

**4306 Woodlawn Avenue North
Seattle, WA 98103**

SDCI Project: #3036617-EG



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<u>Project Data</u>		<u>Key Metrics</u>	<u>Current</u>	<u>Previously</u>
Address:	4306 Woodlawn Ave N Seattle, WA 98103	Zone:	LR2 (M1)	SF5000
Tax ID Number:	4083300495	Urban Village:	Wallingford (Residential)	
SDCI Project Number:	#3036617-EG	Frequent Transit:	Yes	
		Overlay Zoning:		
Lot Size:	4,240 SF		<u>Required/Allowed</u>	<u>Proposed</u>
Architect:	Julian Weber Architects, LTD. 1257 S. King St. Seattle, WA 98144	Density:	TH'S - Unlimited	(5) Townhouses
Owner/Applicant:	Legacy Group Capital 400 112th Ave NE #400 Bellevue, WA 98004	Vehicle Parking:	(0) Spaces	(4) Open Stalls
Proposal:	Demo existing (1) duplex as construct (5) town homes with (4) parking stalls. Streamline design review, future lot subdivision.	Bike Parking:	Long-term: (1) Space per Dwelling Unit Short-term: (1) Space per 10,000 SF	(5) Long-term (2) Short-term
		FAR:	1.4 X 4,239.0 SF = 5,934.0 SF	5,932.0 SF
		Structure Height:	40'-0" + 4' Parapet + 10' Penthouse Bonus	31'-1" + 4' Parapet + 10' Penthouse Bonus
		Front Setback (Woodlawn Ave N):	5' Min. 7' Avg.	Complies
		Rear Setback (Alley):	5' Min. 7' Avg.	Complies
		Side Setback (North):	5'	5'
		Side Setback (South):	5'	5'
		Facade Length (North):	65% (Within 15' of Property Line) 106' X .65 = 68.9'	Complies (67'-10")
		Facade Length (South):	65% (Within 15' of Property Line) 106' X .65 = 68.9'	Complies (67'-10")

HIGH-IMPACT METHOD:

We distributed flyers in a 500 foot radius from the site. Flyers were mailed to all residences within this area. Flyers provided information about the project and location, as well as a link to the project website and online survey.

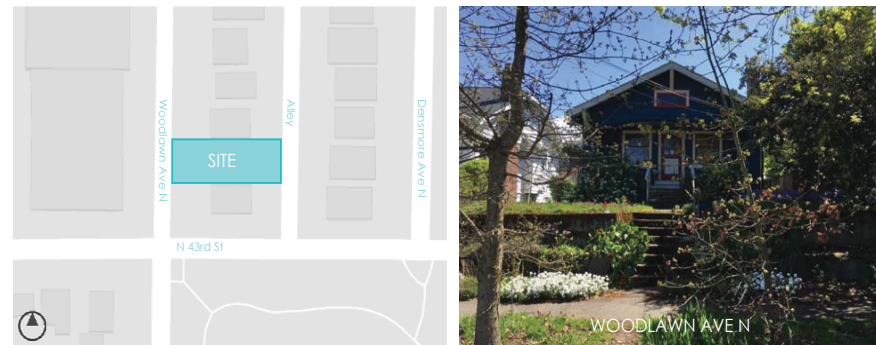
APPROVED BY DON ON 06.18.2020

Dear Resident, this flyer is to include you in a

PROJECT UNDER DESIGN REVIEW

at 4306 Woodlawn Ave N

Legacy Group Capital LLC and JW Architects are collaborating to design the redevelopment of 4306 Woodlawn Ave N.



Project information:

This project will be located just north of Wallingford Playfield Park on the East side of Woodlawn Avenue. When it's complete, the new homes will be 3 stories tall and will include 5 townhomes with 4 open air parking stalls. We're just getting started planning now – construction could start in Spring 2021 and the building could be open as early as Winter 2021.

Project Contact:

Julian Weber, Founding Principal, JW Architects
outreach@jwaseattle.com

We request your input through:

ONLINE SURVEY

May 25th - June 15th, 2020
Link to survey:
www.jwaseattle.com/4306english

PROJECT WEBSITE

May 25th - June 15th, 2020
Link to website:
<https://jwaseattle.wixsite.com/4306>

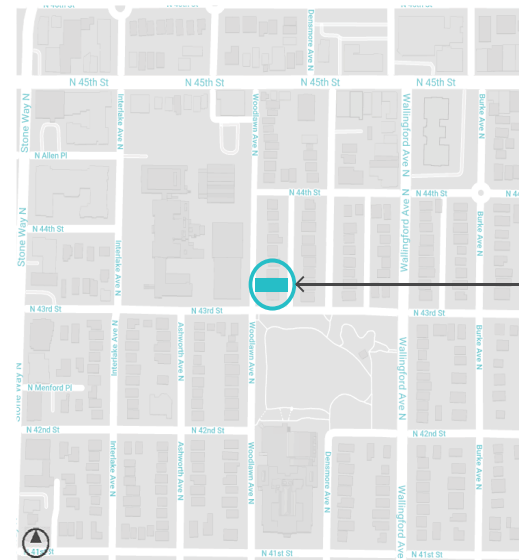
*additional info on back of flyer



Front page of Flyer.

Link to project website and survey.

Link to dedicated project website and public comments.



*In person event is shifted to online interaction due to public health concern and City requirements by Seattle Department of Neighborhood

Site: 4306 Woodlawn Avenue N, Seattle

To **find out more** about this project and share your thoughts on the future of the project, please visit JW Architects website (www.jwaseattle.com) and respond with your comments on the project website (<https://jwaseattle.wixsite.com/4306>).

More information about early outreach for design review can be found on the Seattle Department of Neighborhood's web page (<http://www.seattle.gov/neighborhoods>).

All information is being collected by JW Architects, but may be submitted to the City of Seattle. Therefore, personal information entered may be subject to disclosure to a third-party requestor pursuant to the Washington Public Records Act.

What type of feedback is the Design Review looking for?

- Reference unique neighborhood features and character
- Architectural design
- Building forms and materials
- Sidewalk experience
- Screening for privacy

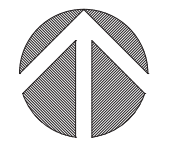


Back page of Flyer.



Development Objectives & Public Outreach

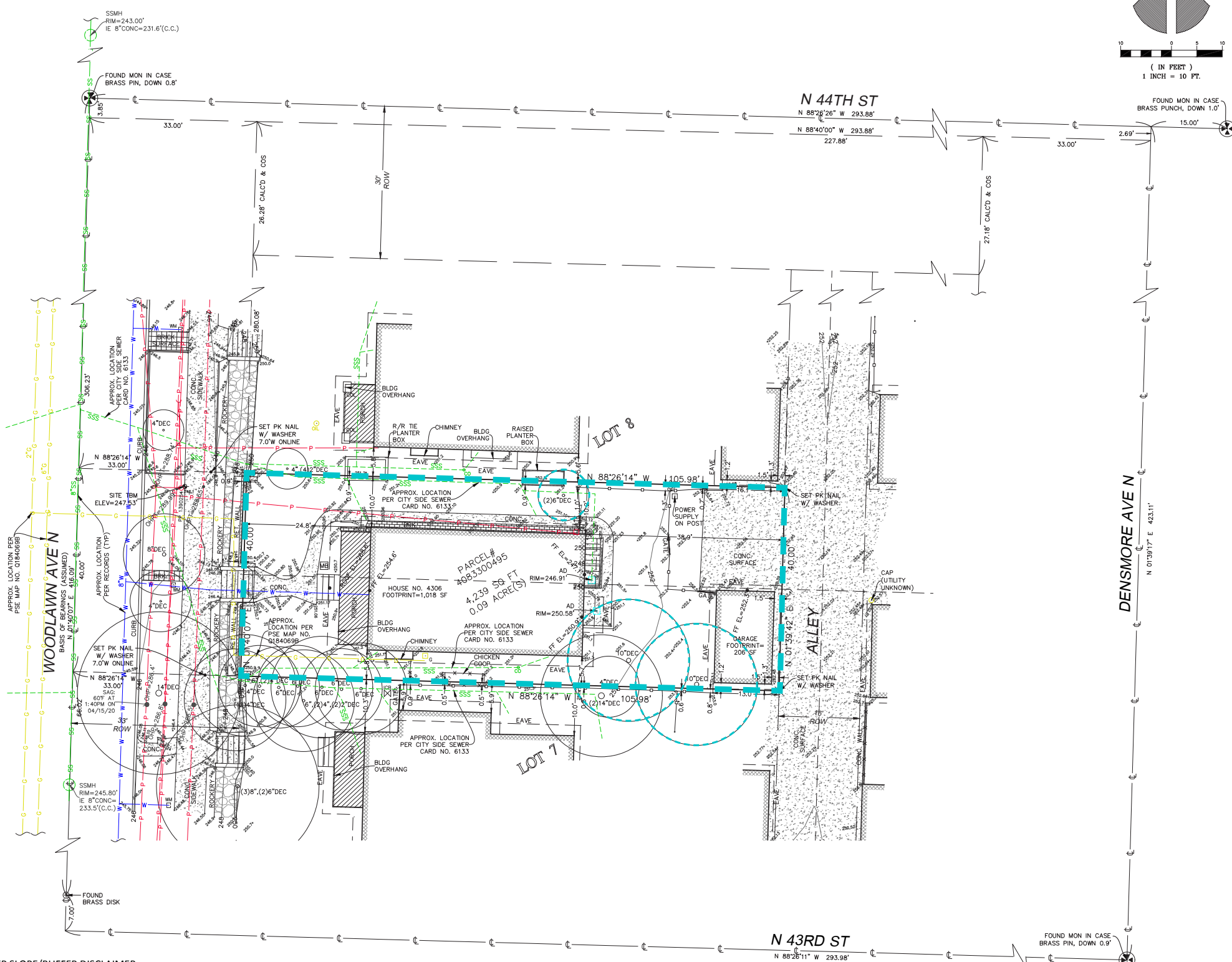
TOPOGRAPHIC & BOUNDARY SURVEY



(IN FEET)
1 INCH = 10 FT.

