

# 801 *BLANCHARD*

801 Blanchard Street  
Seattle, WA 98121  
Project # 3037081-LU

Design Review Recommendation Proposal  
05.24.2022

**SILVERSTEIN**  
**PROPERTIES**  
SILVERSTEIN WESTLAKE OWNER LLC  
HANDEL ARCHITECTS LLP

MAGNUSSON  
KLEMENCIC  
ASSOCIATES

**RUSHING**

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# TABLE OF CONTENTS

	PAGES
<b>PROPOSAL</b>	
PROPOSAL.....	3
<b>SUMMARY CONTEXT ANALYSIS</b>	
ZONING AND PARCEL.....	4
AERIAL.....	5
SURROUNDING PRIMARY USES.....	6
SURROUNDING GROUND FLOOR USES.....	7
NODES AND LANDMARKS.....	8
SITE AXONOMETRIC.....	9
VICINITY.....	10
STREETSCAPE VIEWS.....	11
STREETSCAPE MONTAGE	
BLANCHARD STREET.....	12
8TH AVENUE.....	13
WESTLAKE AVENUE.....	14
<b>EXISTING CONDITIONS</b>	
SITE PLAN.....	15
SURVEY.....	16
<b>DEVELOPMENT OBJECTIVES</b>	
OBJECTIVES.....	17
ZONING DATA.....	18-19
<b>CONCEPT SITE PLAN</b>	
COMPOSITE SITE PLAN.....	20
ENLARGED.....	21
<b>DESIGN REVIEW GUIDELINES</b>	
DESIGN TEAM RESPONSES.....	22-23
<b>RESPONSE TO EDG: DESIGN</b>	
PROJECT HISTORY (EDG2 & MUP).....	24
BOARD COMMENTS.....	25
ITEMIZED RESPONSE TO EDG.....	26-27
RESPONSE TO BOARD COMMENTS.....	28
MATERIAL INSPIRATION.....	29
CONCEPTUAL STUDIES.....	30
DESIGN EVOLUTION PROCESS.....	31
PLEATING FACADE.....	32
FACADE STUDY	
TEXTURE.....	33-34
PLEATING.....	35
FACADE TYPES.....	36-37
TOWER.....	38
RESPONSE TO EDG	
TOWER TOP.....	39-40
TOP/BASE RELATIONSHIP.....	41
BASE.....	42-43

	PAGES
<b>FLOORPLANS &amp; SECTIONS</b>	
LEVEL 1 (GROUND FLOOR).....	44
LEVEL B3 AND B2.....	45
LEVEL B1 AND 1 MEZZ.....	46
LEVEL 2 AND 3/4.....	47
LEVEL 5 AND 6.....	48
CANTILEVER DIAGRAM.....	49
LEVEL 7 AND 8.....	50
LEVEL 9 AND 10.....	51
LEVEL 11-42 AND 43.....	52
LEVEL 44 (AMENITY) AND 45 (MECHANICAL).....	53
PROPOSED PROGRAMMATIC SECTION.....	54
<b>LANDSCAPE</b>	
STREET LEVEL ENHANCEMENT.....	55-61
EXAMPLE PLANTING.....	62
ROOFTOP AMENITIES.....	63-64
<b>ELEVATIONS</b>	
NORTH AND EAST.....	65
SOUTH AND WEST.....	66
<b>MATERIALS AND COLOR PALETTE</b>	
MATERIALS AND COLOR PALETTE.....	67
<b>RENDERINGS</b>	
8TH AVE BASE VIEW.....	68
WESTLAKE AVE BASE VIEW.....	69
BLANCHARD ST BASE VIEW.....	70
TOWER VIEWS.....	71
BASE VIEW.....	72
<b>EXTERIOR LIGHTING</b>	
CONCEPTUAL LIGHTING PLANS.....	73-75
TOWER CROWN LIGHTING.....	76
<b>SIGNAGE CONCEPT</b>	
SIGNAGE CONCEPT PLAN.....	77
<b>RESPONSE TO EDG: LANDSCAPE/STREETSCAPE</b>	
PEDESTRIAN REALM/VEHICULAR IMPACTS.....	78-79
BIKE ACCESS.....	80-81
<b>RESPONSE TO EDG: DEPARTURES</b>	
SCHEDULE OF DEPARTURES.....	82
DEPARTURE 1: COMMON RECREATION.....	83-85
DEPARTURE 2: SIDEWALK WIDTH.....	86-89
DEPARTURE 3: UPPER LEVEL SETBACKS.....	90
DEPARTURE 4: OVERHEARD WEATHER PROTECTION & LIGHTING.....	91



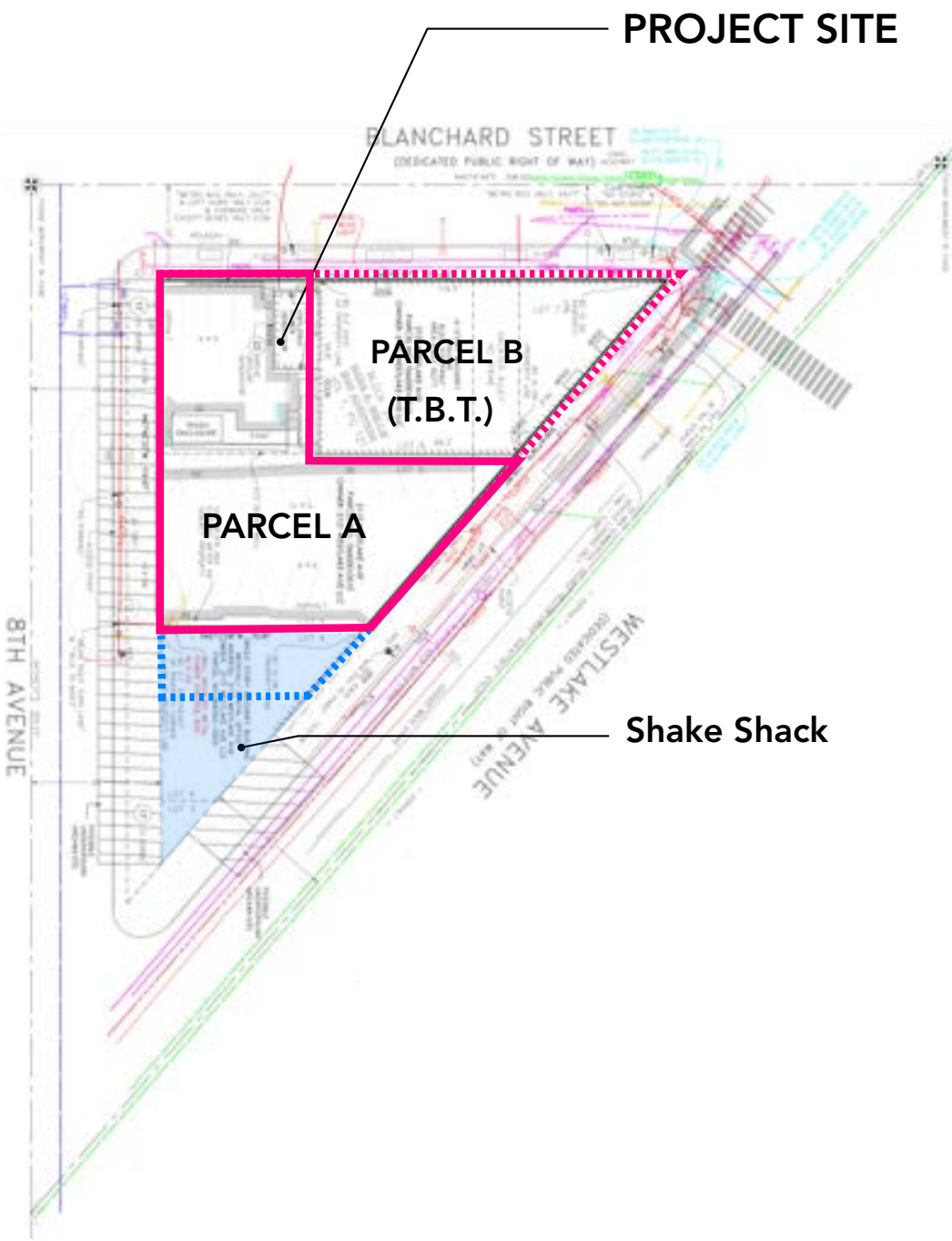
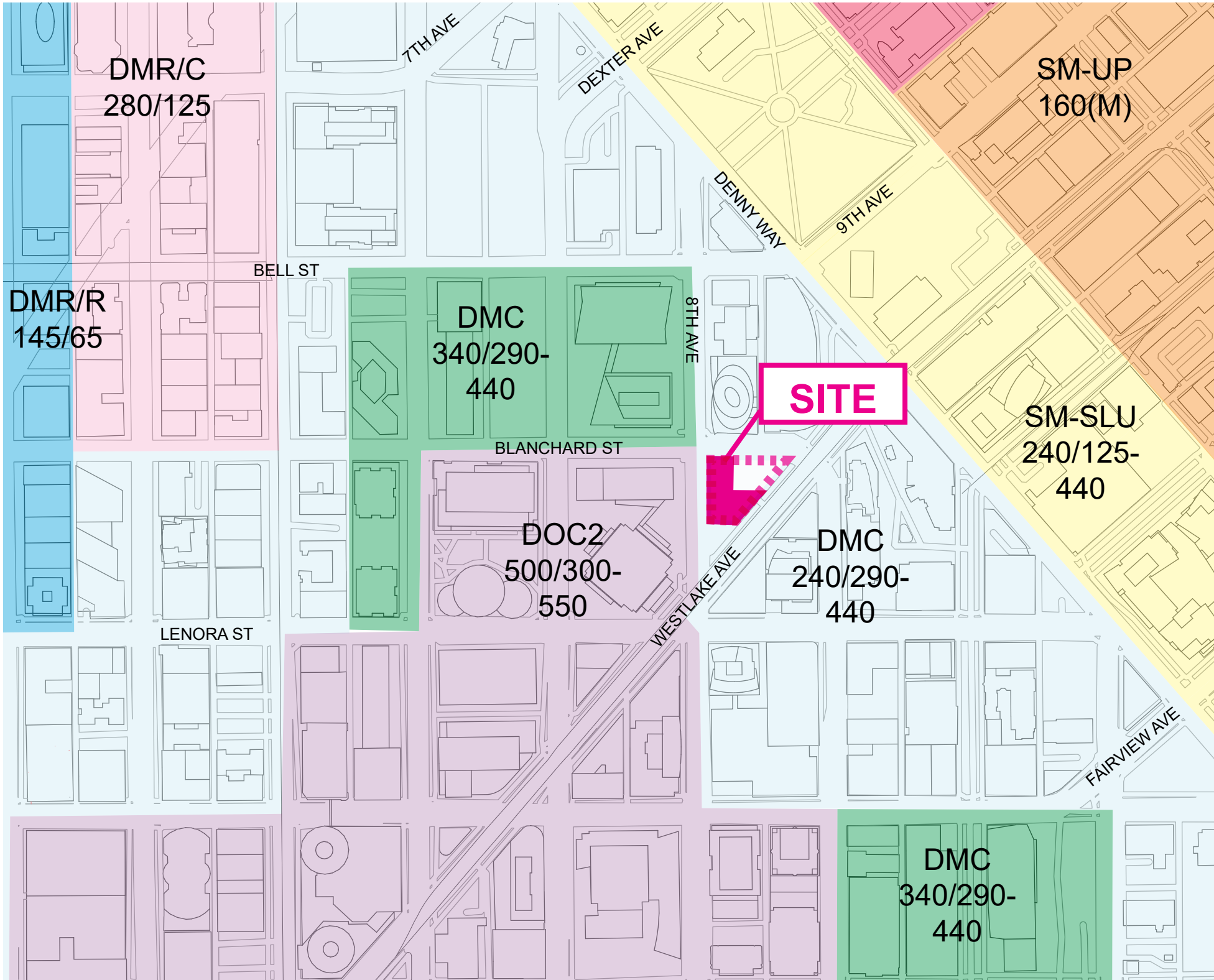
# PROPOSAL

ADDRESS:	2115 / 2121 Westlake Avenue ; a.k.a: 801 Blanchard St.
PLOT AREA:	Parcel A: 9,112 SF + Parcel B - 5,623 SF
ZONING:	Downtown Mixed Commercial ("DMC") 240/290-440
PROJECT TYPE:	Mixed-Use Residential Apartments / Retail
HEIGHT:	440' (484' with 10% bonus (23.49.008))
TOTAL GSF:	500,749 sf
NUMBER OF UNITS:	418 units
RESI SQUARE FOOTAGE:	447,555 sf
AMENITY SQUARE FOOTAGE:	9,620 sf (Enclosed)
RETAIL SQUARE FOOTAGE:	992 sf
PARKING STALLS:	57 Spaces (B2: 27 spaces & B3: 30 spaces)
BIKE PARKING STALLS:	326 Long Term Spaces 21 Short Term Spaces





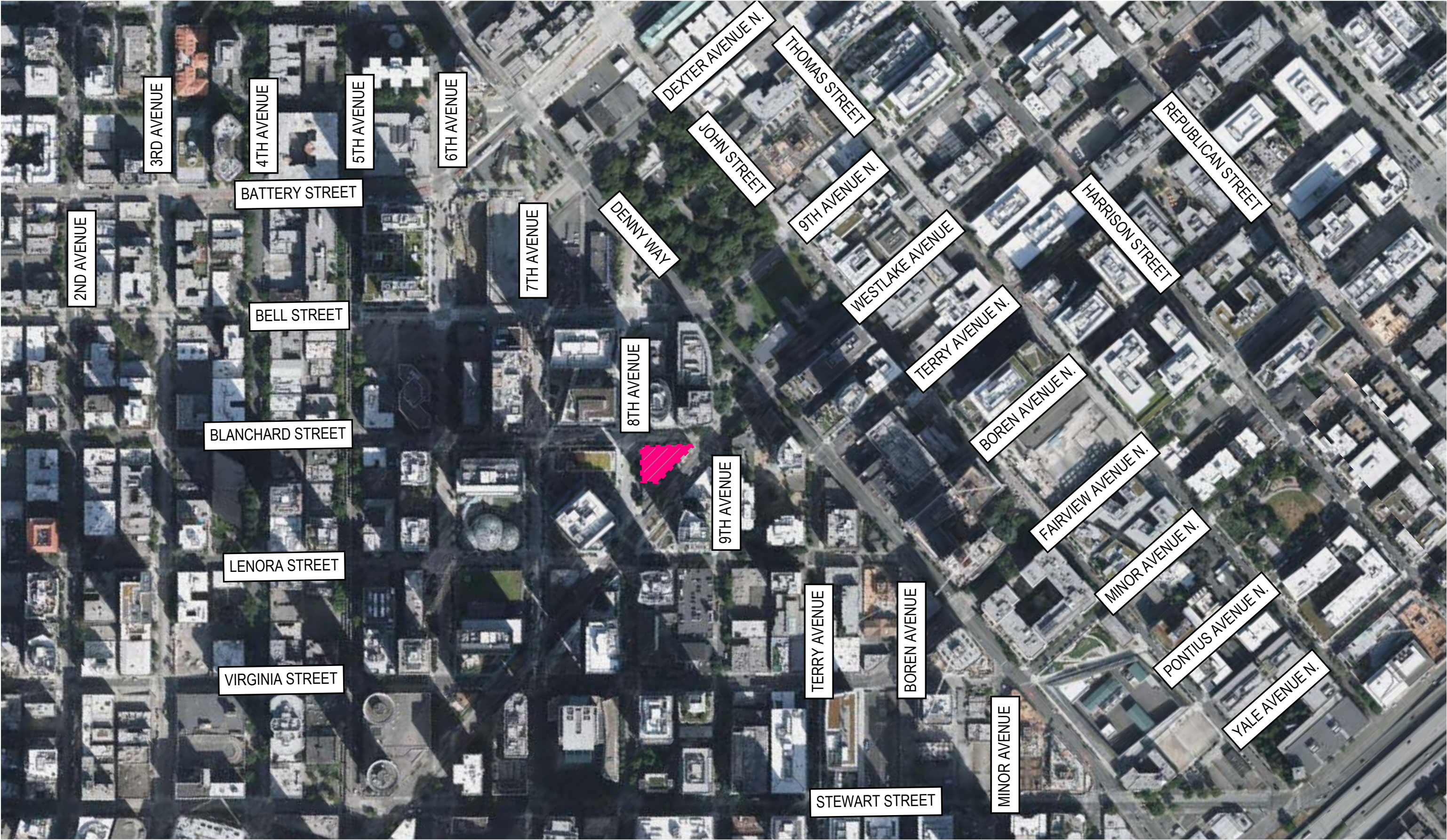
# SUMMARY CONTEXT ANALYSIS: ZONING AND PARCEL



<u>ZONING:</u> DOWNTOWN MIXED COMMERCIAL (DMC 240/290-440)	<u>USE:</u> MIXED RESIDENTIAL AND COMMERCIAL	<u>HEIGHT:</u> RESIDENTIAL: 290 - 440 FT MAX.	<u>OVERLAY DISTRICT:</u> - DOWNTOWN FIRE DISTRICT - MHA: DOWNTOWN/SOUTH LAKE UNION (FEES MAY VARYBY ZONE)
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SUMMARY CONTEXT ANALYSIS: AERIAL





SUMMARY CONTEXT ANALYSIS: SURROUNDING PRIMARY USES

SITE

RESIDENTIAL

OFFICE

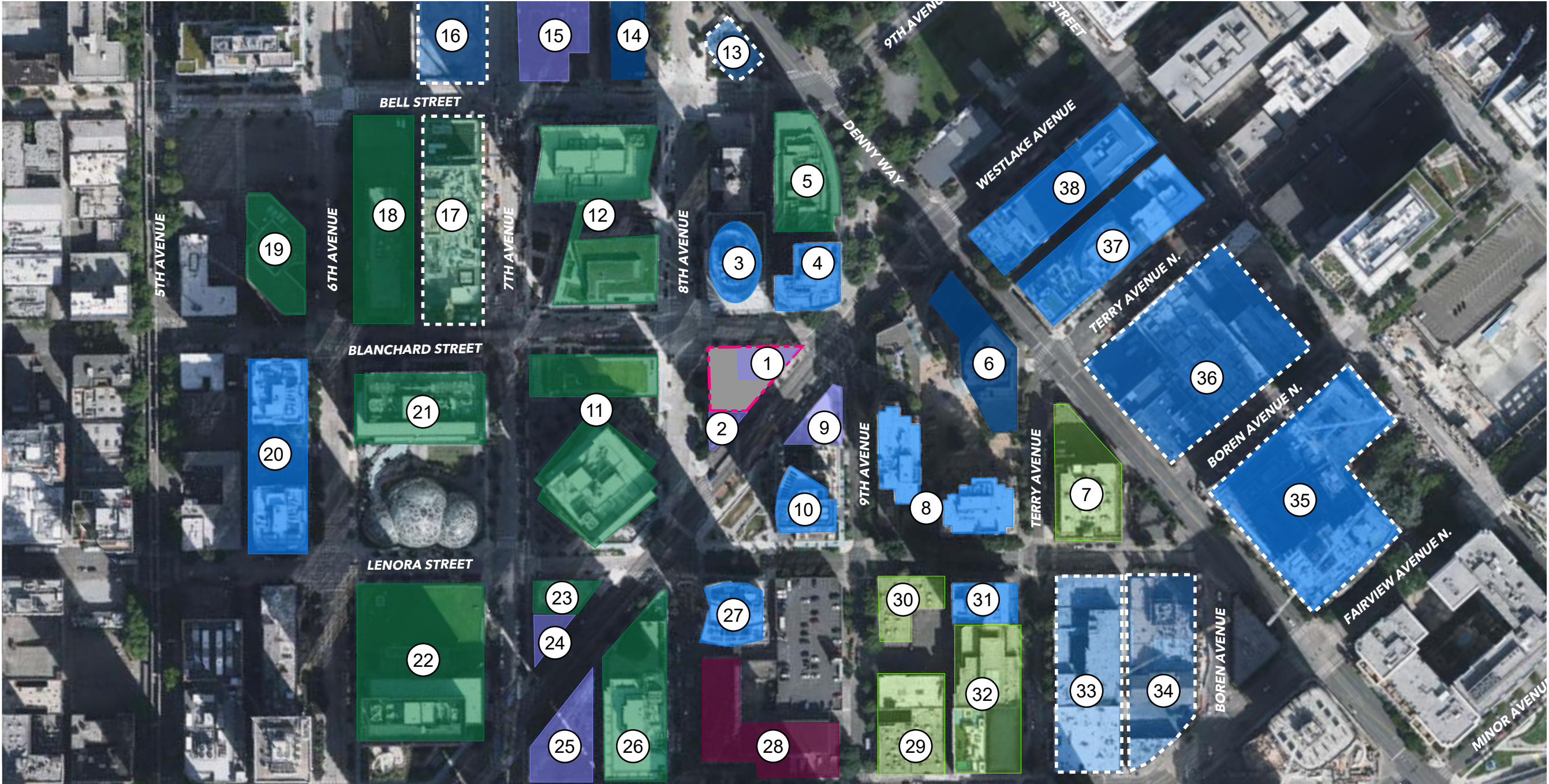
EDUCATION

RETAIL/  
SERVICE

HOTEL

CIVIC/  
COMMUNITY

\* White dashed line is proposed or in progress



- |                       |                     |                    |                    |                             |                        |                    |                        |
|-----------------------|---------------------|--------------------|--------------------|-----------------------------|------------------------|--------------------|------------------------|
| 1 The Butcher's Table | 6 Pan-Pacific Hotel | 11 Amazon Relnvent | 16 2301 7th        | 21 Amazon Day 1             | 26 West 8th            | 31 Cornish Commons | 36 121 Boren Ave.      |
| 2 Shake Shack         | 7 Cornish College   | 12 Amazon Block 21 | 17 Block 18        | 22 Amazon Doppler           | 27 Cirrus              | 32 Cornish College | 37 Kiara               |
| 3 McKenzie            | 8 2200 Westlake     | 13 The 8 Tower     | 18 Denny Building  | 23 Dentist Downtown Seattle | 28 West Precinct       | 33 1000 Virginia   | 38 Rollin Street Flats |
| 4 Enso Condos         | 9 Westlake Building | 14 The Loyal Inn   | 19 Blanchard Plaza | 24 2027 Westlake            | 29 Cornish College     | 34 2019 Boren      |                        |
| 5 2201 Westlake       | 10 Stratus          | 15 2300 7th        | 20 Via 6 Towers    | 25 700 Virginia             | 30 Morningside Academy | 35 1120 Denny Way  |                        |

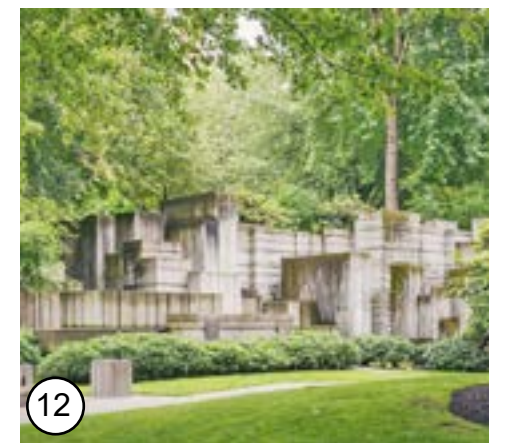
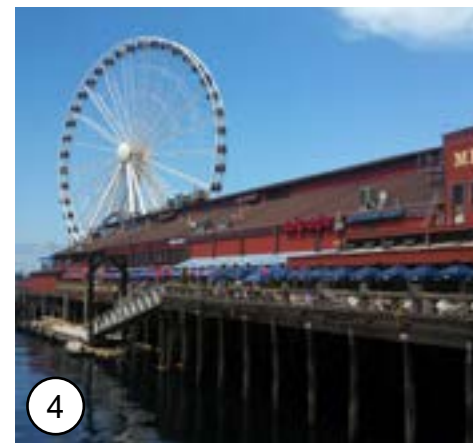
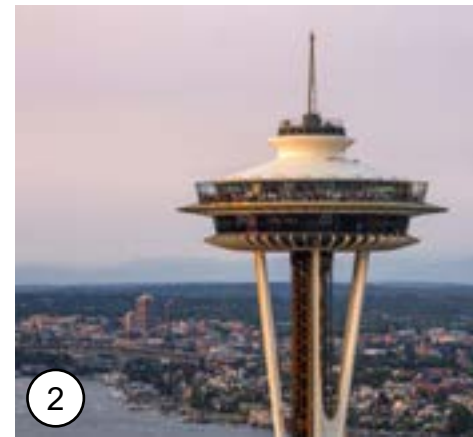
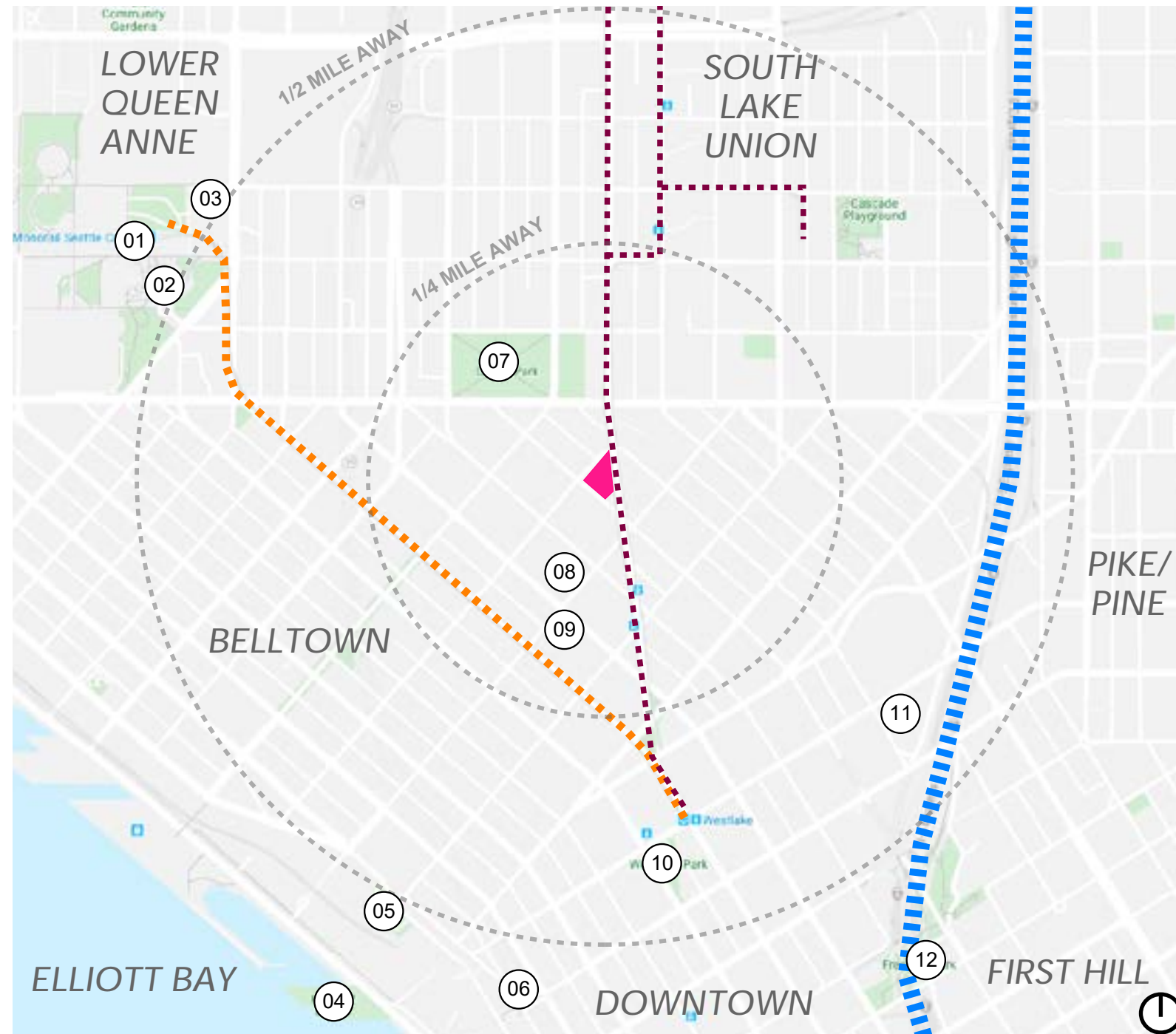


# SUMMARY CONTEXT ANALYSIS: SURROUNDING GROUND FLOOR USES





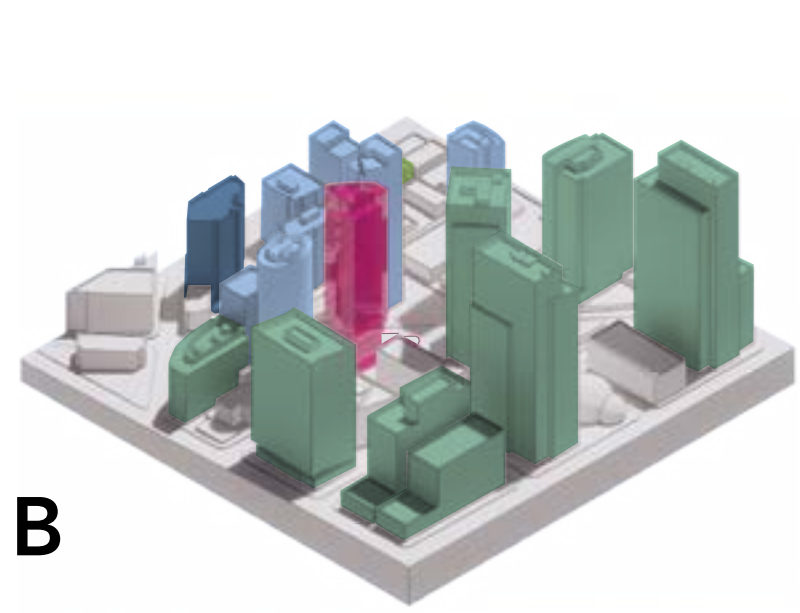
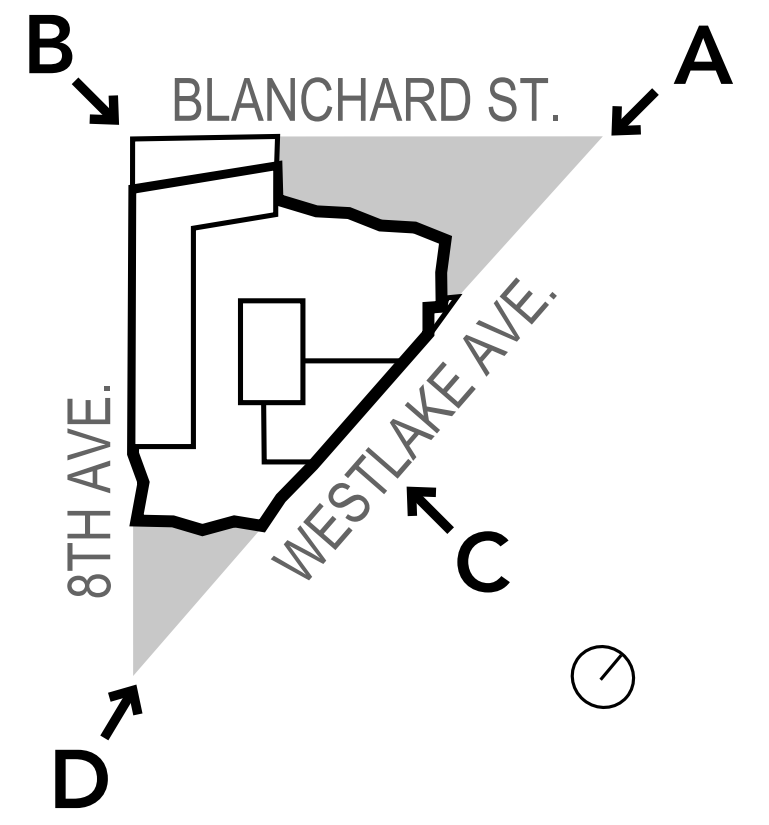
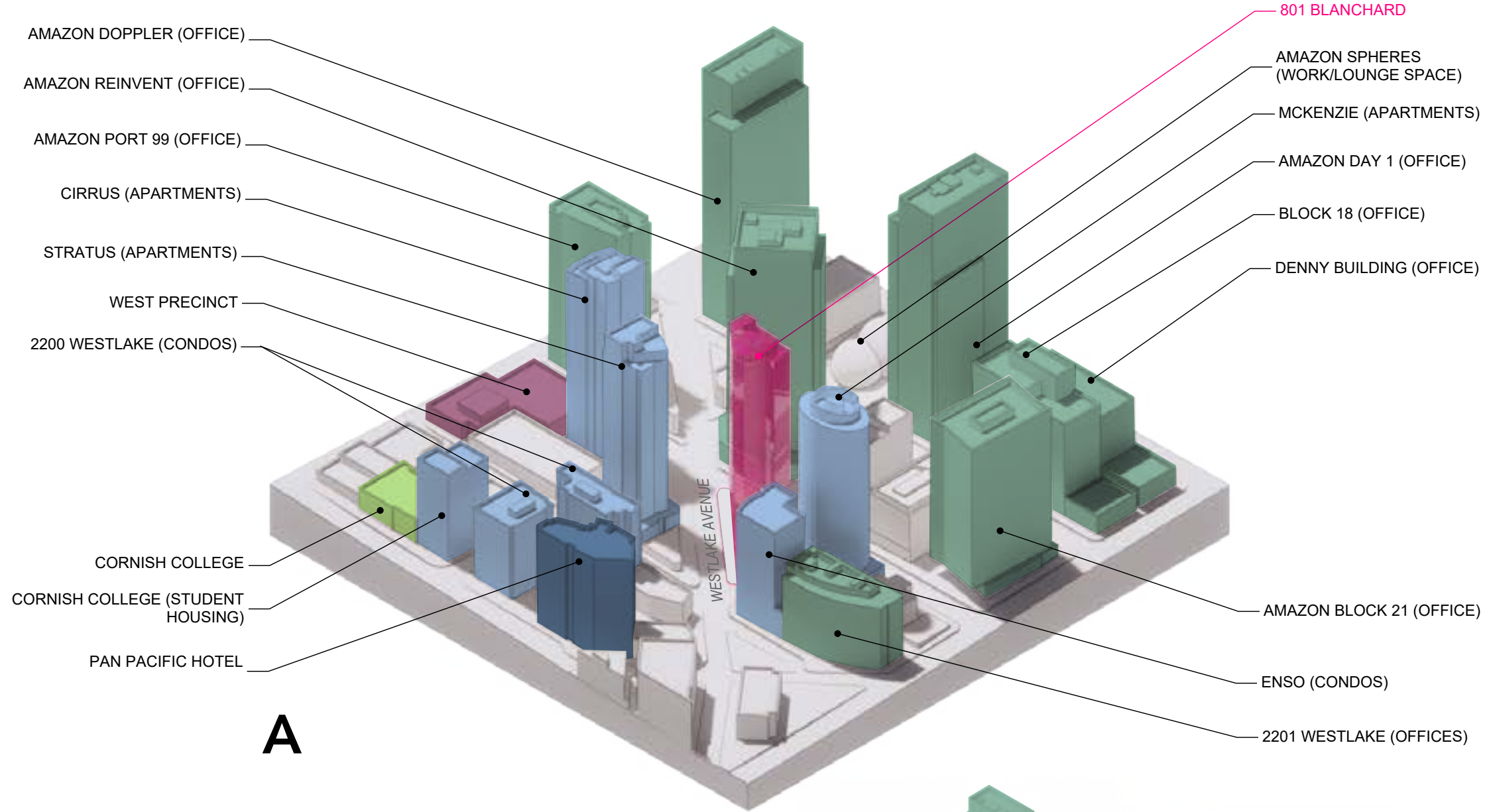
## SUMMARY CONTEXT ANALYSIS: NODES AND LANDMARKS



- |                          |                           |                          |
|--------------------------|---------------------------|--------------------------|
| ① Chihuly Garden & Glass | ⑤ Victor Steinbrueck Park | ⑨ Dimitriou's Jazz Alley |
| ② Space Needle           | ⑥ Pike Place Market       | ⑩ Westlake Park          |
| ③ Museum of Pop Culture  | ⑦ Denny Park              | ⑪ Paramount Theatre      |
| ④ Seattle Waterfront     | ⑧ Amazon Spheres          | ⑫ Freeway Park           |



# SUMMARY CONTEXT ANALYSIS: SITE AXONOMETRIC





SUMMARY CONTEXT ANALYSIS: VICINITY



KEY MAP



02 The Butcher's Table



01 Shake Shack



03 Amazon Block 21



04 McKenzie



06 Pan-Pacific Hotel



12 Amazon Re:Invent



11 Cirrus



10 Stratus



05 Enso / 2201 Westlake



09 Urban Triangle Park



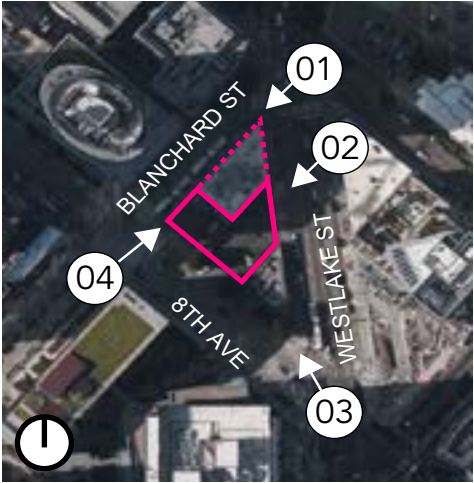
07 2200 Westlake Condos



08 Westlake Building



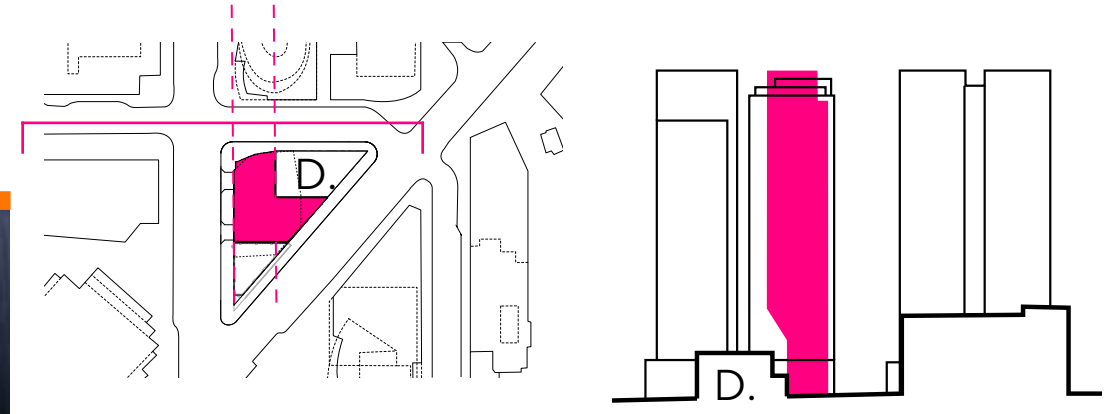
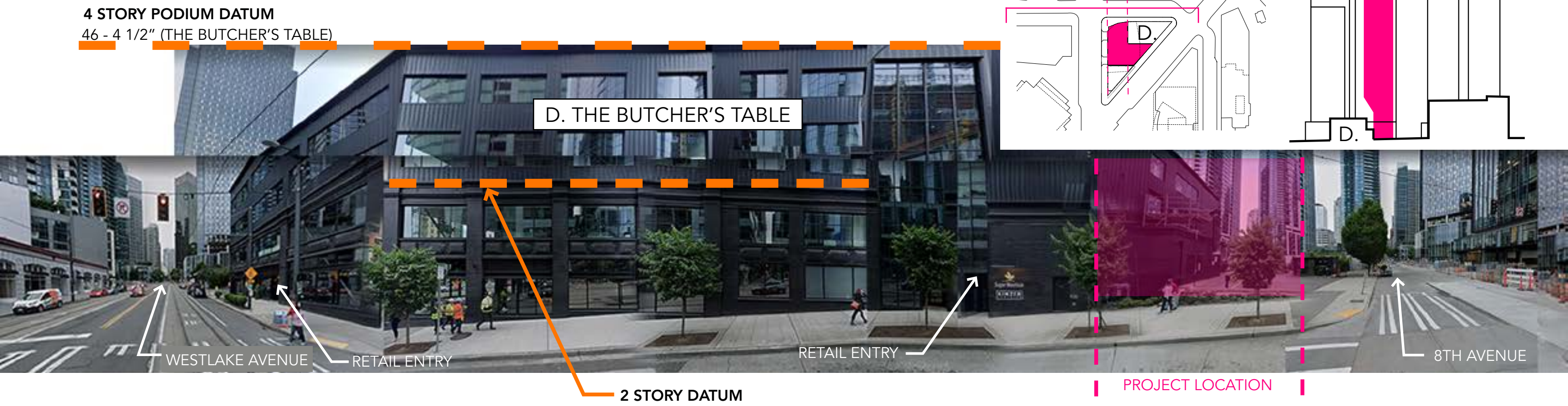
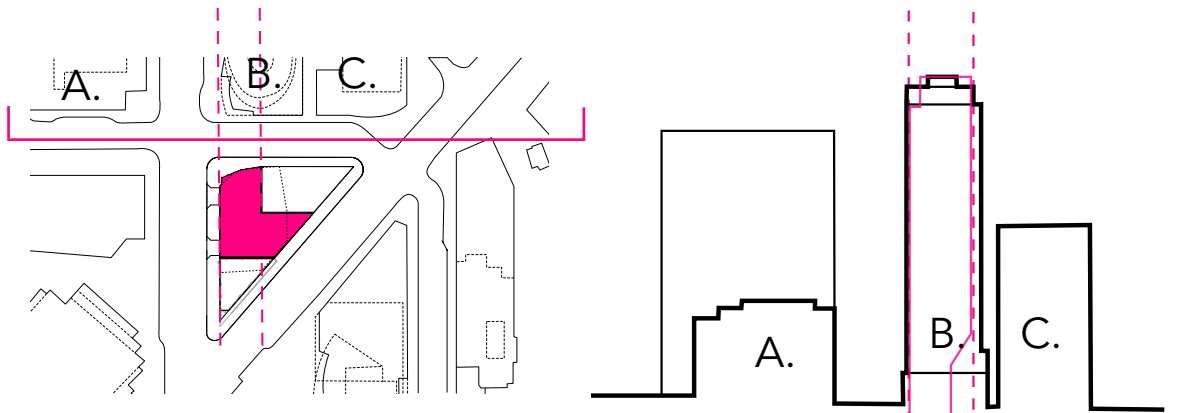
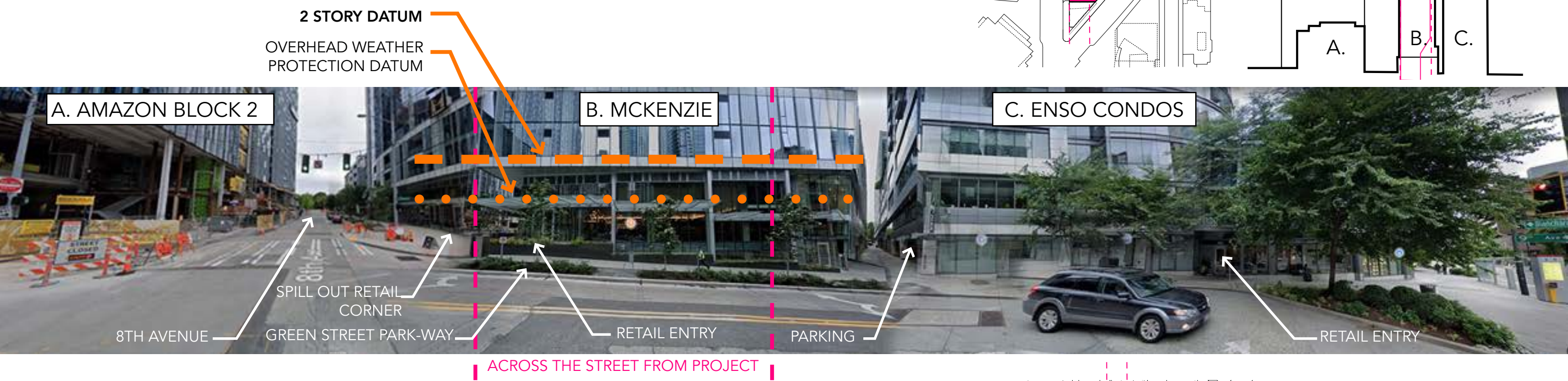
SUMMARY CONTEXT ANALYSIS: STREETSCAPE VIEWS





