



RECOMMENDATION MEETING

**9736 Greenwood Ave N.
Seattle, WA 98103**

SDCI PROJECT NO:

3036290-LU

MEETING DATE:

November 16, 2020

APPLICANT CONTACT:

Archana Iyengar, Project Manager
Caron Architecture
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CARON

CARON REF #2018.016



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PROJECT TEAM

OWNER
Harry Arsene
Green 15, LLC

CARON ARCHITECTURE CONTACT
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Caron Reference No.: 2018.016

PROJECT HISTORY

EDG
02/10/2020

SITE INFORMATION

ADDRESS:
9736 Greenwood Ave N. Seattle, WA 98103

SDCI PROJECT NO.:
3036290-LU

PARCEL(S):
291720-0025 & 291720-0027

SITE AREA:
12,954 SF

OVERLAY DESIGNATION:
Frequent Transit Service Area

PARKING REQUIREMENT:
Residential only - 0.5 per unit (Reduced by 50% in Frequent Transit Service area)
Live-work and Commercial - no requirement for < 1,500 SF

BICYCLE PARKING REQUIREMENT:
Residential: 1 per unit (long term)
1per 20 units (short term)
Commercial: varies by use - 3 spaces

DEVELOPMENT STATISTICS

ZONING:
C1-55 (M)

BUILDING HEIGHT:
55'

ALLOWABLE FAR:
3.75

PROPOSED FAR:
3.73

RESIDENTIAL UNITS:
48 units

LIVE-WORK UNITS:
2 units

COMMERCIAL SF:
1,246 SF

LIVE-WORK SF:
Live-Work 1: 982 SF
Live-Work 2: 1,014 SF

PARKING PROVIDED:
24 stalls

BICYCLE PARKING PROVIDED:
54 spaces

3.0 PROPOSAL

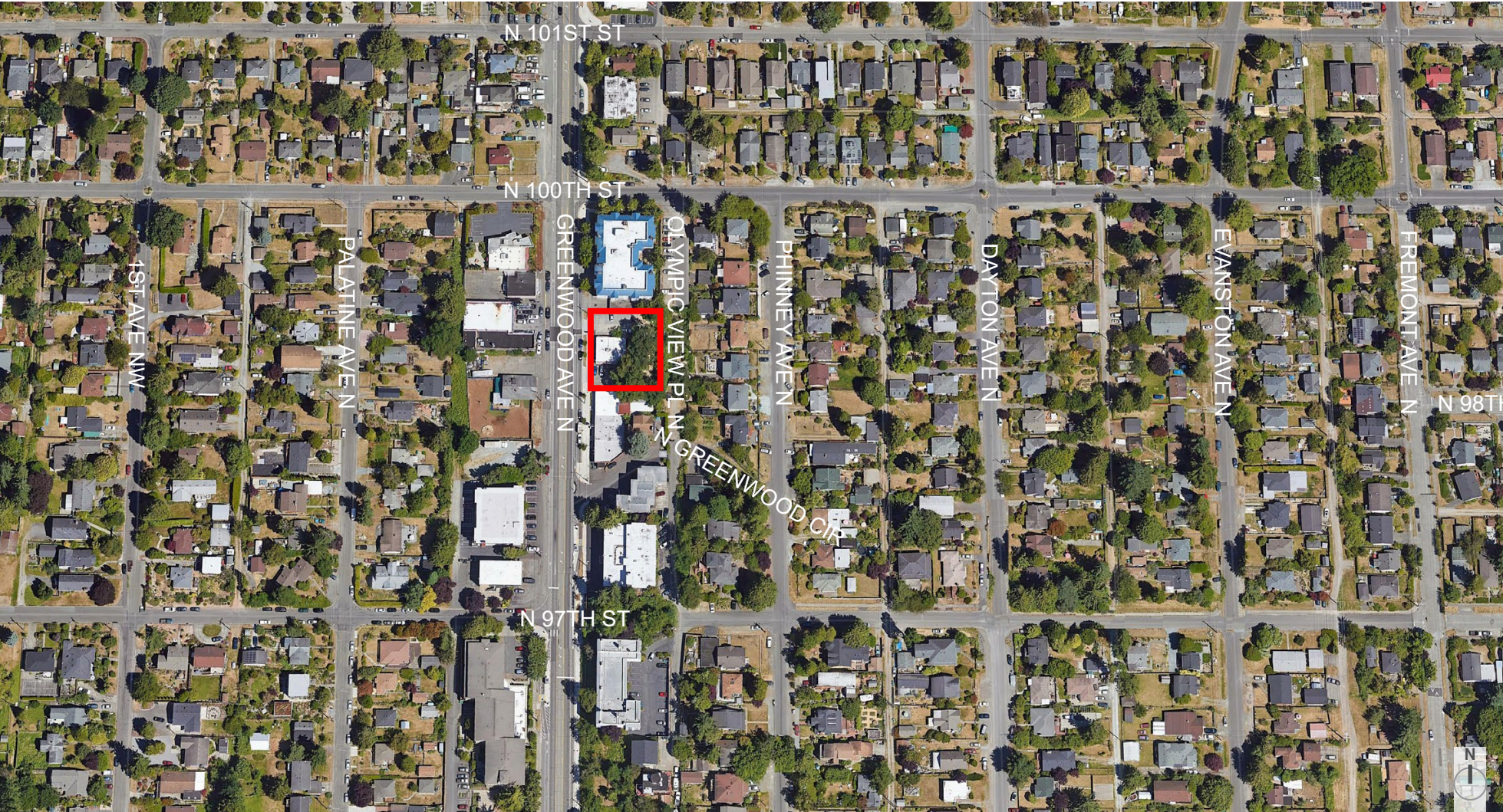
DEVELOPMENT OBJECTIVES

The proposal includes a 6-story, mixed use apartment building with 48 residential units, 2 live-work units, ground floor commercial space, and one level of parking for 24 vehicles located on level 2. The goal is to create an urban infill project that activates the street frontage along Greenwood Ave. N. while still being respectful to the single family zone to the east.

The street frontage along Greenwood Ave. N. will include the residential lobby, commercial space and two live-work units. Enclosed parking will be accessed from Olympic View Pl. N.

DEVELOPMENT SUMMARY

LEVEL	TOTAL GROSS SF	TOTAL FAR SF	RESIDENTIAL UNITS	LIVE-WORK SF	COMMERCIAL SF	PARKING STALLS	USE
ROOF	631 SF	631 SF	-	-	-	-	Residential Amenity & Mechanical
6	8,466 SF	8,466 SF	12 Units	-	-	-	Residential
5	8,466 SF	8,466 SF	12 Units	-	-	-	Residential
4	8,466 SF	8,466 SF	12 Units	-	-	-	Residential
3	8,466 SF	8,466 SF	12 Units	-	-	-	Residential & Residential Amenity
2	8,442 SF	8,442 SF	-	-	-	24	Parking, Live-Work & BOH
1	6,055 SF	5,379 SF	-	2 Units	1,246 SF	-	Residential, Live-Work, Commercial & BOH
TOTAL	48,995 SF	48,319 SF	48 Units	2 Units	1,246 SF	24	-

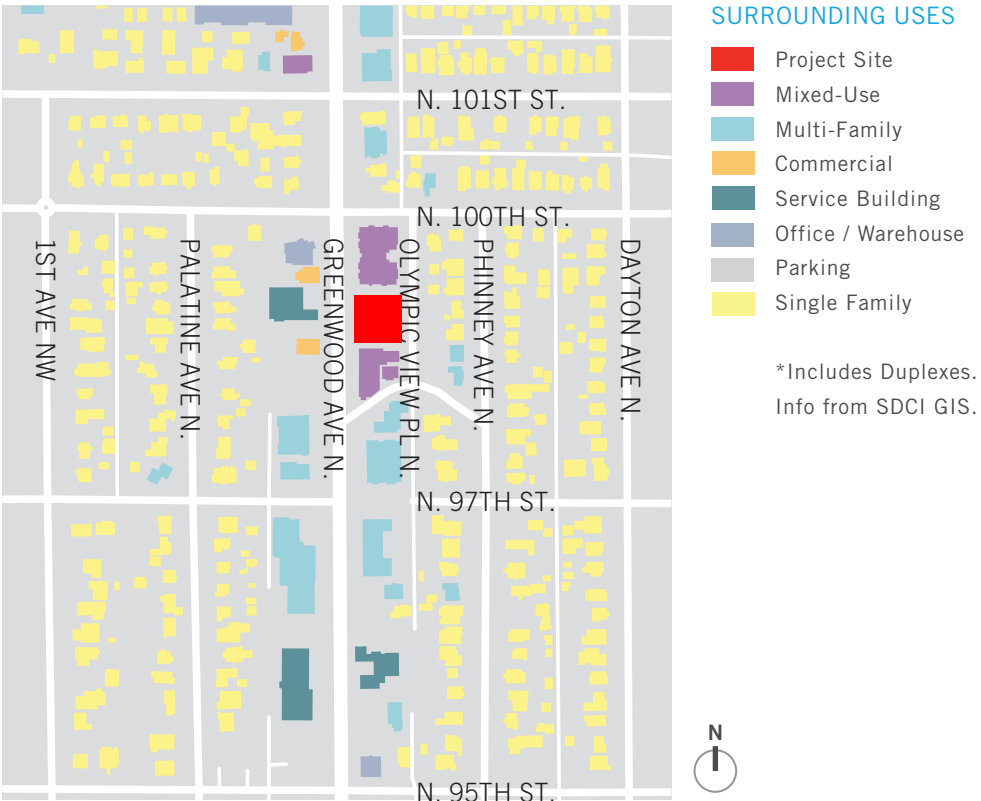
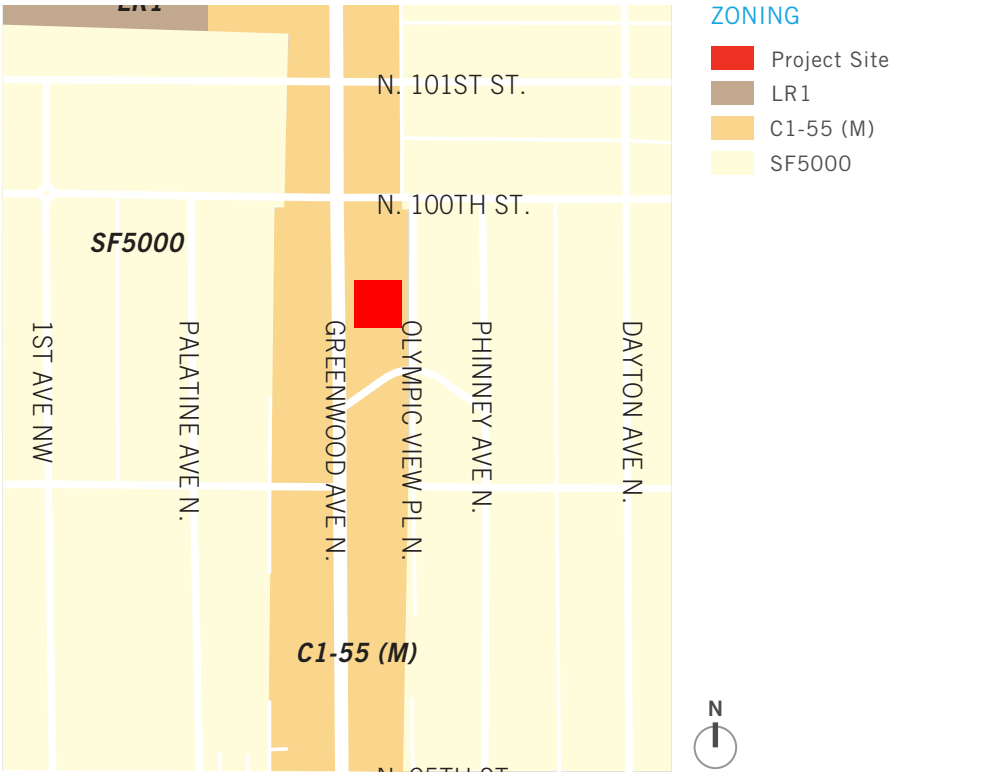


9-BLOCK AERIAL MAP (PHOTO)

4.0 SUMMARY CONTEXT ANALYSIS



AXONOMETRIC MAP (GOOGLE EARTH)



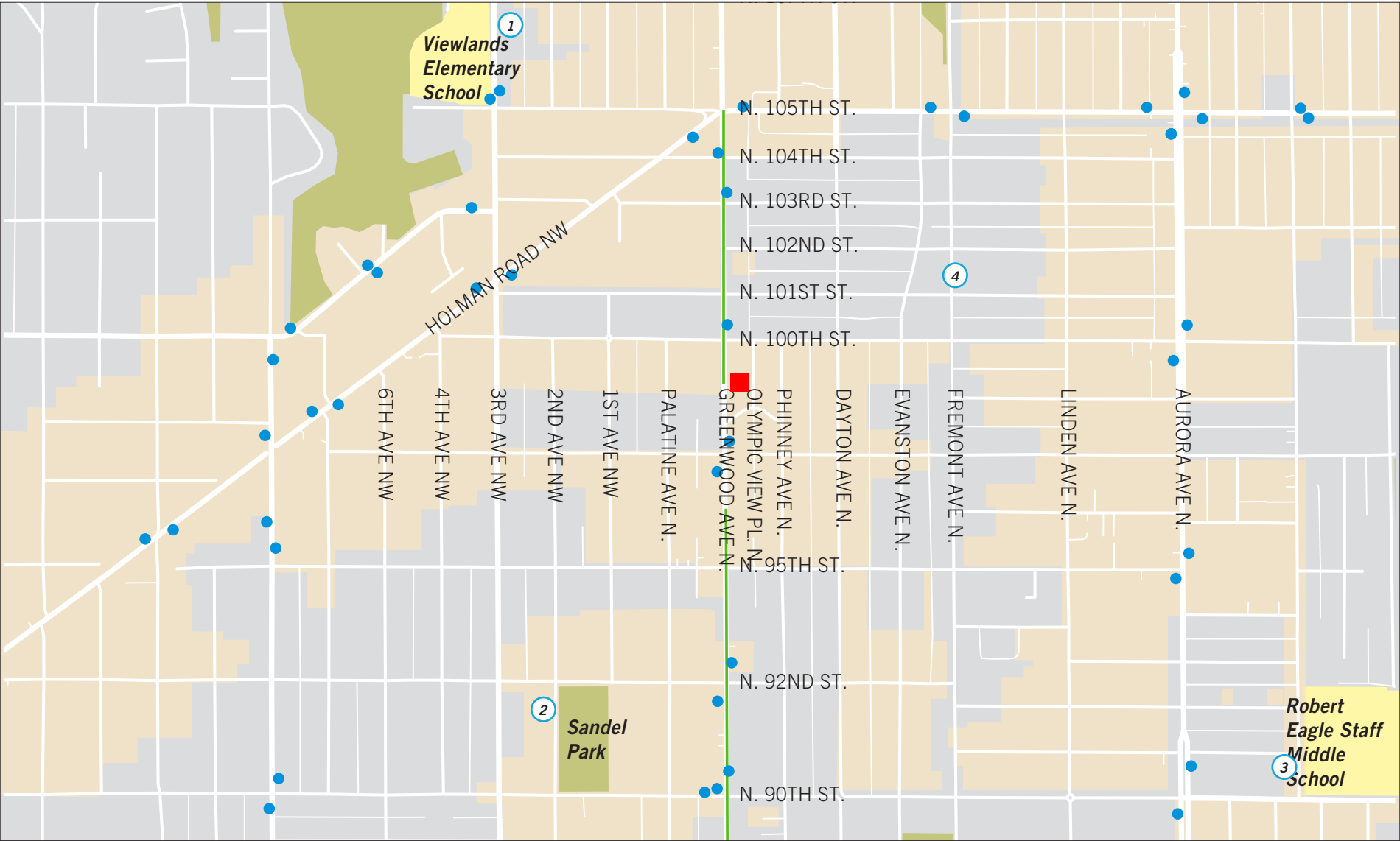
4.0 SUMMARY CONTEXT ANALYSIS

TRANSPORTATION

Proposed development is located within a Frequent Transit Service Area. There are two bus stops north and south of the project site along Greenwood Ave North. Bike lanes currently run north/south along Greenwood Ave North.



4.0 SUMMARY CONTEXT ANALYSIS



VICINITY MAP

- Project Site
- Park
- Schools
- Dedicated Bike Lane
- Bus Stops
- Frequent Transit Service Area
- Location

COMMUNITY NODES/LANDMARKS:



1 VIEWLANDS ELEMENTARY SCHOOL
0.6 Mile from Project Site



2 SANDEL PARK
0.5 Mile from Project Site

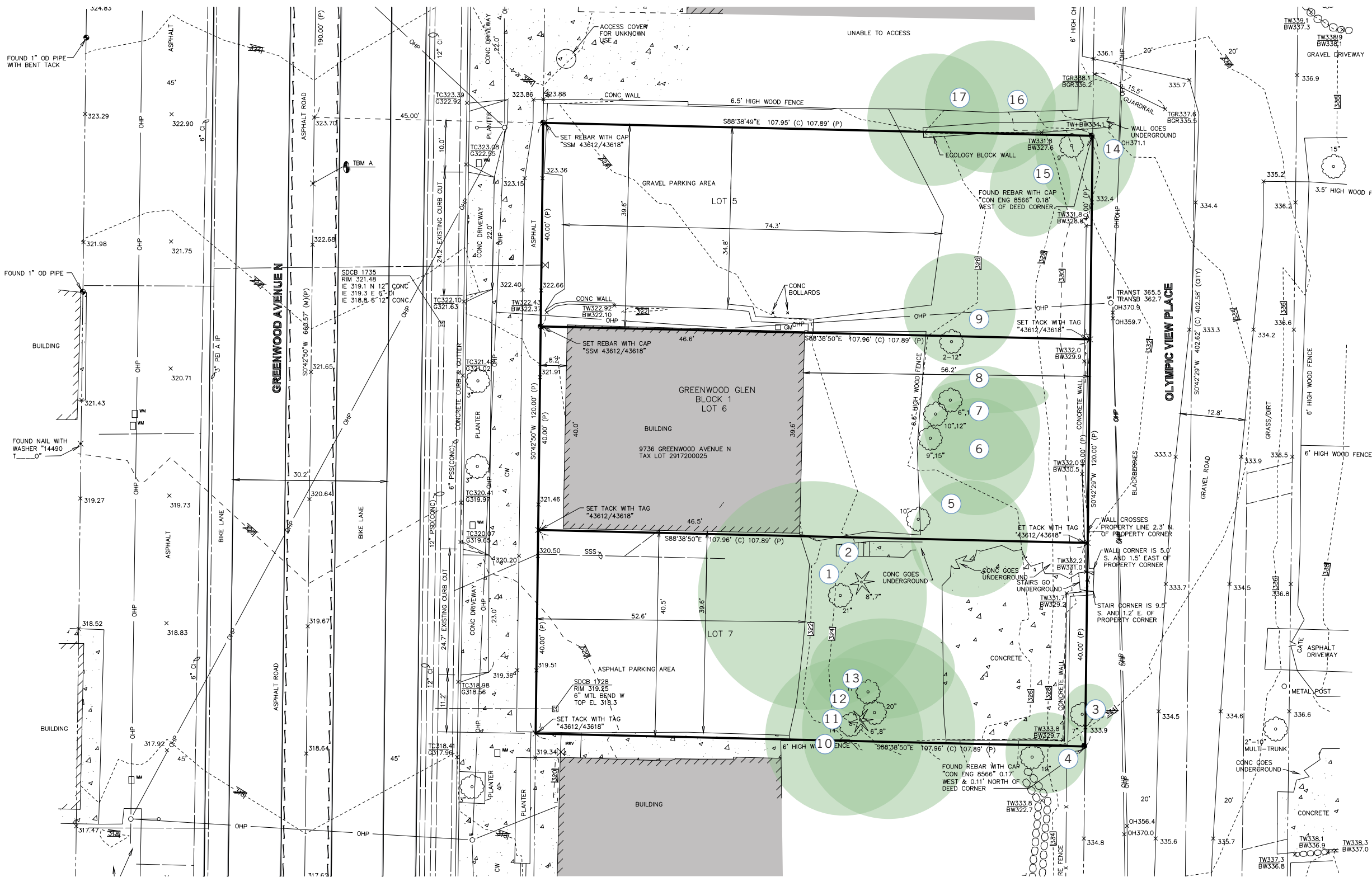


3 ROBERT EAGLE STAFF MIDDLE SCHOOL
1.1 Miles from Project Site



4 EVANSTON P-PATCH COMMUNITY GARDENS
0.3 Mile from Project Site

5.0 EXISTING SITE CONDITIONS - SURVEY



LEGAL DESCRIPTION

Lots 5 through 7, inclusive, Block 1, Greenwood Glen addition, according to the plat thereof, recorded in Volume 31 of plats, page 29, in King County, Washington;

TREE NOTES

- No exceptional trees and no presence of groves on site.
- 1, 3, 4, 5, 6, 7, 8, 9, 10, 12, 13, 14, 15 are Black locusts (Robinia pseudoacacia)
- 2, 11, 16, 17 are Cedars
- 4, 16 and 17 are off site. Tree protection measures if required will be provided per arborist recommendations.
- All trees on site to be removed.

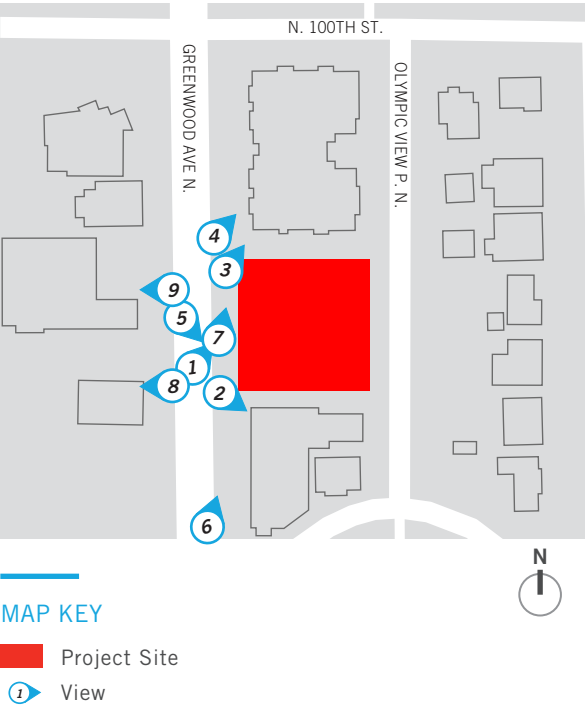
5.0 EXISTING SITE CONDITIONS - SITE PHOTOS - GREENWOOD AVE NORTH

OPPORTUNITIES / CONSTRAINTS

The site is bounded by two streets - Greenwood Ave. N. to the west and Olympic View Pl. N. to the east. Olympic View Pl. N. is designated as a street but has the characteristics of an alley (12 feet gravel road with no sidewalk or curb). Neighborhood curbless street cross section is required by SDOT. Street improvements will be determined per SDOT requirements through the SIP process.

There is one existing commercial building flanked by surface parking on the property. Surrounding context includes a 4 story condominium building to the north and 1 story retail building with a 2 story triplex to the south. Single family homes are located further east facing Phinney Avenue N.

High voltage power lines are located on the west side of Olympic View Place N.