DENSMORE AVE N
N 07°39'17" E 423.11'

FOUND MON IN CASE
BRASS PIN, DOWN 0.9'



STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

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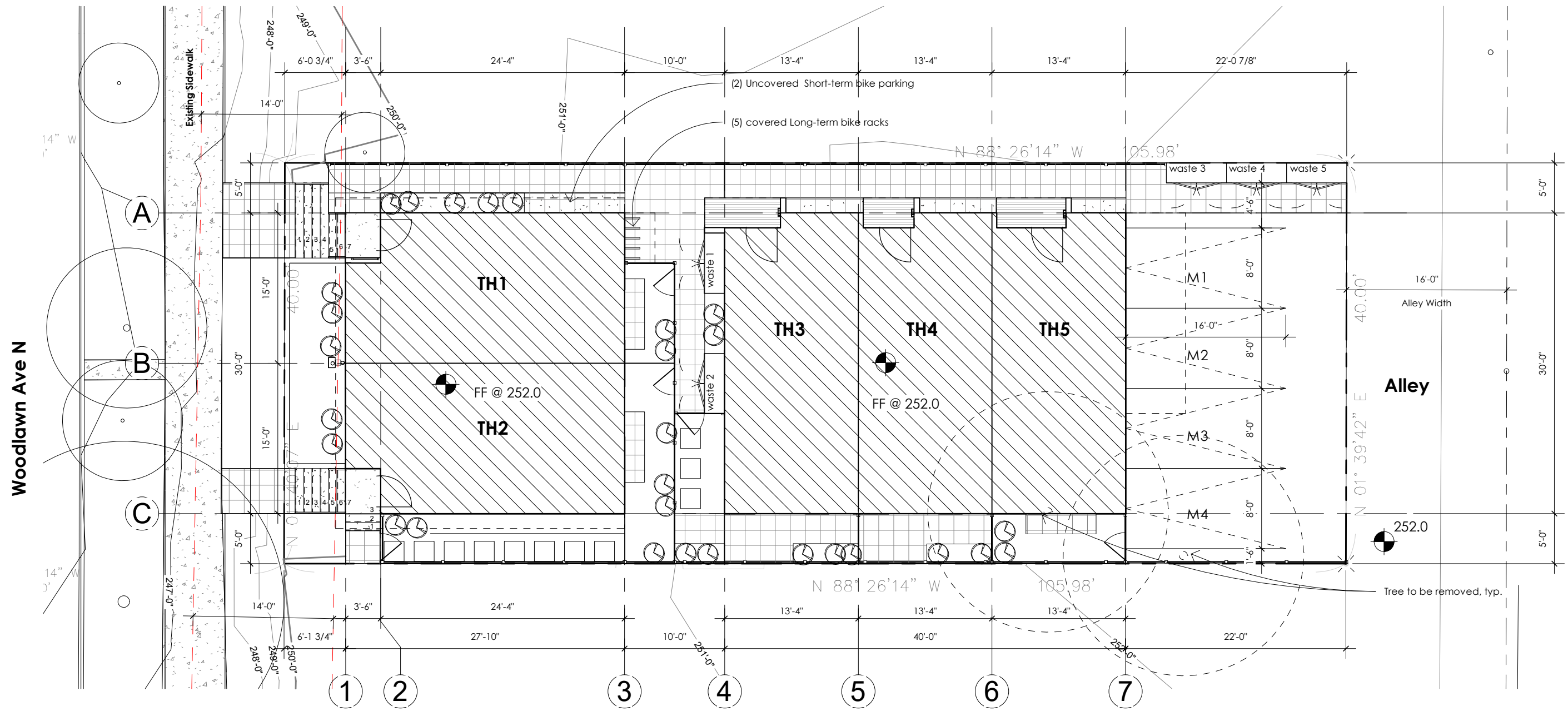
Legacy - Woodlawn Ave N
4306 Woodlawn Ave N
SEATTLE, WA 98103



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

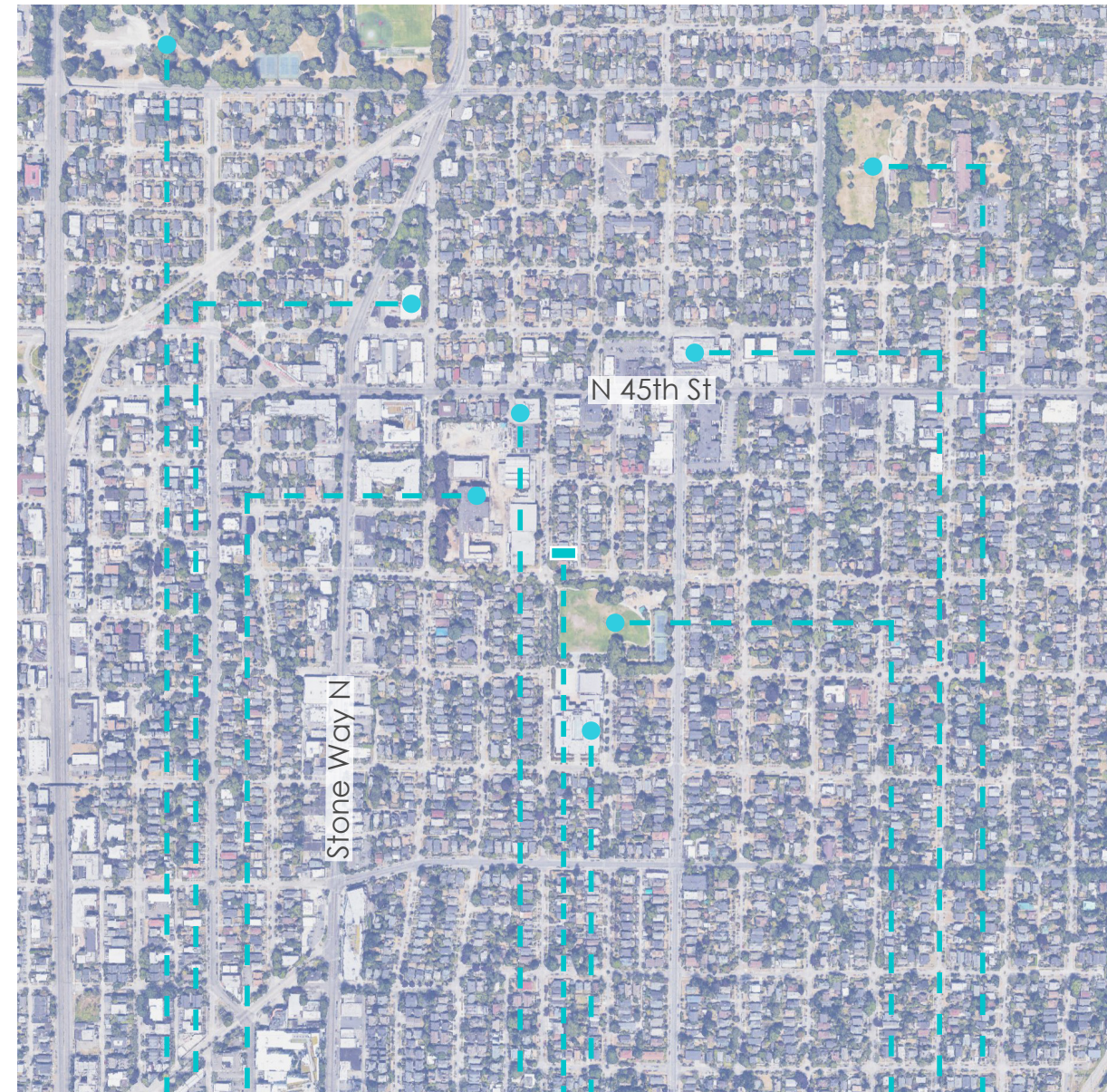
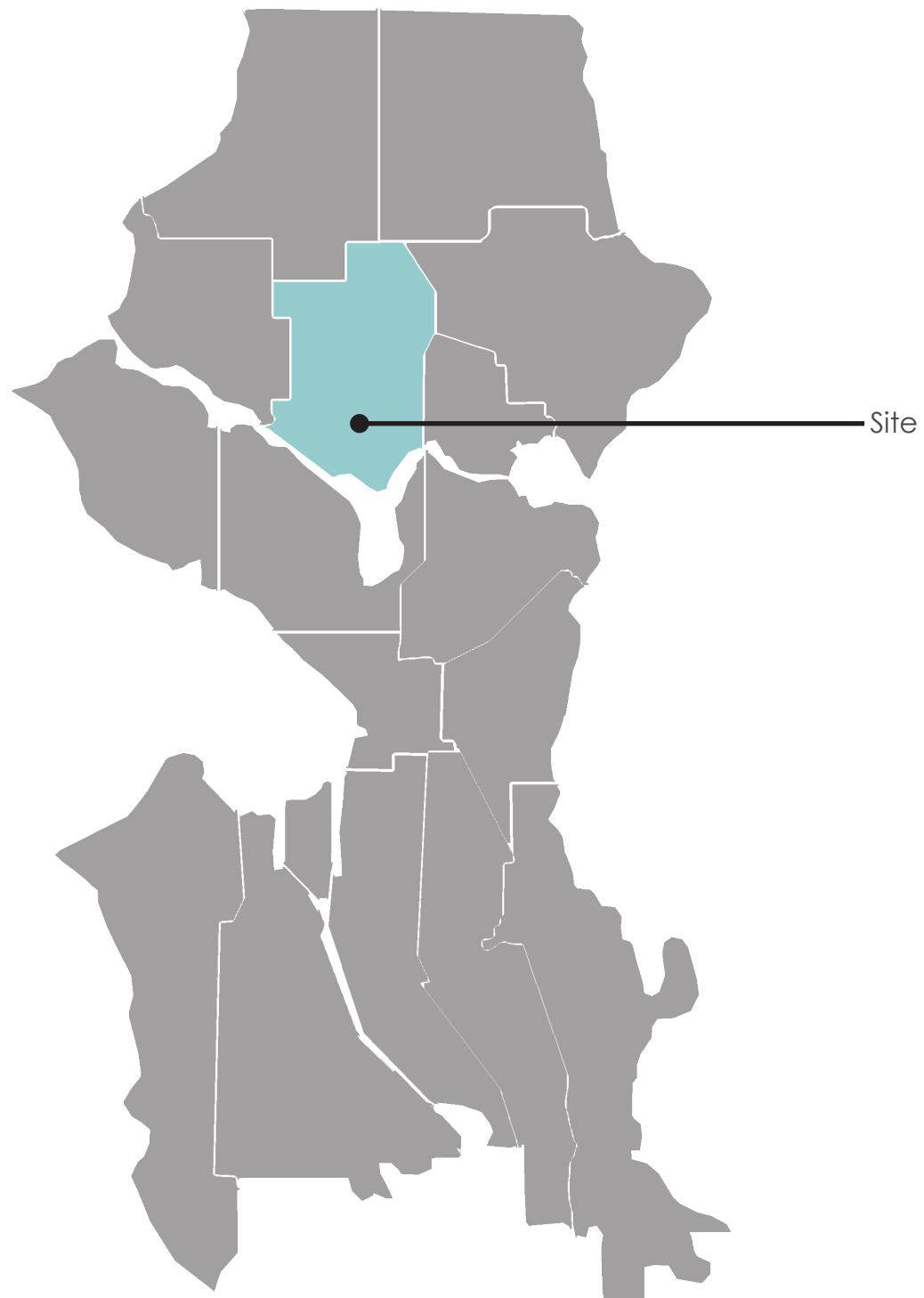
JOB NUMBER:	200573
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SHEET NUMBER	
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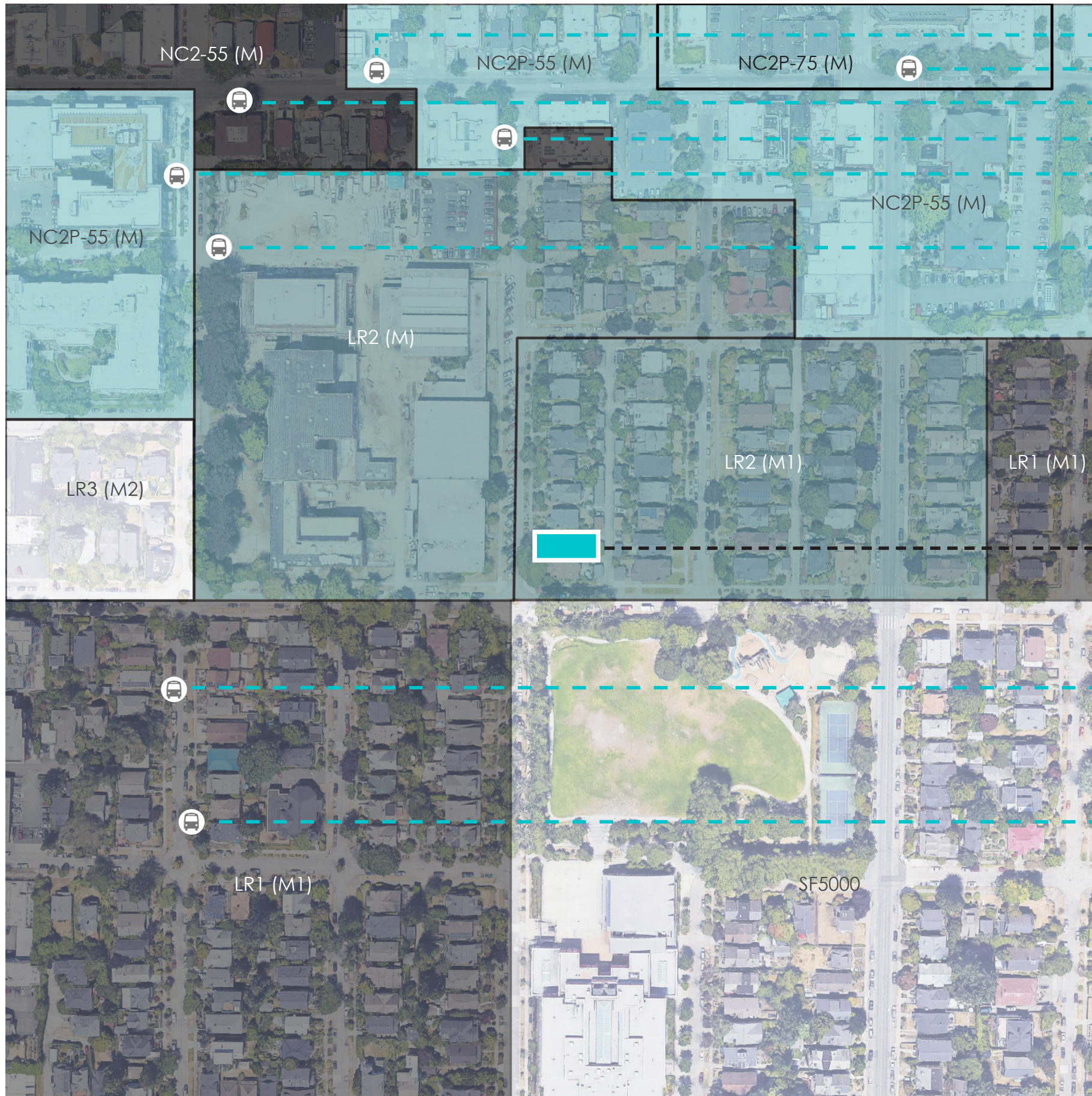
Project Site & Survey



