

**4515 44th Ave SW
Seattle, Washington**



**ADMINISTRATIVE DESIGN REVIEW
RECOMMENDATION
SEATTLE #3036493-EG
LAND USE PERMIT: 3036492-LU**

July 8th, 2022

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Thank You!

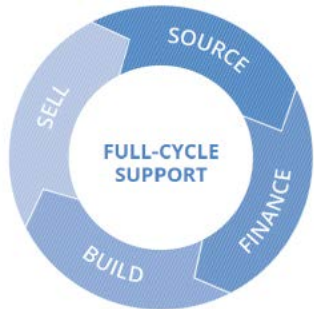
Project Information

Property Address:	4515 44th Avenue SW. Seattle, Washington 98116
Development Plan:	Project includes construction of a new multi-family apartment building and demolition of the existing single story office building and small single family home.
Owner:	One 356 LLC
Architect/Applicant:	Blueprint Capital Services LLC PO Box 16309, Seattle, WA 98116
Landscape Architect:	Root of Design - Devin Peterson 7104 265th St. NW., Stanwood, Washington
Lot Area:	5,850 Sq. Ft.
Project Gross Area:	19,082.8 Sq. Ft.
Allowable Far	21,937.5 Sq. Ft.
Project Far:	18,190.3 Sq. Ft.
Zoning	NC2-55 (M1)
Urban Village:	West Seattle Junction (Hub Urban Village)
MHA Required:	Mandatory Housing Affordability (MHA) Area: Medium
MHA Provided:	Performance Option (Providing Affordable Units)
Stories:	4-Stories above 44th Ave SW plus 1-Story below grade fronting on the abutting alley. 5-Stories total.
Unit Count:	43 Units.
Parking Count:	0 Parking is proposed; project site occurs within the West Seattle Junction Hub Urban Village and is within the frequent transit service area.
Bike Parking:	43 Long Term Bike Parkings, and 2 Short Term Bike Parkings
Environmental Critical Areas:	None.

Blueprint Capital

Who We Are

Here at Blueprint Capital, we offer a unique approach to building communities in our great city of Seattle. Blueprint was originally founded in 2009 to help local builders finance and create small scale residential housing. The first part of our thesis was clear; to create a better lending model to serve the Seattle market. The second part of our thesis was that by helping local builders with more than just financing it would produce better results for them and for the community we serve. By offering a full-cycle of support of sourcing, financing, permitting, and building unique to our economic market we are able to streamline the process and help contribute to housing demands due to population and job growth in Seattle.





DENSITY



SUSTAINABILITY



AFFORDABILITY



DIVERSITY



TRANSPORTATION

Blueprint is committed to building strong communities. We’re your neighbors, and we want the same things you do: quality, environmentally-efficient homes that reflect our Northwest lifestyle and values. Seattle’s strong job and housing market has experienced rapid growth, and although change is sometimes tough, growth is good. It means we’re a place where people want to live and raise their families, contribute to the economy, and add to our unique culture. We respect our neighborhoods and want to ensure new families join our community in homes that maintain our commitment towards community, diversity, affordability, and sustainability.

The West Seattle Neighborhood



Rich History
water & transit playing a vital role in West Seattle’s development



Recreation
easy access to parks, beaches, & P-patches



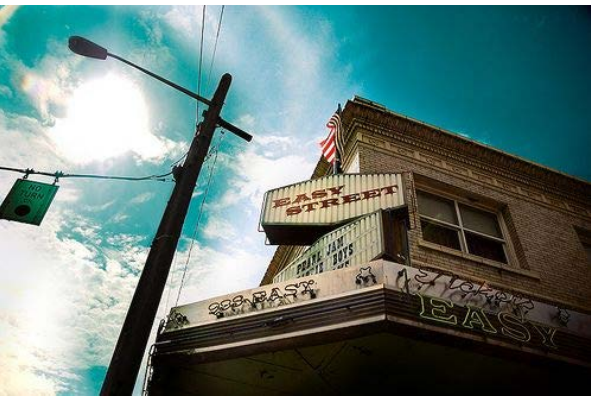
Pedestrian
spill-out retail, active streets



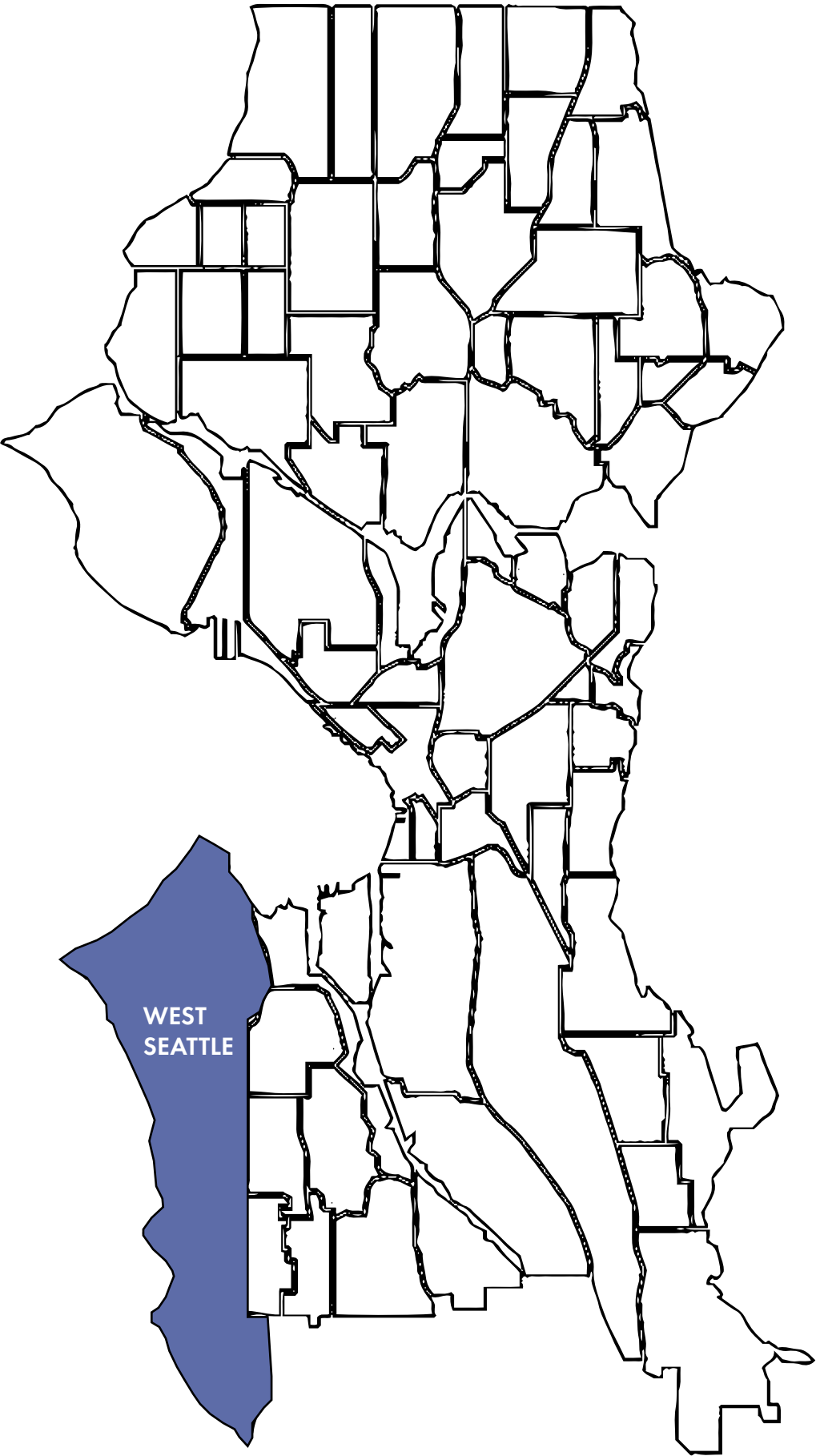
Arts & Festivals
vibrant festival scene and support for local art



Landmarks & Amenities
creating & promoting a neighborhood that is environmentally conscious



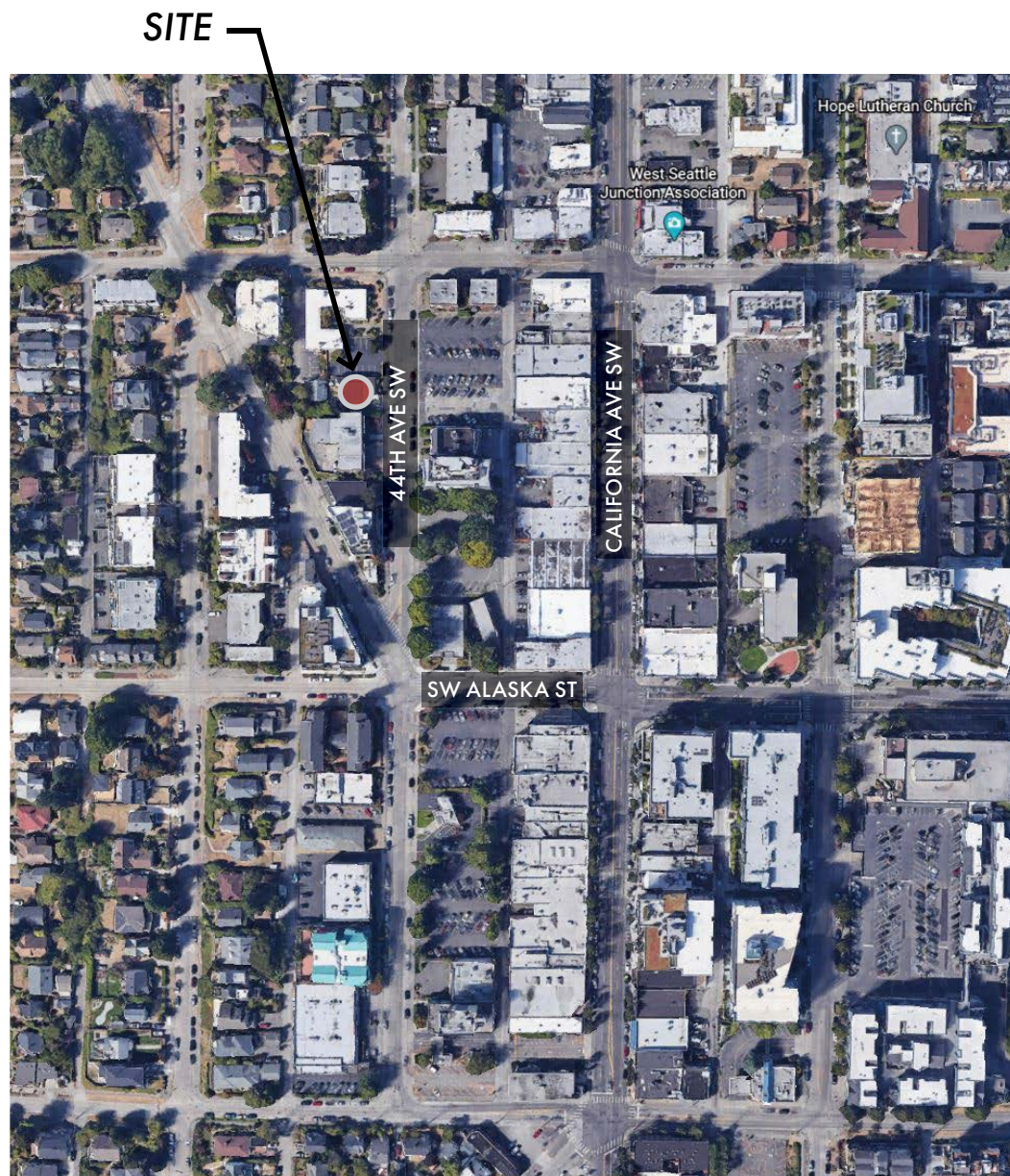
Distinct Local Character
supporting local businesses, retail, & the “small town” feeling



Project Location

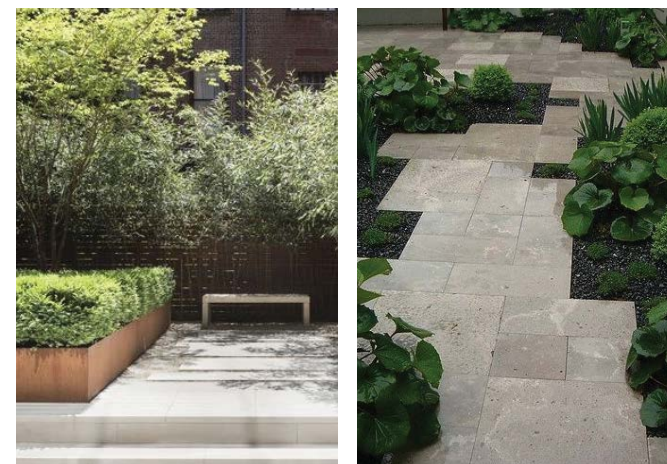
West Seattle is a neighborhood that has experienced rapid growth in the recent history. It offers the community an outstanding variety of restaurants, shopping, living, music and working hubs that make it an attractive destination for residents and visitors alike.

The proposed project is located in the Junction at the heart of activity in West Seattle. The site is situated East of 44th Ave SW less than a block away from public transit to the North. With a retail and mixed use corridor a block to the East, this location provides convenient amenities in close proximity.



West Seattle has been a constant of growth, change, and redefining its identity throughout its history, much of which is heavily dependent on local commerce, industry and transportation. Creating the community's first streetcar had activated real estate and home building in the area. Communities banded together to sculpt West Seattle into what it is now; a vibrant, bustling, local community with a small-town feel. The energy and momentum of what shaped West Seattle is inspiring; both in its rich history and encouragement for where it's future is headed.

*historical data referenced from the Seattle Municipal Archives



Development Objectives

- Provide high quality rental housing for Seattle residents seeking a low impact urban lifestyle.
- Provide positive urban connections to the neighboring community including transit, outdoor amenities, and social lifestyle.
- Build a structure with materiality and form that compliments the neighborhood.

Neighborhood Objectives

- Enhance spaces so that they are "West Seattle" centric.
- Integrate the work, play, and artistic culture of the neighborhood.
- Activate the street-scape through detailed design and transparency between the public and private realms.
- Create spaces that are multi-functional.
- Provide opportunity for social interaction.

Design Objectives

- Encourage connection to public and bicycle transportation.
- Design appropriate scaled and comfortable spaces.
- Inject a vibrancy and energy that compliments the West Seattle Junction neighborhood.
- Maintain a level of connectivity to nature with urban level landscaping.

Walkability

The site has a good walk-ability, transit and bike-ability according to Walk Score.com.

Walk Score: 97

- Walker’s Paradise.
- Daily errands do not require a car.
- The walk score is based on the close proximity to Dining/Drinking establishments, groceries, shopping, errands, and a higher ranking for parks and schools.

Transit Score: 53

- Many nearby public transportation options.

Bike Score: 71

- Some hills, some bike lanes.
- Biking is convenient for most trips.



Transit & Bike Routes



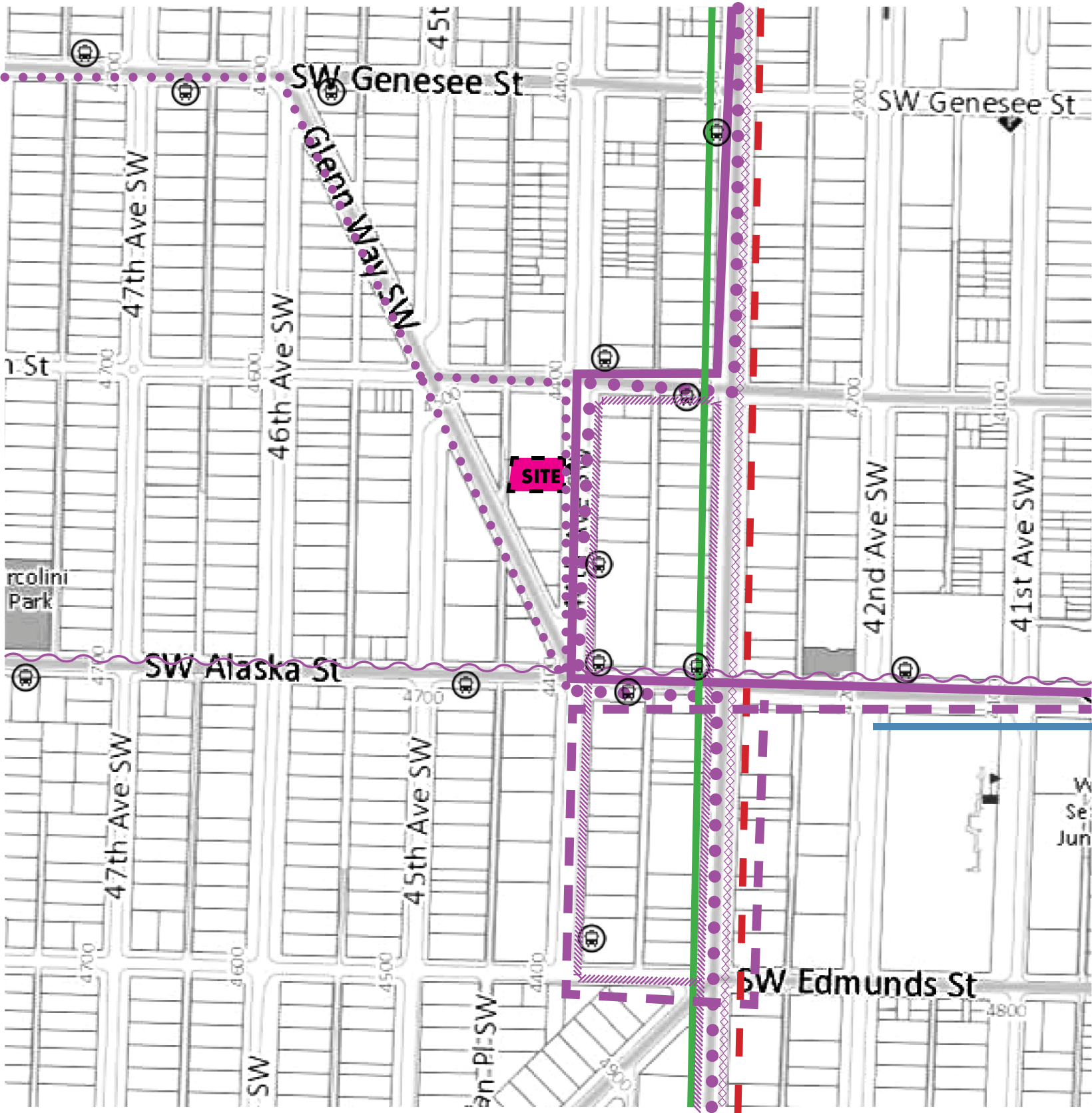
Protected crosswalks on California Ave SW



Ample bike racks and transit hub on California Ave SW



All way pedestrian crossings at transit hub



① TRANSIT MAP

Transit & Access

The site is located in a convenient location in the heart of The Junction, where there are several transit opportunities on the same street as the proposed project.

