate creative signage and other opportunities to advance the Uptown-specific logo and incorporation of the new Uptown Branding developed by the UACC.
- LURC encouraged the developer to instead focus on creative pedestrian level lighting.
- The developer's recognition of the multitude of design era and styles in Uptown and comment that they wanted the building to "reflect a little of everything" brought comments from LURC members to maintain a focus and choose selectively.

PL: Public Life and Connectivity:

PL 1: ADD TO PUBLIC LIFE

Opportunities to add to public life are especially important for street-facing facades that are adjacent to the Seattle Center.

- Development along Republican offers an opportunity to help meet the "connectivity goals" with Seattle Center. It is important that the design team address ways to create an attractive pedestrian experience along this frontage.

PEDESTRIAN VOLUMES + AMENITIES

Uptown LURC encourages streetscapes that respond to unique conditions which needs to be addressed.

PL 1: ADD TO PUBLIC LIFE

ENTRIES, RESIDENTIAL EDGES + GROUND LEVEL USES/DESIGN:

- The entries along 3rd W and Republican need to be designed to provide privacy and screening from pedestrians yet still provide a pleasant visual connection at the sidewalk level.
- Design entries must be pedestrian friendly and the design team should review the Uptown specific guidelines identified in PL3

DC: ARCHITECTURAL DESIGN CONCEPT:

DC 2: Architecture that emphasizes human scale, streetscape rhythm, quality detailing and materials is more important than consistency with a particular period or style. Uptown's evolving and dynamic architectural context embraces a range of historical styles, and modern innovative design that is more reflective of the Uptown Arts and Cultural District.

- The proposed preferred design is appropriate and supported by UP-LURC. Noted was the need for architecture detail and a landscape plan as the design progresses.

SECONDARY ARCHITECTURAL FEATURES:

Need to see how this evolves.

DC 4: EXTERIOR ELEMENTS + FINISHES BUILDING MATERIALS:

Developer's design has not progressed enough to comment on this.

COMMERCIAL SIGNAGE:

Developer's design has not progressed enough to comment on this.

- Signs for arts and cultural uses that incorporate elements of color and light are also highly encouraged.
- Storefront signs and lighting that are unique, integrate creativity and individual expression are desired.

COMMERCIAL LIGHTING:

Pedestrian-scale lighting for both the public sidewalks and private pathways is encouraged.

ADDITIONAL UPTOWN PRIORITIES:

Uptown desires a diversity of units, incomes, and uses. To that end, we encourage every developer to provide as much affordable and work force housing as possible by participating in the city's Multi-Family Tax Exemption Program and the city's MHA on-site performance option.

- Developer intends to include MFTE units & onsite MHA units which LURC strongly supports.

Response

Summary of response to issues raised:

A follow up meeting with the UP-LURC was held on November 11, 2020 from 4:30-5:30 via virtual zoom meeting. The draft EDG submittal package was presented at the meeting which held responses to most of the previous meeting comments. The following is a brief summary of some of the comments we heard.

- 1.) It was noted that most of the design solutions presented looked like a good acceptable option. No particular design option was favored.
- 2.) The proposed ornamental trees (if used) should be small enough to avoid creating a "tunnel effect" with the street trees. Currently the trees along 3rd avenue have created a dark tunnel-like condition which is not conducive to pedestrian traffic, particularly in the evening when light is low or dark.
- 3.) The front patio area could be a very successful building feature but the treatment of the concrete wall should be thoughtful and deliberate.
- 4.) Ground floor units and courtyards along 3rd ave are supported, privacy seems to have been considered in the current design. The design and screening should encourage tenants to keep window blinds open rather than frequently closed due to lack of privacy.
- 5.) Pedestrian lighting as currently proposed seems to be thoughtfully considered. The final design should encourage pedestrian traffic in the dark.
- 6.) The final landscape design should consider "features" such as boulders or other elements that break up the continuous planters adjacent to the sidewalk.
- 7.) Landscaping planters are favored and consideration should be given to the plant species. It was noted that the project up the block on Republican to the southeast has a nice landscaping treatment.

Summary of Outreach Methods:

KOZ Development LLC has recently conducted the following outreach activities for the early design guidance process in order to gain community input for the proposed project development at 505 3rd Avenue West, Seattle, WA. Below is a list of chosen methods.

Electronic/Digital Outreach

Department of neighborhoods Blog Post: Information was provided to (DON) for the community blog. Project was posted to the blog on September 15, 2020.

