

CAPITOL HILL HOUSING EARLY DESIGN GUIDANCE APPLICATION

1319 EAST UNION STREET

PROJECT # 3035825-EG

OWNER:

Capitol Hill Housing

DEVELOPER:

Skipstone

ARCHITECT:

atelierjones

CONTRACTOR:

Swinerton Builders

STRUCTURAL:

DCI Structural Engineers

CIVIL

DCI Civil Engineers

LANDSCAPING

Blue Line Group



Preferred Alternative Design Proposal
View east along East Union St.



Capitol Hill Housing (CHH) is developing a housing project targeting affordability between 60 and 100% of area median income (AMI). The new building site neighbor CHH's historic Helen V apartment building in SE Capitol Hill.

The new building will preserve the existing Helen V courtyard and will improve accessibility and security for its residents, while adding new programming and enriching the existing site urbanistically.

The addition of a small retail or coffee shop at East Union and 14th will activate this currently underused corner.

In addition, the eight-story building will have a mass timber structural system, pioneering the use of this green building technology in multifamily construction in Seattle.

The proposed building will provide the following:

Units:	114
Average unit size:	394.7 SF
studio:	93 units
one bedroom	21 units

Unit distribution:	
60% AMI -	36 units
70% AMI -	5 units
95% AMI -	73 units

Other features:	
Ground floor retail:	450 SF
Interior amenity:	630 SF
Exterior amenity:	3,200 SF

PROJECT TEAM

OWNER:

Capitol Hill Housing
 Contact: Veronica Guenther
 1620 12th Avenue, Suite 205
 Seattle, WA 98122
 (206)204-3826
 vguenther@capitolhillhousing.org

ARCHITECT:

atelierjones
 Contact: Ian Maples
 911 Pine St. Floor 2
 Seattle, WA 98101
 (206) 624-9966
 ian@atelierjones.com

DEVELOPER:

Skipstone
 Contact: A-P Hurd
 (857)891-1663
 aphurd@skipstonesea.com

CIVIL

DCI Civil Engineers
 Contact: Darren Simpson
 818 Stewart Street
 Suite 1000
 Seattle, WA 98101
 (206)787-8917
 dsimpson@dc-engineers.com

CONTRACTOR:

Swinerton Builders
 Contact:
 Gary Chubb
 gchubb@swinerton.com
 Christopher Evans
 cevans@swinerton.com
 14432 SE Eastgate Way
 Suite 230
 Bellevue, WA 98007
 (425)365-0373

LANDSCAPING

Blue Line Group
 Contact: Roby Snow
 25 Central Way, Suite 400
 Kirkland, WA 98033
 (425)216-4051

STRUCTURAL:

DCI Structural Engineers
 Contact: Shirley Chalupa
 921 SW Washington Street
 Suite 560
 Portland, OR 97205
 (503)242-2448
 schalupa@dc-engineers.com

3.5 SUMMARY OF PUBLIC OUTREACH COMMENTS

PUBLIC OUTREACH COMMENTS MEETING WITH HELEN V RESIDENTS DECEMBER 19, 2019

CHH hosted an informal dinner for the residents of Helen V to present information about the new building, and to provide an opportunity for the residents to provide comments and ask questions. About 20 residents came to the meeting.

- Retain existing Helen V courtyard
- Assure that current Helen V residents always have adequate access, including ADA accessibility and security, during the construction and after the new building is completed.
- During construction, mitigate noise and pollution (i. g., provide air purifiers to the Helen V residents upon request, limit noise during construction).
- For the exterior, include the following features: prominent Helen V signage, ADA access, movable chairs and tables (acknowledging overnight security concerns), playground space with swings, community garden, BBQ grill, benches, and quiet contemplative space. For the interior, residents would like access to ground floor amenity space, including the laundry room. Also, they would like to see the retail space operated by a small, local business such as a coffee shop or bakery
- Assure that some parking is provided (street or otherwise) to the existing Helen V residents who currently park their vehicles in the parking lot, which is to become the site of the new building.
- Residents were interested in applying for the 36 units at 60% AMI.
- Residents voiced concerns about the level of density in the new building.

Public outreach photos
Helen V parking lot (future building site) and Capitol Hill public market on January 4th and 5th 2020.



PUBLIC OUTREACH COMMENTS HELEN V PARKING LOT AND CAPITOL HILL FARMERS MARKET JANUARY 4TH AND 5TH, 2020

The informational pop-up at Helen V parking lot attracted about 20 visitors, including 6 residents of Helen V, and interested passersby.

At the Farmers Market, approximately 100 community members from the broader Capitol Hill neighborhood stopped to ask questions and voice their opinion.

- Community members were happy to hear that the Historic Helen V building is being preserved, and hope to still have a connection with it from East Union Street.

- More ideas suggested for the renewed, activated courtyard at the existing Helen V and the new building: community garden, a BBQ grill, a playground swing, and movable tables and chairs

- A concern was voiced regarding the existing trees and landscape shrubs.

- At the outreach pop-up stand at the Capitol Hill Public Market, community members expressed approval of the addition of the new coffee/retail space across the intersection from the well known Skillet restaurant.

- There was a general disappointment about lack of parking spaces, which is increasingly common in the transit-rich Capitol Hill.

- Community members showed great interest in the "middle income" housing, expressing a current lack of low and middle income housing in the neighborhood. Visitors were supportive of more housing options aimed at middle income earners.

4.0 SITE PLAN

LOCATION 1321 E Union St.
PARCEL NO. 2254501275 (to be subdivided)
PARENT LOT SIZE 23,067 SF
SUB. LOT SIZE 13,205 SF
DIMENSIONS (PARENT) 127.98' x 180.05' x 128.4' x 178.38'
DIMENSIONS (SUB) 127.98' x 84.28' x 63.31' x 37.40' x 65.09' x 120.02'
LEGAL DESCRIPTION EDES & KNIGHTS ADD SUPPL 8-9-10 & E 5 IN. OF LOT 5



EXISTING SITE ACCESS:

-  SITE
-  BUILDING

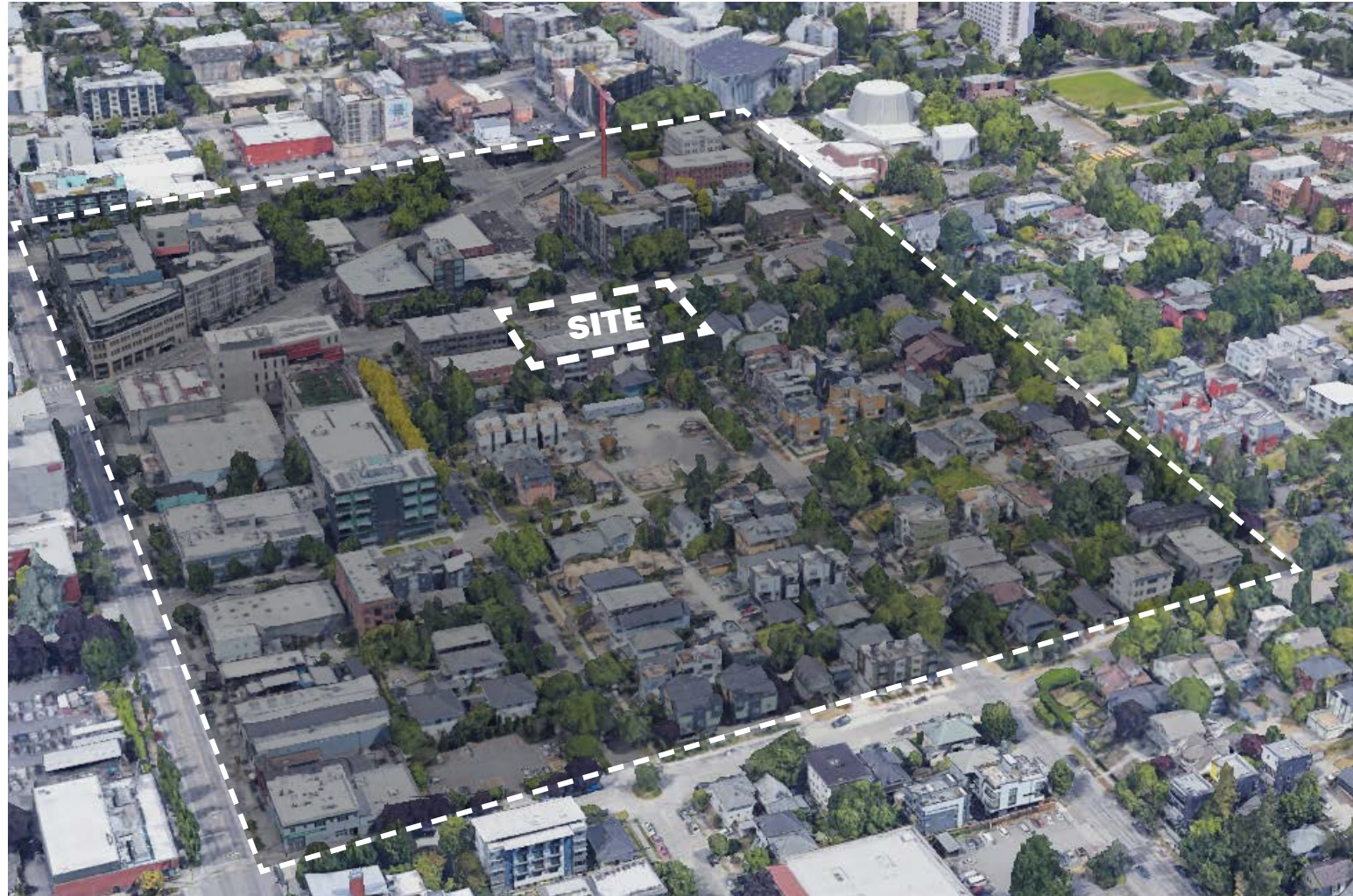
LANDSCAPING:

-  EXISTING TREE
-  NEW TREE

N SITE PLAN:









5.1 URBAN DESIGN ANALYSIS - VICINITY AND ZONING

VICINITY - 3X3 BLOCK BOUNDARY



ZONING



	LR1 (M)		LR3 (M)		NC3P-75 (M)
	LR2 (M)		NC2P-75 (M1)		NC3-75 (M)
	MR (M1)		MIO105-MR (M)		MIO-105-C2-75 (M)



5.1 URBAN DESIGN ANALYSIS - VICINITY/USES



Temple De Hirsch Sinai



Photography Center



Seattle Academy



Seattle University - Lee Center for the Arts



Spring Street Mini Park



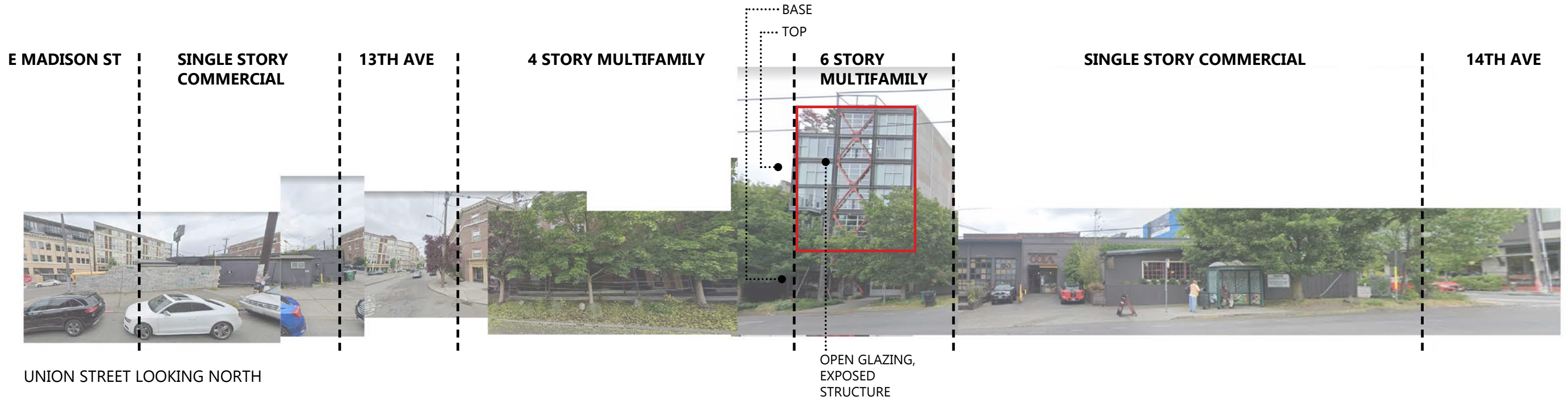
Seattle University - Chapel of St. Ignatius