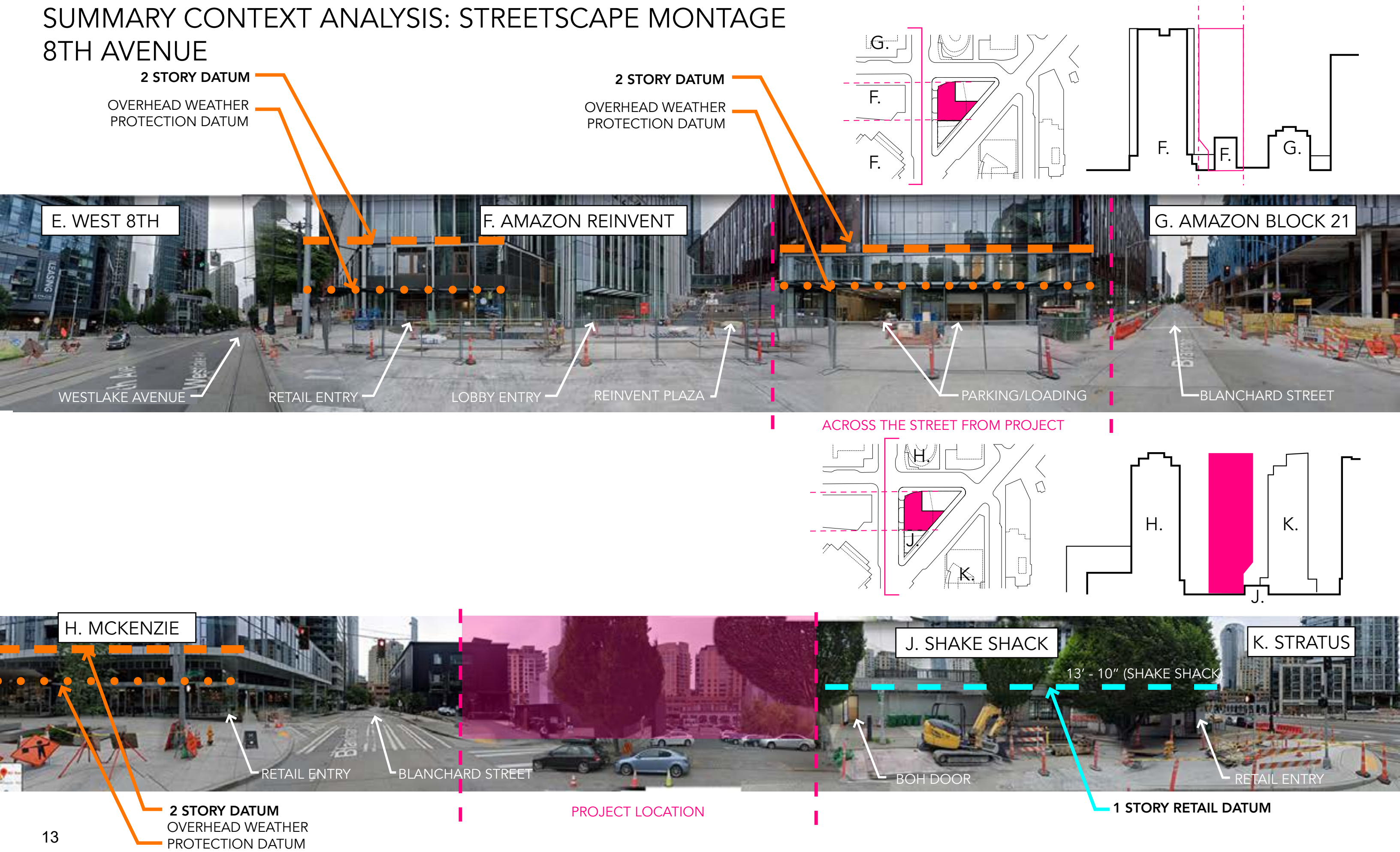
# SUMMARY CONTEXT ANALYSIS: STREETSCAPE MONTAGE

## BLANCHARD STREET



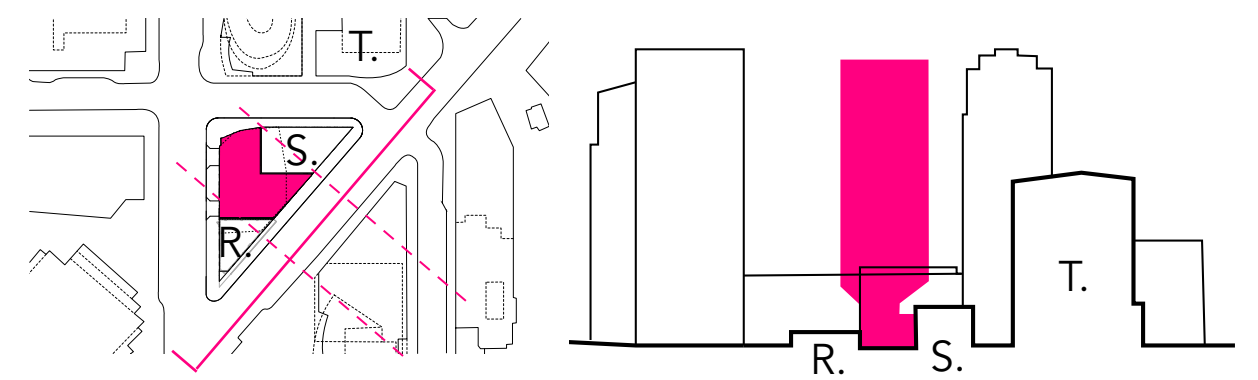
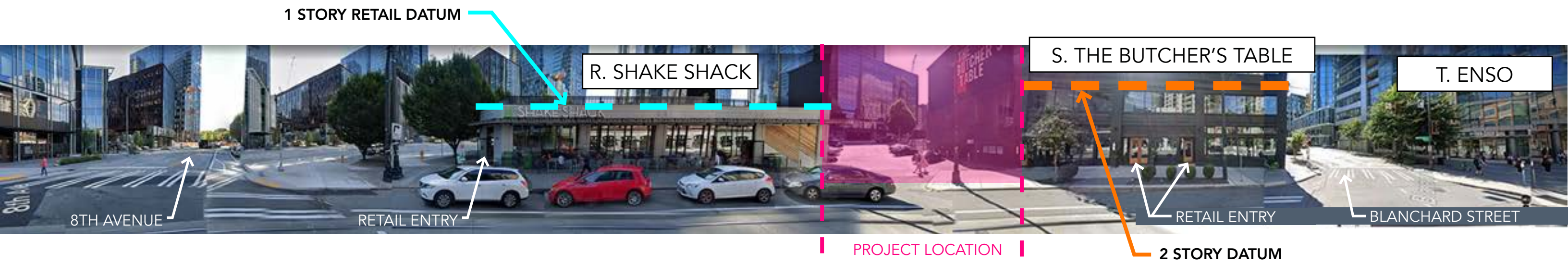
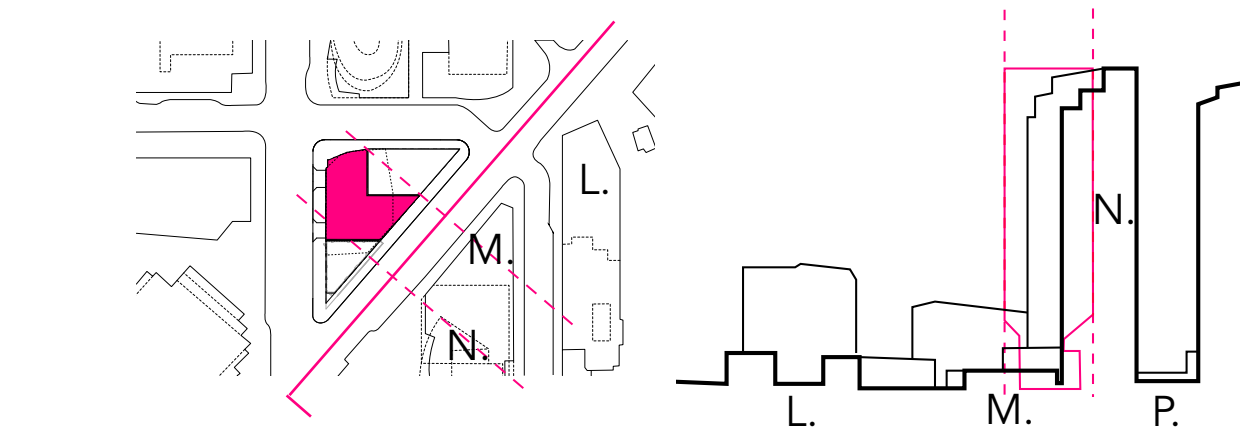
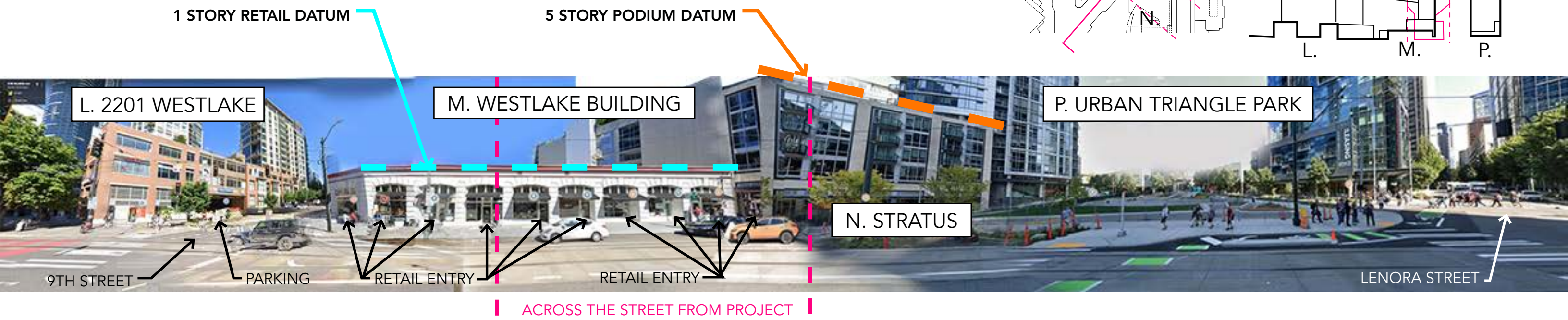


SUMMARY CONTEXT ANALYSIS: STREETSCAPE MONTAGE  
8TH AVENUE



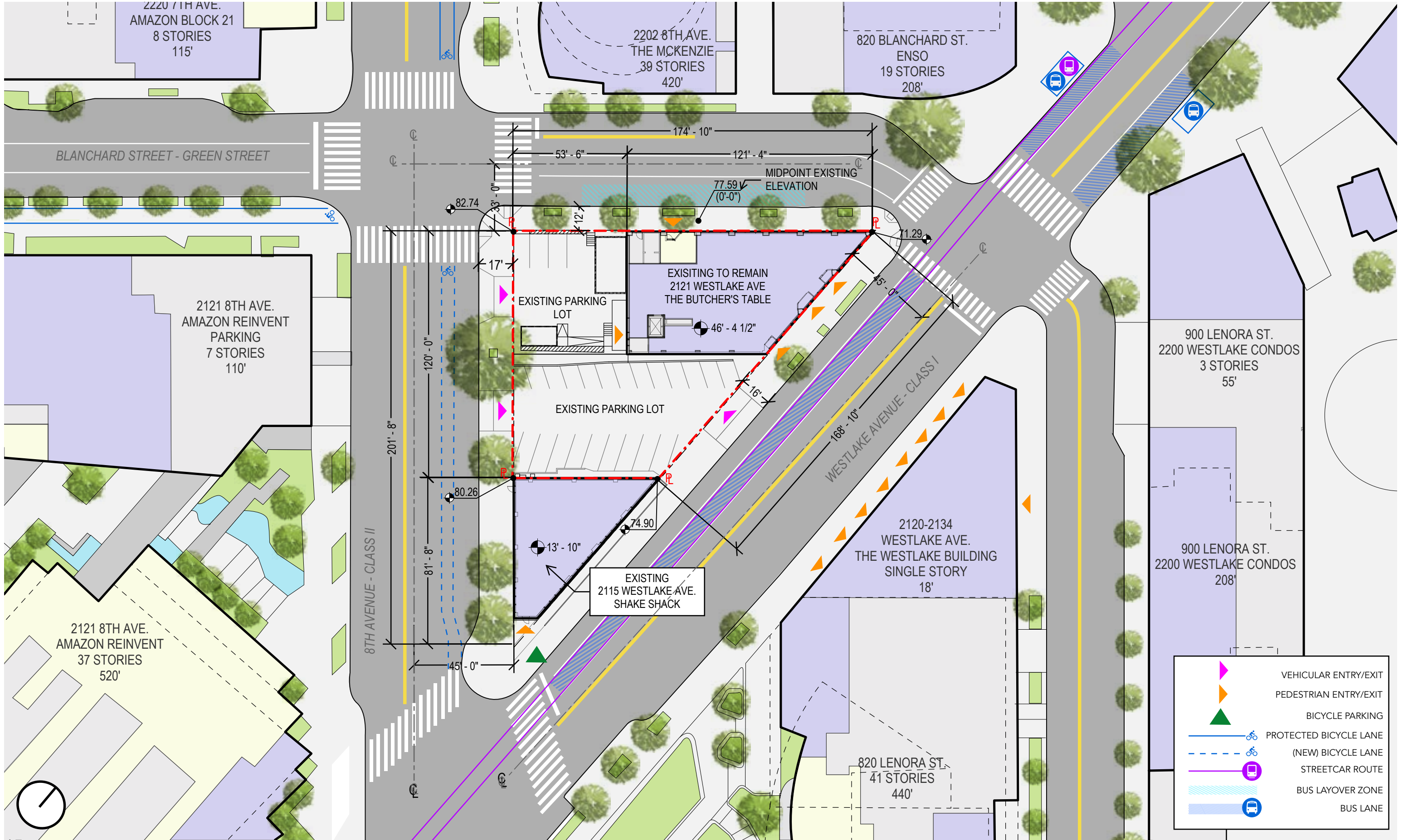


# SUMMARY CONTEXT ANALYSIS: STREETSCAPE MONTAGE WESTLAKE AVENUE



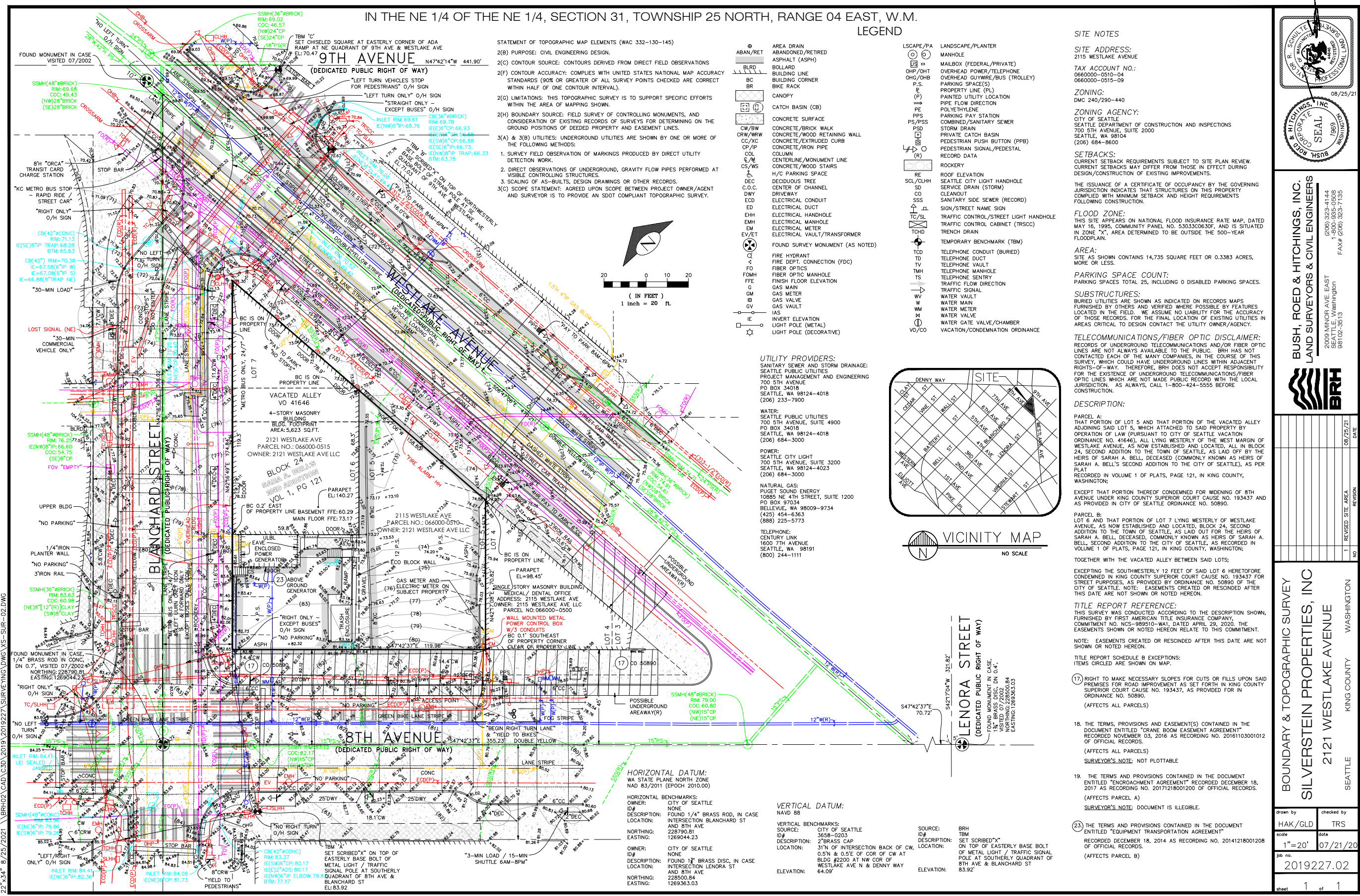


## EXISTING SITE CONDITIONS: SITE PLAN





EXISTING SITE CONDITIONS: SURVEY





# DEVELOPMENT OBJECTIVES

This proposal is for a new high-rise residential building located at the intersection of Westlake Avenue, Blanchard Street, and 8th Avenue that includes 418 residential units and 3 levels of below-grade parking for 57 vehicles and mechanical. The development is approximately 45 stories and 484’ in height with an approximate total area of 500,749 gross square feet, primarily residential with two levels of amenity located at the top of the podium and roof with accompanying outdoor terraces. Along Westlake, there is approximately 992 sf of retail space mirroring the active retail spaces along Westlake.

The primary entrance and double height lobby space are located along a Green Street at the Northwestern corner of 8th Avenue and Blanchard Street. At this corner, we are proposing a bulb out to provide a larger and safer pedestrian experience. Lush landscaping, benches, and contrasting paving enhance Blanchard street to provide an inviting and attractive streetscape for both pedestrians and nearby transit patrons. These improvements will complete the Green Street improvements on Blanchard Street, creating a gateway connection between the Green Street and Westlake Avenue, a transit corridor.

Wrapping the corner along 8th Street, the warm and inviting lobby space extends into the porte cochere space, providing a grand entry for residents to valet their vehicle or ride their bicycles into, while providing a safe, engaging, and visually pleasing experience for pedestrians.

In addition to improving the streetscape, the project aims to creatively infill an under-utilized downtown parcel, which currently only supports surface level parking. Due to the parcel’s challenging “L” shaped plan, the project utilizes space created by cantilevering over the existing 4-story building at the north, “The Butcher’s Table” and the existing 1-story Shake Shack building to the south. The development team has secured agreements through outreach and financial partnership to preserve the neighboring structures and continue operation while enhancing the form and vitality of the block with high-density housing and retail services.

Located in an area defined by an expanding mixed-use office habitat and a growing need for supportive urban residential and retail service, the position and use of the project will support and enrich the flourishing urban environment.

# DEVELOPMENT SUMMARY

	TOTAL GFA	UNITS	RETAIL	PARKING SPACES
<b>PROPOSED (NEW) BUILDING</b>				
ROOF	719 SF			
LEVEL 45 - MECHANICAL	1,727 SF			
LEVEL 44 - AMENITY	8,224 SF			
LEVEL 43 - RESIDENTIAL UNITS	10,760 SF	4		
LEVEL 11-42 - RESIDENTIAL UNITS	10,760 SF	352 (11 per floor)		
LEVEL 10 - RESIDENTIAL UNITS	10,477 SF	11		
LEVEL 09 - RESIDENTIAL UNITS	10,017 SF	11		
LEVEL 08 - RESIDENTIAL UNITS	9,609 SF	11		
LEVEL 07 - RESIDENTIAL UNITS	9,088 SF	9		
LEVEL 06 - RESIDENTIAL UNITS	7,070 SF	6		
LEVEL 05 - AMENITY	7,070 SF			
LEVEL 04 - RESIDENTIAL UNITS	8,349 SF	7		
LEVEL 03 - RESIDENTIAL UNITS	8,349 SF	7		
LEVEL 02 - BIKE LOUNGE AND PACKAGE ROOM	8,171 SF			
LEVEL 01 MEZZ - BOH / EGRESS	350 SF			
LEVEL 01 - LOBBY / MAIL / RETAIL / PORTE COCHERE / LOADING	8,002 SF		992 SF	
LEVEL B1 - BOH / MECHANICAL	7,732 SF			
LEVEL B2 - PARKING	7,732 SF			27
LEVEL B3 - PARKING	7,732 SF			30
<b>PROPOSED TOTAL</b>	<b>475,498 SF</b>	<b>418 UNITS</b>	<b>992 SF</b>	<b>57 SPACES</b>
<b>EXISTING THE BUTCHER'S TABLE "TBT"</b>				
TBT LEVEL 4 - OFFICE	5,059 SF			
TBT LEVEL 3 - OFFICE	5,059 SF			
TBT LEVEL 2 - OFFICE	4,992 SF			
TBT LEVEL 1 - RESTAURANT	5,130 SF		5,130 SF	
TBT LEVEL B1 - RESTAURANT	5,011 SF		5,011 SF	
<b>TBT TOTAL</b>	<b>25,251 SF</b>		<b>10,141 SF</b>	
<b>TOTAL AREA</b>	<b>500,749 SF</b>			



DEVELOPMENT OBJECTIVES : ZONING DATA

DOWNTOWN MIXED COMMERCIAL “DMC” 240/290-440

STANDARD/REQUIREMENT	PROPOSED	STANDARD/REQUIREMENT	PROPOSED
23.49.042: PERMITTED USES		23.49.019: Parking quantity, location, and access requirements, and screening and landscaping of parking areas	
- All uses are permitted outright, except those prohibited by SMC 23.49.046, and parking, which shall be regulated by 23.49.045.	COMPLIES, Proposed uses are apartments, and retail on the Westlake Avenue frontage. Parking is below-grade, all parking is valet/attendant parking with accessible drop-off area.	- No parking is required in Downtown zones - Parking not at street level, within structures must be located below street level or separated from street level by other uses - Bicycle Parking required according to 23.54.015K - Off-street loading if meeting standards in 23.54.035 - Curb cut location most preferred on 8th Avenue, then Westlake Avenue, and lastly Blanchard Street Curb cut width and number to comply with 23.54.030	COMPLIES, No surface parking provided: All parking levels of located in basement (below grade) No non-residential parking provided For Bicycle Parking, see 23.54.01 For Off-street loading, see 23.54.035 Curb cuts are all located on 8th Avenue.
23.54.015: REQUIRED PARKING AND MAXIMUM PARKING LIMITS		23.49.022: MINIMUM SIDEWALK AND ALLEY WIDTH	
SMC Table B for 23.54.015 - Required parking for residential uses II. L. all residential uses within urban centers or within station area overlay district = no minimum requirement	COMPLIES, 57 Off-Street Parking spaces are provided. 57 Spaces / 418 Units = 0.136 spaces per Unit	- Minimum sidewalk widths are established by Map 1C. - Blanchard Street - variable (12' when unmarked) - Westlake Avenue - 18'	-Blanchard Street - COMPLIES: 12' wide - Westlake Avenue - DEPARTURE REQUESTED
SMC 23.54.030.h. Attendant parking. In downtown zones, any off street parking area or structure providing more than 5 parking spaces where automobiles are parked solely by attendants employed for that purpose shall have parking spaces at least 8' x 15. Provisions of subsection a,b, c, d, e do not apply, unless attendant operation discontinued, then it shall apply.	COMPLIES, Spaces provided are 16'-0" x 8'-0"	23.49.056.A: MINIMUM FACADE HEIGHTS	
23.49.008: STRUCTURE HEIGHT		Westlake Ave. (Class I) & Blanchard St. (Green St.) = 25' min. 8th Ave. (Class II) = 15' min. - Curb cut width and number to comply with 23.54.030	COMPLIES, All Facades on 3 frontages are greater than 25' height
- Residential Maximum Height Limit = 440' (without bonuses) - 10% allowed to max height limit for Residential, if enclosed portion is 9,000 sf or below and occupied by uses permitted in Section 23.49.008 (Height with added 10% = 484')	COMPLIES, Structure Height is 440' to top of Residential Floors. Structure between 440' and 484' conforms to uses permitted in Section 23.49.008 with enclosed areas less than 9,000 sf	23.49.056.B.1: FACADE SETBACK LIMITS	
23.49.009: STREET LEVEL USE REQUIREMENTS		- Westlake Avenue as designated on Map 1H requires property line facade. For Structures greater than 15' in height: - No setback limits above 15', max. setback is 10' - Between 15'-35' above sidewalk grade, facade shall be located within 2 feet of street lot line -Balcony railings, non structural features exempt	COMPLIES, The Westlake facade has no setbacks
- Applies to lots abutting streets on Map1G (Westlake Avenue) - Uses permitted in Section 23.49.009A - Minimum of 75% of street frontage	COMPLIES, 123' - 3" ' of the 158' - 10" ' Frontage is occupied by General Sales and Services and Eating and Drinking Establishments, qualifying uses	23.49.056.B.2: GENERAL SETBACK LIMITS	
23.49.010: COMMON RECREATION AREA		- General Setback Limits apply to Blanchard St. and 8th Ave. - Applies between 15' height (25' facade min. HT)	COMPLIES. There are no facade setbacks at Blanchard St. or 8th St. between 15' HT and 25' HT
- Required for new developments with over 20 dwelling units - 5% of total gross floor area required (shall not exceed size of lot) - Up to 50% can be enclosed, minimum horizontal dimension of 15', cannot be less than 225 sf - Open space on ground floor is counted as twice amount - Up to 50% can come from Green Street development	DEPARTURE REQUESTED	23.49.056.C: FACADE TRANSPARENCY REQUIREMENTS	
23.49.011: FLOOR AREA RATIO		- Applies to area 2' - 8' facade above sidewalk - Does not apply to portions of structures in residential use - Westlake Ave. (Class I) & Blanchard St. (Green St.) = 60% required - 8th Ave. (Class II) = 30% required	COMPLIES.
- DMC 240/290-440: Base FAR = 5 / Maximum FAR = 8 - Residential Use - Exempt	COMPLIES	23.49.056.D: BLANK FACADE LIMITS	
23.49.016: OPEN SPACE		- Blank facades apply to 2' - 8' of facade above sidewalk - Does not apply to facades with residential uses - Garage doors width permitted to be doors + 5' - Blank facades must be separated by transparent areas of 2' wide - Westlake Ave. and Blanchard St.: Cannot be more than 15' wide and cannot exceed 40% of facade - 8th Ave.: Cannot be more than 30' wide and cannot exceed 70% of facade	COMPLIES.
- 20 sf per 1,000 sf of gross office floor square footage for projects with 85,000 sf gross floor area (Residential - Exempt)	COMPLIES, Residential use is exempt	23.49.056.E. STREET TREE REQUIREMENTS	
23.49.018: OVERHEAD WEATHER PROTECTION AND LIGHTING		- Street trees are required on Westlake Ave., Blanchard St., and 8th Ave. (According to standards in Right-of-Way Improvements Manual) - Areaways are located beneath sidewalk on 8th street, so, street trees shall be planted in below-grade containers with provisions for watering trees	COMPLIES.
- Continuous overhead weather protection required for Blanchard St., 8th Ave., Westlake Ave. -Provide adequate lighting on facade or overhead protection - Exceptions: open space, driveways, loading docks -Lower edge of overhead weather protection must be a minimum of 10' and a maximum of 15' above sidewalk	DEPARTURE REQUESTED, Continuous overhead weather canopy is provided at all frontages except the loading dock which is a compliant exception and 5' from centerline of street trees. Extends 8' typical from building face & 10' at entrances. Min. 5' clearance from centerline of street streets		

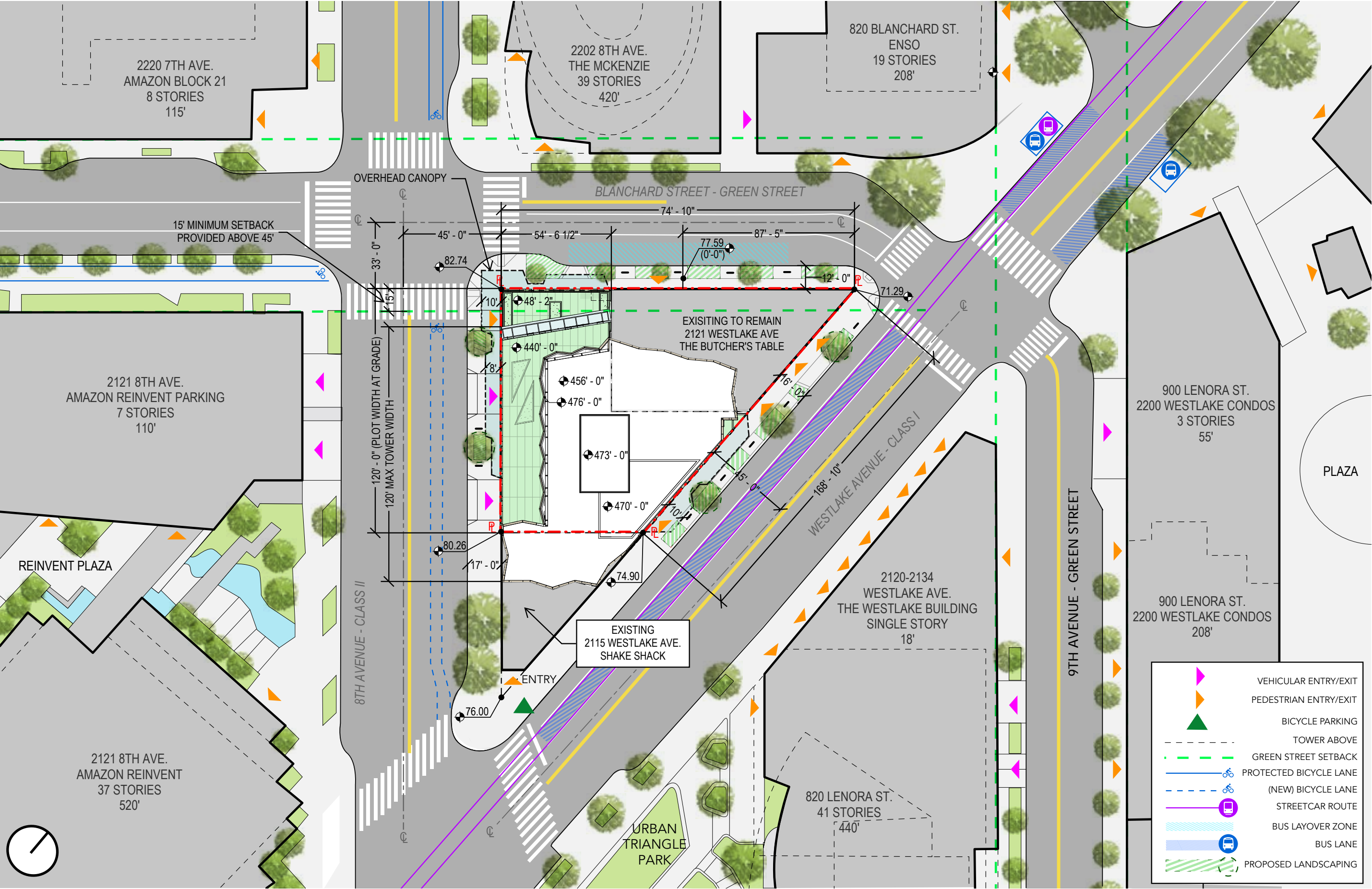


DEVELOPMENT OBJECTIVES : ZONING DATA

STANDARD/REQUIREMENT		PROPOSED	STANDARD/REQUIREMENT		PROPOSED
23.49.056.F. SETBACK AND LANDSCAPING REQUIREMENTS FOR LOTS LOCATED WITHIN THE DENNY TRIANGLE			23.54.035: LOADING BERTH REQUIREMENTS AND SPACE STANDARDS		
Provide landscaping on Westlake Ave. and 8th Ave. Exceptions for vehicular driveways and entrances which cannot be over 50% of length. - Blanchard St. must comply to the ‘Green Street Plan’		COMPLIES.	- Serving Medium Demand (eating/drinking establishments, utilities): 10,000-60,000 is minimum with 1 loading berth requirement - Could be waived having less than 16,000 sf - Min. width of loading berth is 10’ and 14’ in vertical clearance - Min. length is 35’		COMPLIES. (2) berths at 11’ x 39’ loading berth are provided
23.49.058.A.1 Downtown Office Core 1 (DOC1), Downtown Office Core 2 (DOC2), and Downtown Mixed Commercial (DMC) upper-level development standards					
STANDARDS APPLYING TO STRUCTURES IN RESIDENTIAL USE:			23.054.040: SOLID WASTE AND RECYCLABLE MATERIALS, STORAGE, AND ACCESS		
23.49.058.C.1: TOWER FLOOR AREA LIMITS			- More than 100 dwelling units: 575 sf plus 4 sf for each additional unit above 100 required; required min. area can be reduced by 15%, if min. horizontal dimension is 20’ - Non-residential development (GFA): - 0-5,000 SF: 82SF / 5,001-15,000: 125 SF - Mixed use development shall meet the storage spaces requirements shown in Table A for 23.54.040 for residential development, plus 50% of the requirement for non-residential development. - Curb cut width and number to comply with 23.54.030		COMPLIES. 1614 SF Required for Storage, 1749 SF Provided
- Average residential gross floor area per story of a tower if height exceeds base height limit for residential use = 10,700 sf - Maximum residential floor area of any story in a tower = 11,500 sf		COMPLIES, The average area per story for the tower above 85’ is 10,700 SF			
23.49.058.C.2: MAXIMUM TOWER WIDTH					
- Maximum Tower Width of a building above 85’ along the general north/south axis of a site (8th Avenue) shall be 120’ or 80% of width of lot measured on the Avenue, whichever is less.		COMPLIES. The combined plot length at 85’ above grade is 201’ - 8” 80 % of 201’ - 8” is 161 - 4” > 120’ The width of the tower parallel to the Avenue is 120’			
23.49.058.D: TOWER SPACING IN DMC ZONES					
23.49.058.D.4.no separation is required: a. Between structures on different blocks, except as may be required by view corridor or designated green street setbacks. 23.49.058.D.4. -All portions of the tower that are above 125 feet in height must be separated from any other existing tower that is above 160 feet in height, and the minimum separation required between towers from all points above the height of 125 feet in each tower is 60 feet		COMPLIES. There are no other towers on the block.  If 23.49.058.D.4. Applies, Complies - Separation between towers on other blocks is greater than 60’			
23.49.058.E.2: UPPER LEVEL SETBACKS					
- Blanchard Street (designated Green street) requires continuous upper-level setback of 15’, measured from abutting green street lot line, above 45’		DEPARTURE REQUESTED			
23.54.015: BICYCLE PARKING					
- Required Residential Bike Parking: - Long Term: 1 per dwelling unit / Short Term: 1 per 20 dwelling units - After 50 spaces, additional spaces are required at 3/4 ratio from table 23.54.015 - Required Retail (Eating & Drinking) Bike Parking: - Long Term: 1 space per 5,000 sf / Short Term: 1 space per 2,000 sf		COMPLIES			
23.54.030: PARKING SPACE AND ACCESS STANDARDS					
- Attendant parking spaces = 8’ x 15’ - Sections A,B,C,D, E do not apply for attendant parking - 2 curb cuts permitted on 8th Ave. (Minor Arterial) - Exception for 20’ curb cut to match driveway width for two-way traffic - Distance between curb cuts must be 30’ - EV Parking garages for multiple residences = 20% required to be EV ready (round up)		COMPLIES, 2 curb cuts for loading and car parking by attendant are provided on 8th Ave. separated by over 32’ feet. 20% of spaces will be EV ready.  All parking is valet/attendant parking with accessible drop-off area. No accessible spaces required within garage.			

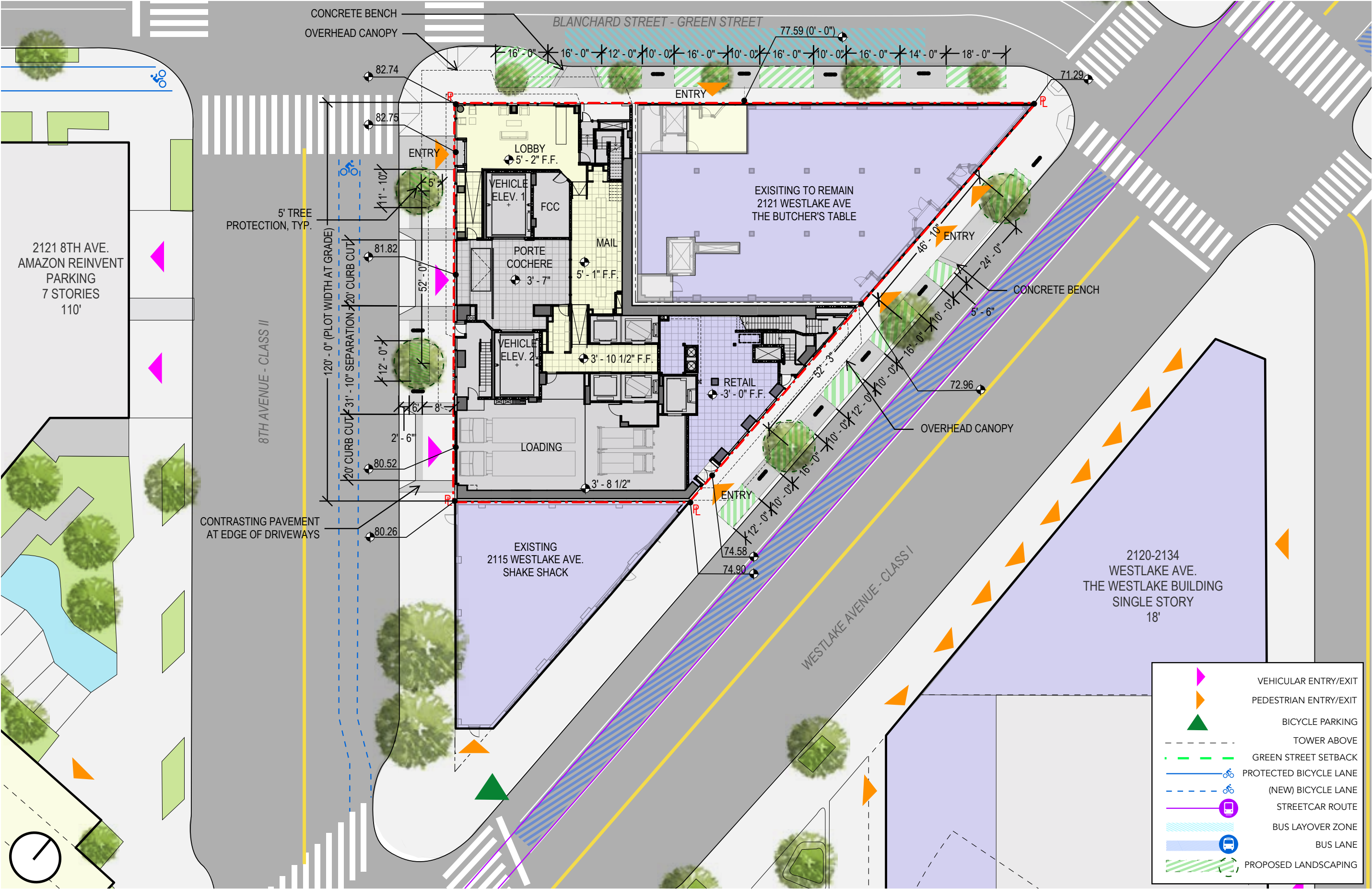


COMPOSITE SITE PLAN





COMPOSITE SITE PLAN: ENLARGED





# DESIGN REVIEW GUIDELINES: DESIGN TEAM RESPONSE

## Site Planning and Massing

### A-1 Respond to the Physical Environment

This proposal is for a new high-rise residential building located at the intersection of Westlake Avenue, Blanchard Street, and 8th Avenue. The project aims to creatively infill an under-utilized downtown parcel, which currently only supports surface level parking. Due to the parcel’s challenging “L” shaped plan, the project utilizes space created by cantilevering over the existing 4-story building at the north, “The Butcher’s Table” and the existing 1-story Shake Shack building to the south.

### A-2 Enhance the skyline

As recommended by the Board, we further investigated the terraced overhang language in creating a more cohesive and unified design concept. We initially examined the use of materiality to reinforce the undulating forms, and we felt this resolved some of the Board’s concerns. After further study we developed, the proposed pleated tower design that directly relates to the undulating overhangs. We believe this is an elegant and bolder concept which unifies the base and top of the building.

The mechanical screen at the tower top has been thoughtfully resolved as a series of clean extrusions as a continuation of the pleated form. The framed patterning of the recessed metal panels at the top also reinforce the relationship between the top and base. We believe this revised concept adds variety to the surrounding skyline.

## Architectural Expression

### B-1 Respond to the Neighborhood Context

The building is situated between two existing buildings on the North and South elevations. The concept equally distributes the tower mass on each side of the non-standard shape of the block. The overhang is reduced through a concept of terraced setbacks. This approach provides a scaled modulation that is compatible with the existing buildings while providing adequate relief.

### B-2 Create a Transition in Bulk & Scale

The base of the building has been reconsidered and refined. The design goal for the base is to be responsive and analogous to the volume and height of The Butcher’s Table while creating a cohesive transition to the upward expression of the articulated facade.

### B-3 Reinforce the Positive Urban Form & Architectural Attributes of the Immediate Area

The residential entrance is located on the corner of 8th Ave and Blanchard St which faces Northwest. The entry is accented by a new proposed bulb out as well as elongated overhead protection defining the corner entrance into the building. Additionally, the proportions of the base are derived from the 4-story datum of The Butcher’s Table and the 1-story datum of the Shake Shack.

### B-4 Design a Well-Proportioned & Unified Building

The pin-wheel massing concept, which was supported by the Board, was maintained through our conceptual studies and is still a vital component in the proposed design. However, we re-approached the expression of the exterior facade, by developing two wall textures: the “pleated facade” and “framed window facade”. The objective is to allow each facade to evolve naturally from the building’s massing. The pleated facade is inspired by and originates from the two expressive cantilevers on the North and South elevations. The framed window facade is derived from the rigid structural exterior moment frames that support the tower.

## The Streetscape

### C-1 Promote Pedestrian Interaction

The project proposes a new retail store frontage situated on the East elevation of the site along Westlake Ave, replacing the existing surface level parking. This new frontage is accentuated with a new planting strip that includes bike racks and a canopy denoting the retail entry. The residential entry is located on the corner of 8th Ave and Blanchard St.

The street level of the building is accented by a dark granite material, grounding the project at its base, which contrasts from the tower’s material language. We believe the variety of textures and combination of colors create a visually dynamic exterior expression at the pedestrian scale.

### C-2 Design Facades of Many Scales

As we developed the two-facade concept of the proposed design, we carefully considered the impacts of scale and proportions. Originating from the building’s structural grid, the framed window facade language can be traced from the base volume, changes scale up the tower, and resolves at the crown. The pleated texture of the tower is an organic evolution of the undulating overhang as the tower grows from the base. This is in keeping with the “fulcrum” concept from the EDG meeting.



# DESIGN REVIEW GUIDELINES: DESIGN TEAM RESPONSE

C-3 Provide Active - Not Blank - Facades

The lobby, porte cochere, and interstitial space between provide high transparency and activity along 8th Ave. The intention is for the porte cochere to be an extension of the lobby with high quality finishes and lighting that convey a grand entry and provide safety and visual interest along the façade. The lobby being situated on the corner of 8th Ave and Blanchard St, allow for the transparency to wrap on to the North elevation at the street level. Along Westlake Ave, the new retail space enlivens the street frontage with storefront glazing.

C-4 Reinforce Building Entries  
C-5 Encourage Overhead Weather Protection

The pedestrian entries are protected by continuous canopies with integrated downlights, which run the length of the street level frontages. The canopy design is pronounced at each entry to clearly identify the doorway. The residential lobby is a double-height space creating an open, welcoming experience for pedestrians.

**Public Amenities**

D-1 Provide Inviting & Usable Open Space

The architectural design has been coordinated with the proposed landscape design to distinguish the building entries with paving patterns. In addition, bike racks, benches, and planting strip are also proposed along the three frontages of the project site to enhance the pedestrian experience.

D-2 Enhance Building with Landscaping  
D-3 Provide elements that define the place

The proposal includes two residential outdoor terraces on Level 5 and Level 44. Each terrace brings the experience of landscaping to a larger variety of recreational activite. This is achieved with movable furnishings that allow for flexible use by the residents, and the use of large format glass doors which provide barrier-free exposure to the terraces.

D-4 Provide appropriate signage  
D-5 Provide adequate lighting  
D-6 Design for personal safety & security

The proposed signage and lighting plans are intended to create a warm, welcoming experience for pedestrians at the street level. The canopies have integrated lighting along the entire length of the building frontage for increased safety and visibility.

Signage has been proposed at the residential lobby, porte cochere, retail, and loading dock to help pedestrians navigate the project’s street level uses. Building identification on top of the canopy will emphasize the corner of 8th Ave and Blanchard St as the main entry point, and reinforced with the double-height lobby space.

The porte cochere is accented with sconces on either side of the portal and is visually intended to be a grand entrance emphasized by high-quality finishes and refined lighting design. We will integrate wayfinding signage to create a clear, safe path for vehicles and bicyclists as they enter. Mirrors and warning systems are also proposed to protection pedestrians as they travel along 8th Ave.

**Vehicular Access & Parking**

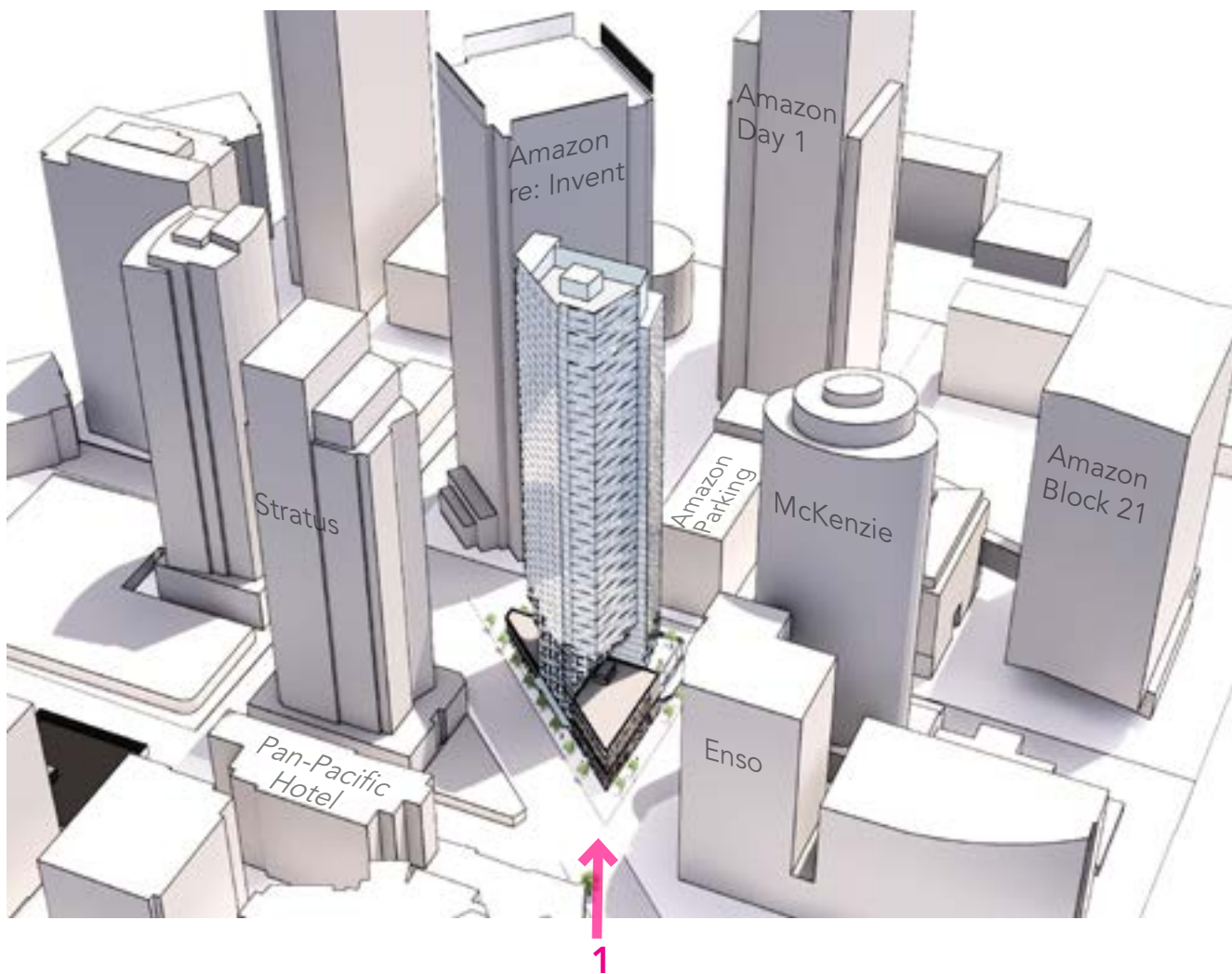
E-1 Minimize Curb Cut Impacts  
E-2 Integrate Parking Facilities  
E-3 Minimize the Presence of Service Areas

Based on the board’s concern with regard to the vehicular uses along 8th Ave, we refined the porte cochere to provide a hospitality quality experience for the residents. The intention is for the porte cochere to be an extension of the residential lobby. This concept engages pedestrians with an open facade displaying a warm, welcoming space, while providing a safe and visually pleasing experience.

We propose to eliminate an existing curb cut on Westlake Ave, and have located a retail store frontage to improve the current condition and create a safer experience at the pedestrian scale. In addition, we have relocated the northern most curb cut on the existing site away from the intersection of 8th Ave and Blanchard St. We believe this update will create increased visibility for bicyclists and pedestrians

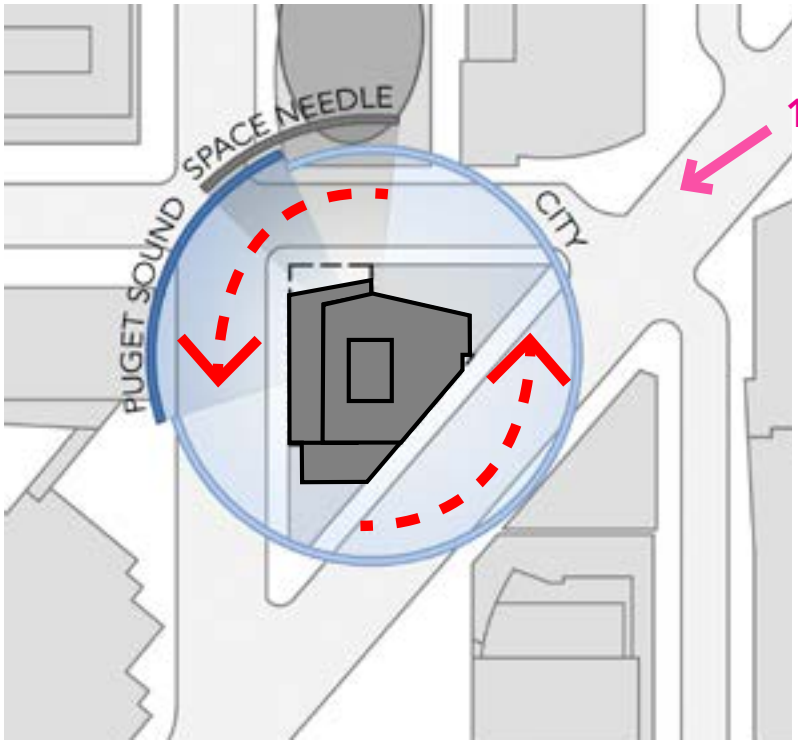


PROJECT HISTORY: EDG2 & MUP



A-1 & B-1 Context Response:

The concept preferred by the Board in the previous EDG equally distributes the tower mass on each side of the triangular block. The non-standard shape of the block and the intersection of 3 streets is echoed in the building form which is characterized by three vertical masses interlocked in a triangle or 'pinwheel'. (A-1.1.a.) The massing yields slender vertical profiles from multiple vantage points. (B-1,d.)



(1) EDG Concept - View from North on Westlake Avenue



# BOARD COMMENTS



Previous EDG Concept

Tower view North on Westlake Ave

## Summarized Board Comments

### 1. Massing & Architectural Concept:

- a. unanimously supported massing Option 5 (preferred option) ; further development requested
- b. supported “pinwheel” concept, resulting geometries, and verticality of volumes ; reduces the perceived mass and width of the building from different vantage
- c. supported treatment of the overhangs, modulation at the base in terms of the scale, the concept of rising up and growing out base (esp. north and south sides)
- d. further study of materiality and detailing of the mechanical screening at the top of tower ; how it relates to overall concept (relate top to base) ; how top meets Design Guideline A-2 ; maintain well-proportioned and unified building meeting Design Guideline B-4.

### 2. Facade Treatment:

- a. further study of how the “pinwheel” concept is expressed and emphasized by materiality and facade modulation ; relates to punched in window openings for full height of tower
- b. supported opaqueness of proposed material palette ; cautioned against highly reflective

### 3. Site Design & Access:

- a. supported ground level floor plan and streetscape design (presented in Option 5) ; esp. corner residential lobby
- b. concerned about linear extent of vehicular, service uses, access along 8th Ave. ; further study on how a pedestrian-oriented scale and treatment vs. opacity at ground level ; minimize visual impact of vehicle and services on pedestrian experience
- c. further exploration of how the design language from top (openness between interior and exterior amenity spaces) incorporated in base frontage and level 5 amenity
- d. how building is responding to configuration of bike lanes along 8th Ave. ; how condition transitions to Blanchard St. and responds to light rail planning efforts ; requested how more information on how access and bicycle parking will support increased ridership

### DEPARTURES: Common Recreation Area (SMC 23.49.010.B.2):

- indicated preliminary support for design rationale for requested departure, provided more information on window and door apparatuses create openness between interior and exterior



Previous EDG Concept

Base view along Westlake at Blanchard St.