1 PROJECT SITE FROM GREENWOOD AVE N.



2 ADJACENT PROPERTY TO THE SOUTH



3 ADJACENT PROPERTY TO THE NORTH



4 DRIVEWAY FOR ADJACENT PROPERTY TO THE NORTH



5 ADJACENT PROPERTY TO THE SOUTH FROM GREENWOOD AVE N.



6 VIEW OF GREENWOOD AVE N. FROM INTERSECTION AT N. GREENWOOD CIRCLE



7 SIDEWALK ALONG GREENWOOD AVE N. LOOKING NORTH



8 PROPERTIES ACROSS GREENWOOD AVE N. FROM PROJECT SITE



9 PROPERTIES ACROSS GREENWOOD AVE N. FROM PROJECT SITE

5.0 EXISTING SITE CONDITIONS - SITE PHOTOS - OLYMPIC VIEW PLACE NORTH



1 OLYMPIC VIEW PL. N. FROM N. 100TH ST.



2 ADJACENT PROPERTY TO THE NORTH FROM OLYMPIC VIEW PL. N.



3 PROJECT SITE FROM OLYMPIC VIEW PL. N.



4 SITE FRONTAGE LOOKING NORTH ALONG OLYMPIC VIEW PL. N.



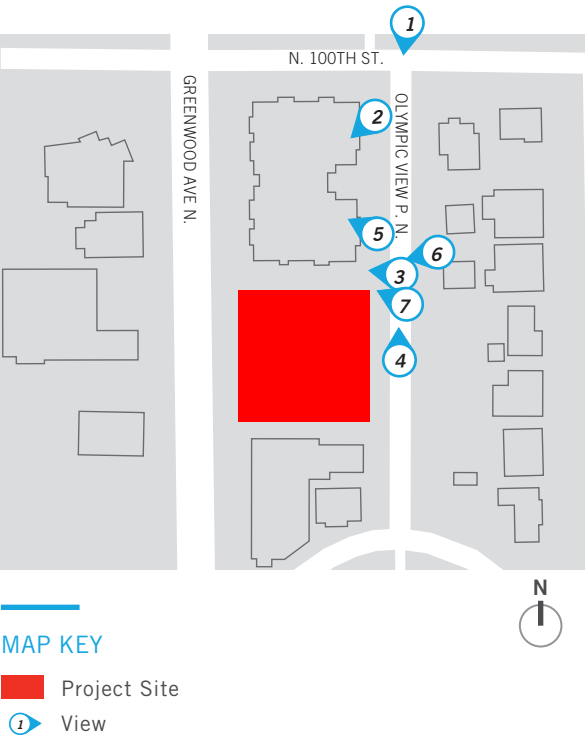
5 ADJACENT PROPERTY TO THE NORTH FROM OLYMPIC VIEW PL. N.



6 VIEW OF NE CORNER OF SITE FROM OLYMPIC VIEW PL. N.



7 PROJECT SITE AT NORTH PROPERTY LINE FROM OLYMPIC VIEW PL. N.



5.0 EXISTING SITE CONDITIONS - SITE PHOTOS - OLYMPIC VIEW PLACE NORTH



1 INTERSECTION OF OLYMPIC VIEW PL. N. & N. GREENWOOD CIRCLE



2 OLYMPIC VIEW PL. N. FROM N. GREENWOOD CIRCLE



3 OLYMPIC VIEW PL. N. LOOKING NORTH



4 SE CORNER OF PROPERTY



5 ADJACENT PROPERTY TO THE SOUTH AT SE CORNER OF SITE



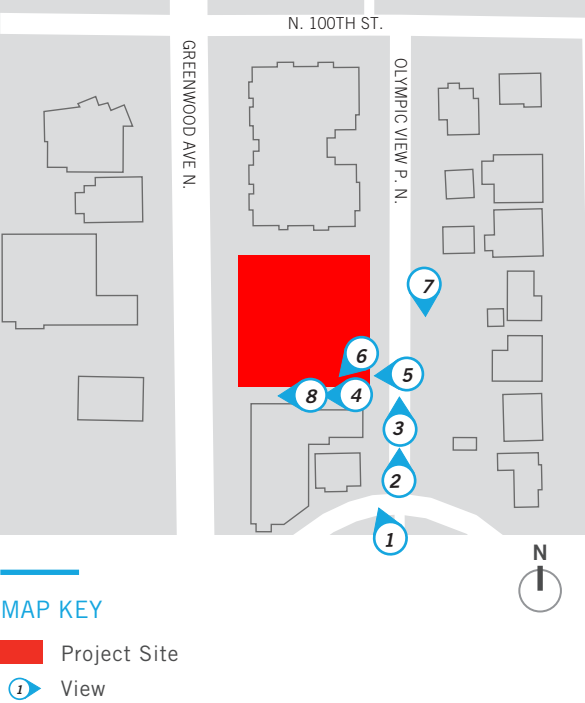
6 PROJECT SITE AT SOUTH PROPERTY LINE FROM OLYMPIC VIEW PL. N.



7 FROM OLYMPIC VIEW PL. N. TOWARDS N. GREENWOOD CIRCLE



8 PROJECT SITE AT SOUTH PROPERTY LINE FROM OLYMPIC VIEW PL. N.



5.0 EXISTING SITE CONDITIONS - SITE PHOTOS - OLYMPIC VIEW PLACE NORTH



1 SINGLE FAMILY HOMES ACROSS OLYMPIC VIEW PL. N. TOWARDS N. 100TH STREET



2 SINGLE FAMILY HOMES ACROSS PROJECT SITE



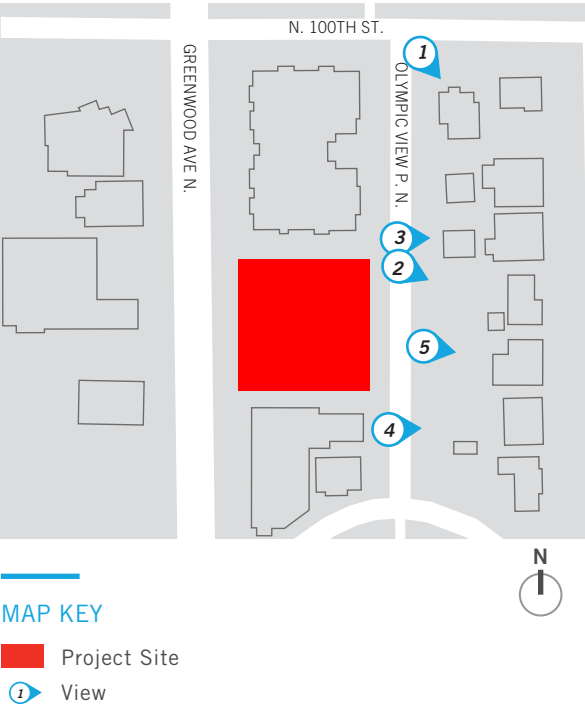
3 SINGLE FAMILY HOME ACROSS PROJECT SITE



4 SINGLE FAMILY HOMES ACROSS OLYMPIC VIEW PL. N. TOWARDS N. GREENWOOD CIRCLE



5 SINGLE FAMILY HOME ACROSS PROJECT SITE

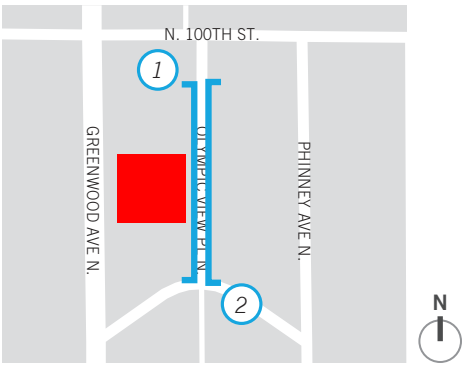
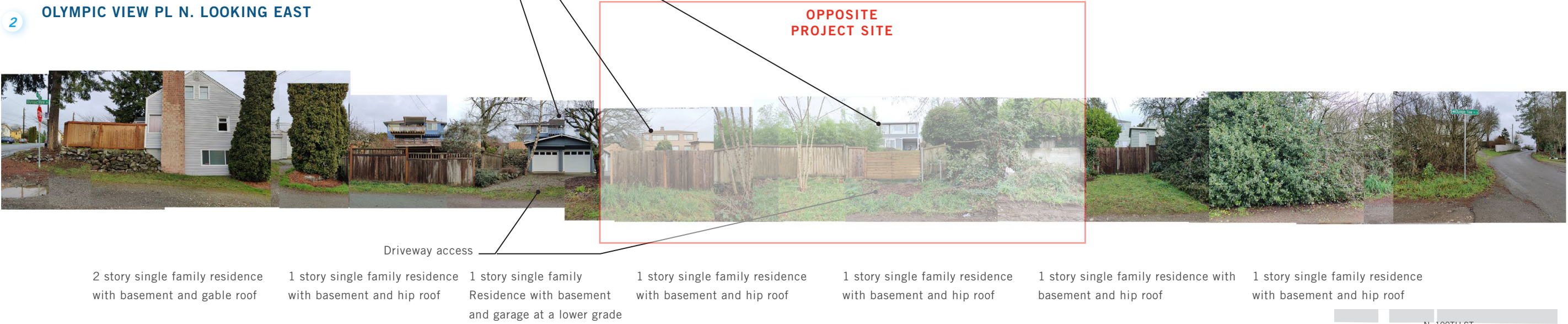


5.0 EXISTING SITE CONDITIONS - STREETSCAPES

1 OLYMPIC VIEW PL N. LOOKING WEST



2 OLYMPIC VIEW PL N. LOOKING EAST



5.0 EXISTING SITE CONDITIONS - STREETSCAPES

1 GREENWOOD AVE N. LOOKING WEST



1 Story commercial building



1 Story commercial building



1 Story commercial building

2 GREENWOOD AVE N. LOOKING EAST



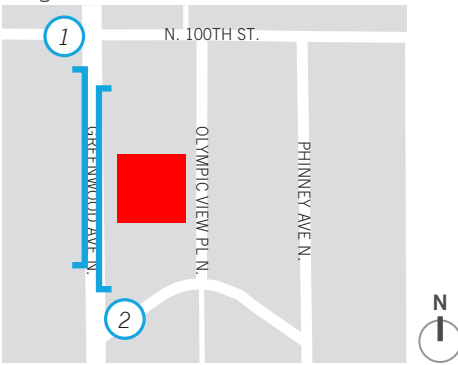
4 Story mixed-use condominium
with pitched and flat roof



1 story commercial building



1 story commercial building



5.0 EXISTING SITE CONDITIONS - SITE ANALYSIS

SITE SUMMARY

The site is composed of two parcels located between Greenwood Ave. N. to the west and Olympic View Pl. N. to the east. The proposed building will replace an existing commercial (restaurant use) building and surface parking.

The site slopes down east to west approximately 12 feet. There are high voltage power lines along Olympic View Pl. N. approximately 4 feet from the east property line.

Adjacent properties include an existing 4- story condominium building to the north, a 1-story commercial building to the south and single family homes across Olympic View Pl. N. towards the east.

Project location is within the Frequent Transit Service area, which qualifies for a 50% reduction of required parking.

No right of way dedications are required along either street. Olympic View Pl. N. is classified as a neighborhood curbless street and its street improvements will be determined per SDOT requirements through the SIP process.



NEW STREET IMPROVEMENTS

Olympic View Pl. N. is currently unimproved and functions as an alley. Per SDCI and SDOT, new street improvements including sidewalk and planting are required.

High Voltage Power lines with minimum 14' clearance required.

ZONE / HEIGHT TRANSITION

Single family homes (SF 5000) to the east immediately adjacent to the C1-55(M) zone.

GRADING AND DRAINAGE

Existing grade depression along the site on Olympic View Pl. N. requires grades to be raised to get positive surface flow to N. Greenwood Circle.

PARKING AND SERVICE

- No vehicular access is allowed from Greenwood Ave. N. Vehicular access is required from Olympic View Pl. N.
- SPU requires solid waste pick up from Olympic View Pl. N.
- Access ramp on SW corner to minimize grade differential between the street and the parking level.

TOPOGRAPHY

- Site slope down towards Greenwood Ave. N. Building design and floor plan configuration adjusts to the grade differential between both streets;
- Taller building height toward the arterial street, Greenwood Ave. N.

FRONTAGE AND GRADING

Street slopes towards the south. This restricts 2-story volume at the north end and creates varying floor elevations.

6.0 ZONING DATA

APPLICABLE ZONING C1-55(M)	SMC-SECTION		DESCRIPTION	COMPLIANCE
Permitted And Prohibited Uses	23.47A.004	A	All uses are permitted per table A - eating & drinking establishments, office, sales and service, general, live-work units, residential uses	✓
Street Level Development Standards	23.47A.008	A.2.b	Blank segments of the street facing facade - between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width.	✓
		A.2.c	The total of all blank facades may not exceed 40% of the width of facade of structure along the street.	✓
		A.3	Street-level street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.	✓
		B.2.a	60% Of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent. Applies only to Greenwood Ave N; not required for Olympic View Place N	✓
		B.3a	Non-residential uses > 600 sf shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level street-facing facade.	Departure requested. See page 54.
		B.4	Non-residential uses at street level shall have a floor-to-floor height of at least 13 feet.	✓
		E.1	The portion of each such live-work unit in which business is conducted must be a minimum of 300sf and located between the street and the residential portion of the live-work unit. The non-residential portions of the unit shall extend the width of the street-level street-facing facade, shall extend a minimum depth of 15 feet from the street-level street-facing facade, and shall not contain any of the primary features of the residential (live) portion of the live-work unit, such as kitchen, bathroom, sleeping, or laundry facilities. These basic residential features shall be designed and arranged to be separate from the work portion of the live-work unit.	✓
		E.2	Each live-work unit must have a pedestrian entry on the street-facing facade that is designed to be visually prominent and provide direct access to the non-residential portions of the unit.	✓
Structure Height	23.47A.012	A.	55 Feet height limit per C1-55(M)	✓
		C.2	Open railings, planters, parapets, and firewalls may extend up to 4 feet above the otherwise applicable height limit, whichever is higher. Insulation material, rooftop decks and other similar features, or soil for landscaping located above the structural roof surface, may exceed the maximum height limit by up to 2 feet if enclosed by parapets or walls that comply with this subsection 23.47A.012.C.2.	✓
		C.4.b	Mech. Equipment may extend up to 15 feet above the applicable height limit, as long as the combined total coverage of all features gaining additional height, including weather protection such as eaves or canopies extending from rooftop features, does not exceed 20 percent of the roof area, or 25 percent of the roof area if the total includes stair or elevator penthouses or screened mechanical equipment.	✓
		C.4.f	Stair and elevator penthouses may extend above the applicable height limit up to 16 feet.	✓
Floor Area Ratio	23.47A.013	A	Per table A - MAX. FAR is 3.75.	✓
		B	The following gross floor area is not counted toward maximum FAR:	✓
		B.1	All underground stories or portions of stories;	✓
		B.2	All portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, excluding access;	✓
Landscaping & Screening Standards	23.47A.016	A.2.a	Landscaping shall achieve a green factor score of 0.30 Or greater per SMC 23.86.019 for any lot with development containing more than four dwelling units.	✓
		B.1	Street trees are required; existing street trees shall be retained	✓
Commercial Zones With A Mandatory Housing Affordability Suffix	23.47A.017		C and NC zones with a mandatory housing afford-ability suffix are subject to the provisions of chapters 23.58B and 23.58C.	✓
Light And Glare Standards	23.47A.022	A.	Exterior lighting must be shielded and directed away from adjacent uses.	✓
		B.	Interior lighting in parking garages must be shielded to minimize nighttime glare affecting nearby uses.	✓
Amenity Areas	23.47A.024	A.	Required in an amount of 5% of gross floor area in residential use. Areas used for Mech. Equipment and accessory parking are excluded from gross floor area. Bioretention facilities qualify as amenity areas.	✓
		B.	All residents shall have access to at least one common or private amenity area. Amenity areas shall not be enclosed. Parking areas and driveways don't qualify as amenity areas. Common amenity area shall have a minimum horizontal dimension of 10 feet, and be no less than 250 sf. Private balconies and decks shall have a minimum area of 60 sf, and no horizontal dimension shall be less than 6 feet.	✓

6.0 ZONING DATA

APPLICABLE ZONING	SMC-SECTION		DESCRIPTION	COMPLIANCE
Required Parking And Loading	23.47A.030	A.	Off-street parking spaces may be required as provided in section 23.54.015, Required parking.	✓
Parking Location And Access	23.47.032	A.1.c	If access is not provided from alley and the lot abuts two streets, access is permitted across one of the side street lot lines pursuant to 23.47A.032.C and curb cuts are permitted pursuant to 23.54.030.F.2.A.1	✓
		A.1.d	For each permitted curb cut, street-facing facades may contain one garage door, not to exceed the maximum width allowed for curb cuts.	✓
		A.3	In C1 and C2 zones, access to off-street parking may be from a street, alley, or both when the lot abuts an alley. However, structures in C zones with residential uses, and structures in C zones across the street from residential zones shall meet the requirements for parking access for NC zones as provided in subsection 23.47A.032.A.1.	✓
		B.1.a	The following rules apply in NC zones, except as provided in subsection 23.47A.032.D: Parking shall not be located between a structure and a street lot line	✓
		B.1.b	Within a structure, street-level parking shall be separated from street-level, street-facing facades by another permitted use. This requirement does not apply to access to parking meeting the standards of subsection 23.47A.032.A.	✓
		B.3	Off-street parking may be located anywhere on a lot in C1 and C2 zones, except that structures with residential uses in C zones, and structures in C zones across the street from residential zones shall meet the requirements for parking location for NC zones as provided in subsection 23.47A.032.B.1.	✓
Improvement Requirements For Existing Streets In Residential And Commercial Zones	23.53.015	A.6.a	The minimum right-of-way widths for arterials is per SDOT right-of-way improvements manual. Greenwood Ave N - Minor Arterial - required width 68 feet, existing width 90 feet	✓
		A.6.b & C.2a	The minimum right-of-way width for an existing street that is not an arterial in C1 zones 52 feet; Olympic Pl. Existing width - 40 feet with no dedication SDCI approved R.O.W. Exemption	✓
		C.2.b	Improvement requirement. A paved roadway with pedestrian access and circulation as required by 23.53.006, Drainage facilities and any landscaping required by the zone in which the lot is located shall be provided in the portion of the street right-of-way abutting the lot, as specified in the right-of-way improvements manual.	✓
Required Parking	23.54.015	A.	Table B - i. Residential uses: 1 space/dwelling unit. Site is located in 50% reduction in minimum parking requirement due to location within frequent transit service area (23.54.020.F.2.A) Table A - d. Live-work units- no space for units less than 1500 sf	✓
		D.1	D. Parking waivers for non-residential uses 1. In all commercial zones and in pedestrian-designated zones, no parking is required for the first 1,500 square feet of each business establishment.	✓
		K	Table D - d.2. Long-term bicycle parking requirement: 1 space / 1 dwelling unit; short-term: 1 space per 20 dwelling units	✓
Parking Space Standards	23.54.030	B.1.b	When more than five parking spaces are provided, a minimum of 60 percent of the parking spaces shall be striped for medium vehicles. The minimum size for a medium parking space shall also be the maximum size. Forty percent of the parking spaces may be striped for any size category in subsection 23.54.030.a, provided that when parking spaces are striped for large vehicles, the minimum required aisle width shall be as shown for medium vehicles.	Departure requested. See page 55.
Parking Quantity Exceptions	23.54.020	F.2.a	Reductions to required parking; 2. Transit reduction A. In multifamily and commercial zones, the minimum required parking for all uses is reduced by 50 percent if the property is located within a frequent transit service area, and the property is not located in an urban center, urban village, or station area overlay district.	✓
Solid Waste And Recyclable Materials Storage And Access	23.54.040	A	Per table A - space required for shared storage space for solid waste containers for residential development w/ 26 - 50 dwelling units is 375 sf. ; Storage space for non residential use less than 5000 sf = 82 sf.	✓
		B	Mixed use development that contains both residential and non-residential uses shall meet the storage space requirements shown in table a for 23.54.040 For residential development, plus 50 percent of the requirement for non-residential development. In mixed use developments, storage space for garbage may be shared between residential and non-residential uses, but separate spaces for recycling shall be provided.	✓
Applicability & General Requirements	23.58.025	B.1	Shall apply to development that includes units, whether such development occurs through one or more of the following: 1. Construction of a new structure;	✓
Affordable Housing - Payment Option	23.58.040	A	A. Payment amount 1. An applicant through the payment option shall provide a cash contribution to the city, calculated by multiplying the payment calculation amount per square foot according to table b for 23.58C.040 And map a for 23.58C.050, As applicable, by the total gross floor area in the development, excluding the floor area of parking located in stories, or portions of stories, that are underground, and excluding any floor area devoted to a domestic violence shelter, as follows: A. In the case of construction of a new structure, the gross floor area in residential use and the gross floor area of live-work units;	✓

KEY

- [illegible]

8.0 DESIGN GUIDELINES

CONTEXT & SITE

CS2. URBAN PATTERN & FORM

B. Adjacent Sites, Streets, and Open Space & D. Height, Bulk and Scale

[Architect Response:](#)

The design reinforces the existing commercial corridor by providing direct access from Greenwood Ave. N. to the commercial space, live-work units, and residential lobby located at street level. Setbacks at street level provide a wider sidewalk, landscaping and access to the street level uses thus enhancing the pedestrian experience and complementing existing streetscape characteristics of Greenwood Ave. N. The east facing third level outdoor amenity space will provide a buffer area to visually reduce the mass and bulk of the structure in relationship to the single family residences adjacent to the site. The upper residential levels are considerably setback from the east property line to reduce the perceived mass of the building towards the residential zone. The project is located in the C1-55 (M) zone and adjacent to a SF 5000 (single family) zone on the eastern side of the lot. The proposed development utilizes the full build-able potential of the upzoned site while allowing for a smooth height transition to the adjacent SF 5000 zone by stepping back the massing and utilizing a landscaped area along Olympic View Pl. N. The project is comparable in scale to the adjacent north building and expected future development in this zone. Breaks in the facade are proposed to provide visual relief and reduce the perceived mass of the new building along Greenwood Ave. N. and Olympic View Pl. N.

CS3. ARCHITECTURAL CONTEXT AND CHARACTER

A. Emphasizing Positive Neighborhood Attributes

[Architect Response:](#)

The existing properties around the site vary in architectural style, use, age, scale and character. The proposed design complements this amalgam by expressing a contemporary urban style with simple and clean massing. Large facade breaks, material/color variation and architectural elements such as fenestration, balconies, canopies etc. are used to enhance the facade and create interest. The project mitigates zone height differentials by locating the primary building mass along Greenwood Avenue North and lower level residential amenity space on level 3 adjacent to single family residential zone.

PUBLIC LIFE

PL1. CONNECTIVITY

A. Network of Open Spaces & B. Walkways and Connections

[Architect Response:](#)

Commercial, live-work, and residential entries are proposed to be located along Greenwood Ave. N. to increase pedestrian interaction and create a friendly streetscape environment. The street level uses along Greenwood Ave. North are setback to provide a wider sidewalk experience, landscaping and access to the street level uses. An outdoor amenity area on level 3 along Olympic View Pl. N. is proposed to create a buffer to the adjacent single family residential community to the east. Street facing double height live-work, residential lobby, and commercial uses along Greenwood Avenue North will enhance pedestrian connectivity, visibility, and security and activate the streetscape: thus providing for a vibrant environment. Distinct types of signage for each use will aid in wayfinding for the residential lobby and commercial uses. Project specific lighting will create a sense of place. Spillover illumination from streetfront glazing will help to further illuminate the streetscape and increase pedestrian security. Overhead weather protection will be provided at the street level entries along Greenwood Ave. N.

PL2. WALKABILITY

B. Safety and Security & C. Weather Protection

[Architect Response:](#)

Pedestrian friendly uses such as commercial, live-work units and the residential lobby with potentially large areas of glazing have been located along Greenwood Ave. N. to foster a robust and walkable pedestrian environment. Overhead weather protection will be provided along Greenwood Ave. N. with individual canopies highlighting the entrance for the different uses at street level. Live-work units themselves are set back from the public sidewalk edge along with landscaping to provide privacy for these units. Commercial use is also setback to provide outdoor spillover space and a wider sidewalk experience. Lighting specifically placed along the facade, building overhang and entries at the lower levels create the opportunity to provide an active and vibrant streetscape.

PL3. STREET-LEVEL INTERACTION

A. Entries & C. Retail Edges

[Architect Response:](#)

The proposed design will provide commercial and residential uses along Greenwood Ave. N. with large areas of glazing and

clearly defined entries directly connected to the sidewalk blended in between landscape planters along the frontage. Individual canopies highlight the entrance for the different uses at street level; The residential canopy has distinct thicker profile from the canopies for the live-work and commercial uses. The proposed design provides accessible entrances from the sidewalk with overhead weather protection and appropriate signage. Double height live-work units and increased floor height at the commercial space allow large areas of street front glazing to ensure ample visibility. Live-work units themselves are set back from the public sidewalk edge along with landscaping to provide privacy for these units. Commercial use is also setback to provide outdoor spillover space and a wider sidewalk experience.