ADJACENT STREET LEVEL USE

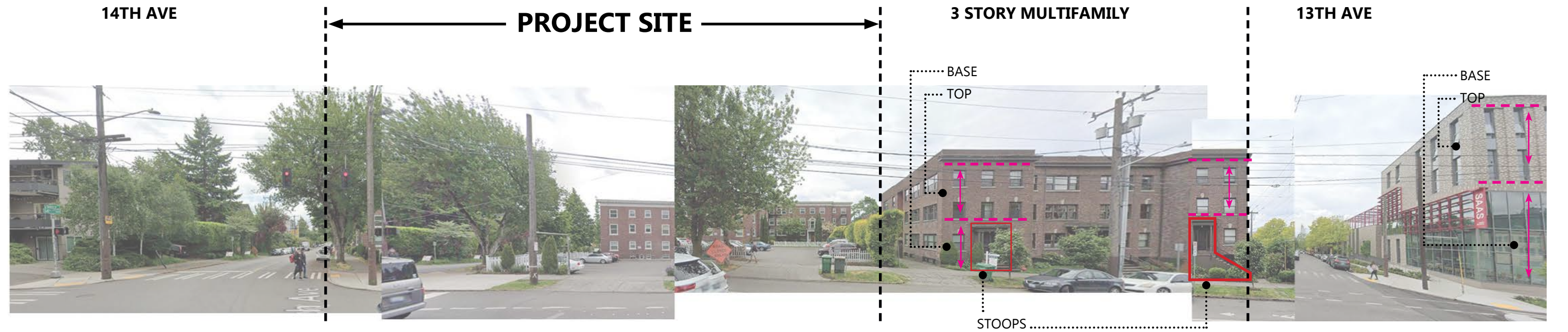
— SCHOOL
 — RESIDENTIAL
 — COMMERCIAL



5.4 SITE ANALYSIS - STREETSCAPE



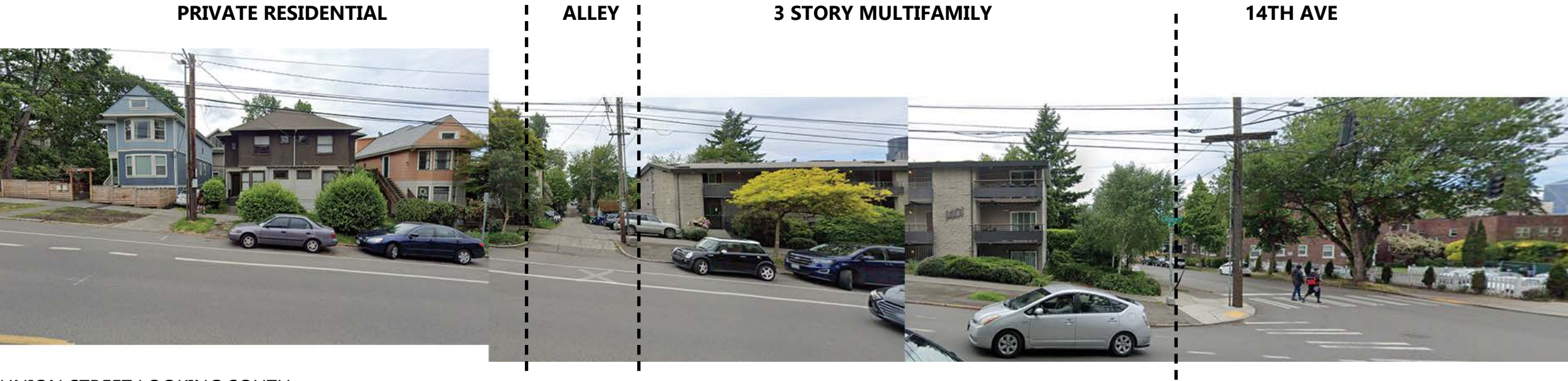
UNION STREET LOOKING NORTH



UNION STREET LOOKING SOUTH

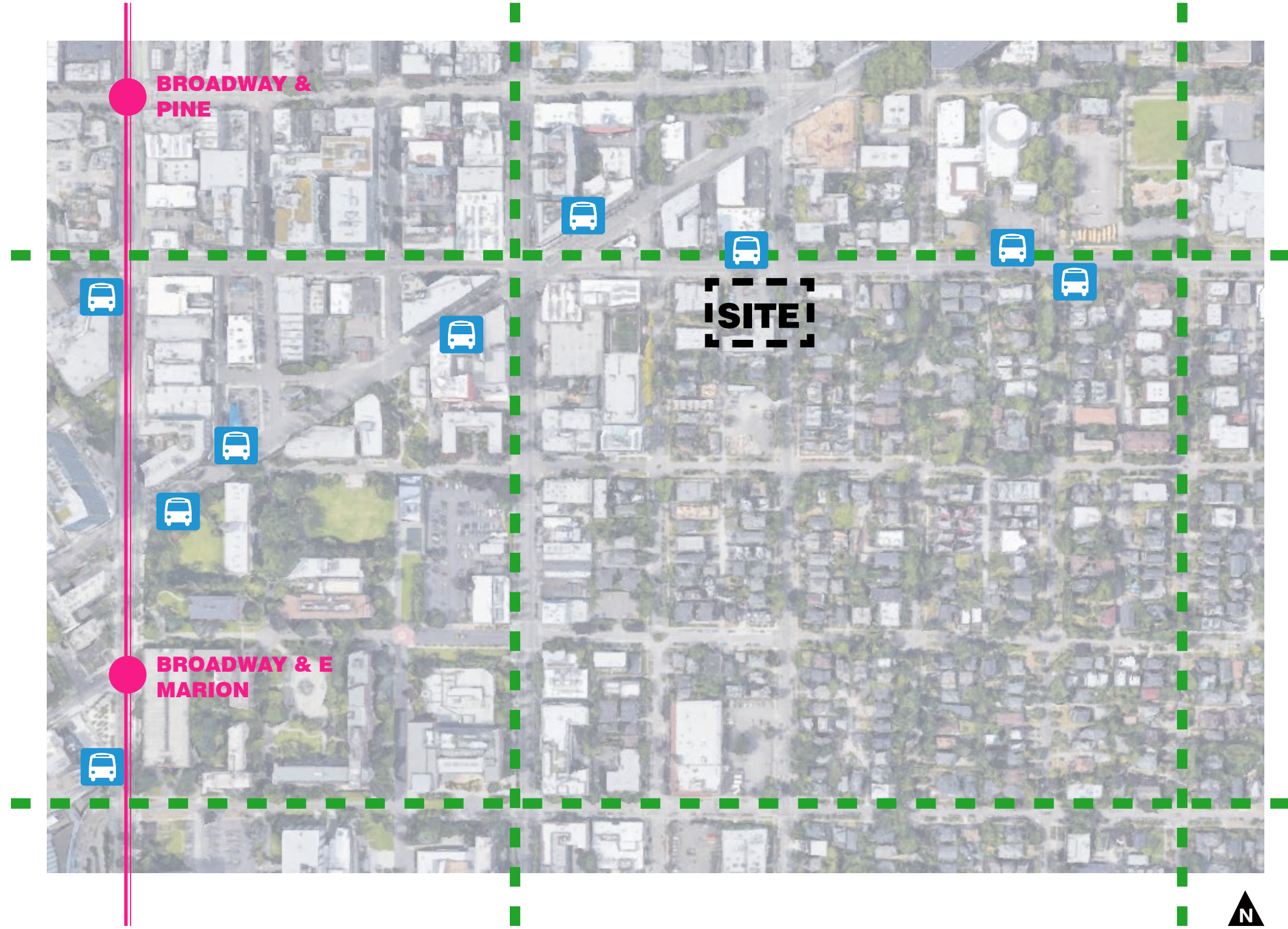


UNION STREET LOOKING NORTH



UNION STREET LOOKING SOUTH

- STREETCAR
- BIKE LANE
- BUS STOP



5.7 URBAN DESIGN ANALYSIS - SITE PHOTOS



Existing Helen V apartment building, looking South from the corner of East Union St. and 14th Ave.



Neighboring apartment building, Union Terrace Cooperative, at East Union and 13th Ave., looking West from the parking lot in front of Helen V.



Existing Helen V apartment building, as viewed from the parking lot in front - to become the shared courtyard once the proposed building is constructed.



Access to the trash enclosure in front of Helen V, at the South-West corner of the existing parking lot.