# ITEMIZED RESPONSE TO EDG

Priorities and Recommendations		Design Team Responses
1a.	The Board appreciated the level of refinement of massing Option 4, the "revised diamond concept", in response to guidance from the first EDG meeting, but unanimously supported massing Option 5, the applicant's preferred option, for further development in response to the guidance provided herein. The Board stated that Option 5 is a cohesive mass that complements and responds well to the surrounding architectural context, while respecting Green Street setback requirements. (B-1, B-2.2, B-3)	Based on the Board's support of Option 5, we continued to develop the concept to further refine the design. Initially, we utilized a dark and light material palette to re-emphasize the undulating pattern produced by the cantilevers. Though the undulating pattern concept resolves some of the board's comments below, we found the need to push the scheme further. We believe the pleated scheme is more elegant and bold evolution of Option 5.
1b.	The Board supported the "pinwheel" concept and the resulting three geometries, particularly the verticality of the three extruded volumes as it reduces the perceived mass and width of the building from different vantage points. (B-3, B-4, B-4.1)	While maintaining the concept of the pinwheel, we re-approached the expression of the exterior facades by developing two wall textures: the "pleated facade" and the "framed window facade". Our objective is to allow each facade to evolve naturally. The pleated facade is inspired by and originates from the undulation of the two expressive cantilevers along Westlake Ave and the framed windows originate from the rigid structural exterior moment frames that support the tower.
1c.	The Board supported the treatment of the overhangs and the modulation at the base in terms of the scale and the concept of rising up and growing out of the base of the building. They particularly appreciated this treatment on the north and south sides. (B-4, B-4.1, B-4.3)	We have maintained the cantilevered overhangs and the overhang's geometry has become a driving language connecting the top and bottom of the building.
1d.	The Board requested further study of the materiality and detailing of the mechanical screening at the top of the tower and how it relates to the overall architectural concept; the treatment of the top should relate to the base. Demonstrate how the top of the tower meets Downtown Design Guideline A-2, Enhance the Skyline, while maintaining a well-proportioned and unified building that meets Downtown Design Guideline B-4. (A-2, A-2.2, B-4)	The clean extrusions reinforce the tower's pleating form in a bold fashion which directly relates to the cantilevered overhangs. At the top the framed patterning of the recess panels relates to the framed window façade at the base of the building.
2a.	The Board directed further study of how the "pinwheel" concept is expressed and emphasized by the materiality and façade modulation, particularly as it relates to punched window openings for the full height of the tower. (B-4, B-4.3, C-2, C-2.1)	The pin-wheel concept has been further refined and is reinforced by the new pleated wall texture at the North and South elevations.



# ITEMIZED RESPONSE TO EDG

Priorities and Recommendations		Design Team Responses
2b.	The Board supported the opaqueness of the proposed material palette, as suggested in the precedent images on page 34 of the second Recommendation packet, in contrast to the highly glazed buildings in the immediate context. The Board noted that materials should contribute to the perception of opaqueness and cautioned against solid materials that may also be highly reflective, such as certain types of metal panel, as it may not achieve the design intent. (B-4, B-4.3)	The opaqueness of the materials have been maintained. Dark granite grounds the project at its base, while the tower is wrapped in a mixture of warm, earthy toned and fresh white metal cladding. Based on the Board's recommendation, we've selected metal panels that are finished in matte and satin to avoid creating a highly reflective facade.
3a.	The Board supported the ground level floor plan and streetscape design as presented in Option 5 in response to guidance from the first EDG meeting, particularly the corner residential lobby. (A-1.1, B-3.1, C-4)	The residential lobby has been maintained, and the canopy has been further developed to emphasize the corner
3b.	The Board was concerned about the linear extent of vehicular and service uses and access along 8th Ave and directed further study of how a pedestrian-oriented scale and treatment is achieved along that frontage. The study should consider transparency versus opacity at the ground level and seek to minimize the visual impact of vehicle and service uses on the pedestrian experience. (C-2, C-3, E-1, E-1.1, E-3.1)	To address the Board's concern of the ground floor, our approach was to showcase the porte cochere to appear to pedestrians as an indoor-outdoor extension of the lobby space. Our intention is for the porte cochere to provide a hospitality quality experience for the residents, with finishes similar to the lobby such as high-quality paving and wall and ceiling treatments. This concept engages the pedestrian with an open façade displaying a warm welcoming space, providing a safe and visually pleasing experience.
3c.	The Board encouraged further exploration of how the design language from the top of the tower, specifically the openness between interior and exterior amenity spaces, could be incorporated in the base of the tower along each street frontage and the level 5 exterior amenity. (B-4.2)	Large format glass doors provide barrier free exposure to the skyline, and a sense of place is defined by the open panorama. The indoor/outdoor solarium arrangement provides views to landscaping during recreation activities from a weather protected environment.
3d.	The Board noted this area anticipates an increase in bicycle ridership and requested further study of how the building is responding to the configuration of bike lanes along 8th Ave, as well as how that condition transitions to Blanchard St and responds to light rail planning efforts. The Board requested more information on how access and bicycle parking will support this increased ridership. (A-1, A-1.1, A-1.2)	<p>The proposed project provides 326 bicycle parking spaces located on Level 2. Residents will be enter through the porte cochere, which is an extension of the lobby, to access the elevators up to Level 2.</p> <p>In addition, the proposed project eliminates an existing curb cut along Westlake, as well as, relocates the curb cut close to the corner of 8th and Blanchard away from the intersection. We believe this creates more visibility for bicyclists and pedestrians.</p>



# RESPONSE TO BOARD COMMENTS

## Response to Board Comments

In response to the comments we received from the EDG, we have further studied and developed the treatment and materials of the façade with the following goals:

- 1) Develop the tower facade to relate and reinforce the undulations at the base of the building (Design Guideline B-4)
- 2) Emphasize verticality and the concept of “growing out of the base of the building” (Design Guideline A-2, B-2, C-2)
- 3) Simplify volumes that relate to each other, while maintaining unique qualities (Design Guideline B-2, B-4)
- 4) Develop a sculptural expression at the top to emphasize the North corner that enhances the skyline (Design Guideline A-2)
- 5) Design a unified and complimentary top, tower, and base (Design Guideline B-4)

## Design narrative for achieving the above goals:

Building on the idea of the “fulcrum” concept from the last EDG meeting, we have refined the design to two expressions.

The first is the unique and robust structural grid central to the east and west facades. This volume is characterized by a series of punched windows, within in a clean white metal panel clad frame. These frames and windows are vertically oriented to fit the scale, height, and proportion of the tower.

The second expression occurs at the cantilevered portions of the north and south volumes. These are more textured, and informed by the natural geologic rock inspiration and precedent images supported by the Board. The highly articulated overhangs begin growing out of the base and ascend upward and outward, creating an extended transition between the base of the tower to its middle. The faceting in plan forms a pleated expression creating depth and shadows.

The same pleated expression is continued to the roof, terminating at the top and wrapping over the central framed volume as a sculptural screen wall. These volumes are also defined by a warm champagne colored metal panel that compliments the white metal and combines to form an overall warm material palette. The top unifies both expressions, with strong pleated elements, and the vertical frame of the gridded volume. This blended language is incorporated into the base as three-story frames in the same champagne coloring as above, but with window patterns and proportions relating to The Butcher’s Table.

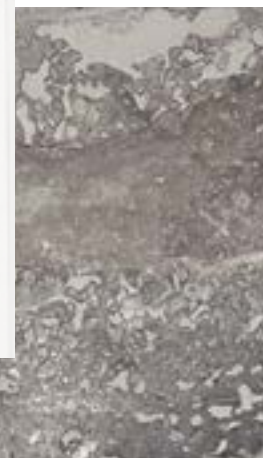
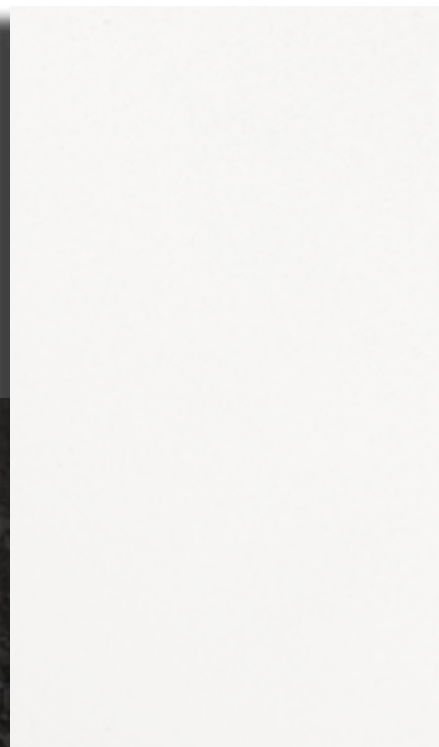
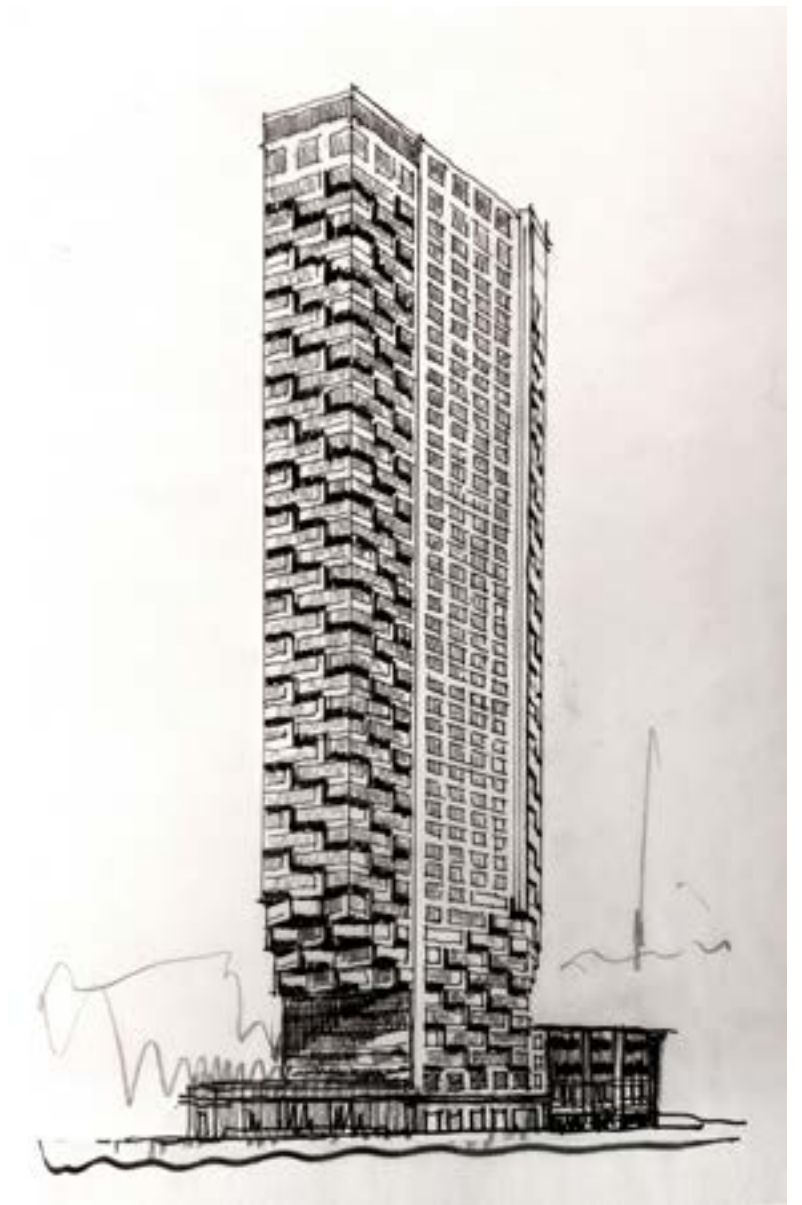
Overall, the changes made have produced a more cohesive and balanced building with better proportions at a more appropriate scale.





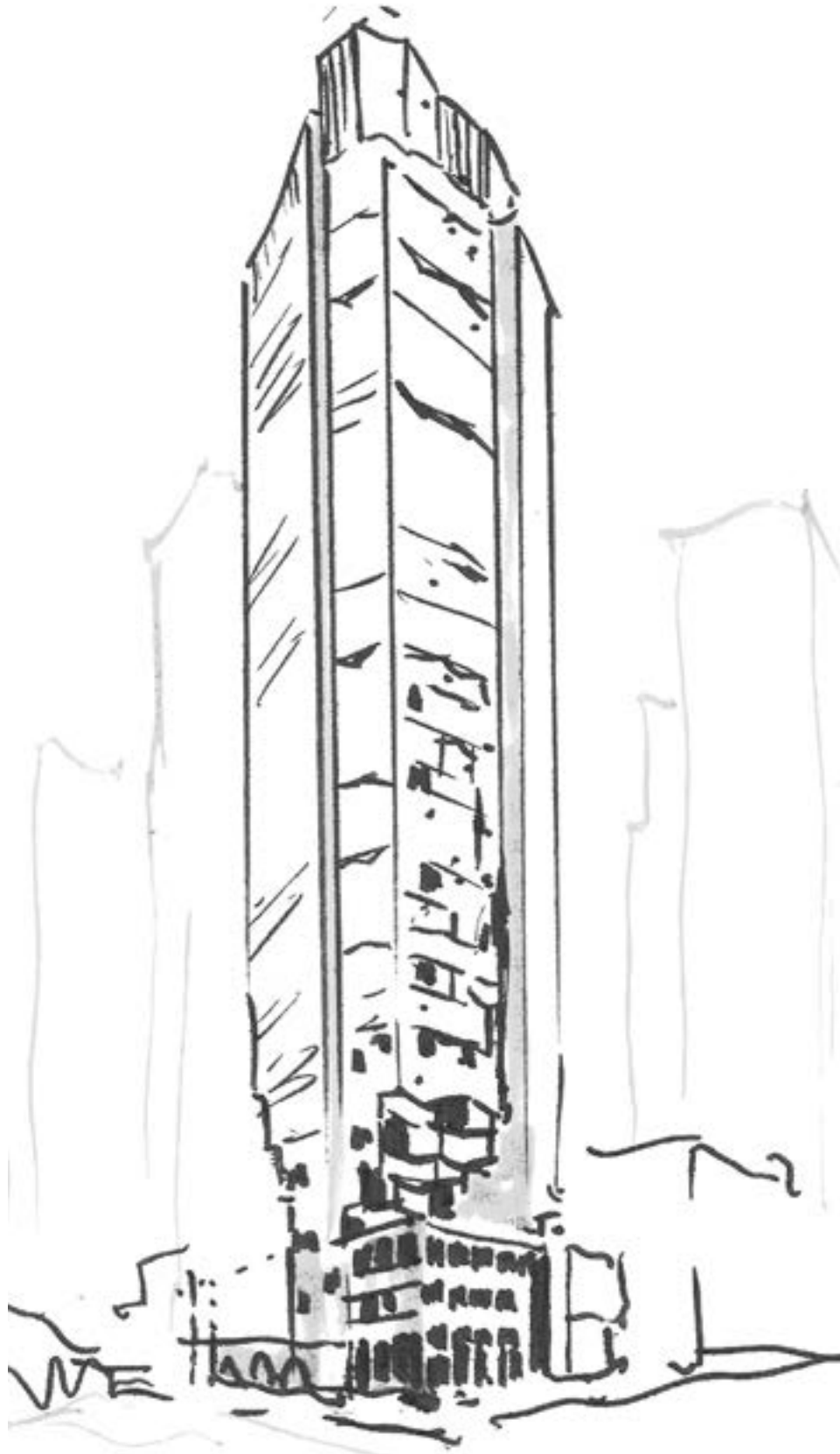
# MATERIAL INSPIRATION

- Inspired by the natural textures found in surrounding mountain ranges of Seattle and geologic formations
- The building appears to be growing out of the ground, sculpted upward and outward
- Dark granite grounds the project at its base, while the tower is wrapped in a mixture of warm, earthy toned and fresh white colored metal cladding
- Together, the variety of textures and combination of colors create a visually dynamic exterior expression and reinforce the kinetic movement of the facade

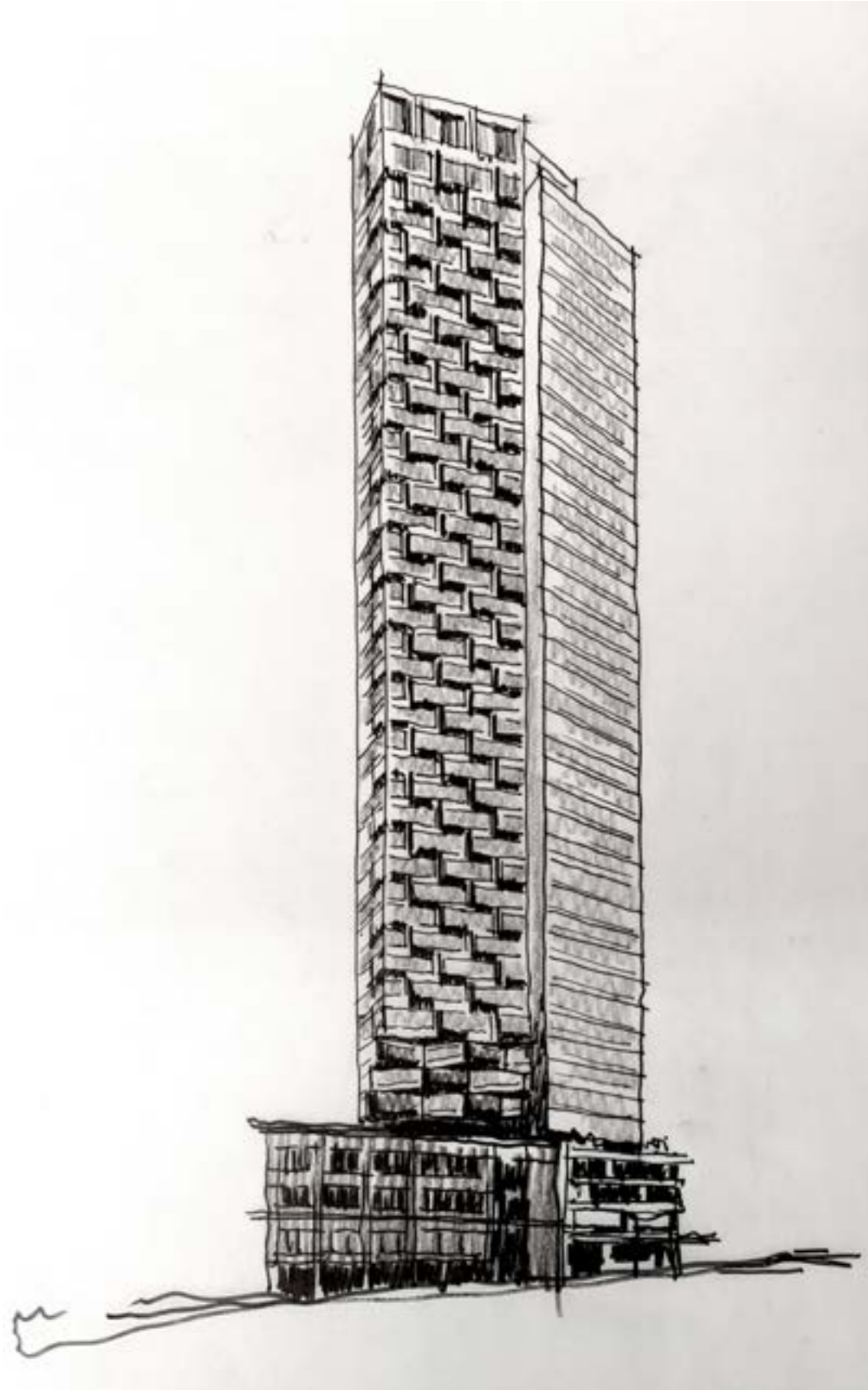




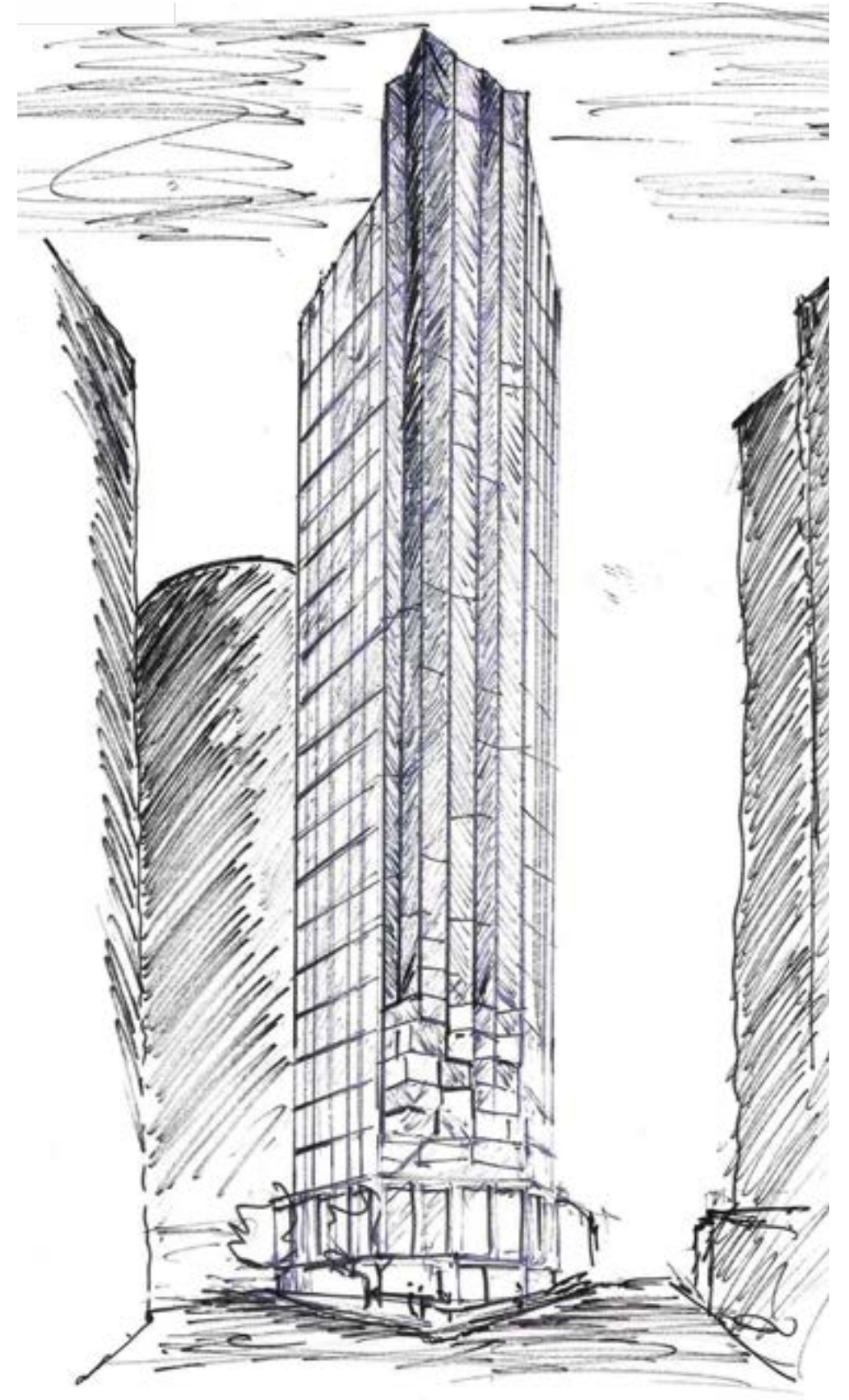
# CONCEPTUAL STUDIES OF UNDULATING PATTERN



PREVIOUS DESIGN : EDG 2



CONCEPTUAL STUDY



NEW PROPOSED DESIGN



DESIGN EVOLUTION PROCESS



PREVIOUS DESIGN : EDG 2



CONCEPTUAL STUDY

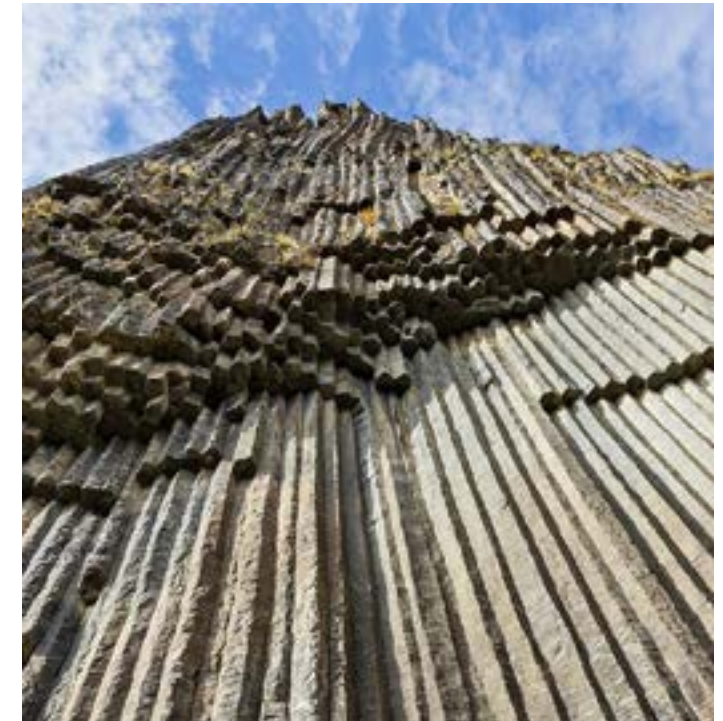
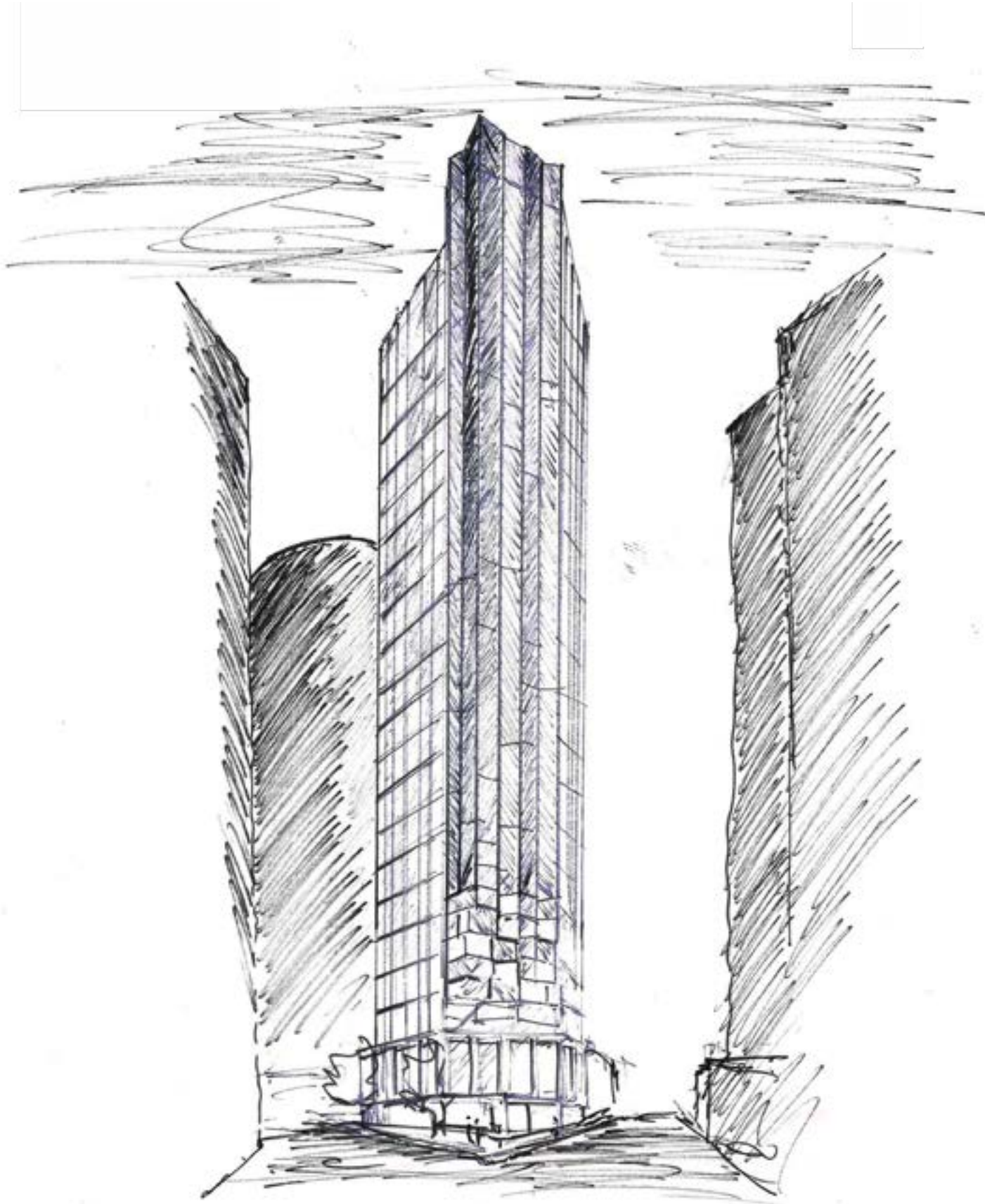


NEW PROPOSED DESIGN

OPPORTUNITIES	<ul style="list-style-type: none"><li>- Clear pinwheel concept</li><li>- Cantilever helps transition scale to TBT and Shake Shack</li><li>- Textured Facade</li><li>- Strong verticality</li></ul>	<ul style="list-style-type: none"><li>- Bold, graphic</li><li>- Unified by patterns and language</li><li>- Streamlined geometries</li><li>- Emphasize structure</li></ul>	<ul style="list-style-type: none"><li>- Dynamic</li><li>- Thinner Appearance</li><li>- Cohesive tower (top, middle, bottom)</li><li>- Smooth transition from cantilevers up tower</li><li>- Overall better balance and reduced scale</li></ul>
CONSTRAINTS	<ul style="list-style-type: none"><li>- Monolithic</li><li>- Disconnection between base, middle, top</li><li>- Does not consider structure in facade design</li><li>- Requires Departure</li></ul>	<ul style="list-style-type: none"><li>- Pattern emphasizes scale and height of building</li><li>- Detracts from cantilevers</li><li>- North facade reads horizontal</li><li>- Requires Departure</li></ul>	<ul style="list-style-type: none"><li>- Requires Departure</li></ul>
COMPLIANCE	<ul style="list-style-type: none"><li>1 Departure Requested</li><li>- Common Recreation</li></ul>	<ul style="list-style-type: none"><li>3 Departures Requested</li><li>- Common Recreation</li><li>- Sidewalk Width</li><li>- Green Street Setback</li></ul>	<ul style="list-style-type: none"><li>3 Departures Requested</li><li>- Common Recreation</li><li>- Sidewalk Width</li><li>- Green Street Setback</li></ul>



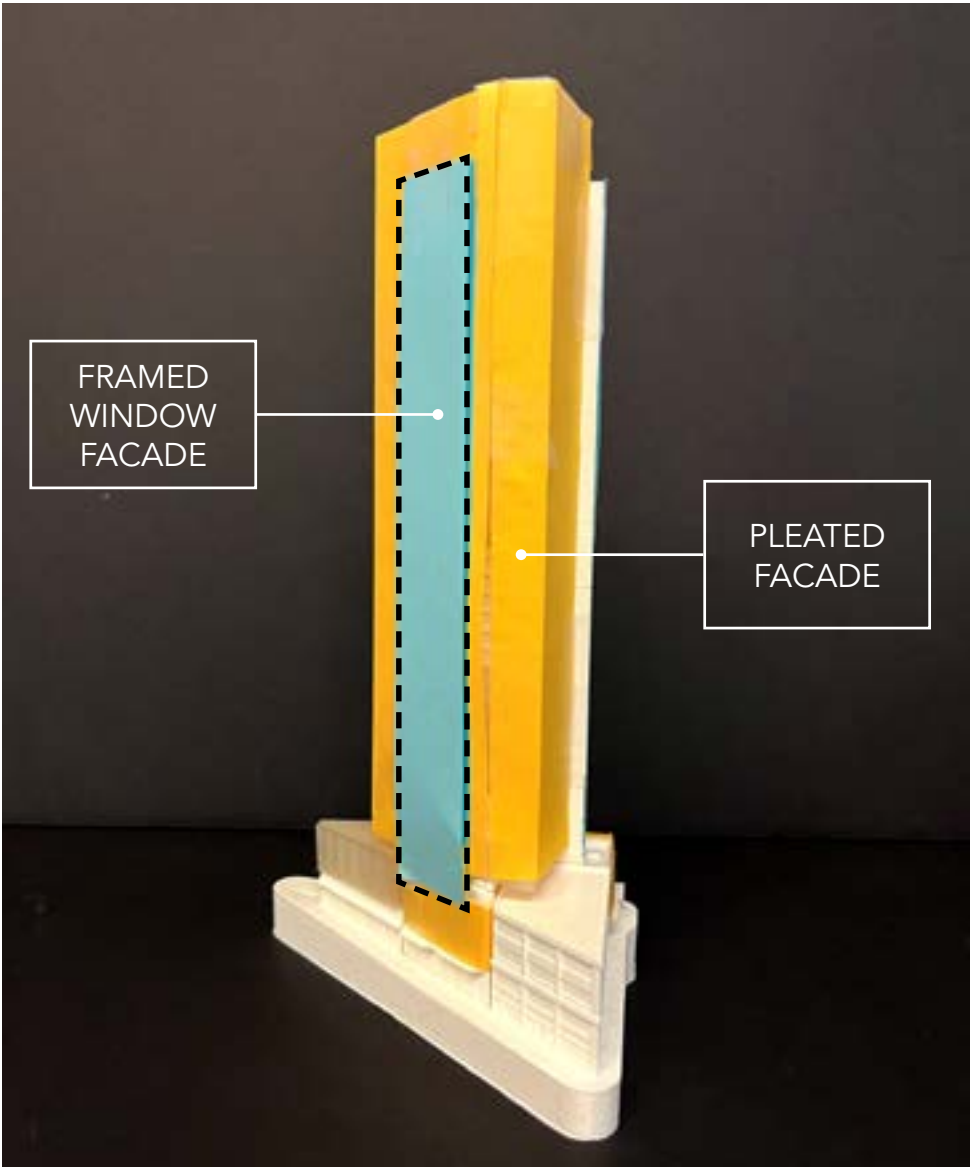
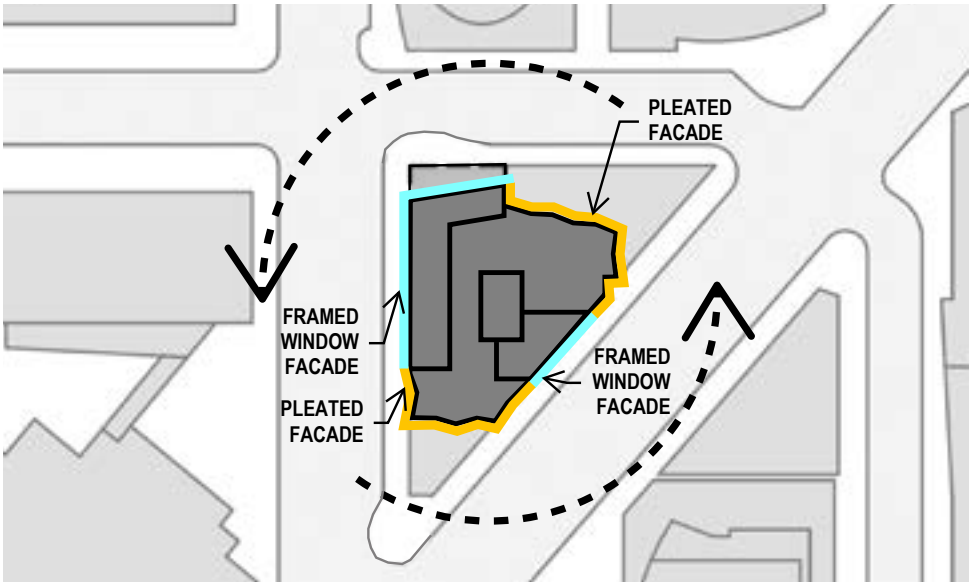
## REFINED DESIGN APPROACH: PLEATING FACADE



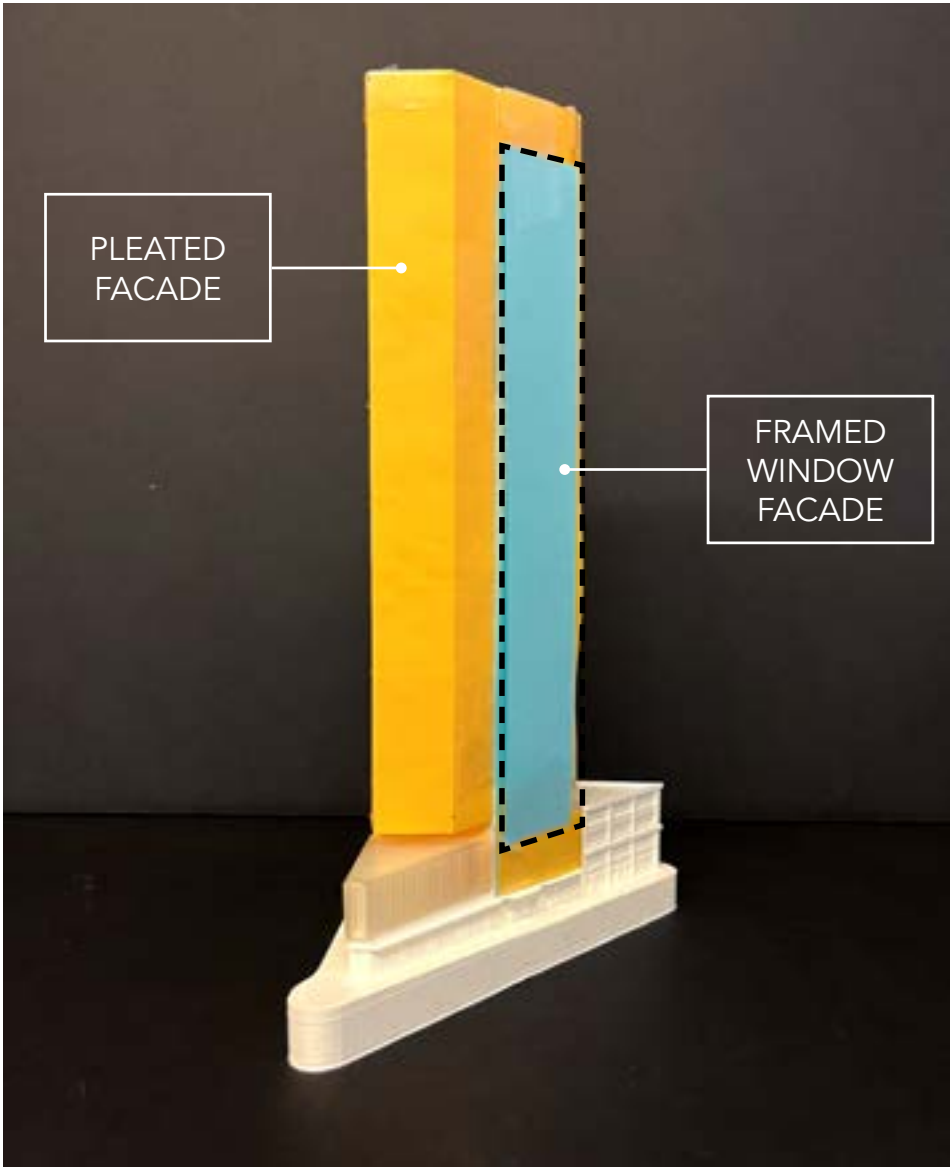


# FACADE STUDY: TEXTURE

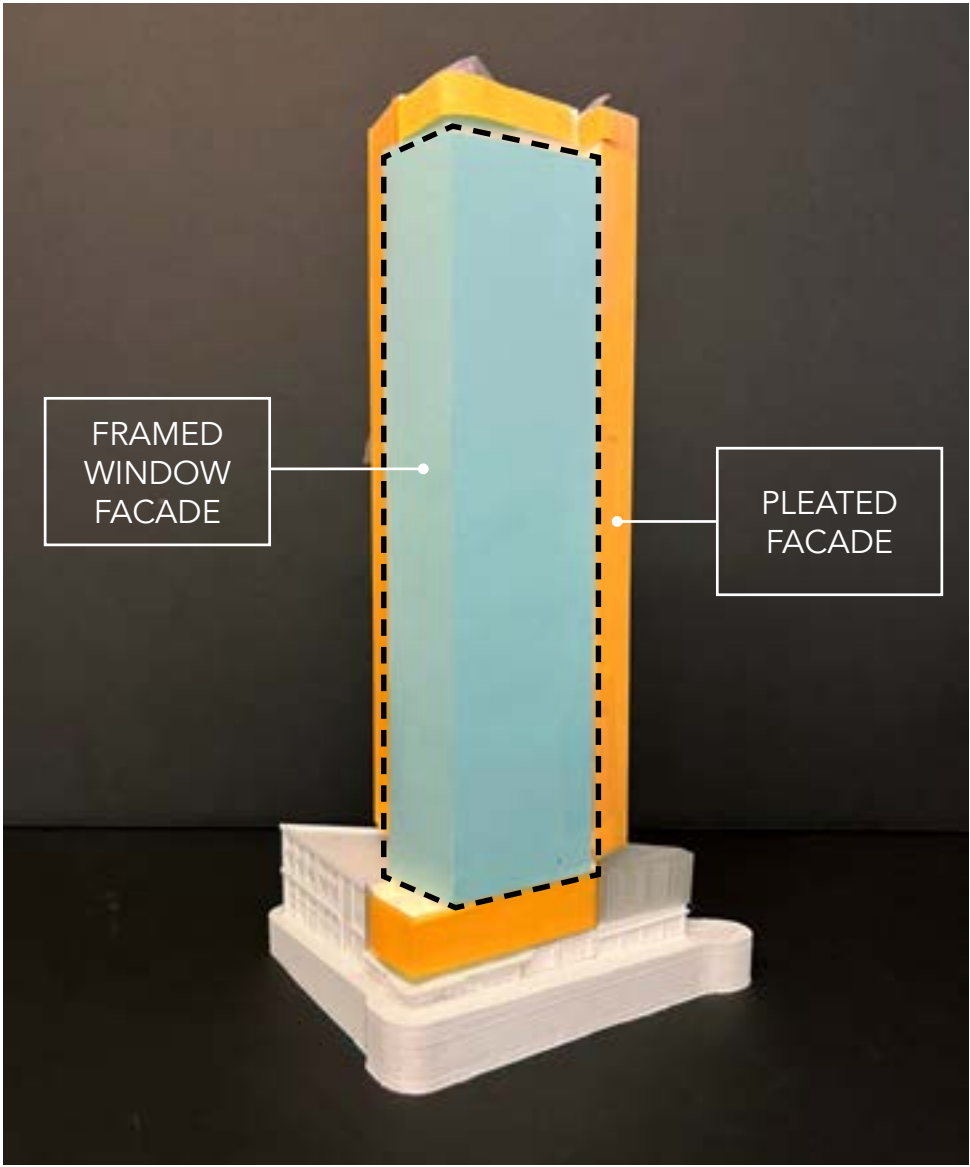
While maintaining the concept of the pin-wheel, we re-approached the expression of the exterior facades by developing two wall textures: the “pleated facade” and the “framed window facade”. Our objective is to allow each facade to evolve naturally. The pleated facade is inspired by and originates from the undulation of the two expressive cantilevers along Westlake Ave and the framed windows originate from the rigid structural exterior moment frames that support the tower.