DESIGN CONCEPT

DC1. PROJECT USES & ACTIVITIES

A. Arrangement of interior uses, B. Vehicular Access and Circulation & C. Parking and Service Uses

[Architect Response:](#)

The design proposes active uses such as live-work, commercial, and a residential lobby at street level in visibly primary locations with respect to the streetscape. Service and utility uses are located off street and clearly designated as secondary points of access. Parking garage access and solid waste pickup is located along Olympic View Pl. N., which is the secondary street, to minimize pedestrian / vehicular conflicts. Parking, trash storage and service uses are completely enclosed within the building. Along Olympic View Pl. N., a combination of vertical green screens and glass railing system will be used to break up the blank facade and soften the building wall along the sidewalk.

DC2. ARCHITECTURAL CONCEPT

A. Massing & B. Architectural and Façade Composition & C. Secondary Architectural Features

[Architect Response:](#)

The proposed massing utilizes the full development potential of the site while being sensitive to the surrounding lower height properties by providing a setback and a landscaped outdoor courtyard along Olympic View Pl. N. The proposal creates two differential facade treatments (rhythmic versus playful) for the two streets that are very distinct in character. Breaks in the facade, material/color variation and architectural elements such as fenestration, balconies, canopies etc. are used to enhance the facade and reduce the perceived mass of the building. Façade composition and scale is defined by the building program and uses. Lower levels are dedicated to commercial, residential lobby, and live-work units while upper levels include residential units that all have unique program characteristics. These characteristics are exploited to differentiate massing between lower and upper levels. Simple and clear massing establishes an order to the structure while material/color variation and architectural elements such as fenestration, balconies, canopies etc. create an interesting facade composition.

DC3. OPEN SPACE CONCEPT

A. Building Open Space Relationship & B Open Space Uses and Activities

[Architect Response:](#)

The proposed design integrates open space with building massing by providing common space at the roof level and an outdoor courtyard amenity on level 3. Private open space for the residents is also added in the form of balconies on the east facade. The level 3 courtyard enhances the pedestrian experience along Olympic View Pl. N. and acts as a visual buffer to single family zone and the adjacent property to the north.

DC4. EXTERIOR ELEMENTS AND FINISHES

A. Exterior Elements and Finishes

[Architect Response:](#)

The main building mass utilizes the rhythm of a two tone vertical pattern. The darker gray panels on the east, west and south facades of the building draw attention to the notch entries with a structured, rhythmic stripe pattern. The darker gray panels on the north facade create a more 'playful' pattern with the use of a random patterning. The building consistently utilizes a secondary material, wood composite panel to highlight the notches and create interest at the ground level. Balconies are also clad in the same wood composite to soften the facade and add visual interest for the single family residences that are across Olympic View Pl. N.

B. Signage & C. Lighting

[Architect Response:](#)

The proposed design includes simple and elegant signs, appropriately placed at each entry canopy. Lighting is provided along the facade and at entry canopies to increase site safety and emphasize entries but avoiding off-site glare and light pollution. Courtyard spaces include bollards and landscape lighting.

8.0 ITEMIZED RESPONSE TO EDG

BOARD RECOMMENDATIONS		DESIGN TEAM RESPONSE	REFERENCE
1	<p>MASSING:</p> <p>a. The board supported the applicant’s preferred massing option, option 3. The board discussed how option 3’s massing appropriately moves away from the adjacent residential zone to the east and provides more access to natural light for the units. The board supported the massing moves along Greenwood Ave N. although the board supported option 3, the board members encouraged the applicant provide a strong concept of material and secondary features applied consistently around the building so as to not end up with a simple box of a building. (CS2.a.2, CS2.d)</p>	<p>The proposed building is based on massing option 3, that the board supported, further refined. The material choices create a clear hierarchy and are reflective of the building’s program. The main mass utilizes the rhythm of a two tone vertical pattern. The darker gray panels on the east, west and south facades of the building draw attention to the notch entries through the use of a structured, rhythmic stripe. The darker gray panels on the north facade creates a more ‘playful’ pattern through a random panel arrangement.</p> <p>The building consistently utilizes a secondary material, wood composite panel, in all notch locations. The wood composite panel highlights these recesses and in cases where there is an entry, emphasizes its location. In addition, the use of wood at the live-work units softens the ground level and differentiates the use from the commercial space. Another secondary element added to the east facade are balconies. These balconies are clad in the same wood composite panel that is used in the building notches and have glass railings. This softens the facade and relates well to the character of single family residences that are across Olympic View Pl. N.</p>	<p>See exhibit 1 & 3 & concept on page 23.</p>
	<p>b. The board supported the notches shown on the preferred option. The notches are located on the east, west and south sides of the building. Although the board supported the notch concept, the board encouraged the applicant to further explore creating a hierarchy of the notch locations. The board suggested the applicant look at the notch width, which some board members commented appeared too narrow in the context of the building’s massing. the board encouraged the applicant incorporate the notches as a wayfinding element and possibly incorporate the notch on the west side into the entry sequence into the building. The board also encouraged the applicant explore creating a notch on the north side of the building to assist in breaking down the north side wall massing. Along with the building notches, the board supported the applicant’s approach to apply materials logically in and around all of the notches to further delineate them as a feature of the building’s design. (DC2.a, DC2.b, DC4.a)</p>	<p>The notch on the west facade is located to accentuate the main residential entry. The use of the wood composite panel further emphasizes the main residential entry. The notch on the east facade is located to relate more to the west facade notch and as a wayfinding feature from the courtyard. The addition of the notches on the north and south facades breaks up the expanse of the blank facade and serve as a delineation of facade treatment from Greenwood Ave. N. and Olympic View Pl. N. The location and width of the notches create an overall balance with the building mass by breaking up the scale and ensuring appropriate massing and material variations on all facades of the building.</p>	<p>See exhibit 1 & 3 & concept on page 23.</p>
	<p>c. The board, while they supported the applicant moving forward with option 3, requested the applicant apply the final building’s features consistently around the building. The board also directed the applicant to provide a high level of detail and secondary features to the east facade so that the facade was not a muted wall expression facing the residences east of the projected site. (DC2.b, DC2.c)</p>	<p>See response to 1a & 1b. In addition to the consistent application of the light, dark gray panels and wood composite accent panels on the main facade, the east facade continues the use of wood composite panels in the ‘playful’ arrangement of balconies with glass railings to create interest. The concrete wall at grade has varying treatments including green screens, glass railings, patterned concrete and light fixtures. The view of the building from the single family homes has multiple layers with street improvements (trees and landscaping), the aforementioned treatment of the concrete wall at grade, additional landscaping in the courtyard and finally the overall treatment of the main facade.</p>	<p>See exhibit 1, 3 & 4 & concept on page 23.</p>



EXHIBIT 1: VIEW LOOKING SOUTHEAST ON GREENWOOD AVE. N.



EXHIBIT 2: STREET FRONTAGE ALONG GREENWOOD AVE. N.



EXHIBIT 3: VIEW LOOKING SOUTHWEST ON OLYMPIC VIEW PL. N.



EXHIBIT 4: STREET FRONTAGE ALONG OLYMPIC VIEW PL. N.

8.0 ITEMIZED RESPONSE TO EDG

BOARD RECOMMENDATIONS		DESIGN TEAM RESPONSE	REFERENCE
2	<p>BLANK WALL:</p> <p>a. The board members raised concerns about the north and south walls of the building being potentially blank walls, noting that the north wall will be highly visible to both the public and residents of the building immediately north of the site. In addition to the blank wall concerns on the north wall, the board requested the applicant include a privacy study in the recommendation packet due to this existing apartment north of the site. The board members also noted the south wall condition as being a potential concern, however, acknowledged that any blank wall condition will not be as significant since redevelopment of the site to the south, when it occurs, will likely block any blank wall condition. (DC2.b)</p>	<p>The north facade incorporates two elements that addresses the board’s concerns. The first element is the use of darker gray panels arranged in a ‘playful’ random pattern to create interest. The second is the introduction of a north notch with wood composite panels to break up the scale of the facade.</p> <p>The south facade incorporates a similar material application that is used on the west and east facade with striped darker gray panels and the wood composite accent panels. The addition of windows on the south west side of the building allows for the treatment of the west facade to wrap around the southwest corner and prevent a blank wall. The notches on the north and south break down the massing of both facades and are further highlighted with the use of wood composite panels.</p> <p>The neighboring building to the north has a number of openings on their south facade, directly facing the proposed building. No windows are proposed on the north facade due to privacy issues; a privacy study is provided.</p>	<p>See elevations & privacy study on pages 34-37 & 56.</p>
	<p>b. Responding to public comment provided at the meeting, the board encouraged the applicant to incorporate secondary elements on the east facade to help break down the massing. The board members noted this facade was important as it faces Olympic View Drive and adjacent residences to the east and should not be considered a back of building condition. (DC2.c)</p>	<p>Regarding secondary elements on the east facade, wood composite panels are used to add visual interest to the balconies. Also, green screens, glass railings, light fixtures and a patterned application are provided on the concrete wall along the sidewalk. Glazing in windows and glass railings softens and provides a refined and attractive facade that relates well to the adjacent residences and does not portray a ‘back of building’ look.</p>	<p>See exhibit 3-4 on page 19.</p>
3	<p>STREETSCAPE:</p> <p>a. The board requested the applicant provide cross sections of the building’s street level interface along Greenwood Avenue in the recommendation packet. Greenwood Avenue, along the site’s frontage, has a minor slope to it. the board requested the cross sections to view how the different floor plates relate to the sidewalk. (CS1.c.2, CS2.b, pl1.b)</p>	<p>The proposed design incorporates different finished floor elevations at the entry for each use to ensure that all entries are at sidewalk grade with a direct accessible route to the spaces along the street. See cross sections shown.</p>	<p>See exhibit 5-8 on page 21-22.</p>
	<p>b. The board had concerns with the proposed 8-foot wide street level access on the south side of the building. the board’s concerns centered around how this space, if not well lit, could become a safety and security concern for residents. the board encouraged the applicant to further study the design and access in this area to create a safe space. the board requested the applicant provide details of the safety and lighting for this area in the recommendation packet. (PL2.b, DC1.c.4)</p>	<p>The proposed 8’ wide street level access on the south side of the building addresses any safety issues with the use of additional glazing, lighting and gated access. The corner glazing near on the ground floor of the proposed building allows for ‘eyes on the street concept’. The select placement of lighting will keep the access area lit and prevent any dangerous activities. Additionally, a locked gate is proposed to be used only by authorized tenants and building management.</p>	<p>See site plan & exterior lighting plan on pages 17 & 49.</p>
	<p>c. The board expressed its concern with the wall condition at the sidewalk along Olympic View Drive noting that the landscape plan in the recommendation packet will need to include landscaping elements to break up the concrete wall condition. Responding to public comments at the meeting, the board also encouraged the applicant to balance the needs of privacy for the future residents of the building and safety and security concerns for pedestrians and neighbors along Olympic View Drive. to that end, the board requested the applicant provide details on the lighting proposed along Olympic View Drive in the recommendation packet. (CS2.b, DC4.c, PL2.b)</p>	<p>The proposed design for the wall along Olympic View Pl. N. utilizes a flowy, nature related concrete patterning. The addition of vertical green screens softens the overall appearance and breaks down the length of the wall segments. Landscaping at grade along the sidewalk also helps soften the concrete wall. The proposed glass railing on the courtyard also provides security and eyes on Olympic View Pl N. Lighting is provided on the wall along the sidewalk. Additional landscaping in the courtyard helps to create a buffer for privacy to building residents. See cross sections shown.</p>	<p>See exhibit 3-4, 9-10 & landscape plan on pages 19, 22 & 30-31.</p>
4	<p>ENTRIES</p> <p>a. The board noted the first-floor plan for the preferred option has separate entries for the live-work units, the residences on the upper floors, and the commercial space on the north side of the building. The board requested the applicant provide a sense of hierarchy between all three entries to distinguish them from one another. In addition to studying the entry hierarchy, the board requested the applicant study the location of the ground level uses related to entry locations, and design the entries to best serve each of the uses. (PL3.a, PL3.c, DC1.a)</p> <p>b. The board requested details for each entry along Greenwood Avenue and encouraged the applicant to design each entry to be at the sidewalk grade. The board noted the entries needed to be at grade to create a welcoming entry for pedestrians. If steps are required for the entry, the board requested the applicant provide a study for the ada accessible ramping to the entry for the board to consider in the recommendation packet. The study would demonstrate how ramping would work along the exterior of the building and maintain a welcoming entry. (CS1.c.2, DC3.a)</p>	<p>The entries to the residential lobby, live-work units and retail are distinguished by materiality. The use of glazing and wood composite material create the clear hierarchy. The residential entry is located in the west notch and is highlighted with the wood composite material. The softer material relates to the residential program. The live-work units utilizes the large transparent, expansive glazing that a typical non-residential program would require but accommodates the privacy that the residential unit would need with solid portions of wood composite panels and landscape planters. The combination of recessed entries and planters create a transition between the public and private realm, additionally, the commercial space is differentiated by having continuous glazing to increase transparency and visibility at all times.</p> <p>The proposed entries along Greenwood Ave N. are located at sidewalk grade with a direct accessible route (no ramps) and the finished floor elevation for each space is adjusted accordingly. See cross sections shown.</p>	<p>See exhibit 5-8, & renderings on pages 21-22, 40 & 41.</p>
	<p>c. The board requested the applicant provide details of the overhead weather protection for the entries along Greenwood Avenue. The board requested the details include the location of the overhead weather protection in relation to the notches in the building, the height, length, and materials of the overhead weather protection. (PL2.c.1, PL2.c.2)</p>	<p>The proposed building utilizes both the 4’ overhang of the above residential floor and canopies over the entrances for weather protection. Each entry canopy has a minimum of 8’ in width and 5’ in depth. In order to create a clear hierarchy of entry canopies, the retail and live-work units utilize a thin profile metal canopy as to blend in seamlessly with the horizontal lines. The residential entry metal canopy has a thicker profile with a wood accent soffit which helps to signal the main entry of the building. Additionally signage is used to clearly identify each entrance. See cross sections shown.</p>	<p>See exhibit 5-8 & renderings on pages 21-22 & 40-41.</p>

8.0 ITEMIZED RESPONSE TO EDG - EXHIBITS

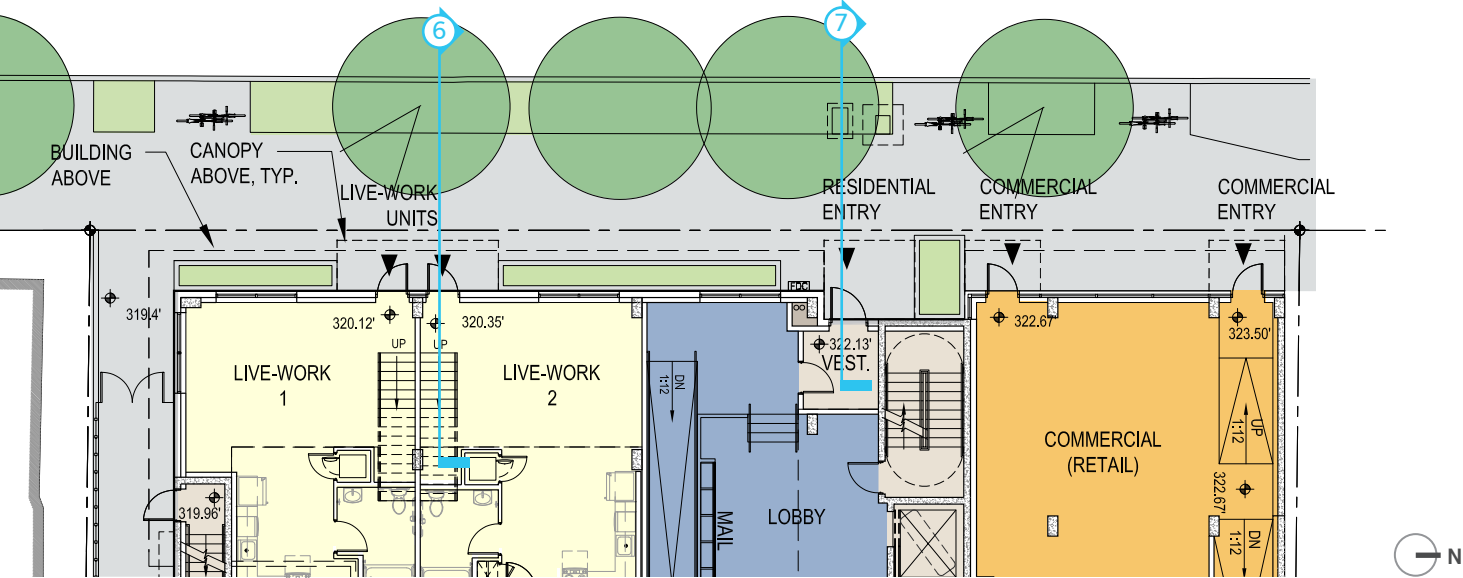


EXHIBIT 5: USES ALONG GREENWOOD AVE. N. AT STREET LEVEL.

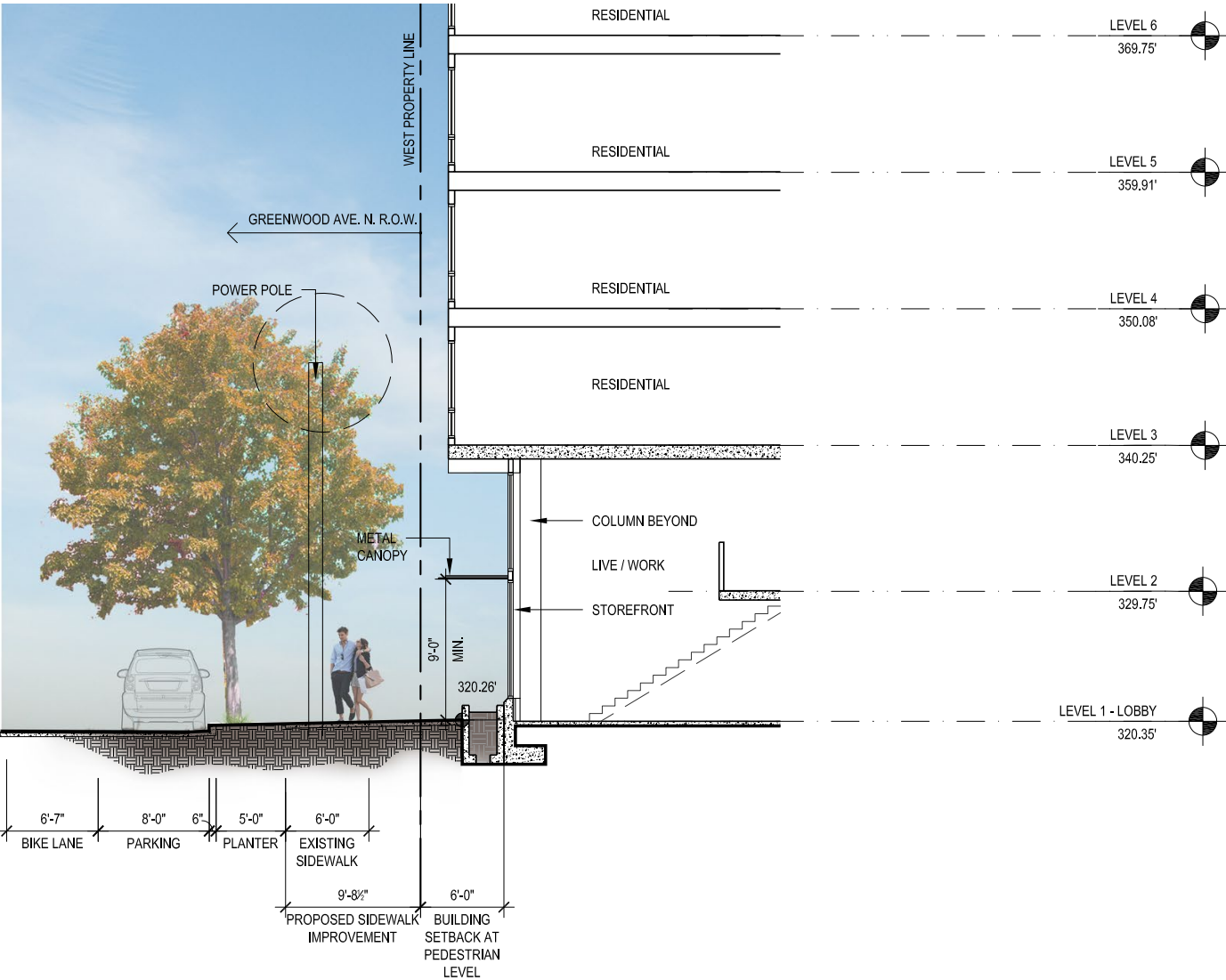


EXHIBIT 6: SECTION ACROSS GREENWOOD AVE. N. AT LIVE-WORK 2.

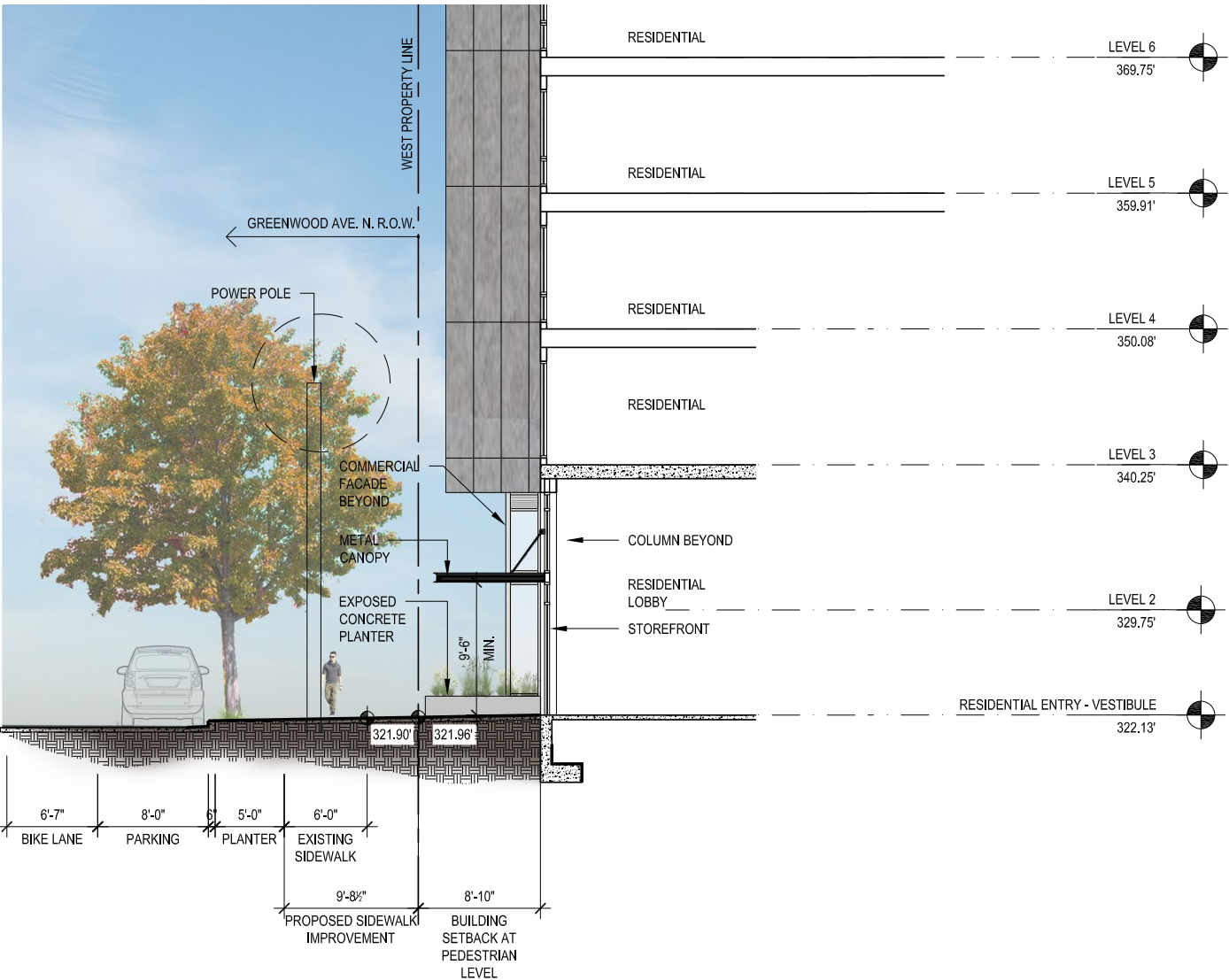


EXHIBIT 7: SECTION ACROSS GREENWOOD AVE. N. AT RESIDENTIAL LOBBY.