Union Terrace Cooperative at East Union and 13th Ave., looking West from the parking lot in front of Helen V.



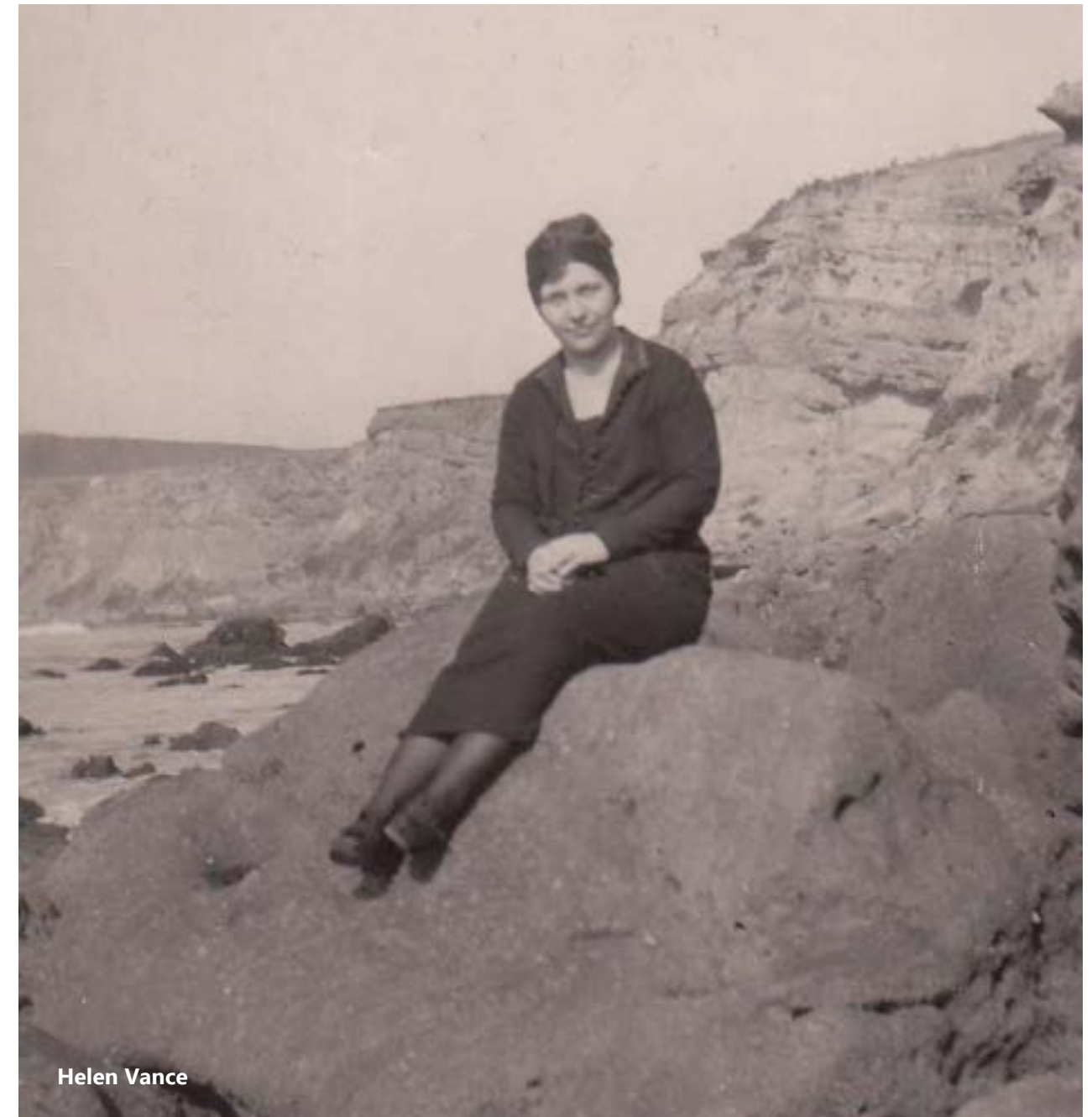
Looking directly North from Helen V building, view to East Union St.

Helen V was one of the first buildings built by Vance Lumber Company in 1909, after its founding in 1906. Helen was the daughter of Joseph Vance, the company founder and owner, and it is most likely that this elegant Capitol Hill apartment building was named after her.

Joseph Vance was one of the most significant developers and builders in Seattle at the turn of 20th century. His work began when he started the company known as Vance Lumber in Malone, Washington, in 1906. He sold the Malone lumber mill in 1918, after moving Vance Lumber to Seattle to invest in real estate.

In the 1920s, the company built the Joseph Vance Building at Third Avenue and Union Street, the Lloyd Building at Sixth Avenue and Stewart Street and the grand landmark of Vance Hotel (now Hotel Max) at Stewart and Seventh Avenue. The company then bought the Camlin Hotel at Eighth Avenue and Pine Street in 1930 and a lot of vacant land in the 1930s that were turned into parking lots.

Vance's son George Vance took over the company in the 1930s and ran it until his death in 1981. By December 1985, when the company was sold, it's portfolio was considered among the largest in town.



Helen Vance



Helen V building in 1930s

ZONING MR (M1) High.

FAR (SMC 23.45.510) Allowable FAR is 59,422.5 SF applicable to above grade areas per SMC 23.45.510.

GREEN BUILDING STANDARD SMC 23.58.D
SMC 23.45.530 The project must meet Green Building Standard

NON-RESIDENTIAL USES SMC 23.45.532 Non-residential uses at street level shall have a maximum footprint of 4,000 SF.

MAXIMUM HEIGHT SMC 23.45.514 Maximum height is 80'.

CITY LIGHT SETBACK 7' setback to accommodate high-voltage power lines on Union Street .

SETBACKS & SEPARATIONS SMC 23.45.518
Front Setback: 7' average; 5' minimum
Side Setback: 7' average; 5' minimum
 Side setback from interior lot line for portions of a building that is less than 42' in height: 7' average; 5' minimum,
 Side setback from interior lot line for portions of a building that is greater than 42' in height: 10' average; 7' minimum.
Rear Setback: 15' from a rear lot line that does not abut an alley; 10' from a rear lot line abutting an alley.

SEPARATIONS BETWEEN STRUCTURES SMC 23.45.518.F 10' required between principal structures at any two points on different interior facades.

PROJECTIONS PERMITTED IN SETBACKS SMC 23.45.518.H Unenclosed porches or steps no higher than 4' above existing grade, or the grade at the street lot line, whichever is lower, may extend to within 4' of a street lot line, except that portions of entry stairs or stoops not more than 2.5 feet in height from existing or finished grade, whichever is lower, excluding guard rails or hand rails, may extend to a street lot line.

MAXIMUM STRUCTURE WIDTH & DEPTH SMC 23.45.528

Width of principal structures shall not exceed 150'.
Depth of principal structures shall not exceed 80% of lot depth.