View from Northeast



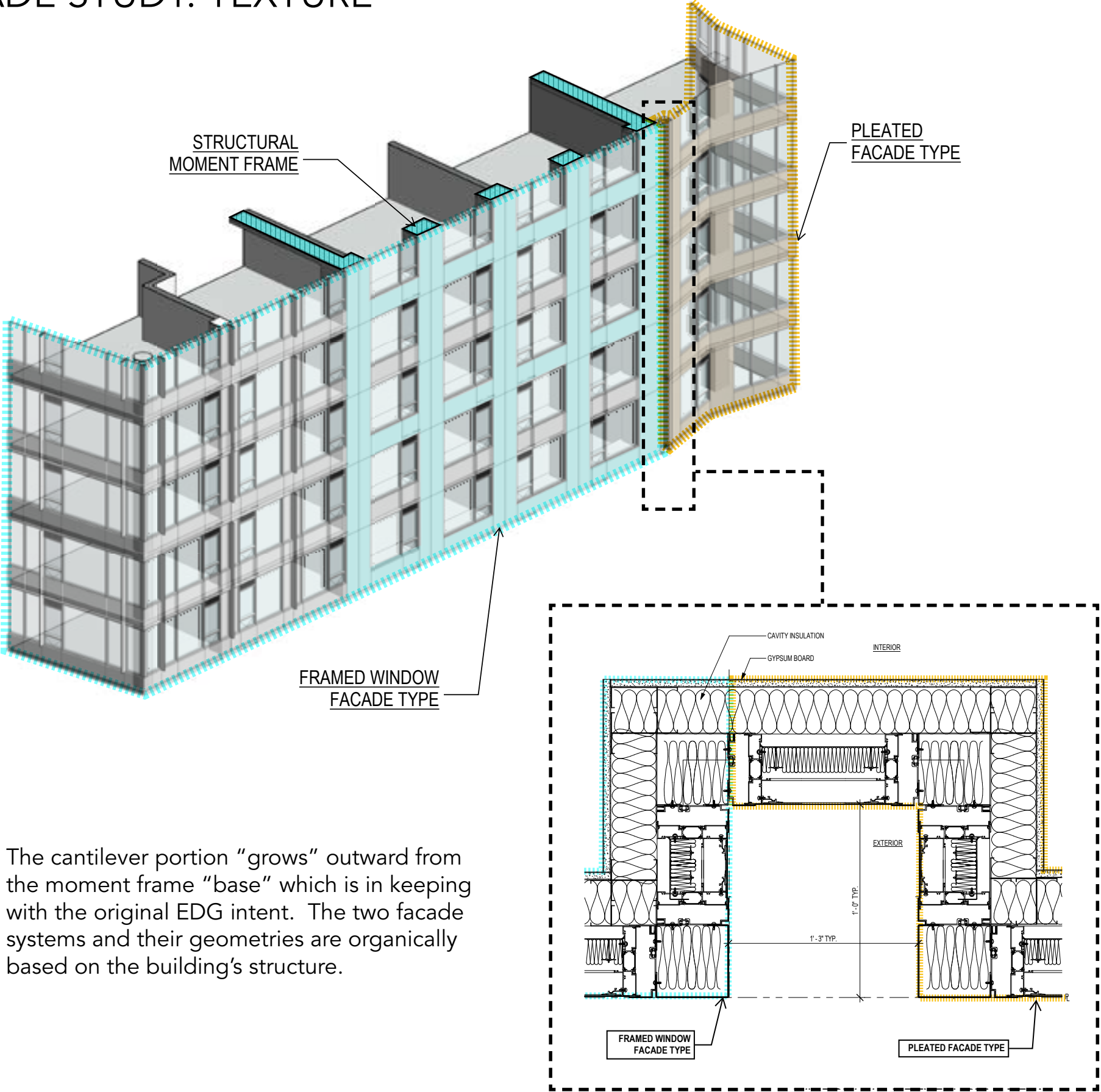
View from Southeast



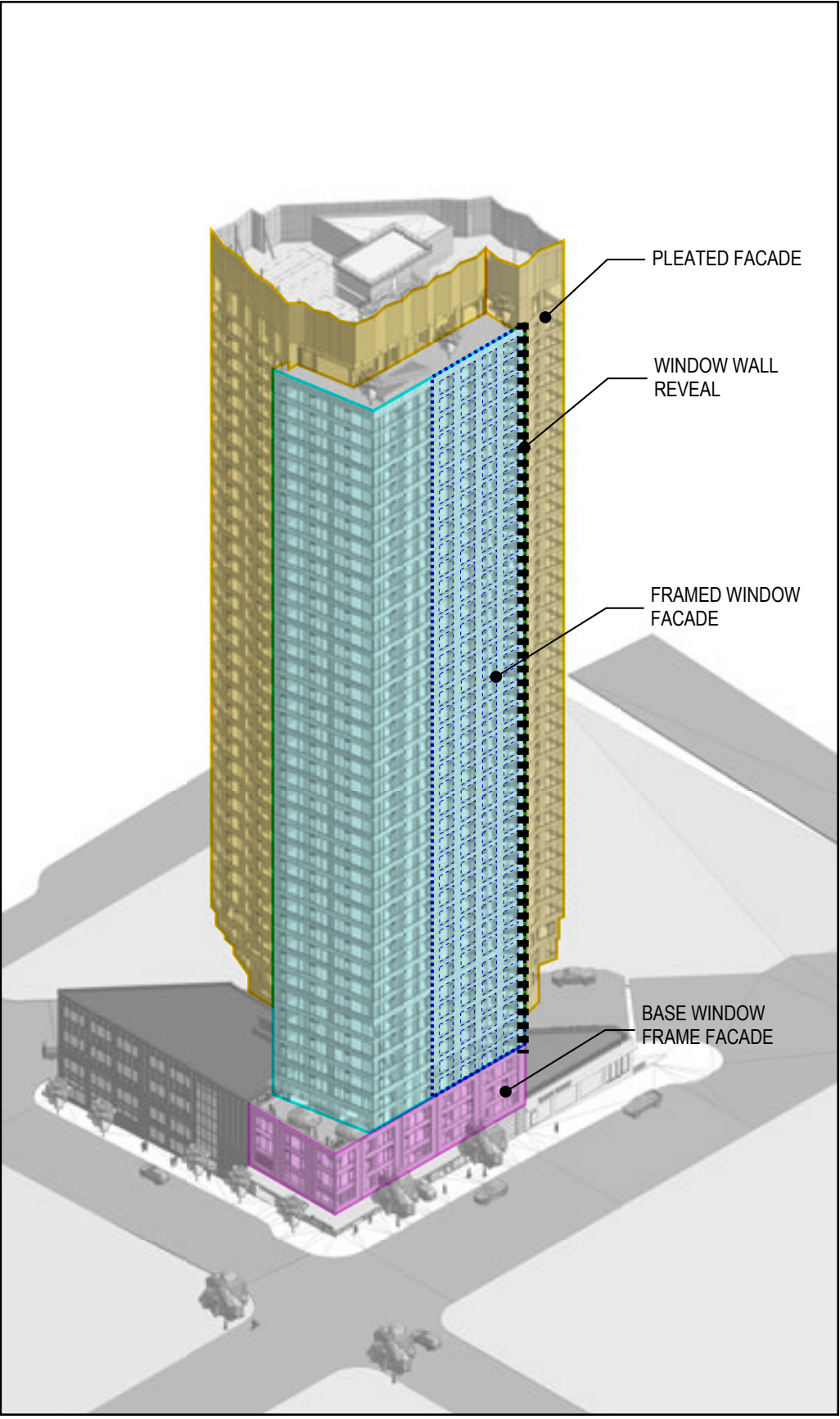
View from Northwest



# FACADE STUDY: TEXTURE

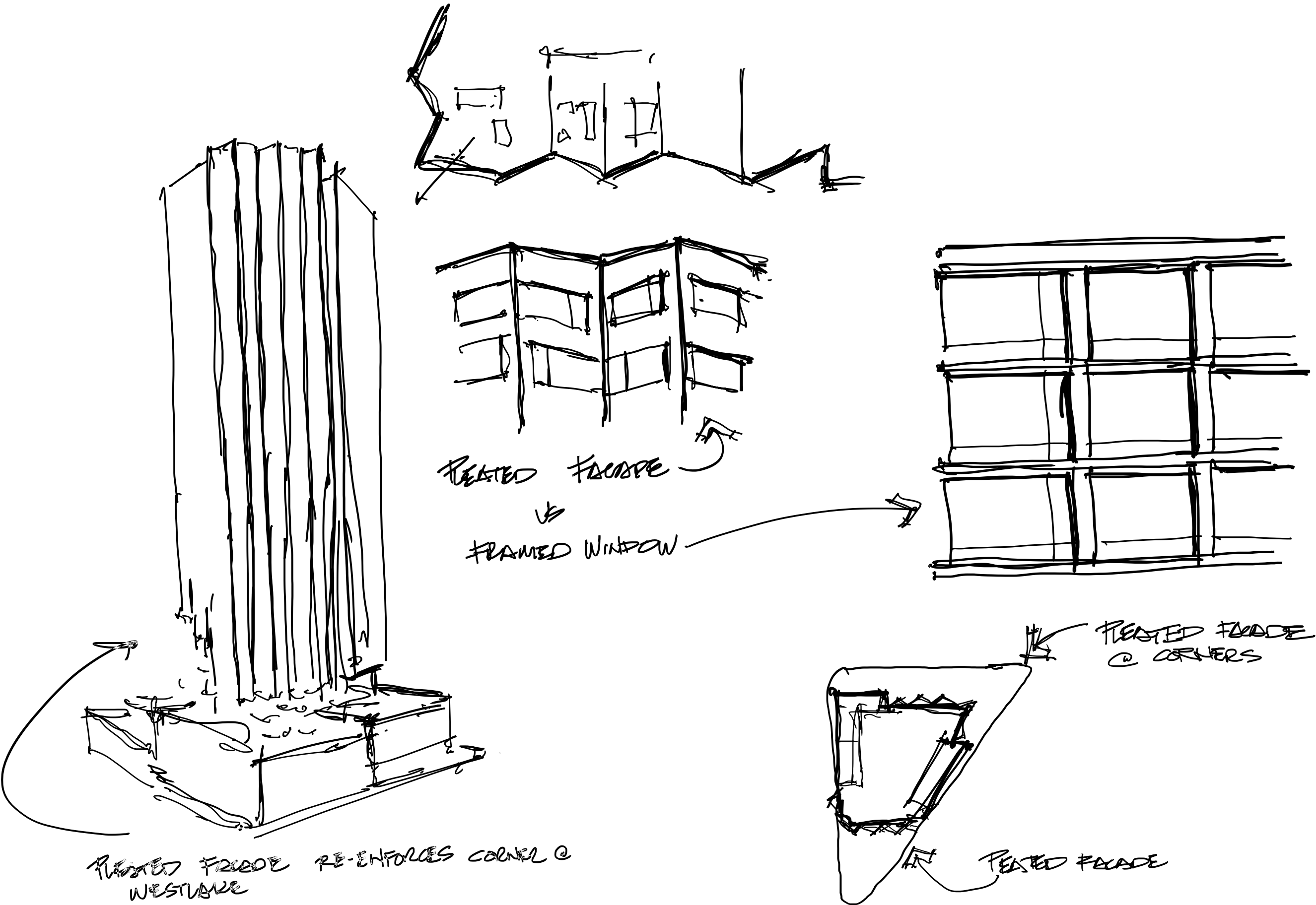


The cantilever portion “grows” outward from the moment frame “base” which is in keeping with the original EDG intent. The two facade systems and their geometries are organically based on the building’s structure.



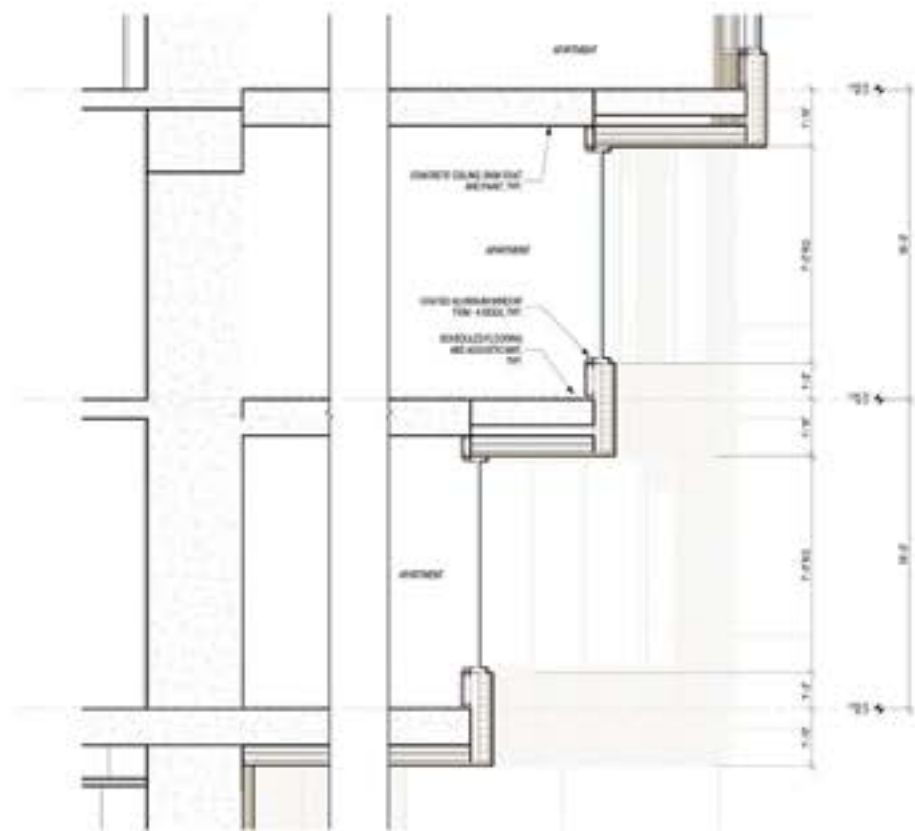


FACADE STUDY: PLEATING

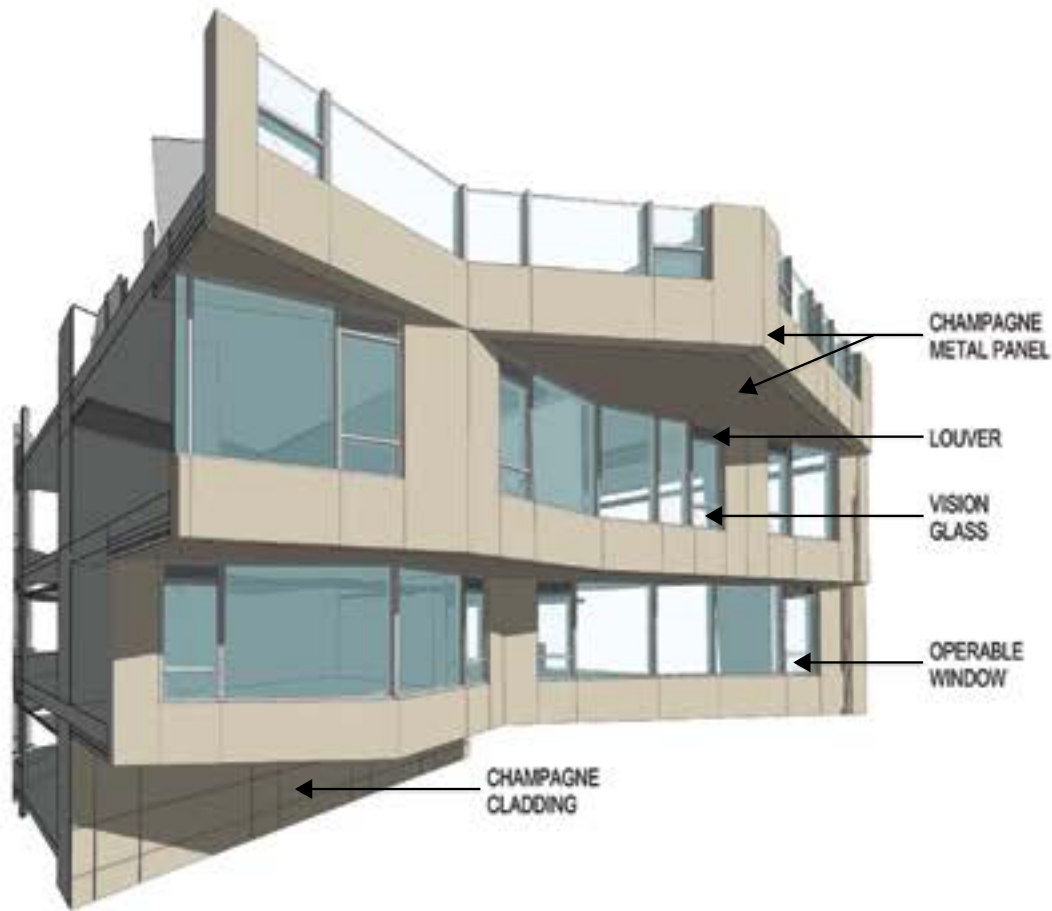




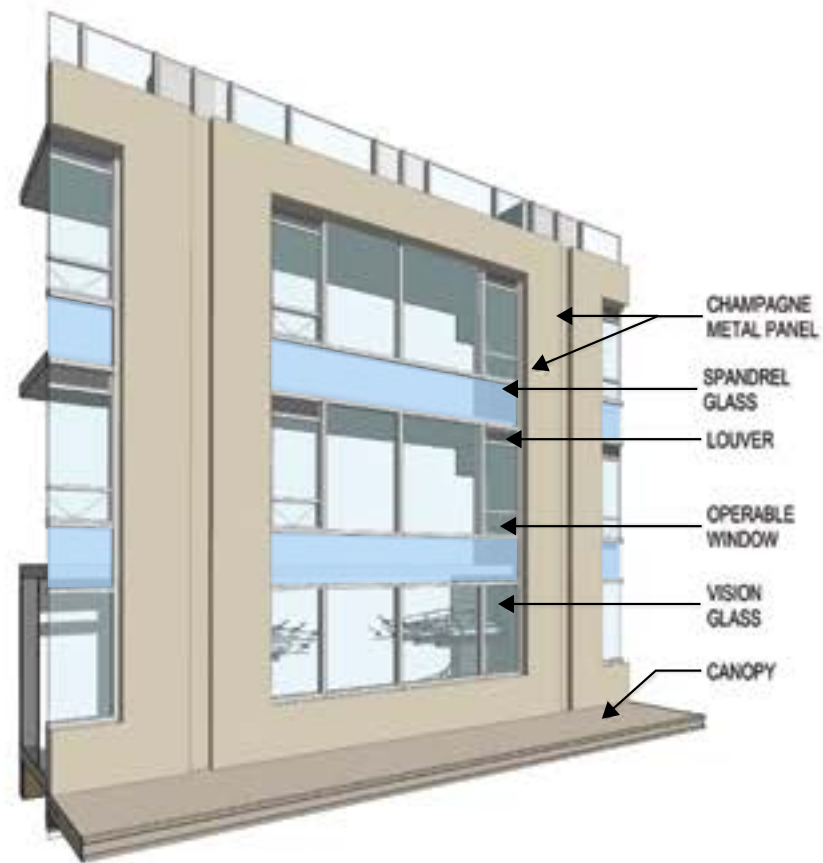
FACADE TYPES



PLEATED FACADE DETAIL



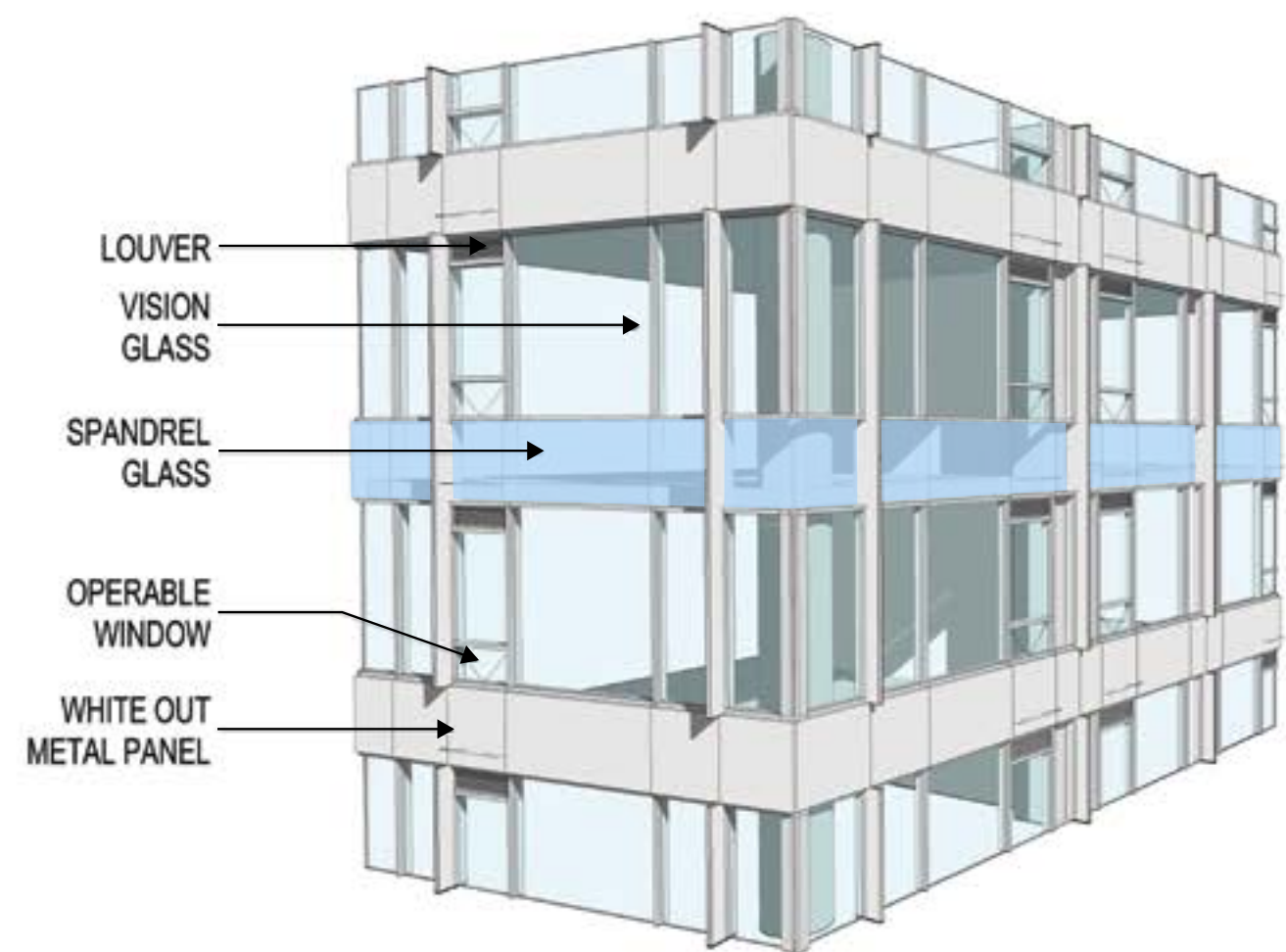
PLEATED FACADE TYPE



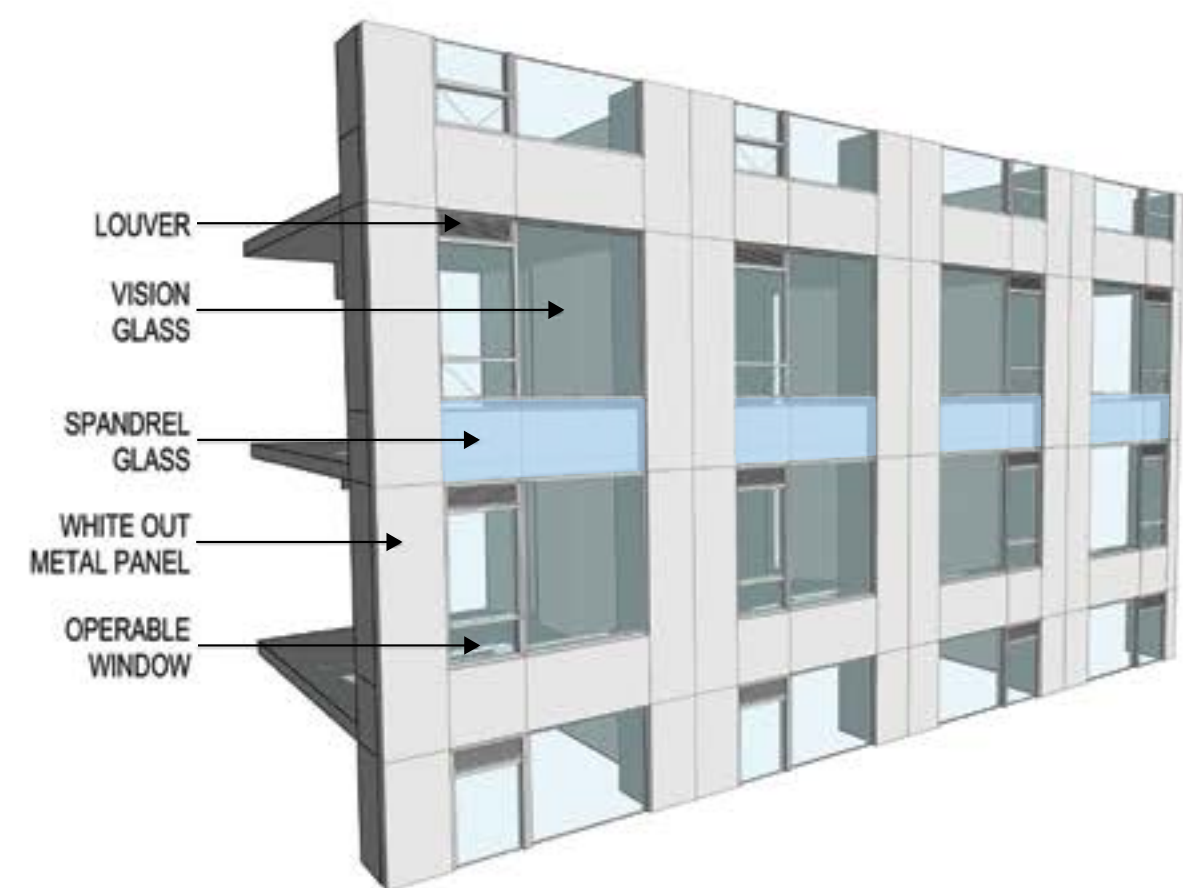
BASE WINDOW FRAME  
FACADE TYPE



FACADE TYPES



FRAMED CORNER WINDOW FACADE TYPE



FRAMED WINDOW FACADE TYPE



FACADE STUDY: TOWER



View from South



View from Northeast



View from Northwest



## RESPONSE TO EDG: TOWER TOP



### Board Comment:

- The board requested further study of the materiality and detailing of the mechanical screening at the top and how it relates to the overall architectural concept

### Response:

After further study, we believe the top of the tower is more thoughtfully resolved as a series of clean extrusions. The revised design continues the pleated form to the roof and retains the hierarchy of the top as the pleat wraps around the building, ascending upward. We believe that this bolder treatment adds interest and variety to the skyline, while still achieving a more congruous form with the rest of the tower.

### Design Guidelines: A-2 & B-4





RESPONSE TO EDG: TOWER TOP



Northeast Elevation



Southwest Elevation



Northeast Bird's Eye View



Southwest Bird's Eye View



# RESPONSE TO EDG: TOP/BASE RELATIONSHIP

Board Comments:

- Relate the design at the top of the tower to the design at the base.
- Reinforce the top via sculptural massing to add interest at the skyline.

Response:

The clean extrusions reinforce the tower’s pleating form in a bold fashion which also relates to the cantilevered overhang at the North and South elevations. The framed patterning of the recessed panels at the tower top relates directly to the framed window facade at the base to reinforce the relationship between the top and base.

Design Guidelines: A-2, B-2, B-4



Tower Top



Tower Base



View from South



## RESPONSE TO EDG: TOWER BASE



Previous Design: EDG



New Proposed Design

### Board Comments

- A special and comparable treatment at the base at the corner of Blanchard St. and 8th Ave.
- The treatment of the top should relate to the base
- Explore how the base responds to the existing horizontal datums on adjacent sites

Our initial approach was to utilize the undulating pattern concept as a way to visually create interest to the exterior facades and re-emphasize the undulations produced by the cantilevered base.

### Response:

The base at the corner has been re-considered and refined. The design goal for the corner base is to be responsive and analogous to the volume and height of the Butchers Table while creating a cohesive transition to the upward expression of the articulated facade. To this end, the base has been defined more vertically with framed window bays. This approach takes cues from the tower's punch window expression and is informed by the pleated frame language achieved at the top. This play with scale and contrasting colors allows the base to remain distinct and grounded, but unified through a similar language throughout.

**Design Guidelines: B-1, B-2, B-3**



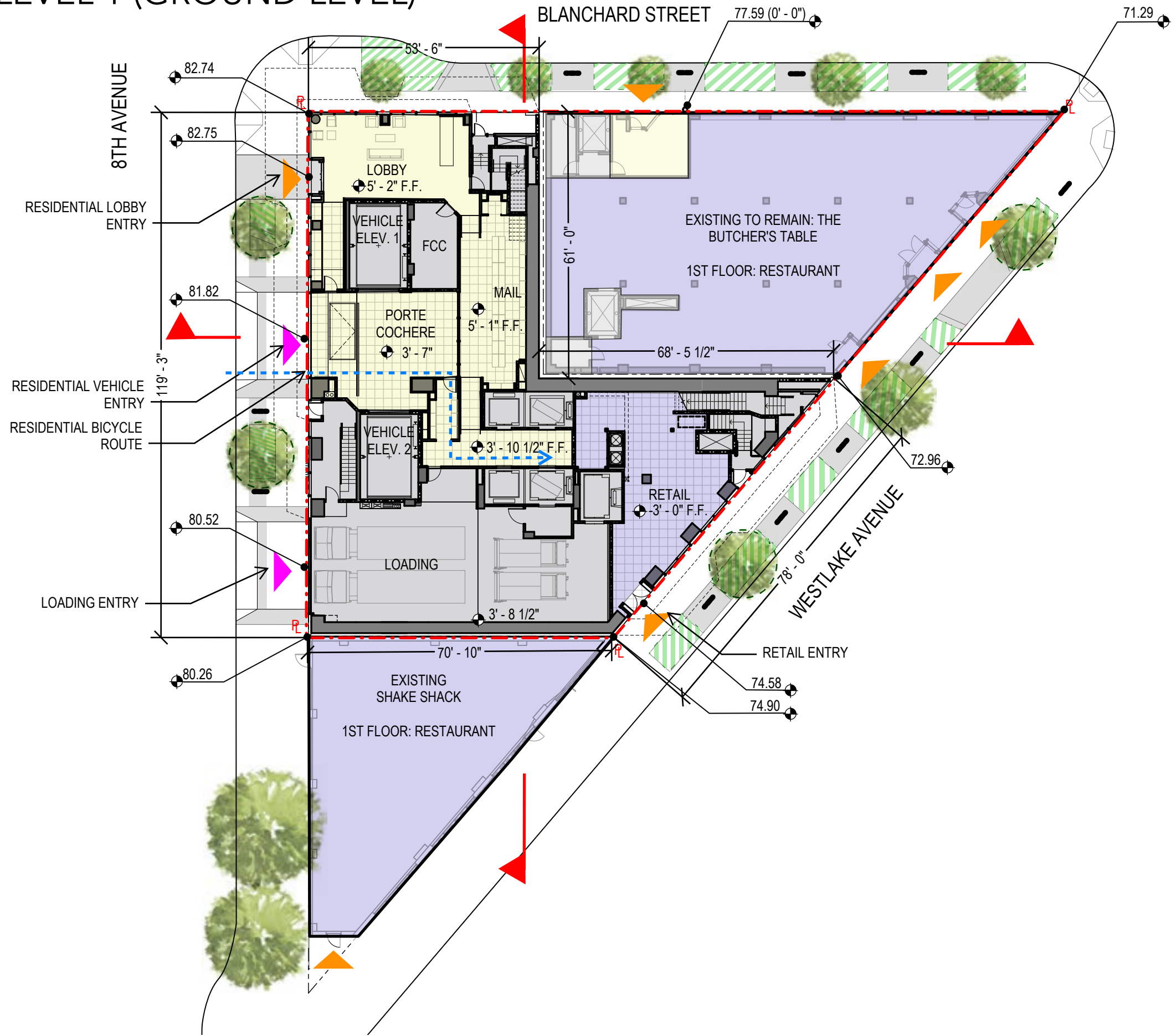
RESPONSE TO EDG: TOWER BASE



Tower Base

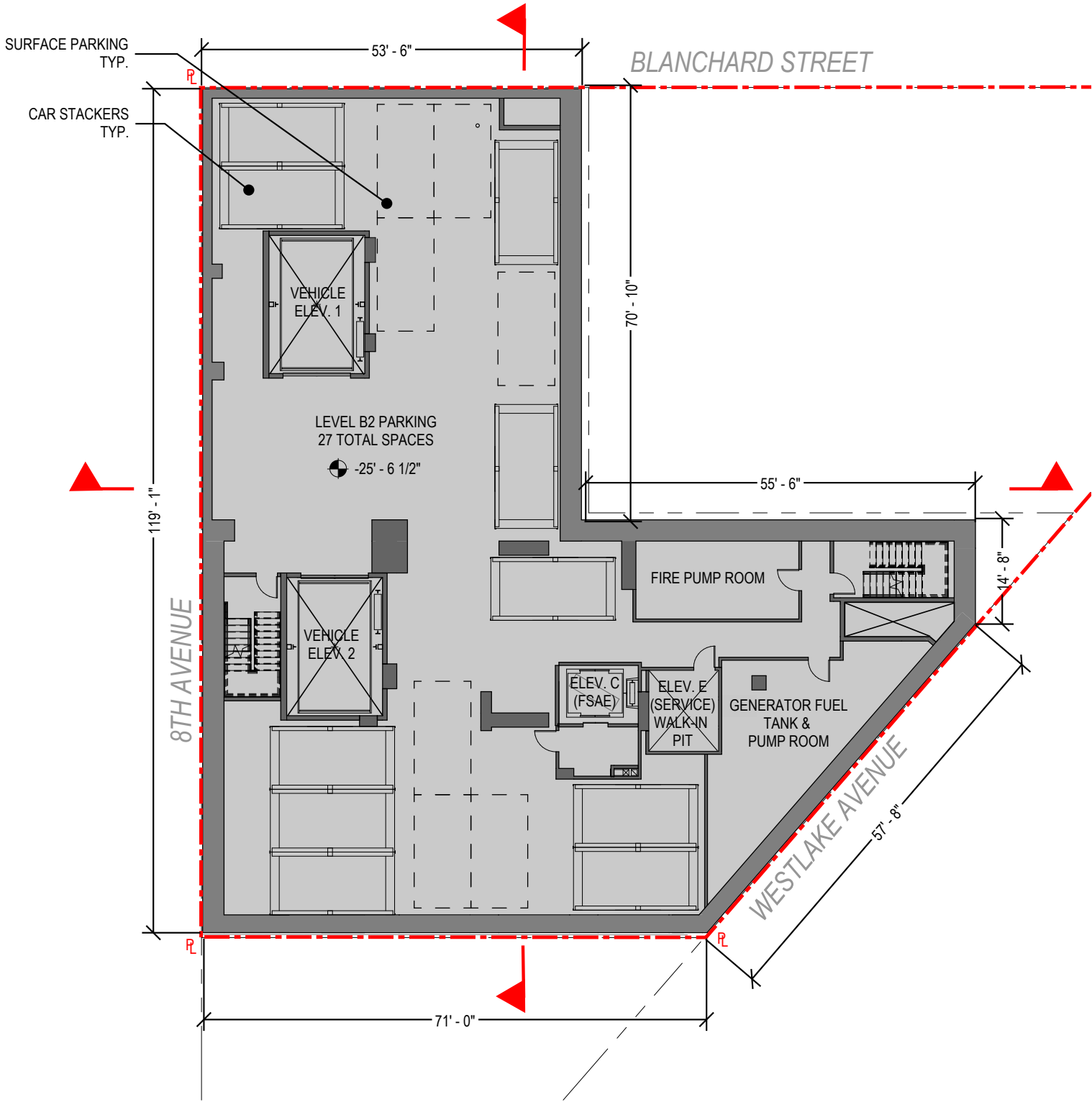


FLOOR PLANS: LEVEL 1 (GROUND LEVEL)

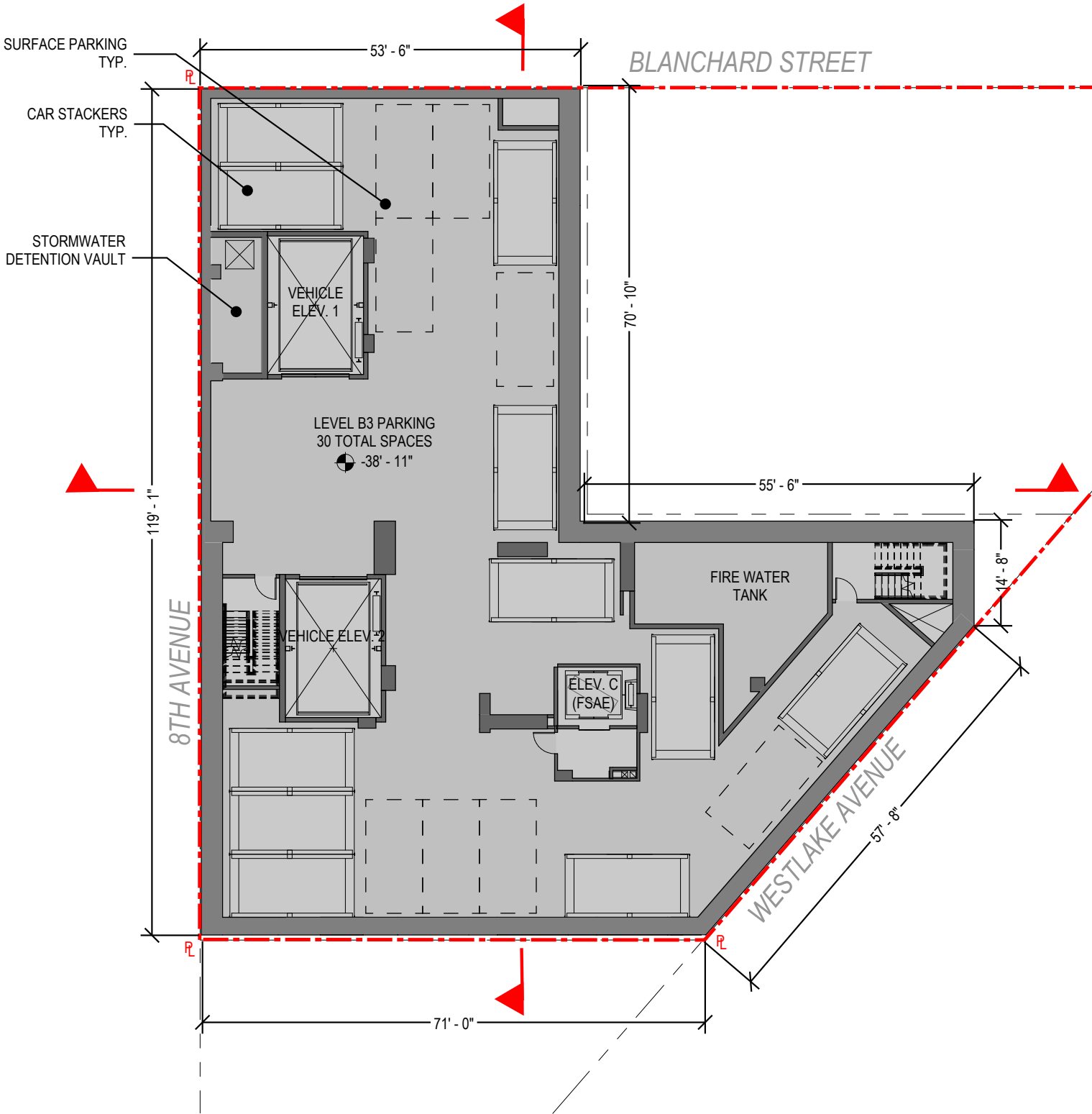




FLOOR PLANS: LEVEL B3 AND B2



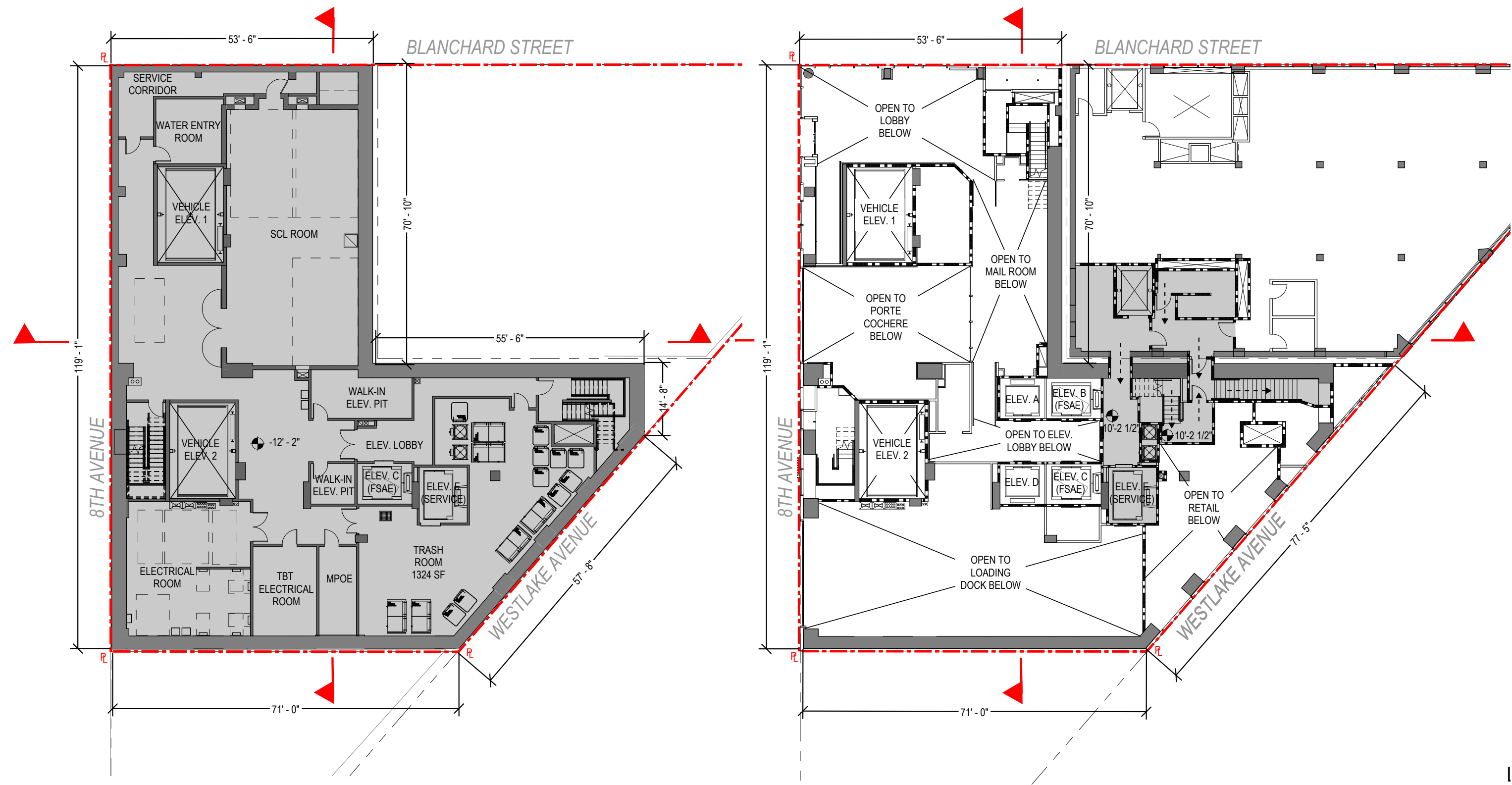
LEVEL B3



LEVEL B2

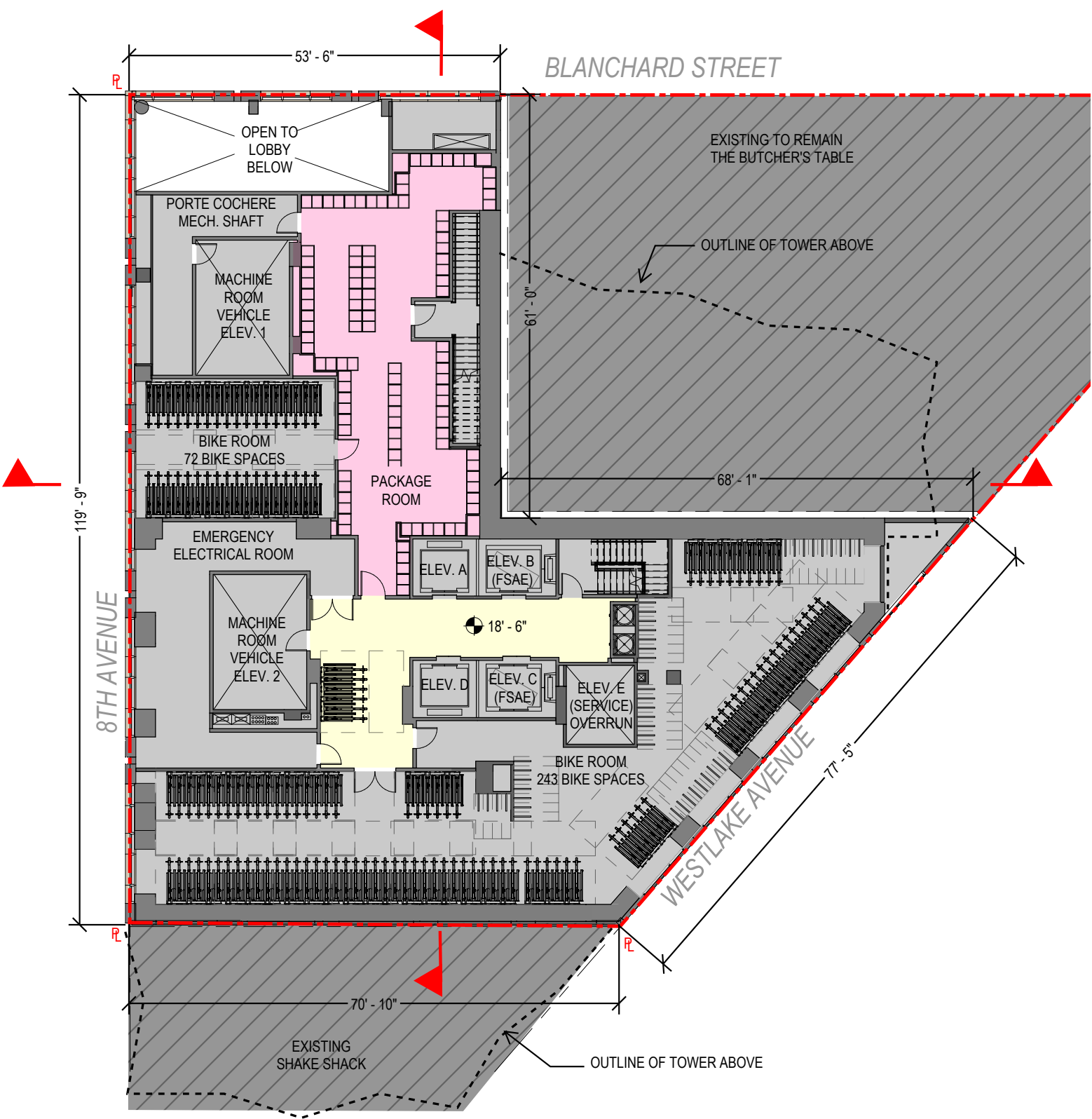


FLOOR PLANS: LEVEL B1 AND 1 MEZZ.