8.0 ITEMIZED RESPONSE TO EDG - EXHIBITS

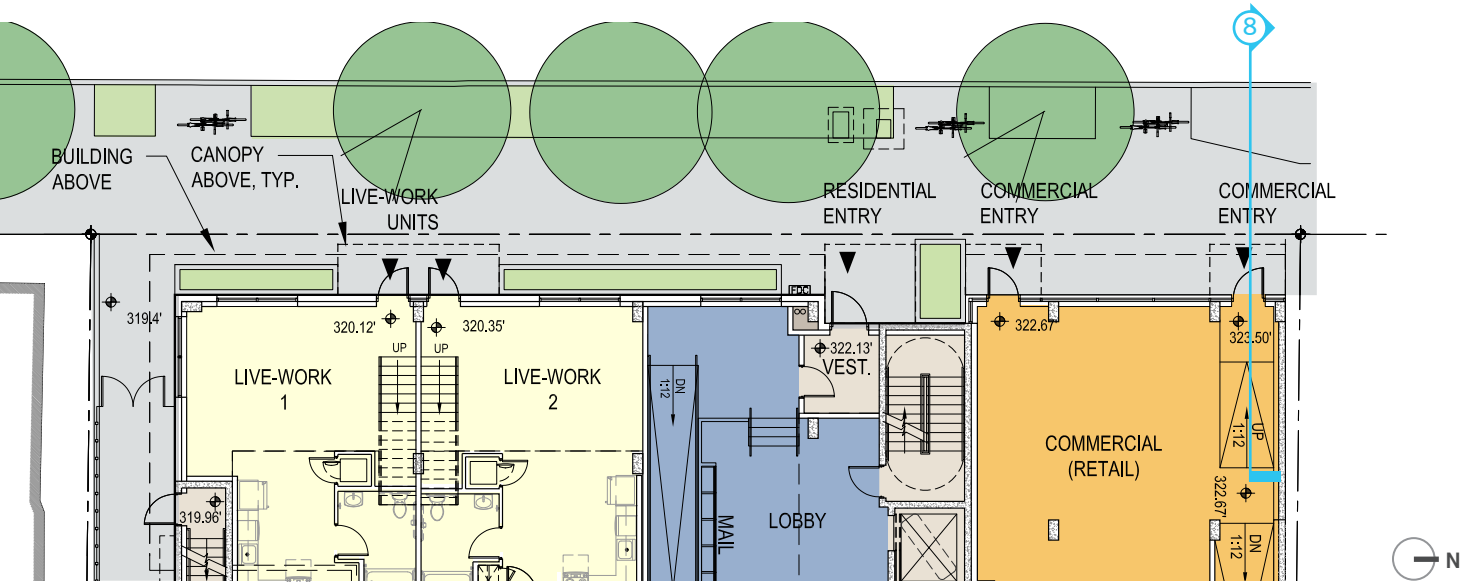


EXHIBIT 5 (FOR REFERENCE ONLY): USES ALONG GREENWOOD AVE. N. AT STREET LEVEL.

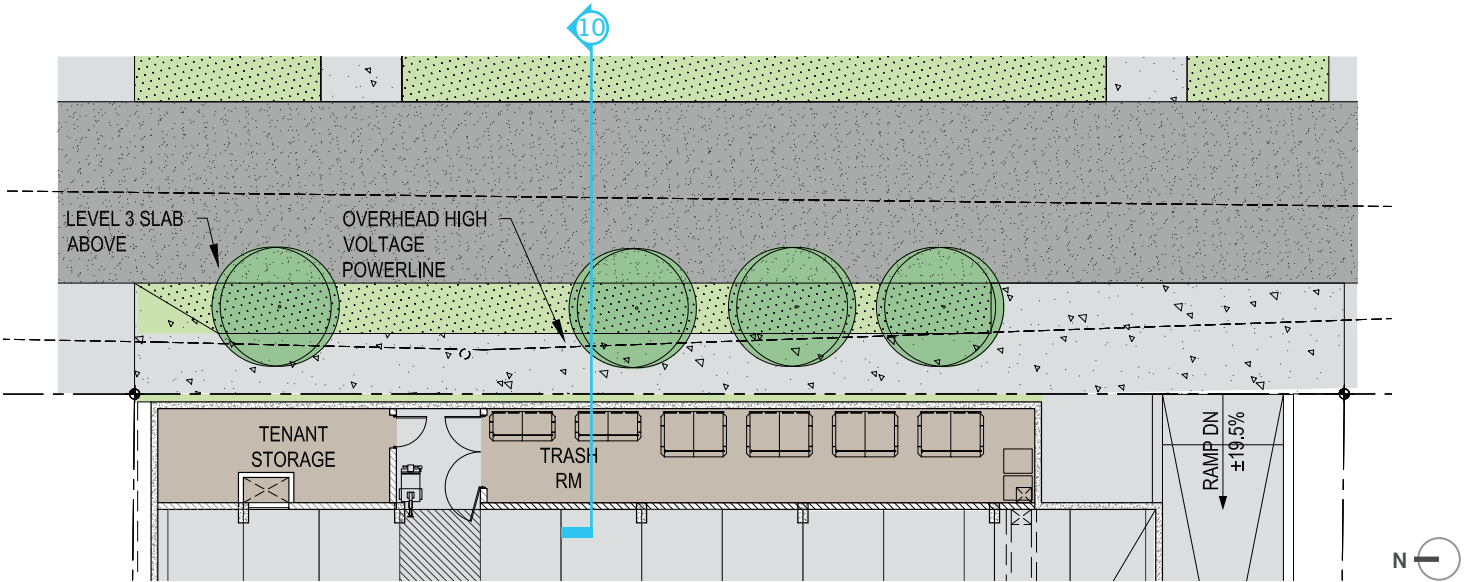


EXHIBIT 9: USES ALONG OLYMPIC VIEW PL. N.

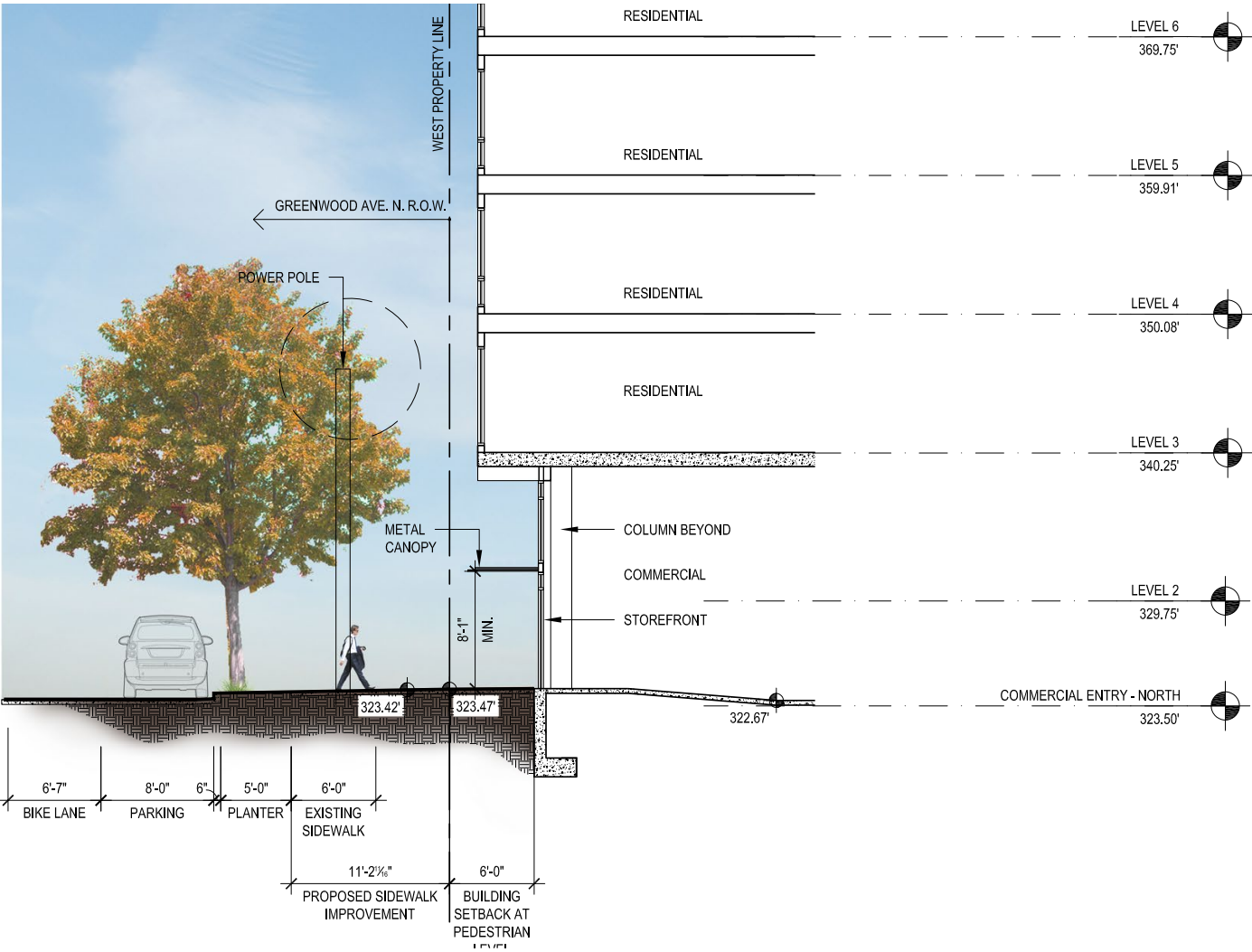


EXHIBIT 8: SECTION ACROSS GREENWOOD AVE. N. AT COMMERCIAL SPACE.

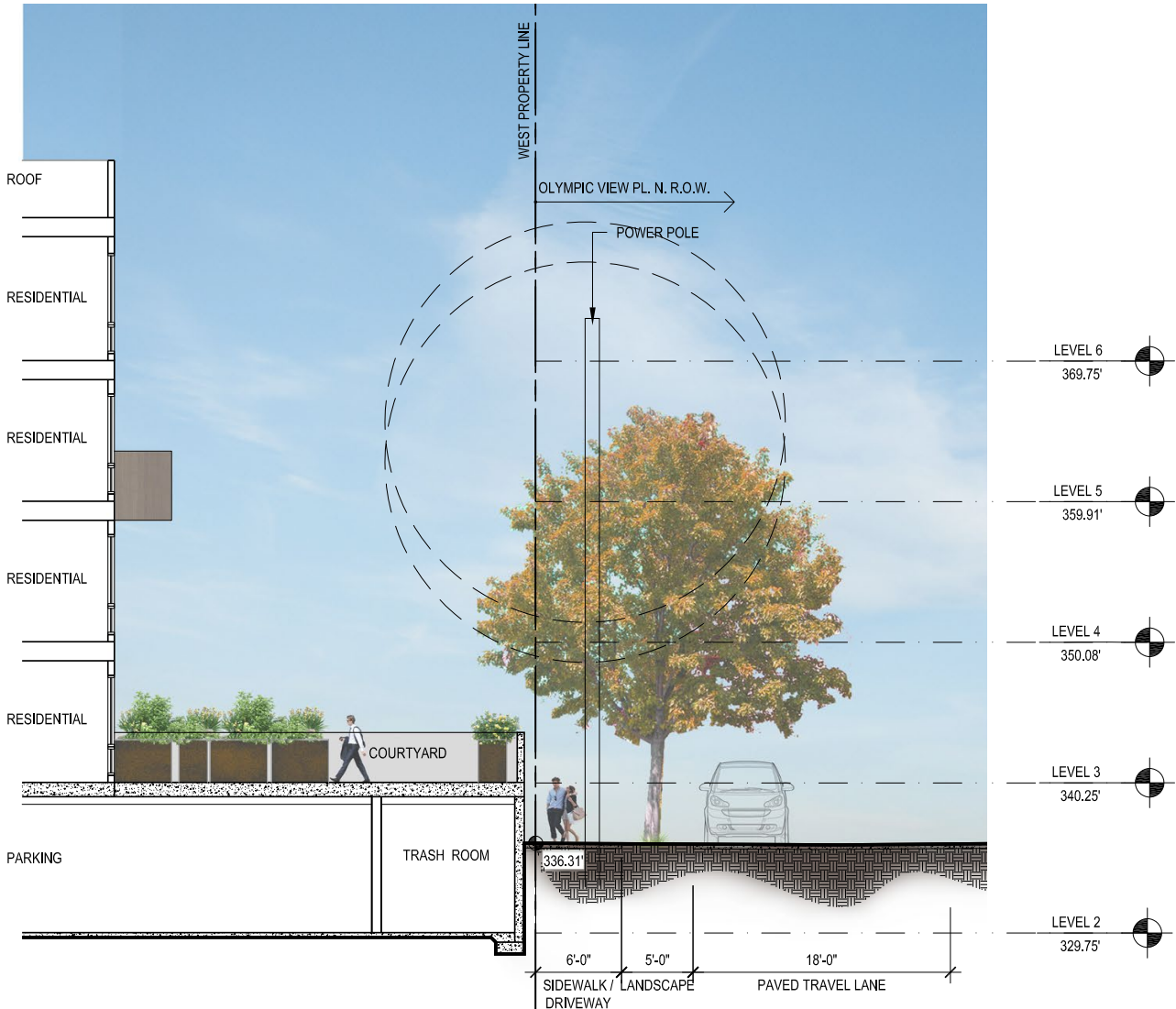
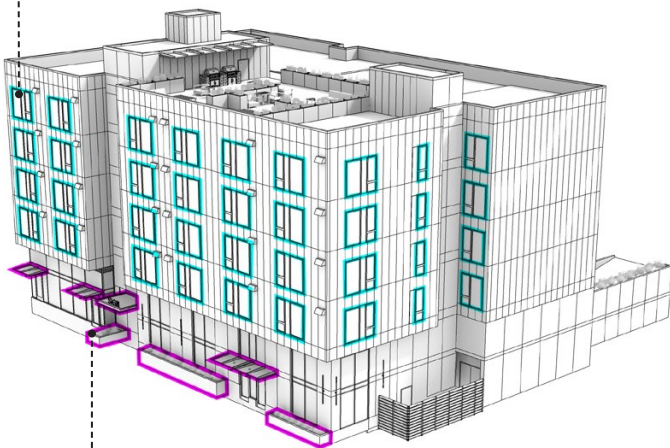
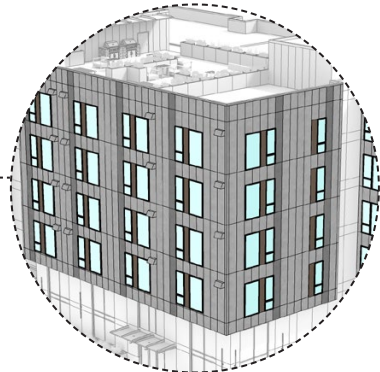


EXHIBIT 10: SECTION ACROSS OLYMPIC VIEW PL. N.

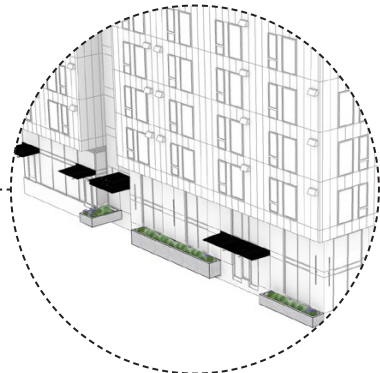
8.0 DESIGN CONCEPT

URBAN EDGE @ COMMERCIAL ST.

The west facade appropriately reflects the urban nature of Greenwood Ave. N. with simple materiality application and rhythmic window patterning.



SOUTHWEST AERIAL

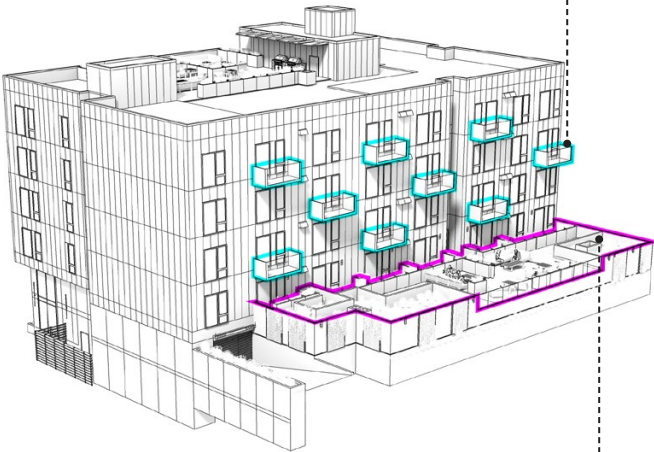
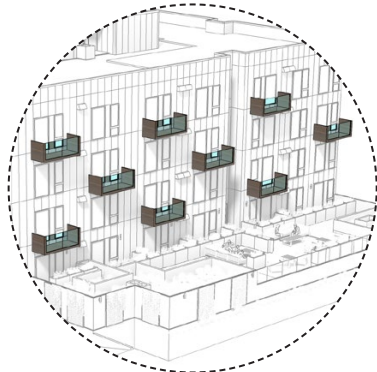


PEDESTRIAN FRIENDLY @ GROUND LEVEL

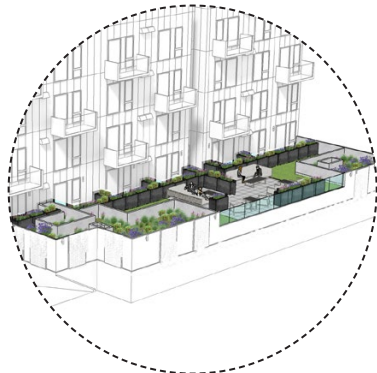
The concrete planters softens the ground level on the west facade, additionally canopies over the entries provide pedestrians with weather protection.

'PLAYFUL' FACADE WITH GREENERY @ RESIDENTIAL ST.

Balconies soften the east facade and appropriately reflects the single family homes across Olympic View Pl. N. balconies clad in the same wood composite, seen in all of the building notches, helps tie them into the overall design.



SOUTHEAST AERIAL

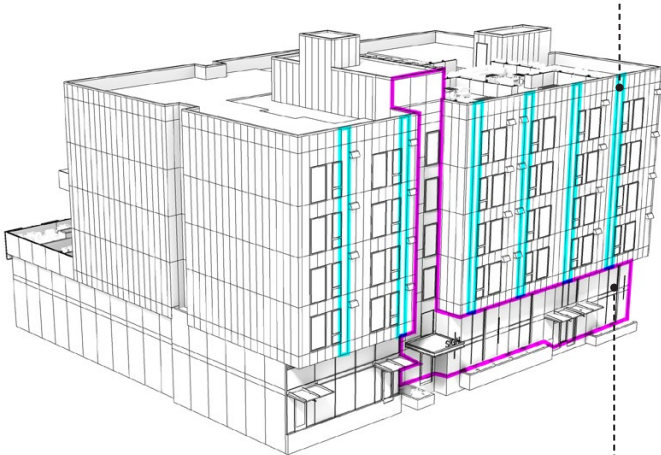
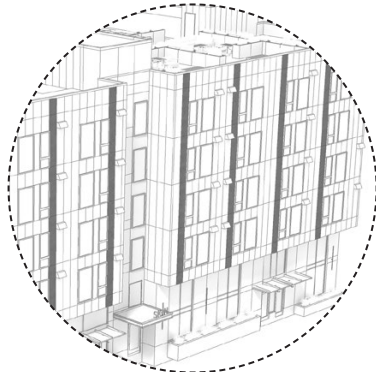


COURTYARD

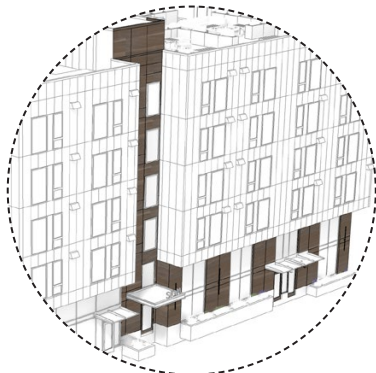
The courtyard is a visually appealing amenity space that provides a soft transition from the single family homes across Olympic View Pl. N.

WAYFINDING

The application of dark striping on the west and east facades draws the eyes to the entry notches and is used as a form of wayfinding.



NORTHWEST AERIAL

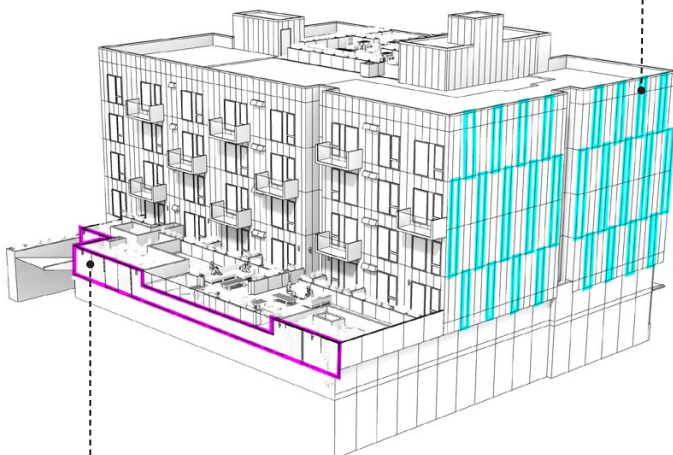
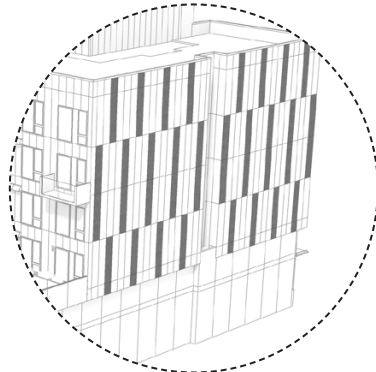


ENTRY

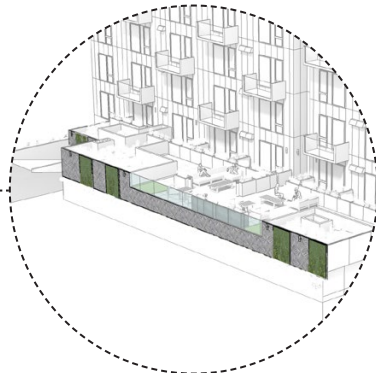
The entry notch is highlighted by the use of a warm wood composite material, providing clear identification for pedestrian wayfinding. Additionally, the live-work units utilize the wood finish as a way to differentiate from the commercial use.

'PLAYFUL' FACADE

'Playful' striping is added on the north to create a fun and interesting facade that can be enjoyed by adjacent neighbors, pedestrians and vehicular traffic.



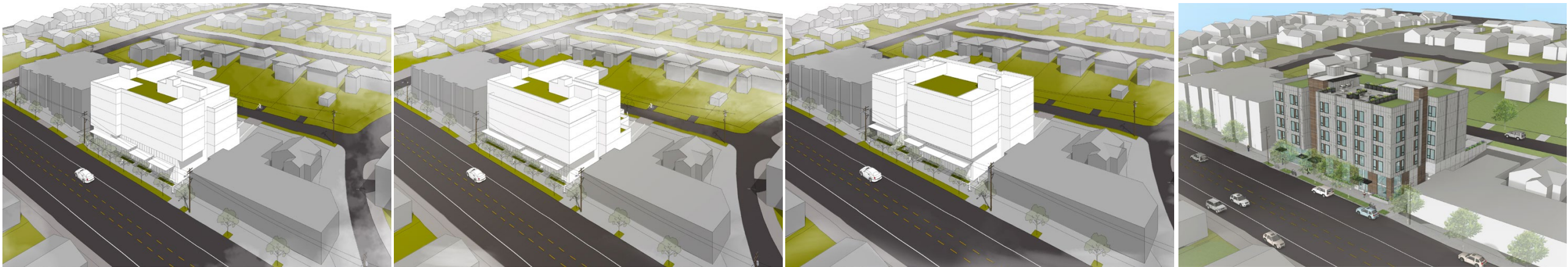
NORTHEAST AERIAL



PATTERNED WALL

The concrete patterned wall with green screens on the east facade softens and creates interest for residents across Olympic View Pl. N. Glass railing and carefully placed lighting provides added security to the public R.O.W.