AMENITY AREA 23.45.522.C,D

5% of the total gross floor area of a structure in residential use. In MR zones, no more than 50% of the amenity area may be enclosed.
For private amenity areas, no minimum dimension is required; however, if such amenity abuts a side lot line that is not a side street lot line, the minimum horizontal dimension measured from the side lot line must be 10'. For common amenity areas, minimum horizontal dimension is 10'. No common amenity area shall be less than 250 SF in size.

LANDSCAPING STANDARDS SMC 23.45.524

Landscaping that achieves a Green Factor score of 0.5 or greater, is required for any lot within an MR zone.

PARKING SMC 23.54.015.D

No parking required.

BICYCLE PARKING SMC 23.54.015.K

Long-term: 1 per dwelling unit,
Short-term: 1 per 20 dwelling units.
After the first 50 spaces for bicycles are provided, additional spaces are required at 3/4 the ratio. Bicycle parking within dwelling units, other than a private garage or on balconies, do not count toward the bicycle parking requirement.

LOADING BERTH 23.54.035A

Not required. Only for Lodging and Office: Low Demand GSF b/t 40,000-60,000 SF: 1 berth.

SOLID WASTE SMC 23.54.040

See page 16 for full description.

6.1 __EXISTING BUILDING HELEN V

LOCATION 1321 E Union St.
PARCEL NO. 2254501275 (to be subdivided)
PARENT LOT SIZE 23,067 SF
SUB. LOT SIZE 13,205 SF
DIMENSIONS (PARENT) 127.98'x 180.05' x 128.4' x 178.38'
DIMENSIONS (SUB) 127.98' x 84.28' x 63.31' x 37.40' x 65.09' x 120.02'
LEGAL DESCRIPTION EDES & KNIGHTS ADD SUPPL 8-9-10 & E 5 IN. OF LOT 5

EXISTING BUILDING AREAS SUMMARY

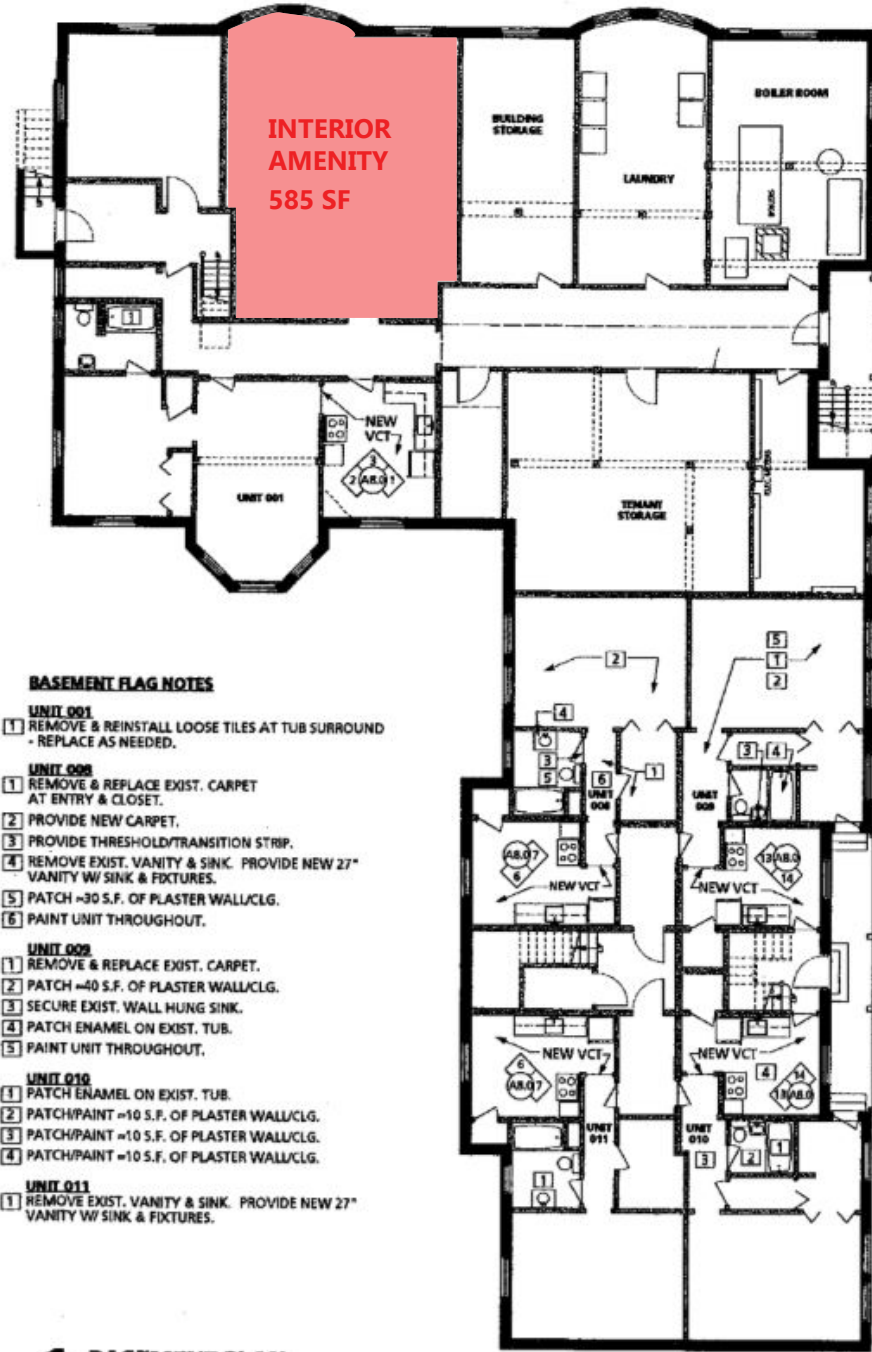
LOT AREA: 10,271 SF
FAR: 3.2
FAR FLOOR AREA: 32,867.2 SF

RESIDENTIAL FLOORS BASEMENT THROUGH FLOOR 3
GROSS FLOOR AREA: 20,671 SF

AMENITY
INTERIOR AMENITY: 585 SF
TOTAL PROVIDED: 585 (2.8%)

REQUIRED (2015 SMC): 1,034 SF (5%)

UNITS
UNITS, BASEMENT: 5
UNITS, GROUND FLOOR- FLOOR 3: 11
TOTAL UNITS: 38
TOTAL UNIT AREA, BASEMENT- FLOOR 3: 20,671 SF
AVERAGE UNIT SIZE: 544 SF