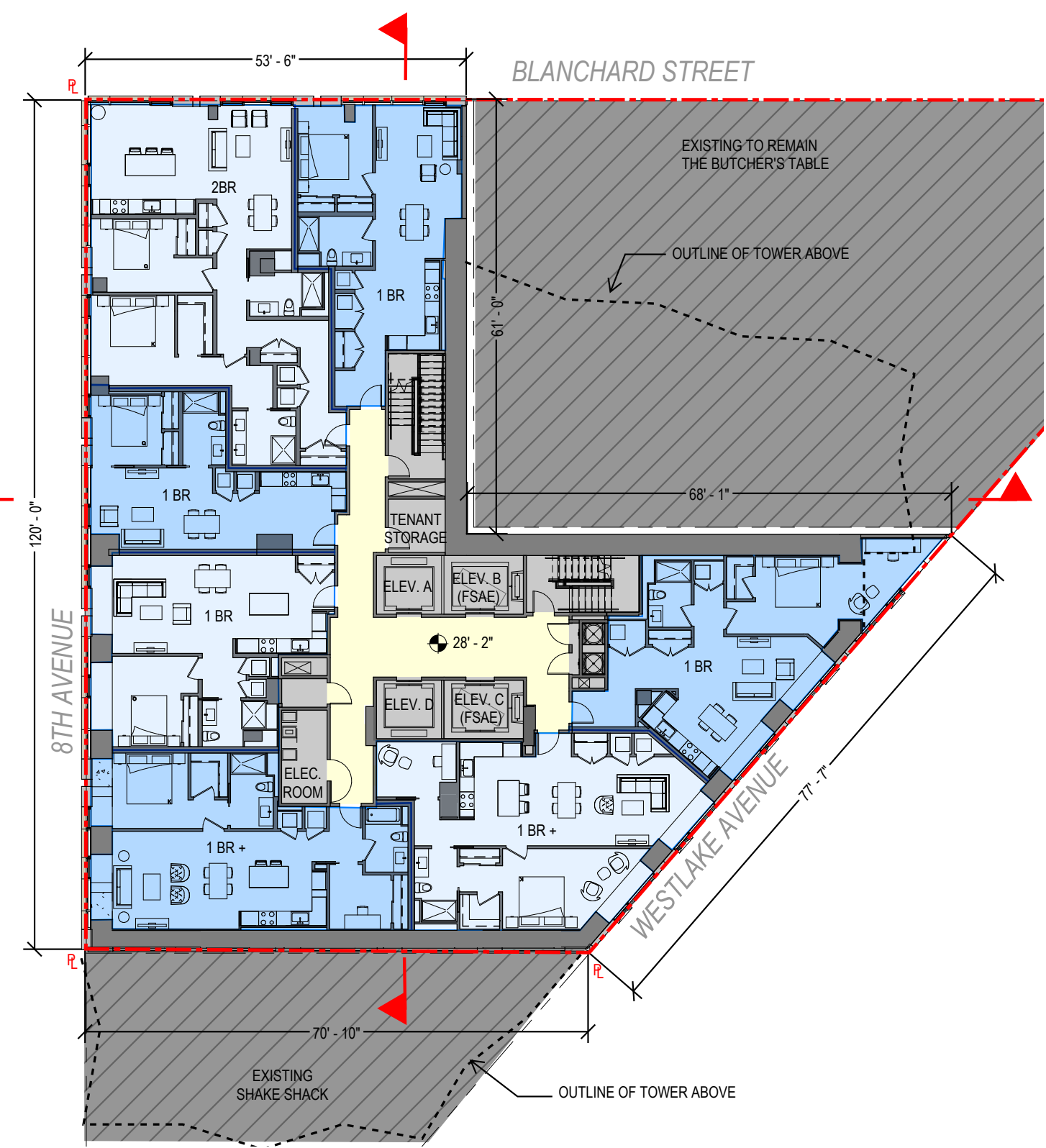




FLOOR PLANS: LEVEL 2 AND LEVELS 3-4



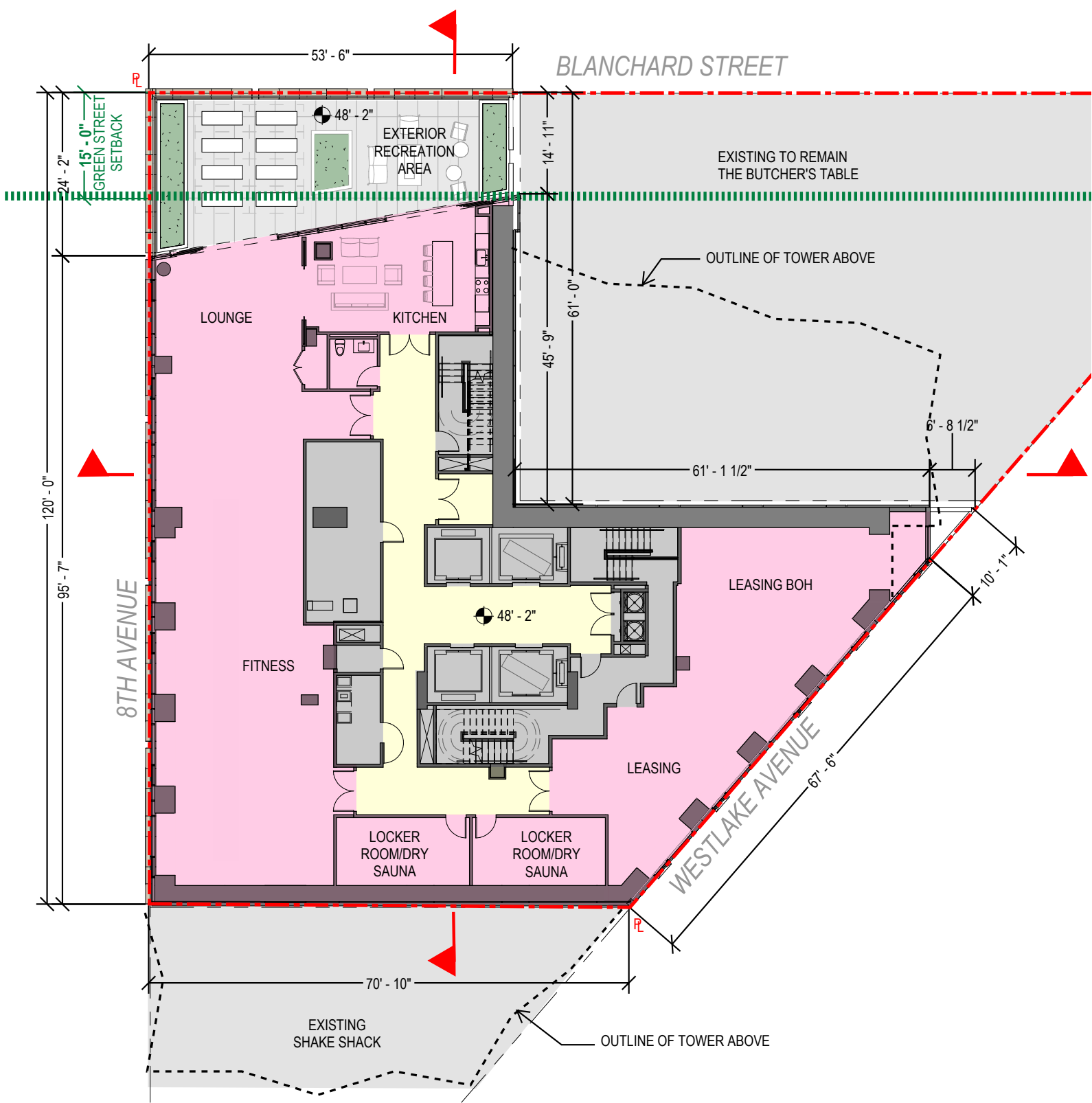
LEVEL 2



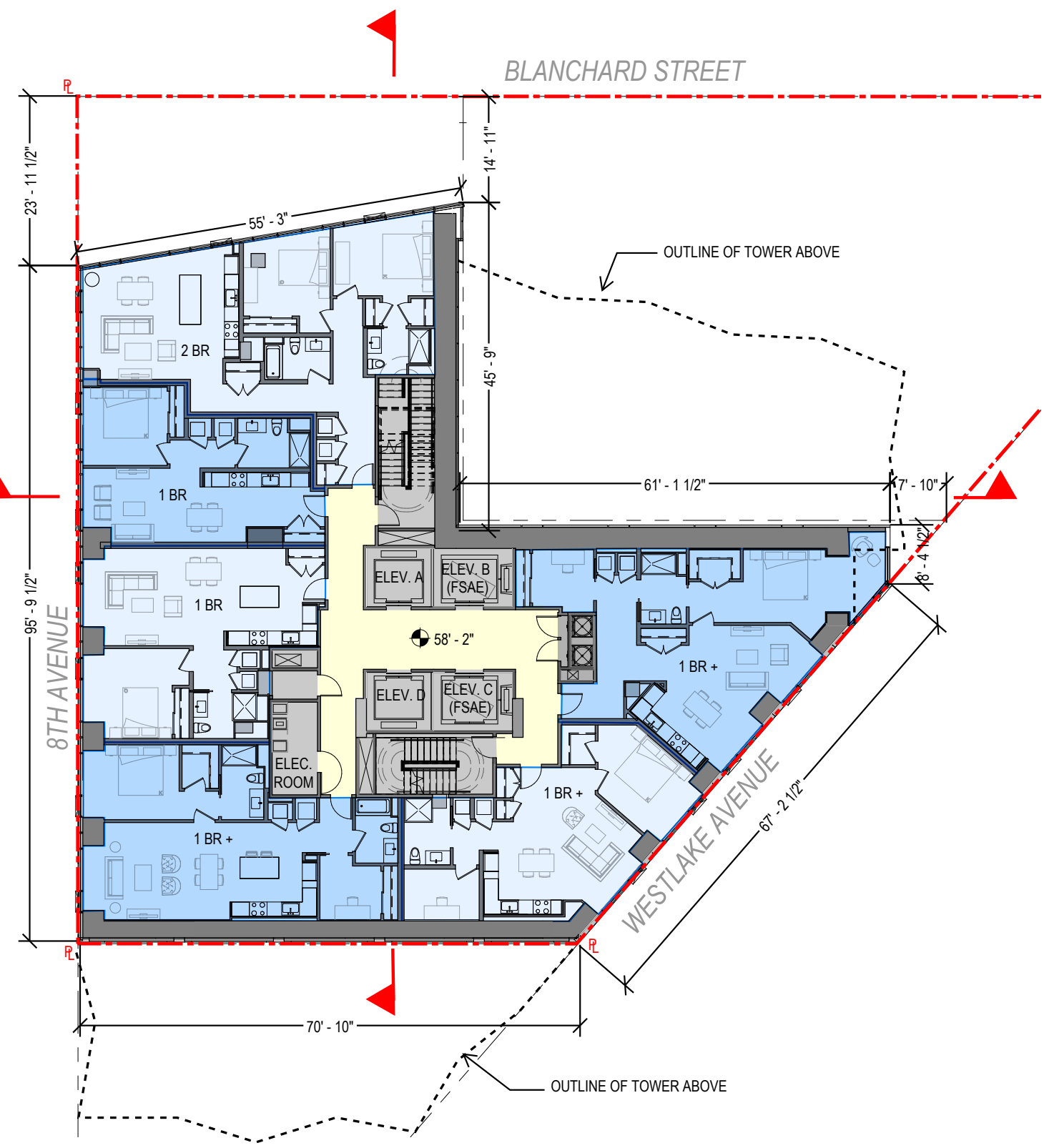
LEVELS 3-4



FLOOR PLANS: LEVEL 5 (AMENITY) AND LEVEL 6



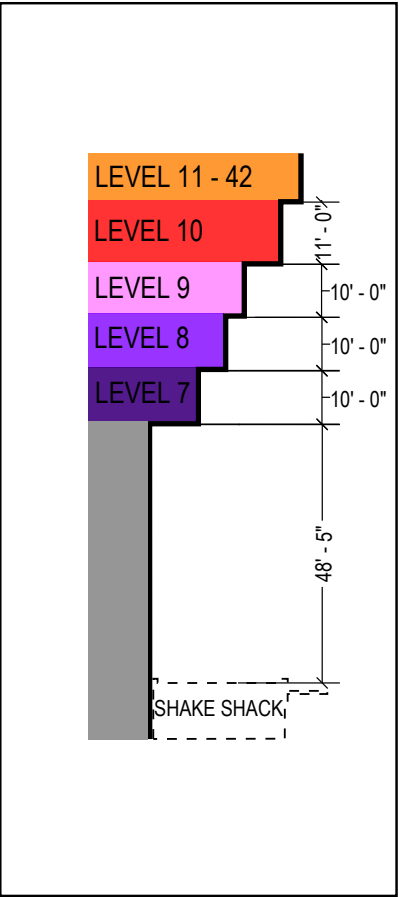
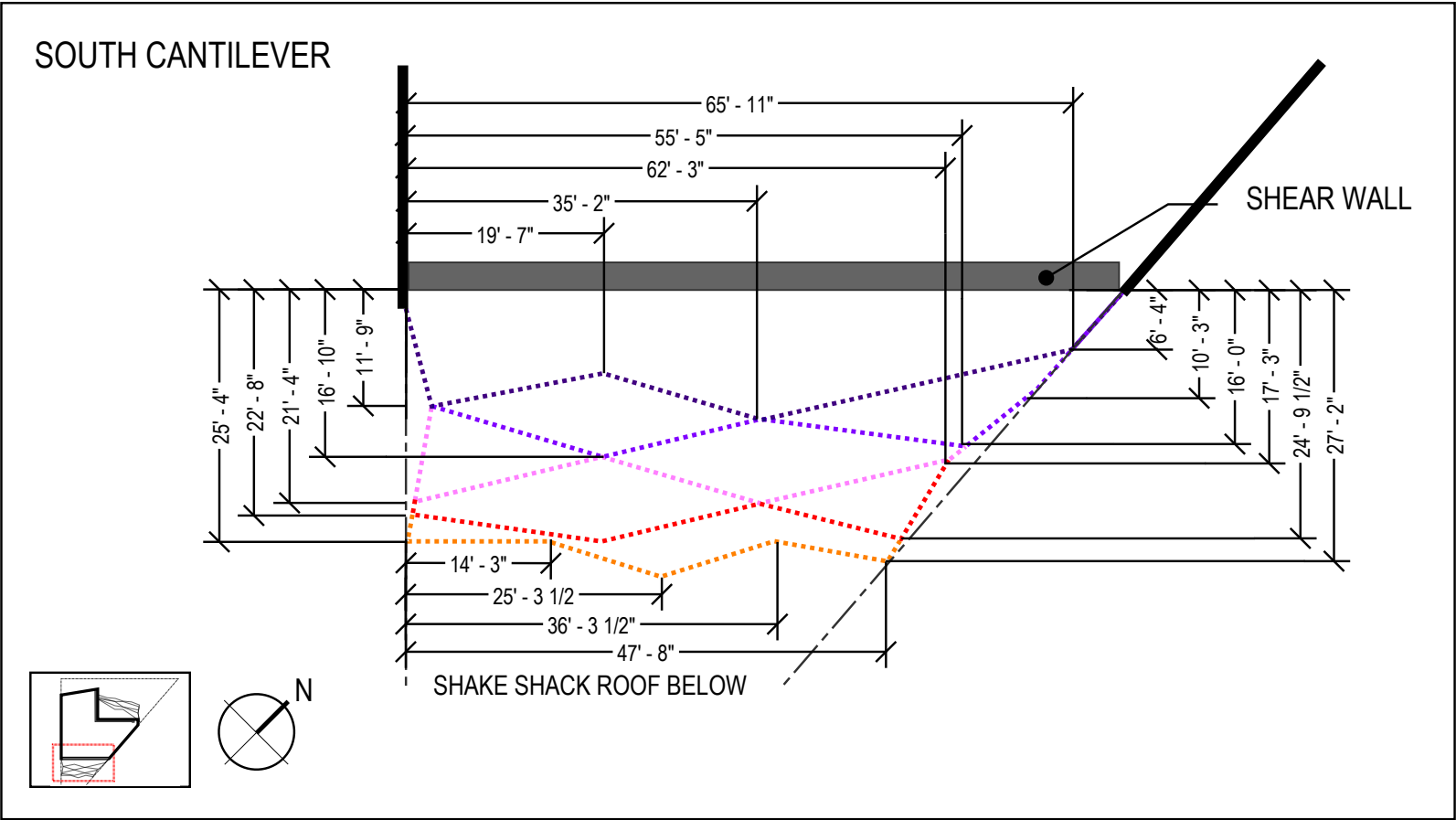
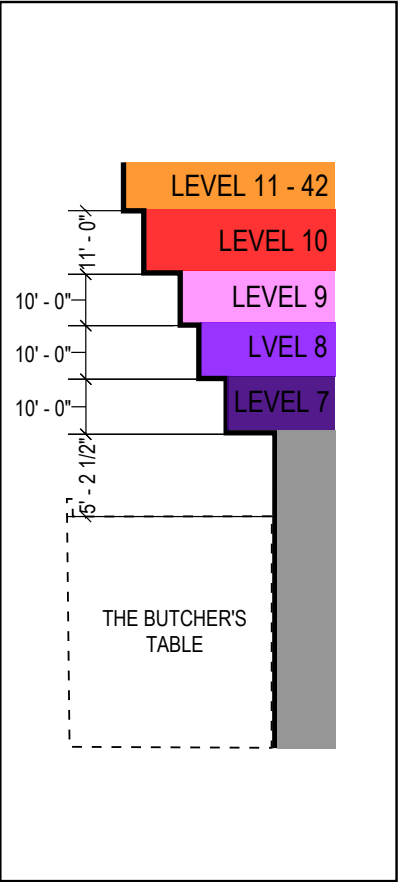
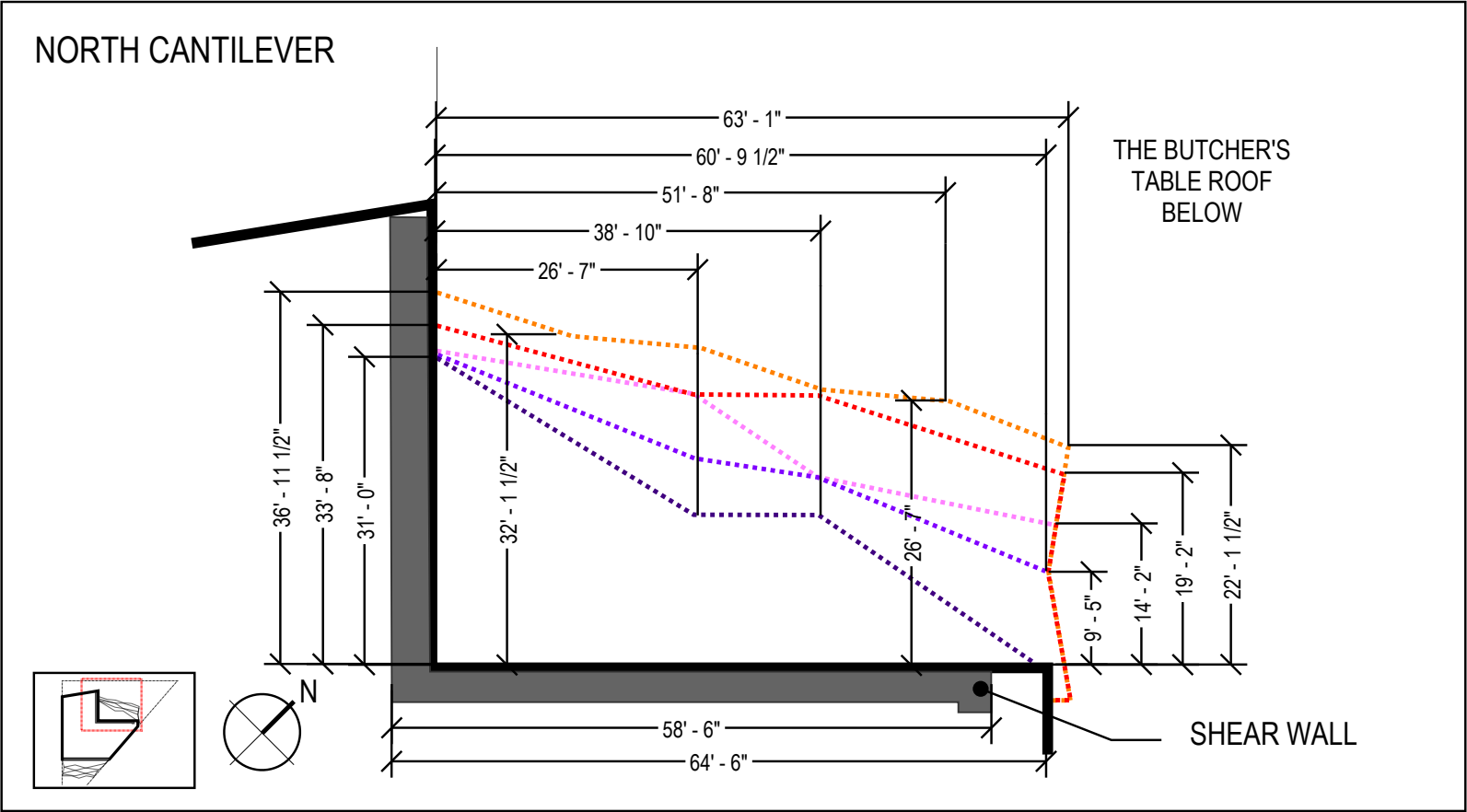
LEVEL 5 (AMENITY)



LEVEL 6

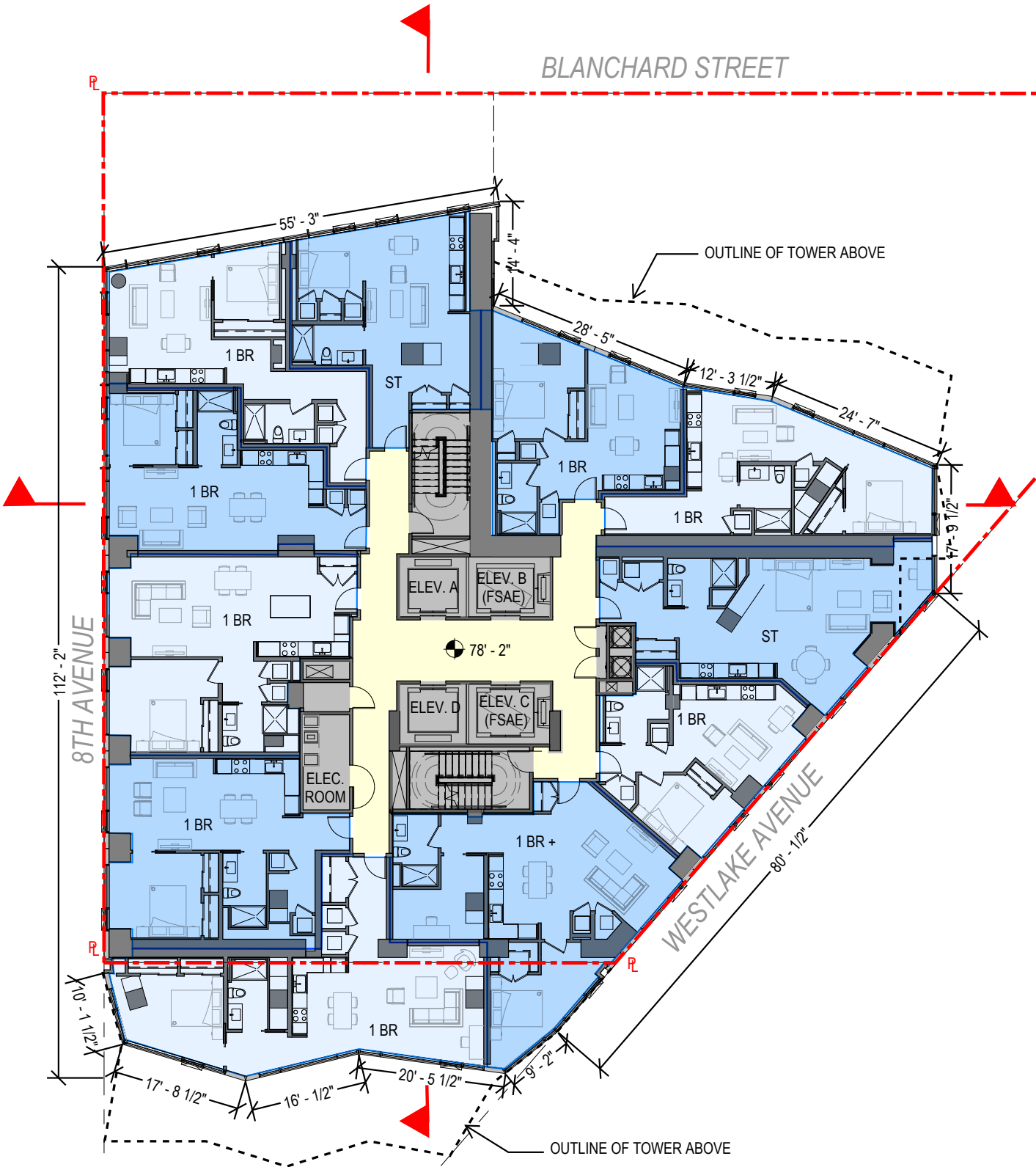
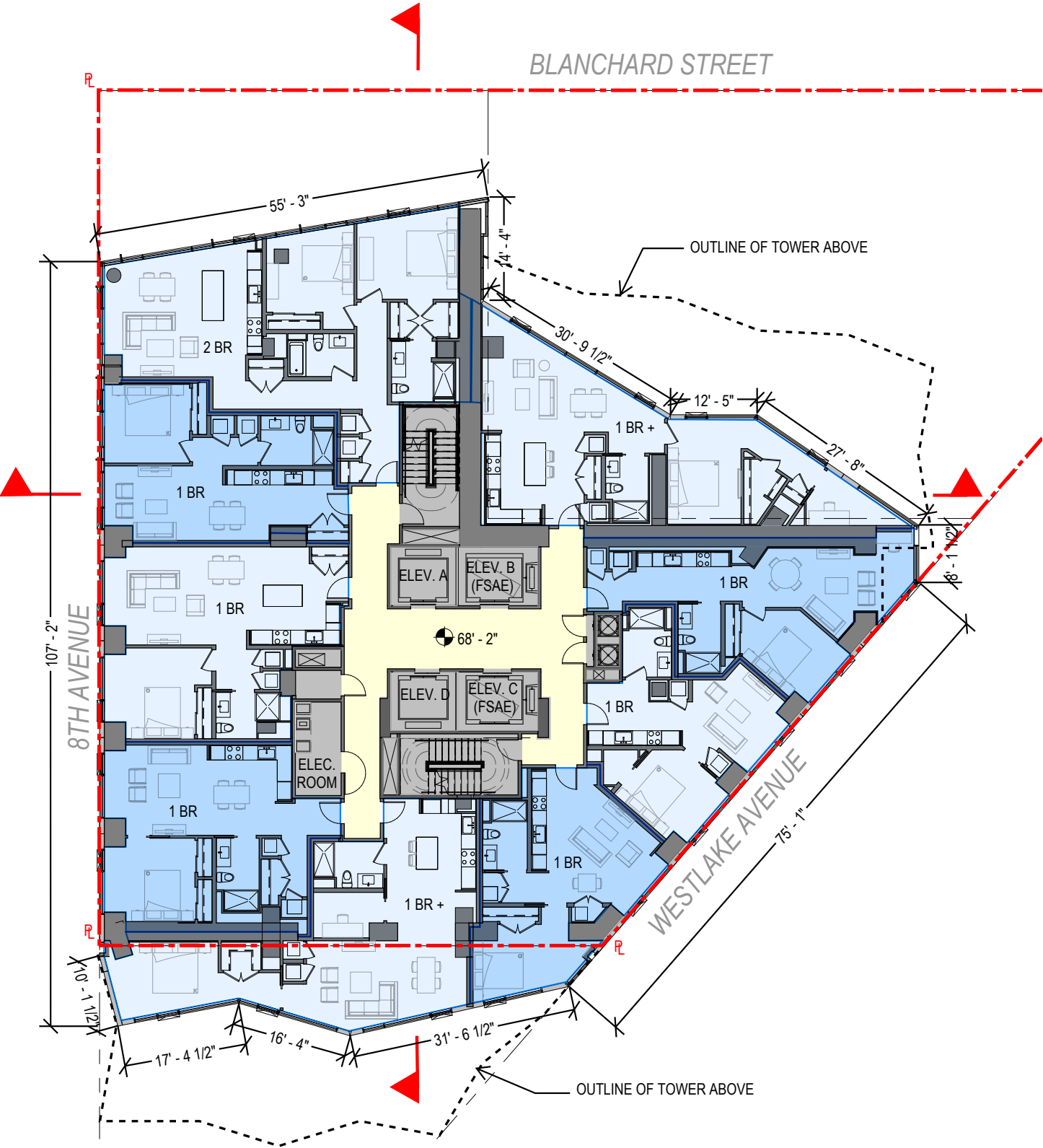


# CANTILEVER DIAGRAM





FLOOR PLANS: LEVELS 7 AND LEVEL 8



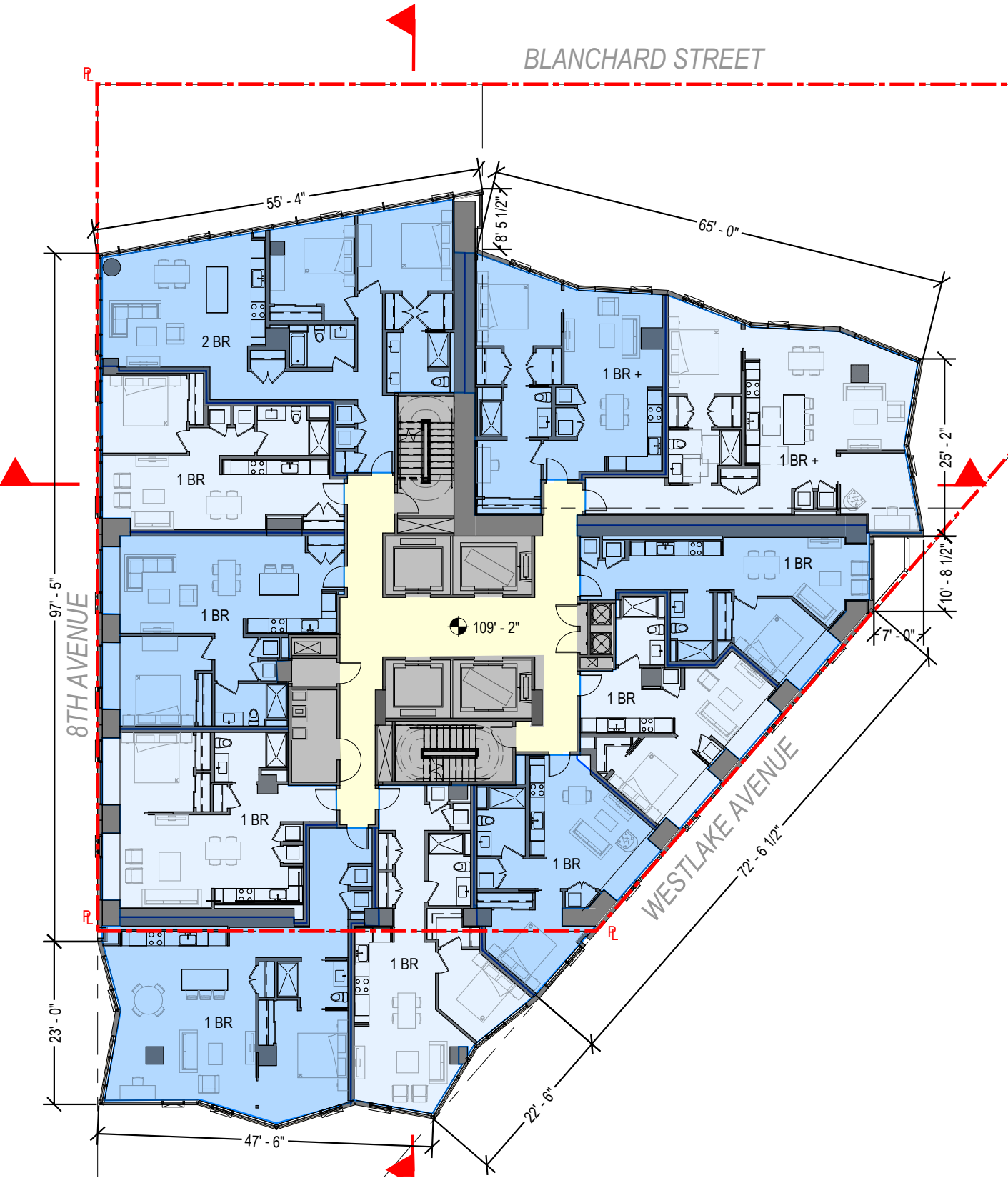


## 51

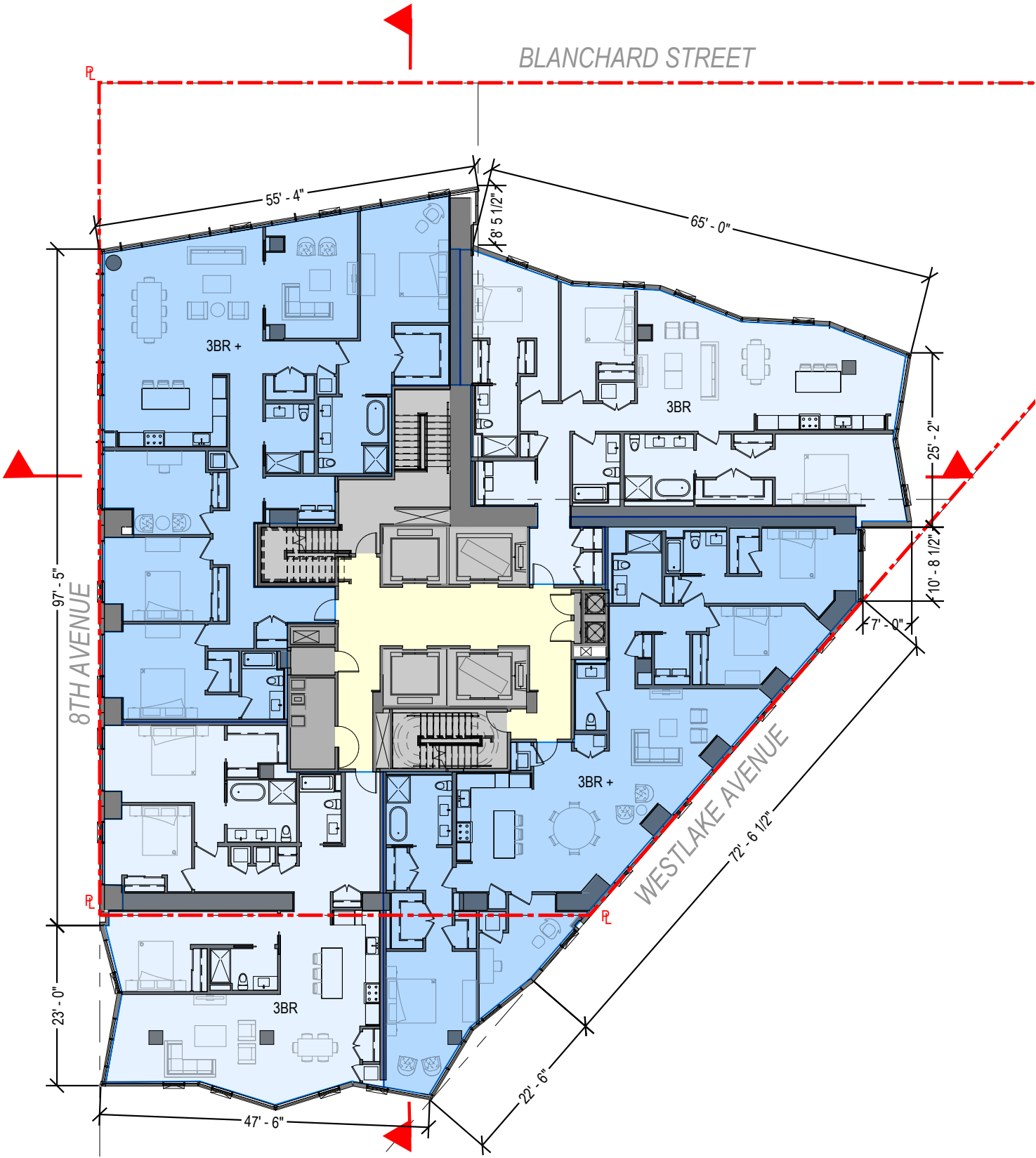




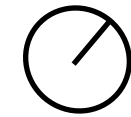
FLOOR PLANS: LEVELS 11-42 (TYPICAL FLOOR PLAN) AND LEVEL 43



LEVEL 11-42 (TYPICAL)

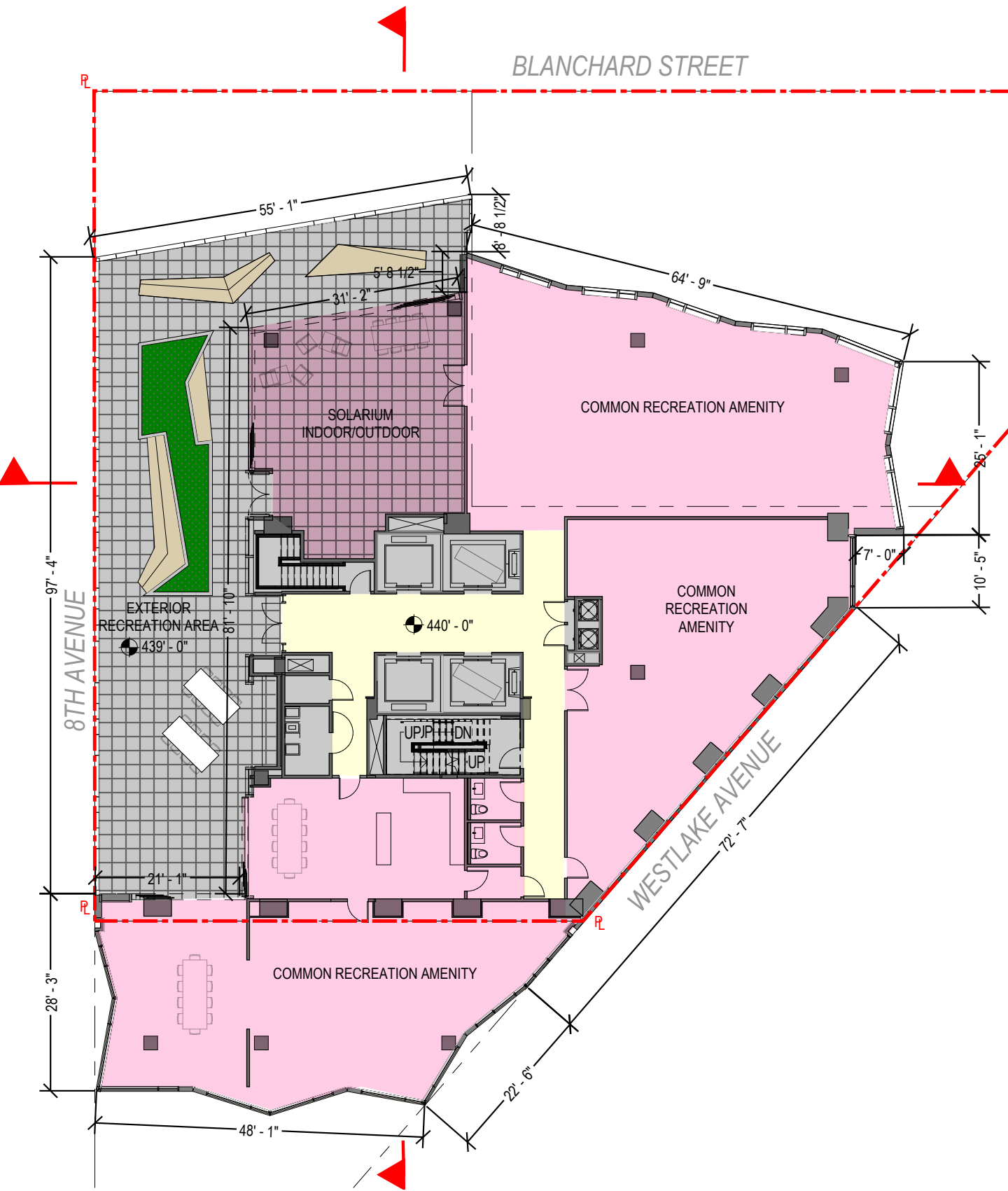


LEVEL 43

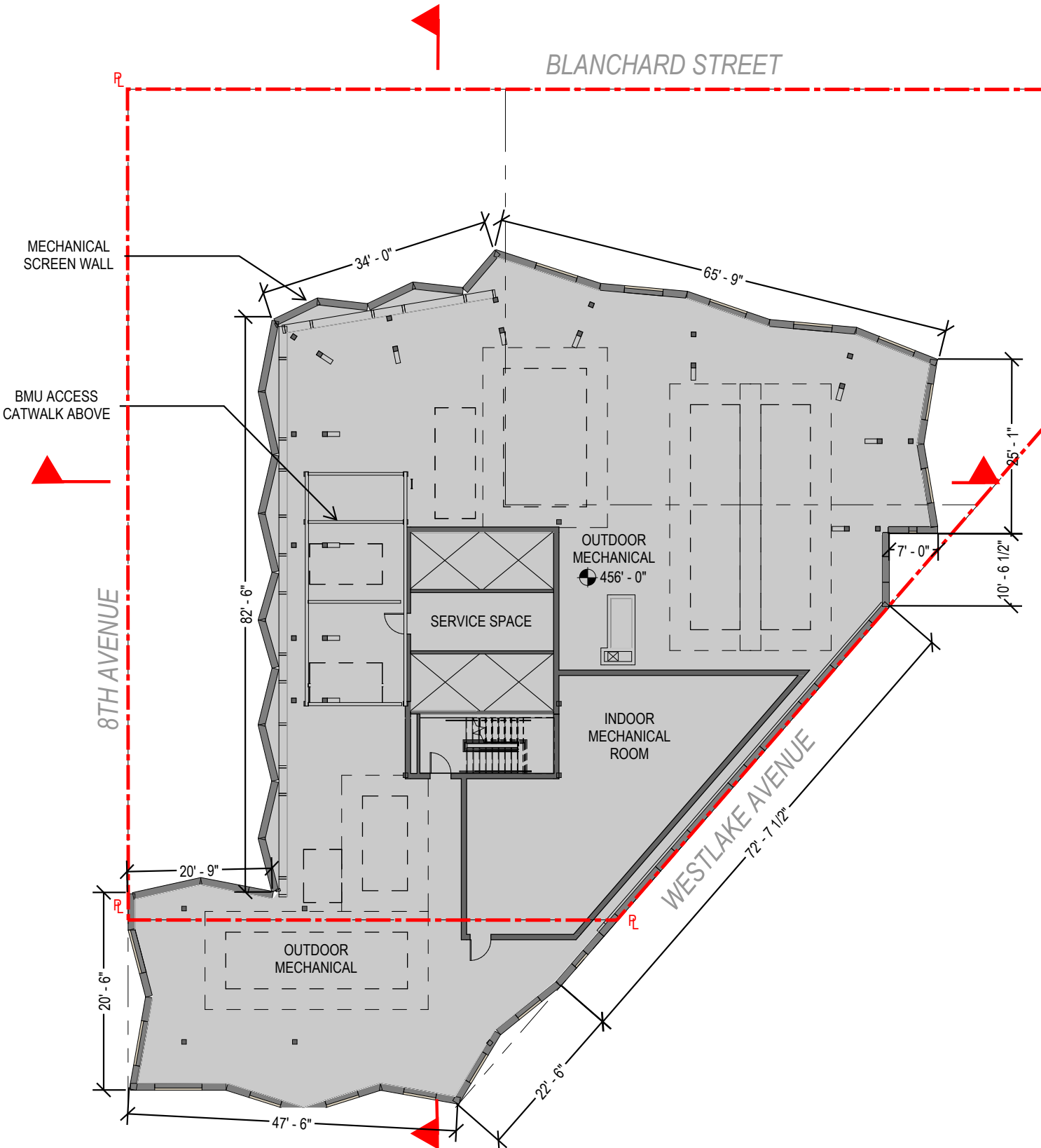




FLOOR PLANS: LEVELS 44 (AMENITY) AND LEVEL 45 (MECHANICAL ROOF)



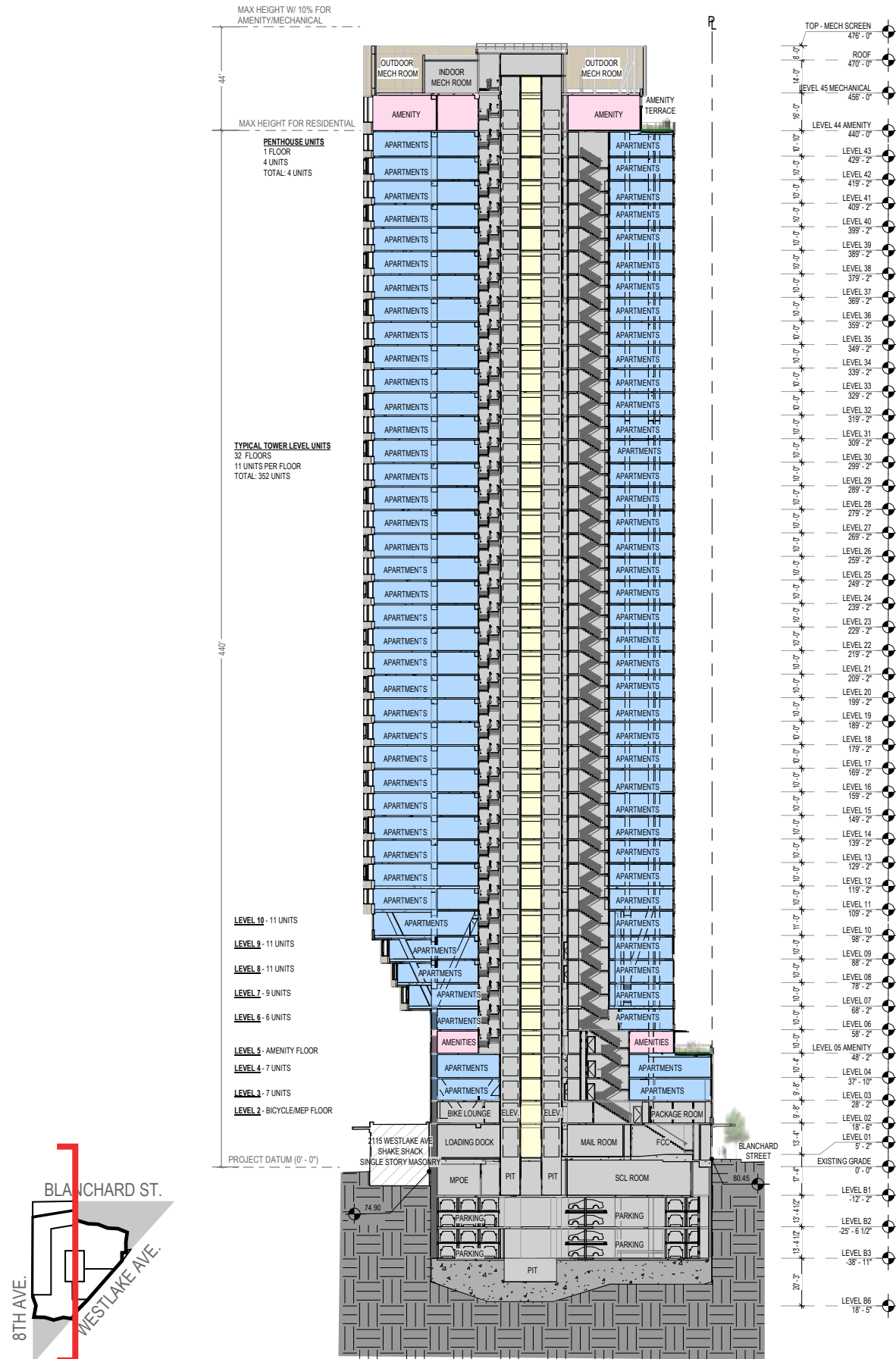
LEVEL 44 (AMENITY)



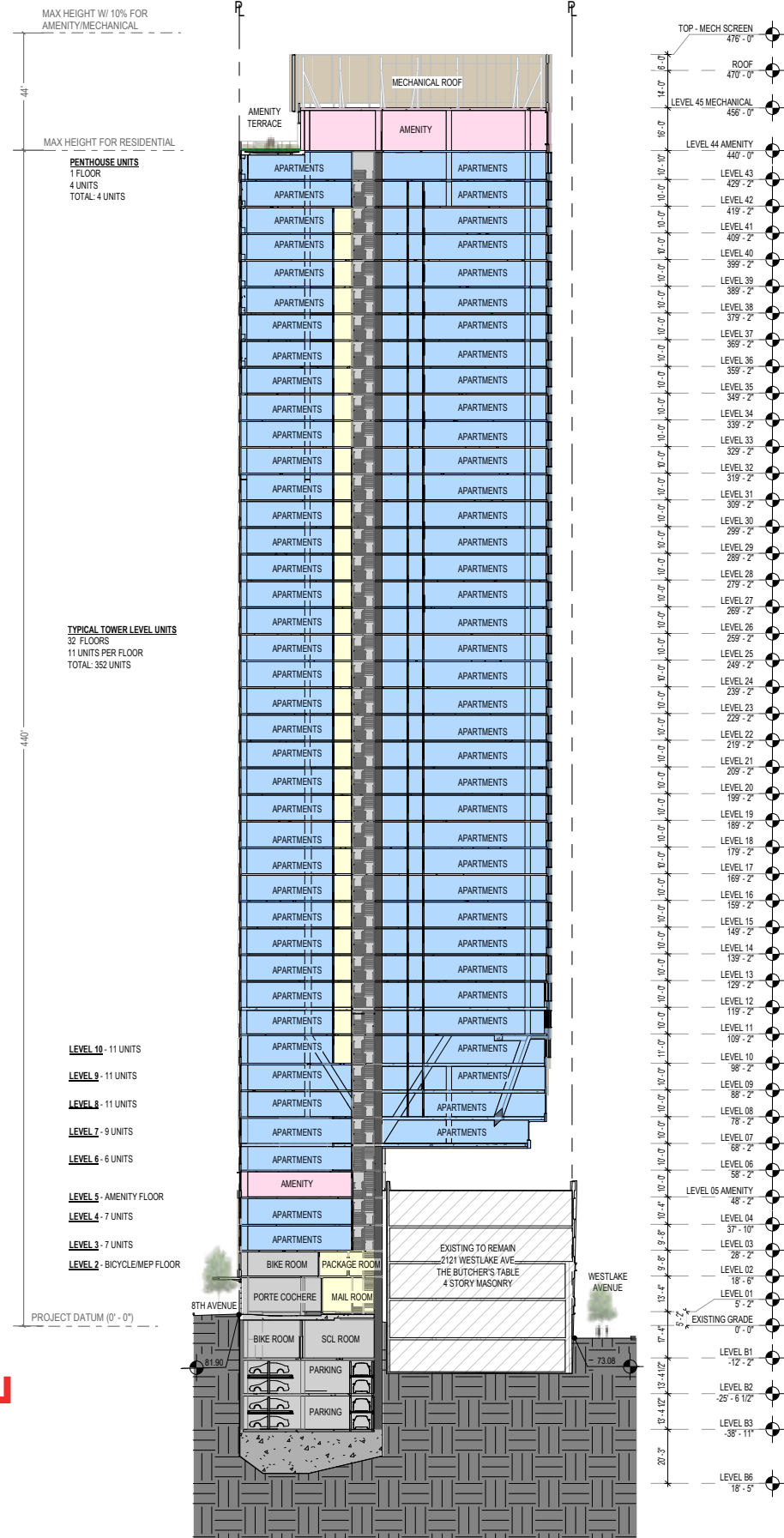
LEVEL 45 (MECHANICAL)



## 54

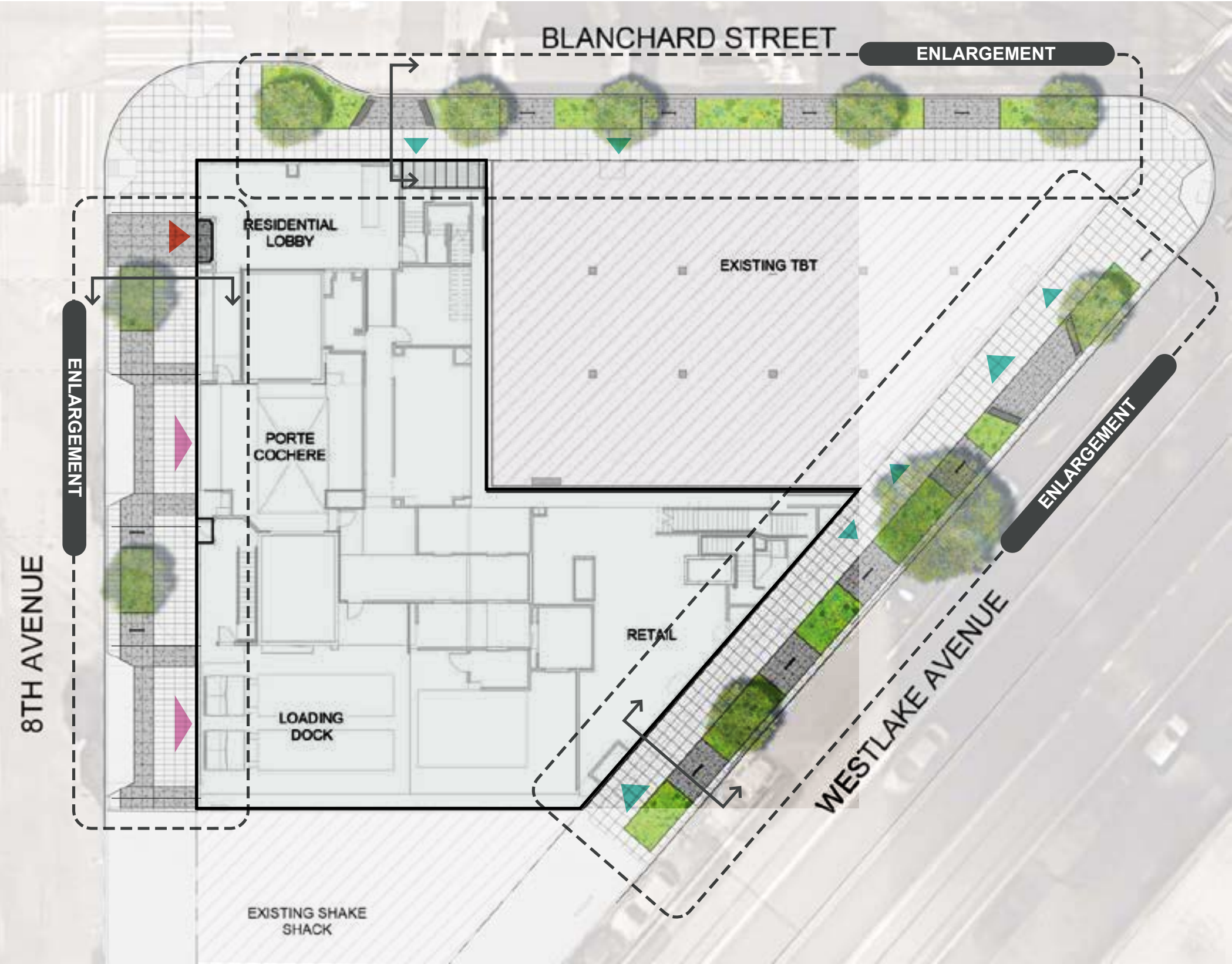


NORTH/SOUTH SECTION

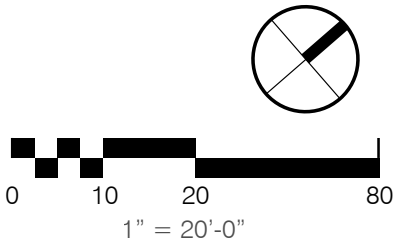


EAST-WEST SECTION

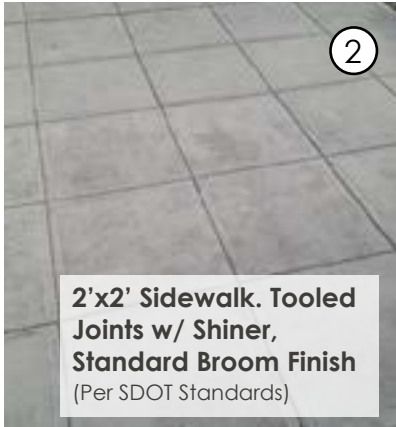
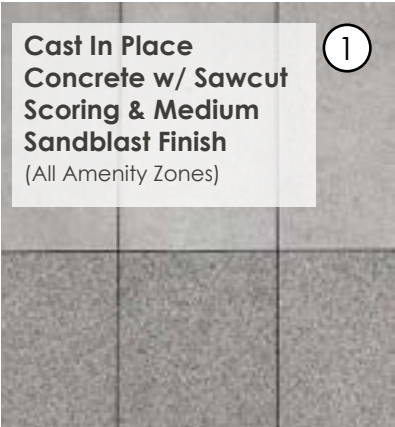
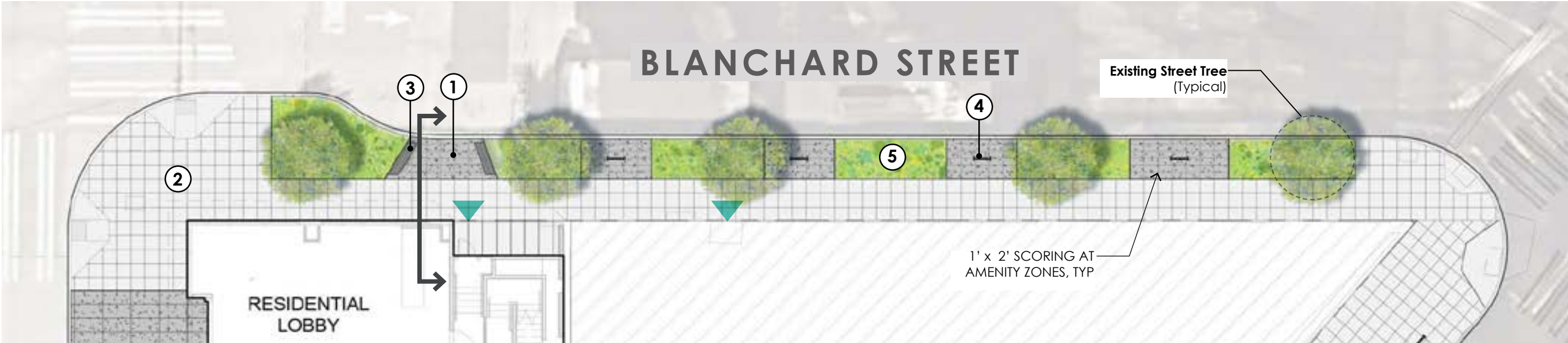