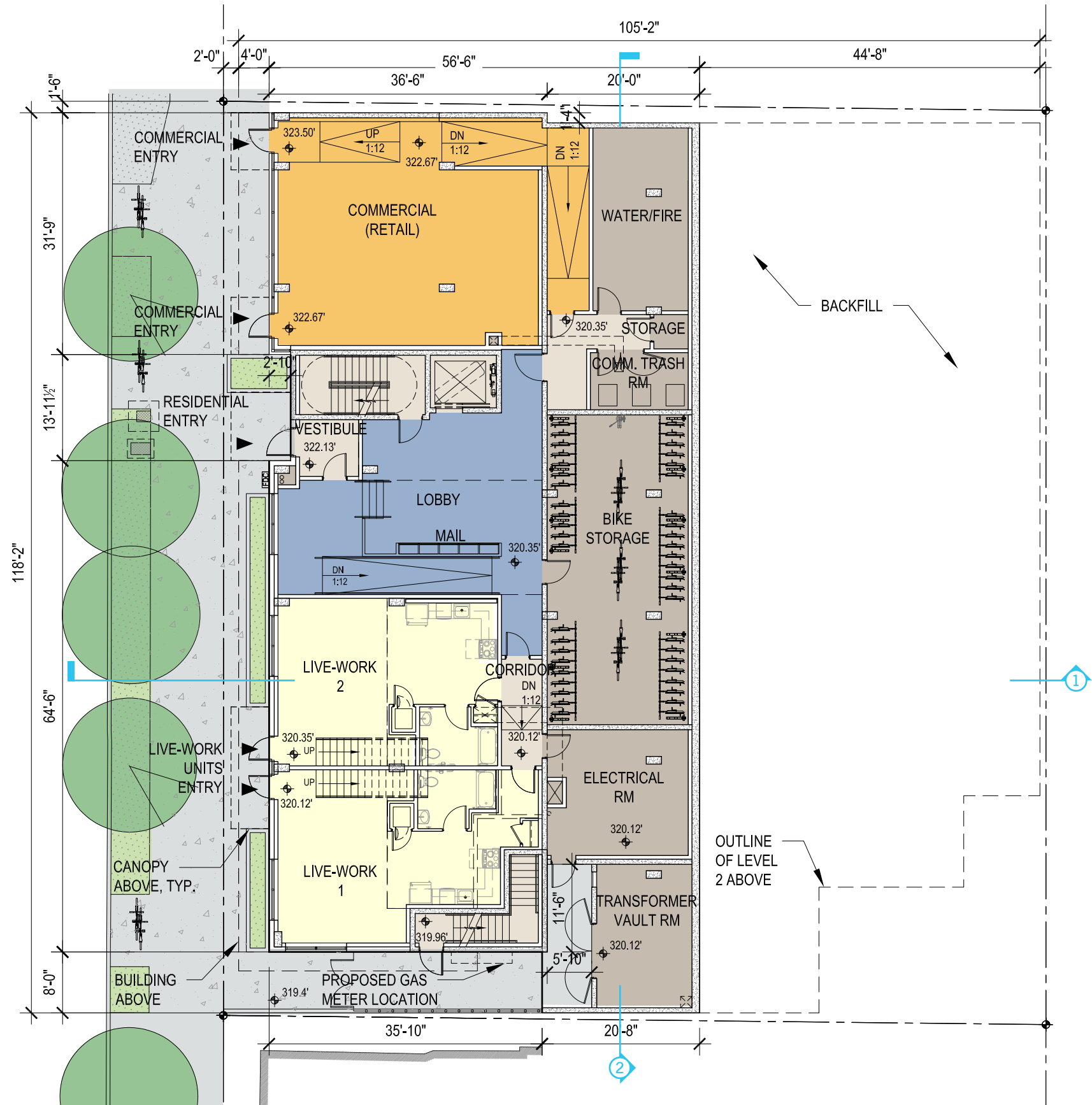
8.0 PROJECT DESIGN HISTORY



	OPTION 1	OPTION 2	OPTION 3 - BOARD SUPPORTED	DRB (OPTION 3 - DEVELOPED)
# LEVELS:	6 Levels (55' Height Limit)	6 Levels (55' Height Limit)	6 Levels (55' Height Limit)	6 Levels (55' Height Limit)
# UNITS:	48 Units	48 Units	48 Units	48 Units
LIVE-WORK:	2 Units	2 Unites	2 Units	2 Units
AMENITY AREA SF:	3,427 SF	3,694 SF	4,751 SF	2,497 SF
COMMERCIAL RETAIL SF:	1,038 SF	895 SF	1,005 SF	1,246 SF
PARKING STALLS:	24 Stalls	24 Stalls	24 Stalls	24 Stalls
BIKE STALLS:	54 Stalls	54 Stalls	54 Stalls	54 Stalls
GROSS FLOOR AREA:	49,261 SF	49,367 SF	49,529 SF	48,995 SF
FAR:	48,390 SF (3.74)	48,486 SF (3.74)	48,576 SF (3.75)	48,319 SF (3.73)
OPPORTUNITIES:	<ul style="list-style-type: none">• Street level setback for some portion of Greenwood Ave N• Two story volume for live-work units• Setback from SF zone for some portion of the facade• Residential levels setback from side lot lines• Clubroom amenity facing Greenwood Ave N• South/east facing courtyard	<ul style="list-style-type: none">• Street level setback along Greenwood Ave N• Two story volume for live-work units• Setback from SF zone for some portion of the facade• Residential levels setback from side lot lines• Clubroom amenity facing Greenwood Ave N• South/east facing courtyard• Upper-level setback to reduce dominance of new building along Greenwood Ave N.	<ul style="list-style-type: none">• Street level setback along Greenwood Ave N• Two story volume for live-work units• Setback from SF zone for the entire facade• Courtyard with generous landscaping along Olympic View Place N• No units facing side lot lines• Large facade break to reduce dominance of the building along Greenwood Ave N	<ul style="list-style-type: none">• Street level setback along Greenwood Ave N• Two story volume for live-work units• Setback from SF zone for the entire facade• Courtyard with generous landscaping along Olympic View Place N• No units facing side lot lines• Large facade break to reduce dominance of the building along Greenwood Ave N
CONSTRAINTS:	<ul style="list-style-type: none">• Smaller courtyard• Some units facing side lot lines	<ul style="list-style-type: none">• Smallest courtyard among the three schemes• Some units facing side lot lines• Longer facade length closer to Olympic View Place N.	<ul style="list-style-type: none">• Less depth for common area in courtyard• Less setback from side lot lines for residential levels• No enclosed clubroom amenity	<ul style="list-style-type: none">• Less setback from side lot lines for residential levels on north side• No enclosed clubroom amenity
CODE COMPLIANCE:	Departure requested	Departure requested	Yes, Code Compliant	Departures requested

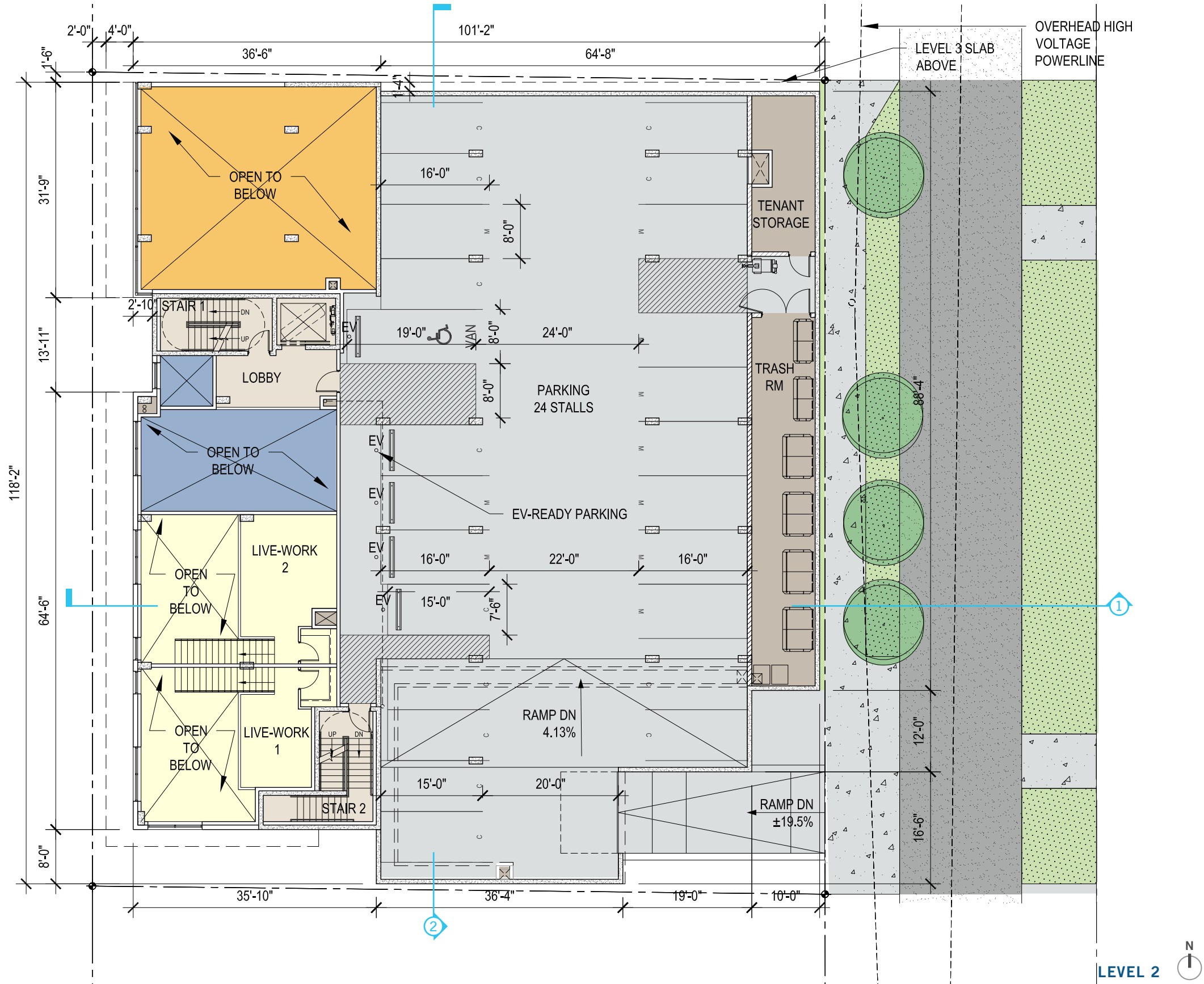
9.0 FLOOR PLANS

- KEY
- Commercial
 - Units
 - Utility / BOH
 - Circulation
 - Planting Strip / Landscape
 - Residential Amenity
 - Parking
 - Live-Work



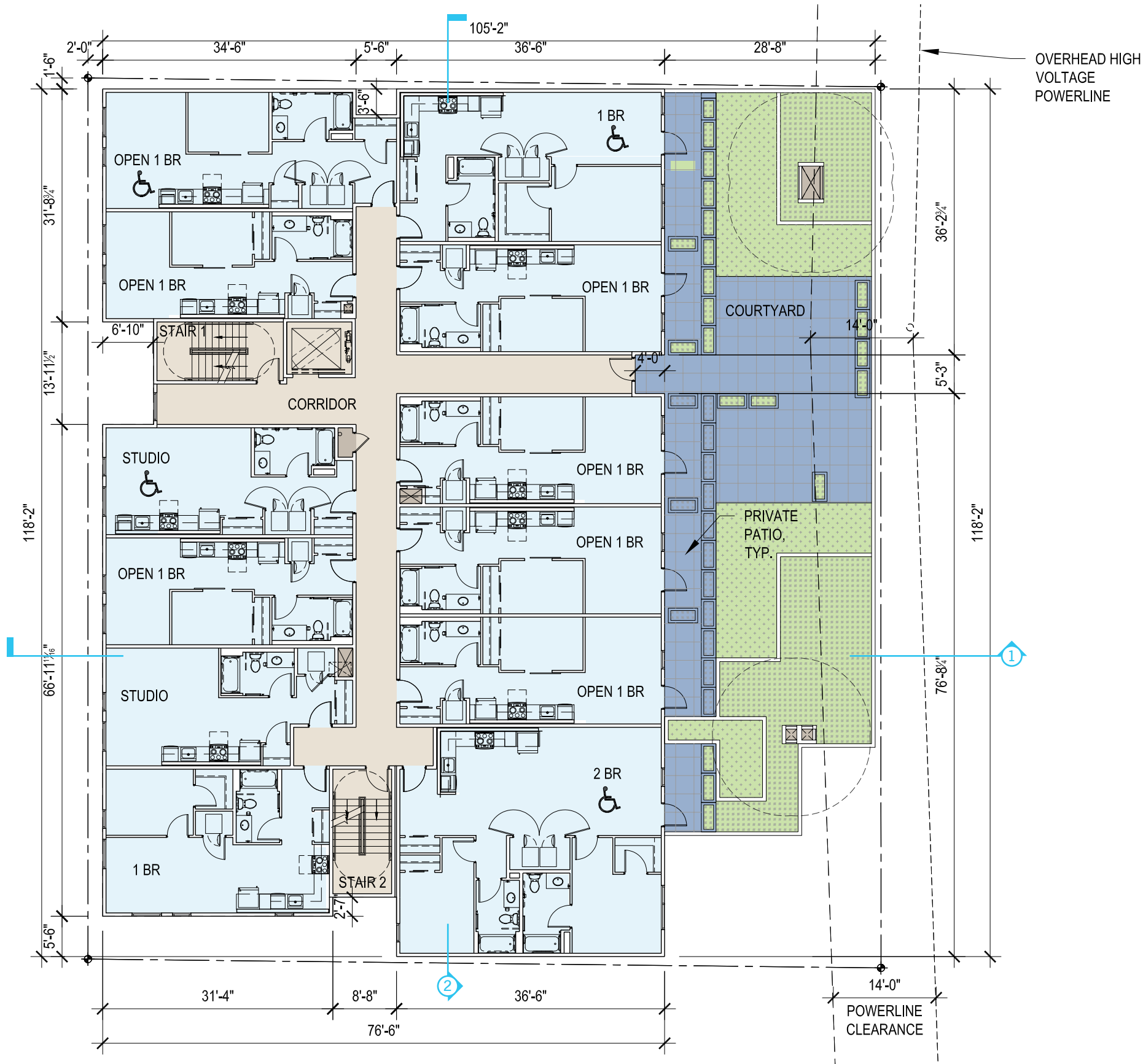
9.0 FLOOR PLANS

- KEY
- Commercial
 - Units
 - Utility / BOH
 - Circulation
 - Planting Strip / Landscape
 - Residential Amenity
 - Parking
 - Live-Work



9.0 FLOOR PLANS

- KEY
- Commercial
 - Units
 - Utility / BOH
 - Circulation
 - Planting Strip / Landscape
 - Residential Amenity
 - Parking
 - Live-Work

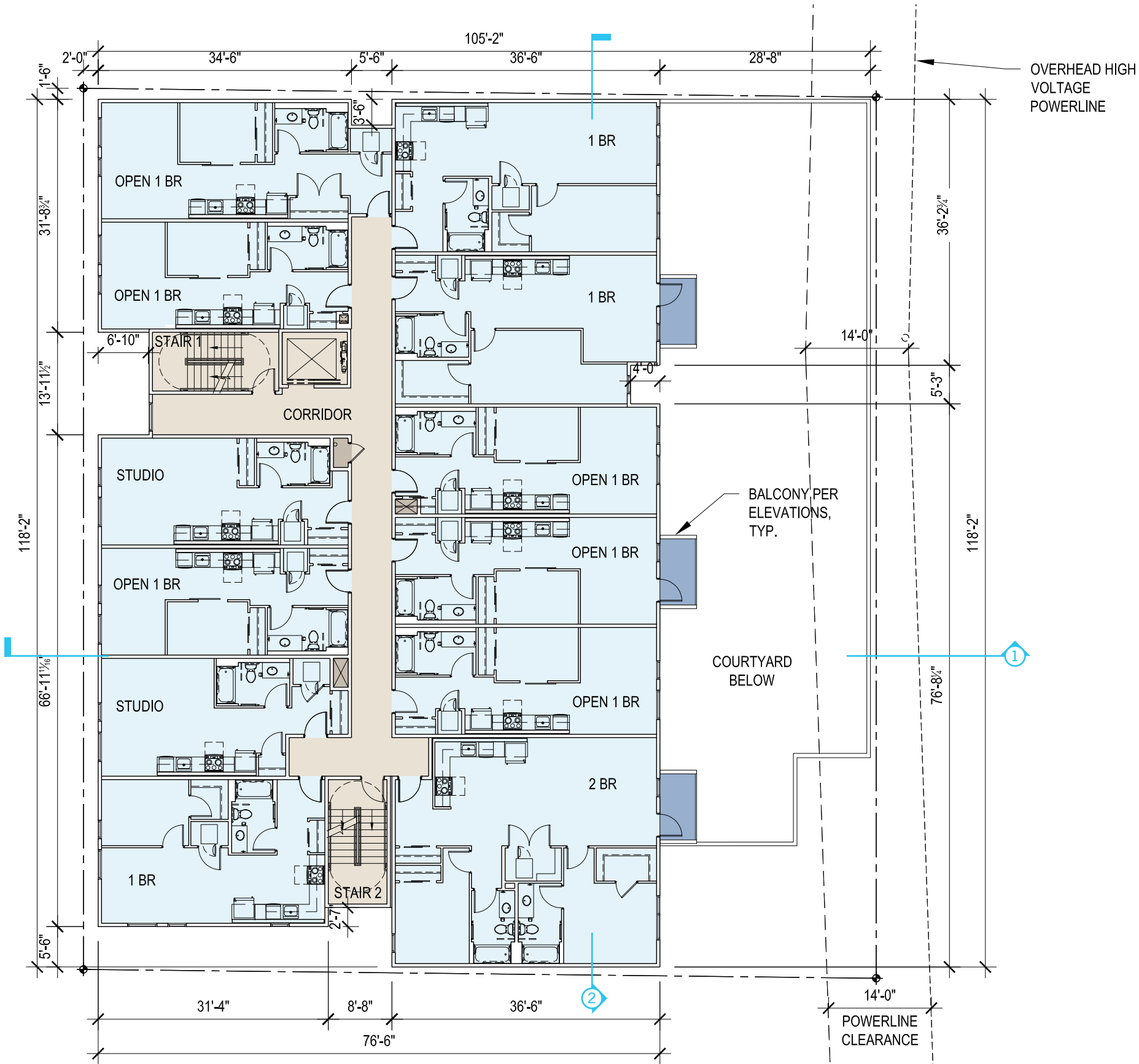


LEVEL 3

9.0 FLOOR PLANS

KEY

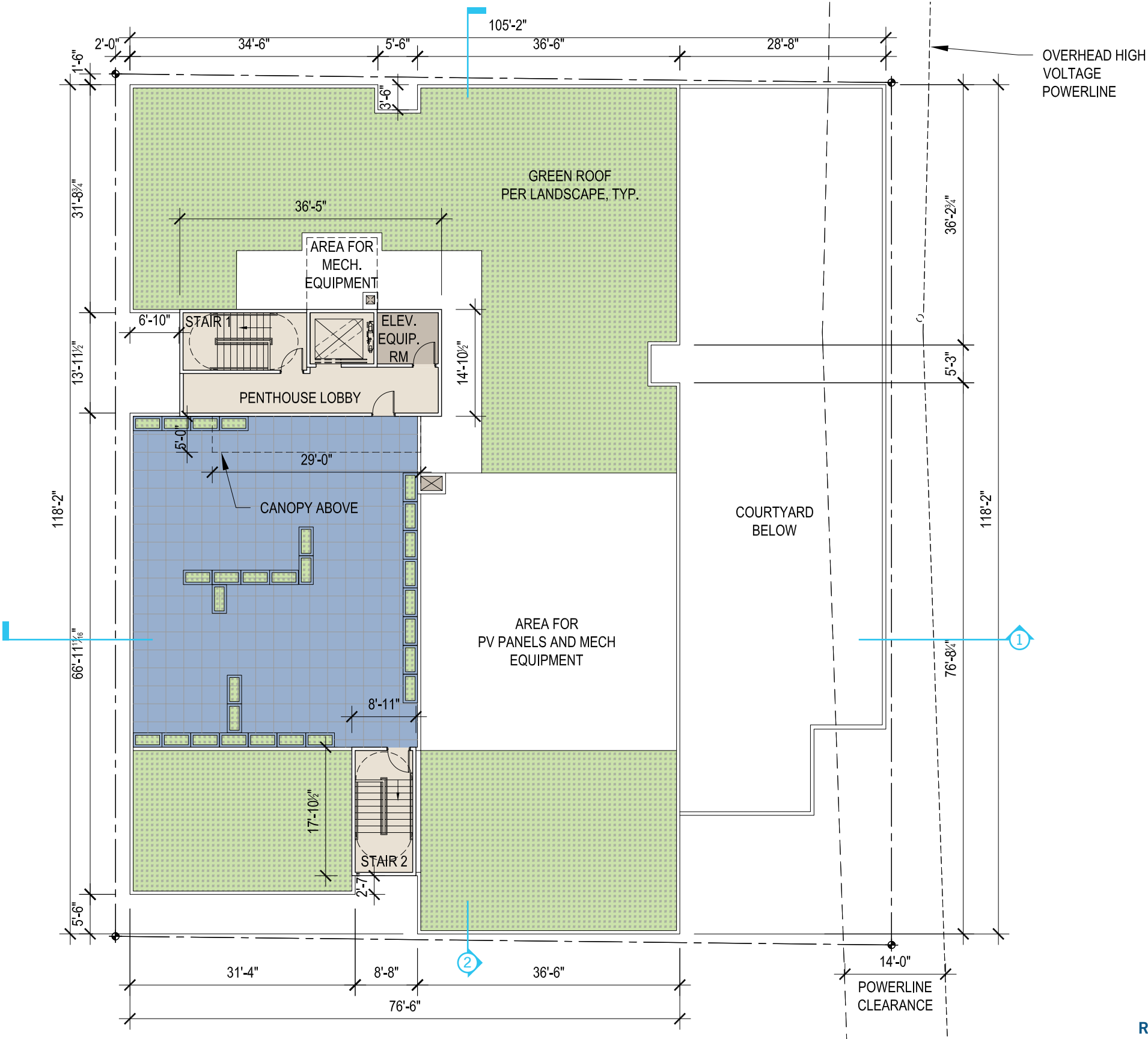
- Commercial
- Units
- Utility / BOH
- Circulation
- Planting Strip / Landscape
- Residential Amenity
- Parking
- Live-Work



LEVEL 4-6

9.0 FLOOR PLANS

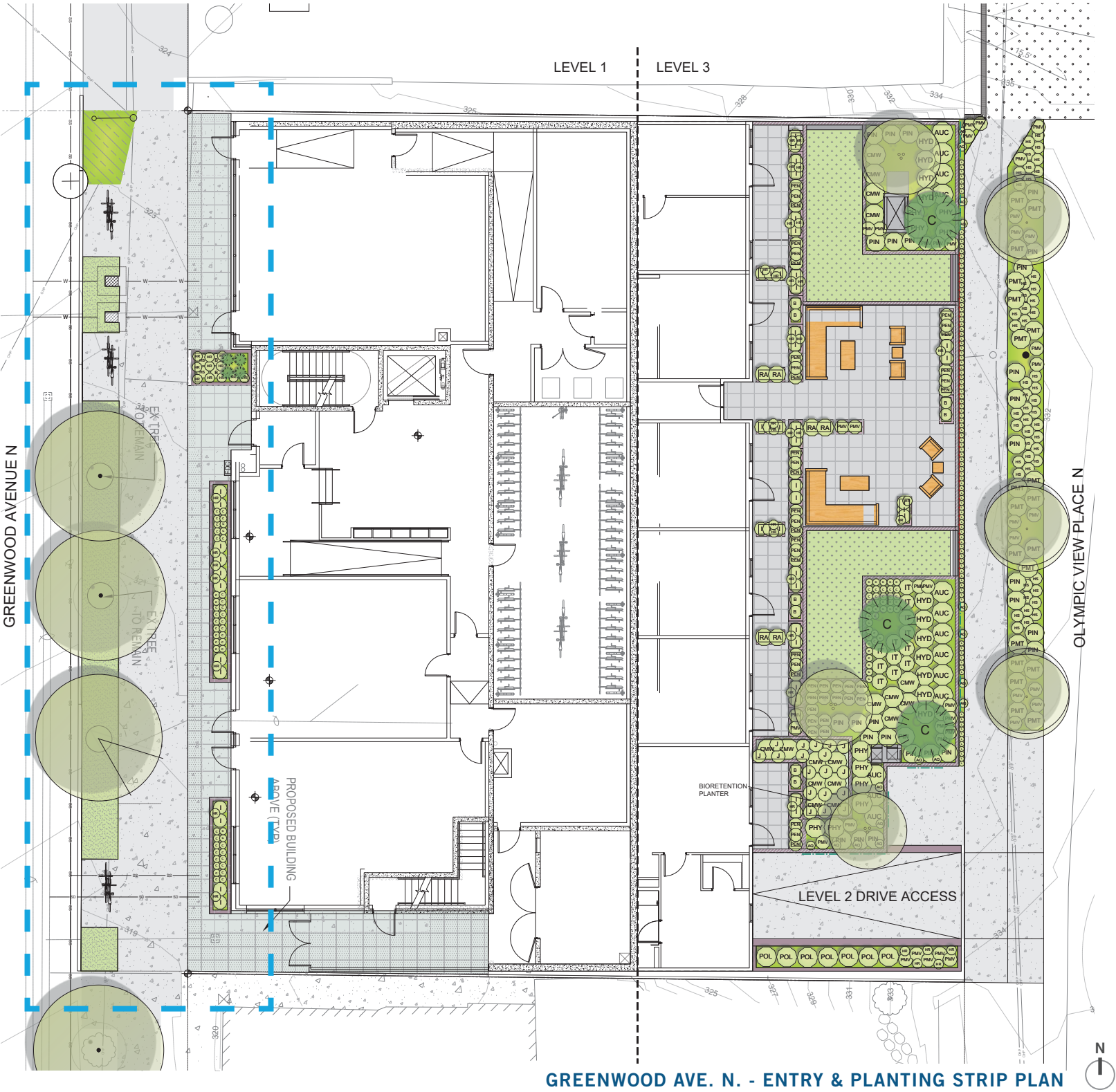
- KEY
- Commercial
 - Units
 - Utility / BOH
 - Circulation
 - Planting Strip / Landscape
 - Residential Amenity
 - Parking
 - Live-Work



ROOF LEVEL



10.0 COMPOSITE LANDSCAPE / HARDSCAPE PLAN



GREENWOOD AVE. N.