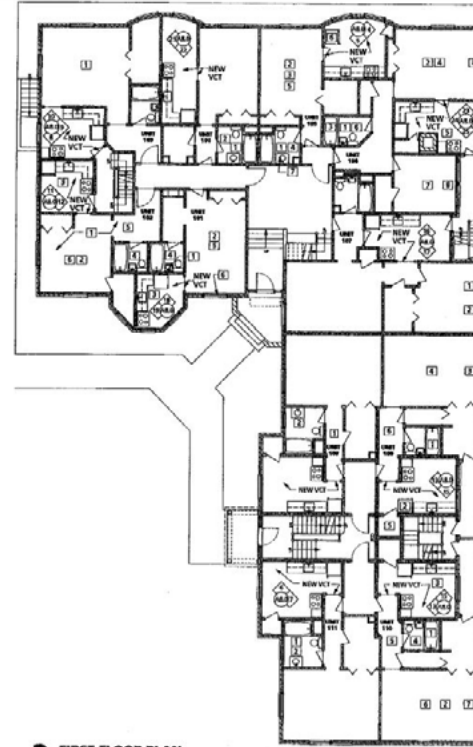


BASEMENT FLAG NOTES

- UNIT 001**
 1 REMOVE & REINSTALL LOOSE TILES AT TUB SURROUND - REPLACE AS NEEDED.
- UNIT 008**
 1 REMOVE & REPLACE EXIST. CARPET AT ENTRY & CLOSET.
 2 PROVIDE NEW CARPET.
 3 PROVIDE THRESHOLD/TRANSITION STRIP.
 4 REMOVE EXIST. VANITY & SINK. PROVIDE NEW 27" VANITY W/ SINK & FIXTURES.
 5 PATCH ~30 S.F. OF PLASTER WALL/CLG.
 6 PAINT UNIT THROUGHOUT.
- UNIT 009**
 1 REMOVE & REPLACE EXIST. CARPET.
 2 PATCH ~40 S.F. OF PLASTER WALL/CLG.
 3 SECURE EXIST. WALL HUNG SINK.
 4 PATCH ENAMEL ON EXIST. TUB.
 5 PAINT UNIT THROUGHOUT.
- UNIT 010**
 1 PATCH ENAMEL ON EXIST. TUB.
 2 PATCH/PAINT ~10 S.F. OF PLASTER WALL/CLG.
 3 PATCH/PAINT ~10 S.F. OF PLASTER WALL/CLG.
 4 PATCH/PAINT ~10 S.F. OF PLASTER WALL/CLG.
- UNIT 011**
 1 REMOVE EXIST. VANITY & SINK. PROVIDE NEW 27" VANITY W/ SINK & FIXTURES.

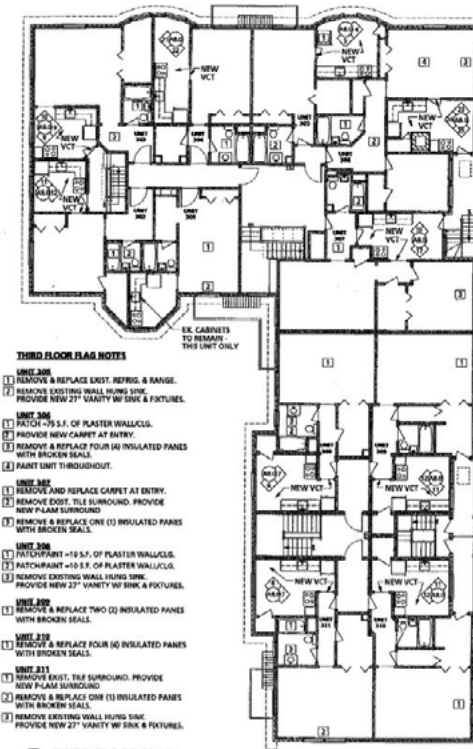
1 BASEMENT PLAN

scale: 1/16"=1'-0"



2 FIRST FLOOR PLAN

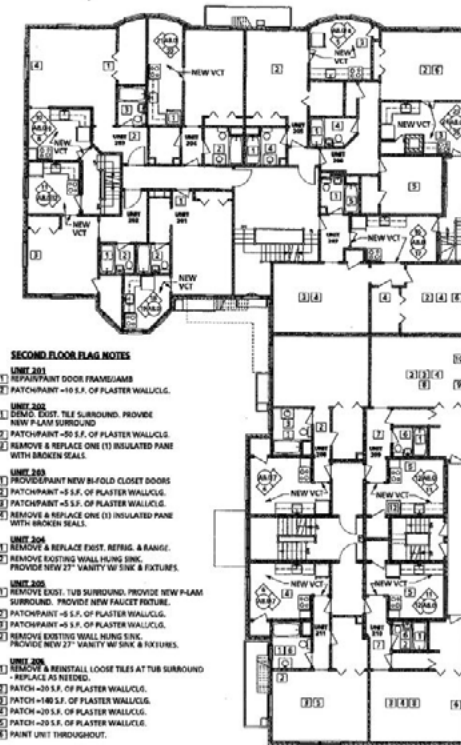
scale: 1/16"=1'-0"



THIRD FLOOR PLAN NOTES

- UNIT 301**
 1 REMOVE & REPLACE EXIST. REFRIG. & RANGE.
 2 REMOVE EXISTING WALL HUNG SINK. PROVIDE NEW 27" VANITY W/ SINK & FIXTURES.
- UNIT 302**
 1 PATCH ~75 S.F. OF PLASTER WALL/CLG.
 2 PROVIDE NEW CARPET AT ENTRY.
 3 REMOVE & REPLACE FOUR (4) INSULATED PANELED WITH BROKEN SEALS.
 4 PAINT UNIT THROUGHOUT.
- UNIT 303**
 1 REMOVE AND REPLACE CARPET AT ENTRY.
 2 REMOVE EXIST. TILE SURROUND. PROVIDE NEW PLANK SURROUND.
 3 REMOVE & REPLACE ONE (1) INSULATED PANELED WITH BROKEN SEALS.
- UNIT 304**
 1 PATCH/PAINT ~19 S.F. OF PLASTER WALL/CLG.
 2 PATCH/PAINT ~10 S.F. OF PLASTER WALL/CLG.
 3 REMOVE EXISTING WALL HUNG SINK. PROVIDE NEW 27" VANITY W/ SINK & FIXTURES.
- UNIT 305**
 1 REMOVE & REPLACE TWO (2) INSULATED PANELED WITH BROKEN SEALS.
 2 REMOVE & REPLACE FOUR (4) INSULATED PANELED WITH BROKEN SEALS.
- UNIT 306**
 1 REMOVE EXIST. TILE SURROUND. PROVIDE NEW PLANK SURROUND.
 2 REMOVE & REPLACE ONE (1) INSULATED PANELED WITH BROKEN SEALS.
 3 REMOVE EXISTING WALL HUNG SINK. PROVIDE NEW 27" VANITY W/ SINK & FIXTURES.