- VEHICULAR ENTRY / EXIT
- LOBBY ENTRY
- RETAIL / SERVICE ENTRY







Blanchard Street Enhancement

- Engage 8th And Blanchard Corner With Bulb-Out
- Add Planting Strip With Paved Openings For Drop-Off & Bike Racks
- Keep Existing Street Trees And Enhance With Bigger Planters
- Add Two New Streetscape Benches Proximate To Entry/Exits

VEHICULAR ENTRY / EXIT

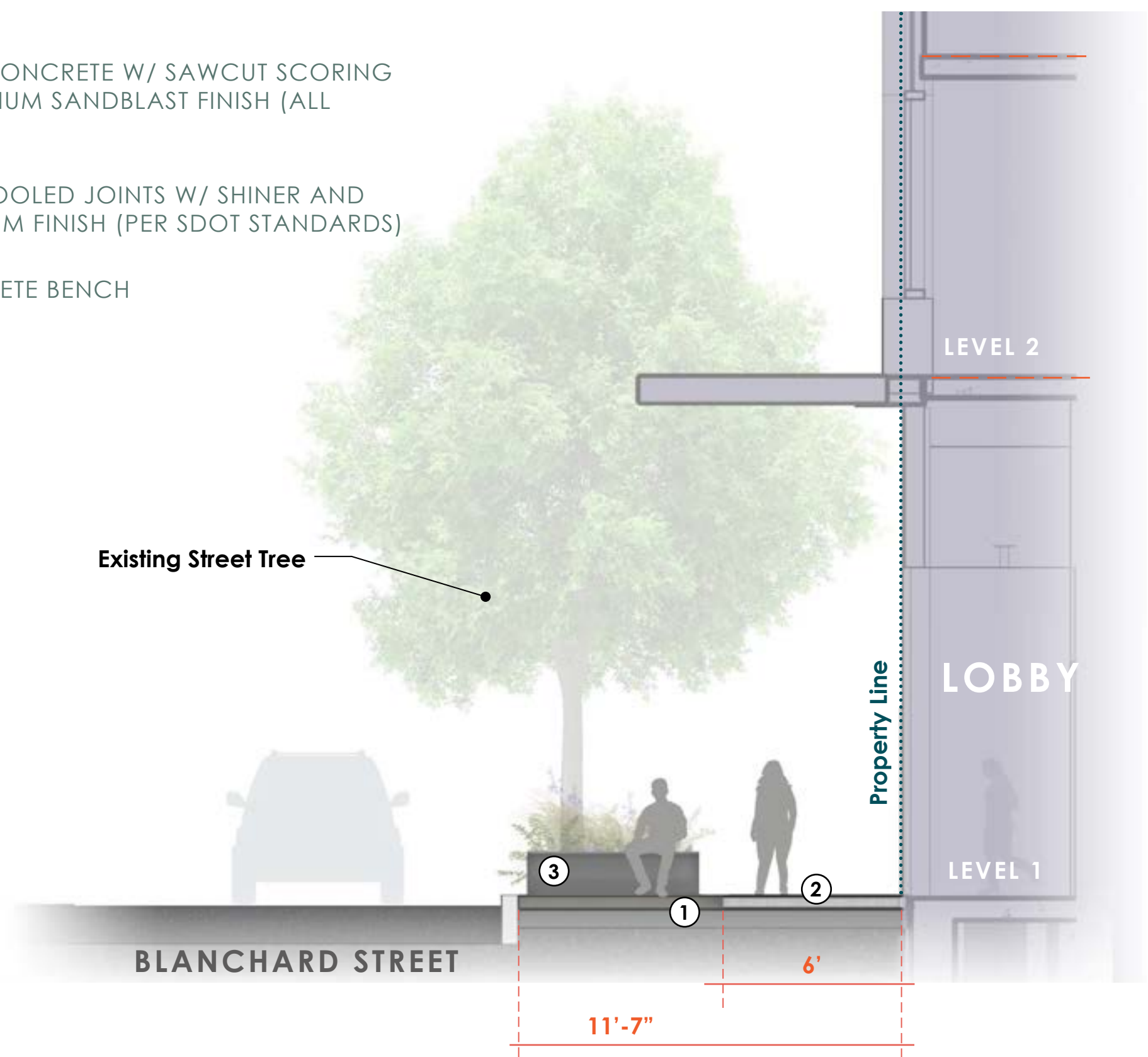
LOBBY ENTRY

RETAIL ENTRY

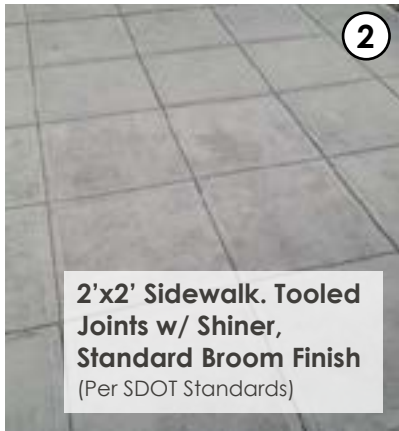
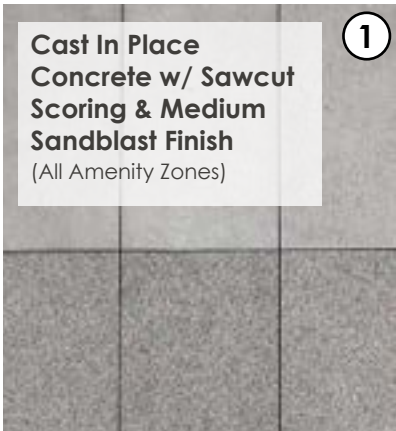
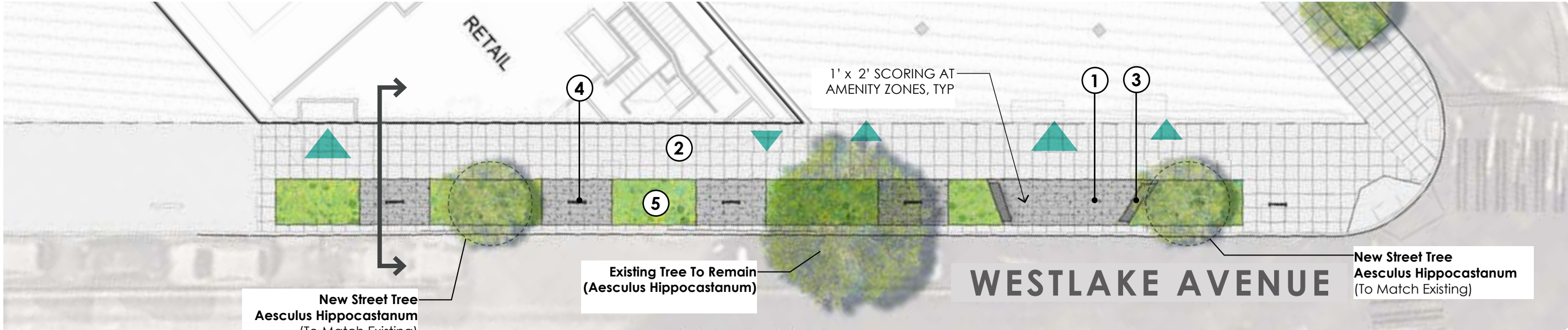


MATERIALS

- ① CAST IN PLACE CONCRETE W/ SAWCUT SCORING (1'X2') AND MEDIUM SANDBLAST FINISH (ALL AMENITY ZONES)
- ② 2X2 SIDEWALK. TOOLED JOINTS W/ SHINER AND STANDARD BROOM FINISH (PER SDOT STANDARDS)
- ③ PRECAST CONCRETE BENCH







Westlake Avenue Enhancement

- Expand And Enhance Planters To Create Strong Green Edge
- Add Two New Streetscape Benches Proximate To Entry/Exits
- Add Paved Openings (Amenity Paving) For Drop-Off, Benches & Bike Racks
- Add Bike Racks
- Add Street Trees Where Possible

- VEHICULAR ENTRY / EXIT
- LOBBY ENTRY
- RETAIL / SERVICE ENTRY

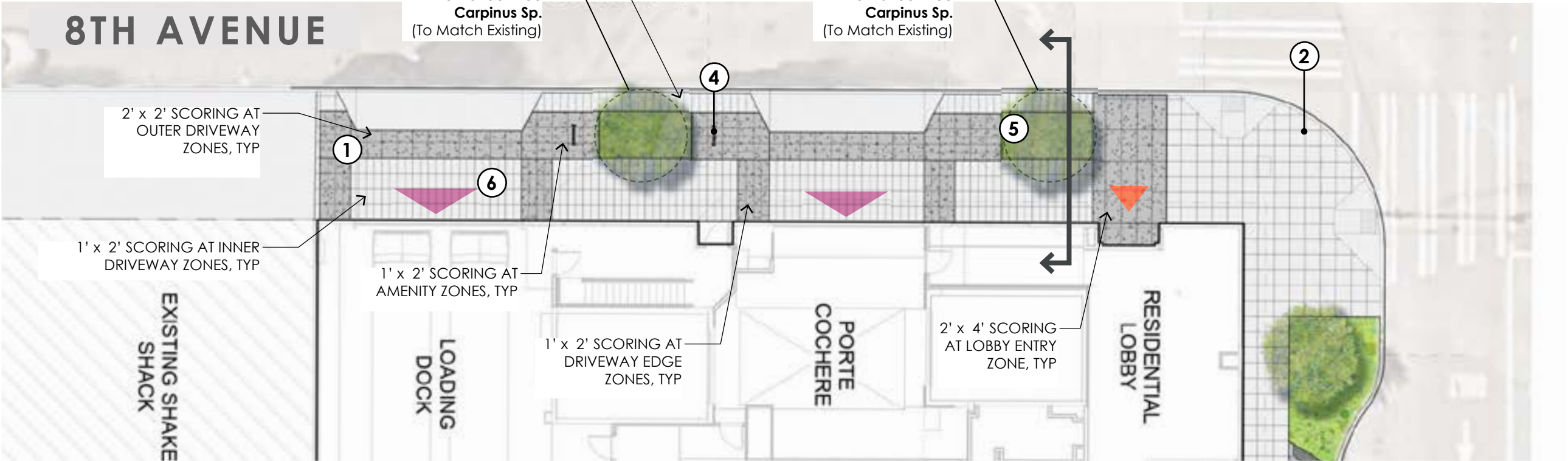




**MATERIALS**

- ① CAST IN PLACE CONCRETE W/ SAWCUT SCORING (1'X2') AND MEDIUM SANDBLAST FINISH (ALL AMENITY ZONES)
- ② 2X2 SIDEWALK. TOOLED JOINTS W/ SHINER AND STANDARD BROOM FINISH (PER SDOT STANDARDS)
- ④ BIKE RACK



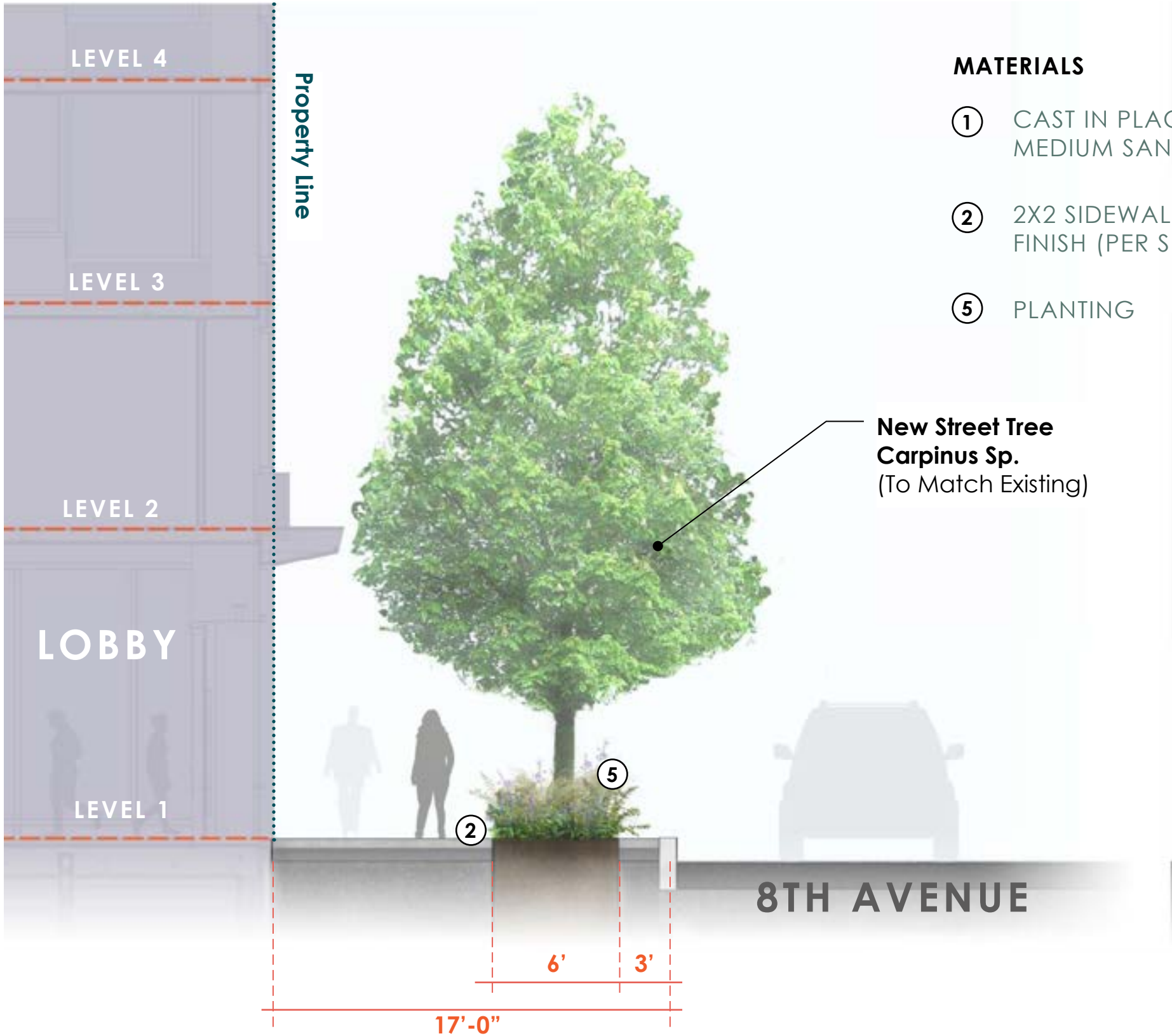


8th Avenue Enhancement

- Add New Street Planters
- Remove Existing Street Trees To Open Views Of Lobby Entrance, Add Two New Street Trees
- Create Smaller Paving Pattern Through Unique Scoring At Retail And Residential Frontages
- Distinguish Building Entries From Driveway Zones With Change To Paving Jointing Pattern, Color, Finish

- ▶ VEHICULAR ENTRY / EXIT
- ▶ LOBBY ENTRY
- ▶ RETAIL / SERVICE ENTRY





**MATERIALS**

- ① CAST IN PLACE CONCRETE W/ SAWCUT (1'X2') SCORING AND MEDIUM SANDBLAST FINISH (ALL AMENITY ZONES)
- ② 2X2 SIDEWALK. SAWCUT SCORING AND STANDARD BROOM FINISH (PER SDOT STANDARDS)
- ⑤ PLANTING



# RESPONSE TO EDG: LANDSCAPE

## STREET TREES



*Aesculus hippocastanum*  
Horse Chestnut



*Carpinus Sp.*  
Hornbeam

## STREETSCAPE PLANTER UNDERSTORY



*Pennisetum alopecuroides*  
Hameln Fountain Grass



*Lonicera pileata*  
Box Leaf Honeysuckle



*Nepeta racemosa 'Walker's Low'*  
Catmint



*Heuchera 'Peppermint Spice'*  
Coral Bells



*Sarcococca rusifolia*  
Sweet Box



*Polystichum munitum*  
Western Sword Fern



*Ribes sanguineum*  
Red Flowering Currant



*Vaccinium ovatum*  
Evergreen Huckleberry

# STREET LEVEL ENHANCEMENTS EXAMPLE PLANTING LIST

### Westlake Avenue & 8th Ave Planting Character

- Sunnier Orientation For Planting Palette
- Pollinator Species
- Ornamental Grasses And Flowering Color

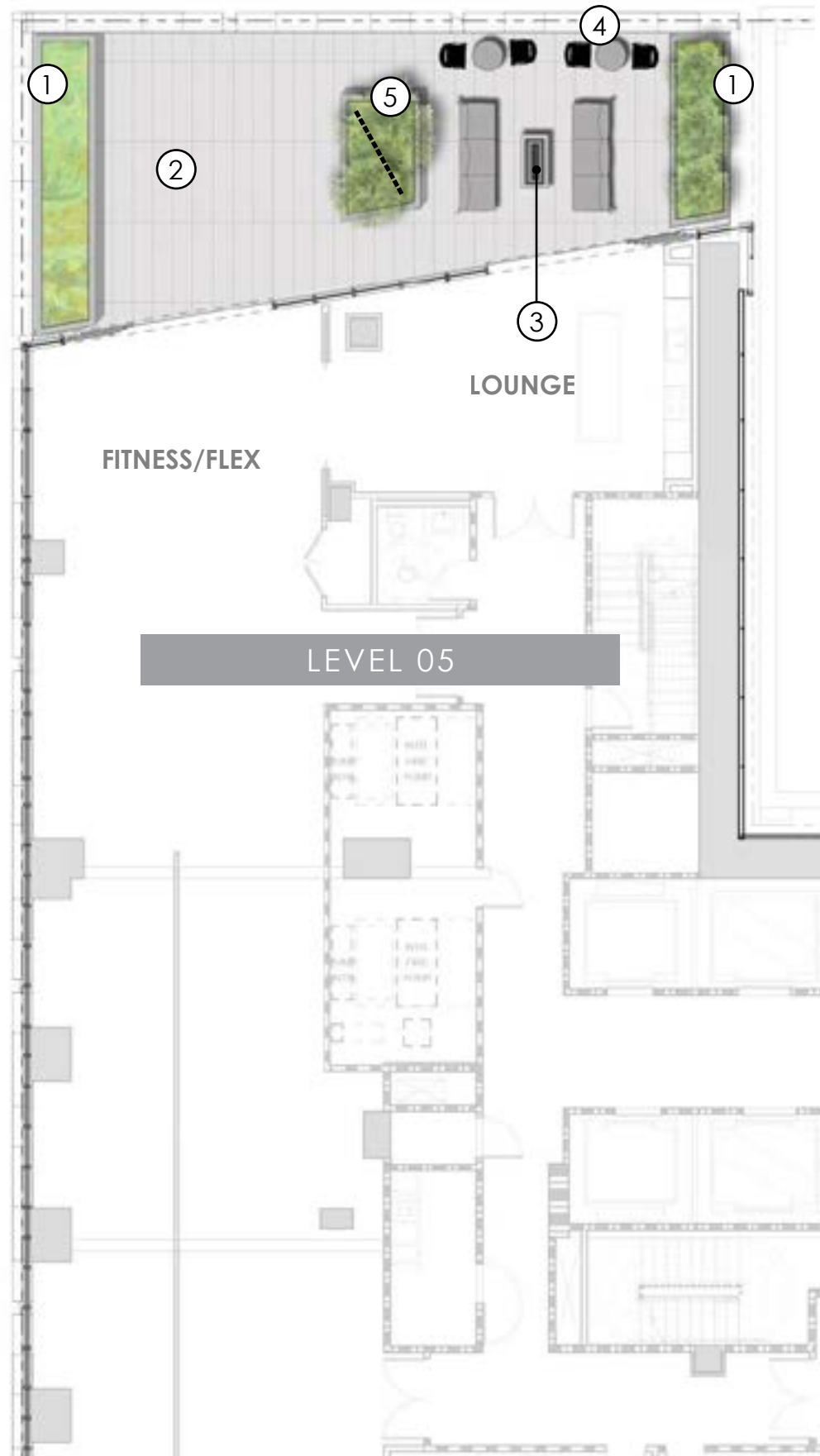
### Blanchard Planting Character

- Shade Oriented Planting Character
- Pacific Northwest Native Focus
- Fall Color

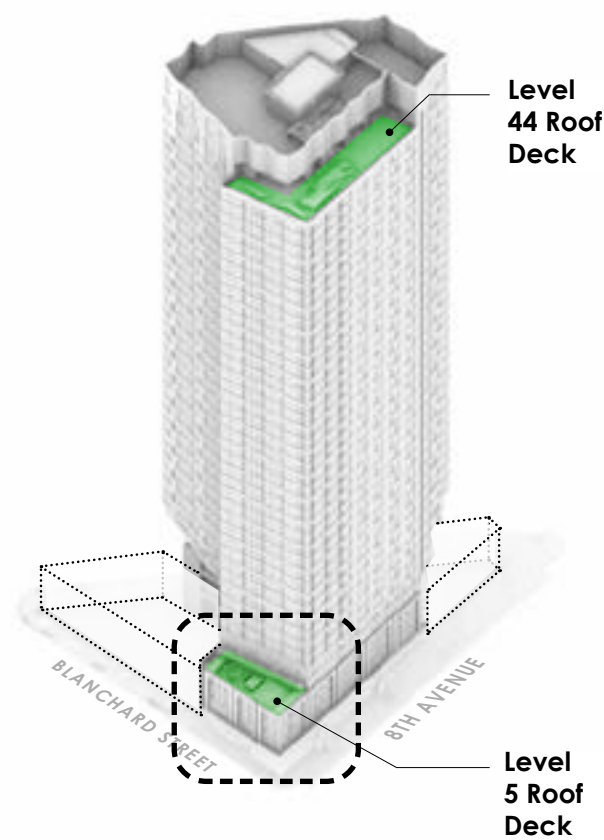


# ROOFTOP AMENITIES

## LEVEL 5 PLAN & CHARACTERISTICS



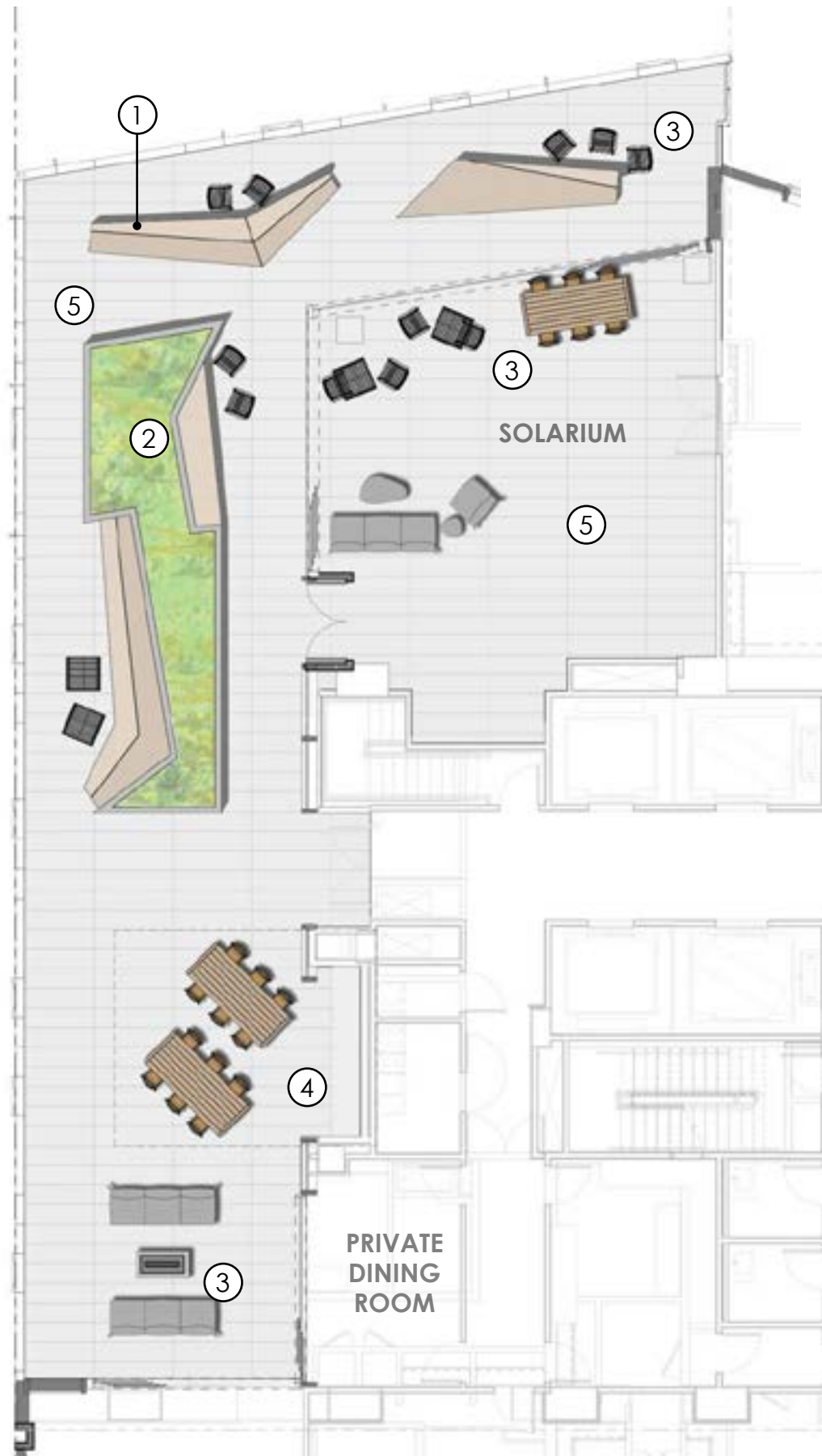
- ① Raised (42" height) concrete planters for bio-retention treatment, smooth form finish
- ② Open flexible paved deck area for fitness spill out, large scale linear pavers (pedestal set)
- ③ Outdoor furnishings for lounge spill out w/ gas fire-pit
- ④ Moveable cafe table seating
- ⑤ Low concrete planter (18" height) with sculptural wood screen element between fitness and lounge space



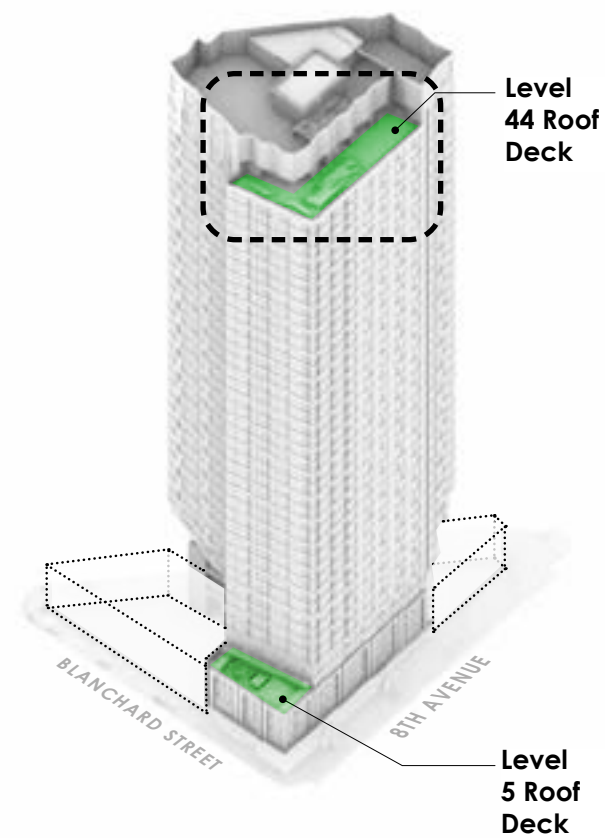


# ROOFTOP AMENITIES

## LEVEL 44 PLAN & CHARACTER



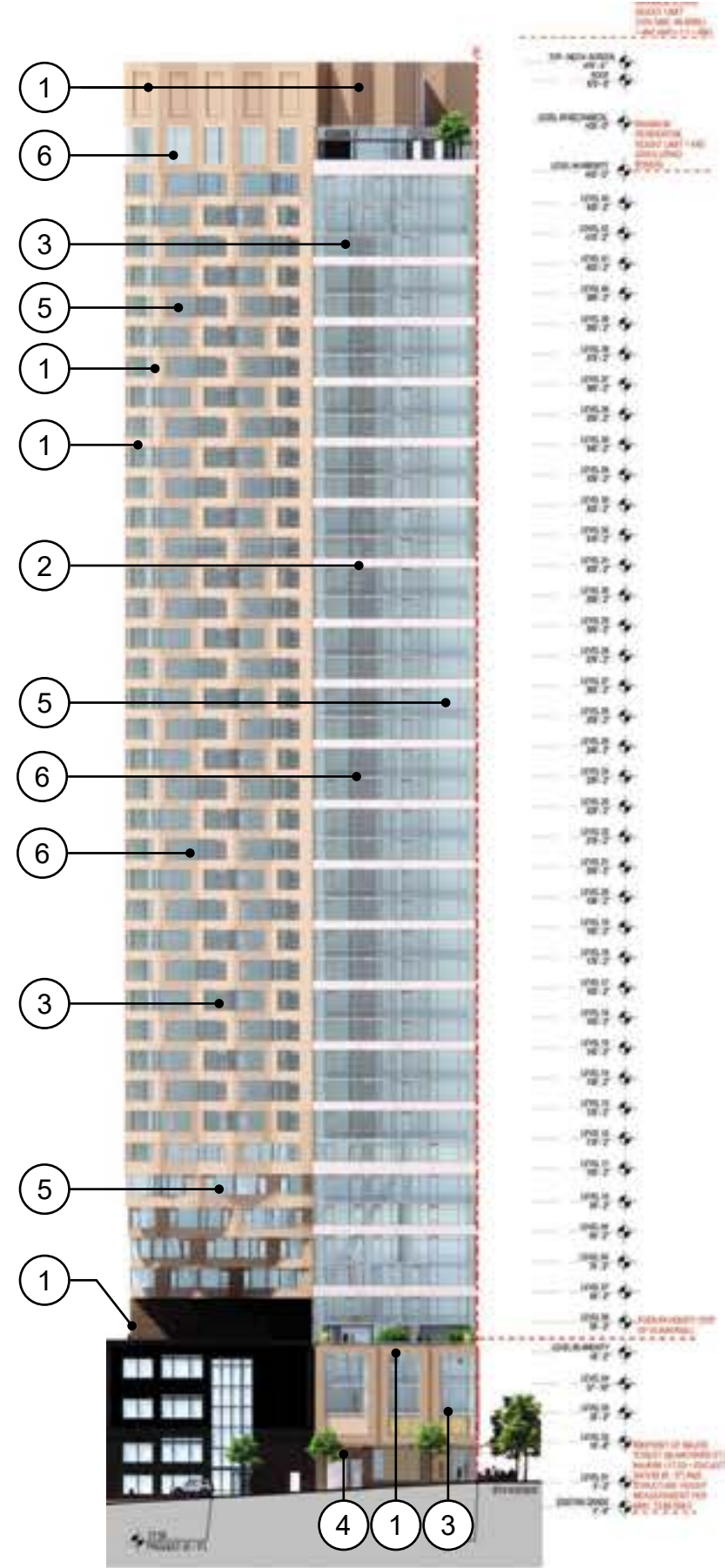
- ① Sculptural seating & planting elements as visual back drop from solarium interior and usable feature in nice weather.
- ② Low planting, ornamental grass and perennials
- ③ Movable furnishings - shared vocabulary with interior solarium space
- ④ Potential canopy covered outdoor kitchen/seating area
- ⑤ Large scale linear paver slabs, extending into solarium to unify space



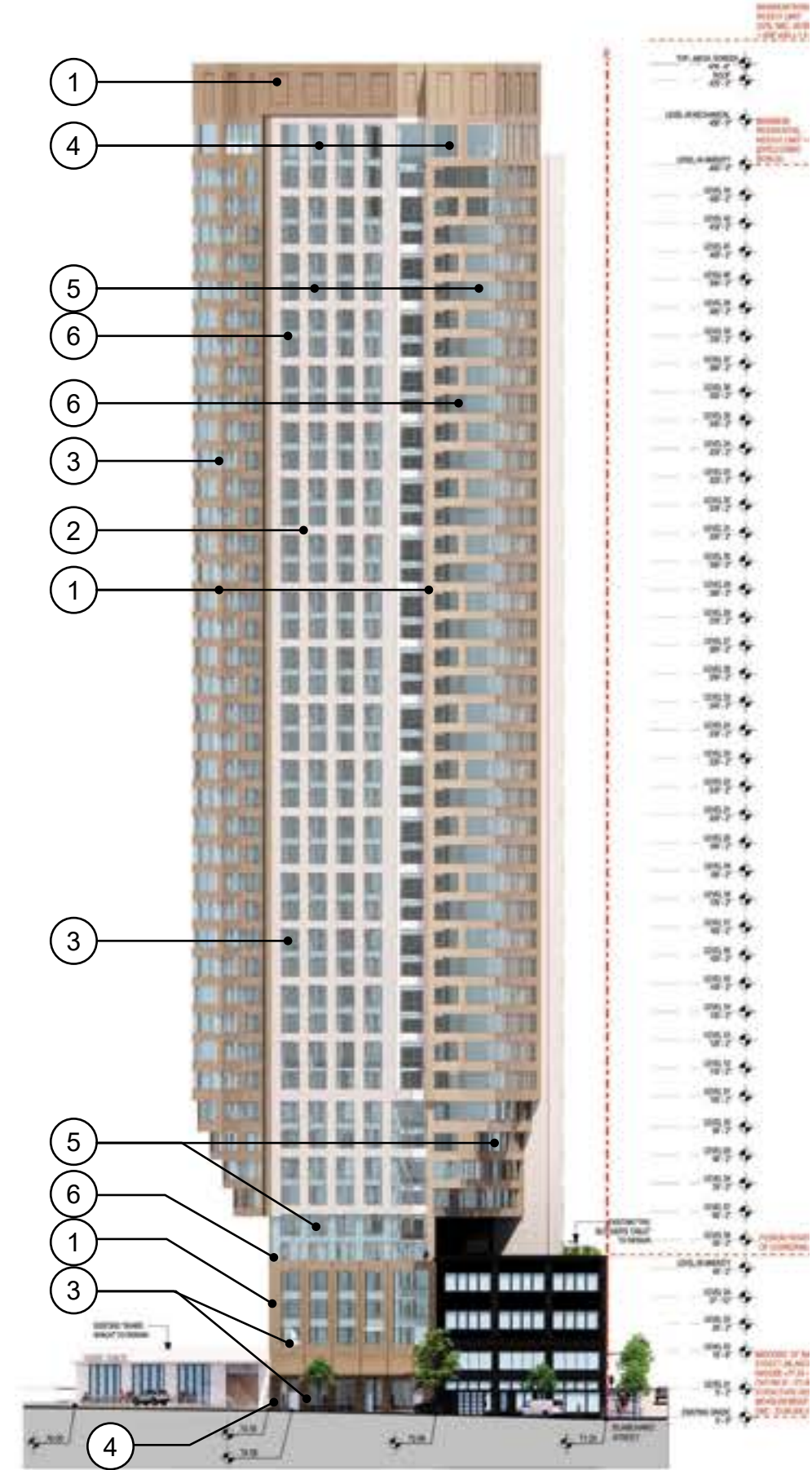


# ELEVATIONS: NORTH AND EAST

- ① Champagne Aluminum Metal Cladding
- ② White Out Aluminum Metal Cladding
- ③ Silver Aluminum Mullions
- ④ Wasabi Black Granite
- ⑤ Vision Glass
- ⑥ Spandrel Glass



North Elevation

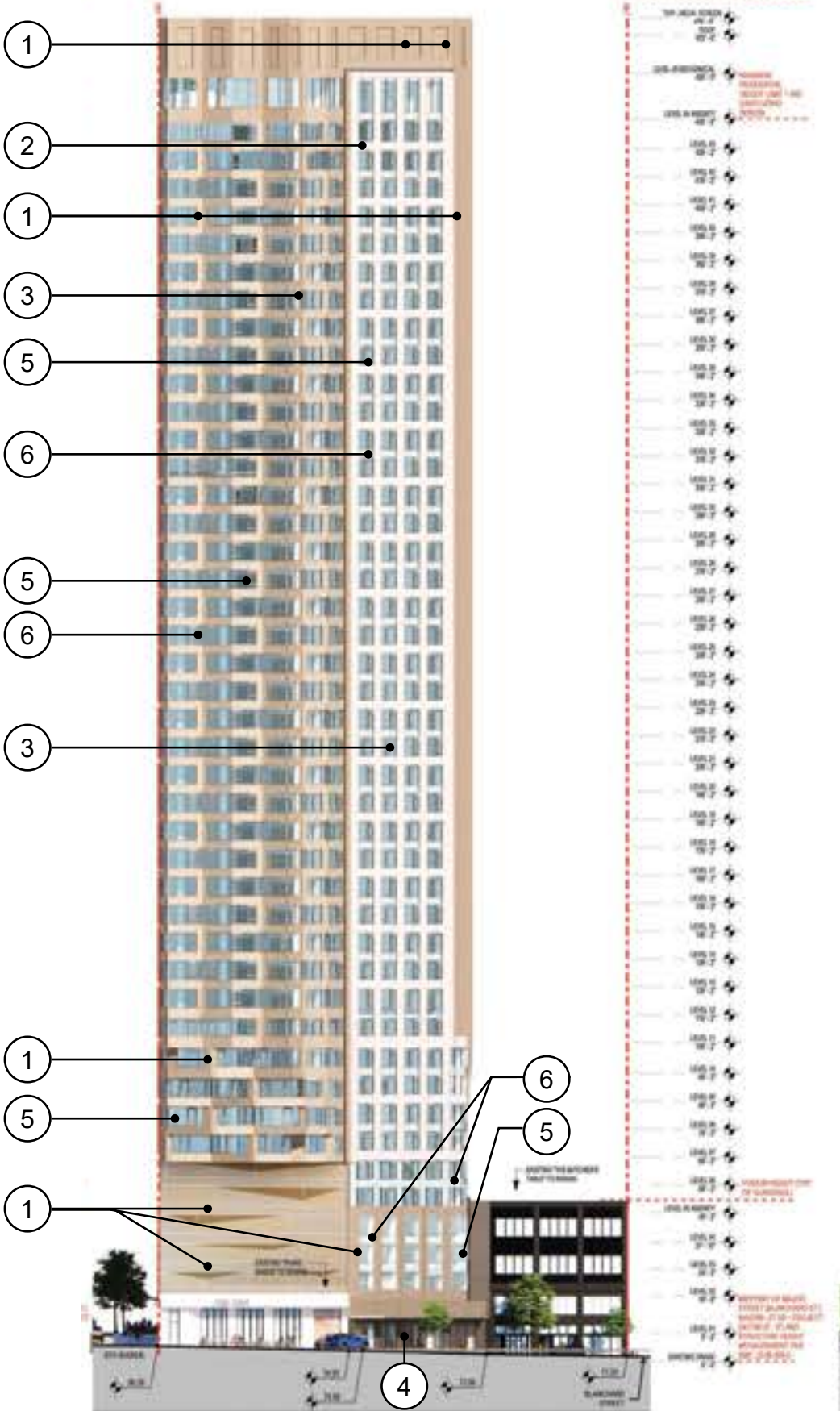


East Elevation

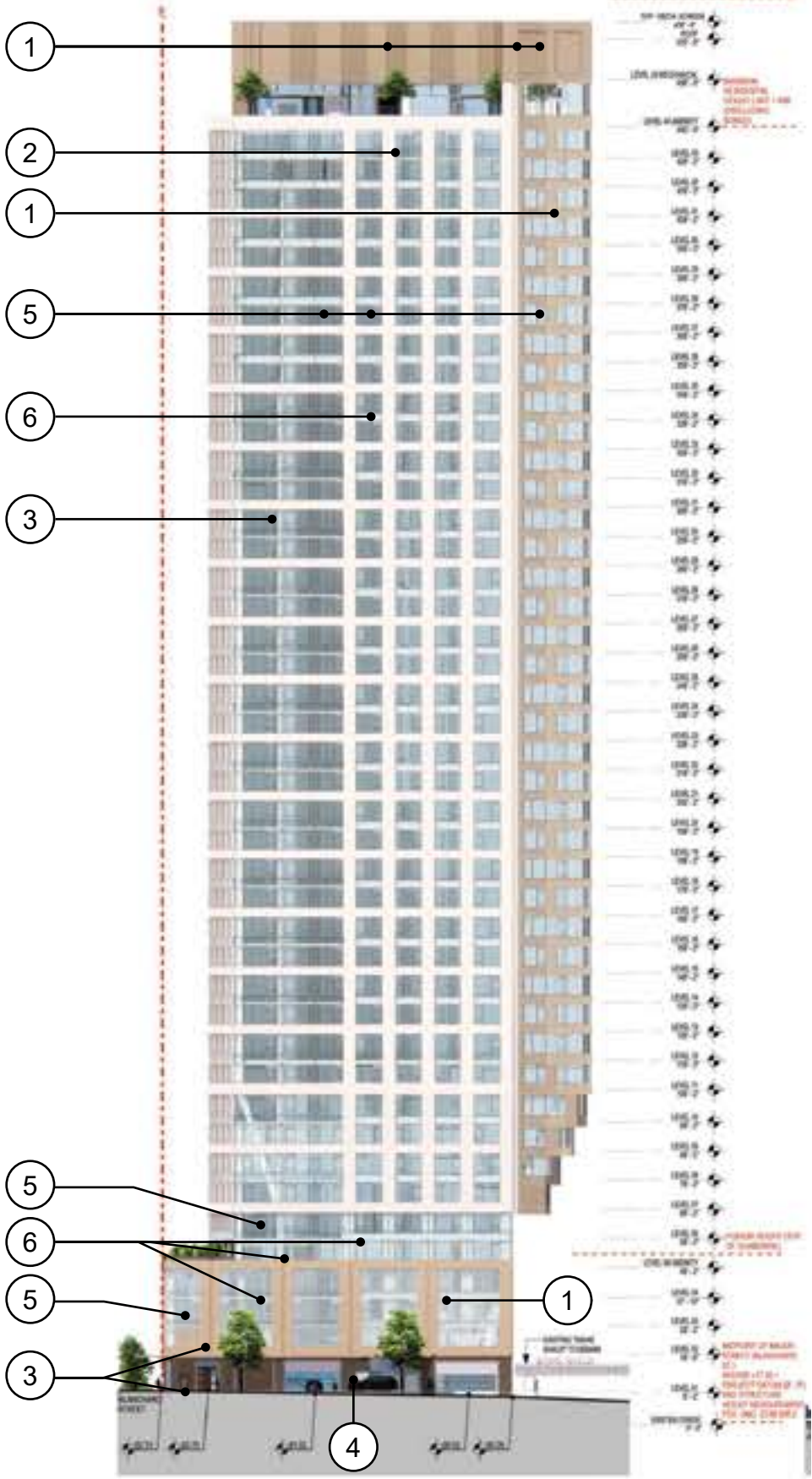


# ELEVATIONS: SOUTH AND WEST

- ① Champagne Aluminum Metal Cladding
- ② White Out Aluminum Metal Cladding
- ③ Silver Aluminum Mullions
- ④ Wasabi Black Granite
- ⑤ Vision Glass
- ⑥ Spandrel Glass



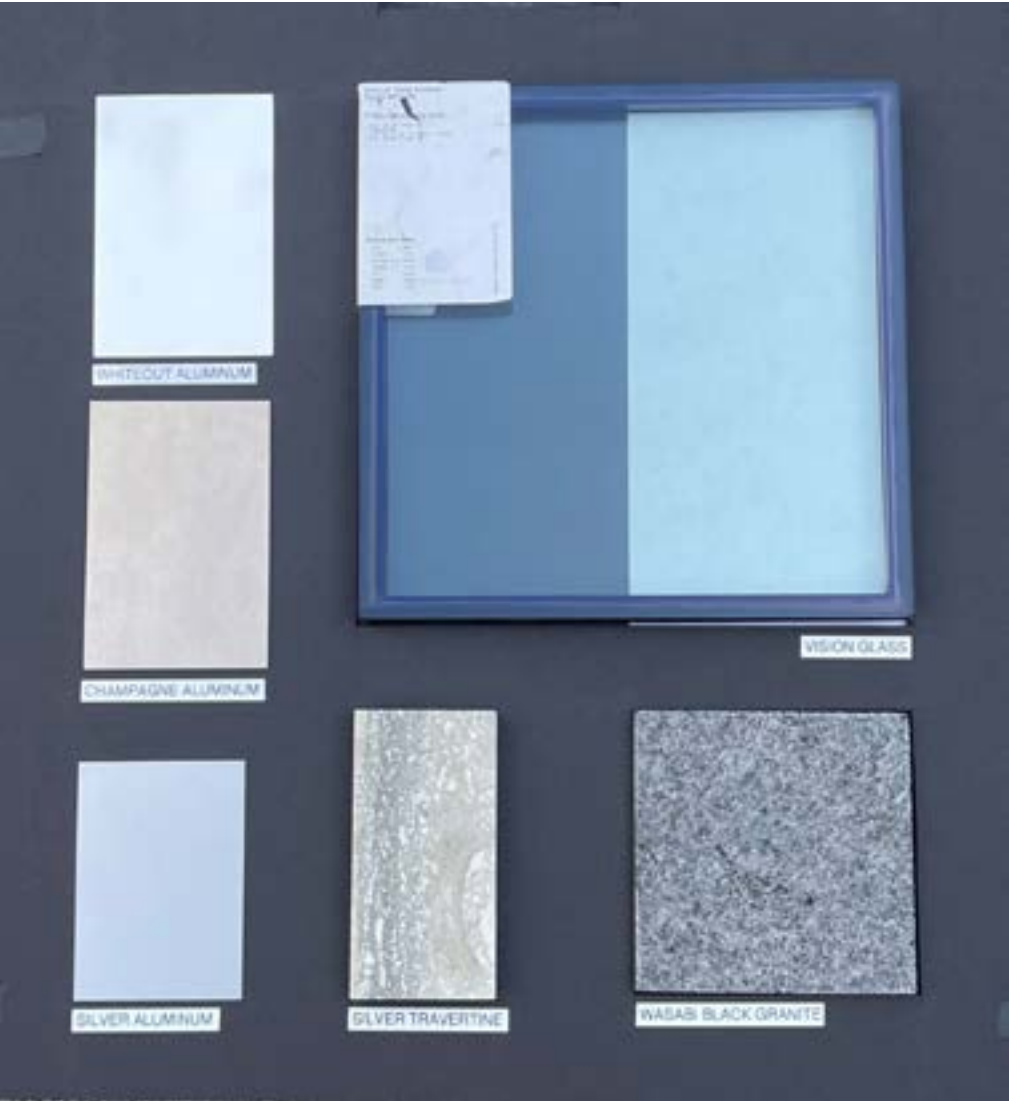
South Elevation



West Elevation



# MATERIAL AND COLOR PALETTE



Morning (Indirect)



Mid-Day (Direct)



Afternoon (Direct)



RENDERINGS: 8TH AVE BASE VIEW

- ① Champagne Aluminum Metal Cladding
- ② White Out Aluminum Metal Cladding
- ③ Silver Aluminum Mullions
- ④ Wasabi Black Granite
- ⑤ Vision Glass
- ⑥ Spandrel Glass