ILEX CRENATA 'SKY PENCIL'



JUNIPERUS SCOPULORUM 'BLUE'



ULMUS PROPINQUA 'JFS-BIEBERICH'



BERBERIS THUNBERGII 'MARIA'



HELICTOTRICHON SEMPERVIRENS



HEMEROCALIS HAPPY RETURNS

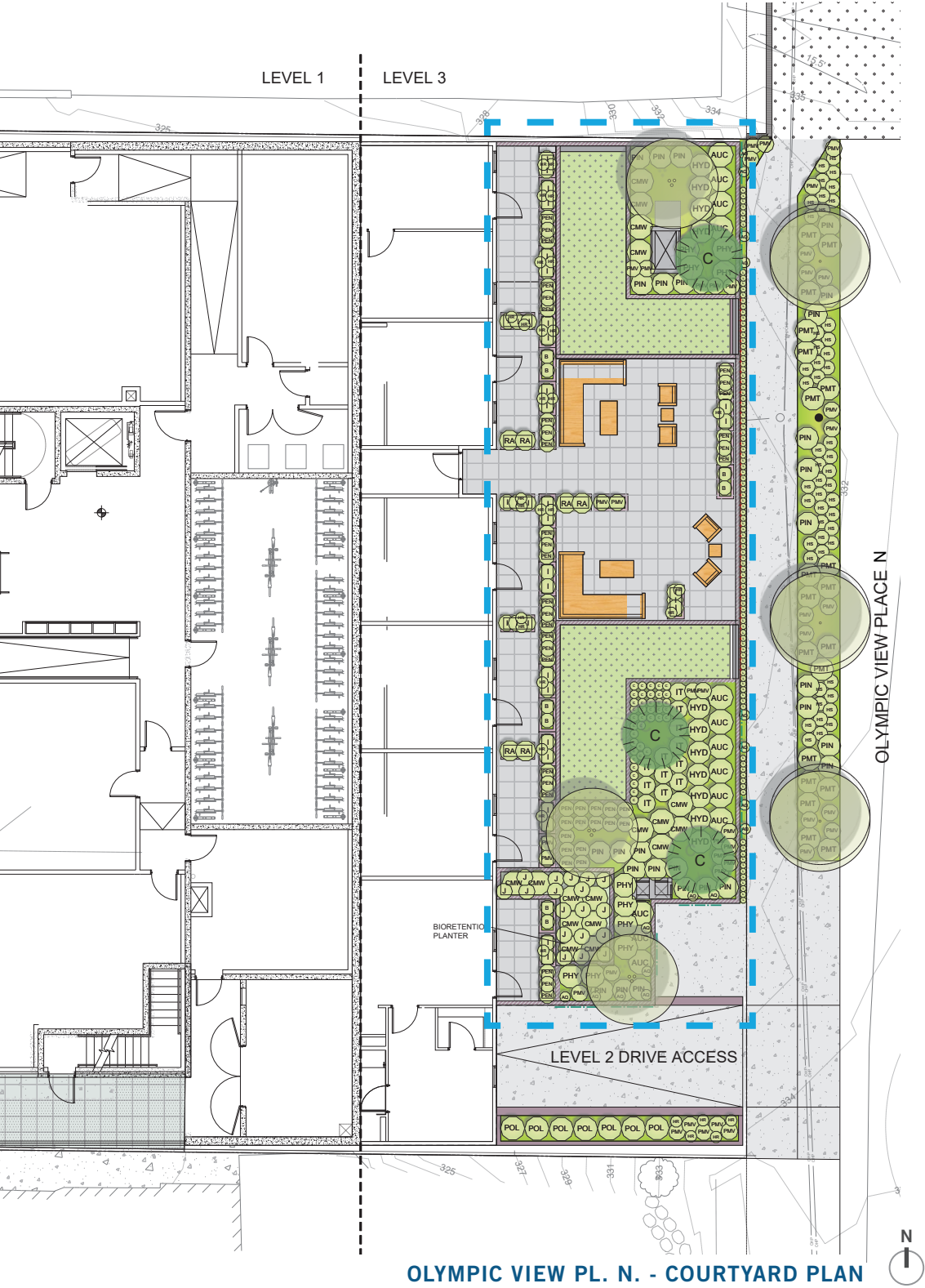


CAREX OSHIMENSIS



PLANTING STRIP

10.0 COMPOSITE LANDSCAPE / HARDSCAPE PLAN



OLYMPIC VIEW PL. N. - COURTYARD PLAN

OLYMPIC VIEW PL. N. - COURTYARD



ILEX CRENATA 'SKY PENCIL'



PENNISETUM 'HADELN'



CHAMAECYPARIS OBTUSA 'GRACILIS'



JUNCUS INFLEXUS 'BLUE ARROWS'



STYRAX JAPONICUS 'SNOWCONE'



HYDRANGEA QUERCIFOLIA PEE WEE



ITEA 'LITTLE HENRY'



ABUTUS UNEDO COMPACTA



BERBERIS THUNBERGII 'MARIA'



HEMEROCALIS HAPPY RETURNS



GREEN ROOF TRAY SYSTEM



PHYSOCARPUS OPULIFOLIUS

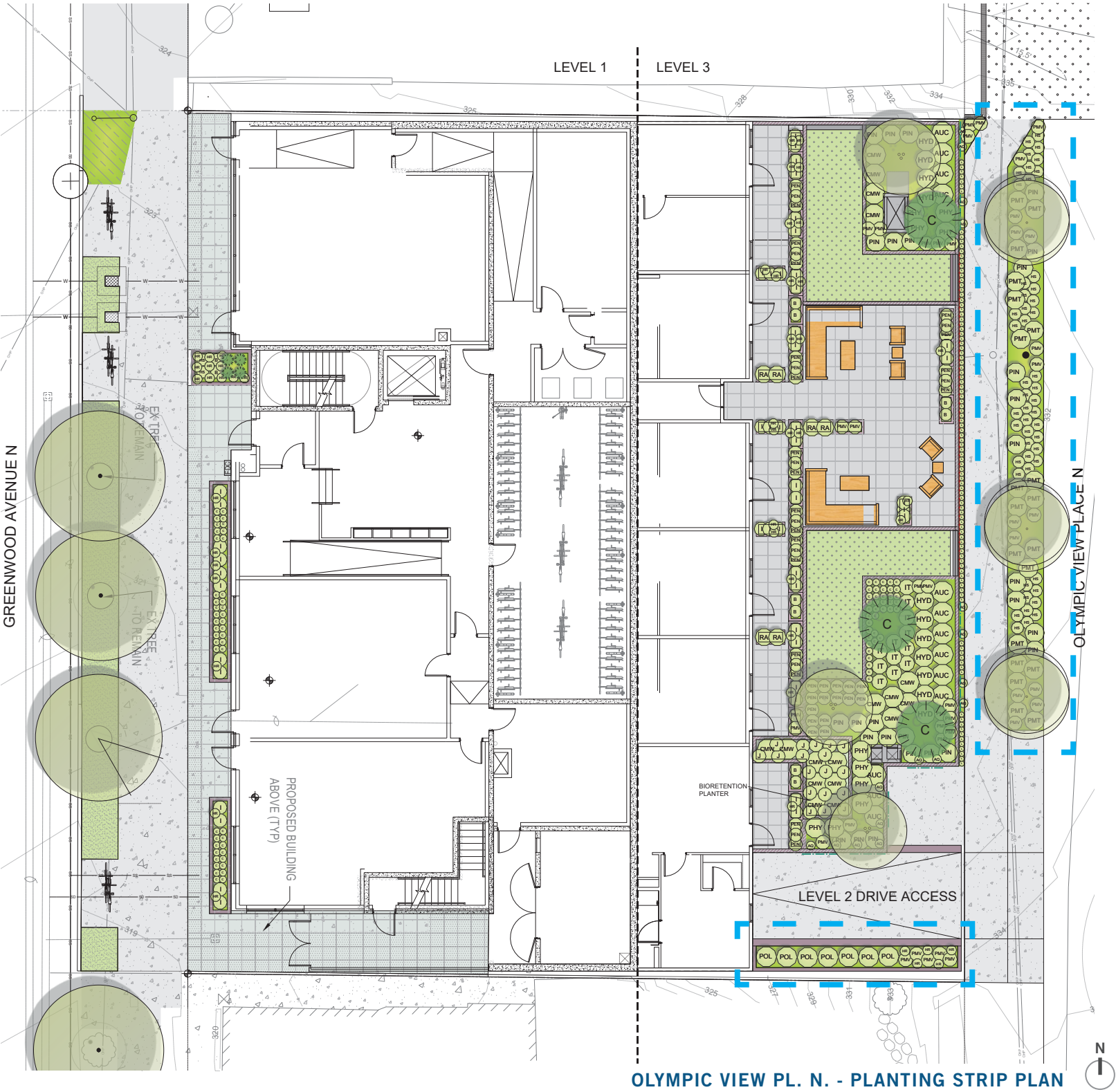


CORNUS MIDWINTER FIRE



BUILT-IN CONCRETE PLANTERS

10.0 COMPOSITE LANDSCAPE / HARDSCAPE PLAN



OLYMPIC VIEW PL. N. - PLANTING STRIP



HELICTOTRICHON SEMPERVIRENS



HEMEROCALIS HAPPY RETURNS



POTENTILLA MANGO TANGO



LIRIOPE SILVERY SUNPROOF



PINUS MUGO PUMILLIO



PRUNUS 'OTTO LUYKEN'



PRUNUS 'MT VERNON'

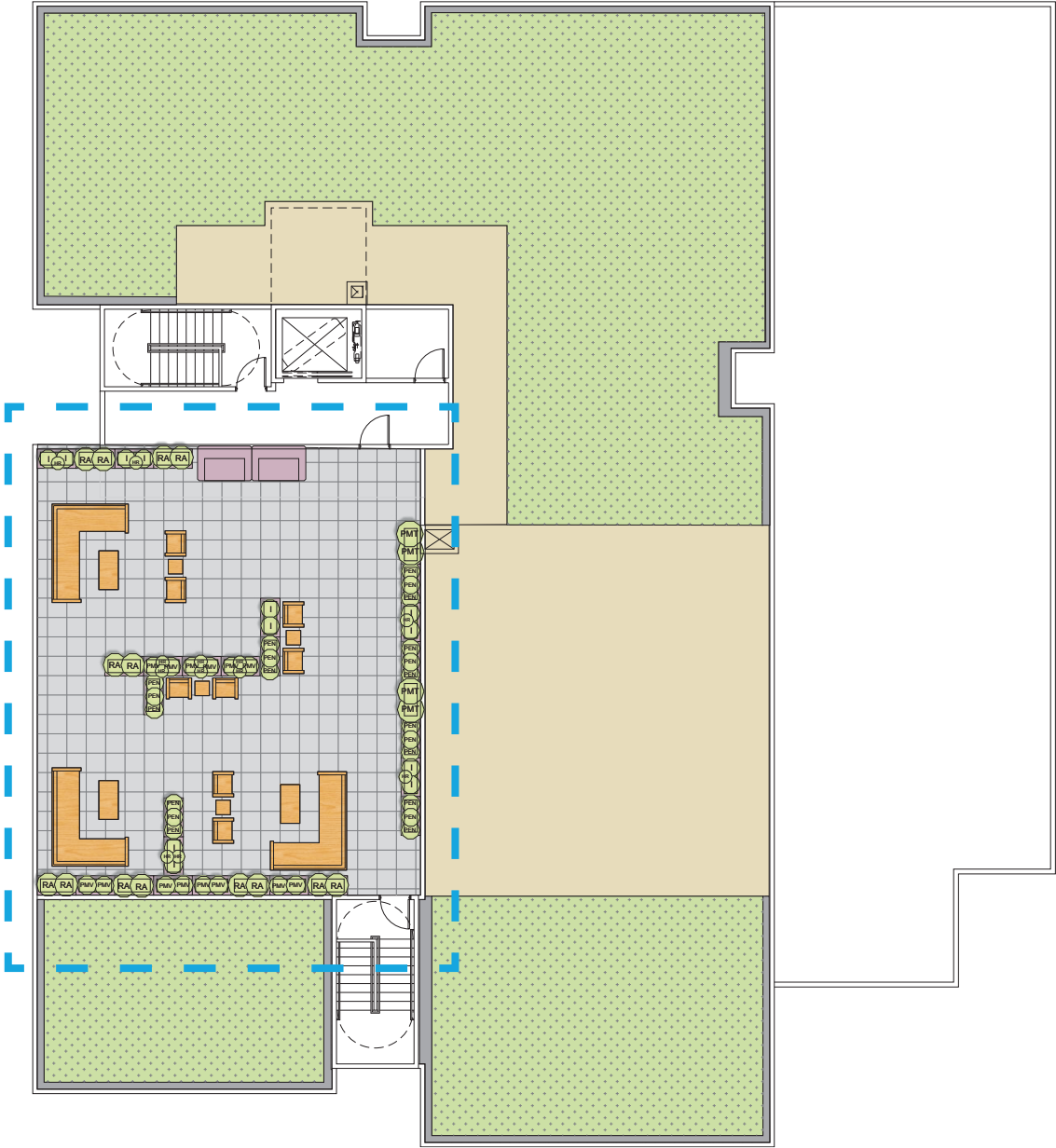


BERBERIS THUNBERGII 'MARIA'



CARPINUS CAROLINIANA

10.0 COMPOSITE LANDSCAPE / HARDSCAPE PLAN



ROOF LEVEL

ROOF



ILEX CRENATA 'SKY PENCIL'



BERBERIS THUNBERGII 'MARIA'



POTENTILLA MANGO TANGO



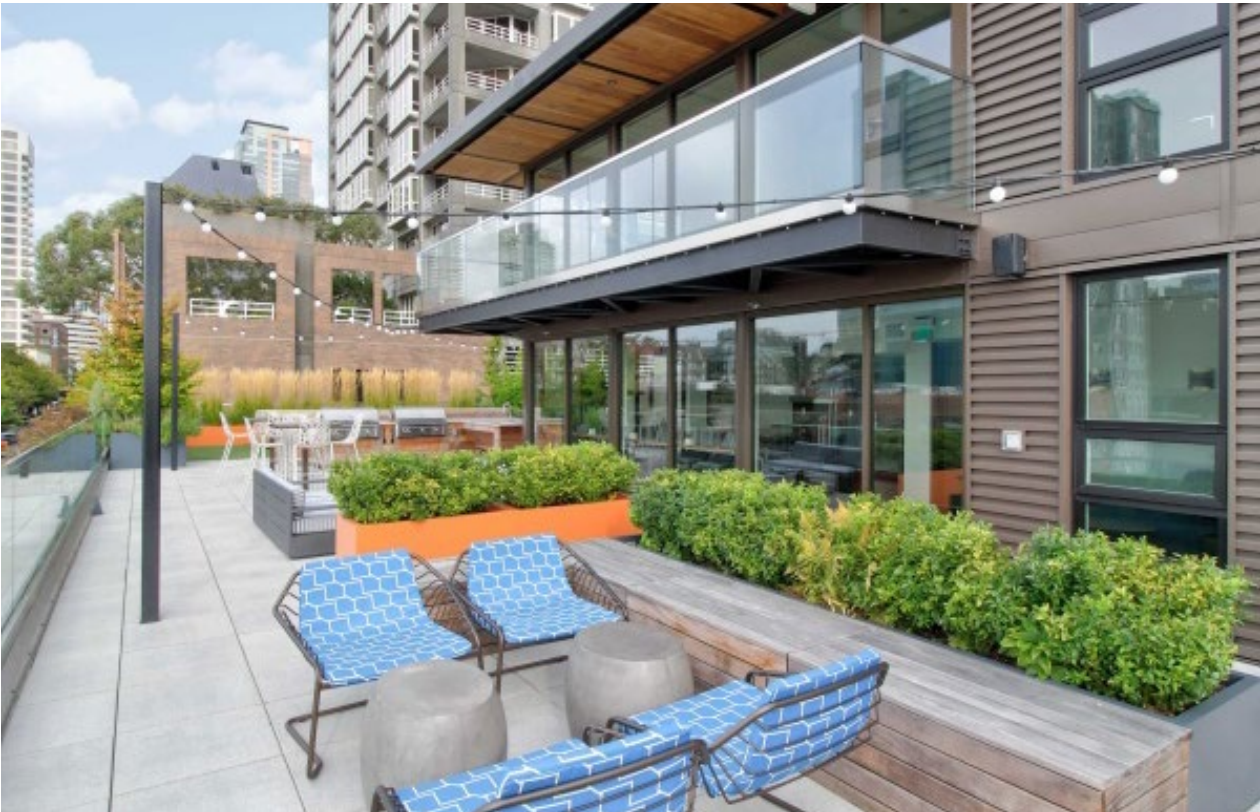
PRUNUS 'MT VERNON'



ROSEMARINUS 'ARP'



PENNISETUM 'HADELN'



COURTYARD / ROOF DECK

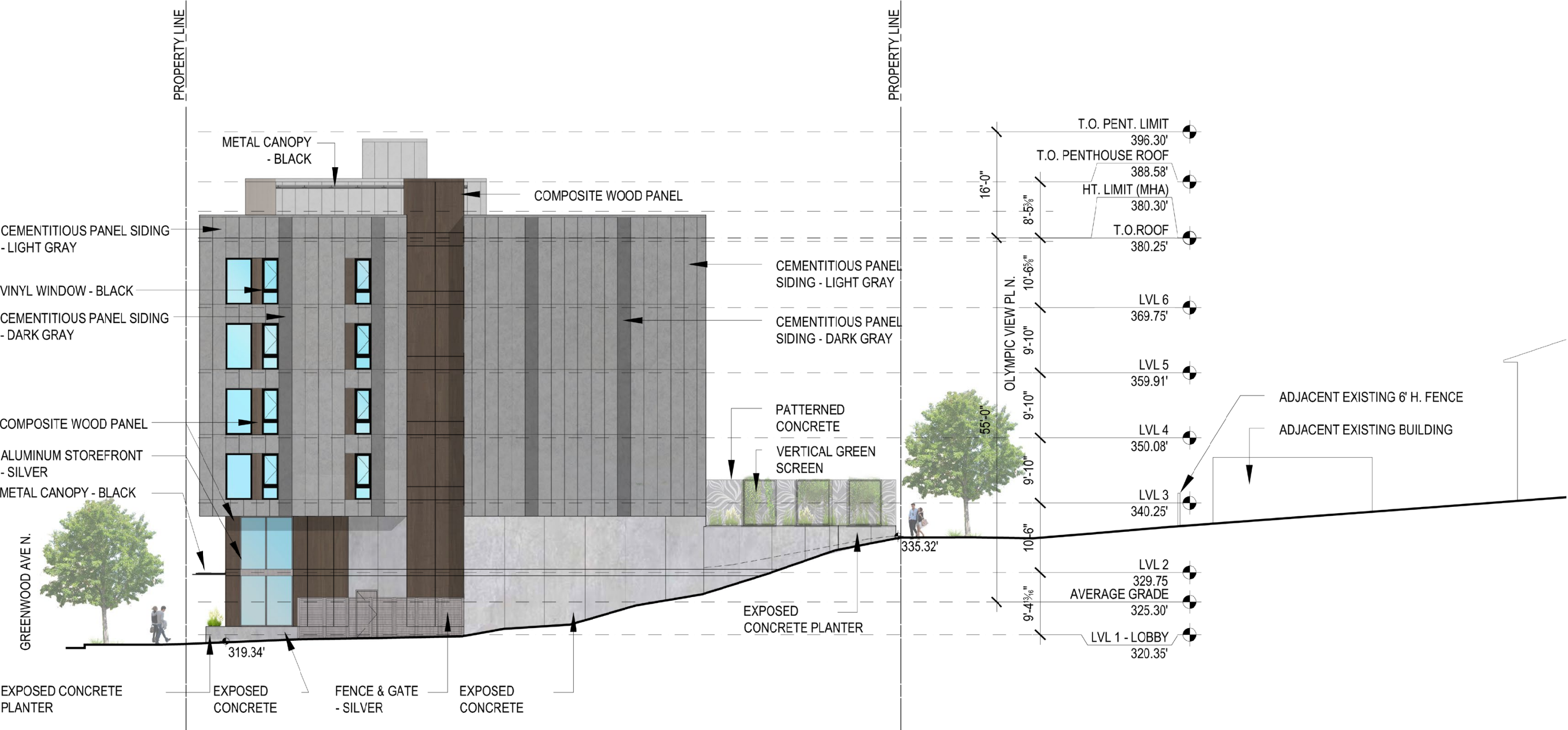
11.0 WEST ELEVATION | MATERIALS



MATERIALS

						
Cementitious Panel Siding - Light Gray	Cementitious Panel Siding - Dark Gray	Composite Wood Panel - Brown	Exposed Concrete	Patterned Concrete	Metal Canopy - Black Vinyl Window	Aluminum Storefront - Silver