LEGEND

RAPID RIDE - LINE C

BUS LINE 128

BUS LINE 50, 55

BUS LINE 22

BUS LINE 37

BUS LINE 57

BUS LINE 22

BUS LINE 773

BUS STOP

Bicycle & Pedestrian Routes

The site is located next to a bustling street of activity along California Ave SW where there is a sharrow of protected pedestrian crosswalks, spacious sidewalks, and visibility of bicyclists. A protected bike lane cuts across SW Alaska that connects to the North / South bike lanes on Fauntleroy Way SW

LEGEND

SHARROW

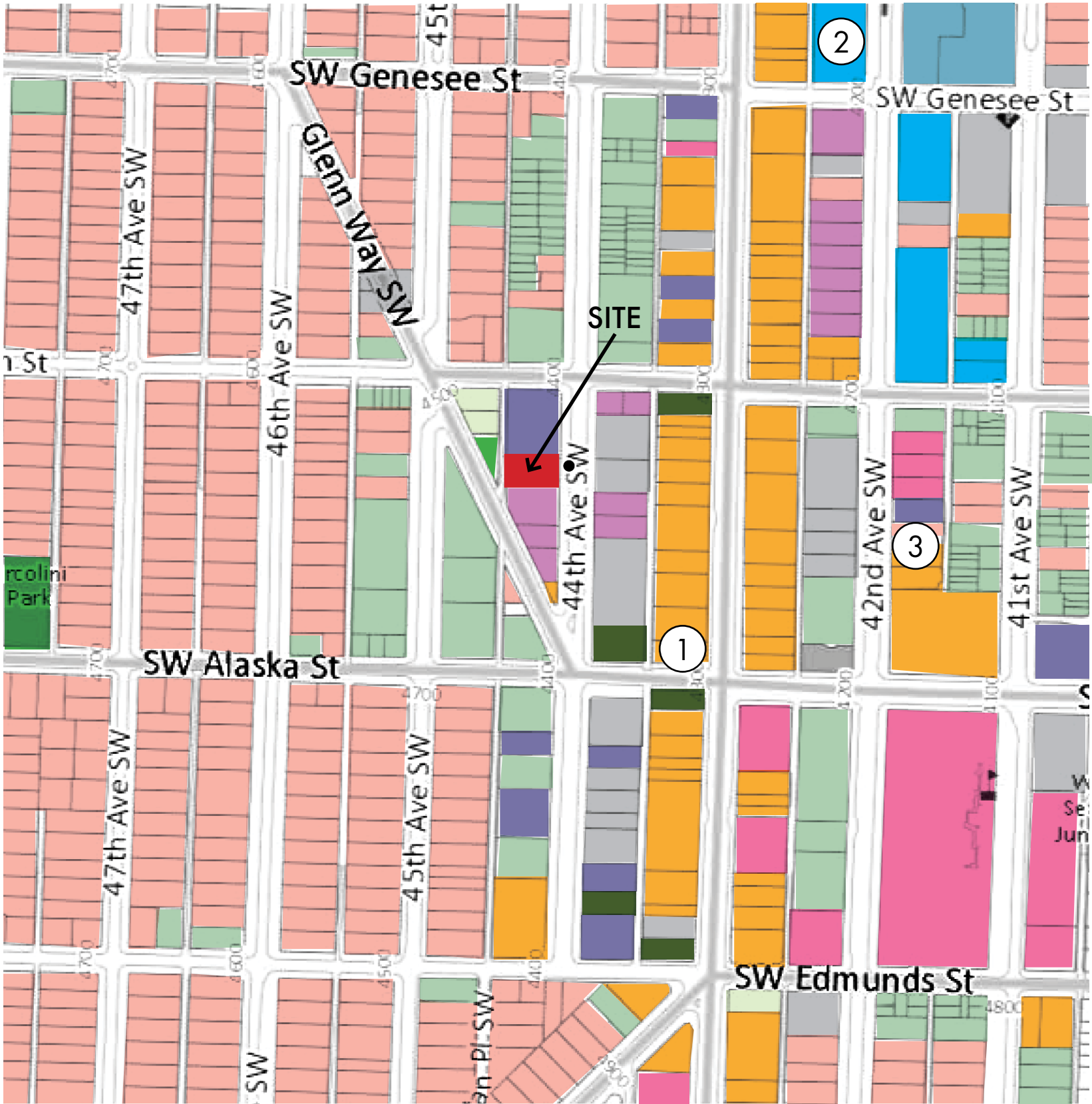
PROTECTED BIKE LANE (ON 8TH AVENUE NW)

Surrounding Uses

The site is located in an ideal location with access to several local amenities within walking distance such as retail, restaurants, bars, banks, grocery stores, and churches. Larger scaled buildings flank the location to the East, smaller residential scaled building flank the side to the West. The project will acknowledge this and respond accordingly to the contextual cues of its surroundings.

LEGEND

- PARKING
- OFFICE / RESIDENTIAL
- OFFICE
- APARTMENT
- COMMERCIAL MIXED USE
- CONDOMINIUM
- SINGLE FAMILY
- MULTIFAMILY
- TOWNHOUSE
- RESTAURANT / RETAIL
- GAS STATION
- SCHOOL
- COMMUNITY CENTER
- CHURCH
- PARK
- BANK



1 SURROUNDING USES



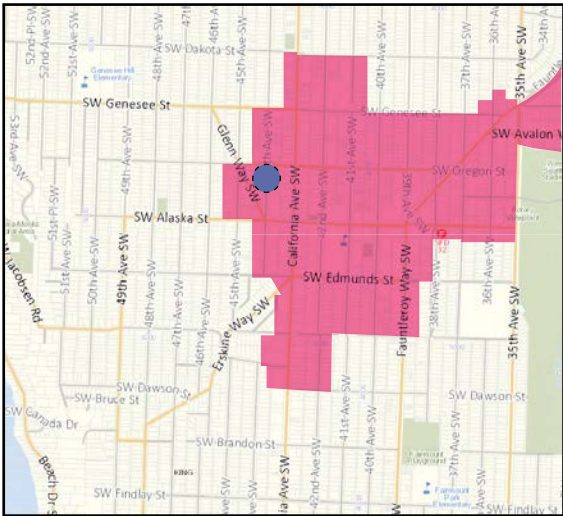
1 | Easy Street Records



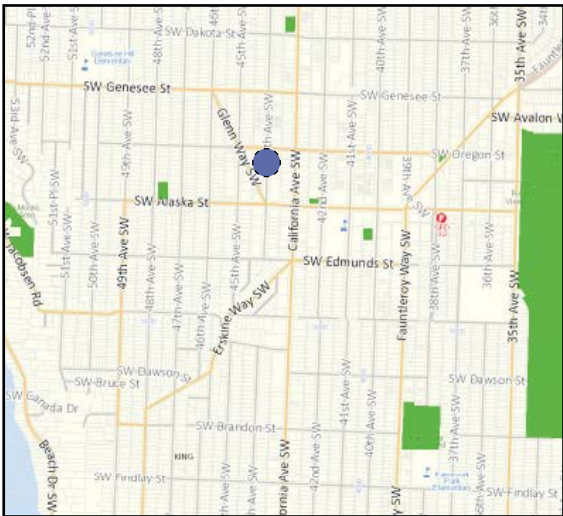
2 | Holy Rosary Catholic Church



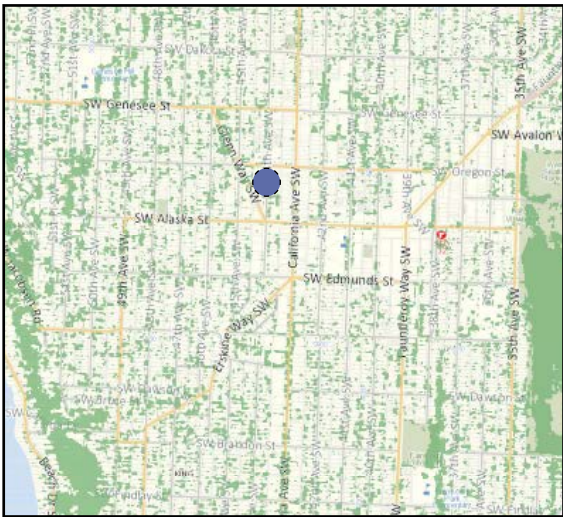
3 | Adell Apartments



WEST SEATTLE JUNCTION



ADJACENT PARKS



TREE CANOPY



① ZONING MAP

Neighborhood Zoning

The site is zoned NC2-55 (M) and within the West Seattle Junction Hub Urban Village Overlay. The site is surrounded by identical abutting zoning with low-rise zoning a block away to the north and west, higher density zoning to the east, and single family zoning further away towards the west.

The project is in located in a neighborhood that is densifying with many new mixed use and residential projects under construction or set to start building in the near future.

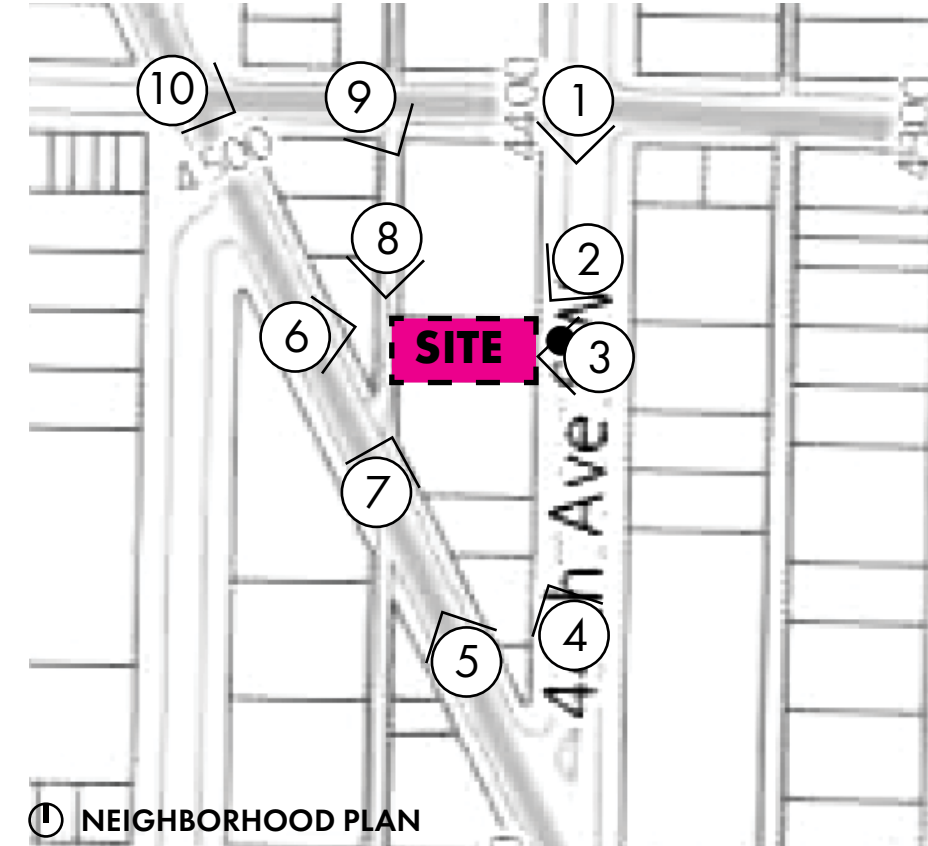
LEGEND

- NEIGHBORHOOD COMMERCIAL
- LOWRISE MULTI FAMILY
- RESIDENTIAL SMALL LOT
- SINGLE FAMILY

Streetscapes



Site & Surrounding Site Photos



Property Survey & Info

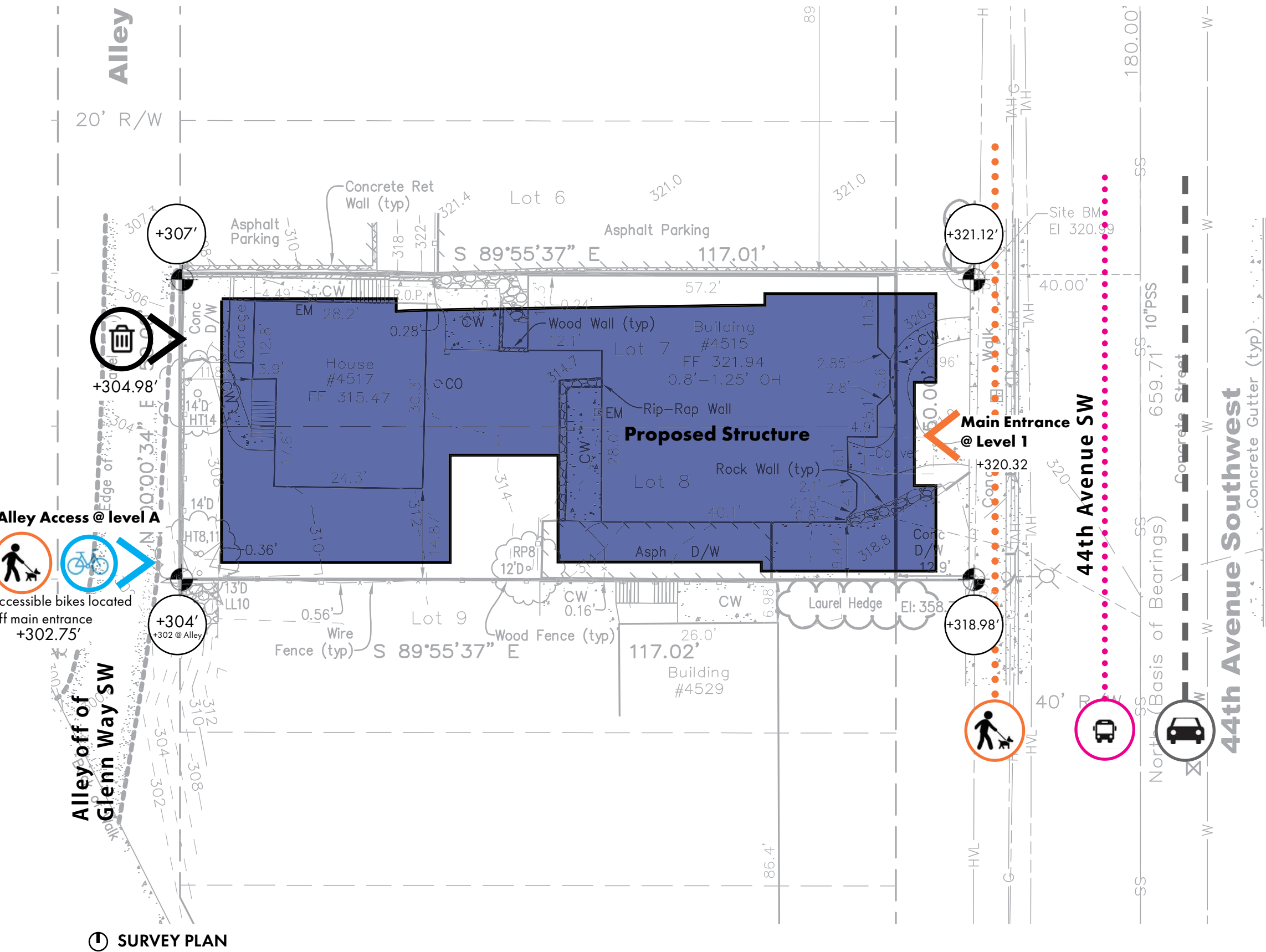
Topography

The highest point on the site is located at the northeast corner, staying relatively level, sloping down 2' along the street.