Scale: 3/32" = 1'0"

Site Plan





Line 16, 44
 Line 16, 44, 82
 Line 16, 44, 82
 Line 16, 44, 82
 Line 16, 44
 Line 16, 82

Project Site Zoning: LR2 (M1)
 Adjacent Zoning: LR1 (M1), LR2 (M), SF5000
 Public Transportation: **Line 16, 44, 82** - N 45th St & Woodlawn Ave N

Line 16, 44, 82 - N 45th St & Wallingford Ave N
Line 16, 44, 82 - Stone Way N & N 45th St
Line 16, 82 - Stone Way N & N Allen Pl
Line 16 - Stone Way N & N 43rd St
Line 16, 82 - Stone Way N & N 42nd St

SITE: 4306 Woodlawn Ave N

Line 16
 Line 16, 82

Key:

SF5000	
LR1	
LR2	
LR3	
NC2	
NC2P	



1. 1216 N 42nd St
4 Story, 50 Units w/ Retail
Permits Issued



2. 1317 N 44th St
3 Story, 8 Units, 3 spaces
Under Construction



3. 4453 Stone Way N
4 Story, 42 Units
Permits Issued



4. 1601 N 45th St
4 Story, 48 Units
Completed 2018



5. 4612 Stone Way N
3 Story, 40 Units
Permits Issued

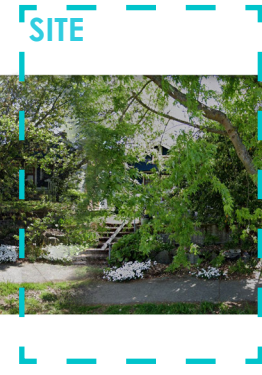


6. 1416 N 46th St
3 Story, 5 Units
Completed 2017

Neighborhood Transition

The neighborhood surrounding the project at 4306 Woodlawn Ave N has seen a large amount of recent design and development. This has been a direct response to the upzoning that has occurred here as more housing and a higher density is becoming essential. The neighborhood has access to all public amenities along with great public transportation. We found many design cues within the neighborhood so that our project can efficiently provide housing in a growing community.

Woodlawn Ave North Looking East



NORTH



SOUTH

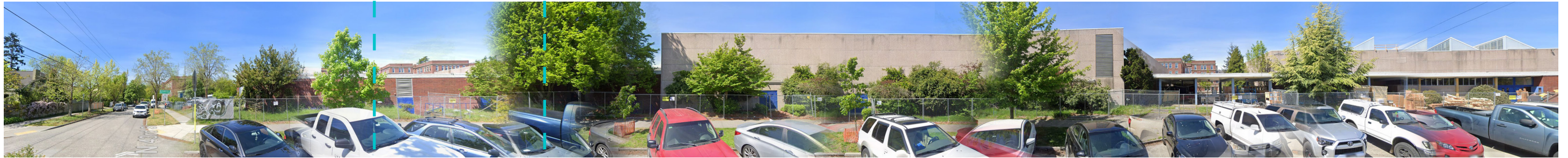
N 44TH ST

N 43RD ST

Woodlawn Ave North Looking West



SOUTH



NORTH

N 43RD ST

N 44TH ST

Alley Looking East



NORTH



SOUTH

N 44TH ST

N 43RD ST

Alley Looking West



SOUTH



NORTH

N 43RD ST

N 44TH ST

Street Elevations

CS1. Natural Systems and Site Features	A. Energy Use	The project will utilize natural daylighting to help and decrease the required energy load. On top of this the building will be 4-Star Built Green Certified.
CS2. Urban Pattern and Form	A. Location in the City and Neighborhood	The project is located on a site that has recently been upzoned from a SFR zone to LR1 (M1). The surrounding area has mostly single family homes but right across the street is a large school. Because the street will be used frequently to access the school and the neighborhood around has a strong sense of place our project aims to address many attributes from the local context. The project will connect to the streetfront as do the adjacent houses.
	B. Adjacent Sites, Streets, and Open Spaces	The adjacent sites, streets and open spaces are addressed in numerous ways. First, the colors and materiality will represent those from the existing structure which will bring a sense of quality and appreciation. Secondly, by pushing back the roof decks away from Woodlawn Ave N we were able to create a gabled roof to relate to the surrounding context. Finally, The approach to the building provides plenty of space for beautiful plantings and exterior spaces as do the adjacent buildings.
	D. Height, Bulk, and Scale	To address the existing architectural scales our project is broken into (2) separate masses. These masses are further broken down by creating exterior private yards. To help reduce the bulk of the project there is plenty of streetfront glazing to create a sense of transparency. The facade along Woodlawn Ave N is organized through modulation to break down the scale even further.
CS3. Architectural Concept and Consistency	A. Emphasizing Positive Neighborhood Attributes	High quality materials have been selected to compliment the existing neighborhood while maintaining contemporary aesthetic. Wood details add to the quality of the project and give presence to secondary architectural features. Entrances on the TH 3-5 have been articulated with a step up to the front door which asserts the entries much like a porch, a characteristic seen in the neighborhood. The color choice of dark red and dark blue are similar to that of the existing building and the landscaping will complement the sidewalk and architecture as do the neighboring buildings. Private yards are placed for every townhouse so that there is a pleasant space for residents to privately enjoy as much of the neighborhood appears to have.
PL2. Walkability	A. Accessibility	The project addresses accessibility through a few key architectural moves. There is a through-block connection from Woodlawn Ave N to the alley behind the site. The connections is created by a series of exterior stairs and a path along the front entrances to TH 3-5 surrounded by landscaping. This will allow residents to flow from either the parked cars in the alley or the street in front with no issues. The open and landscaped pathway will be pleasant for residents and guests alike when arriving on the site.
	B. Safety and Security	As Woodlawn Ave will be busy and there is an alley in the rear of the site safety and security was always thought of. To address safety along Woodlawn Ave there are windows but they have been placed above the planter area. This provides safety for the residents while also provided eyes onto the sidewalk and passageways. The walkway on the north edge of the site will be clearly visible either through residents front doors or directly from the street or alley. These areas will also be properly lit so that there will be safety and security when the sun is down.

PL3. Street Level Interaction	A. Entries	The entries of the project have been designed so that they are semi-private and easy to find. These spaces are comfortable and inviting by using a cedar siding where the front doors are. There is also a wall that extends out from the massing to provide the address and lighting for residents and guests.
	C. Residential Edges	The project respects the residential edges by creating a buffer through either a semi-private walkway or through private resident yards. These buffers are pleasant to inhabit as well as look at from a neighboring building so that everyone can appreciate the design. There will be beautiful landscaping throughout so that it is not only hard scape and building facades for neighbors to look at.
PL4. Active Transit	B. Planning Ahead for Bicyclists	The project plans for bicycles by providing accessible, permanent exterior bike racks for every residential unit as well as (2) bike racks for guests. The path that leads to these bike racks is wide enough to accommodate someone who may by push their bike next to them. The bike racks are strategically located in the center of the property so that they are easily accessible by all while providing some security for the residents to watch over them.
DC2. Architectural Concept	A. Massing	There are many different primary moves that have been made when designing the massing for 4306 Woodlawn Ave N. The front of the site sits well above the elevation of the sidewalk which allowed us to greet pedestrians with stairs and landscaping features. Further, the scale of the front facade has been reduced by using gabled roofs, a modulated mass, and transparency through glazing. They masses are broken into two separate units to allow space around the buildings to fill with natural daylight and provide private yards for the residents.
	B. Architectural and Facade Composition	The facade and architectural features of this project have been addressed by reducing long blank walls with standard materiality. The front facade uses a nice variety of quality building materials and provides adequate glazing to create a sense of transparency and openness. The facade and building is broken down even more through strategic moves of modulation and roof placement. These areas are visually attractive and provide function for weather protection and views for residents.
	C. Secondary Architectural Features	The composition of the facade has been designed to reference the scale of the surrounding residential neighborhood with material choices and color palettes of those in the neighborhood and of the existing building. The red and blue paint represents the building that once sat in this site. The roof lines and accent bands represent the architectural features found throughout the neighborhood. The scalar proportions compliment the residential setting so that the project does not feel monolithic on the site while providing a precedent for future development.
	D. Scale and Texture	The project addresses the human scale in a few different ways. One of the main ways it is addressed is through the use of textured natural cedar at the entryways of TH 3-5. Another way is by breaking apart the mass to create space above and around pedestrian walkways. The cedar, wood lap, and lush landscaping will provide for a pleasant experience for all humans.
	E. Form and Function	The building takes on a form that will allow all users to feel safe and to feel like they understand the spaces they are approaching. The form is beautiful while also functional. The spaces around the building are easy to access and can be used flexibly in the future if need be.