11.0 SOUTH ELEVATION | MATERIALS



MATERIALS



Cementitious Panel Siding - Light Gray



Cementitious Panel Siding - Dark Gray



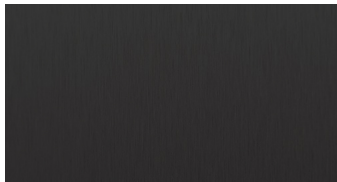
Composite Wood Panel - Brown



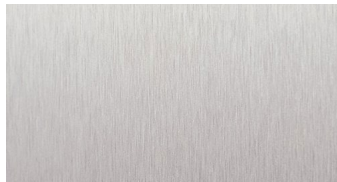
Exposed Concrete



Patterned Concrete



Metal Canopy - Black Vinyl Window



Aluminum Storefront - Silver

11.0 EAST ELEVATION | MATERIALS



MATERIALS



Cementitious Panel Siding - Light Gray



Cementitious Panel Siding - Dark Gray



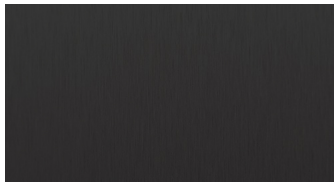
Composite Wood Panel - Brown



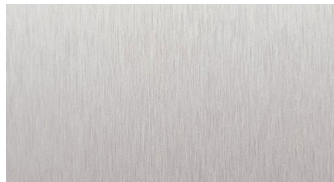
Exposed Concrete



Patterned Concrete

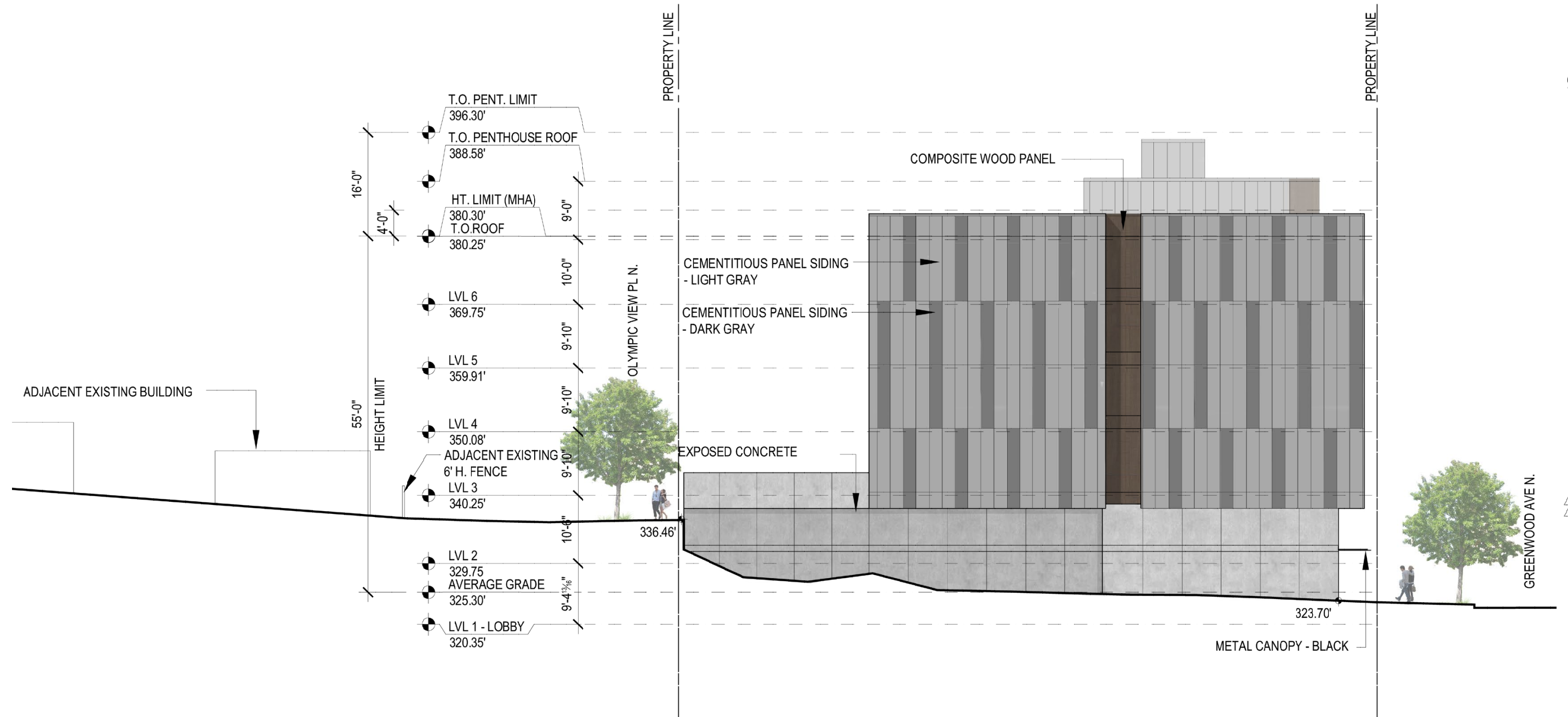


Metal Canopy - Black Vinyl Window



Aluminum Storefront - Silver

11.0 NORTH ELEVATION | MATERIALS



MATERIALS



Cementitious Panel Siding - Light Gray



Cementitious Panel Siding - Dark Gray



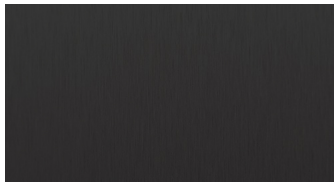
Composite Wood Panel - Brown



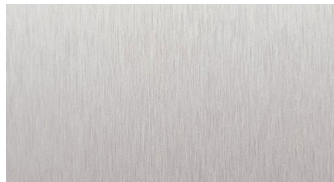
Exposed Concrete



Patterned Concrete



Metal Canopy - Black Vinyl Window



Aluminum Storefront - Silver

12.0 MATERIAL BOARD



13.0 RENDERINGS



VIEW FROM GREENWOOD AVE. N. LOOKING SOUTHWEST

13.0 RENDERINGS



PERSPECTIVE SHOWING COMMERCIAL ENTRY ALONG GREENWOOD AVE.

13.0 RENDERINGS



PERSPECTIVE SHOWING LIVE-WORK ENTRY ALONG GREENWOOD AVE. N.

13.0 RENDERINGS



VIEW FROM GREENWOOD AVE. N. LOOKING NORTHEAST

13.0 RENDERINGS



AERIAL VIEW FROM GREENWOOD AVE. N. LOOKING SOUTHEAST

13.0 RENDERINGS



VIEW FROM OLYMPIC VIEW PL. N. LOOKING NORTHWEST

13.0 RENDERINGS



PERSPECTIVE SHOWING COURTYARD WALL ALONG OLYMPIC VIEW PL. N. LOOKING NORTH-

13.0 RENDERINGS



PERSPECTIVE SHOWING GLASS RAILING ALONG OLYMPIC VIEW PL. N. LOOKING NORTH-

13.0 RENDERINGS



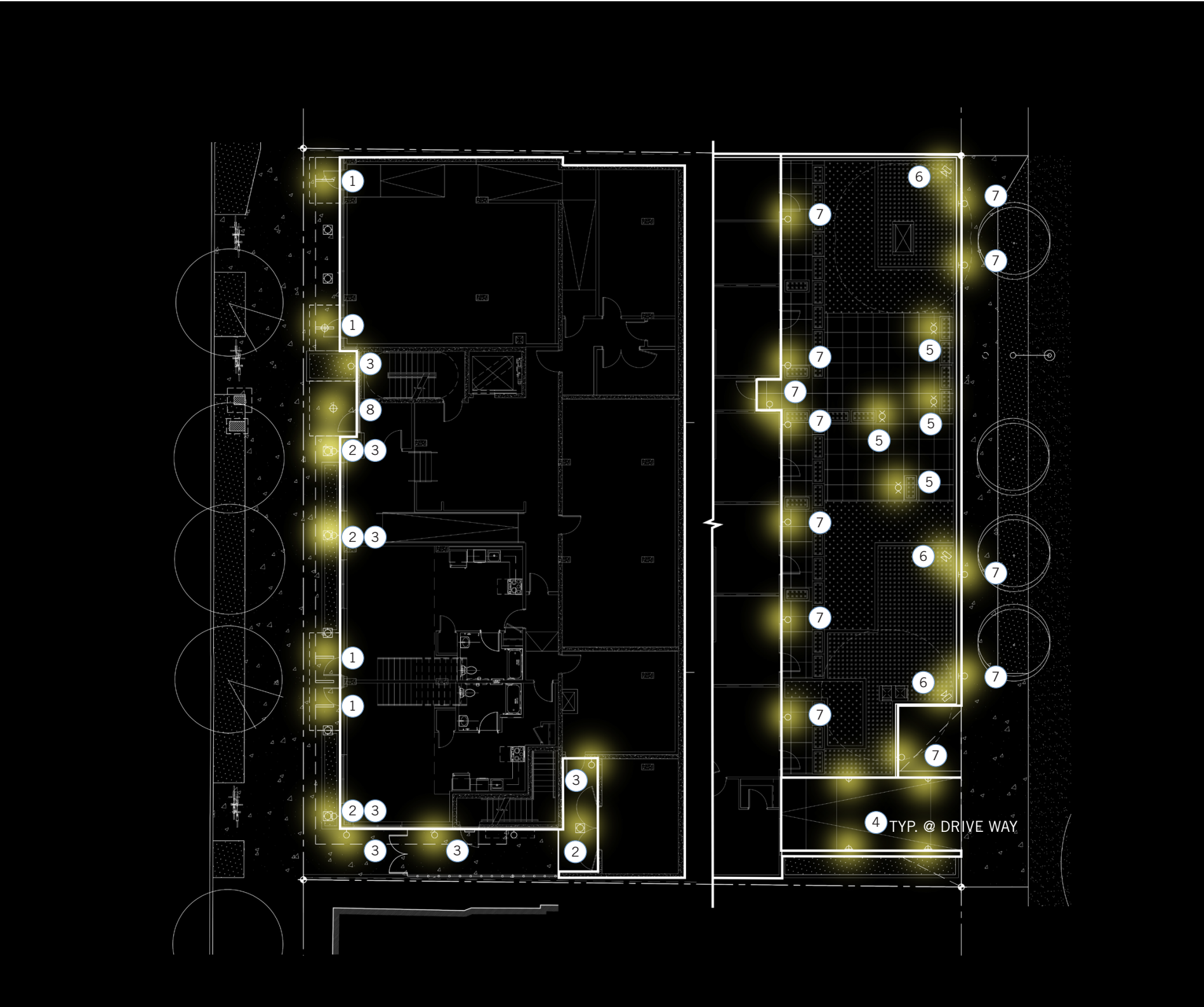
AERIAL VIEW FROM OLYMPIC VIEW PL. N. LOOKING NORTHWEST

13.0 RENDERINGS



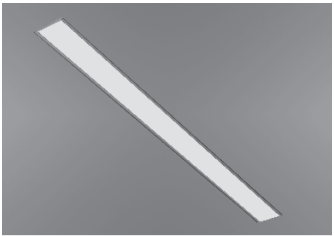
VIEW FROM OLYMPIC VIEW PL. N. LOOKING SOUTHWEST

14.0 EXTERIOR LIGHTING PLAN



LEVEL 1

LIGHTING DETAILS



01 Surface Mounted Linear Down Light



02 Recessed Down Light



03 Wall Mounted Linear Light



04 Recessed Guide Light



05 Bollard Light



06 Landscape Up Light



07 Wall Mounted Down Light



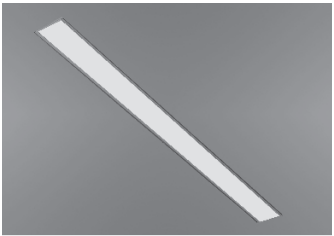
08 Surface Mounted Down Light



14.0 EXTERIOR LIGHTING PLAN



LIGHTING DETAILS



01 Surface Mounted Linear Down Light



02 Recessed Down Light



03 Wall Mounted Linear Light



04 Recessed Guide Light



05 Bollard Light



06 Landscape Up Light



07 Wall Mounted Down Light



08 Surface Mounted Down Light

15.0 SIGNAGE CONCEPT PLAN

SIGNAGE DETAIL & EXAMPLES

Signage will be of simple and sophisticated design to complement the building design concept. There will be signage at residential & commercial entries and the live-work units. The residential signage will be freestanding and mounted on top of canopy for visibility. The pedestrian-scaled blade sign will be used at commercial entries. The sign will be externally lit by canopy lighting. Vinyl signage on the storefront glazing will be used at live-work units.



01. CANOPY SIGNAGE FOR RESIDENTIAL ENTRY



PROPOSED RESIDENTIAL SIGNAGE & COMMERCIAL SIGNAGE



02. BLADE SIGN FOR COMMERCIAL ENTRY

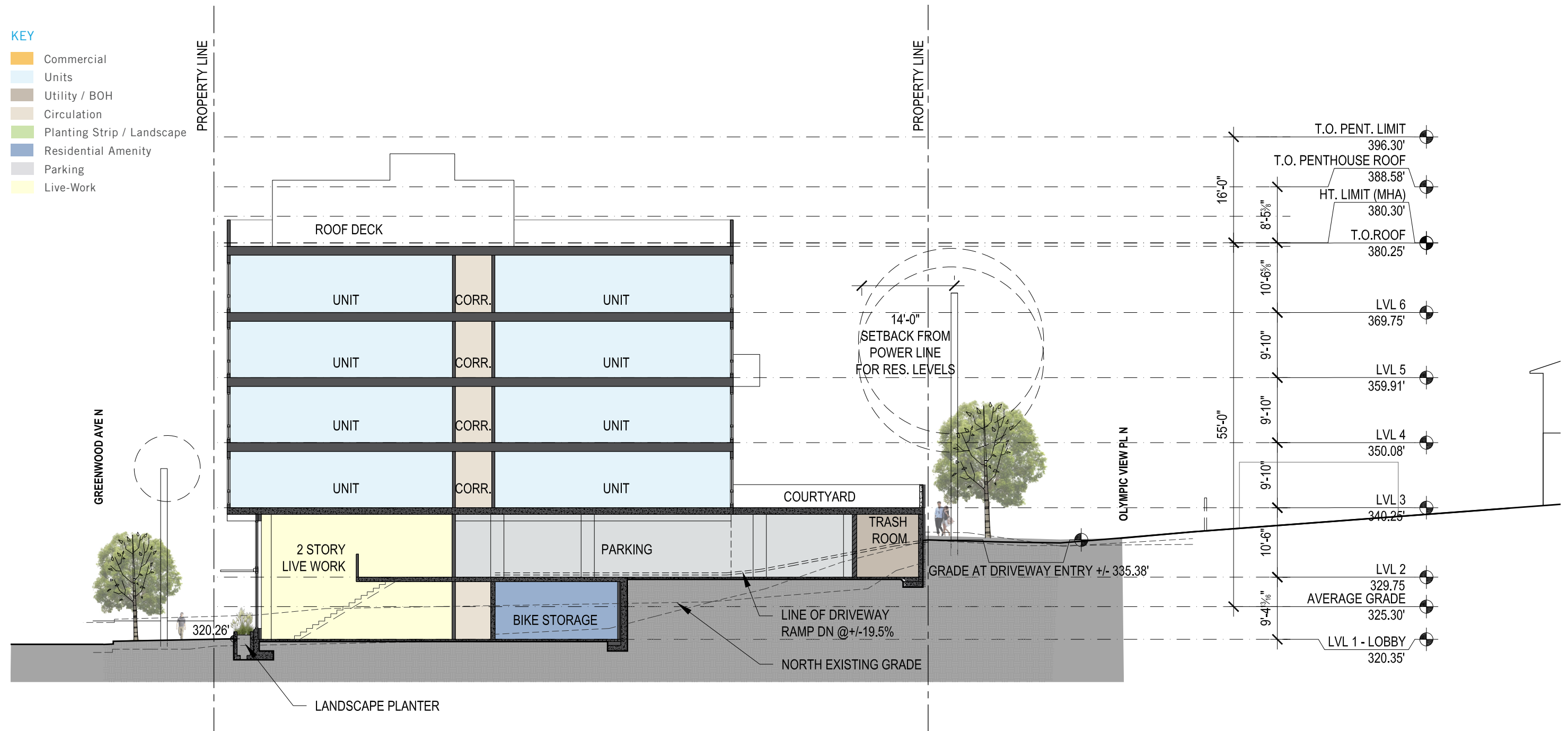


03. VINYL SIGNAGE FOR LIVE-WORK UNITS



PROPOSED LIVE-WORK SIGNAGE

16.0 BUILDING SECTION 1



16.0 BUILDING SECTION 2

KEY

- Commercial
- Units
- Utility / BOH
- Circulation
- Planting Strip / Landscape
- Residential Amenity
- Parking
- Live-Work

ADJACENT EXISTING BUILDING

GRADE AT GREENWOOD AVE N

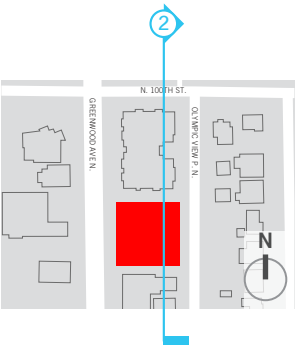
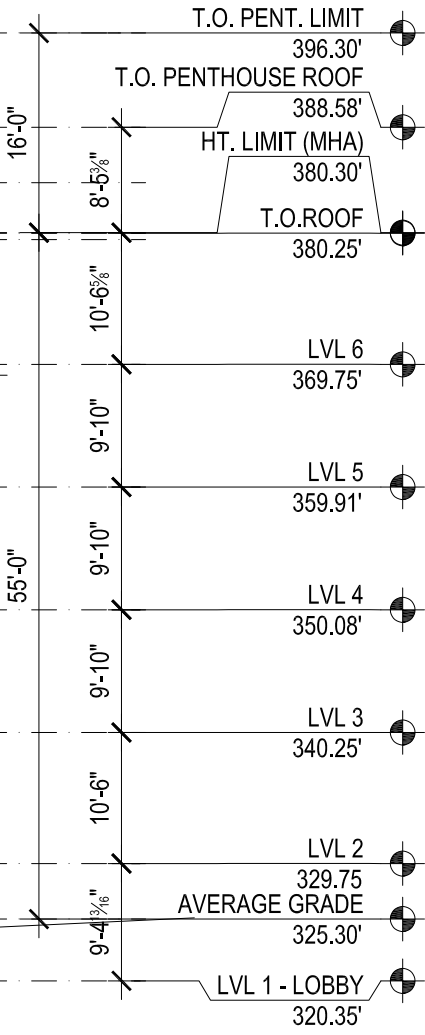
PROPERTY LINE



PROPERTY LINE

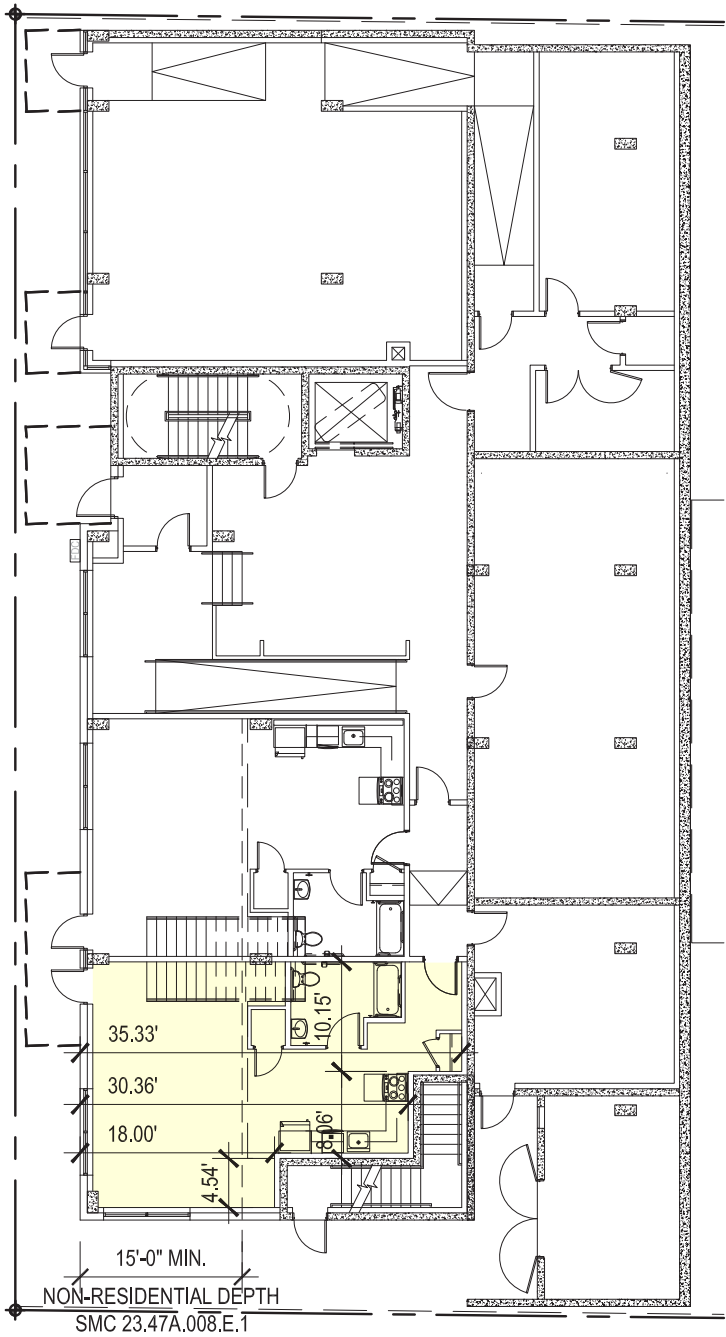
325.00'

ADJACENT EXISTING BUILDING
GRADE AT GREENWOOD AVE N



17.0 DEPARTURE 1

CODE CITATION:	23.47A.00A.B.3a
CODE REQUIREMENT:	Non-residential uses > 600 SF shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level street-facing façade.
CORRESPONDING DESIGN GUIDELINE:	CS2 Urban Pattern and Form - Adjacent sites, streets and open spaces, connection to the street PL1 Connectivity - Network of open spaces, adding to public life
PROPOSED DESIGN DEPARTURE:	Reduction of the average depth from 30 feet to 25.79' for live-work unit 1 on level 2 only. Level 1 is compliant. 15 feet for non-residential area is maintained.
RATIONALE:	<p>The requested departure to reduce the average depth only for level 2 in live-work unit-1 is to maintain the design intent by providing a continuous street level setback to create a wider sidewalk, allowing for street level landscaping, recessed entries to the street level uses including live-work units and the provision of a direct accessible route from the sidewalk to the street level uses. This enhances the pedestrian experience and complements the existing streetscape characteristics of Greenwood Avenue N.</p> <p>To compensate for a friendlier pedestrian experience, the average depth on level 2 for live-work unit-1 has been slightly reduced. On this floor level, the street level setback does not allow for the 30 feet average depth between the exterior wall and the exit stairway. Although the average depth on level 2 is less than the required average depth of 30 feet, the main level 1 meets the code requirements of 15 feet minimum depth of non-residential area and average depth of 30 feet.</p>

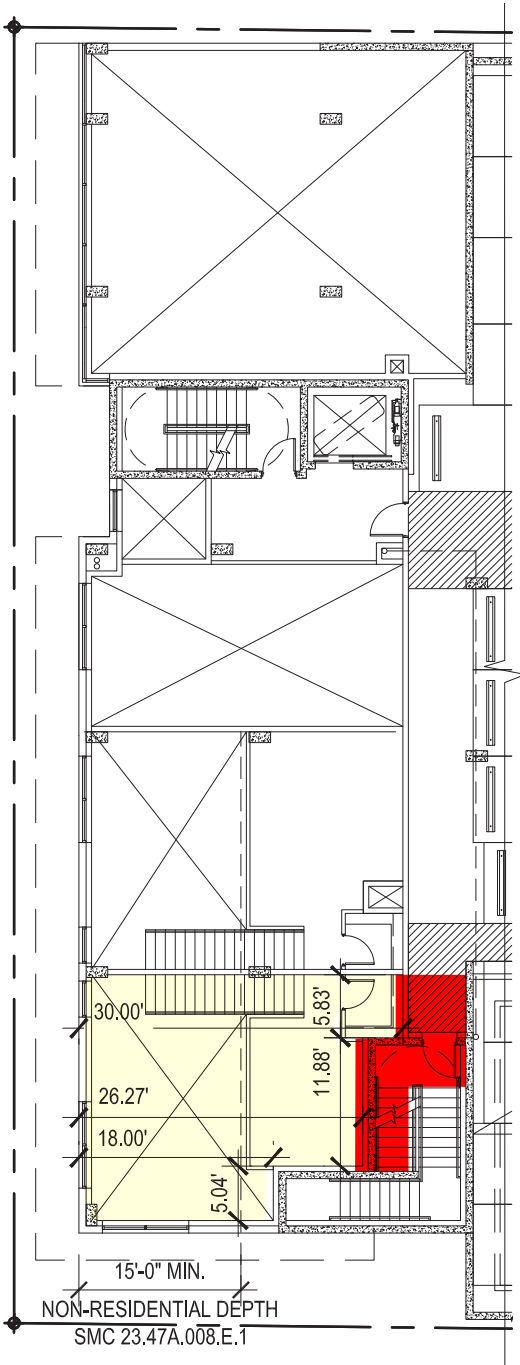


LEVEL 1

= $(35.33 \times 10.15) + (30.36 \times 8.06) + (18.00 \times 4.54) / 10.15 + 8.06 + 4.54$