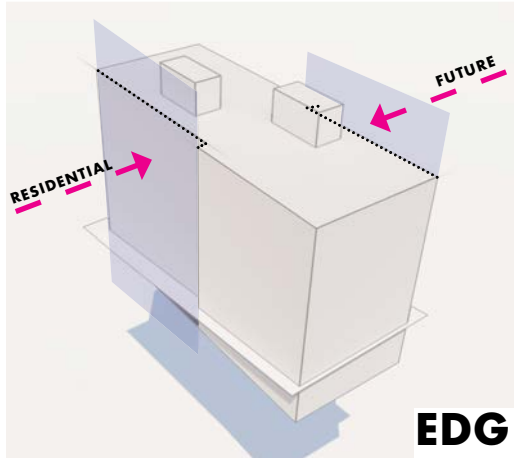
The lowest point is on the southwest corner, sloping up 4' along the alley. The delta of difference between the lowest and highest point is 18'.

Existing Development

The site is currently occupied by a small single story office building that faces 44th Ave SW plus a small single family home at the rear of the site near the alley. All structures are to be demolished as part of the new development.

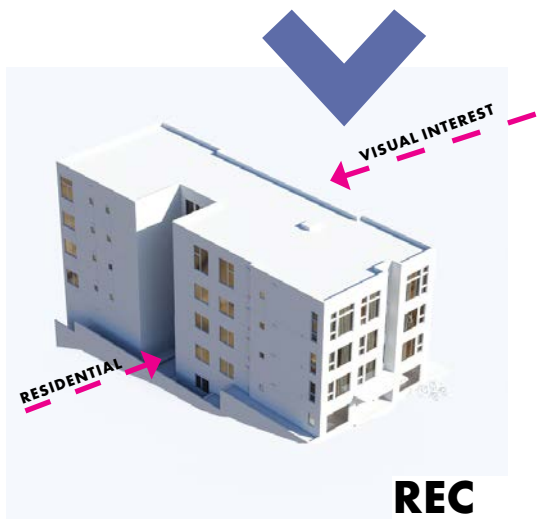


Project Goals

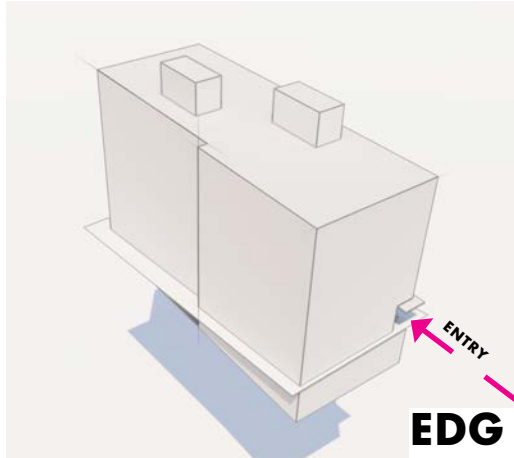


1) NEIGHBORS

Responding to neighbors are important; they create massing cues from what the project can respond to. Stepping away from the existing residential neighbor to the South will achieve optimal privacy, daylight, and air. The Northern neighbor is currently a parking lot but has a strong potential for development. Responding to and pulling back from that neighbor and it's future height at the street is also important for breaking down perceived scale.

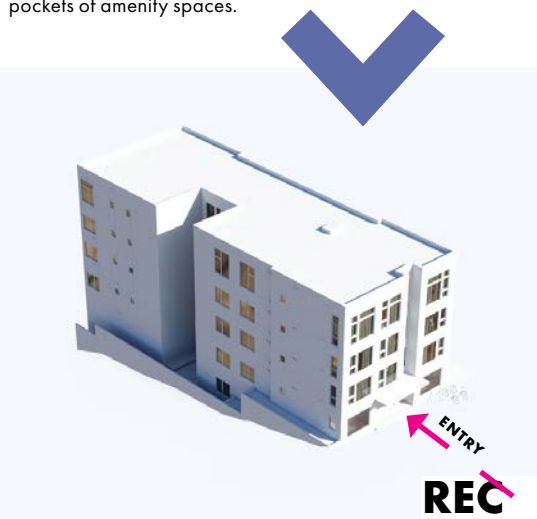


Along the south property line, the recessed courtyard off the alley was maintained to provide daylight and views to those units as well as maintain light and air to the adjacent property. Along the north property line which is prime for development, a strong façade creates prominence. Setbacks are maintained to break down the length of the building, windows are designed to provide interested, and horizontal datum lines are introduced to break down perceived scale and track with the adjacent topography. spaces.

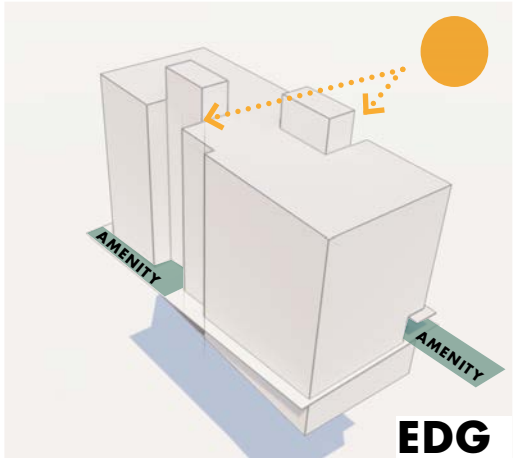


2) PEDESTRIAN

Given the direct proximity to transit and amenities, it is important that the entry have a strong but residential presence, have access to covered outdoor space and seating, and be connected to nature through landscaping. The front porch plays an important role in residential architecture; it creates a focal point, a sense of arrival, and overhead coverage. By designing a recessed entry sequence with the front porch in mind, the pedestrian realm has a strong sense of arrival, overhead coverage, and landscaped seating areas in pockets of amenity spaces.

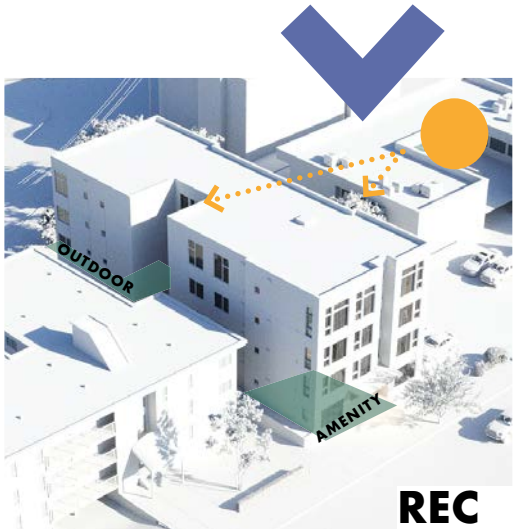


The entrance has been relocated to the front of the building, creating a stronger street presence, is easily visible and accessible, and promotes safety with more eyes on the street. The "front porch" concept is kept with a slight recess at the entry and an overhead canopy that provides protection. The seating resides inside the building so that landscape can be optimized to maintain a semi-private nature.

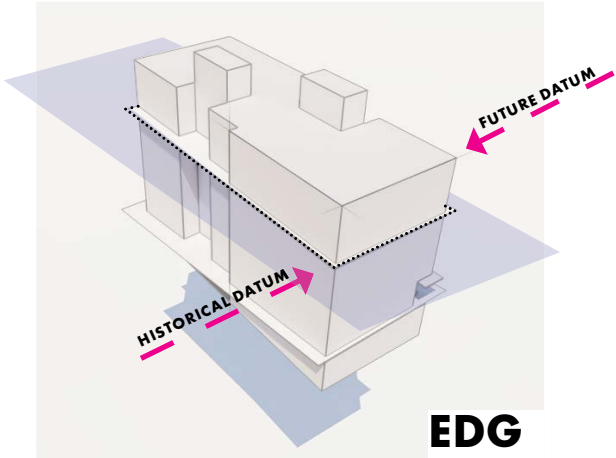


3) DAYLIGHT & AIR

Entry sequences and ground amenity spaces have been defined and are further enhanced by setting back the building additionally at key locations to create access to daylight and air. Setting the building back not only creates a focal point of pleasant spaces to inhabit at the ground level, but also provides residents and adjacent neighbors more access to daylight and air in the upper levels.

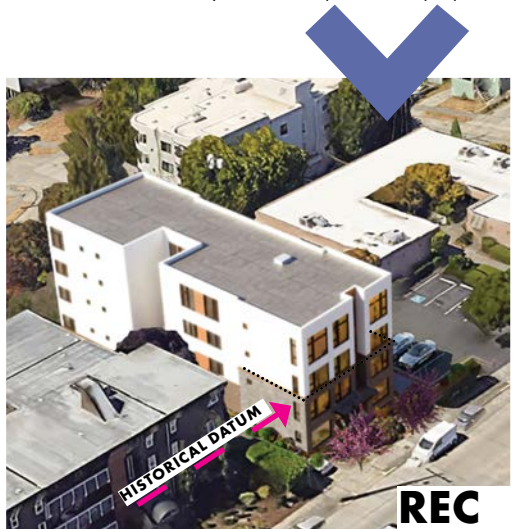


The setback at the SW corner of the site has been maintained but the amenity program and main entry have been relocated to the center to face the street to create more visibility and activate the entryway. This small shift in program at the entry still maintains daylight and air throughout the proposal.



4) HISTORICAL CONTEXT

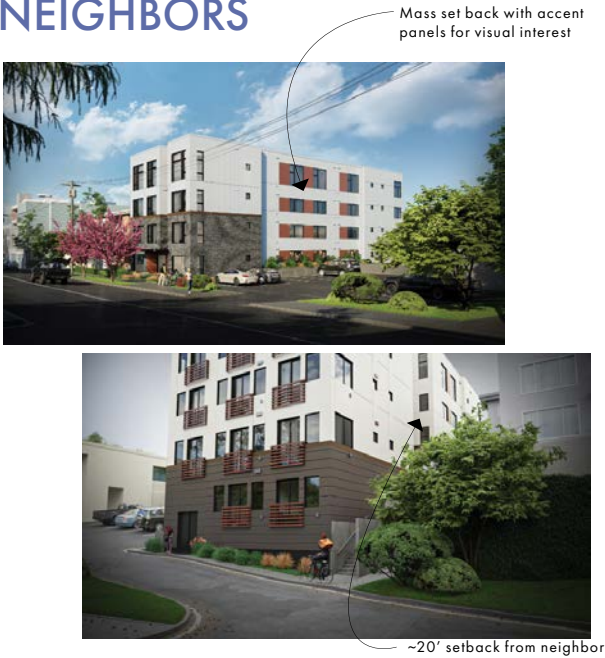
The Southern neighbor has another cue that adjacent development has responded to, the residential scale and height of the building. Although taller, adjacent development has responded to this datum through material changes. While this may not be the project's strategy of defining datums, it is important to recognize the historical references in the adjacent architecture. Defining the Southern neighbor's datum while also responding to the height of potential future development to the North will be a key transitional point in the project.



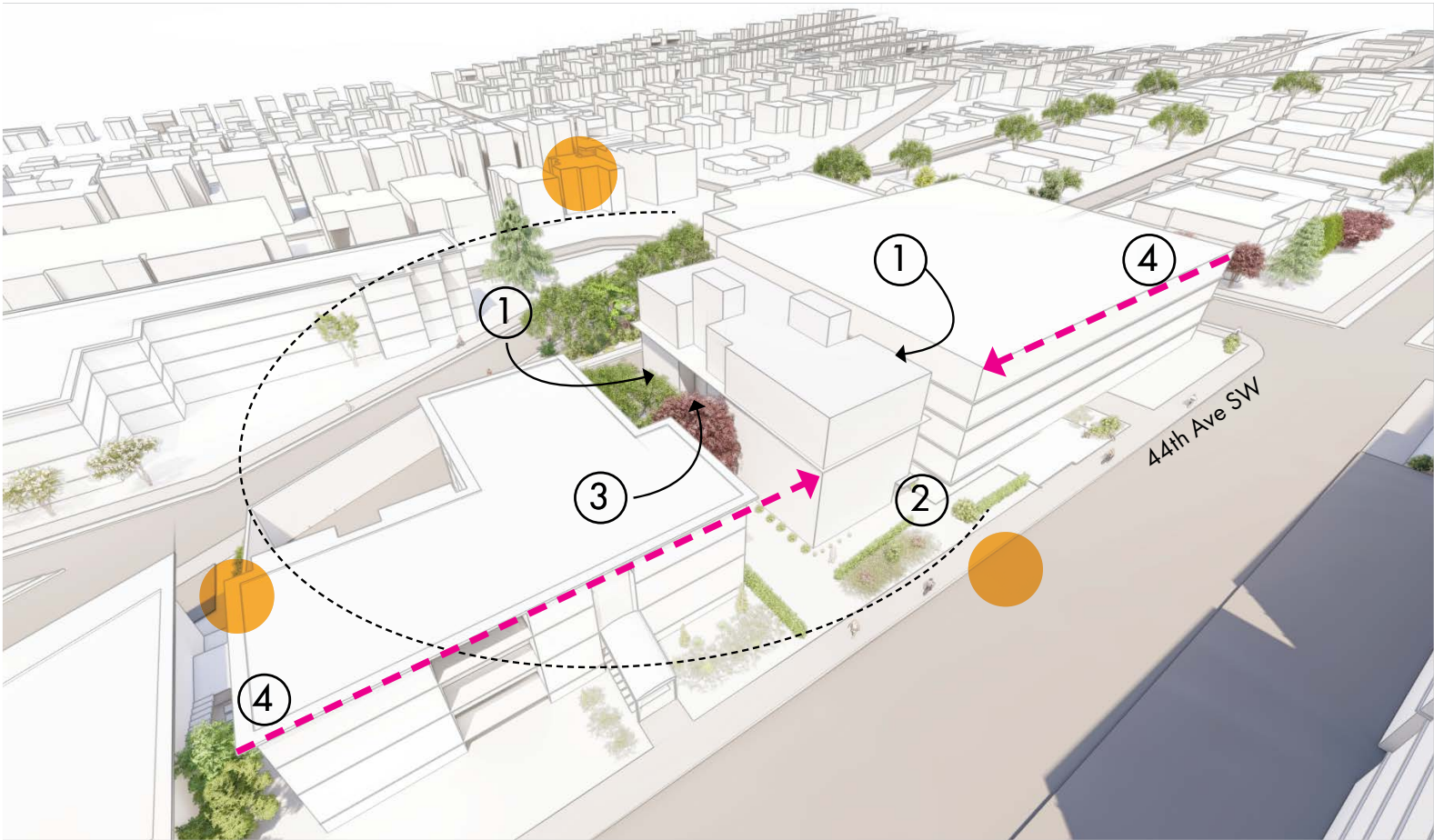
The project had proposed a subtle shift in the scale of the windows which was not a big enough move to respond to the historical context. Now, a horizontal datum has been proposed to create a stronger relationship between the adjacent neighbors and the overall context. The datum creates a defined heavy lower mass and a lighter upper mass. It also steps down the site along the sides and alley side of the building to track and scale with the adjacent topography.

Project Goals | EDG References Applied to REC Redesign

1) NEIGHBORS

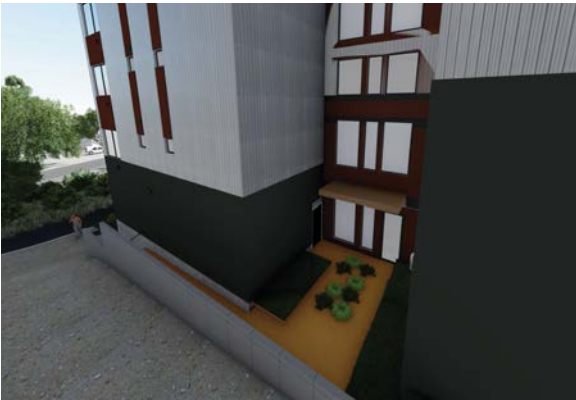


Pushing the mass back to break down perceived scale



PARTI DIAGRAM PERSPECTIVE LOOKING NORTHWEST

3) DAYLIGHT & AIR



Landscape spaces off the alley
Light & air to residences off the courtyard

4) HISTORICAL CONTEXT



Create a strong horizontal datum that breaks down the perceived scale
Create a strong upper datum that references the height of the Southern neighbor
Reference the historic storefronts in the neighborhood by using a similar design approach for the amenity spaces off the street

2) PEDESTRIAN



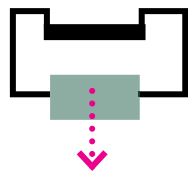
Canopy creating a sense of entry & overhead coverage



North Section @ Planters

Stepping down the site with planters of mixed materials

Elements Supported by the Staff



Option A | Southern Focus



47 Residential Units

302 sf Average (gross)

Max FAR	21,937 sf
Proposed FAR	20,571 sf
Vehicular Parking	0 Stalls
Bike Parking	47 long term stalls req'd & provided
Amenity Area	1,053 sf req'd, 1,472 sf provided

Pros

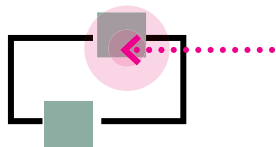
- Entrance off of the northern high point of the site. This could encourage future development to respond accordingly.
- Southern units have exposure to sunlight.
- The mass is pulled in on the northern and southern units and further pulled in at the corridors to give the building texture and depth.

Cons

- Orienting the stairs along the north property line could create blank facades for the adjacent neighbors.
- Amenity at the south will have limited access to daylight and will feel cavernous adjacent to the stairs and the neighboring building.
- Should future North neighbor develop, daylight and open space would be negatively impacted.