Project website and email (High impact): A project website and email was established on September 01, 2020 to provide information about the project and to collect comments and or suggestions. Both email and website are both active as of today's date. A few emails have been received requesting to be put on a list for future notifications. Project email: <mailto:Kozon3rd@gmail.com>
Project Website: <https://koz-on-3rd-neighborhood.webnode.com>

Online Survey (High Impact): An online survey was created on September 01, 2020 to collect information for the proposed project. The survey could be found by either an address provided on the posted flyers or from a link provided on the project web site. The survey is still active as of today's date. There were 2 responses from this survey. <https://www.surveymonkey.com/r/MJY6MQG>

Printed Outreach

Outreach posters (High Impact): Roughly 30 posters were placed in various locations in and around the site area on 09/14/20 (3 weeks in advance of the meeting) in an attempt to reach out to people and neighbors that might use, live, or work in the area. Posters were hung in high traffic areas on poles as well as off-path intersections, businesses, bus stops, community boards, and other locations likely to attract attention. The posters provided information about the project as well as contact information, website, survey, and the date of a community outreach event. Many of these posters are still visible as of today's date. At the community meeting it was noted that the posters were an effective method to alert the community.

In-Person Outreach

Community meeting (High Impact): An open community informational meeting was held via virtual "Zoom" meeting on Monday, September 28, 2020 from 4:00-5:00. The meeting was held to inform attendees about the project, address any questions or concerns about the project, and collect input from the community. 6 attendees from the area joined the meeting and provided a lot of great discussions, and useful comments.

Local neighborhood group meeting (High Impact): Prior to the outreach process KOZ met and presented to the Uptown Land Use Review Committee (LURC) on August 19, 2020 from 5:00-6:00 with roughly 13 attendees. This meeting was very helpful and yielded some great discussions and useful feedback.

Comments:

lower level Program:

- One attendee asked if retail will be part of the project?
- One attendee commented that uptown has enough retail and although smaller retail shops are desirable in the area, this location does not seem right for retail at this time.
- One attendee commented that planning for future retail would be a good idea.
- One attendee commented that street level engagement is important and if retail is not proposed a plan for activating the street level should be given consideration.
- One attendee commented that a commercial feel at the base with flexible common space would be good.

Parking:

- One attendee asked if there had been any thought given to parking and where residents are going to park?
- One attendee commented that tenants will be stressed to find parking in the area and that not providing parking for the project does not make sense since residents will not find street parking near the building.
- Two attendees commented that the lack of parking in the project is a good thing to help discourage more cars coming into the area.
- One attendee commented that they moved into the area because there are 5 different main transit lines in the immediate vicinity so owning a car was not essential.
- One attendee commented that the demand for parking in smaller unit buildings is usually lower.

Design:

- Several attendees commented that an activated base is very important.
- One attendee asked if operable doors could be used to open the lobby to the outdoors creating an alcove to further activate the base and create indoor/outdoor space?
- One attendee commented about the need for common area space, and what the plan will be for this building?
- One attendee commented about the lack of common space in their own building and that common area space is important. Covered common space is very useful.
- Nearly all attendees commented/agreed that exterior neon lighting should not be used as a design element (referenced project to the southeast of this site).

Building program:

- One attendee asked about the occupancy and demographic of the units? Longer term residents are more desirable than short term residents.
- One attendee commented that the smaller units seem to be needed in the area.
- One attendee asked if there were any age or income specific reduced offerings for rent in this building? Area is in need of these types of offerings?
- One attendee asked about the general project and program?
- One attendee asked if there will be HALA restricted rent units?
- One attendee asked how likely are we to adjust unit sizes in the future?
- One attendee asked about bike parking and if bike parking will be provided?
- One attendee commented that bike parking should be secure.

General Comments:

- One attendee commented that the flyers were really effective and nice to see.
- A couple of attendees asked if there will be additional opportunities in the future to comment on the project?
- One attendee asked if a mailing list or some kind of alert could be sent out as a notification on the project status?
- One attendee asked if the EDG packet could be presented at an uptown community meeting? (Note: *Koz Development stated in the meeting that they would be willing to present an early version of the EDG packet at an uptown community meeting around the 28th of October and that notifications would be sent out*).

Response

Summary of response to issues raised:

Lower Level Program:

No retail is proposed, however the lower level Republican Street facade will propose a large amount of storefront glazing similar to a commercial/retail storefront condition. The lower level space could feasibly be configured to convert into retail/commercial if future needs arise. The programming of the lower level functions will be situated to activate and engage the building at the street level.

Parking:

No parking is proposed in this project. The response seemed mixed about this issue but overall supportive over the lack of provided parking.

Design:

Activated base; ground level units are currently planned for the 3rd street and north elevations. The concept is that small courtyards, planters, walkways, and exterior entries will activate the lower level along these facades. Planters and landscaping will be proposed to soften the base and create a soft barrier between the private space and public space. Lighting of the exterior will be thoughtful and used as accents vs. a feature element. Common amenity space will be provided via roof deck, interior lobby space, and exterior landscaped patio area. Providing exterior covered space will be a goal of the project.

Building Program:

Bike parking will be provided and will likely be proposed as an interior secured element adjacent to the lobby.

End of Packet