3 THIRD FLOOR PLAN

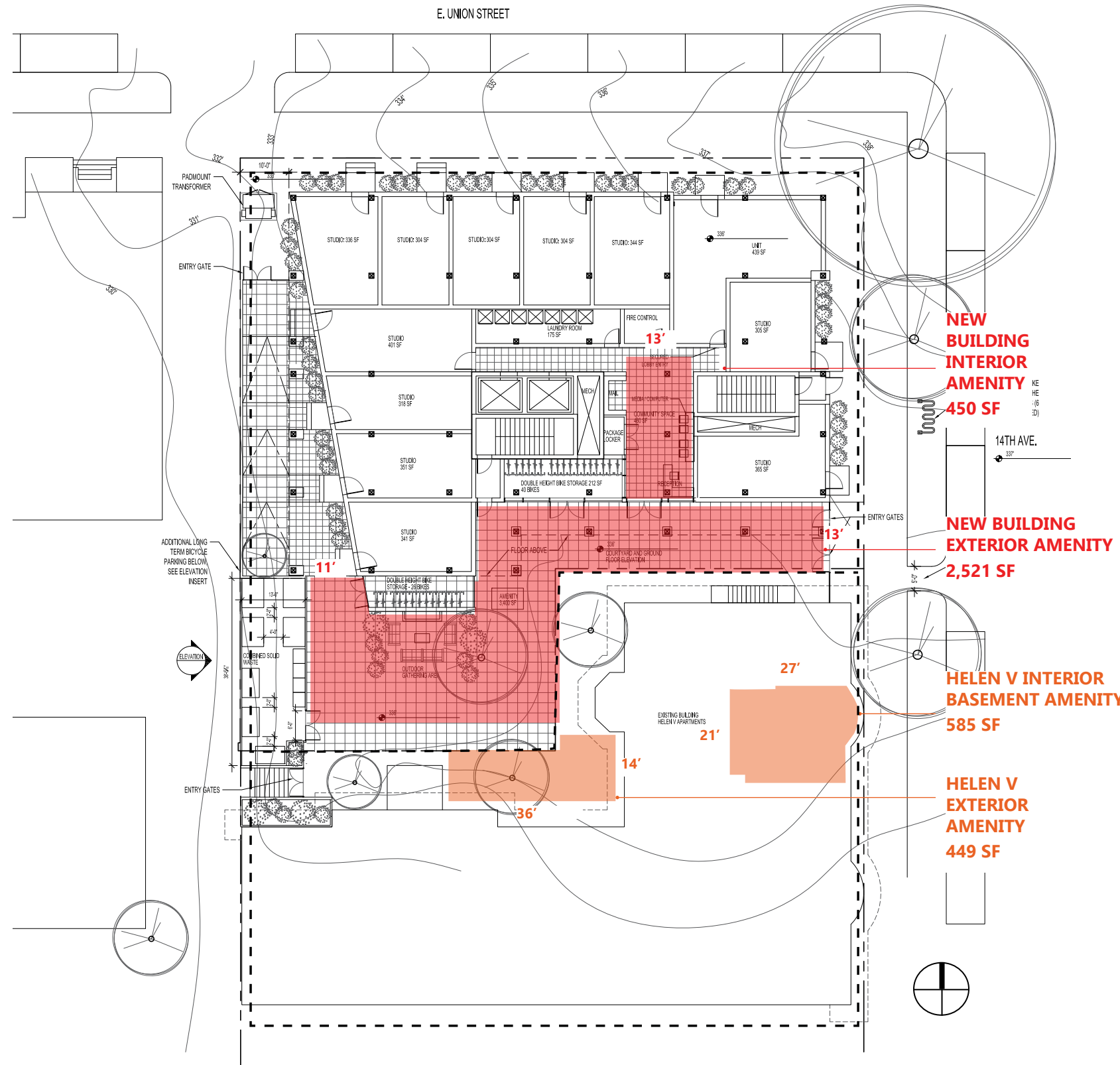


SECOND FLOOR FLAG NOTES

- UNIT 201**
 1 REPAIR/PAINT DOOR FRAME/LAMB.
 2 PATCH/PAINT ~10 S.F. OF PLASTER WALL/CLG.
- UNIT 202**
 1 DEMO EXIST. TILE SURROUND. PROVIDE NEW PLANK SURROUND.
 2 PATCH/PAINT ~20 S.F. OF PLASTER WALL/CLG.
 3 REMOVE & REPLACE ONE (1) INSULATED PANELED WITH BROKEN SEALS.
- UNIT 203**
 1 PROVIDE/PAINT NEW BI-FOLD CLOSET DOORS.
 2 PATCH/PAINT ~5 S.F. OF PLASTER WALL/CLG.
 3 PATCH/PAINT ~5 S.F. OF PLASTER WALL/CLG.
 4 REMOVE & REPLACE ONE (1) INSULATED PANELED WITH BROKEN SEALS.
- UNIT 204**
 1 REMOVE & REPLACE EXIST. REFRIG. & RANGE.
 2 REMOVE EXISTING WALL HUNG SINK. PROVIDE NEW 27" VANITY W/ SINK & FIXTURES.
- UNIT 205**
 1 REMOVE EXIST. TILE SURROUND. PROVIDE NEW PLANK SURROUND. PROVIDE NEW FACET FEATURE.
 2 PATCH/PAINT ~5 S.F. OF PLASTER WALL/CLG.
 3 PATCH/PAINT ~5 S.F. OF PLASTER WALL/CLG.
 4 REMOVE EXISTING WALL HUNG SINK. PROVIDE NEW 27" VANITY W/ SINK & FIXTURES.
- UNIT 206**
 1 REMOVE & REINSTALL LOOSE TILES AT TUB SURROUND. REPLACE AS NEEDED.
 2 PATCH ~20 S.F. OF PLASTER WALL/CLG.
 3 PATCH ~180 S.F. OF PLASTER WALL/CLG.
 4 PATCH ~20 S.F. OF PLASTER WALL/CLG.
 5 PATCH ~20 S.F. OF PLASTER WALL/CLG.
 6 PAINT UNIT THROUGHOUT.

4 SECOND FLOOR PLAN

6.1__EXISTING BUILDING FAR AND AMENITY AREAS



LOCATION 1321 E Union St.
PARCEL NO. 2254501275 (to be subdivided)
PARENT LOT SIZE 23,067 SF
SUB. LOT SIZE 13,205 SF
DIMENSIONS (PARENT) 127.98' x 180.05' x 128.4' x 178.38'
DIMENSIONS (SUB) 127.98' x 84.28' x 63.31' x 37.40' x 65.09' x 120.02'
LEGAL DESCRIPTION EDES & KNIGHTS ADD SUPPL 8-9-10 & E 5 IN. OF LOT 5

NEW BUILDING AREAS SUMMARY

LOT AREA:	13,205 SF
FAR:	4.5
FAR FLOOR AREA:	59,422 SF
RESIDENTIAL FLOORS 1-8:	
GROSS FLOOR AREA:	59,422 SF
AMENITY	
INTERIOR AMENITY:	450 SF
EXTERIOR AMENITY:	2,521 SF
TOTAL PROVIDED:	2,971 (5%)
REQUIRED (2015 SMC):	2,971 SF (5%)

EXISTING BUILDING AREAS SUMMARY

LOT AREA:	10,271 SF
FAR:	3.2
FAR FLOOR AREA:	32,867.2 SF
RESIDENTIAL FLOORS BASEMENT THROUGH FLOOR 3	
GROSS FLOOR AREA:	20,671 SF
AMENITY	
INTERIOR BASEMENT AMENITY:	585 SF
EXTERIOR AMENITY:	449 SF
TOTAL PROVIDED:	1,034 (5%)
REQUIRED (2015 SMC):	1,034 SF (5%)
UNITS	
UNITS, BASEMENT:	5
UNITS, GROUND FLOOR- FLOOR 3:	11
TOTAL UNITS:	38
TOTAL UNIT AREA, BASEMENT- FLOOR 3:	20,671 SF
AVERAGE UNIT SIZE:	544 SF