Departures - None

Combining Elements from both Option A & C



Option B | North Node



37 Residential Units

349 sf Average (gross)

Max FAR	21,937 sf
Proposed FAR	17,608 sf
Vehicular Parking	0 Stalls
Bike Parking	37 long term stalls req'd & provided
Amenity Area	901 sf req'd, 1,384 sf provided

Pros

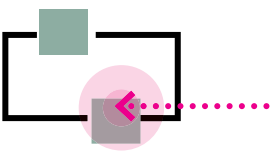
- Amenity is located off the entrance which allows for landscaping, seating, and a generous covered entryway.
- The entrance is located North at the high point of the site, enhancing it as a focal point. This could also encourage future development to respond accordingly.
- Amenity space is located off the alley, close to the street for easy bike access and social space.
- Balconies at the alley will have views towards a pocket park.
- The stairs are located on opposite facades and are centrally located in the site, providing maximum daylight to the neighbors. This move also carves away at the overall massing to provide more light into units and amenity spaces at the ground plane.
- There are 4 stories with a mezzanine on the upper floor, promoting diversity in units.

Cons

- The entrance off the high point of the site will create a tall basement level off the alley

Departures - None

Elements Supported by the Staff



Option C | Entry Amenity (Preferred Scheme)



43 Residential Units

320 sf Average (gross)

Max FAR	21,937 sf
Proposed FAR	17,307 sf
Vehicular Parking	0 Stalls
Bike Parking	43 long term stalls req'd & provided
Amenity Area	885 sf req'd, 926 sf provided

Pros

- Building is considerably lower in height than the other two options.
- Primary amenity is located off the entrance which allows for landscaping, seating, BBQ area, and a generous covered entryway.
- The entrance is located North at the high point of the site, enhancing it as a focal point. This could also encourage future development to respond accordingly.
- The south facing open air court provides visual interest and sunlight down to the lower building level circulation area.
- Balconies at the alley will have views towards a pocket park.
- The stairs are located on opposite facades and are centrally located in the site, providing maximum daylight to the neighbors. This move also carves away at the overall massing to provide visual massing interest.

Cons

- None.

Departures - None

Notable Evolutions:

EDG
A

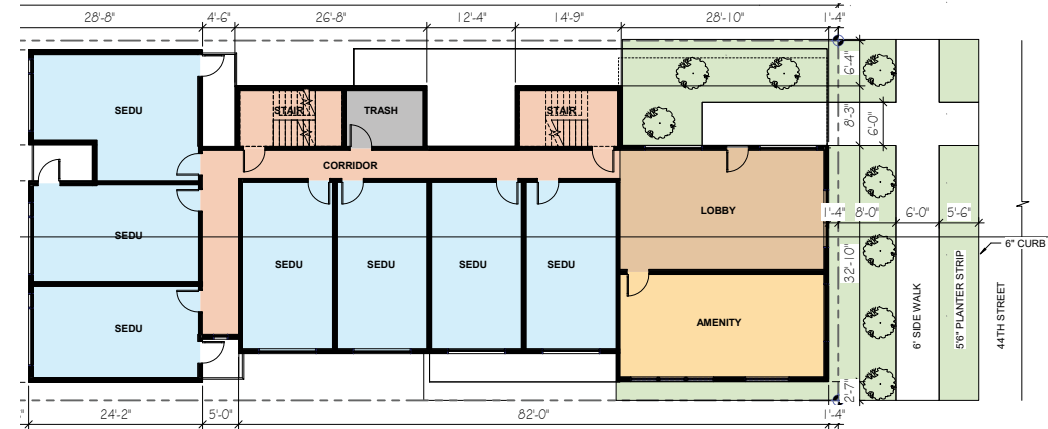
+

EDG
C

11

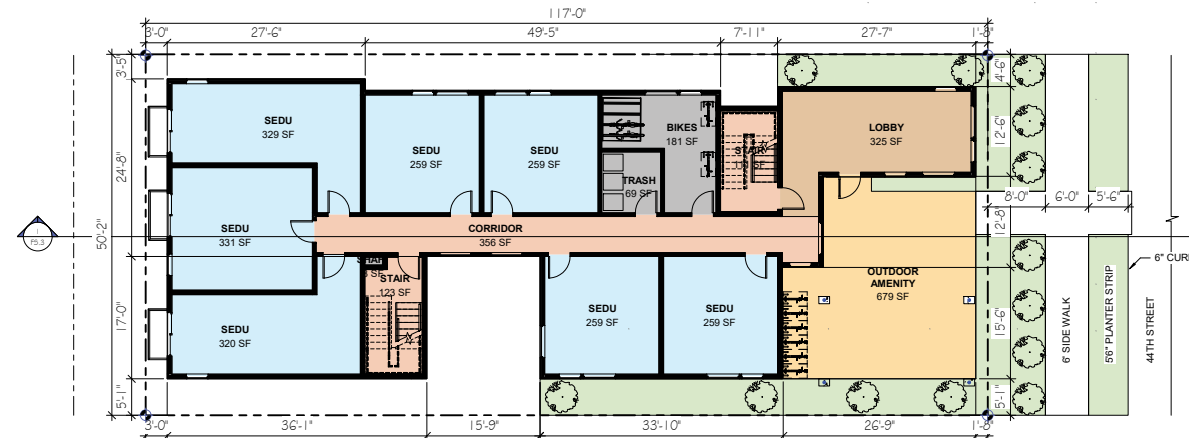
REC CURRENT DESIGN

EDG | Option A @ Level 1



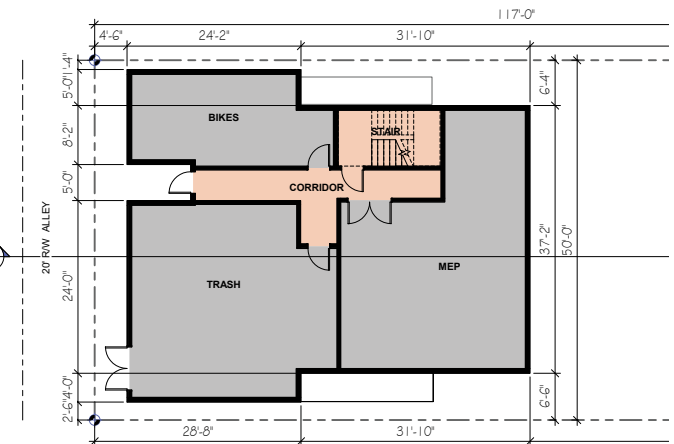
LEVEL 1

EDG | Option C @ Level 1

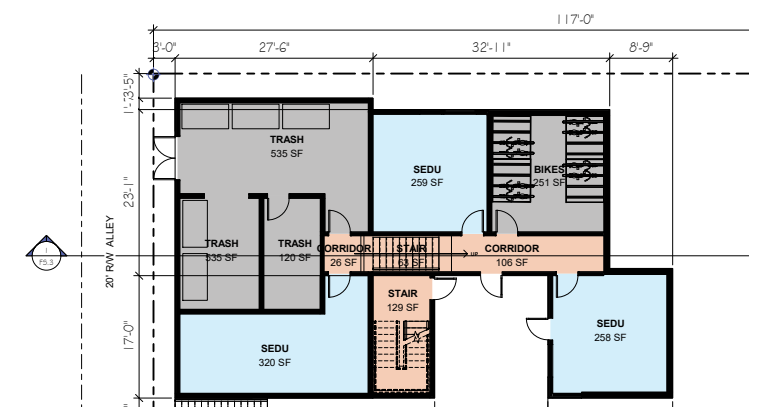


LEVEL 1

EDG | Option A @ Level A



① LEVEL A

EDG | Option C @ Level A

① LEVEL A

REC Current Design

After studying the merits and disadvantages from the EDG staff guidelines, components from Option A and C were folded in to create a hybrid solution in the REC Current Design. Some highlights are:

- Cohesive massing and composition.
- Stacking the residential program along the street facade so that a distinctive ground level was created.
- Prominent, generous and active residential entry.
- Enclosing the amenity space addresses concerns of security, dark recessed unhabitable spaces.
- Consolidating and enclosing the amenity and lobby space activates the ground level.
- BOH program located on lower level A
- Lower level A units consolidated.

REC | Current Design Level 1



① LEVEL 1

REC | Current Design Level A

LEVEL A

Design Guidance



Data LDEO-Columbia, NSF, NOAA

Priorities & Board Recommendations

Public Comment

SDCI staff received the following design related comments:

- Opposed to the proposed development.
- Felt the proposed four-story building resembled a five- or six-story building due to the taller height of each story.
- Concerned about reduced sunlight access to neighboring properties.
- Preferred more green space.
- Observed that West Seattle has experienced tremendous growth in recent years.
- Stated that the alley to the west of the proposed structure requires substantial maintenance and repair.

SDOT Comment

- The Seattle Department of Transportation offered the following comments:
- Stated the project is required to meet the minimum standards of street trees in a 5.5’ planting strip between a 6” curb and 6’ sidewalk on the site’s frontage.
- Observed that these minimum dimensions were not reflected in the design review proposal dated 8/19/2020.
- Stated that all solid waste collection and vehicle access is required from the alley.
- Stated that all structures shall be designed to accommodate the grade of future alley improvements.

1| Architectural Concept

a. Further develop and describe the architectural concept in text and images. Describe further refinement of the **architecture massing, detailing and materials selection** as a way to support the presented concept. . DC2-I Architectural Concept and Consistency

b. The Design Priorities (page 20) and priority guidelines identified (pages 17-18) both indicate context of high importance in this neighborhood and on this block.

Acknowledging public **concern regarding the height and bulk of the proposed building within the existing context**, the graphics on the site plans, elevations and renderings, however, do not explain, or accurately portray, context and do not illustrate how the proposed building bulk, scale or forms relate to the context. In the Recommendation phase, **expand the context** diagrams to show the project in relationship to neighboring properties, including potential build out of underdeveloped lots.

Use examples of other developments in the nearby NC zone for reference if necessary. Show datum lines (or other contextual references) in elevations or renderings to show relations of height and massing to surroundings – or, if relevant, how the project is setting precedent for future developments.

c. The massing elevations or renderings in the EDG package do not show the building proposals accurately in relationship to the front setback, adjacency to the building to the south, or the slope/grade changes to the properties to the west. Without this information, the relationships of proposed massing to context is impossible to assess. Any future massing proposal must be accompanied by accurate depictions of the spatial qualities of the proposal and how these proposed building is responding to, and enhancing, the neighborhood context. CS2-D-1. Existing Development and Zoning, CS3A-4. Evolving Neighborhoods, CS3-I Architectural Context.

2| Architecture - Massing

a. Front Façade. The east front façade massing of Option A is supported by staff. In a developing NC zone, the logical **stacking of residential floors above a distinctive ground level helps to create a strong street facing façade.** CS2-C-2. Mid-Block Sites, CS2-I-i. Street Wall Scale, CS2-III-iii. Façade Articulation, CS3-I-i. Façade Articulation, CS3-I-ii. Architectural Cues, PL2-B-1. Eyes on the Street

b. Massing Options. Neither of the two façade massings presented in Options B and C are supported. The massing of Option B appears top heavy and does not relate to context. The lower, middle and upper levels do not present a cohesive massing concept. Although the overall proportions of Option C work as a composition, and appear to mimic some of the nearby historic residential structures, the form is not yet responsive to **enhancement of the public realm at ground level** important in an NC zone. **The extreme recess of the façade at the street level creates a dark void** that creates separation between the sidewalk and building instead of linking the uses together. CS2C-2. Mid-Block Sites, CS2-I-i. Street Wall Scale, CS2-III-iii. Façade Articulation, CS3-I-i. Façade Articulation, CS3-I-ii. Architectural Cues, PL2-B-1. Eyes on the Street

c. Ground Level. The architectural expression of the ground level on this option, however, needs further definition to serve as a **strong base to the building**. Create visual hierarchy by making the level appear to be higher than the other floors by **inserting a datum line or massing modulation to highlight the ground level**. The level of the first floor should have a **positive relationship to the sidewalk level** (either level with the sidewalk or above). **Rotate the entry door to face the street** and relocate to a location that can be **emphasized by the other architectural moves** (in line with the upper level modulation, for example) to clarify wayfinding. The **northeast corner of the ground floor should meet the ground** to create a strong street wall. CS2-C-2.

The northeast corner of the ground floor

should meet the ground to create a strong street wall. CS2-C-2. Mid-Block Sites, CS2-I-i Façade Articulation, CS3-I-ii. Architectural Cues, PL2-B-1. Eyes on the Street

d. Upper Levels. The modulation of the upper levels creates a proportional massing break and emphasizes the verticality of the massing. **Continue to develop detailing that unifies the façade with detailing and material application.** CS2-C-2. Mid-Block Sites, CS2-I-i. Street Wall Scale, CS2-III-iii. Façade Articulation, CS3-I-i. Façade Articulation, CS3-I-ii.

e. Side and Rear Façades. The west and south facing façades will be very visible from a distance due to the steep slope of the topography. Considering the views available, balconies on Option A should be revised both to add finer grain to the massing design but also to enhance the interior spaces. With a 4’-6” setback on the west façade, balconies of a usable size should be added on the west façade (similar to those on Option C). Unusable balconies (as shown on SE and SW units) should be eliminated. **Add juliet balconies (or larger if possible) to the upper levels of the south facing units to add variety and texture to that façade.** (Consider use of juliet balconies on the east façade to add finer grain detail and to relate to the south façade.) CS3-I-i. Façade Articulation

f. North Façade. The north façade will be very visible for the foreseeable future due to the low scale of the adjacent development. Although the massing on the north façade has some large blank walls, the modulation of forms and window openings prevent the forms from being too static. Continue to consider ways to **mitigate the visual impacts with materials, detailing, etc., on the solid walls.** CS3-I-i. Façade Articulation

3| Architecture - Layout

a. Generally, the interior layout of uses of Option A is supported by Staff. By **consolidating the lobby and amenity space near the accessible entrance**, the residential uses of the building are emphasized. By locating the mid-building units to face south, **daylight and views can be maximized.** The layout of services, with solid waste, mechanical and bike room access grouped in the lower level, keeps these uses out of general residential use and circulation on floors above. DC1-A Arrangement of Interior Uses, CS1-B Sunlight and Natural Ventilation

b. The entry sequence of Option A should be revised to create a clearly **defined, generous residential entry.** As noted, the entry door should be relocated to be more prominent on the street-facing façade. **The lobby and interior amenity space should be coordinated with circulation and ground floor uses.** Any outdoor use spaces (see further notes in the Site section) should be easily accessed from, and connected to, interior spaces for usability. CS2-B-2. Connection to the Street, PL2-D-1. Design as Wayfinding, PL3-A-2. Common Entries

c. **Location of exterior amenity spaces under building overhangs is not supported.** In Option B, the spaces located west of the entry and at the alley have no clear connections to interior spaces for ease of use of the residents. Additionally, the amenity space at the alley, with no building enclosure, has no visibility in or out and does not create a safe space for resident use. As noted previously, this amenity space likely does not meet ADA. In Option C, the exterior space provided at the street frontage also has no connection to interior spaces. Location of this space will place it in shadow yearround which will not be conducive to active outdoor use. Note: bike storage/parking should not be located in amenity spaces. PL1-C-1. Selecting Activity Areas

d. **Residential units on the alley level, especially separated by services** as shown as in Option C, are not supported. PL3-B-2. Ground-level Residential

4| Materials

a. Although a materials precedent page was included in the EDG package, no renderings of proposed materials or locations of materials on the options massing were indicated. In general, the **use of brick, stone, and metal panels, with accents of wood and other high quality materials is supported.** These materials should be incorporated in the facades in a way that **supports the building architectural concept** and should relate to the character of the evolving character of the block as well and the expanding commercial context of the Junction Urban Village. Include precedent images of buildings within the local NC zone to relate material selection to context. DC4-A Exterior Elements and Finishes

b. Use material choices to **highlight the ground floor** hierarchy and to **link the upper massing** to the base. CS2-III-iii. Façade Articulation

c. As noted, the sides and rear facades will be very visible. Wrapping volumes with high quality façade materials, and detailing at modulations of bays, windows, balconies, etc., should **visually connect the architectural concept from the front façade around all four sides** of the building. DC2-I-ii. Cohesive Architectural Concept

Priorities & Board Recommendations, Continued

5| Site

- a. The natural grade change on the site, from the east property line at the street to the west property line at the alley, is significant. In order to understand how the building is relating to the site context and how the site plan relates to building uses, include a grading plan in the Recommendation phase. Include spot elevations at site conditions to remain (adjacent properties and rights-of-way), grade arrows and intended slopes along pedestrian walkways, spot elevations at tops and bottoms of walls (including bioretention planters and other terraces) and at tops and bottoms of stairs. CS1-C Topography
- b. As noted, ensure the relationship of the entry floor level to the sidewalk level is positive. Use terracing to create private outdoor spaces accessible by the ground floor units along the south façade by terracing. **Locate stepped bioretention planters** along the north façade setback where pedestrian access would be less useful. **Ensure grading at the alley accounts for the slope** where services need access. CS1-C Topography
- c. With revisions to the building entry sequence noted above, look at ways to **develop the public realm** of the project that also further refines the entry sequence between the new sidewalk and the front door. A small entry plaza with amenities like seating, lighting, weather protection, enhanced plantings, etc. should be developed to enhance the usability and visibility of the entry area. CS2-B-2. Connection to the Street, PL1-A-2. Adding to Public Life, PL1-B-3. Pedestrian Amenities, PL2-II-i. Street Amenities
- d. **Assess where indoor and outdoor amenity space is located and accessed.** Ensure outdoor spaces are located with clear physical and visual access from circulation or other indoor spaces for convenient access and safety. The location of open space accessible only through a stairway, as in Option B, is not supported. The location of open space only accessed via the lower level, and therefore not meeting ADA, is not supported. DC3-A Building-Open Space Relationship, DC3-B Open Space Uses and Activities, PL3-B-4. Interaction
- e. Any landscaped areas proposed under building overhangs will need a permanent, yearround irrigation system.
- f. Location of the bike room on the lower level, accessed from the alley is supported. Location of bike storage where bikes need to be carried through residential lobbies and hallways is not supported. PL4-B-2. Bike Facilities, PL4-A-1. Serving all Modes of Travel