DC4. Exterior Elements and Finishes

A. Exterior Elements and Finishes

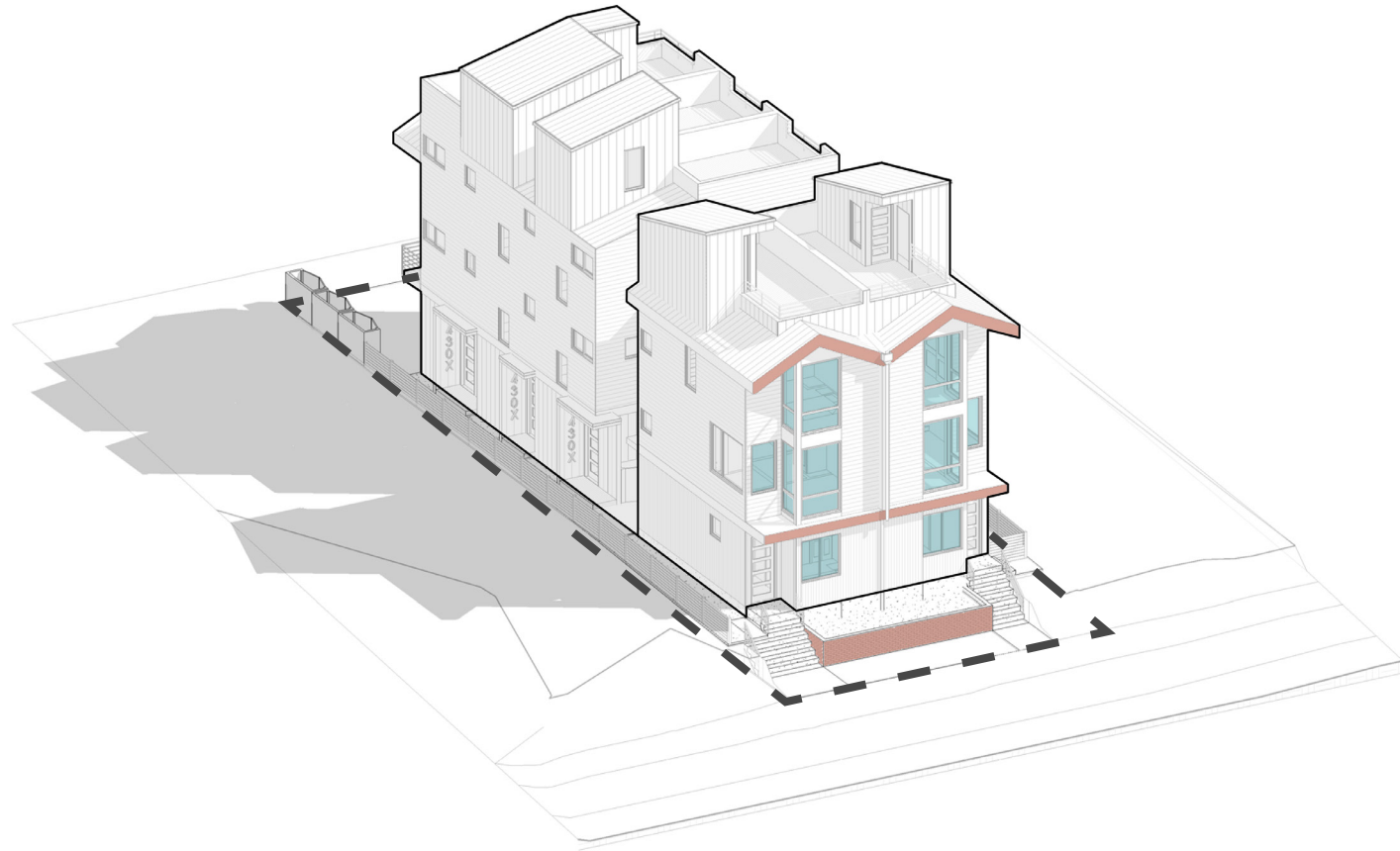
Many of the materials in this project are of high quality to ensure that they are lasting and are something neighbors and residents will appreciate. These materials are used so that they are aesthetically pleasing as well as standing up to the Seattle weather. Wood and the possibility of standing seam metal will provide the look and feel of a quality building.

C. Lighting

The lighting for this project has been designed so that it provides safety and wayfinding to the residents while still respecting the adjacent properties surrounding 4306 Woodlawn Ave N. Fences are placed to block potential car lights in the early morning or late afternoon, walkway and entry lights are designed so that the pathways are properly illuminated while the light does not pass by into neighboring properties.

D. Trees, Landscape and Hardscape Materials

The front of the site along Woodlawn Ave N is very lush and currently landscaped with a variety of plantings. Our project aims to continue what is already in place by providing plants that will compliment the new architecture as well as continue what the neighborhood is already doing. The plants compliment all hardscape spaces while having enough room to ensure that they can mature and grow to their full potential.



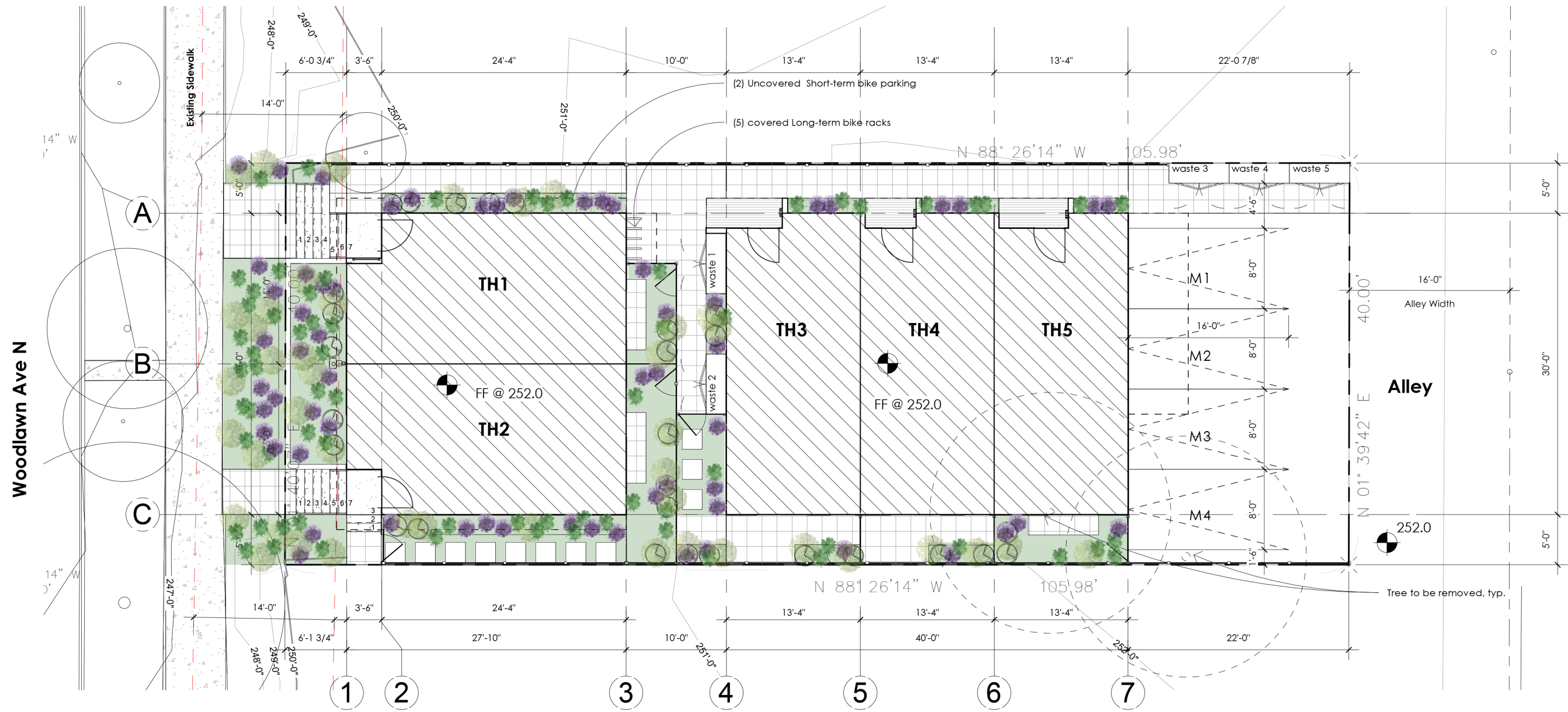
Connection to The Neighborhood

At 4306 Woodlawn Ave North it was important to focus on the relationship with Woodlawn Ave and the surrounding neighborhood architectural context. By taking cues and hints from the surrounding and existing buildings the architecture provides adequate transparency to the street front. The architecture also speaks with local context through the gabled roof, the overhang at the entrance, and the brick planting box fronting the sidewalk for pedestrians.



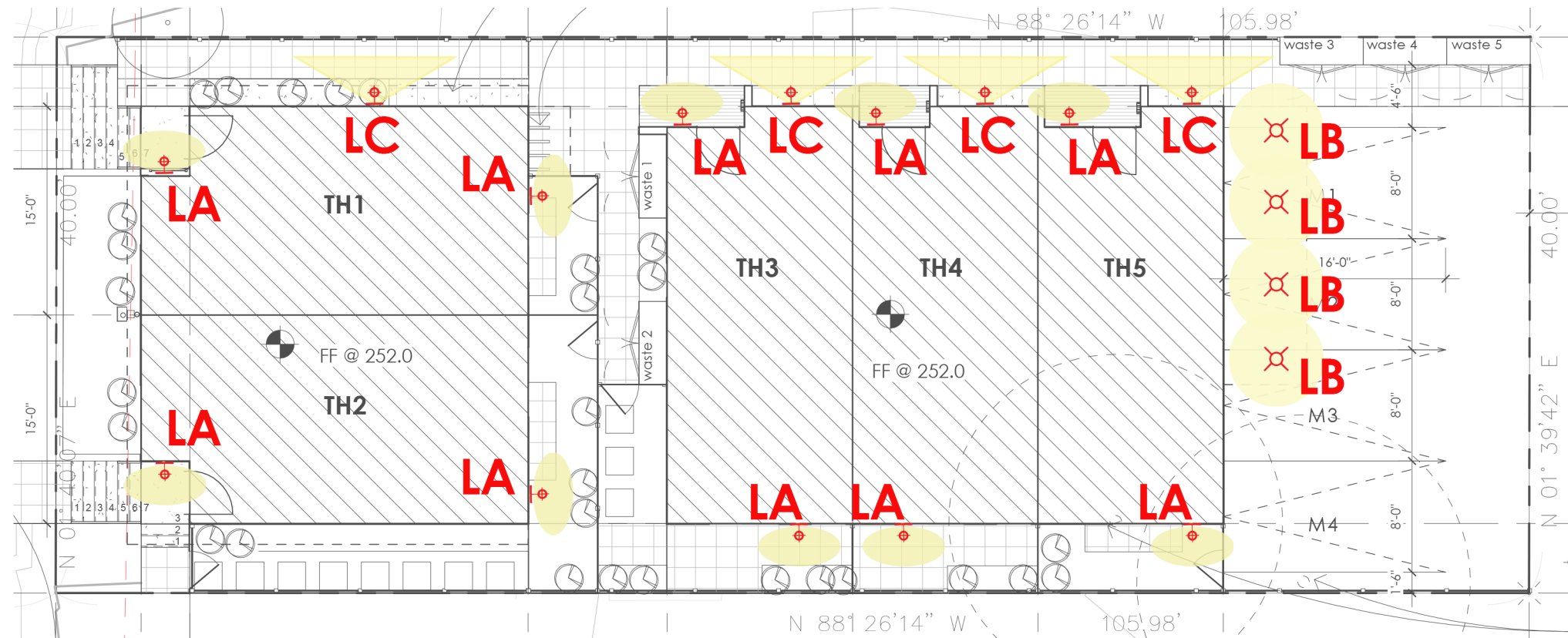
Private Exterior Amenity Spaces

The proposed design includes a large amount of private exterior spaces for residents to enjoy. Not only does this provide fresh air and an area for nature but it also provides space between adjacent properties. It was important to make sure that exterior spaces are accounted for and this provides a meaningful private yard for every resident.