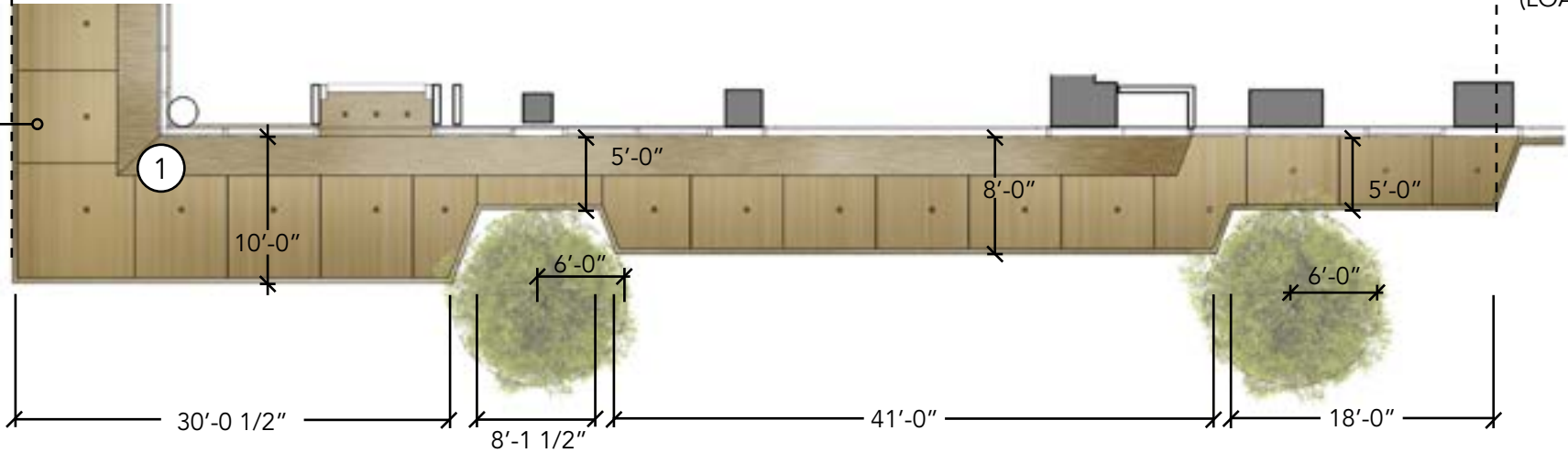
ALUMINUM METAL CANOPY WITH INTEGRATED DOWNLIGHTS



CUSTOM GLASS RESIDENTIAL ENTRYWAY

SCONCE LIGHT FIXTURES

PANELIZED ROLL UP DOOR (LOADING)

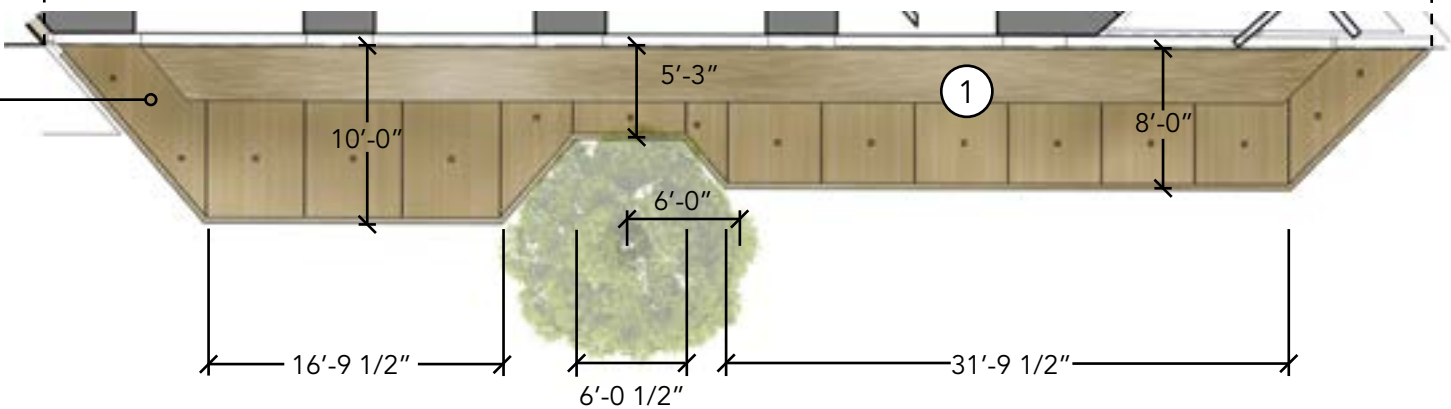


N/W CANOPY ON 8TH ST RCP



RENDERINGS: WESTLAKE AVE BASE VIEW

- ① Champagne Aluminum Metal Cladding
- ② White Out Aluminum Metal Cladding
- ③ Silver Aluminum Mullions
- ④ Wasabi Black Granite
- ⑤ Vision Glass
- ⑥ Spandrel Glass



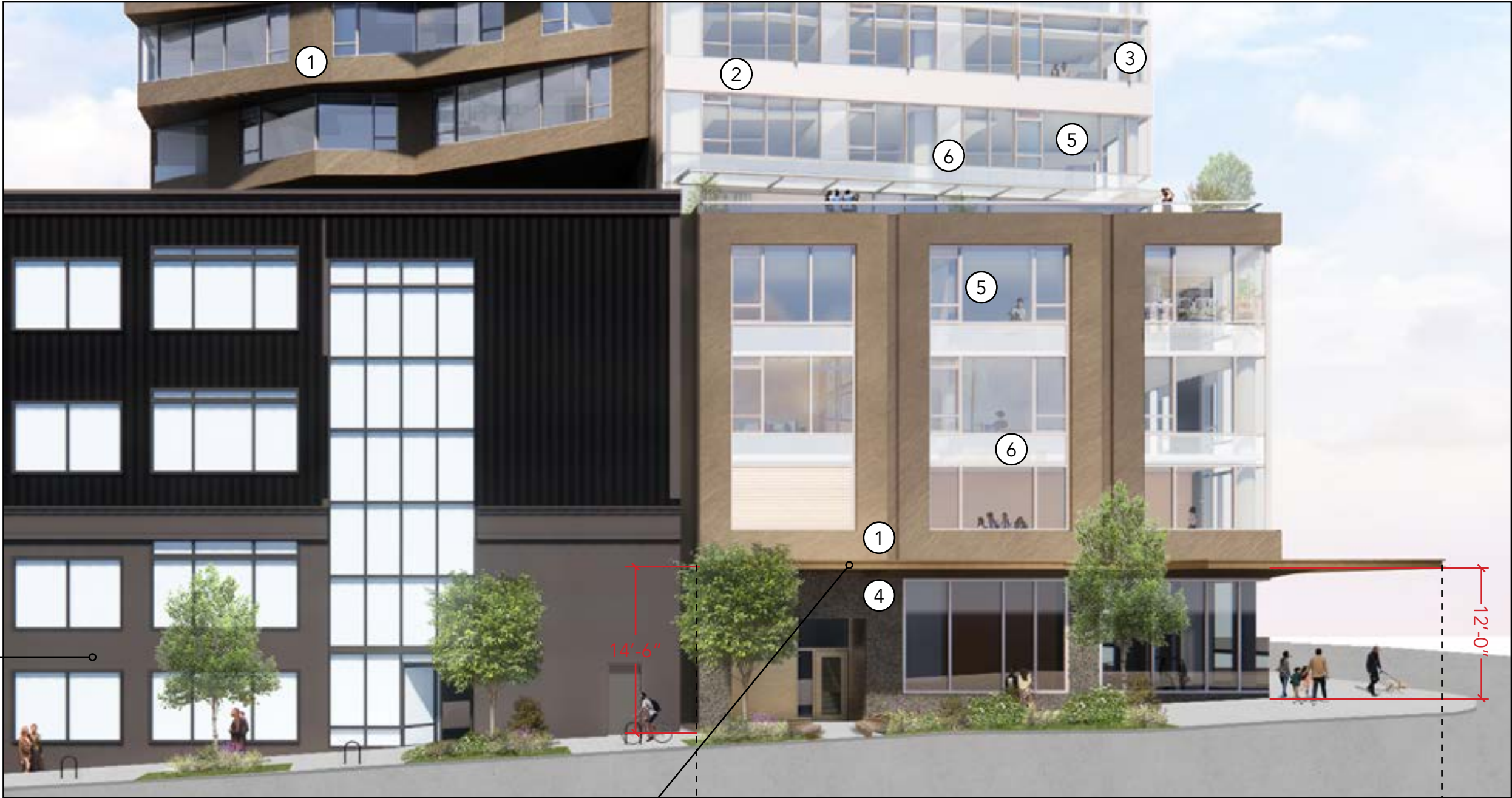
S/E CANOPY ON WESTLAKE ST RCP



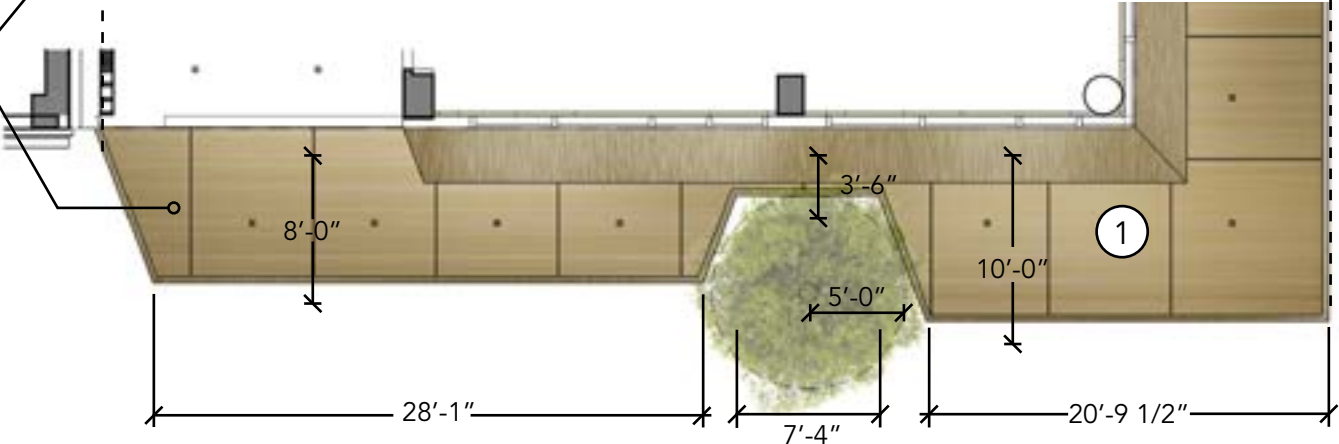
RENDERINGS: BLANCHARD ST BASE VIEW

- ① Champagne Aluminum Metal Cladding
- ② White Out Aluminum Metal Cladding
- ③ Silver Aluminum Mullions
- ④ Wasabi Black Granite
- ⑤ Vision Glass
- ⑥ Spandrel Glass

THE BUTCHER'S TABLE



ALUMINUM METAL CANOPY  
WITH INTEGRATED  
DOWNLIGHTS



N/W CANOPY ON BLANCHARD ST RCP



RENDERINGS: TOWER VIEWS



North on Westlake Ave



South on Westlake Ave



## RENDERINGS: BASE VIEW



Intersection of 8th Ave and Blanchard St



# STREET LEVEL LIGHTING



**1 Downlighting**  
Recessed downlights in canopies, soffits, and the porte cochere provide general lighting at walkways and entries.



**2 Entry Sconces**  
Wall mounted bi-directional sconces frame the primary entry at the porte cochere.



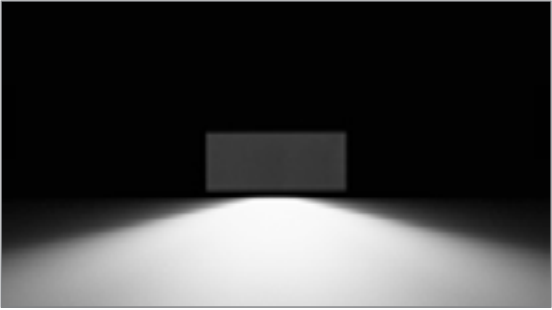
**3 Cove Light**  
Indirect lighting in an architectural cove illuminate the center of the porte cochere.



**4 Door Highlights**  
Linear perimeter lights over the car elevator doors direct drivers to the lifts.

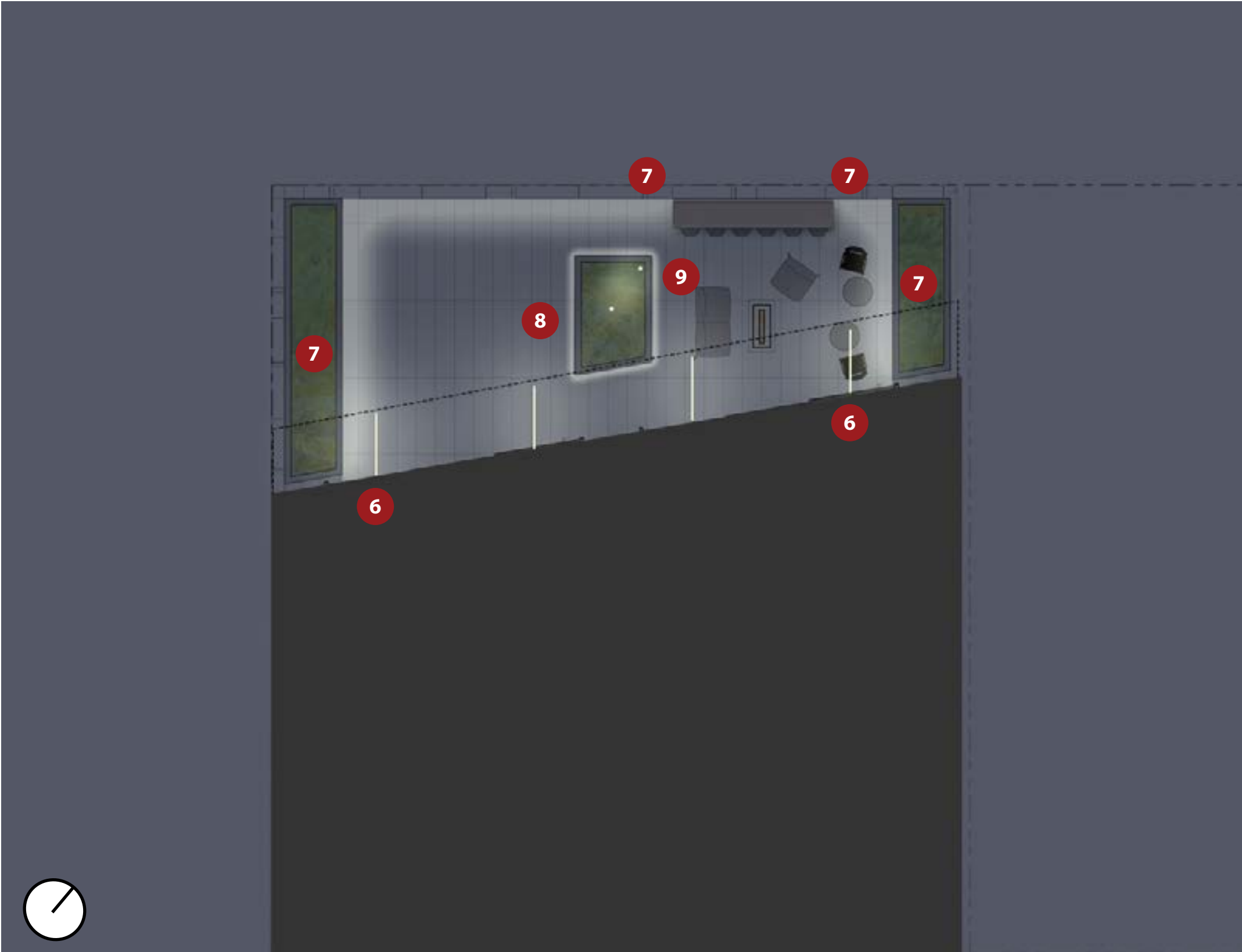


**5 Area Lights**  
Minimalist area lighting over the loading dock doors light up the sidewalk and threshold.





# LEVEL 5 TERRACE LIGHTING



**6 Canopy Downlight**  
Linear downlights under the canopy outriggers illuminate entries & exits.



**7 Perimeter Lighting**  
Low level lights along the deck's perimeter outlines the space.



**8 Toekick Lights**  
Indirect toekick lighting around the central planter anchors the terrace.

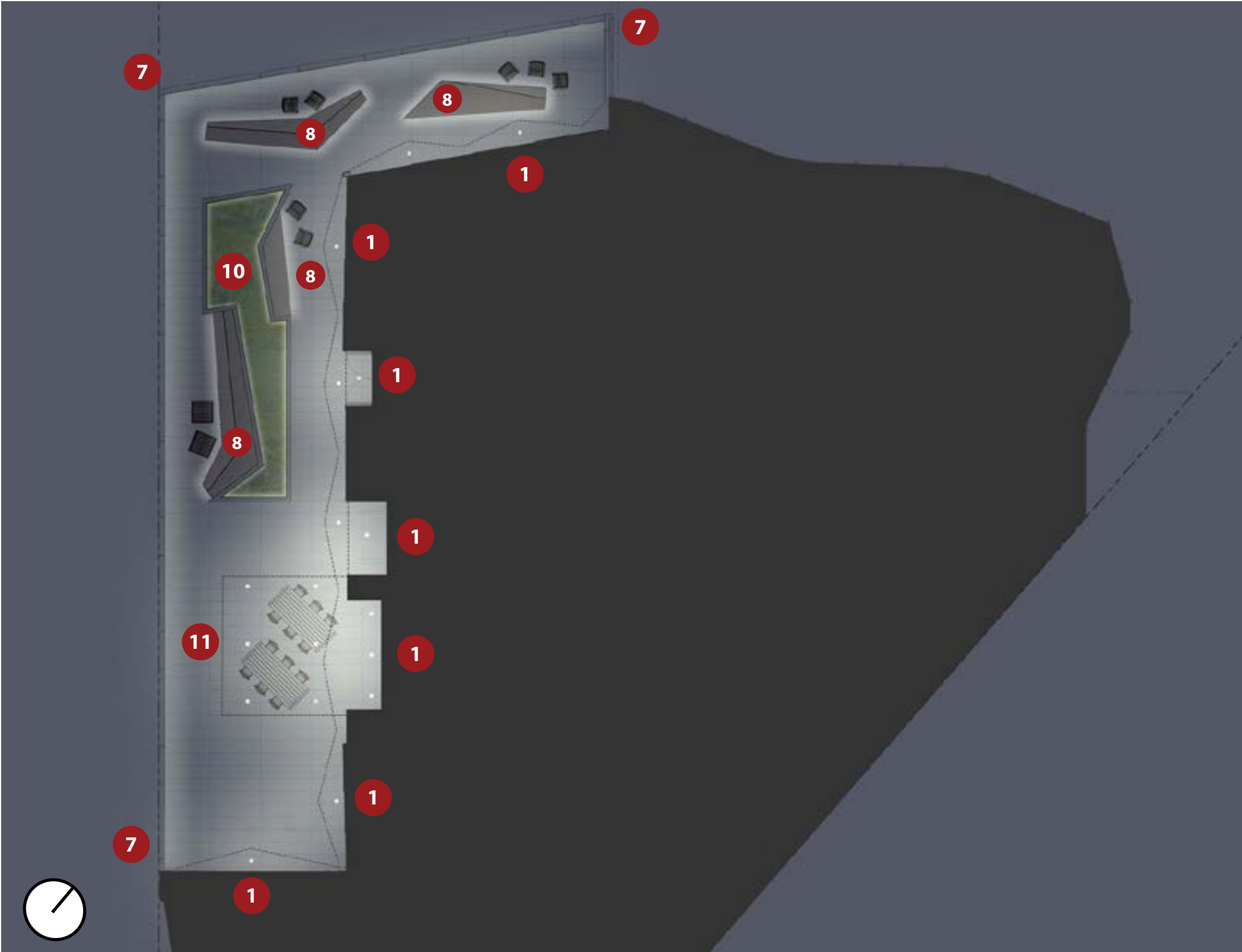


**9 Planter Uplights**  
Adjustable uplighting in the planter highlights the feature tree.





# ROOFTOP TERRACE LIGHTING



**1 Downlighting**  
Recessed downlights in soffits provide general lighting at doors and along the building.



**7 Perimeter Lighting**  
Low level lights along the deck's perimeter outlines the space.



**8 Toekick Lights**  
Indirect toekick lighting around seating anchors the terrace.



**10 Planter Glow**  
LED tape hidden inside the planter perimeter highlights low-level plantings.



**11 Structure Lighting**  
Outdoor structure downlighting illuminates the covered seating area for task lighting.

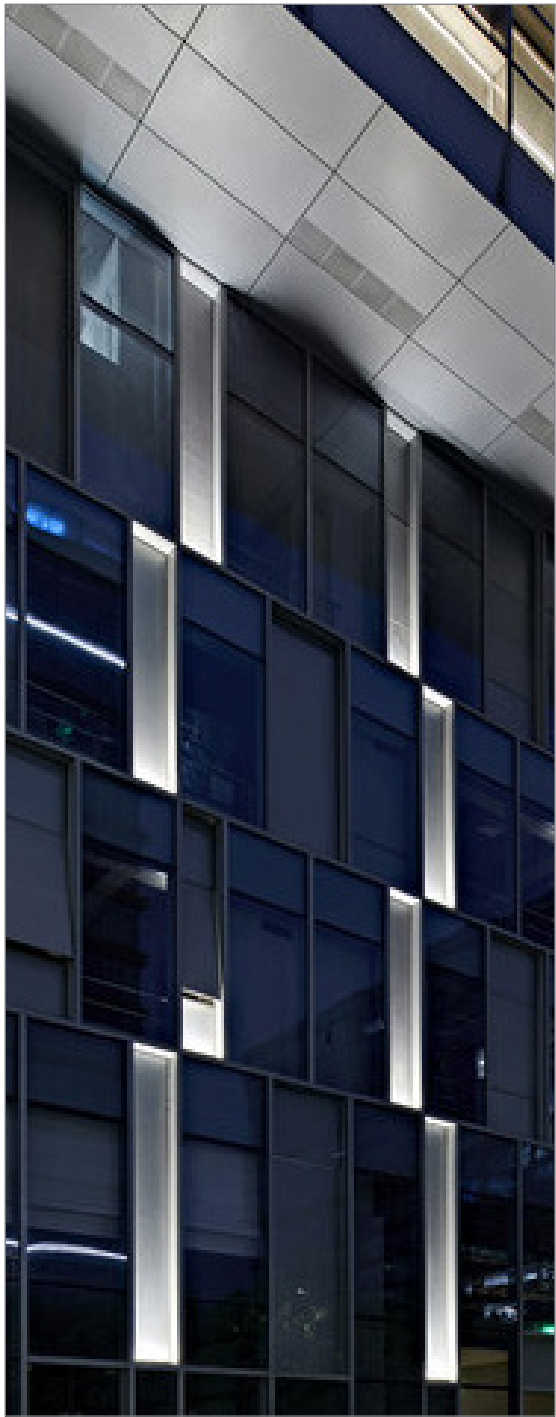




# TOWER CROWN LIGHTING

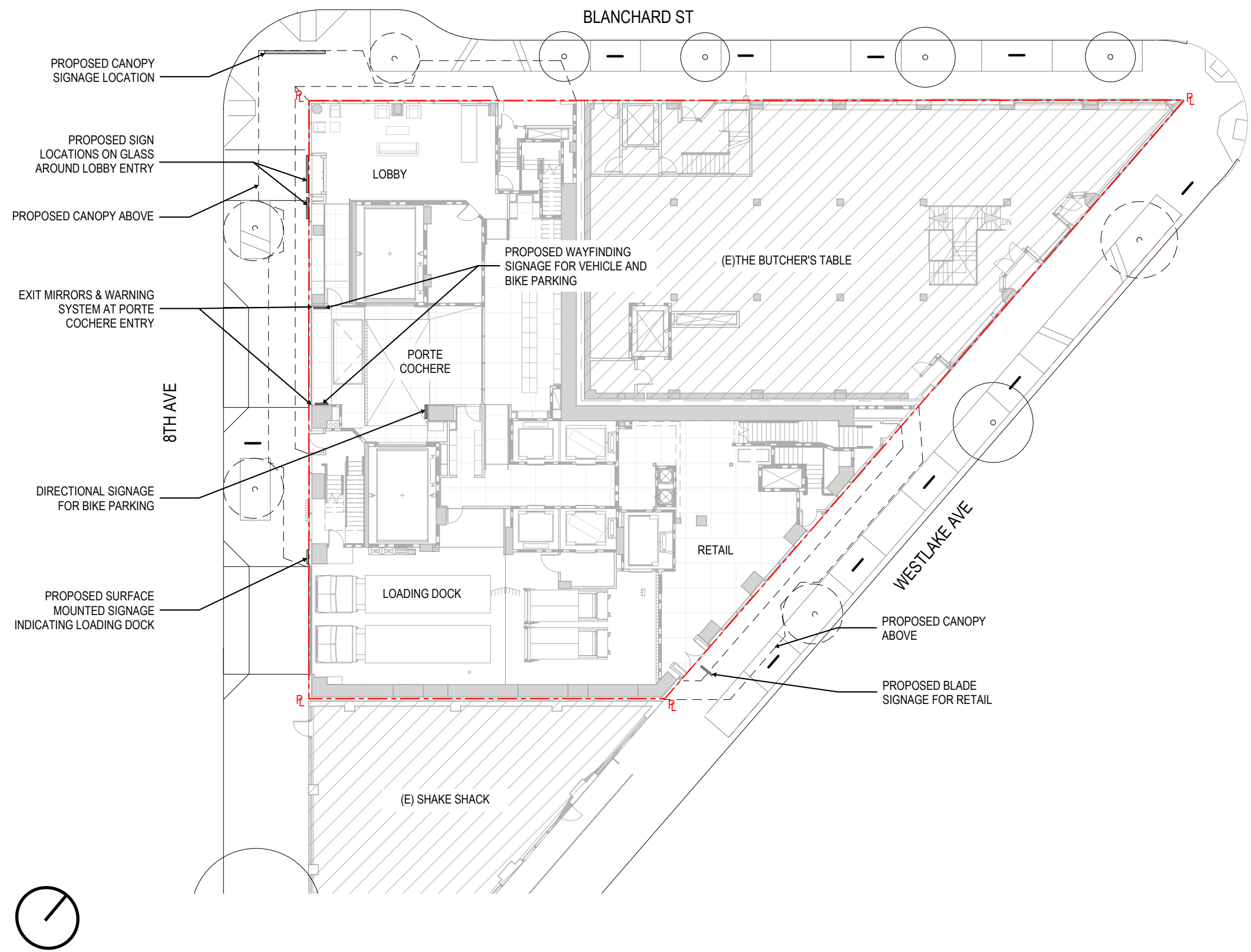


**Crown Highlight**  
Linear uplighting within recesses in the building's crown accentuate the facade's niches.





# SIGNAGE CONCEPT PLAN



## Signage Examples



Canopy Signage



Blade Signage





# RESPONSE TO EDG: PEDESTRIAN REALM / VEHICULAR IMPACTS

## Board Comment

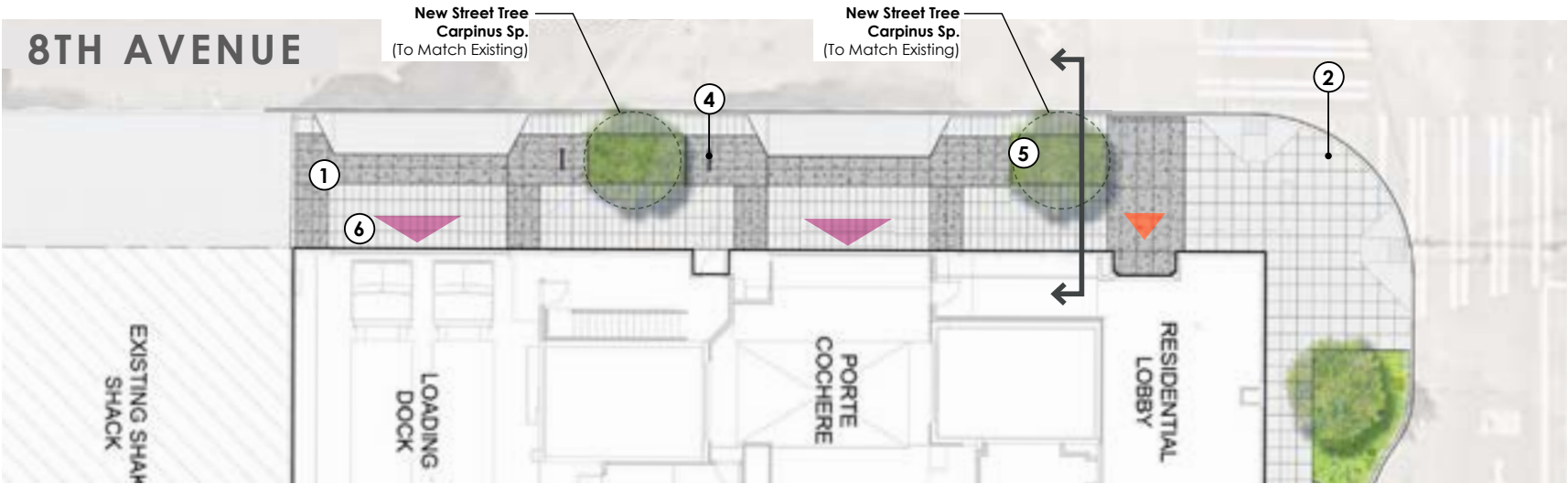
- The Board was concerned about the linear extent of vehicular and service uses and access along 8th Ave and directed further study of how a pedestrian-oriented scale and treatment is achieved along that frontage. The study should consider transparency versus opacity at the ground level and seek to minimize the visual impact of vehicle and service uses on the pedestrian experience.

## Response:

To address the Board’s concern of the ground floor, our approach was to showcase the porte cochere to appear to pedestrians as an indoor-outdoor extension of the lobby space. The intention is for the porte cochere to provide a hospitality quality experience for the residents, with finishes similar to the lobby such as high-quality paving and wall and ceiling treatments. This concept engages the pedestrian with an open façade displaying a warm welcoming space, providing a safe and visually pleasing experience.

In order to reinforce the building entry, we have retained the recessed entry bay, which features a distinctive set of entry doors and a change in paving. The contrasting streetscape paving extends south along 8th Ave to distinguish the building’s entries.

## Design Guidelines: C-1, C-3, C-4



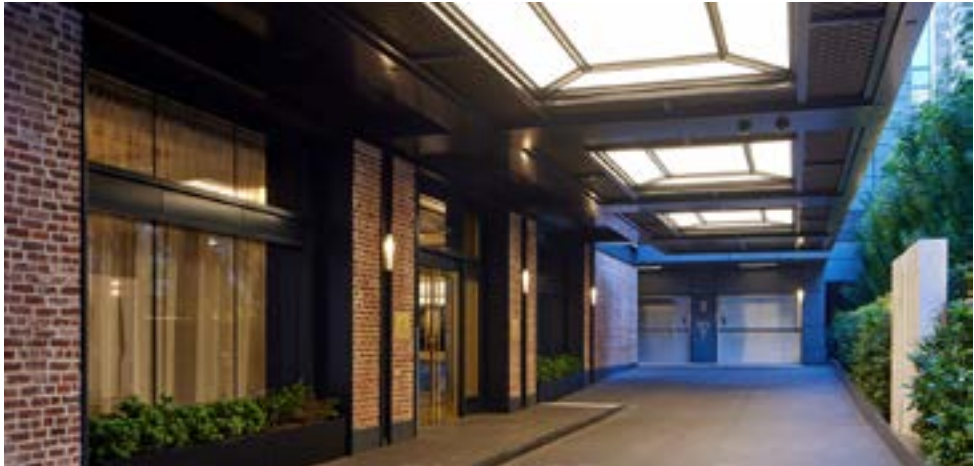
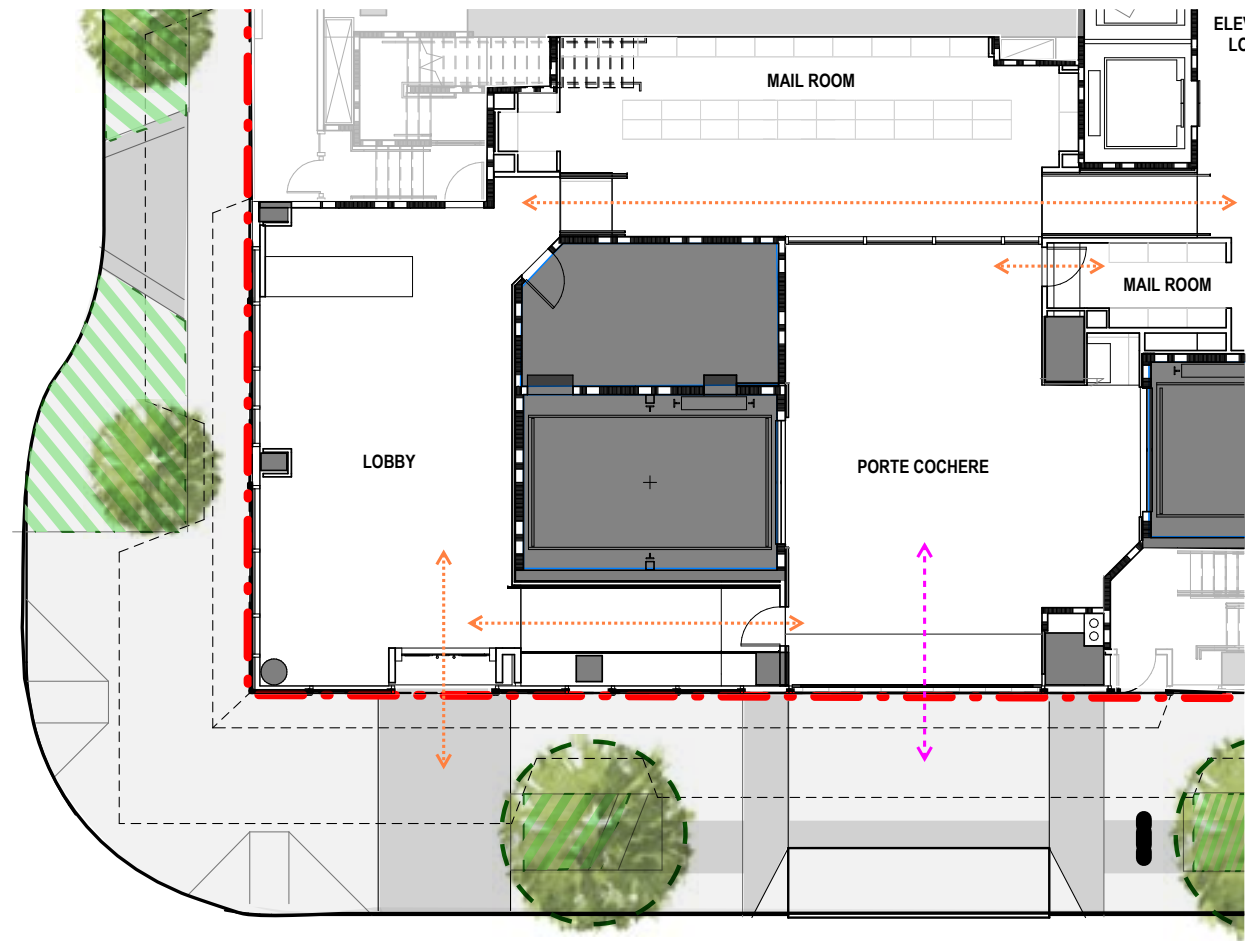
Proposed Landscape Along 8th Ave



West Elevation Along 8th Ave



RESPONSE TO EDG: PEDESTRIAN REALM / VEHICULAR IMPACTS  
PORTE COCHERE



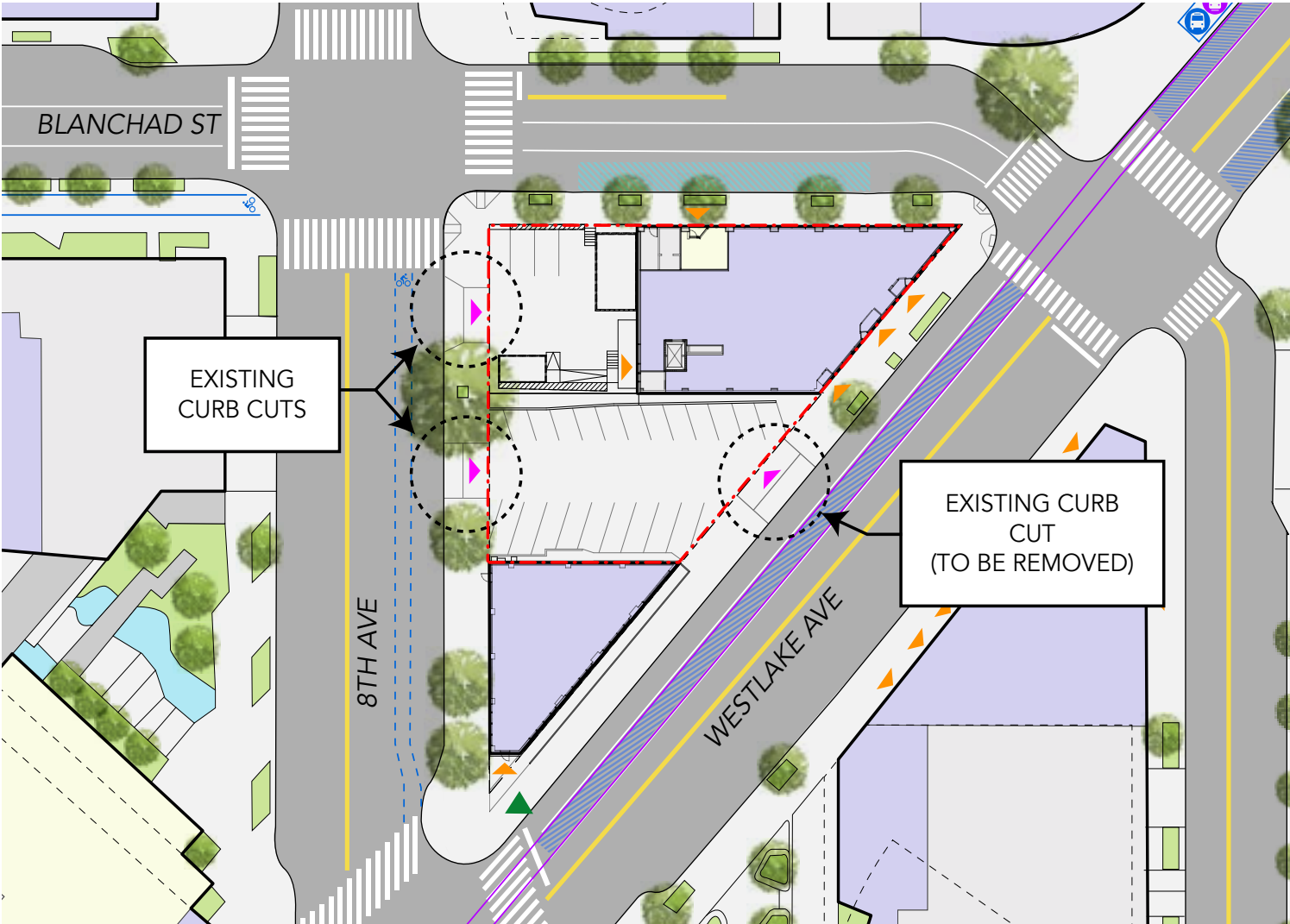
Porte Cochere at Four Seasons Private Residences (706 Mission) - Handel Architects LLP



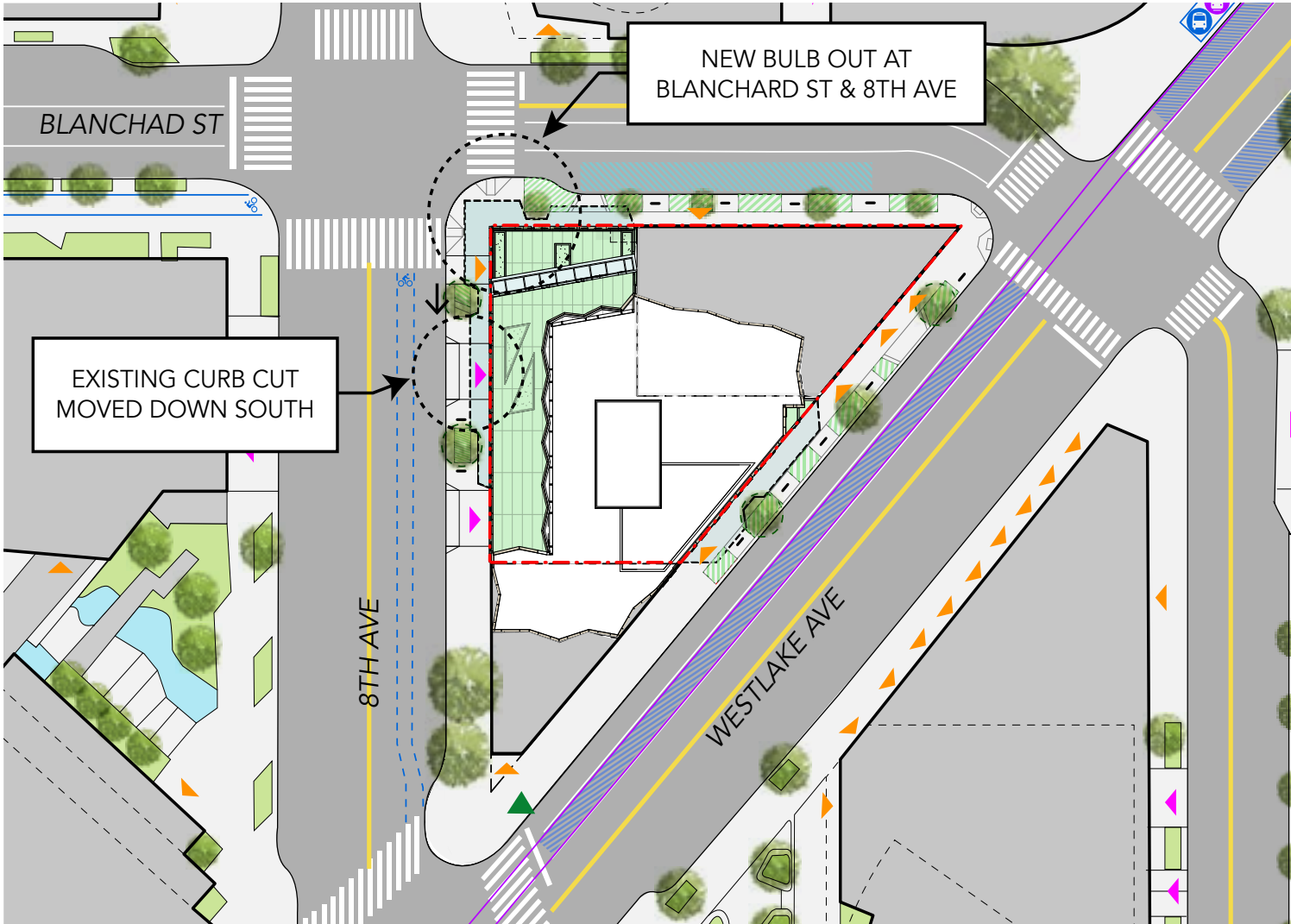
Porte Cochere at The Pacific - Handel Architects LLP



# RESPONSE TO EDG: BIKE ACCESS



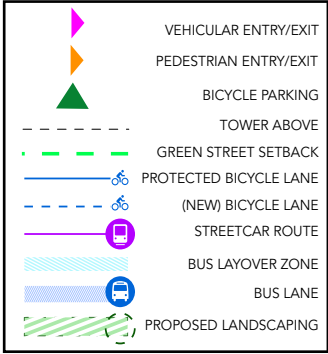
EXISTING SITE PLAN



PROPOSED SITE PLAN

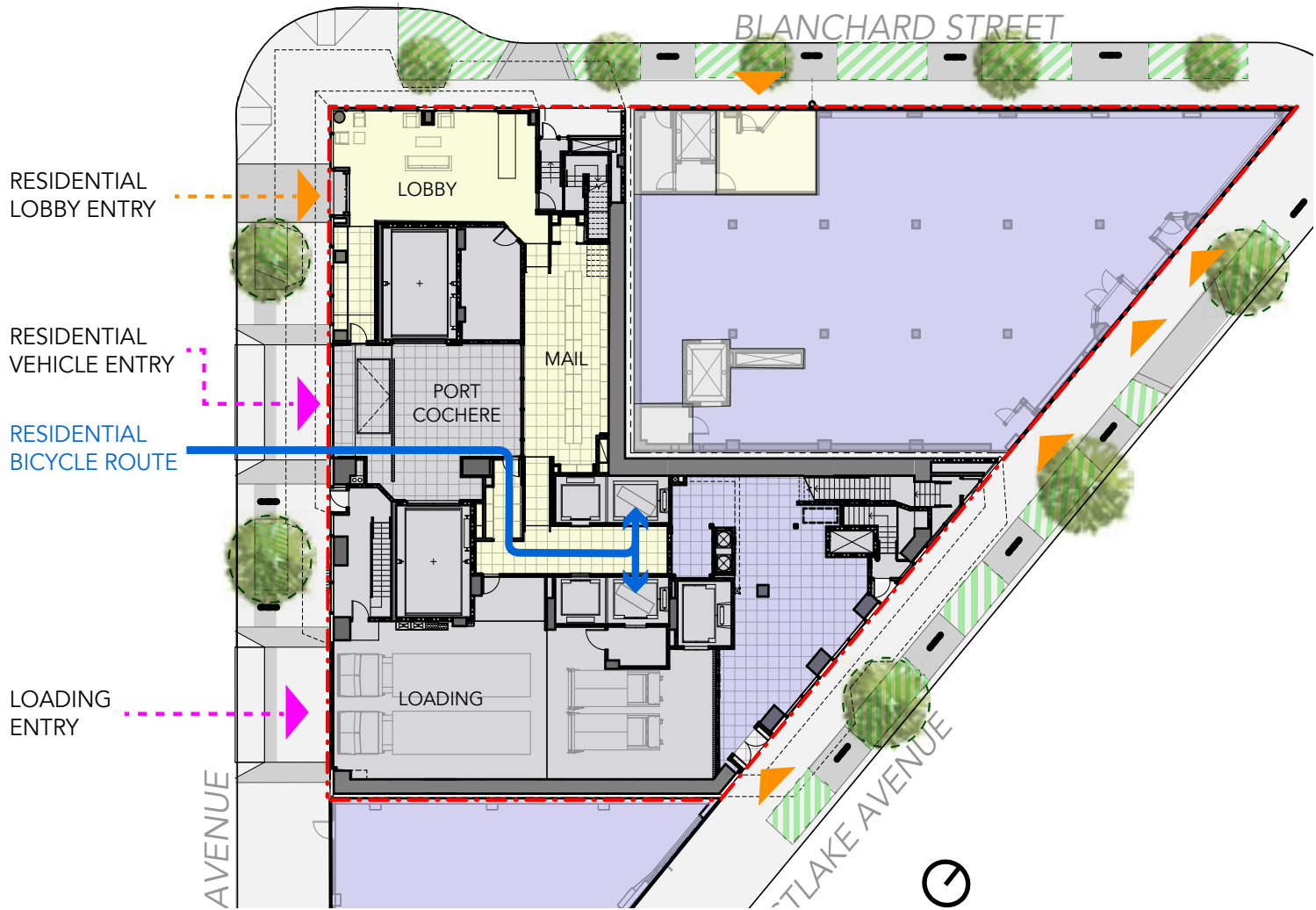
The project site is located at the end of a green street (Blanchard Street) and terminates into an arterial Class 1 street (Westlake Avenue). The bus layover zone and planned light rail make the corner on Blanchard Street and Westlake Avenue important as a transition from cycling to these other modes of transportation. For this reason, the streetscape between the curb and building (and within the purview of the project) includes landscaping elements such as built-in benches and bike racks located on a contrasting scoring pattern identify zones for waiting in these transitional zones. The additional planting areas, and trees also enhance this environment and assist in wind protection. We also note that the project eliminates the existing curb cut from Westlake, and relocates the north curb cut on 8th Ave south away from the intersection at Blanchard St.