Departures

Standards Applicable to Specific Areas
23.47A.024.B.2

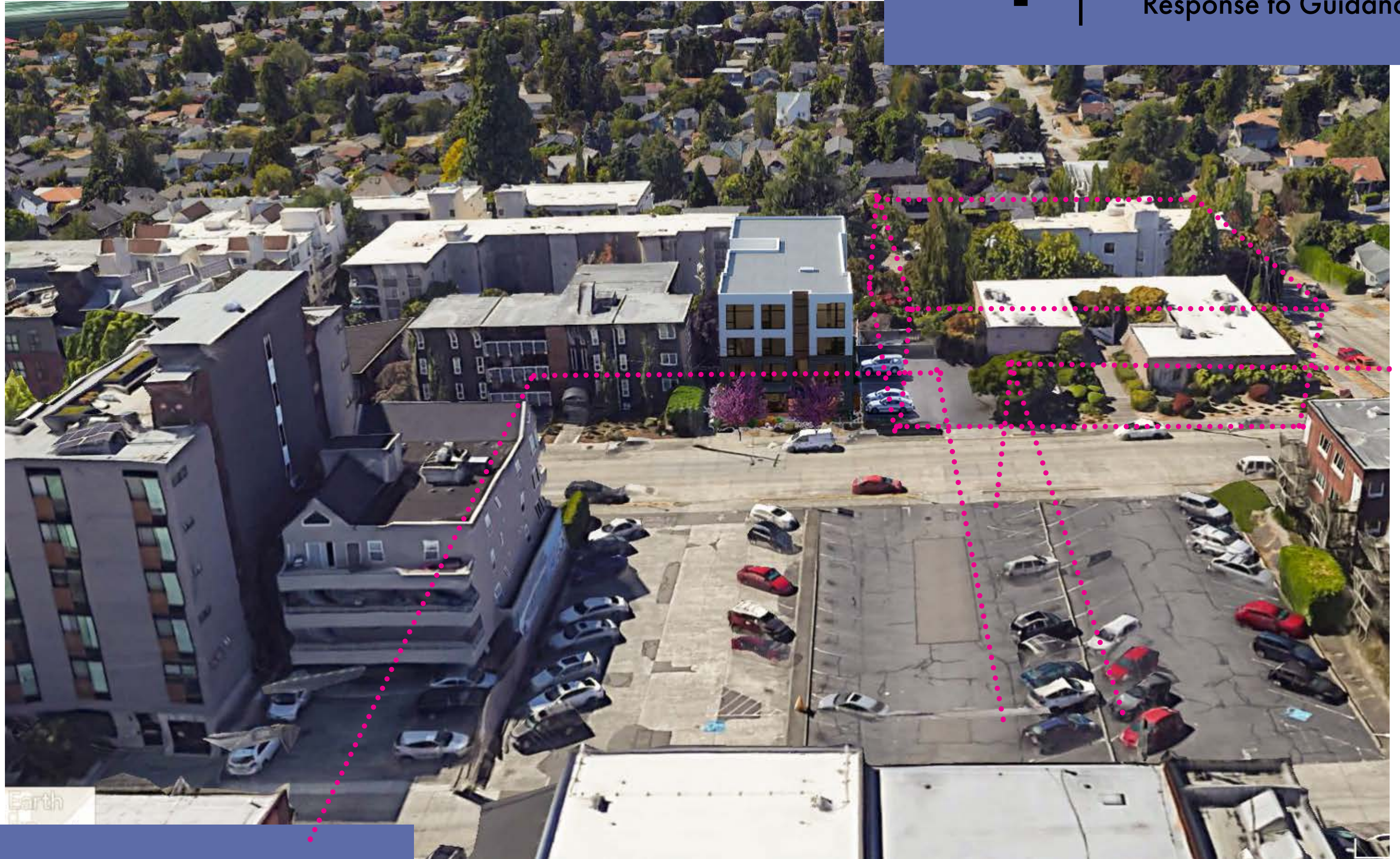
Requirement

23.47A.024.B.2 Refers to a subtext requirement for amenity space and specifically requires that “amenity areas shall not be enclosed.”

SDCI tip 238 lists departable item exceptions - enclosed amenity space is not included in the list.

Request

To provide enclosed amenity space to better align with the design guidelines. See page 47 for details.



a. Further develop and describe the architectural concept in text and images. Describe further refinement of the **architecture massing, detailing and materials selection** as a way to support the presented concept. . DC2-I Architectural Concept and Consistency

EDG DESIGN GUIDANCE:

b. The Design Priorities (page 20) and priority guidelines identified (pages 17-18) both indicate context of high importance in this neighborhood and on this block.

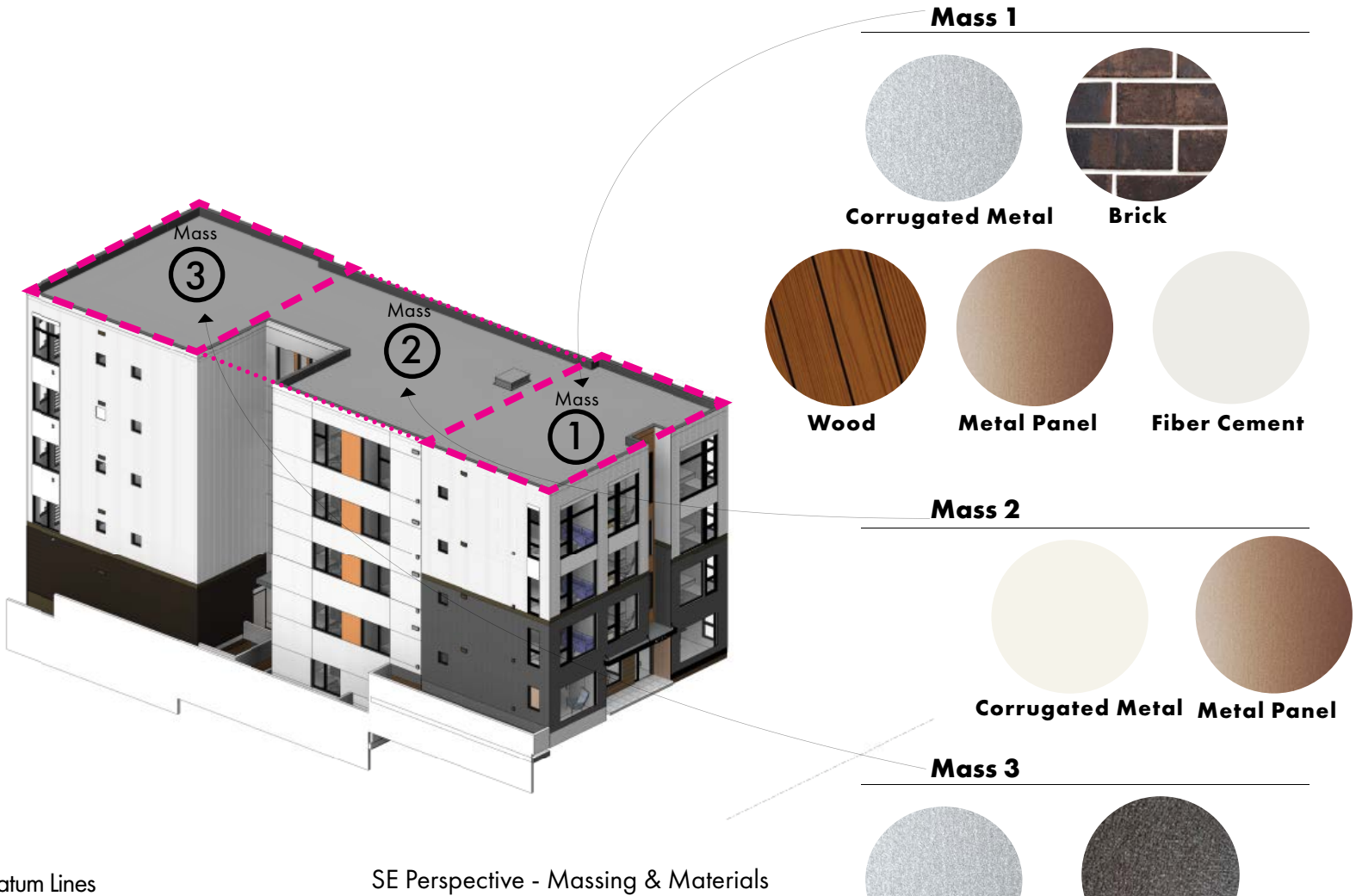
Acknowledging public concern regarding the height and bulk of the proposed building within the existing context, the graphics on the site plans, elevations and renderings, however, do not explain, or accurately portray, context and do not illustrate how the proposed building bulk, scale or forms relate to the context. In the Recommendation phase, **expand the context** diagrams to show the project in relationship to neighboring properties, including potential build out of underdeveloped lots. Use examples of other developments in the nearby NC zone for reference if necessary. Show datum lines (or other contextual references) in elevations or renderings to show relations of height and massing to surroundings – or, if relevant, how the project is setting precedent for future developments.



ADELL APARTMENTS
Dark Mullions, Heightened Entryways



CAMPBELL BUILDING
Dark Brick, White Accents, Defined Datum Lines



RESPONSE:

a. The proposal’s massing is broken up into 3 distinct masses. Mass 1 facing the street and mass 3 facing the alley are similar in design so the alley receives the same high-quality treatment as the street. Mass 2 takes on unique characteristics that stitch the other two together and their scale is broken down vertically. Masses 1 and 3 have a horizontal datum that further breaks the scale at the street and alley, keeping dark textured materials at the base and lighter profiled metal paneling at the upper levels.

b. The redesign reintroduces the recessed design over the main entrance as recommended by city staff. The north and south elevations have a simple design with profiled metal panel and accents to provide visual interest. The horizontal datum on Mass 1 and 3 breaks down the perceived scale and relates to the stepping of the natural topography. To minimize the perceived bulk and height, the proposal is nearly 4,000 Sq. Ft. below allowable FAR and more than 7’ below the maximum height limit and provides setbacks, one of over 20’, in key locations that reduce perceived scale which reinforce the parti diagram.



EDG Option C

44th Avenue SW - Looking South



REC Current Design

44th Avenue SW - Looking South



a. Front Facade. The east front façade massing of Option A is supported by staff. In a developing NC zone, the logical **stacking of residential floors above a distinctive ground level helps to create a strong street facing façade**. CS2-C-2. Mid-Block Sites, CS2-I-i. Street Wall Scale, CS2-III-iii. Facade Articulation, CS3-I-i. Facade Articulation, CS3-I-ii. Architectural Cues, PL2-B-1. Eyes on the Street.

EDG DESIGN GUIDANCE:

b. Massing Options. Neither of the two façade massings presented in Options B and C are supported. The massing of Option B appears top heavy and does not relate to context. The lower, middle and upper levels do not present a cohesive massing concept. Although the overall proportions of Option C work as a composition, and appear to mimic some of the nearby historic residential structures, the form is not yet responsive to **enhancement of the public realm at ground level** important in an NC zone. **The extreme recess of the façade at the street level creates a dark void** that creates separation between the sidewalk and building instead of linking the uses together. CS2C-2. Mid-Block Sites, CS2-I-i. Street Wall Scale, CS2-III-iii. Facade Articulation, CS3-I-i. Facade Articulation, CS3-I-ii. Architectural Cues, PL2-B-1. Eyes on the Street

c. Ground Level. The architectural expression of the ground level on this option, however, needs further definition to serve as a **strong base to the building**. Create visual hierarchy by making **the level appear to be higher** than the other floors by inserting a datum line or massing modulation to highlight the ground level. The level of the first floor should have a positive relationship to the sidewalk level (either level with the sidewalk or above). Rotate the **entry door to face the street and relocate to a location that can be emphasized by the other architectural moves** (in line with the upper level modulation, for example) to clarify wayfinding. **The northeast corner of the ground floor should meet the ground** to create a strong street wall. CS2-C-2. Mid-Block Sites, CS2-I-i.



44th Avenue SW - Looking West



Aerial Perspective - Looking Southwest

REC Current



Focal point created at entry

Amenity space clad in wood

REC Current



High quality materials brought down to grade

RESPONSE:

a,c. Using Option A EDG proposal as a reference, the street façade (East) was further developed to refine the logistical stacking of residential floors. Window alignments are key to enforce the stacking language. A horizontal datum line has been added to create a more distinctive ground level and stronger street façade that relates to the adjacent context. Brick anchors the distinct program of the amenity space at the pedestrian level (departure requested, see preceding pages) and the NE corner to create a strong street wall. A vertical carveout in the façade creates a focal point for the entry and establishes hierarchy over the entry. The canopy has been located higher to emphasize the hierarchy. The entry door now faces the street, is slightly recessed, and is clad in wood to highlight the entrance with high quality materials.

b. The current option takes on façade cues most like Option A with stacking residential program, removing the setback creating the dark void and proposing an enclosed amenity space (departure requested). The massing moves mimic those of Option C that create distinct setbacks along the length of the property into 3 main massing moves emphasized by material transitions. To better respond to the adjacent context, a horizontal datum line was introduced that also breaks down the perceived height between upper and lower levels. To better respond to the larger context, high quality materials like brick and profiled metal panel are proposed, strong horizontal datum lines are also apparent in the neighborhood, and colored accent panels are utilized to align both vertical and horizontal elements that create overall cohesive façades.

f. North Façade. The north façade will be very visible for the foreseeable future due to the low scale of the adjacent development. Although the massing on the north façade has some large blank walls, the modulation of forms and window openings prevent the forms from being too static. Continue to consider ways to **mitigate the visual impacts with materials, detailing, etc., on the solid walls**. CS3-I-i. Facade Articulation

EDG DESIGN GUIDANCE:

d. Upper Levels. The modulation of the upper levels creates a proportional massing break and emphasizes the verticality of the massing. Continue to develop **detailing that unifies the façade with detailing and material application**. CS2-C-2. Mid-Block Sites, CS2-I-i. Street Wall Scale, CS2-III-iii. Facade Articulation, CS3-I-i. Facade Articulation,



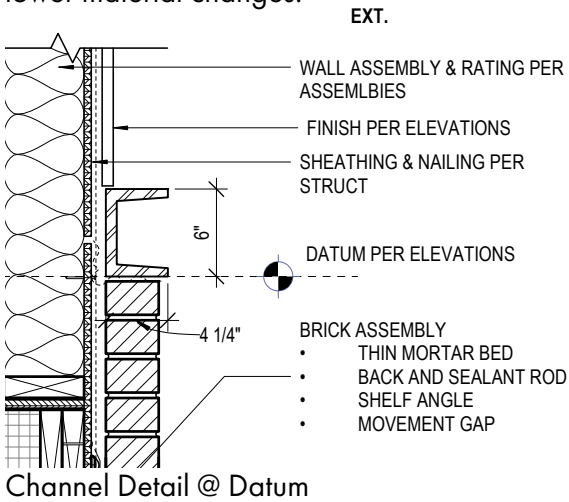
① LEVEL 2-4



North Elevation

RESPONSE:

The 3 distinct masses vary in distance from the property line allowing windows to give distinct characters to each mass. High quality dark materials such as brick and metal panel define the lower levels. This material steps down the site, following the topography and breaking down the perceived scale. Planters step down the site that provide greenery and texture at grade. A lighter material is used for the upper floors to emphasize the horizontal datums and provide visual relief. The horizontal bands are a different material that helps transition and accentuate the upper and lower material changes.



EXT.



North Section @ Planters



44th Avenue SW - North View from Sidewalk

e. Side and Rear Facades. The west and south facing façades will be very visible from a distance due to the steep slope of the topography. Considering the views available, balconies on Option A should be revised both to add finer grain to the massing design but also to enhance the interior spaces. With a 4'-6" setback on the west façade, balconies of a usable size should be added on the west façade (similar to those on Option C). Unusable balconies (as shown on SE and SW units) should be eliminated. **Add juliet balconies (or larger if possible) to the upper levels of the south facing units to add variety and texture** to that façade. (Consider use of juliet balconies on the east façade to add finer grain detail and to relate to the south façade.) CS3-I-i. Facade Articulation

EDG DESIGN GUIDANCE:

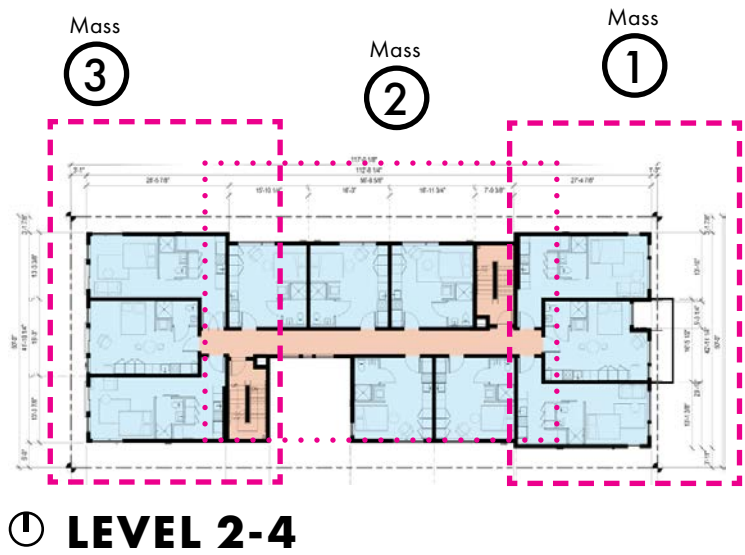
d. Upper Levels. The modulation of the upper levels creates a proportional massing break and emphasizes the verticality of the massing. Continue to develop **detailing that unifies the façade with detailing and material application.** CS2-C-2. Mid-Block Sites, CS2-I-i. Street Wall Scale, CS2-III-iii. Facade Articulation, CS3-I-i. Facade Articulation,

RESPONSE:

d. e., Because the proposal will be highly visible from the south, a lightwell and courtyard break up the façade with a setback of over 20' to provide distinction in the massing. The profiled metal panel will provide shadow contrast for visual interest. For the West alley facing façade, the same material language is carried through as the street facing East facade for consistency. Metal Juliette balconies are included to provide visual interest and takes advantage of the views out to the pocket park.