Scale: 3/32" = 1'

Concept Landscape Plan



LA: SURFACE WALL MOUNT DIRECT/INDIRECT LIGHT FIXTURE AT ALL ENTRIES. MOUNT TO ALIGN TOP OF FIXTURE WITH TOP OF DOOR



SPECIFICATIONS

Construction: Die-cast Aluminum
Power: 30W, 16W
Input: 120-277 VAC, 50/60Hz
Dimming: ELV: 100-15%, 0-10V: 100-10%
Light Source: Integrated LED
Rated Life: 70000 Hours
Mounting: Mounts directly to junction box, Can be mounted on wall in all orientations

LB: SURFACE CEILING MOUNT LIGHT FIXTURE AT PARKING. MOUNT TO UNDERSIDE OF BUILDING OVERHANGS.



SPECIFICATIONS

Construction: Injection molded UV rated plastic with translucent diffuser for outdoor application
Power: 12W
Input: 120-277 VAC, 50/60Hz
Dimming: TRIAC: 100-5%, ELV: 100-5%
Light Source: Integrated LED
Lens: Translucent acrylic diffuser
Mounting: Installs over a 3", 4" or 3/0-4/0 hybrid junction box, Can be mounted on ceiling or wall in all orientations

LC: RECESSED WALL MOUNT LIGHT FIXTURE AT PATHWAYS AND TRASH ENCLOSURES. MOUNT 15" AFF.

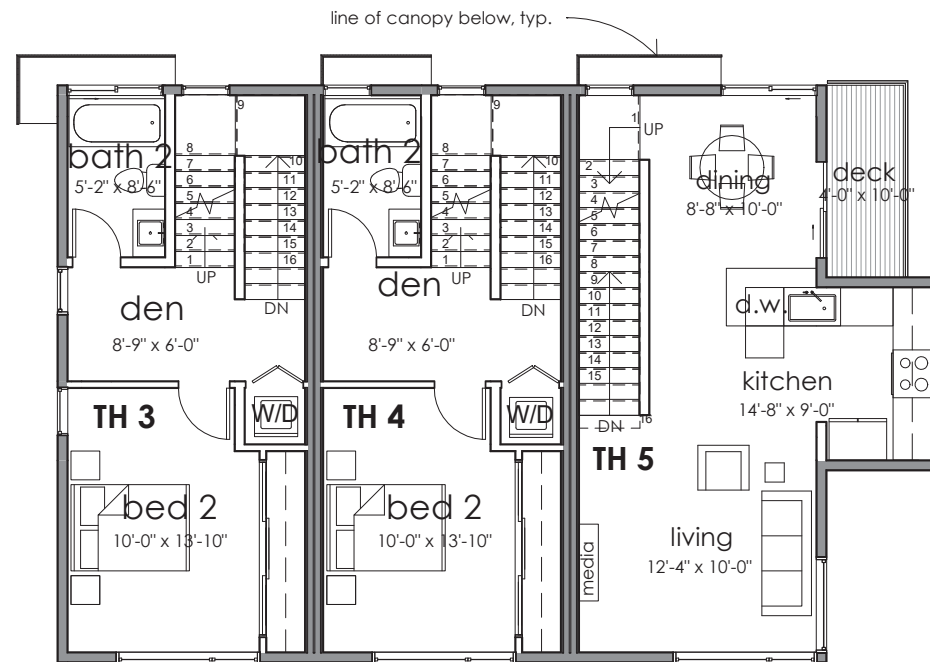
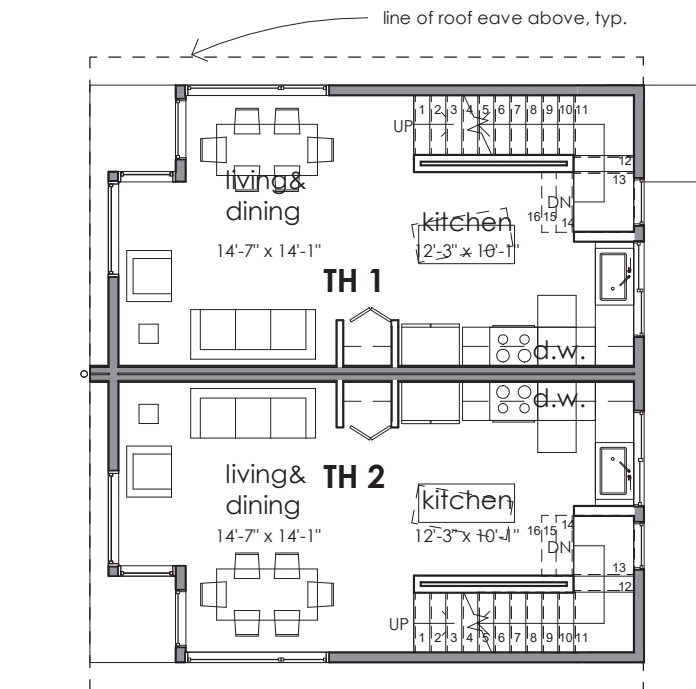
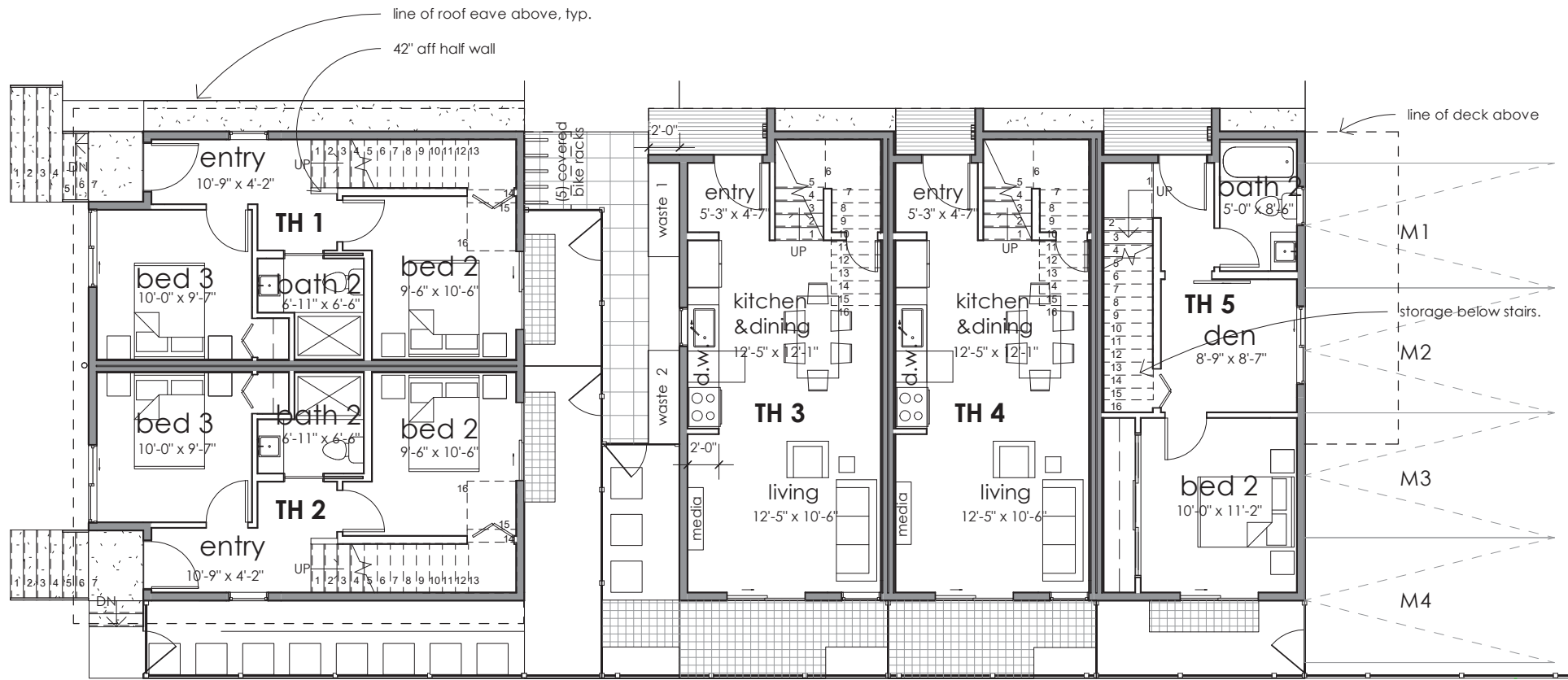


SPECIFICATIONS

Construction: Die-cast aluminum
Input: 120V or 277VAC 50/60Hz
Power: Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz
Lumens: Up to 2 lm
Mounting: Fits into a switch box or a 2" x 4" Junction Box with minimum inside dimensions of 3"L x 2"W x 2.5"D



Scale: 3/32" = 1'



FAR SUMMARY

parking below bldg	
Level 1	60 SF
	60 SF
TH 1	
Level 1	362 SF
Level 2	362 SF
Level 3	362 SF
Roof Deck	87 SF
	1,173 SF
TH 2	
Level 1	362 SF
Level 2	362 SF
Level 3	362 SF
Roof Deck	87 SF
	1,173 SF
TH 3	
Level 1	350 SF
Level 2	358 SF
Level 3	358 SF
Roof Deck	82 SF
	1,148 SF
TH 4	
Level 1	350 SF
Level 2	359 SF
Level 3	359 SF
Roof Deck	82 SF
	1,150 SF
TH 5	
Level 1	347 SF
Level 2	412 SF
Level 3	412 SF
Roof Deck	57 SF
	1,228 SF
TOTAL	5,932 SF



Scale: 1" = 10'

Level One & Two

FAR SUMMARY

parking below bldg

Level 1	60 SF
	60 SF

TH 1

Level 1	362 SF
Level 2	362 SF
Level 3	362 SF
Roof Deck	87 SF
	1,173 SF

TH 2

Level 1	362 SF
Level 2	362 SF
Level 3	362 SF
Roof Deck	87 SF
	1,173 SF

TH 3

Level 1	350 SF
Level 2	358 SF
Level 3	358 SF
Roof Deck	82 SF
	1,148 SF

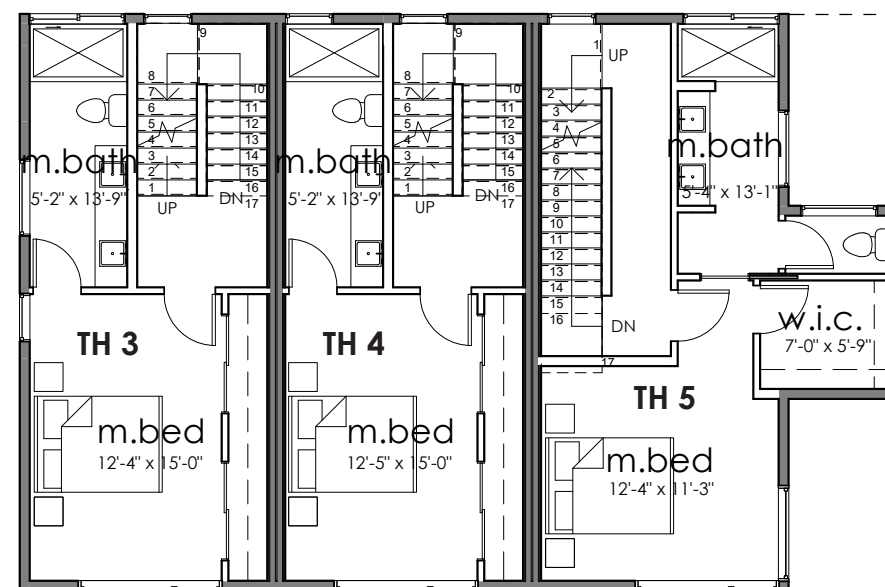
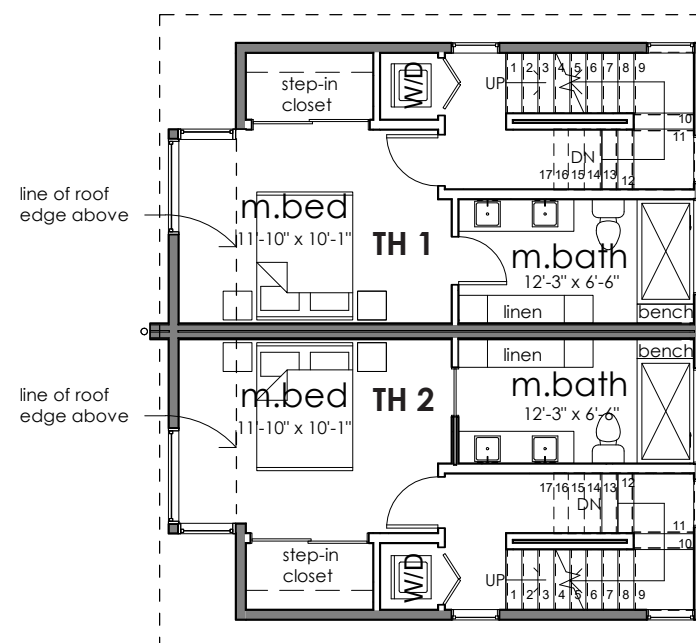
TH 4