= $358.60 + 244.70 + 81.72 / 22.75$

= $685.02 / 22.75 = 30.11' > 30' \text{ REQUIRED AVERAGE DEPTH}$



LEVEL 2

= $(30.00 \times 5.83) + (26.27 \times 11.88) + (18.00 \times 5.04) / 5.83 + 11.88 + 5.04$

= $174.90 + 312.09 + 90.72 / 22.75$

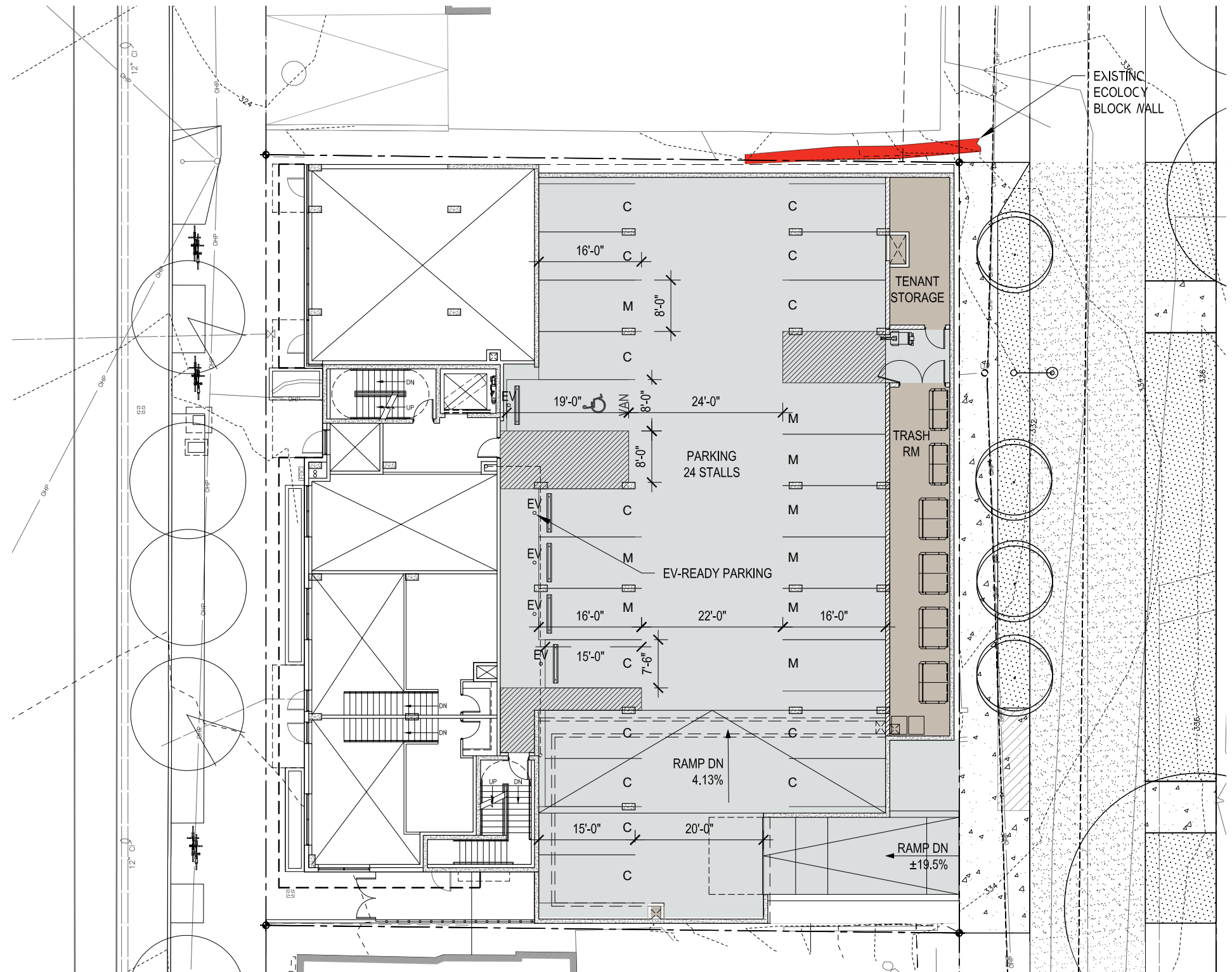
= $586.71 / 22.75 = 25.79' < 30' \text{ REQUIRED AVERAGE DEPTH}$

* DEPARTURE REQUESTED



17.0 DEPARTURE 2

CODE CITATION:	SMC 23.54.030.B.1.b
CODE REQUIREMENT:	When more than five parking spaces are provided, a minimum of 60 percent of the parking spaces shall be striped for medium vehicles. The minimum size for a medium parking space shall also be the maximum size. Forty percent of the parking spaces may be striped for any size category in subsection 23.54.030.a, provided that when parking spaces are striped for large vehicles, the minimum required aisle width shall be as shown for medium vehicles.
CORRESPONDING DESIGN GUIDELINE:	CS2 Urban Pattern and Form - Adjacent sites, streets and open spaces, Site characteristics
PROPOSED DESIGN DEPARTURE:	Reduction of 60 percent of the parking spaces striped for medium vehicles to 41.6 percent. 54.2 percent would be striped for small vehicles and 4.2 percent accessible spaces.
RATIONALE:	<p>This requested departure to reduce the percent of parking spaces striped for medium vehicles from 60 percent to 41.6 percent is requested to reduce the overall extent of levels 1 and 2 for a portion of the building near the north-east corner of the site. Slightly shrinking the building in this area would avoid disturbance to an existing ecology block wall to the north of the project site extending over the property line onto the project's site for a small portion.</p> <p>Due to property ownership, structural and geotech considerations, it may be necessary to leave the block wall as is and build the exterior walls of the building without any disturbance to the existing block wall. This would require us to shrink level 1 and 2 of the building by moving the north wall of the parking garage towards the south.</p> <p>In order to do this and still meet the number of parking stalls required for the project, we would need an additional 4 stalls to be small vehicles (last 4 stalls to the north of parking garage). Making this change would still allow for 24 parking stalls, but 10 stalls (41.6%) would be stripped for medium vehicles and 13 stalls (54.2%) would be stripped for small vehicles and 1 stall (4.2%) would be stripped for accessible vehicles.</p>



ENLARGED SITE PLAN 

18.0 PRIVACY STUDY: NORTH FACADE

At EDG, the board raised concerns about the blank wall on the north facade. The purpose of this privacy study is to present the limitations of adding openings to the north facade of the proposed building as well as to show that the proposed design without windows on the north facade is a better solution.

CONSTRAINTS

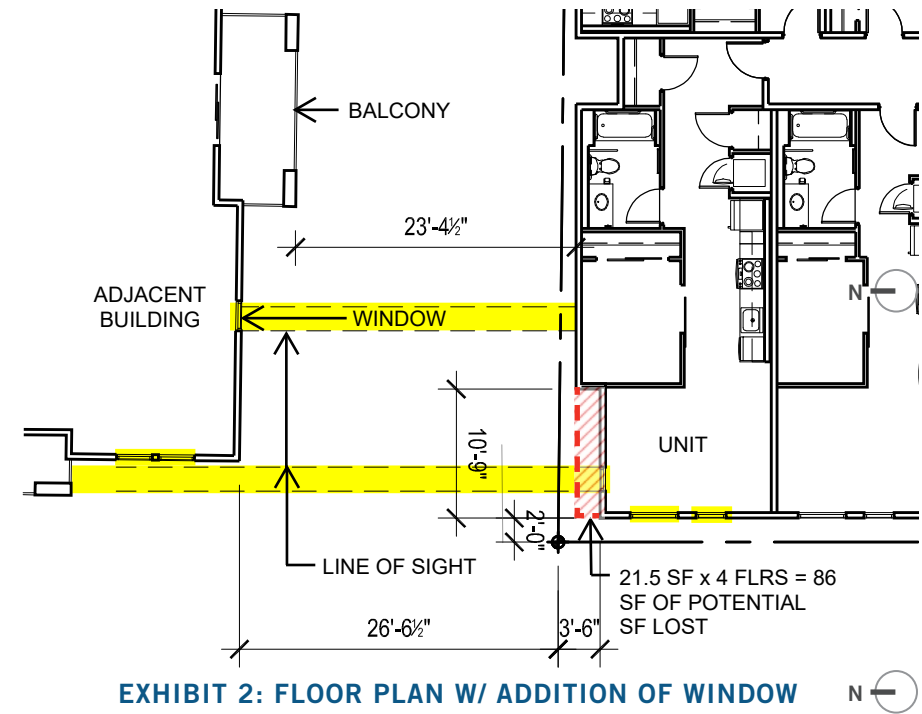
The adjacent building has multiple windows and balconies facing south, which would make it very difficult to place windows along the north facade without creating privacy issues. See Exhibit 1.

The building code limits the area of exterior wall openings per story based on the fire separation distance between the facade and the property line. Within a distance of 3 to 5 feet only max. 15% openings are allowed. In order to get a greater amount of glazing, the north facade would have to be recessed over 5 feet, which would have a detrimental impact to the unit count and unit layout it in the building.

Hence the study explores the addition of 2’ x 7’ windows at each level similar to the windows on the south facade, placed at the NW corner in an area with maximum separation from the adjacent building and without any south facing windows in the adjacent building in the direct line of sight. The fire separation distance of 3’-6” shown at the NW corner was most reasonable without an excessive reduction of square footage inside the unit. See Exhibit 2 & 3.

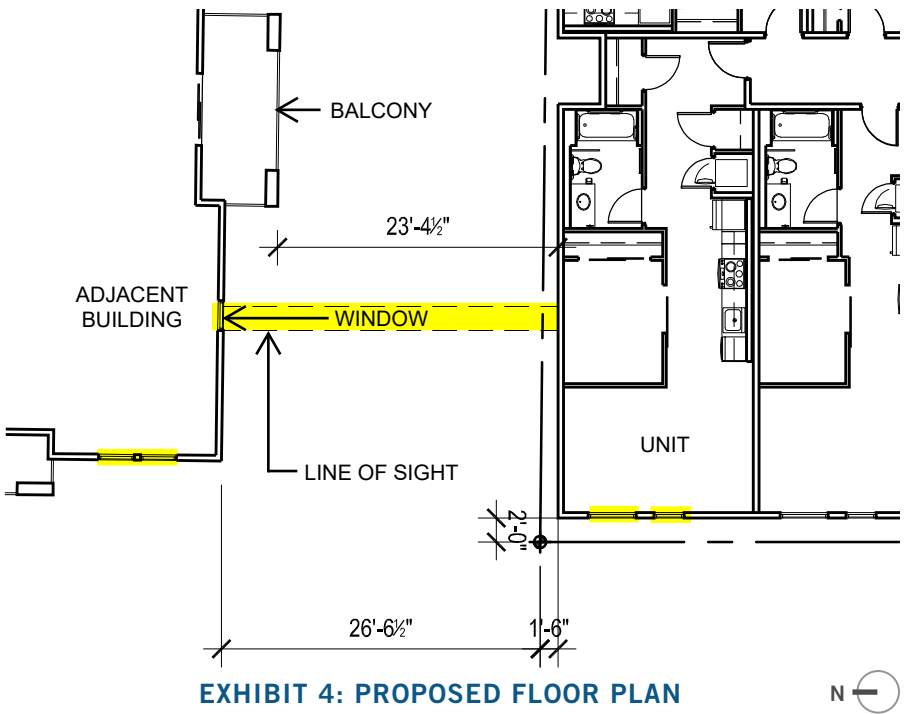
CONCLUSION

Although, the addition of windows can be a solution to a blank facade, the proximity of the north facade to the property line and the location of multiple windows on the south facade of the adjacent building prevent a situation where the pros outweigh the cons. The proposed building has simple and clean massing that was supported by the board at EDG. The proposed massing and floor plan layout allows the units to rely on guaranteed light and ventilation from the east and west facades facing the streets versus windows facing the side lot line. It also allows for the retention of interior space that is valuable to the potential tenants. See Exhibit 4 & 5.



PROS:
- Addition of 3rd window (north side) to 4 units.

CONS:
- Creates ledge condition facing side lot line over the commercial space
- Disrupts the notch design concept in the board supported massing and clutters the clean massing on the west and north facades.
- Addition of a few windows does not add much value to the overall north facade; adding windows in the remainder of the north facade would trigger major privacy concerns as the adjacent building has multiple windows and balconies facing the proposed building.
- Addition of windows requires setback with reduces unit square footage.



PROS:
- Clean and clear building massing that follows the notch concept supported by the board at EDG.
- Retention of interior square footage: 86 SF for a more spacious corner unit.
- Current orientation of units facing the streets instead of the side lot line requires no dependency on light and ventilation from the north side.

CONS:
- No addition of 3rd window (north side) to 4 Units.



EXHIBIT 1: SOUTH FACING WINDOWS IN ADJACENT BUILDING

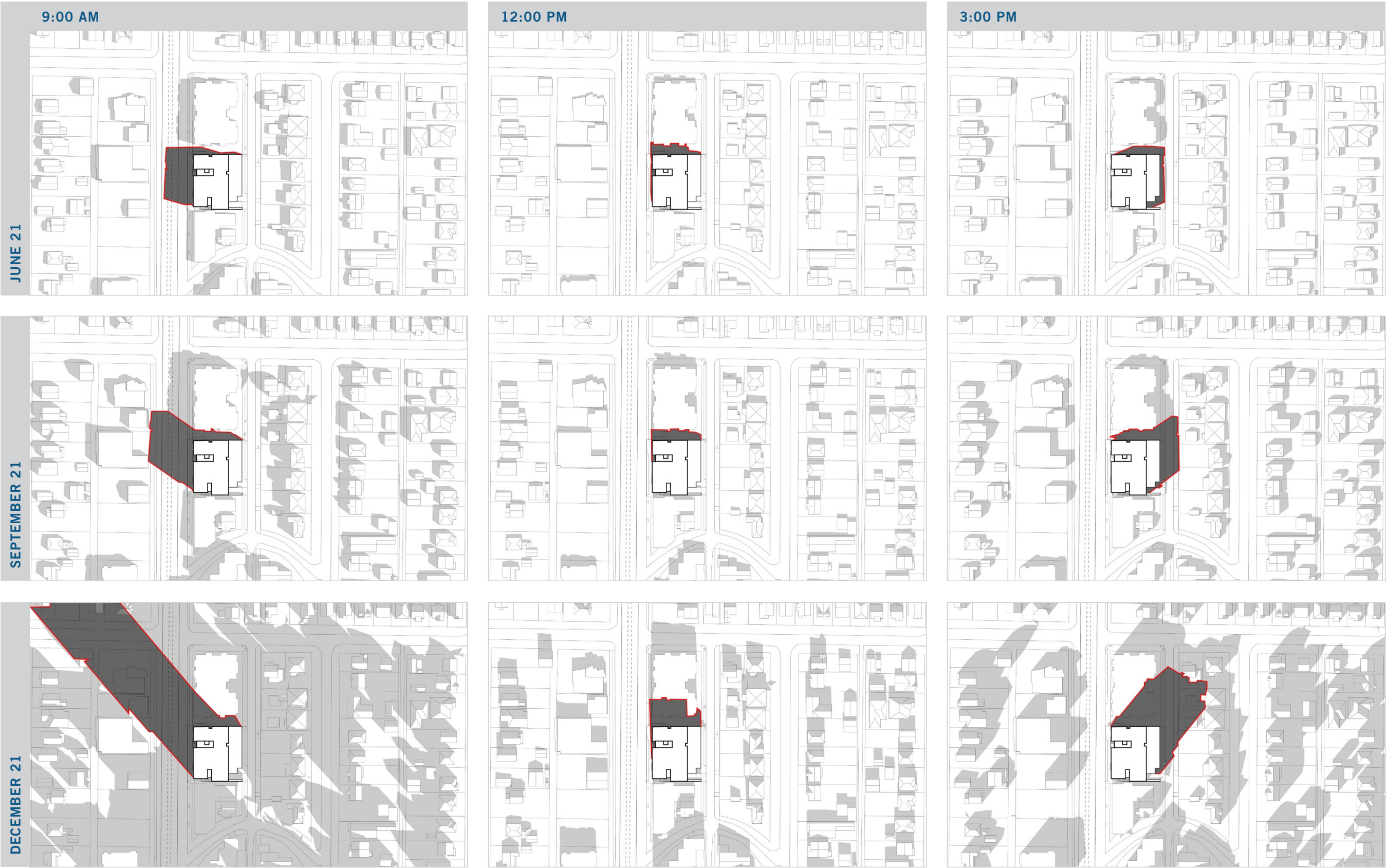


EXHIBIT 3: NORTH FACADE W/ ADDITION OF WINDOW



EXHIBIT 5: PROPOSED NORTH FACADE

18.0 SHADOW STUDY



18.0 OTHER - SUMMARY OF DESIGN RELATED COMMENTS DURING PUBLIC OUTREACH

As a part of the Seattle Department of Neighborhoods Community Outreach program, the project team

- sent out direct mailings to all properties within 800 feet of the proposed site.
- set up an online survey to obtain feedback about the proposal
- hosted a community meeting to provide information regarding the proposed project and obtain feedback from the neighborhood

Comments were received from the public during the community meeting and through the survey.

	HIGH-IMPACT (Choose 1)	OUTREACH PROPOSED	OUTREACH CONDUCTED
PRINTED	<ul style="list-style-type: none">• Direct mailings to all residences and business within approximately 800 ft. radius of the proposed site.	<ul style="list-style-type: none">• Send out direct mailings to all residences and business within 500 ft of project site. Addresses to come from King County GIS Map info. Promote survey and public meeting on the direct mailers.	<ul style="list-style-type: none">• 25 June,2019
DIGITAL	<ul style="list-style-type: none">• Online survey	<ul style="list-style-type: none">• Create Online survey with project description and min. 3 questions. Survey will be available for min. 21 days.	<ul style="list-style-type: none">• 25 June, 2019 - 26 July, 2019
IN-PERSON	<ul style="list-style-type: none">• Hosting or co-hosting a community meeting	<ul style="list-style-type: none">• We will host a community event to be held at a local neighborhood venue - TBD Date and time for the event will be provided on both direct mailer and the survey. Will provide 14 days notice.	<ul style="list-style-type: none">• 18 July, 2019

DESIGN RELATED COMMENTS RECEIVED	DESIGN RESPONSE TO PUBLIC COMMENTS	OPT 1	OPT 2	OPT 3(Preferred)
<ul style="list-style-type: none">• Concerned about the height of proposed 6 story building.• Concerned about the impact of the height/scale of project in proportion to the existing surrounding buildings, especially to the single-family lots to the east.	<ul style="list-style-type: none">• The building follows the site topography with the taller portion - 6 stories towards Greenwood Ave N and 4.5 stories towards Olympic View Place N. The upper levels are considerably setback from Olympic View Pl. N. to maximize openness and mitigate the height impact to the adjacent single family zone.	See pg. 24,25 and section diagram on pg. 29	See pg. 31,32 and section diagram on pg. 36	See pg. 38,39 and section diagram on pg. 43
<ul style="list-style-type: none">• Concerned about the proposed building blocking views currently available to existing buildings.	<ul style="list-style-type: none">• The site has been up-zoned and the building is designed to the allowable height limit. The upper levels are considerably setback from single family zone. An outdoor courtyard with extensive landscaping is provided towards the east side on level 2 . Also, Olympic View Pl. N will be completely improved.			
<ul style="list-style-type: none">• Concerned about increased density, impact to parking, traffic and noise; Prefer the quieter neighborhood.• Concerned about the parking access- which street is it from how it will affect the traffic.• Concerned about overflow of parking into the adjacent neighborhood and ability of Olympic view to handle increased traffic.	<ul style="list-style-type: none">• Parking access is not allowed from Greenwood Ave N. Enclosed parking accessed from Olympic View Pl. N is provided in the building to mitigate spill over parking into the neighborhood. Also, Olympic View Pl. N will be completely improved with all street frontage improvements including new sidewalk, planting strip and trees that will enhance views, pedestrian connectivity and add value to the single family homes.	See site plan on pg. 7 and Level 2 floor plan on pg. 26	See site plan on pg. 7 and Level 2 floor plan on pg. 33	See site plan on pg. 7 and Level 2 floor plan on pg. 40
<ul style="list-style-type: none">• Want to be informed about the future meetings on this project.	<ul style="list-style-type: none">• Meeting dates are posted in the City of Seattle Design Review web page.			
<ul style="list-style-type: none">• Would like Olympic View Street to have adequate lighting to discourage any criminal activity.	<ul style="list-style-type: none">• Olympic View Pl. N will be completely improved with all street frontage improvements to increase safety and security.	See site plan on pg. 7 and section on pg 29	See site plan on pg. 7 and section on pg 36	See site plan on pg. 7 and section on pg 43
<ul style="list-style-type: none">• Concerned about mechanical unit on top of the proposed building.	<ul style="list-style-type: none">• Due to the height relationship, any mechanical rooftop units will not be visible from the street level or the single family homes. Screening can also be provided as needed.	See section on pg 29	See section on pg 36	See section on pg 43
<ul style="list-style-type: none">• Want to know the extent of street improvements on Olympic View Place and location of utilities.• Want more landscaping and to preserve as many existing trees as possible that currently provide a visual screen; new trees will take a while to mature.	<ul style="list-style-type: none">• Olympic View Pl. N will be completely improved with all street frontage improvements including new sidewalk, planting strip and trees that will provide a visual screen, increase pedestrian connectivity and add value to the single family homes. Street design and utilities will be per SDOT and SPU requirements.	See site plan on pg. 7 and section on pg 29	See site plan on pg. 7 and section on pg 36	See site plan on pg. 7 and section on pg 43
<ul style="list-style-type: none">• Want to know proposed uses for the street level.	<ul style="list-style-type: none">• Along Greenwood Ave N, street level uses include the residential lobby, commercial space and live-work units. Parking access ramp and trash room are located along Olympic View Pl N.			
<ul style="list-style-type: none">• Want to know the parking ratio, the number of units, unit size and unit mix /no. of bedrooms.• Want to know if a percentage of units had been designated as affordable.	<ul style="list-style-type: none">• See development summary on page 3 & 23. Unit mix is to be determined.			
<ul style="list-style-type: none">• What to know if the project will require shoring.	<ul style="list-style-type: none">• Yes some shoring will be required. Extent and design to be determined during design development.			
<ul style="list-style-type: none">• Want to know if there will be parking in the right of way on Olympic View Place.	<ul style="list-style-type: none">• No. SDOT Required Neighborhood Curbless street cross section does not include on-street parking.			
<ul style="list-style-type: none">• Want to know the estimated timeliness for construction. Want to know how long the existing commercial property on site will be operational and the estimated timeliness for its demolition.	<ul style="list-style-type: none">• TBD			
<ul style="list-style-type: none">• Want to know how much community’s concern will affect the building design and hope that the design will address the concerns of the neighbors.				

18.0 OTHER - ADDITIONAL MATERIAL BOARD IMAGES



18.0 OTHER - ADDITIONAL MATERIAL BOARD IMAGES