Due to limited opening requirements by the SBC along the North and South property lines, the upper plans proposed favors the layout most like option C by concentrating balconies on the West façade facing the pocket park across the alley. Double slider doors maximize views out towards the park.

Regarding balconies on the street facing façade, it was felt the design had the strongest street presence with the brick façade and stacking residential program. Additionally, the power pole setback requirements also prevent the ability of usable space for balconies.



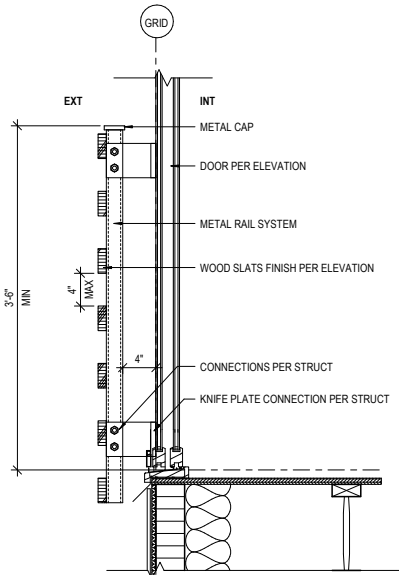
South Elevation



Alley - South View

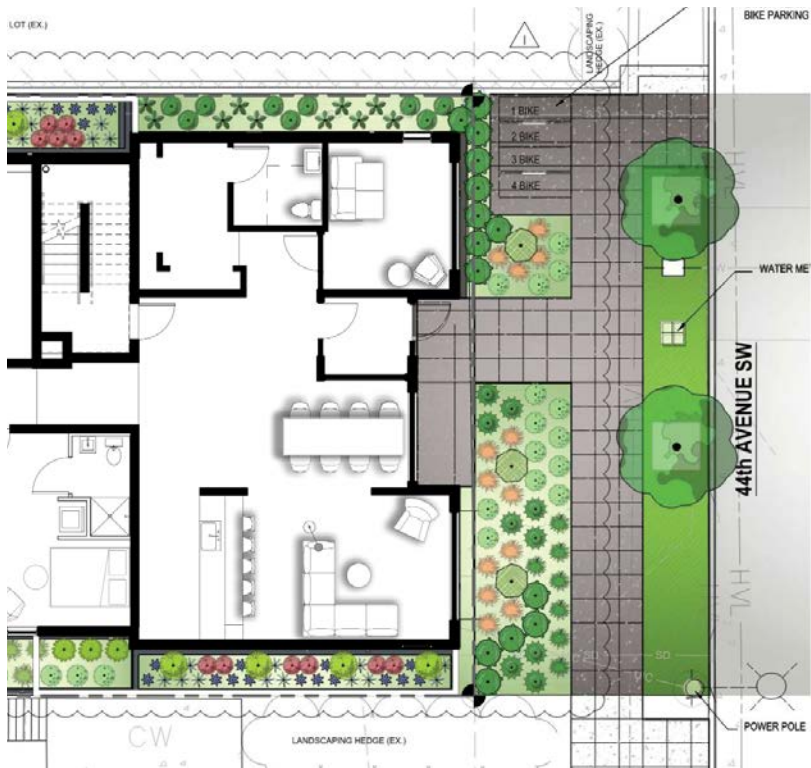


South Section @ Planters



Juliet Balcony Detail

c. Ground Level. The architectural expression of the ground level on this option, however, needs further definition to serve as a **strong base to the building**. Create visual hierarchy by making the level appear to be higher than the other floors by **inserting a datum line or massing modulation to highlight the ground level**. The level of the first floor should have a **positive relationship to the sidewalk level** (either level with the sidewalk or above). **Rotate the entry door to face the street** and relocate to a location that can be **emphasized by the other architectural moves** (in line with the upper level modulation, for example) to clarify wayfinding. The **northeast corner of the ground floor should meet the ground** to create a strong street wall. CS2-C-2. Mid-Block Sites, CS2-I-i. Street Wall Scale, CS2-III-iii. Facade Articulation, CS3-I-i. Facade Articulation, CS3-I-ii. Architectural Cues, PL2-B-1. Eyes on the Street



① **LEVEL 1 - Entrance & Amenity**



SECTION- Entrance & Amenity



Reading Room

RESPONSE:

c. To emphasize a strong base, a horizontal band acts as a datum that transitions materials between the upper and level floors. Dark brick is proposed to give the base strength and visual weight. The entrance is on grade and now faces the sidewalk. The building has been raised which creates a positive relationship with the pedestrian realm. An enclosed amenity space (departure requested) is programed off the main entrance to activate the entry. The overhead canopy has been raised to emphasize hierarchy at the entrance, and wood at the entry's recess softens the space. A vertical carveout has been taken from the entry base up through the floors to create further emphasis.



Amenity & Entrance



a. Generally, the interior layout of uses of Option A is supported by Staff. By **consolidating the lobby and amenity space near the accessible entrance**, the residential uses of the building are emphasized. By locating the mid-building units to face south, **daylight and views can be maximized**. The layout of services, with solid waste, mechanical and bike room access grouped in the lower level, keeps these uses out of general residential use and circulation on floors above. DC1-A Arrangement of Interior Uses, CS1-B Sunlight and Natural Ventilation

EDG DESIGN GUIDANCE:

b. The entry sequence of Option A should be revised to create a **clearly defined, generous residential entry**. As noted, the entry door should be relocated to be more prominent on the street-facing façade. The lobby and interior amenity space **should be coordinated with circulation and ground floor uses**. Any outdoor use spaces (see further notes in the Site section) should be easily accessed from, and connected to, interior spaces for usability. CS2-B-2. Connection to the Street, PL2-D-1. Design as Wayfinding, PL3-A-2. Common Entries

c. **Location of exterior amenity spaces under building overhangs is not supported.** In Option B, the spaces located west of the entry and at the alley have no clear connections to interior spaces for ease of use of the residents. Additionally, the amenity space at the alley, with no building enclosure, has no visibility in or out and does not create a safe space for resident use. As noted previously, this amenity space likely does not meet ADA. In Option C, the exterior space provided at the street frontage also has no connection to interior spaces. Location of this space will place it in shadow yearround which will not be conducive to active outdoor use. Note: bike storage/parking should not be located in amenity spaces. PL1-C-1. Selecting Activity Areas



Main Entry & Amenity

RESPONSE:

a. Developing the amenity space and entry sequence to be most like option A, the two areas were consolidated to support the accessible entries. The entrance was relocated to be more central, providing a strong focal point. The enclosed amenity space adjacent to the entry activates the residential program off the street, , see 2c on page 26 for more detail. Unit placement development reflects that closest to Option C so that visual interest in the facades could be carried through the perimeter and address requests from 2f & 2e, see responses on page 24-25 (Option A layout creates tall blank facades on the north resulting in a less ideal design). Other merits of the Option C layout is a courtyard carries through down the south façade, allowing for daylight and views especially for those lower level units. The courtyard also provides visual relief to the adjacent residential development.

b. c., The entry has been reoriented towards the street and is adjacent to the interior amenity space. By enclosing the lobby with an adjacent amenity there is the ability for the space to be safe and to have a visual indoor / outdoor connection all year round (departure requested).

REC Current Design

EDG Option A



- ## REC Current Design



d. The level A was modified so that units were oriented south towards the courtyard and daylight while BOH program was oriented to the north to take advantage of adjacent grade. To maintain privacy and separate residences from the BOH, the unit floors are 4'-6" higher than the trash room. To further emphasize privacy, windows were kept at sill height which allows an additional 3' of privacy, clearing the height of the trash door and creating further separation and privacy for residential units.

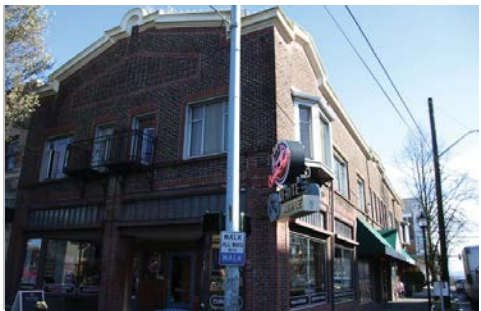
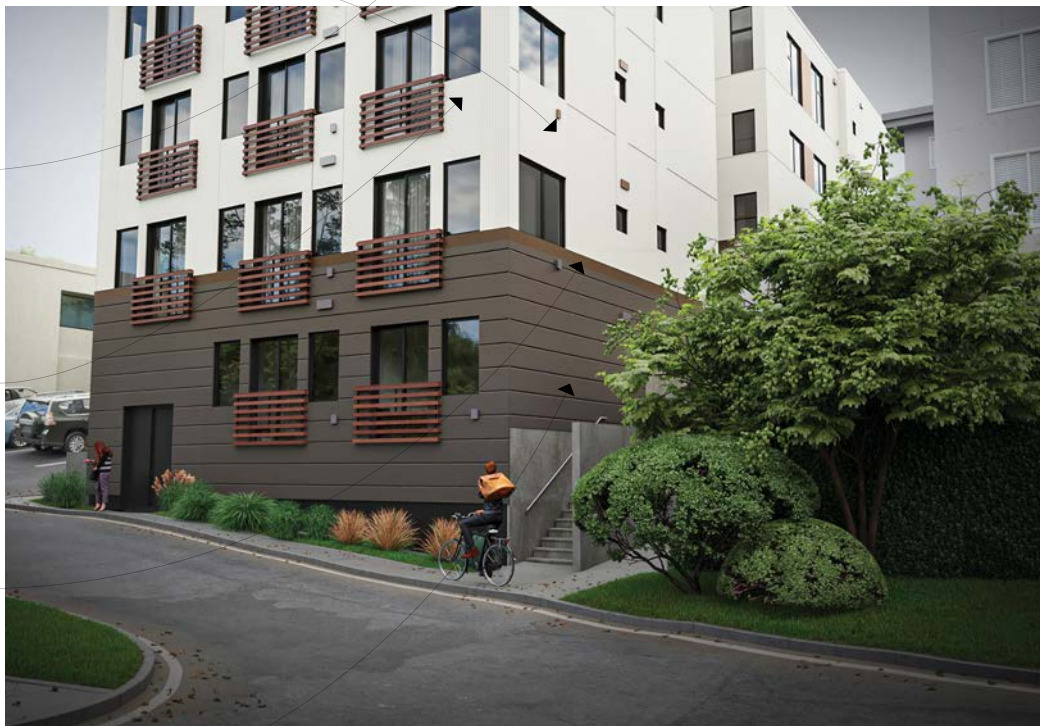




b. Use material choices to **highlight the ground floor** hierarchy and to **link the upper massing** to the base. CS2-III-iii. Facade Articulation

EDG DESIGN GUIDANCE:

- a. Although a materials precedent page was included in the EDG package, no renderings of proposed materials or locations of materials on the options massing were indicated. In general, the **use of brick, stone, and metal panels, with accents of wood and other high quality materials is supported**. These materials should be incorporated in the facades in a way that **supports the building architectural concept** and should relate to the character of the evolving character of the block as well and the expanding commercial context of the Junction Urban Village. Include precedent images of buildings within the local NC zone to relate material selection to context. DC4-A Exterior Elements and Finishes
- c. As noted, the sides and rear facades will be very visible. Wrapping volumes with high quality façade materials, and detailing at modulations of bays, windows, balconies, etc., should **visually connect the architectural concept from the front façade around all four sides** of the building. DC2-I-ii. Cohesive Architectural Concept



CAMPBELL BUILDING
Dark Brick, White Accents



CRESCENT HAMM BUILDING
Warm Materials



ADELL APARTMENTS
Dark Mullions, Wood, Brick, White

RESPONSE:

a, b, c. The entire building is comprised of high quality cladding materials; brick veneer at the base of the main façade, textured metal panel at the base of the alley facade, and the remainder of the building is profiled metal siding. On the north and south, the profiled metal panels overall and accent panels aid in visual interest up close and from afar. The alley is broken down into upper portions of a lighter colored metal siding with the lower portion being a darker metal to emulate the brick color on the main façade. Note that the datum line that separates the materials steps down with the grade per city guidelines. Also note that a third color of metal siding is used as an accenting material on all facades to help tie the design together. There is also a small accent of wood at the recessed main building entry area.

The introduction of the horizontal datum line has provided a good point in the façade to transition materials, break down the perceived scale, and pick up on cues in the surrounding context. In this case, darker materials occur at the ground level while lighter materials occur on the upper levels. The two elements are then linked together by aligning the windows vertically and use of the datum material as an accent on the upper floors.

All façade materials wrap around the building and are made up of high-quality façade materials. It should also be noted that all windows (vinyl and storefront) are to include black frames which will visually connect the architectural concept around all four sides of the building.

5

Site
Response to Guidance



b. As noted, ensure the relationship of the entry floor level to the sidewalk level is positive. Use terracing to create private outdoor spaces accessible by the ground floor units along the south façade by terracing. **Locate stepped bioretention planters** along the north façade setback where pedestrian access would be less useful. **Ensure grading at the alley accounts for the slope** where services need access. CS1-C Topography

EDG DESIGN GUIDANCE:

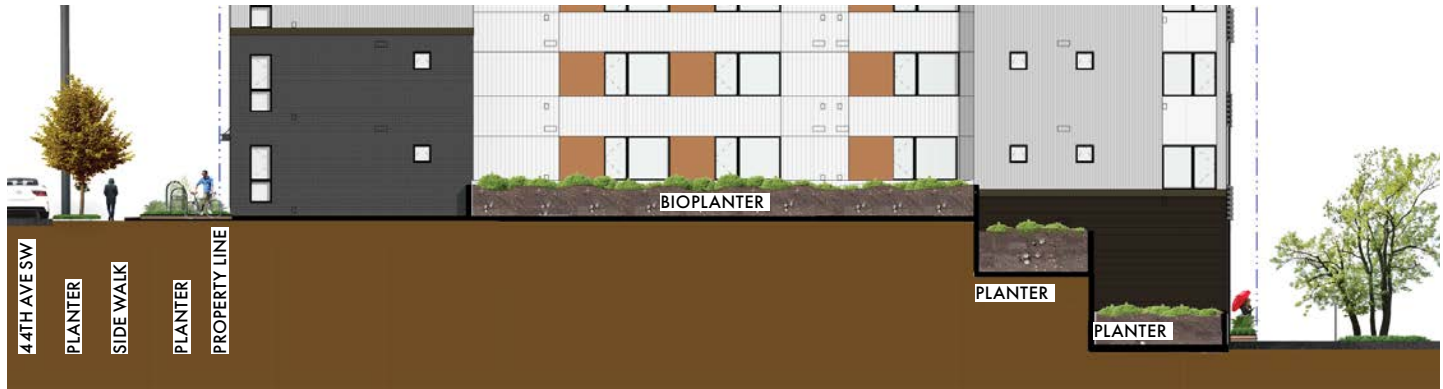
a. The natural grade change on the site, from the east property line at the street to the west property line at the alley, is significant. In order to understand how the building is relating to the site context and how the site plan relates to building uses, include a grading plan in the Recommendation phase. Include spot elevations at site conditions to remain (adjacent properties and rights-of-way), grade arrows and intended slopes along pedestrian walkways, spot elevations at tops and bottoms of walls (including bioretention planters and other terraces) and at tops and bottoms of stairs. CS1-C Topography



① LEVEL 1 & LEVEL A



SOUTH ELEVATION



NORTH ELEVATION

RESPONSE:

b. To create a positive relationship with the sidewalk, the building has been moved higher. Because of the proximity to the property line, openings for doors are not allowed per the building code along the south property line. Therefore, stepped planters follow the grade to minimize the perceived scale and provide vegetation outside units' windows.