Level 1	350 SF
Level 2	359 SF
Level 3	359 SF
Roof Deck	82 SF
	1,150 SF

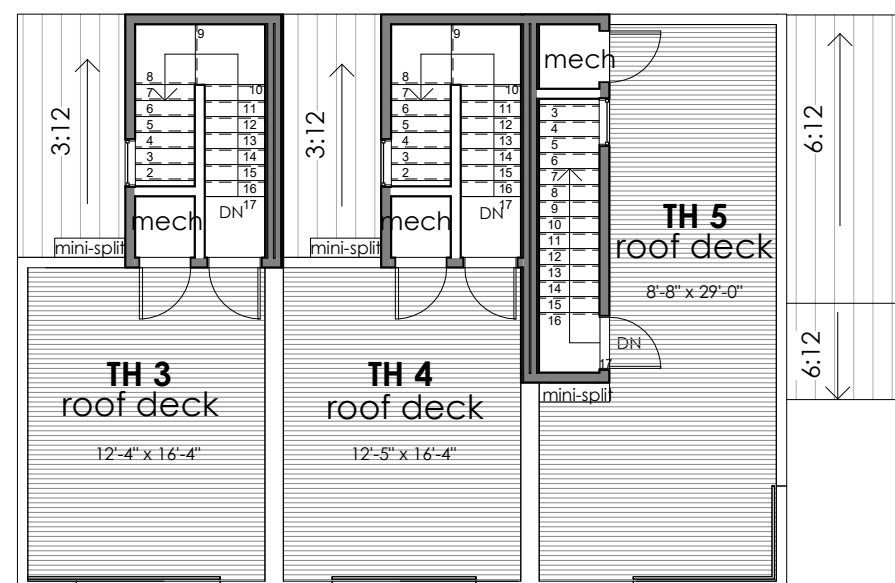
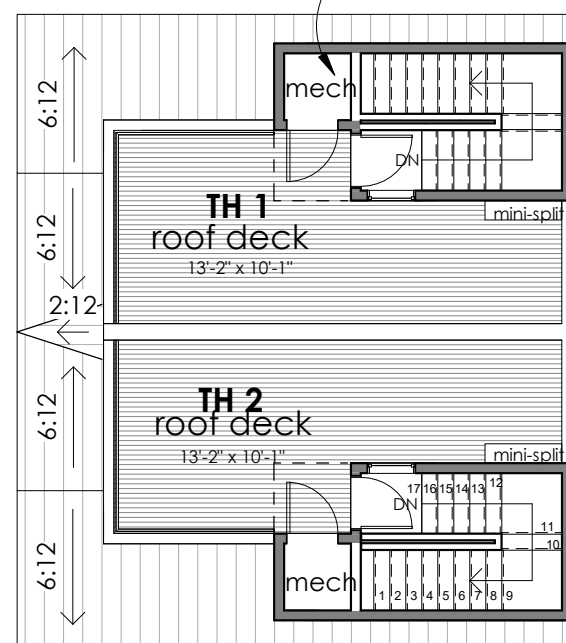
TH 5

Level 1	347 SF
Level 2	412 SF
Level 3	412 SF
Roof Deck	57 SF

TOTAL	5,932 SF
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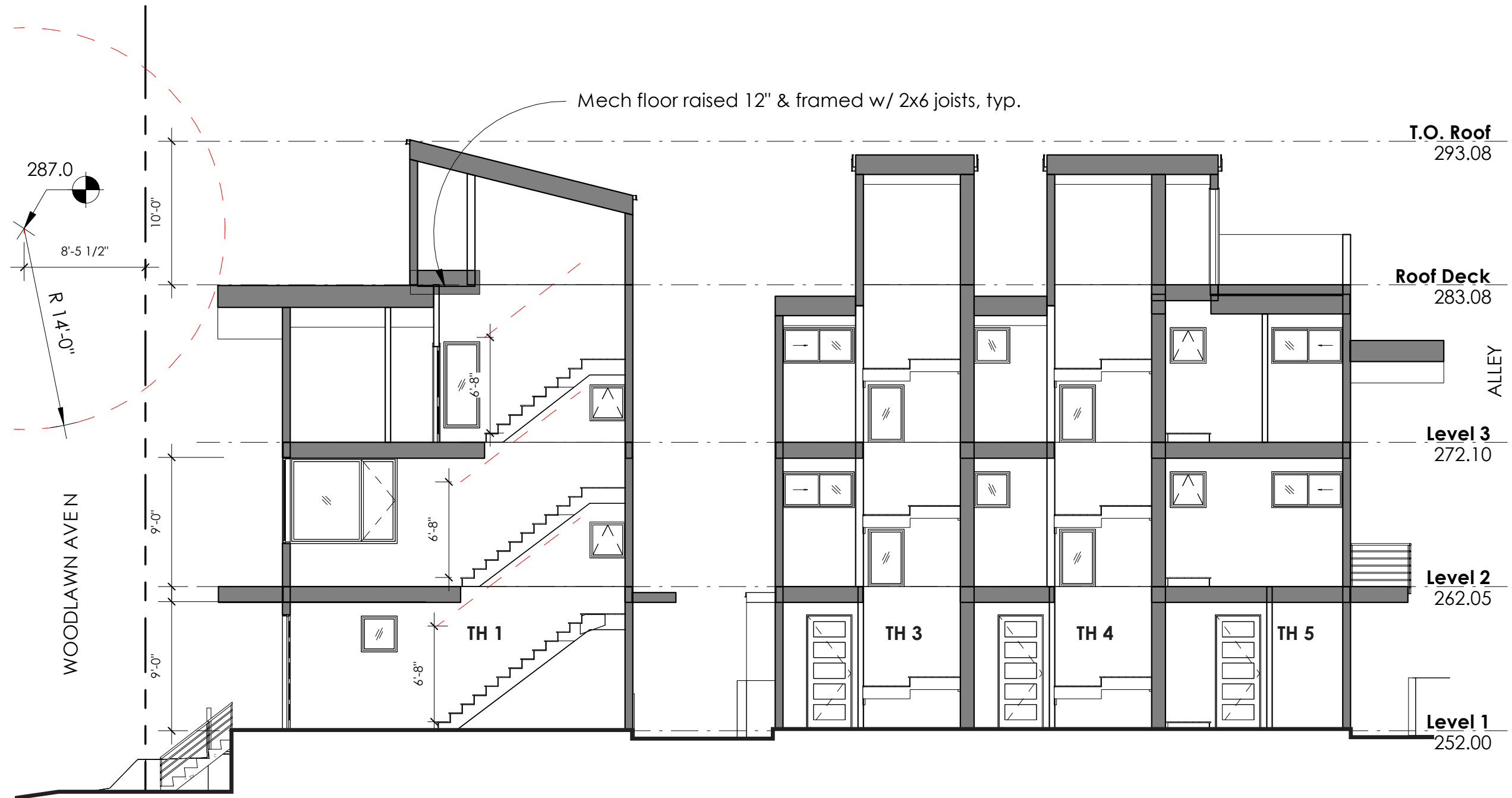


Mech floor raised 12" & framed w/ 2x6 joists, typ.



Scale: 1" = 10'

Level Three & Roof



Scale: 1/8" = 1'-0"

Building Section



North Elevation



South Elevation



This area represents the windows on the adjacent properties.

1. Dark Blue Lap

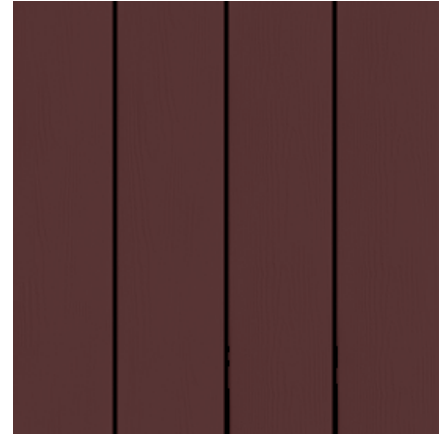


6" James Hardie Lap Siding

Dark Blue

Upper Siding Material on All (2) Buildings.

2. Dark Red Lap



4" Vertical Wood
10" Vertical Cementitious

Dark Red

4" Vertical Wood on Building Facing Woodlawn Ave
10" Vertical Cementitious on Building Facing Alley

3. Dark Grey Lap



10" Vertical, Cementitious or Standing Seam Metal

Dark Grey

Pent Houses.

4. Cedar T&G



1" x 4" T+G Natural Cedar

Soffits of Entry Awnings.

5. Face Brick

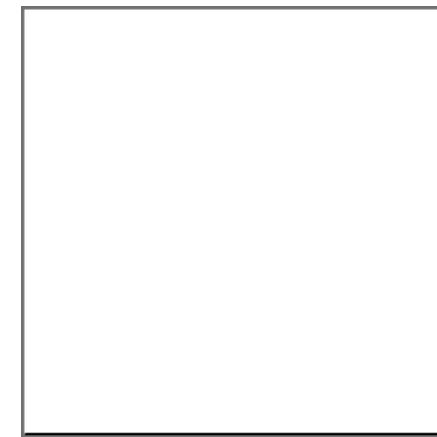


3 5/8" x 8" Face Brick

Aspen White

Planter on Street Front.