**Design Guidelines: A-1, B-1, B-3, D-2, and D-3**

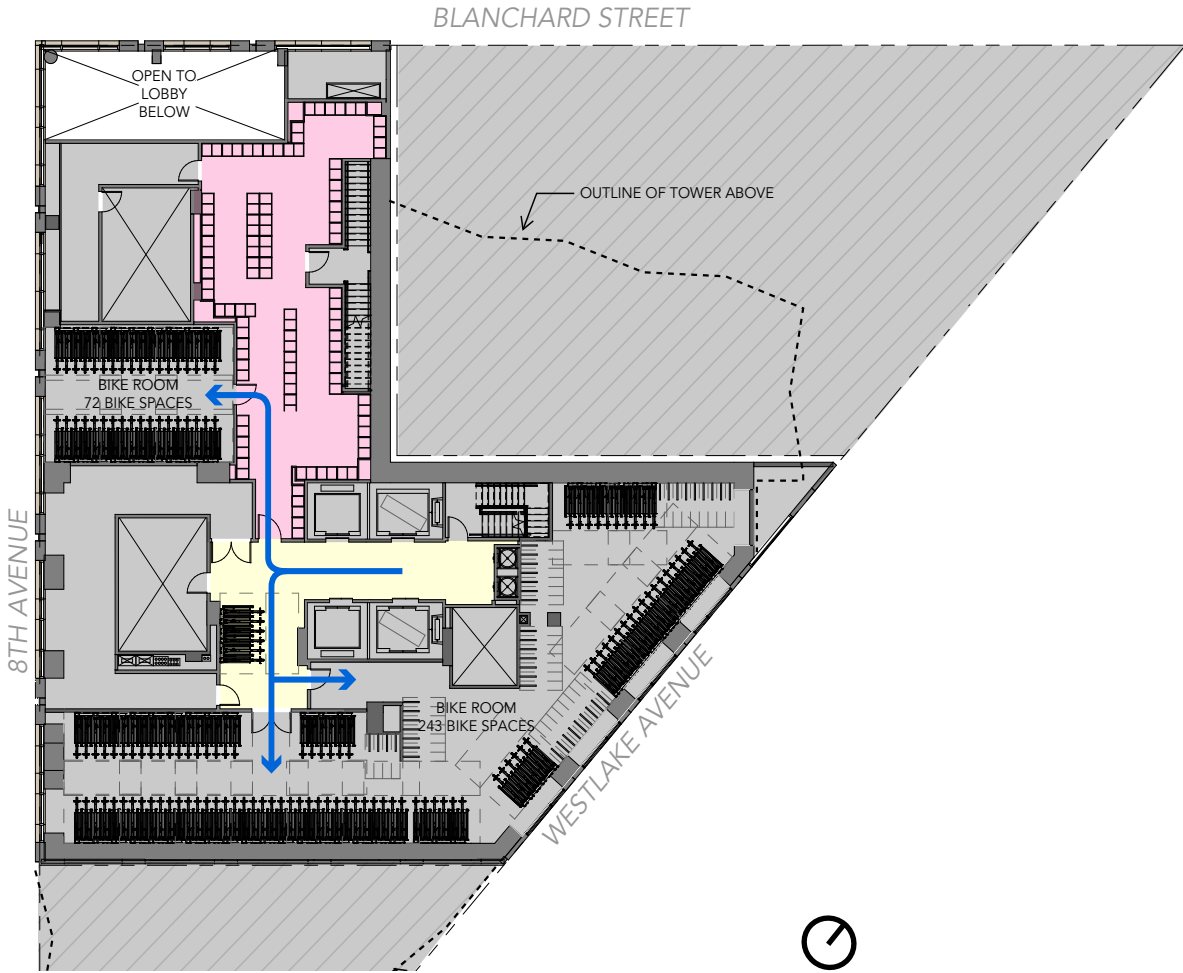




# RESPONSE TO EDG: BIKE ACCESS



PROPOSED GROUND PLAN



PROPOSED LEVEL 2 FLOOR PLAN

The long-term bike parking for residents has been moved from the basement and consolidated to Level 2 to provide a safe and secure bike lounge, away from the service areas. Residents access their bikes by arriving at the porte cochere, designed as a grand entrance and as an extension of the warm and inviting lobby space, and use residential elevators to the bike lounge. The bike lounge is also conveniently located adjacent to the package room, so a resident won't have to descend back to Level 1 and can be hands free when gathering their packages. Conversely, the resident can stop at the bike lounge on Level 2 before descending and departing.

**Design Guidelines: C-3 and C-4**



SCHEDULE OF DEPARTURES

DEPARTURE 1)

SMC. 23.49.010.B Common Recreation Area: Exterior Component	
Required Common Recreation Area: (plot area) < 5% GSF 14,735 sf (Combined Plot Area) < 26,125 sf (5% of 522,496 sf)  Total Common Recreation Area Required: 14,735 sf 50% Exterior Requirement = 7,368 sf 50% Interior Requirement = 7,368 sf	
Provided Common Recreation Green Street Development = 2,088 sf Provided at Level 5 = 4,047 sf Provided at Level 44 = 9,058 sf	Enclosed at Level 5 = 3,086 sf Enclosed at Level 44 = 6,534 sf  TOTAL Enclosed = 9,620 sf % Enclosed = 63%
Rationale: The total combined recreation area provided is 15,193 sf. This includes 2,088 sf (14%) from the Green Street Development, 3,485 sf (23%) of Exterior Area and 9,620 sf (63%) of Enclosed area. The provided percentages are a departure from the requirement of 50% Exterior and 50% Enclosed; however, on a square footage basis, the Enclosed area exceeds the requirement by 2,252 sf. Large operable walls are also provided so that a ‘solarium’ of approximately 1000 sf at L44 can be converted to covered outdoor space when weather permits.	
<i>Design Guideline D-3 Provide Elements that Define the Place:</i> - Large format doors provide barrier free exposure to the skyline, and a sense of place is defined by the open panorama.  <i>-Design Guideline D-2: Enhance the Building with Landscaping</i> - The indoor/outdoor solarium arrangement provides views to landscaping during recreation activities from a weather protected environment.  <i>Design Guideline D-6 Design for Personal Safety &amp; Security</i> -Indoor-Outdoor continuity of this proposal provides: Access to the wellness of the outdoor experience during all seasons, Weather and wind protection when required, & Increased ventilation.	
Requested at EDG 2	

DEPARTURE 2)

SMC. 23.49.022 Minimum Sidewalk and Alley Width	
Required: - Per Map 1C of SMC 23.49, an 18-foot wide sidewalk is required along Westlake Avenue. Survey data indicates that the sidewalk width along Westlake Avenue adjacent to the project site is approximately 16-feet wide on average to face of curb.	
Provided: - We request that the required sidewalk width be the existing sidewalk width, which is 16-feet wide on average, with no additional setback, easement, or dedication.	
Rationale: One (1) or more substantial principal structures on the same side of the block as the proposed project are located in the area needed for future expansion of the right-of-way and the structure(s) condition and size make future widening of the remainder of the right-of-way unlikely.  There are two existing buildings to remain on the same side of Westlake Avenue as the proposed project (The Butcher’s Table: 2121 Westlake Avenue; and Shake Shack: 2115 Westlake Avenue). These two buildings comprise more than 70% of the subject block facing Westlake Avenue. These existing buildings fully extend to the existing property/ROW line. These buildings are unlikely to be redeveloped for the foreseeable future. The building at 2121 Westlake was built in 1925. It went through a major remodel, including adding 2 floors in 2016. The building at 2115 was built in 1920, and underwent a major remodel in 2019. The widening of the sidewalk for the middle 30% of this block would burden the subject property unnecessarily as adjacent properties cannot be reasonably expected to redevelop and also widen their sidewalk frontage within the foreseeable future.	
<i>Design Guideline B-1 Respond to the neighborhood context</i> <i>Design Guidline B-3 Reinforce the positive urban form &amp; architectural attributes of the immediate area</i> - Maintaining the street frontage aligned with the adjacent buildings (The Butcher’s Table and Shake Shack) helps the building better fit in better and better reinforces the existing neighborhood context	
Not Requested at EDG 2	

DEPARTURE 3)

SMC. 23.49.056.E.2 Upper Level Setbacks	
Required : If a lot in a DMC or DOC2 zone is located on a designated green street that is not a designated view corridor requiring view corridor setbacks according to Section 23.49.024, as shown in Map 1D, View Corridors, a continuous upper-level setback of 15 feet, measured from the abutting green street lot line, is required for portions of the structure above a height of 45 feet.	
Provided: We request that the height of the podium, where the 45’ upper level setback begins) match the datum line of the height of the existing and adjacent Butcher’s Table building.	
Rationale: On Blanchard Street, the existing Butcher’s Table building is directly adjacent to the proposed project. The height of the proposed building is 484’ tower and has a conflicting height to the adjacent 4-story Butcher’s Table building. As per SMC 23.49.056.E.2, the proposed project sets back by 15’ on Blanchard. However, by setting the podium height to match the Butcher’s Table’s height, it would be more compatible to the neighborhood context and reinforce the existing datum line already present. Following the compliant option’s maximum height would create an incongruous geometry and an odd transition.	
<i>Design Guideline B-1 Respond to the neighborhood context</i> <i>Design Guidline B-3 Reinforce the positive urban form &amp; architectural attributes of the immediate area</i> - Matching the datum height of its adjacent property (The Butcher’s Table), the building podium can better fit into the existing context and maintain a consistent streetwall along Blanchard St.	
Not Requested at EDG 2	

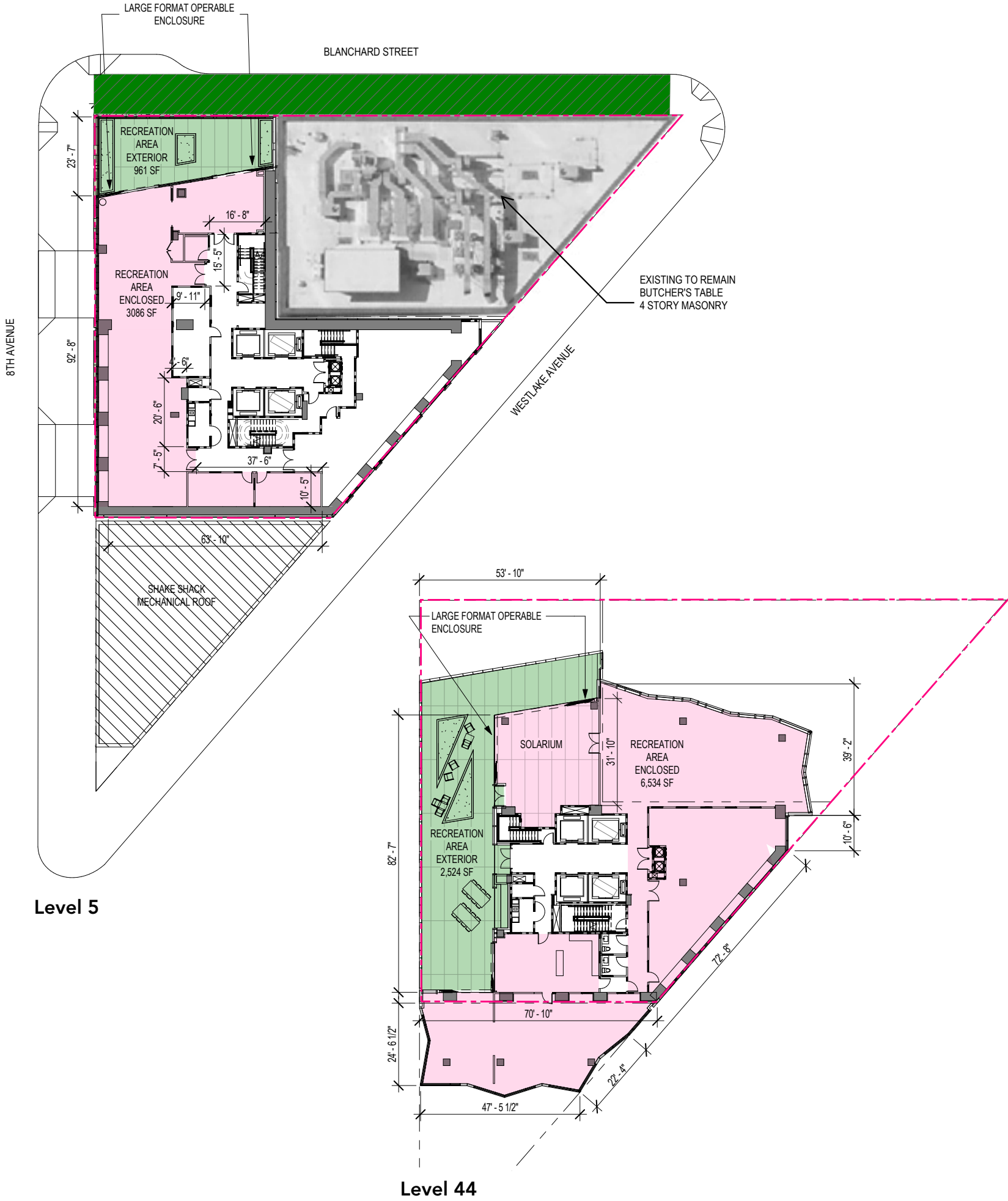


# DEPARTURE 1: COMMON RECREATION AREA

COMMON RECREATION CALCULATION
Required Common Recreation Area: (plot area) < 5% GSF 14,735 sf (Combined Plot Area) < 26,125 sf (5% of 522,496 sf)  Total Common Recreation Area required: 14,735 sf <b>50% Exterior Requirement = 7,368 sf</b> <b>50% Interior Requirement = 7,368 sf</b>
Provided Exterior Common Recreation:  at L5 Roof Terrace = 961 sf at L44 Roof Terrace = 2,524 sf Green Street Development = 2,088 sf  <b>TOTAL Provided Exterior Area = 5,573 sf &lt; 7,368 sf</b>
Provided Interior Common Recreation:  Provided at Level 5 = 3,086 sf Provided at Level 45 = 6,534 sf  <b>TOTAL Provided Interior Area = 9,620 sf &gt; 7,368 sf</b> <b>% Enclosed = 63%</b>

## DESIGN GUIDELINES

**Rationale:**  
The required common recreation area is established by the site area - the combination of the two parcels which is 14,735 sf. Exterior and Interior common recreation area is provided on two levels: Level 5 and the roof terrace Level 44. The total combined recreation area provided is 15,193 sf. This includes 3,485 sf (23%) of Exterior Area and 9,620 sf (63%) of Enclosed area. The provided percentages are a departure from the requirement of 50% Exterior and 50% Enclosed; however, on a square footage basis, the Enclosed area exceeds the requirement by 2,252 sf. Large operable walls are also provided so that a 'solarium' of approximately 1000 sf on Level 44 can be converted to covered outdoor space when weather permits.





# DEPARTURE 1: COMMON RECREATION AREA

## DESIGN GUIDELINES

### D-2 Enhance the Building with Landscaping

The proposal brings the experience of landscaping to a larger variety of recreation activities. The indoor/outdoor solarium arrangement provides views to landscaping during recreation activities from a weather protected environment.

### D-3 Provide Elements that Define the Place

Large format doors provide barrier free exposure to the skyline, and a sense of place is defined by the open panorama.

### D-6 Design for Personal Safety & Security

Indoor-Outdoor continuity of this proposal provides:

- Access to the wellness of the outdoor experience during all seasons
- Weather and wind protection when required
- Increased ventilation

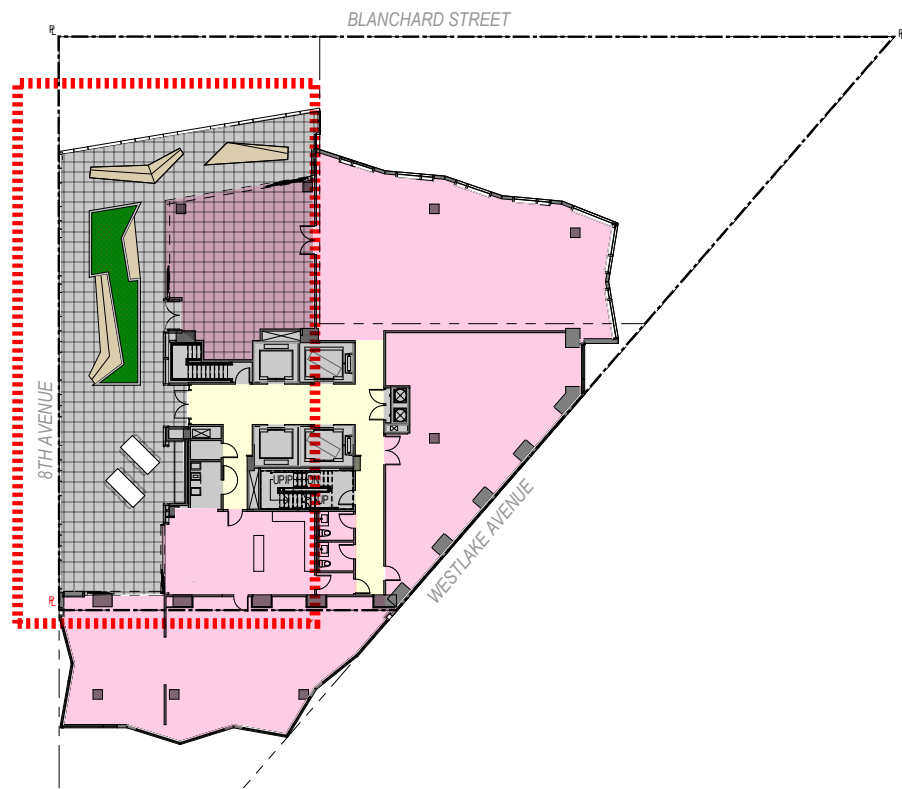


NANAWALL SLIDERS CERO

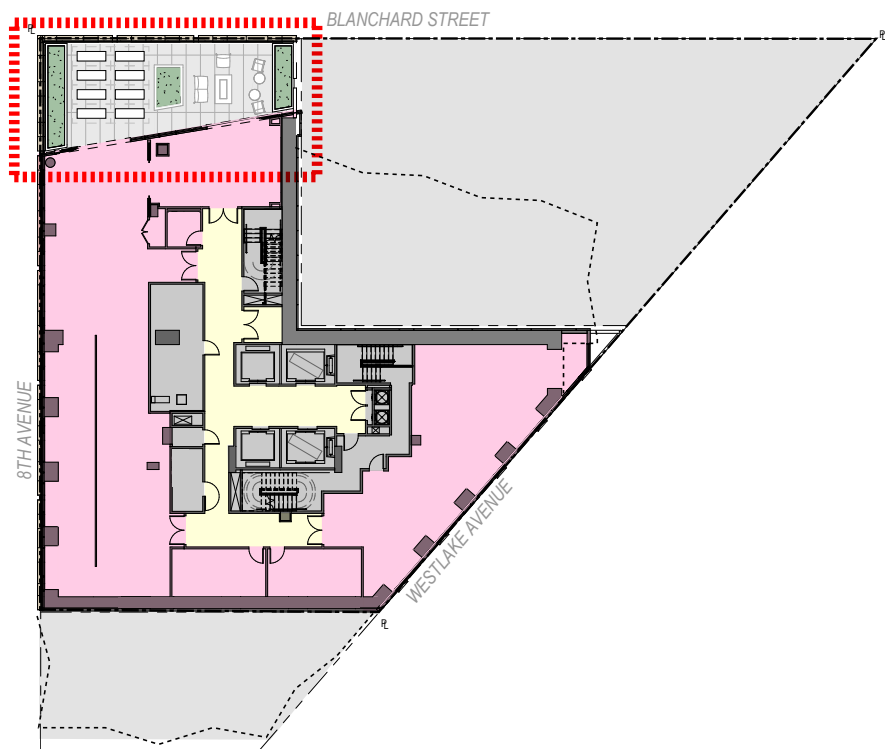
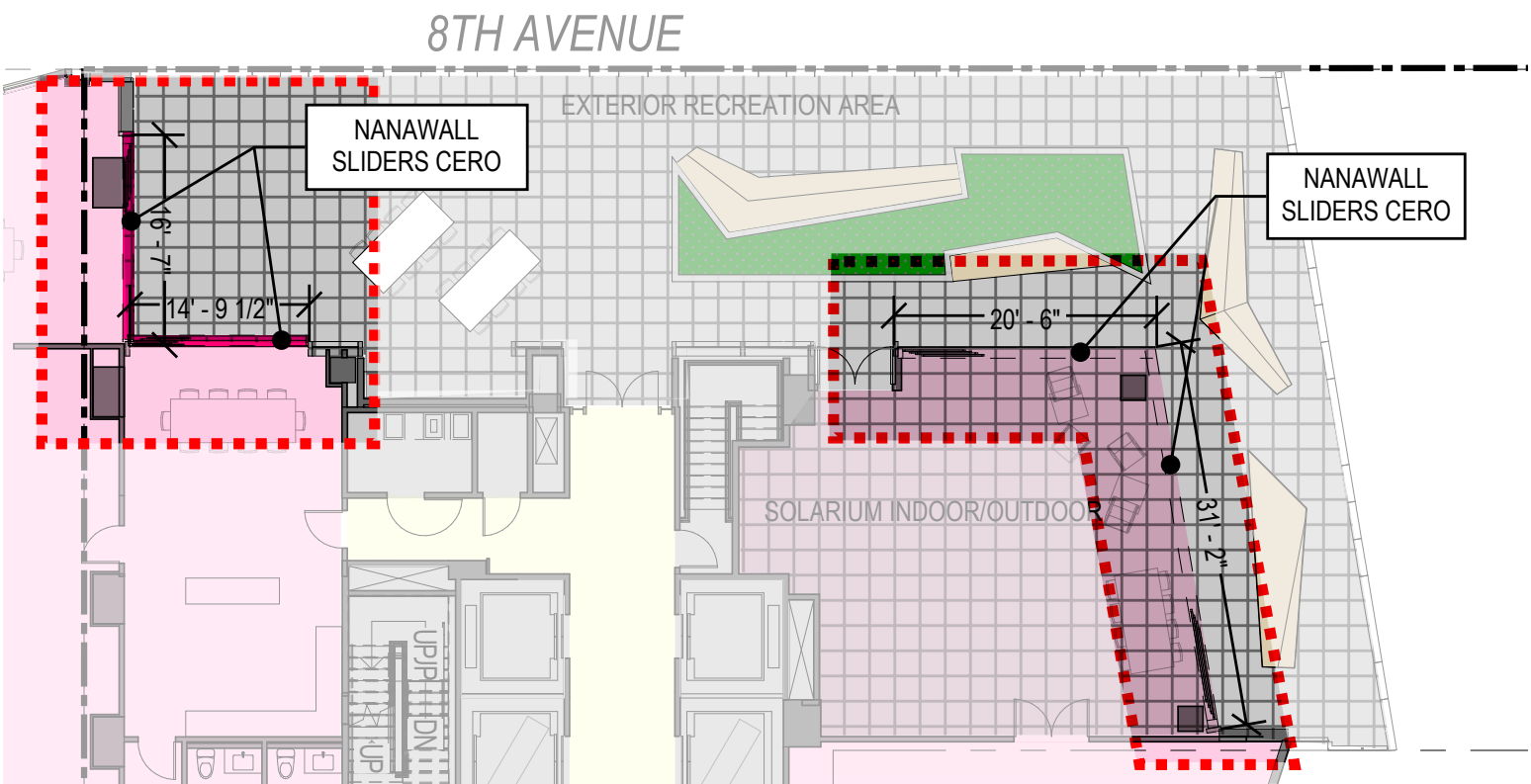




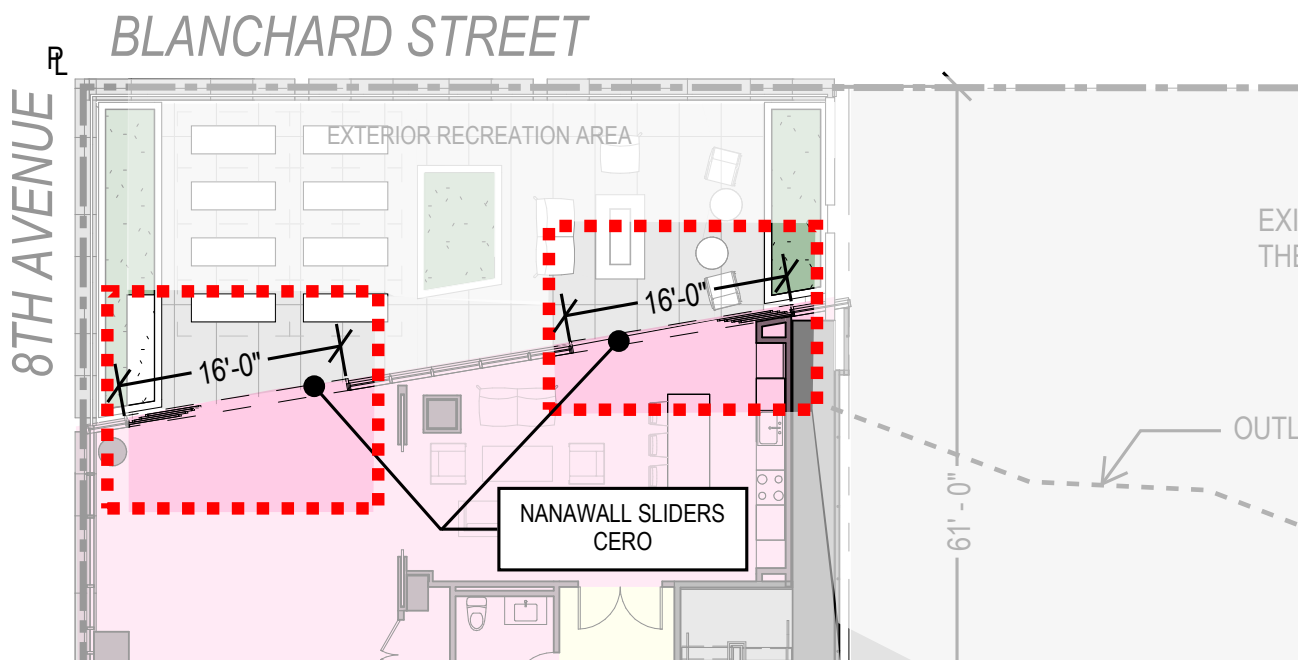
DEPARTURE 1: COMMON RECREATION AREA



LEVEL 44 AMENITY ROOF DECK



LEVEL 5 AMENITY ROOF DECK





# DEPARTURE 2: MINIMUM SIDEWALK AND ALLEY WIDTH

**Required :**

Per Map 1C of SMC 23.49, an 18-foot wide sidewalk is required along Westlake Avenue. Survey data indicates that the sidewalk width along Westlake Avenue adjacent to the project site is approximately 16-feet wide on average to face of curb.

**Provided:**

We request that the required sidewalk width be the existing sidewalk width, which is 16-feet wide on average, with no additional setback, easement, or dedication.

**Rationale:**

One (1) or more substantial principal structures on the same side of the block as the proposed project are located in the area needed for future expansion of the right-of-way and the structure(s) condition and size make future widening of the remainder of the right-of-way unlikely.

There are two existing buildings to remain on the same side of Westlake Avenue as the proposed project (The Butcher’s Table: 2121 Westlake Avenue; and Shake Shack: 2115 Westlake Avenue). These two buildings comprise more than 70% of the subject block facing Westlake Avenue. These existing buildings fully extend to the existing property/ROW line. These buildings are unlikely to be redeveloped for the foreseeable future. The building at 2121 Westlake was built in 1925. It went through a major remodel, including adding 2 floors in 2016. The building at 2115 Westlake Avenue was built in 1920, and underwent a major remodel in 2019. The widening of the sidewalk for the middle 30% of this block would burden the subject property unnecessarily as adjacent properties cannot be reasonably expected to redevelop and also widen their sidewalk frontage within the foreseeable future.

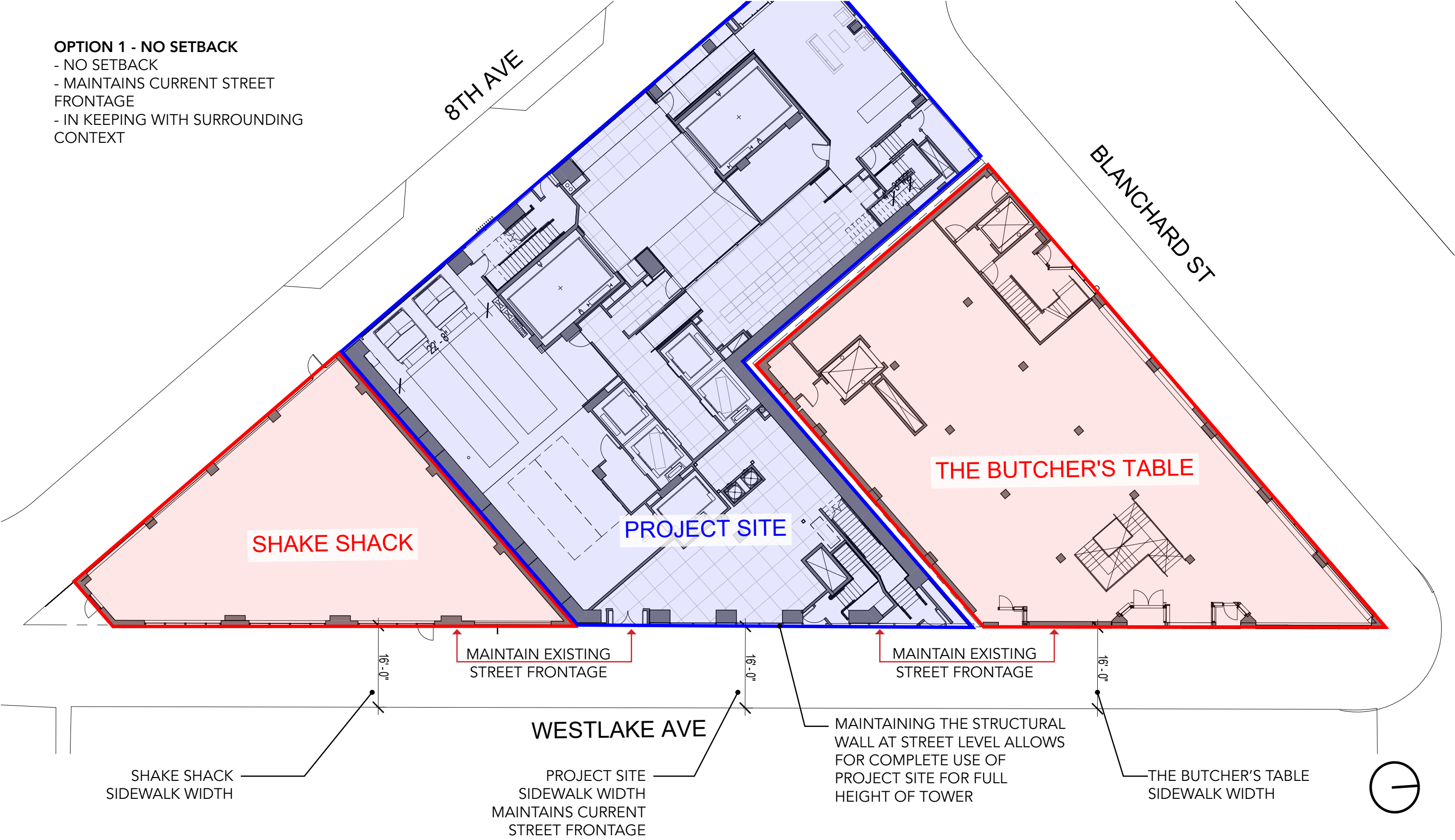
Maintaining the street frontage aligned with the adjacent buildings (The Butcher’s Table and Shake Shack) helps the building better fit in better and reinforces the existing neighborhood context.

**Design Guideline B-1** Respond to the neighborhood context

**Design Guideline B-3** Reinforce the positive urban form & architectural attributes of the immediate area

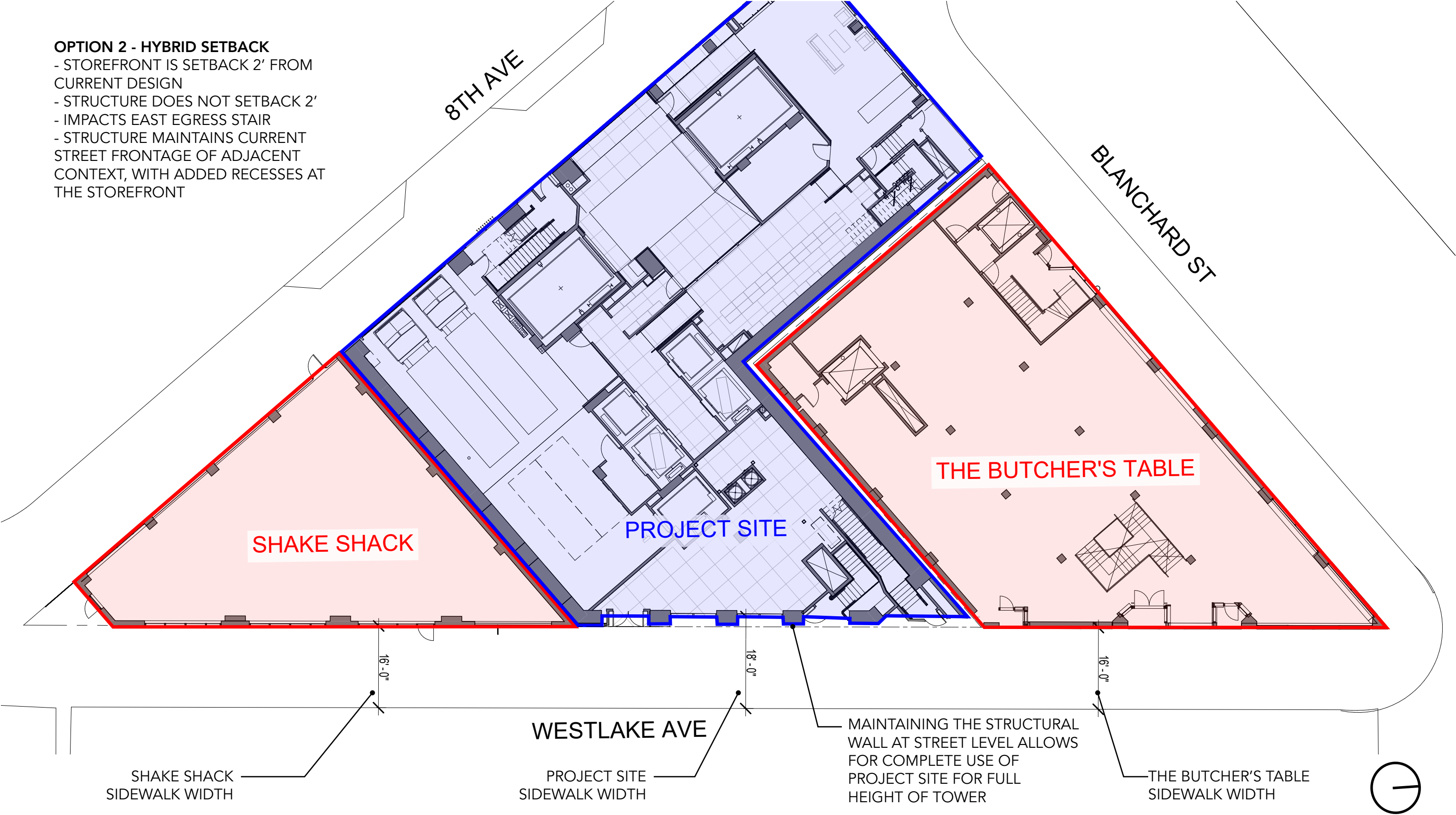


DEPARTURE 2: MINIMUM SIDEWALK AND ALLEY WIDTH (PROPOSED OPTION 1)



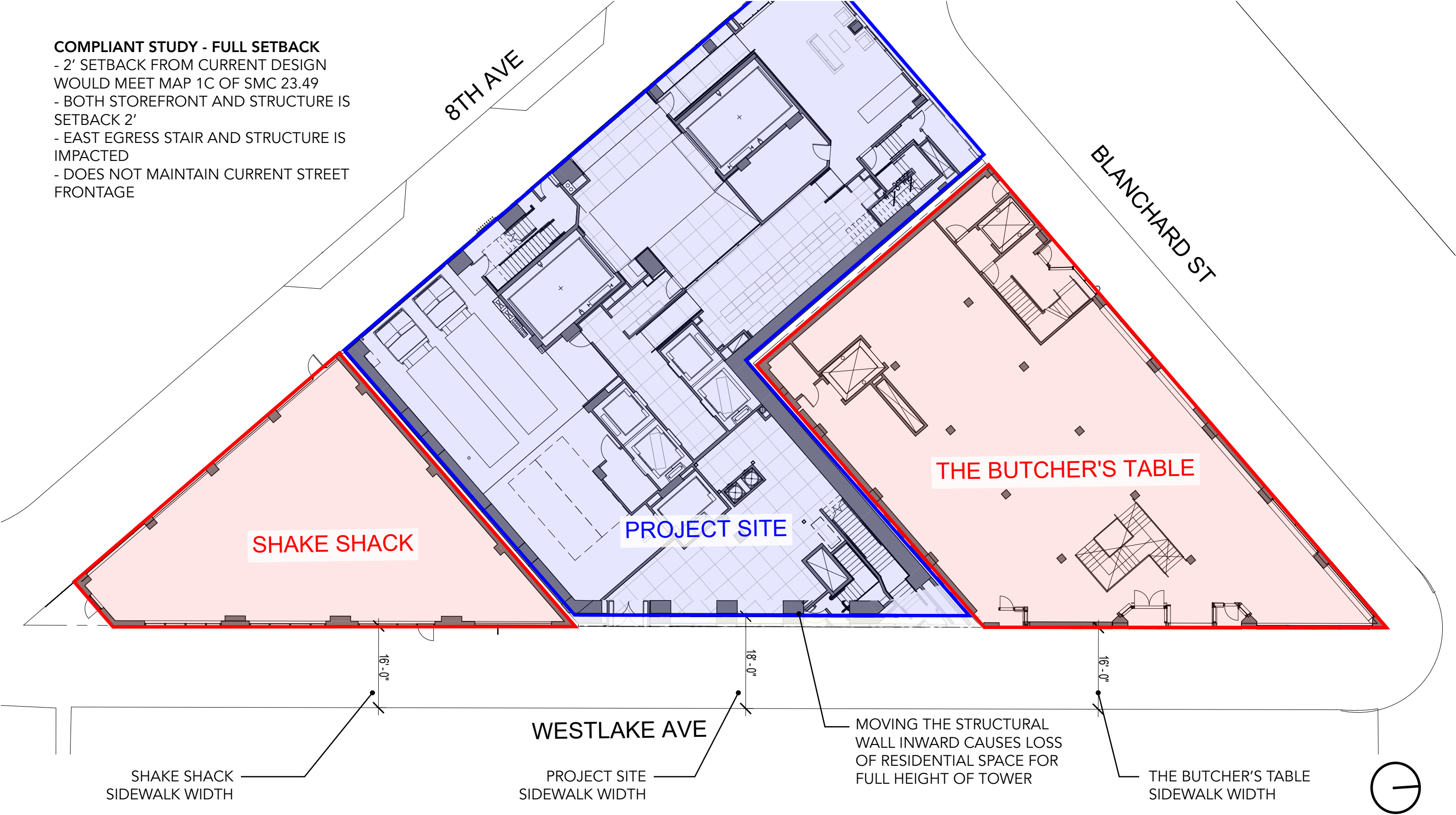


# DEPARTURE 2: MINIMUM SIDEWALK AND ALLEY WIDTH (PROPOSED OPTION 2 STUDY)





# DEPARTURE 2: MINIMUM SIDEWALK AND ALLEY WIDTH (COMPLIANT STUDY)





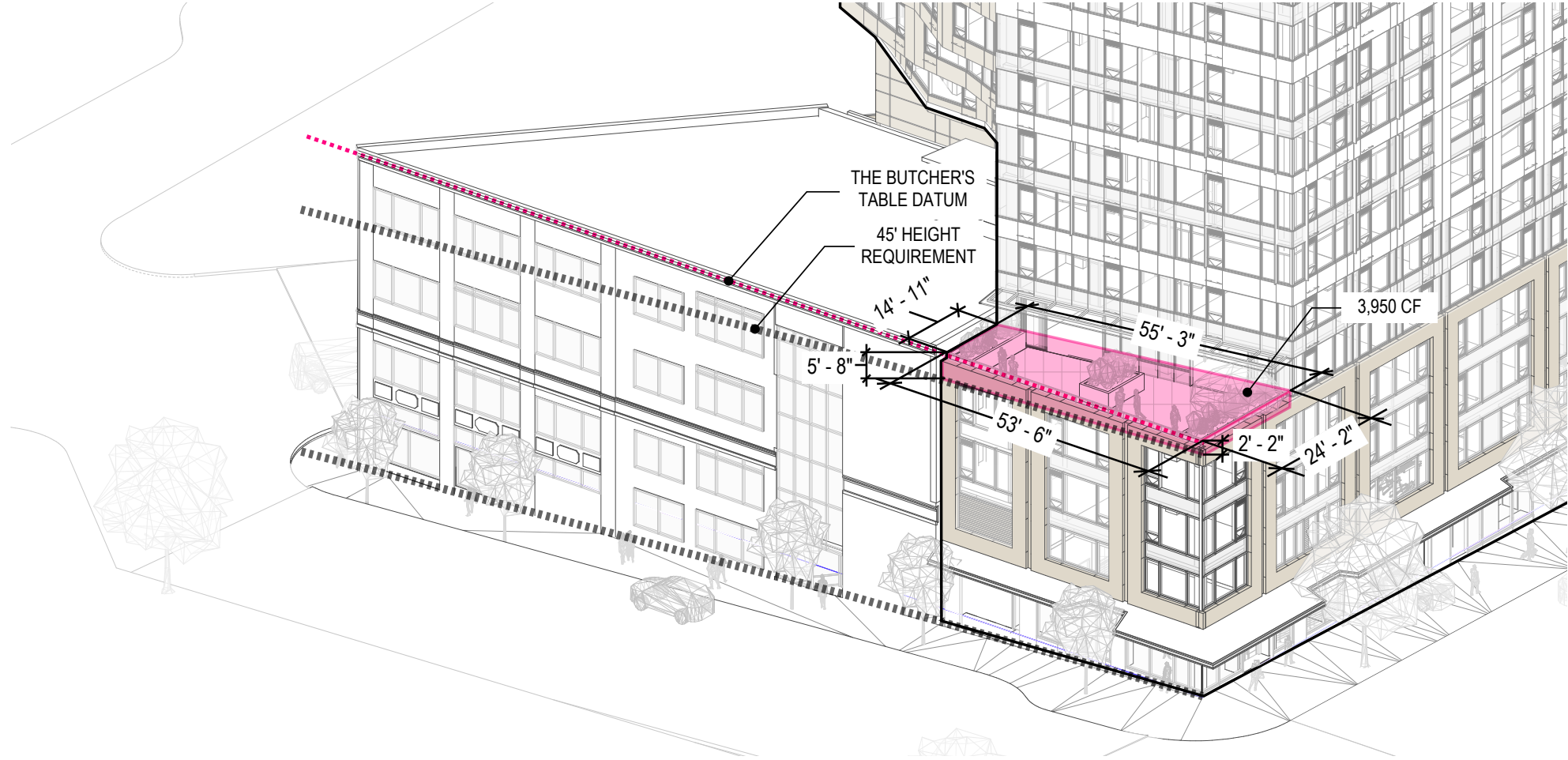
# DEPARTURE 3: UPPER LEVEL SETBACKS

**Required :**  
If a lot in a DMC or DOC2 zone is located on a designated green street that is not a designated view corridor requiring view corridor setbacks according to Section 23.49.024, as shown in Map 1D, View Corridors, a continuous upper-level setback of 15 feet, measured from the abutting green street lot line, is required for portions of the structure above a height of 45 feet.

**Provided:**  
We request that the height of the podium, where the 45' upper level setback begins) match the datum line of the height of the existing and adjacent Butcher's Table building.

**Rationale:**  
On Blanchard Street, the existing Butcher's Table building is directly adjacent to the proposed project. The height of the proposed building is 484' tower and has a conflicting height to the adjacent 4-story Butcher's Table building. As per SMC 23.49.056.E.2, the proposed project sets back by 15' on Blanchard. However, by setting the podium height to match the Butcher's Table's height, it would be more compatible and reinforce the existing datum line already present. This aligns well with the CS3 Design Guideline in creating compatibility between the existing architectural context and the proposed, newer project. This also aligns with the DC2 Design Guideline, in using the established datum line to better fit into its context.

**Design Guidelines: B-1 and B-3**



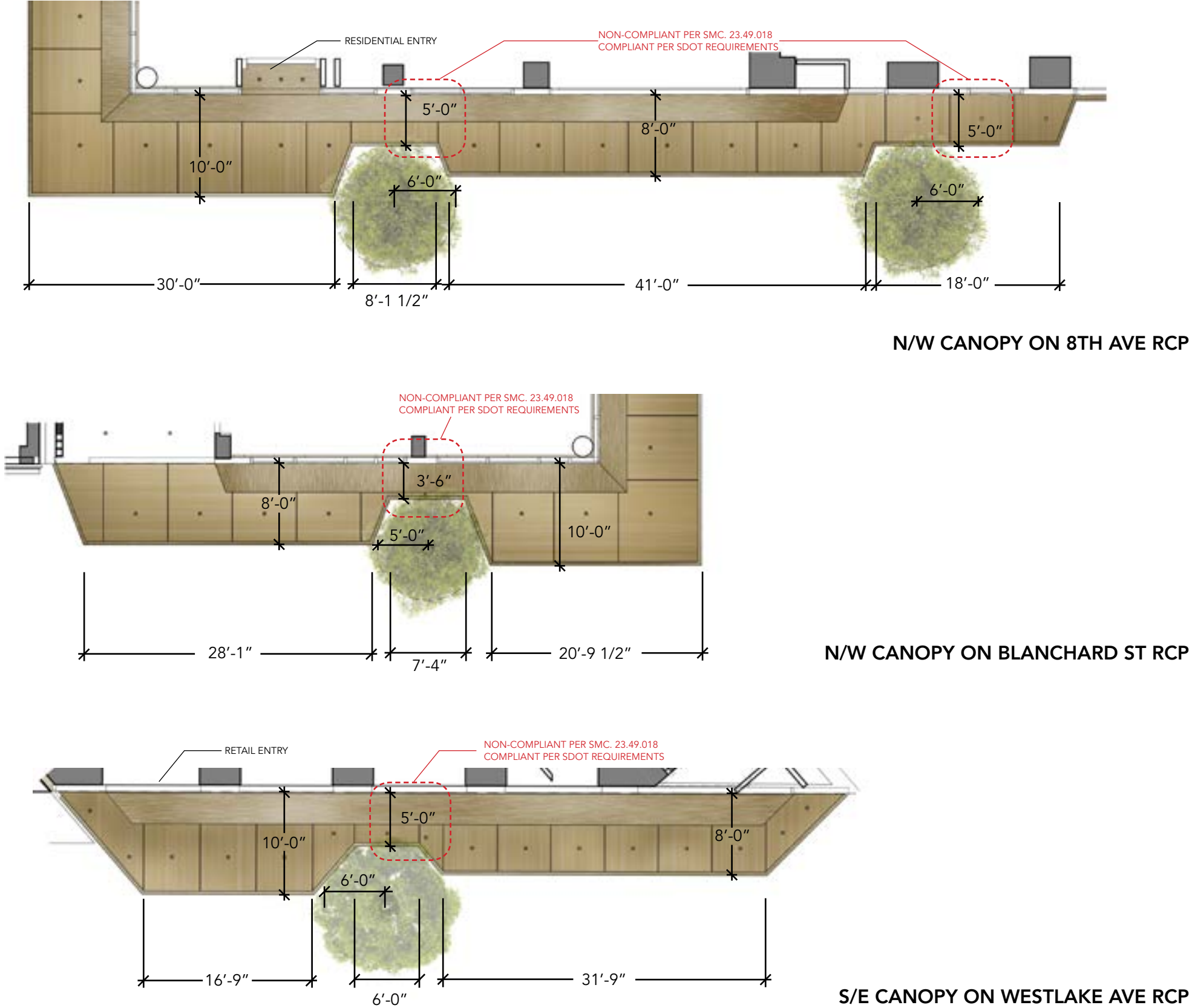
View of Base from North on Blanchard St.



# DEPARTURE 4: OVERHEAD WEATHER PROTECTION & LIGHTING

## DEPARTURE 4)

SMC. 23.49.018 - OVERHEAD WEATHER PROTECTION & LIGHTING
<p>Required :</p> <p>A. Continuous overhead weather protection shall be required for new development along the entire street frontage of a lot except along those portions of the structure facade that:</p> <ol style="list-style-type: none"><li>1. are located farther than five (5) feet from the street property line or widened sidewalk on private property; or</li><li>2. abut a bonused open space amenity feature; or</li><li>3. are separated from the street property line or widened sidewalk on private property by a landscaped area at least two (2) feet in width; or</li><li>4. are driveways into structures or loading docks.</li></ol> <p>B. Overhead weather protection shall have a minimum dimension of eight (8) feet measured horizontally from the building wall or must extend to a line two (2) feet from the curb line, whichever is less.</p> <p>C. The installation of overhead weather protection shall not result in any obstructions in the sidewalk area.</p> <p>D. The lower edge of the overhead weather protection must be a minimum of ten (10) feet and a maximum of fifteen (15) feet above the sidewalk.</p> <p>E. Adequate lighting for pedestrians shall be provided. The lighting may be located on the facade of the building or on the overhead weather protection.</p>
<p>Provided:</p> <p>Overhead weather protection are provided along the 8th Ave, Blanchard St, and Westlake Ave. The overhead weather protection is typically 8'-0" wide, and 10'-0" at the residential and retail portals, which reinforces the project's entries. Per SDOT requirements, the edge of overhead weather protection is a minimum of 5'-0" clear from street trees.</p>
<p>Rationale:</p> <p>The current design does not comply with SMC 23.49.018 of 8'-0" minimum width for the entire length of the ground level. However, the overhead weather protection are a minimum 5'-0" clear of street trees per SDOT requirements.</p> <p>We believe that the current design is in keeping with the neighborhood context and maintains the current street frontage along all three elevations. The angular design references and reinforces the pleated facade of the tower with the use of angles and similar material palette. We believe it is much more elegant and cohesive with the overall architectural concept.</p>
<p><i>Design Guideline B-1 Respond to the neighborhood context</i></p> <p><i>Design Guideline B-3 Reinforce the positive urban form &amp; architectural attributes of the immediate area</i></p> <p><i>Design Guideline C-4 Reinforce Building Entries</i></p> <p><i>Design Guideline C-5 Encourage Overhead Weather Protection</i></p>







**SILVERSTEIN**  
**PROPERTIES**  
SILVERSTEIN WESTLAKE OWNER LLC  
HANDEL ARCHITECTS LLP

MAGNUSSON  
KLEMENCIC  
ASSOCIATES

**RUSHING**

PARTNERSHIP  
**berger**