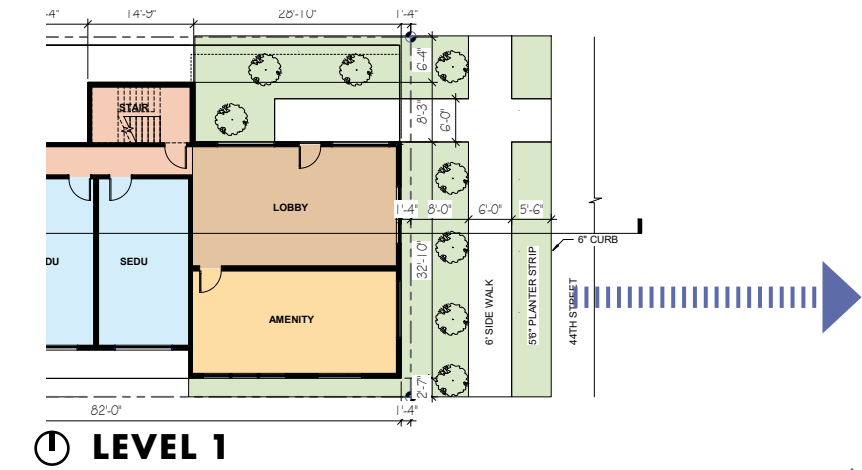
a. To address the slope along the North and South property lines, tiered landscaping and bioplanters have been located in strategic places to minimize the perceived height of the grade changes. The new introduced datum line steps down the slope in three tiers to visually exemplify the natural grade from 44th Ave SW down to the alley.

c. With revisions to the building entry sequence noted above, look at ways to **develop the public realm** of the project that also further refines the entry sequence between the new sidewalk and the front door. A small entry plaza with amenities like seating, lighting, weather protection, enhanced plantings, etc. should be developed to enhance the usability and visibility of the entry area. CS2-B-2. Connection to the Street, PL1-A-2.

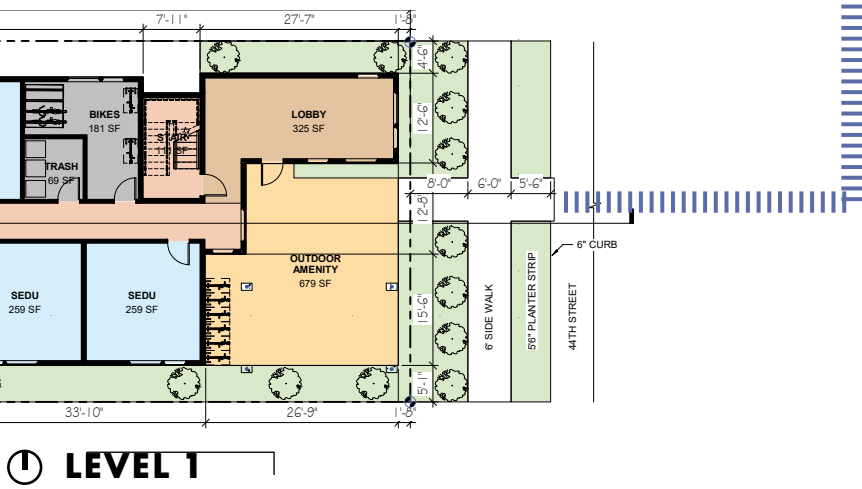
EDG DESIGN GUIDANCE:

d. **Assess where indoor and outdoor amenity space is located and accessed.** Ensure outdoor spaces are located with clear physical and visual access from circulation or other indoor spaces for convenient access and safety. The location of open space accessible only through a stairway, as in Option B, is not supported. The location of open space only accessed via the lower level, and therefore not meeting ADA, is not supported. DC3-A Building-Open Space Relationship, DC3-B Open Space Uses and Activities, PL3-B-4. Interaction

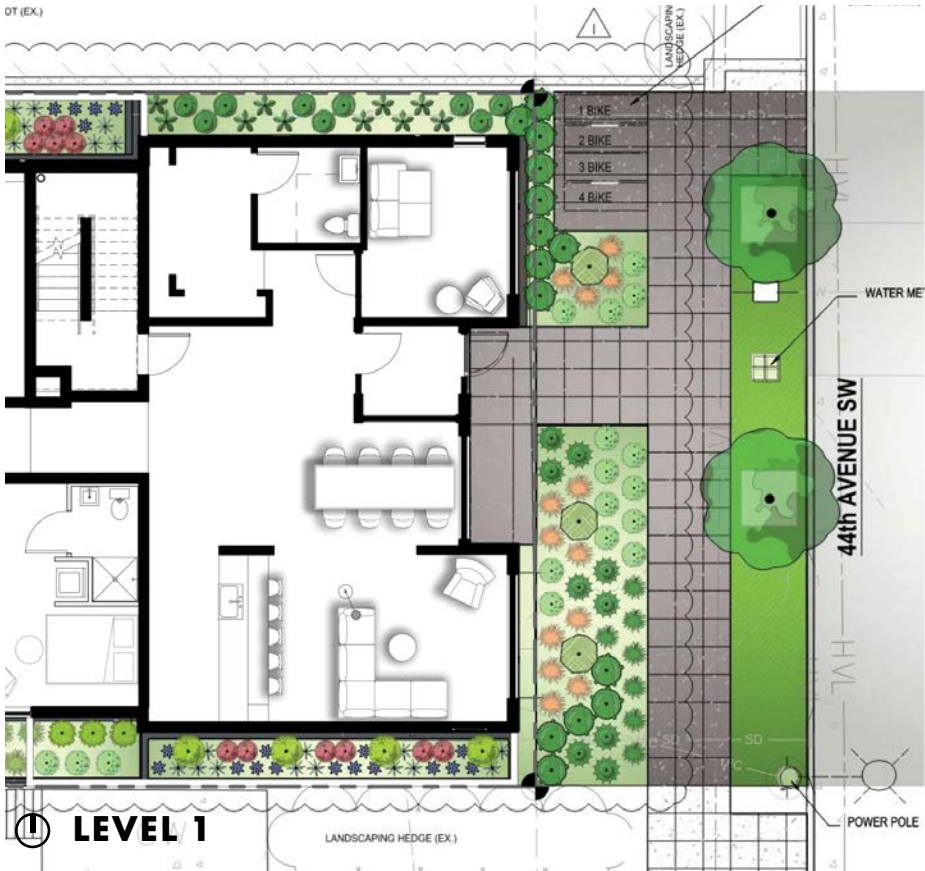
EDG | Option A



EDG | Option C



REC | Current Design



RESPONSE:

c, d. e. To enhance the redesigned entry a generous path of 7' has been designed to make the entryway feel prominent. Landscape lighting flanks the pathway to give a sense of prominence. To maximize green space, planting is proposed to the rest of the right of way with landscape lighting. A canopy overhead with integrated lighting and signage provides weather protection and promotes prominence at the entryway. Short term bicycle parking has been added adjacent to the entryway for ease of access.



Amenity Space

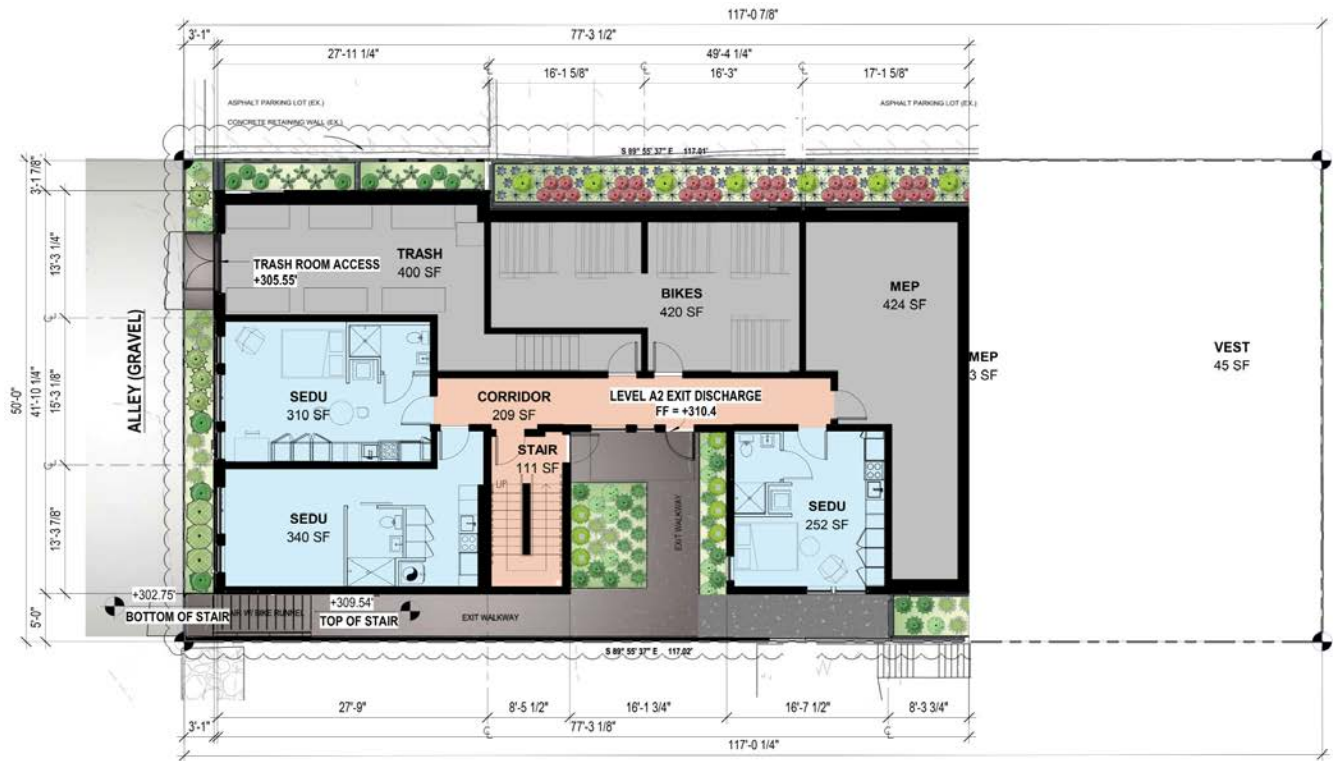


Front Entrance

Architectural Drawings



le Earth
/ Copernicus



① LEVEL A - Alley

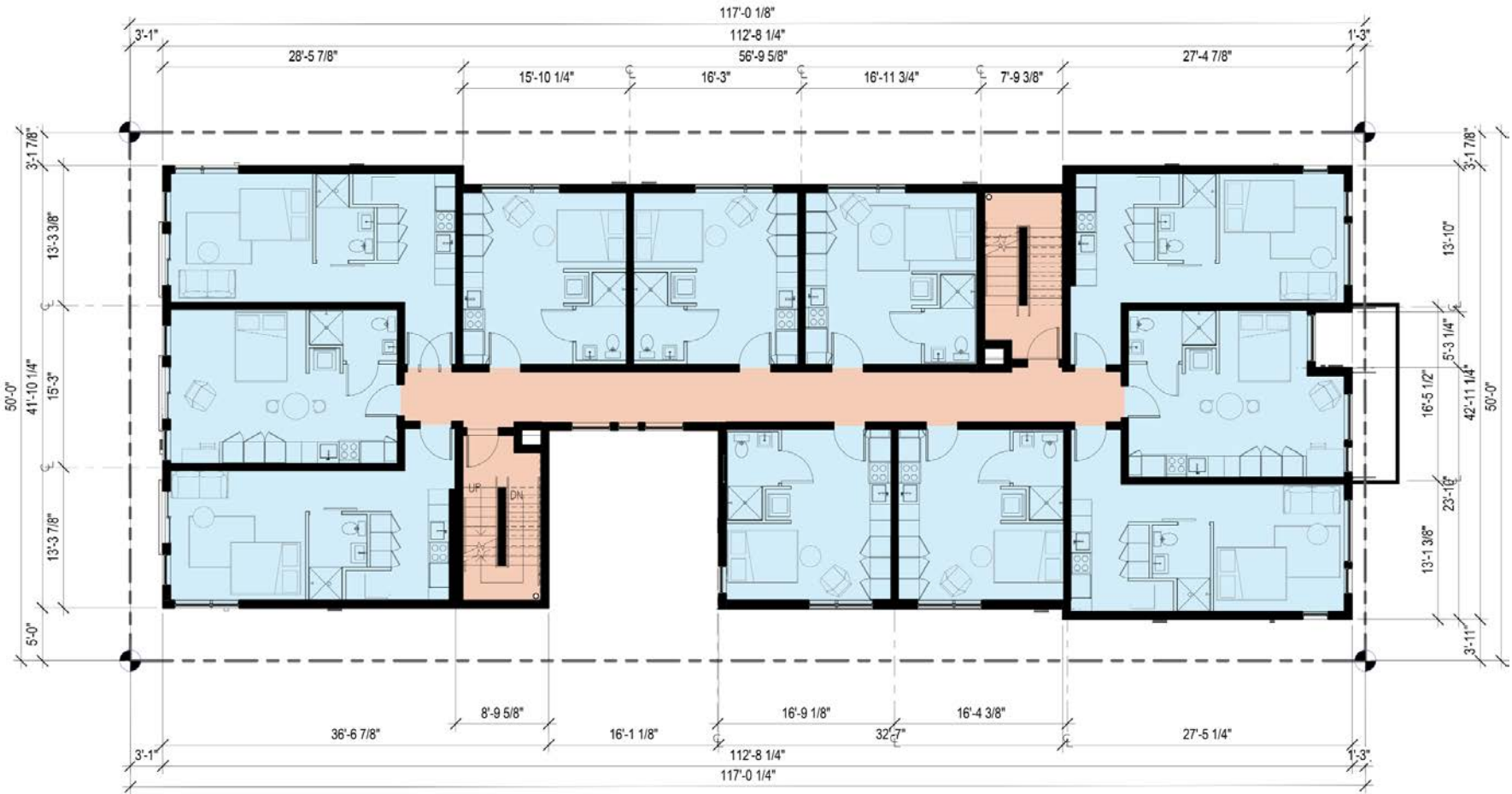


① LEVEL 1 - 44th Ave SW

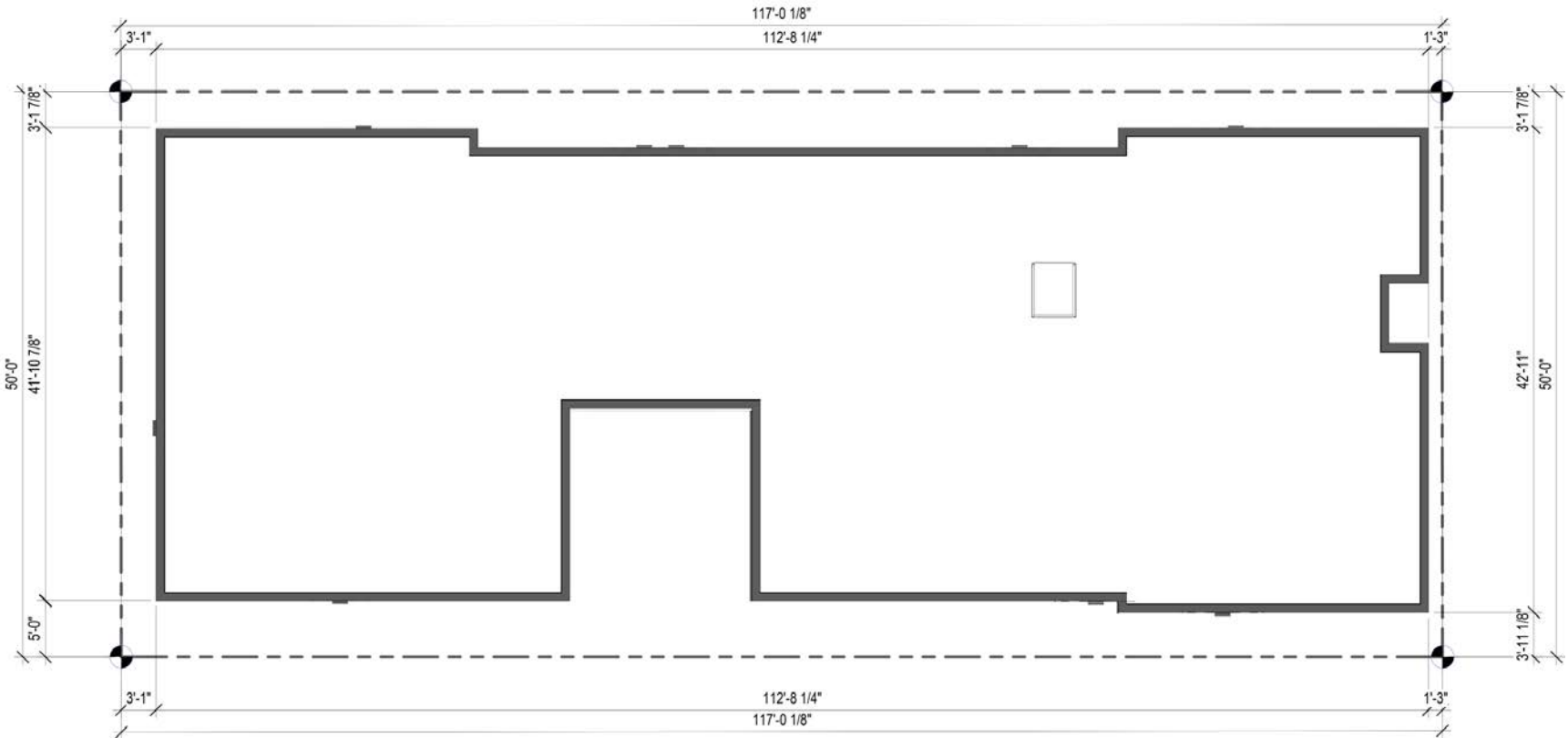
LEGEND

- CIRCULATION
- LOBBY
- OFFICE & AMENITY
- BACK OF HOUSE
- RESIDENTIAL

⌚ LEVEL 2-4



⌚ ROOF



LEGEND

- CIRCULATION
- LOBBY
- OFFICE & AMENITY
- BACK OF HOUSE
- RESIDENTIAL



E/W SECTION

LEGEND

- CIRCULATION
- LOBBY
- OFFICE & AMENITY
- BACK OF HOUSE
- RESIDENTIAL



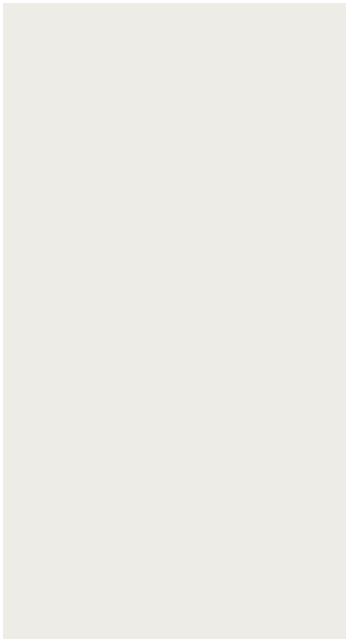
Materials



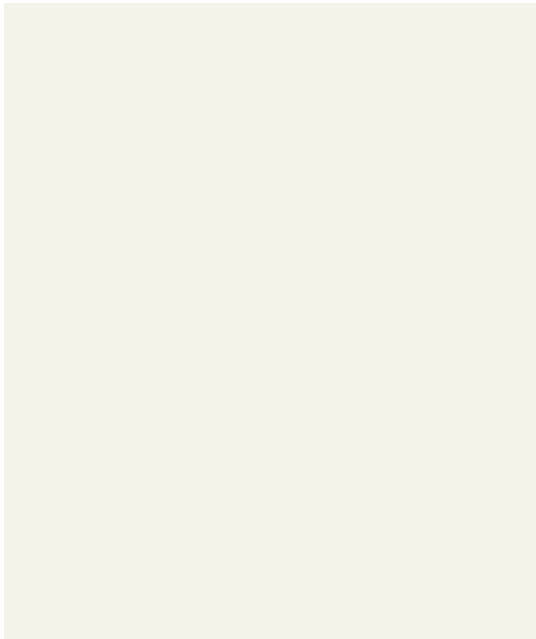
Concrete - Clear
Sealant
Site work, planters