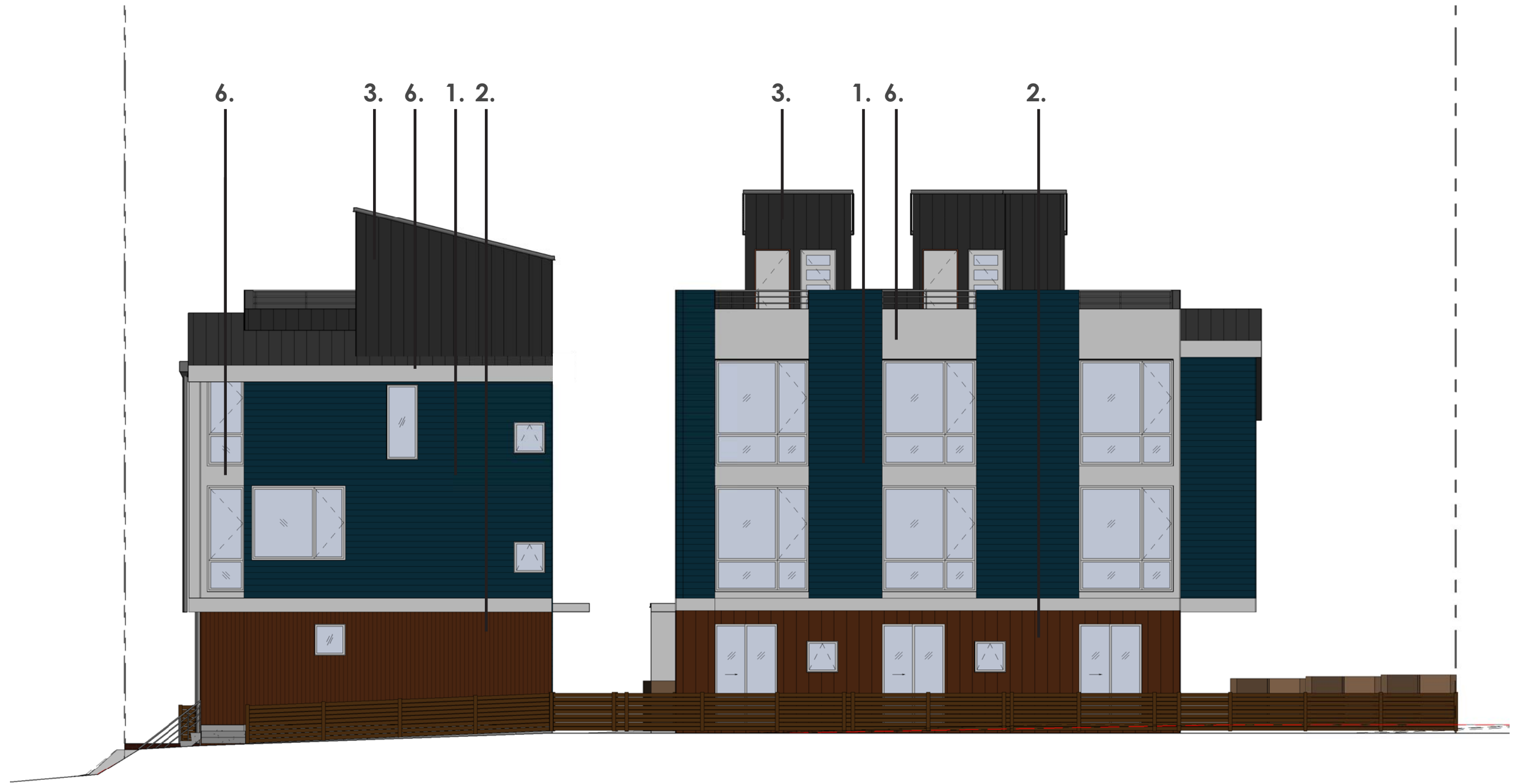
6. White Accent Panel



White Paint Band

Window Accent Panel.

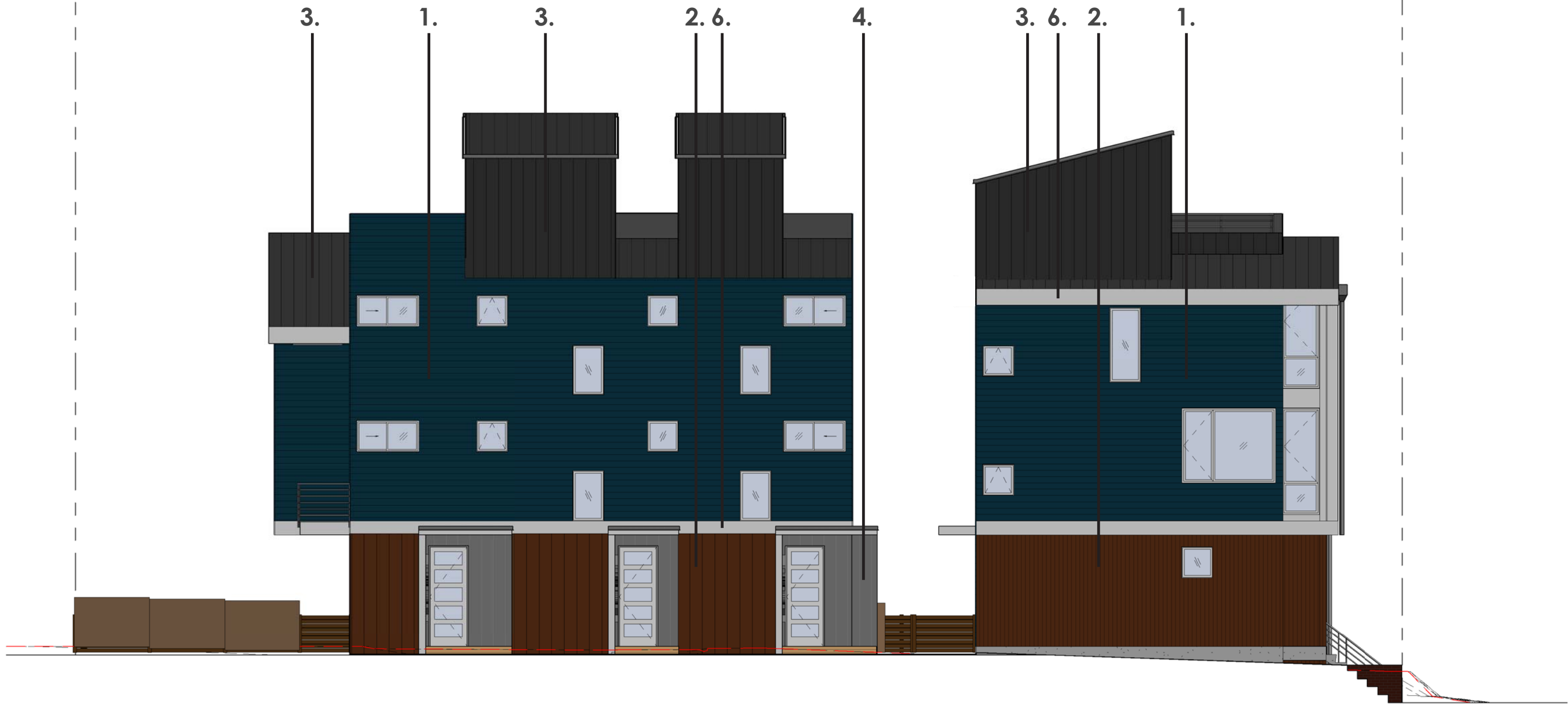
- 1. Dark Blue Lap 2. Dark Red Lap 3. Dark Grey Lap
- 4. Cedar T&G 5. Face Brick 6. White Accent Panel



TH2, TH3-5 South Elevation

Scale: 1/8" = 1-0'

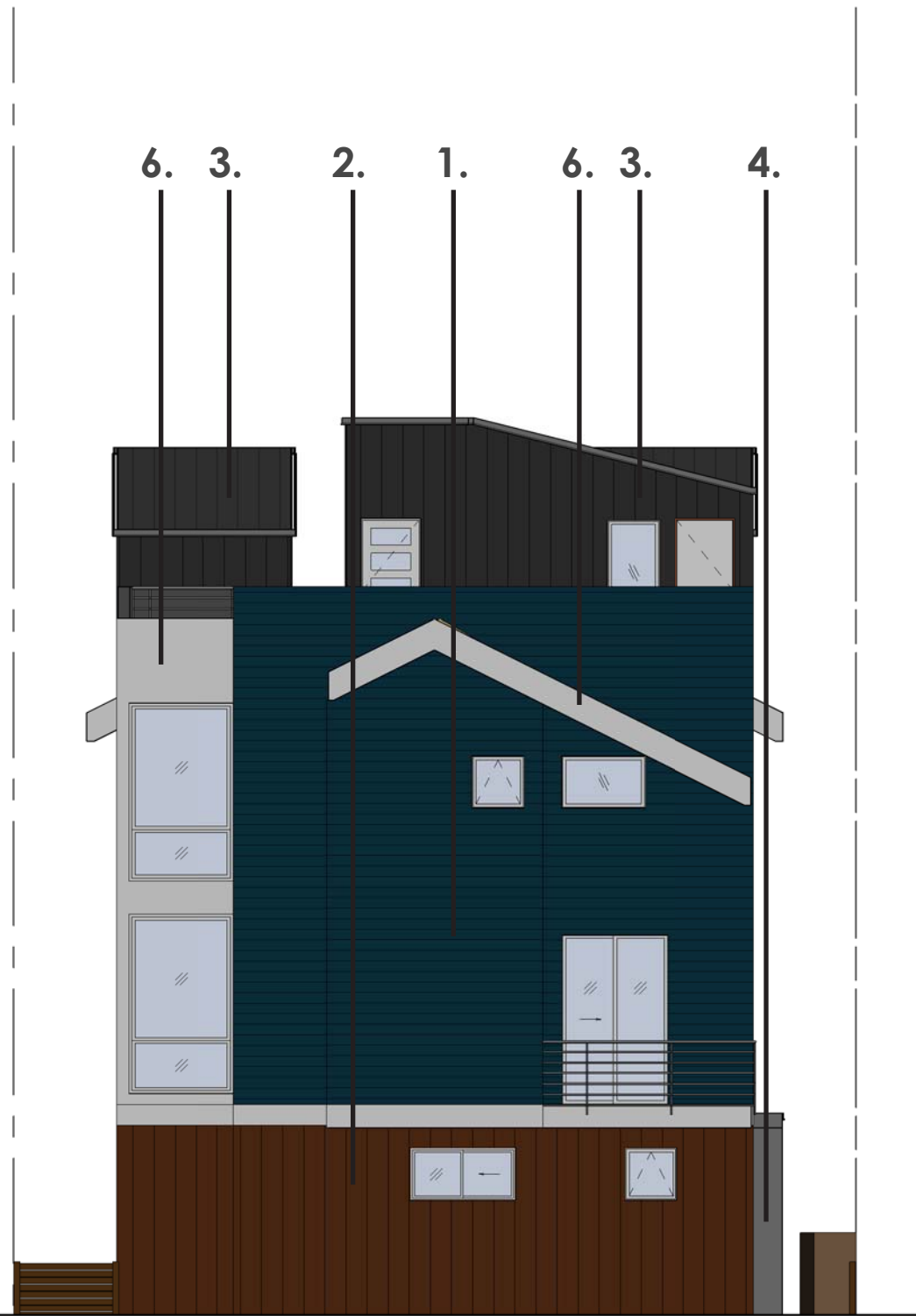
- 1. Dark Blue Lap 2. Dark Red Lap 3. Dark Grey Lap
- 4. Cedar T&G 5. Face Brick 6. White Accent Panel