Painted Metal
Black
AEP Span
Guardrail, Entry Canopy



SW7005 - Pure
White
Cement Board Accents



Metal Panel, Nu-Wave,
Vertical, Regal White
AEP Span
Middle mass accents (physical photo)



Metal Panel, Nu-Wave,
Vertical, Metallic Silver
AEP Span
Upper mass street & alley (physical photo)



Flat Metal Panel, Design
Span, Dark Bronze
AEP Span
Bands (physical photo)



Wood Satin- Teak 085
PPG Proluxe
1" * 6" Cedar V Bevel Tongue & Groove
Entry accent, decks



Metal Panel, Design Span, Metallic
Copper
AEP Span
Accent colors (physical photo)



Running Bond Brick- Mutual
Materials
Coal Creek
Street facing lower mass



Metal Panel, Prestige 1" Reveal,
Rawhide Dark Walnut
AEP Span
Alley facing lower mass (physical photo)

METAL PANEL: METALLIC COPPER

METAL CHANNEL: DARK BRONZE

BRICK, RUNNING BOND,
COAL CREEK

VINYL WINDOWS: VPI
BLACK

METAL CANOPY: BLACK

STOREFRONT WINDOWS
BLACK

CEDAR PANELING W/ TEAK
STAIN



FACADE DETAILING @ ENTRANCE



FACADE DETAILING @ ALLEY

METAL CHANNEL: DARK BRONZE

METAL PANEL: RAWHIDE
DARK WALNUT

VINYL WINDOWS: VPI
BLACK

CEDAR BALCONIES W/ TEAK STAIN

Access & Landscaping

Applicable Design Strategies for All Schemes

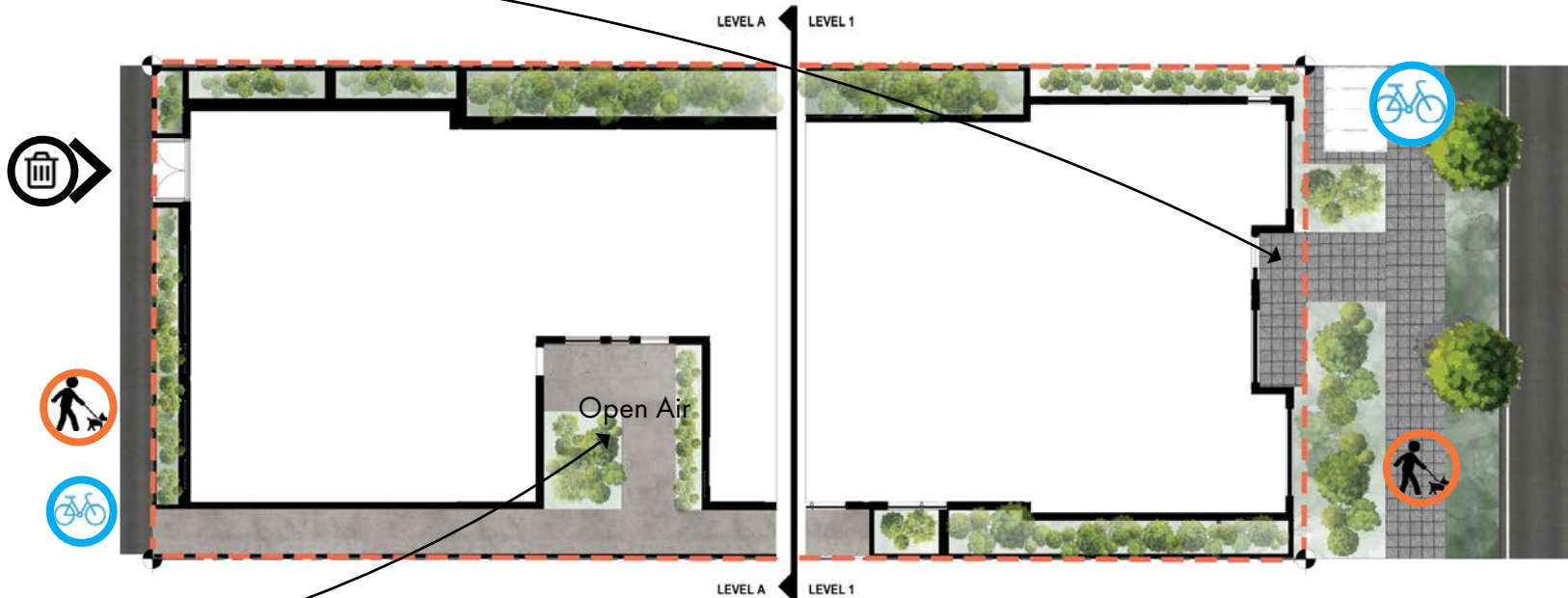
Main pedestrian entrance will be off 44th Ave SW where there is high visibility and directly adjacent to all transit modes (walking, biking, busing, and driving). A large-scale canopy will be utilized to create a focal point, provide coverage, and define a sense of entry for the building.

Bicycles will have access from the alley, adjacent to Glenn Way SW street. Amenity outdoor space will be placed adjacent to the bicycle room to activate the space, along with landscaping to provide greenery and privacy. Trash will be taken off the alley. Due to the placement of the trash room no staging will be required.



Pocket park Alley Building access path w/ bike runnel Courtyard w/ landscaping Stepped planters Entrance & sidewalk & Street landscaping ROW

SECTION - CONCEPTUAL STEPPING DOWN OF LANDSCAPE



① LEVEL A - ALLEY PLAN

① LEVEL 1 - 44TH AVE SW PLAN



CRABAPPLE TREE



GOLDEN PILLAR BARBERRY



FIREFLY HEATHER



ICE DANCE JAPANESE
SEDE




















ORANGE SEDGE



OAKLEAF HYDRANGEA

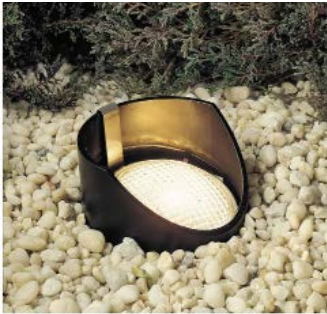
PLANT SCHEDULE *

TREES	BOTANICAL / COMMON NAME
	Malus 'Tschonoskii' / Tschonoski Crabapple
SHRUBS	BOTANICAL / COMMON NAME
	Berberis thunbergii 'Golden Rocket' / Golden Pillar Barberry
	Calluna vulgaris 'Firefly' / Heather
	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge
	Carex testacea / Orange Sedge
	Miscanthus sinensis 'Morning Light' / Morning Light Maiden Grass
	Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo
	Nandina domestica 'Sienna Sunrise' / Heavenly Bamboo
	Pennisetum orientale / Oriental Fountain Grass
	Polystichum munitum / Western Sword Fern
	Prunus laurocerasus 'Mount Vernon' / Mount Vernon Laurel
	Sarcococca hookeriana humilis / Dwarf Sweet Box
BIORETENTION	BOTANICAL / COMMON NAME
	Cornus alba 'Gouchaultii' / Goldenleaf Dogwood
	Cornus sericea 'Kelsey' / Kelsey Dogwood
	Iris x 'Pacific Coast Iris' / Pacific Coast Iris
	Juncus patens 'Elk Blue' / Spreading Rush
GROUND COVERS	BOTANICAL / COMMON NAME
	Rubus calycinoides 'Emerald Carpet' / Creeping Raspberry

Lighting



L1 - RECESSED CAN



L2 - LANDSCAPE LIGHTING



L3 - PATH LIGHTING



L4 - SIGNAGE LIGHTING



L5 - WALL SCONCE

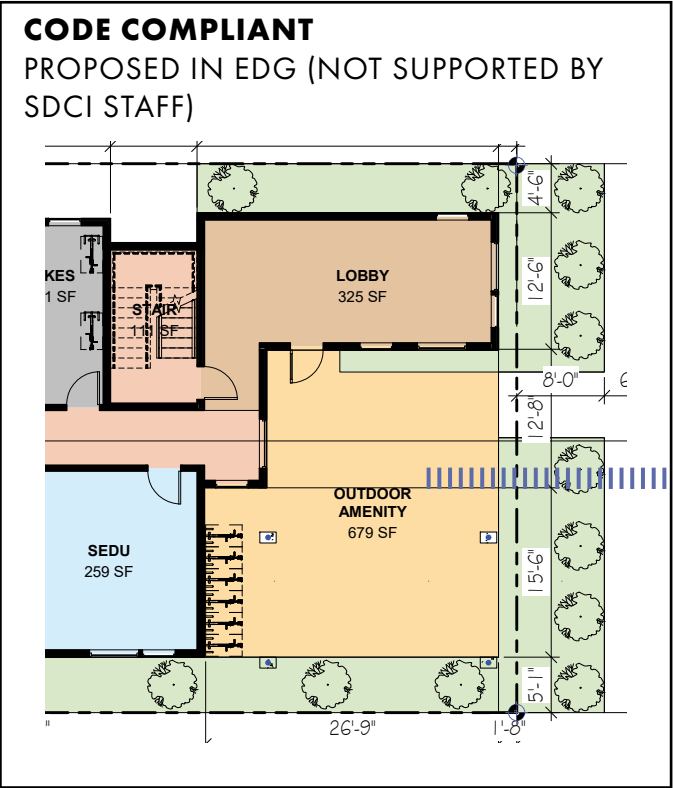
Signage



Backlit, canopy mounted signage

Departure





DEPARTURE REQUEST
PROPOSED IN REC



- + Active amenity space that engages with pedestrian realm
- + Tall storefront windows for high visibility
- + Street activation across entire facade
- + Thoughtful, well designed interior spaces
- + Lush planting buffer that connects nature and people
- + Increased safety for tenants

Departure Request Summary

Code
STANDARDS APPLICABLE TO SPECIFIC AREAS
23.47A.024.B.2
Requirement
23.47A.024.B.2 Refers to a subtext requirement for amenity space and specifically requires that “amenity areas shall not be enclosed.”
SDCI tip 238 lists departable item exceptions - enclosed amenity space is not included in the list.

Request
The departure requests that the non-enclosed amenity space be enclosed.
954.14 sq. Ft. Of amenity space is required for the project. 1,027 sf of enclosed amenity is proposed in the form of a club room, where a bar, coworking space, and reading room are programmed.

Rationale
After studying the merits and disadvantages from the EDG staff guidelines, components from option A and C were folded in to create a hybrid solution shown, REC Current Design, which has been updated in the permit set. Some highlights of what the staff wanted to see as it relates to the amenity departure request (i.e. Project development goals):

- Stacking the residential program along the street facade so that a distinctive ground level was created.
- Creating a prominent, generous, and active residential entry.
- Enclosing the amenity space addresses concerns of security, dark recessed unhabitable spaces.
- Consolidating and enclosing the amenity and lobby space activates the ground level.

Due to site constraints and accessibility requirements, the amenity space must be located off of 44th Ave SW. Adhering to the project goals as defined by the city staff, the amenity space is being proposed as an enclosed space. While 954.14 sf of amenity space is required, 1,027 sf of amenity is being proposed. Enclosing this space allows for a vibrant social space in the form of a club room, where a bar, coworking space, and reading room are programed. This achieves goals in the guidelines in ways that neither option A nor option C had previously done.

- Enclosing the amenity allows the façade to stack the residential program; this provides a prominent and defined entryway. An additional recess in the façade was added to enhance the entryway as a focal point. High quality materials such as brick and wood are proposed to further define this focal point. CS2-C-2. Mid-Block Sites, CS2-I-i. Street Wall Scale, CS2-III-iii. Facade Articulation, CS3-I-i. Facade Articulation, CS3-I-ii. Architectural Cues, PL2-B-1. Eyes on the Street
- Enclosing the amenity omits the concern of large overhang creating a dark space at the entrance. This location greatly increases security and safety; orienting the front door to the street and having an active space creates eyes on the street and higher visibility entering the building. Pathway lighting is also proposed for increased visibility. CS2-C-2. Mid-Block Sites, CS2-I-i. Street Wall Scale, CS2-III-iii. Facade Articulation, CS3-I-i. Facade Articulation, CS3-I-ii. Architectural Cues PL2 (Walkability) B. Safety and Security, 1. Eyes on the Street, 2. Lighting for Safety, 3. Street Level Transparency
- By enclosing the amenity a new and distinct program can be introduced; a club room which allows for a variety of options for tenants including a lounge area, a bar, a coworking space, and a reading room. This space creates a highly active ground level visible from the street and further defines the entryway. CS2-B-2. Connection to the Street, PL2-D-1. Design as Wayfinding, PL3-A-2. Common Entries
- The amenity space creates a strong connection to the street where the entrance and amenity space can interact with the public realm. CS2 (Urban Pattern and Form) B. Adjacent Sites, Streets, and Open Spaces 2. Connection to the Street.
- The amenity space activates the sidewalk which is surrounded by landscape to create an appealing procession into the site. PL1 (Connectivity) A. Network of Open Spaces, 1. Enhancing Open Space 2. Adding to Public Life B. Walkways and Connections, 1. Ped. Infrastructure, 3. Pedestrian Amenities C. Outdoor Uses and Activities, 3. Year-Round Activity
- Locating the amenity off the main entry creates a space that is accessible for all. The entryway has been designed to be on grade with the sidewalk for easy accessibility. PL2 (Walkability) A. Accessibility, 1. Access For All
- The amenity space located adjacent to the main entrance creates an identifiable and distinct program at the entrance. Landscaping provides a buffer so that the procession is private yet inviting. The social spaces within the amenity space provides opportunities for interaction between residents. PL3 (Street Level Interaction) A. Entries, 1. Design Objectives, c. common entries to multi-story residential buildings B. Residential Edges, 1. Security and Privacy, 2. Ground level Residential, 4. Interaction
- The adjacency of the amenity space at the entry allows for high visibility both in and out of the building, provides gathering places for residents to socialize, and have a space for meeting visitors or waiting for transit. The space has been designed to be open so that there can be flexibility of use over time. DC1 (Project Uses and Activities) A. Arrangement of Interior Uses, 3. Flexibility, 4. Views and Connections
- The amenity space has been designed to provide activity and visibility which is enhanced with the large storefront windows. Raising the floor helped create prominence in the façade while landscaped buffers create a sense of privacy. PL1 (Connectivity) I. Human Activity (i + iii)
- The amenity space is accentuated by the adjacent canopy overhead, that provides additional integrated lighting. PL2 (Walkability) II. Pedestrian Open Spaces and Entrances i.a + i.b + i.c
- Enclosing the amenity space increases potential for multiple activities to reside in a singular space all year round, mimicking spaces at the adjacent commercial core. Accent lighting, scaled paving patterns, and landscaping are details that accentuate the space. PL2 (Walkability) II. Pedestrian Open Spaces and Entrances ii

Blueprint Projects



SPUDS | 6860 E Green Lake Way North



ALLOY | 800 5th Ave N



CLAY | 600 E Howell St



YALE | 2037 Yale Ave E



VEGA | 4528 44th Ave SW



LUNA | 6921 Roosevelt Way NE



TRACK 66 | 836 NE 66th St



VAL ANNE | 800 Queen Anne Ave N (Renovation)



THANK YOU