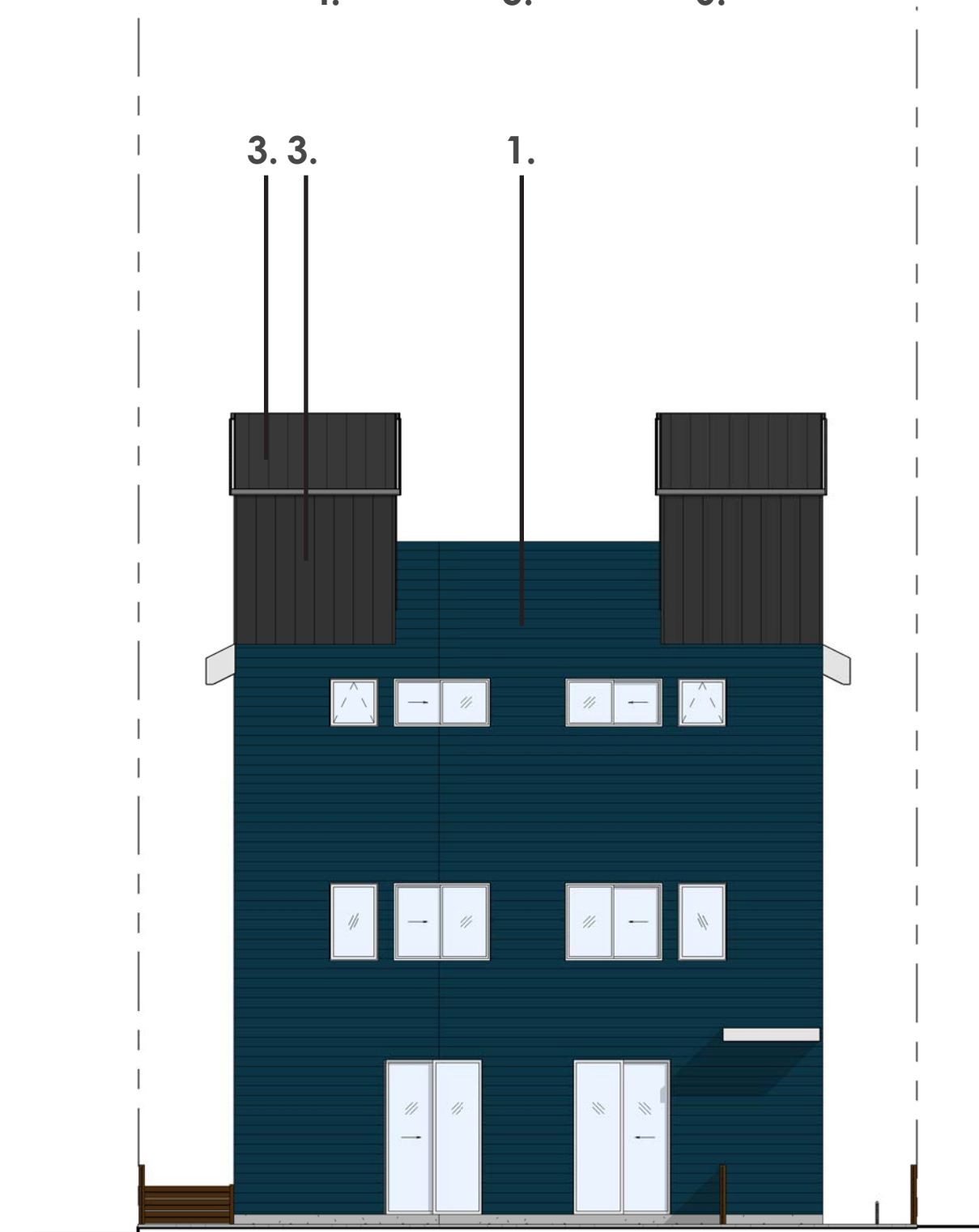
TH1, TH3-5 North Elevation

Scale: 1/8" = 1-0'

- 1. Dark Blue Lap 2. Dark Red Lap 3. Dark Grey Lap
- 4. Cedar T&G 5. Face Brick 6. White Accent Panel

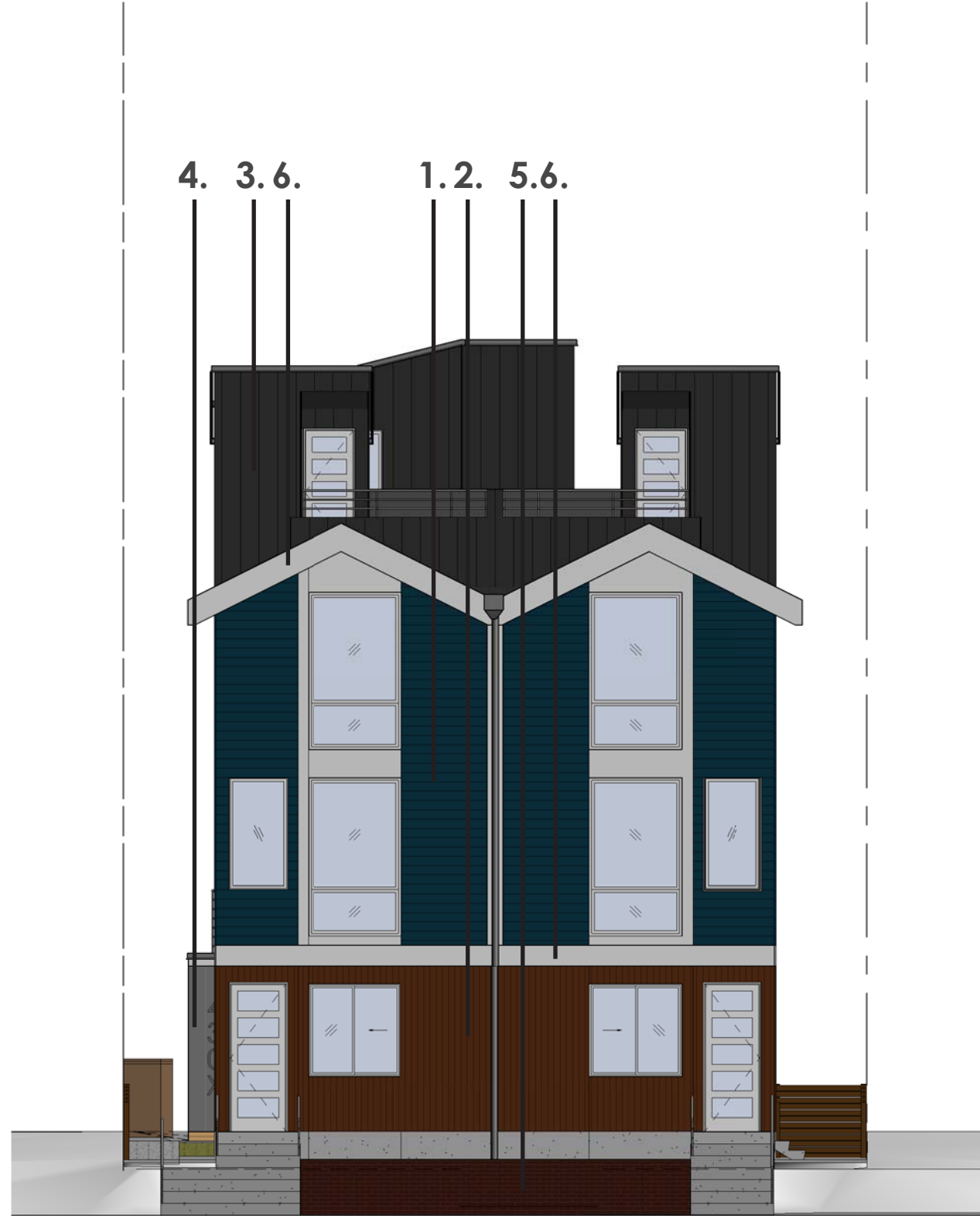


TH5 East Elevation

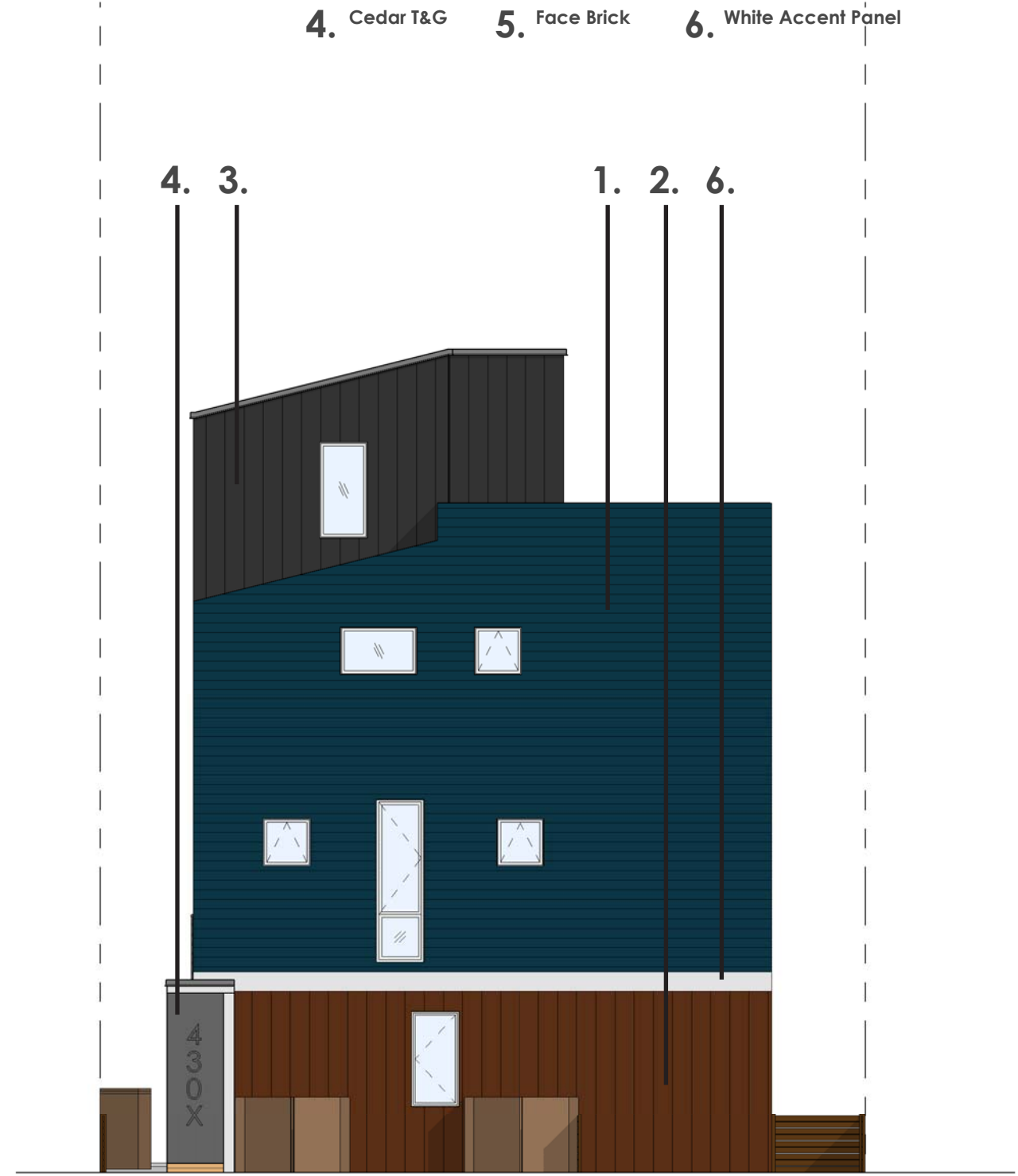


TH1-2 East Elevation

- 1. Dark Blue Lap 2. Dark Red Lap 3. Dark Grey Lap
- 4. Cedar T&G 5. Face Brick 6. White Accent Panel



TH1-2 West Elevation (Woodlawn Ave N)



TH3 West Elevation



1. Woodlawn Ave N Approach



2. TH1-2 Approach



2. TH3 Entry, Private Yards, & Bike Racks



2. TH5 Alley Approach

Renderings For Illustration Purposes Only

Renderings



2. Aerial from Southwest