GENERAL REQUIREMENTS AND COMMENTS

- STORAGE**
- 2' SPACING BETWEEN EVERY DUMPSTER
 - 4' SPACING BETWEEN DUMPSTERS THAT FACE EACH OTHER
 - 2' SPACING AROUND ALL SIDES OF COMPACTOR
 - **ACCESS DOOR** TO SOLID WASTE ROOM OR ENCLOSURE ARE MIN 6' WIDE
 - **PATHS** THROUGH WHICH DUMPSTERS ARE TRANSPORTED ARE MIN 7' WIDE
 - IF LOCATED OUTDOORS, STORAGE SPACE MUST BE SCREENED FROM PUBLIC VIEW
 - STORAGE SPACE SHALL NOT BE LOCATED IN ANY REQUIRED DRIVEWAYS, PARKING AISLES, PARKING SPACES
 - CONTAINERS (2 CY OR SMALLER) MANUALLY PULLED SHALL BE PLACED NO MORE THAN 50 FEET FROM CURB

- STAGING**
- **PATHS** THROUGH WHICH DUMPSTERS ARE TRANSPORTED ARE MIN 7' WIDE
 - ANY GATES OR **ACCESS ROUTES** FOR TRUCKS SHALL BE MIN 10' WIDE
 - 21' **OVERHEAD CLEARANCE** SHALL BE PROVIDED IF ACCESSED DIRECTLY BY A COLLECTION VEHICLE (WHETHER INTO A STRUCTURE OR OTHERWISE)

NEW BUILDING

MORE THAN 100 DWELLING UNITS

575 SF + 4 SF FOR EACH ADDITIONAL UNIT ABOVE 100, THIS MAY BE REDUCED BY 15 PERCENT IF AREA PROVIDED HAS A MINIMUM HORIZONTAL DIMENSION OF 20 FT
 100 UNITS= 575 SF
 ADDITIONAL 14 UNITS = 14 X 4 = 56 SF
 TOTAL SF FOR 114 UNITS = 575 + 56 = 631 SF
 15 PERCENT REDUCTION = 631 X .85 = 536.35

537 SF TOTAL WITH 15 PERCENT REDUCTION

NON COMPACTED GARBAGE AND RECYCLING

.15 CU YD/WK PER UNIT FOR RECYCLE
 .15 CU YD/WK PER UNIT FOR GARBAGE
 114 UNITS X .15= 17.1 CY

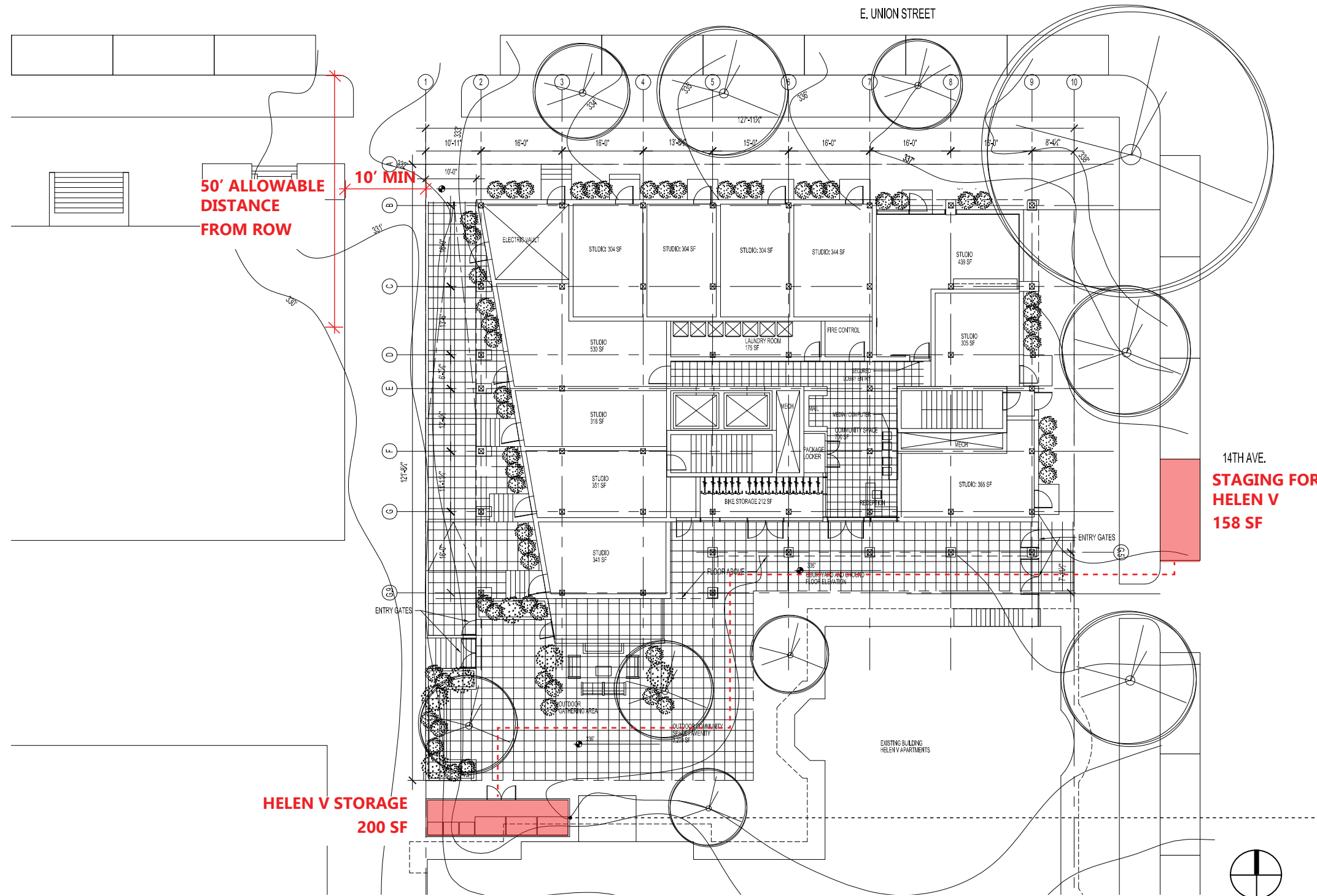
NEW BUILDING WILL REQUIRE 16 CUBIC YARDS OF RECYCLING AND 16 CUBIC YARDS OF GARBAGE PER WEEK = (8) 4 CUBIC YARD CONTAINERS FOR PICK UP 1X / WK OR 4(4) CUBIC YARD CONTAINERS FOR PICK UP 2X / WK

HELEN V EXISTING SOLID WASTE STORAGE

CURRENT STORAGE AREA = 20' X 10'
 EXISTING CONTAINERS = APPROX. (2) 4 CUBIC YARD CONTAINERS AND (3) 96 GALLON BINS
 TOTAL UNITS IN HELEN V = 38

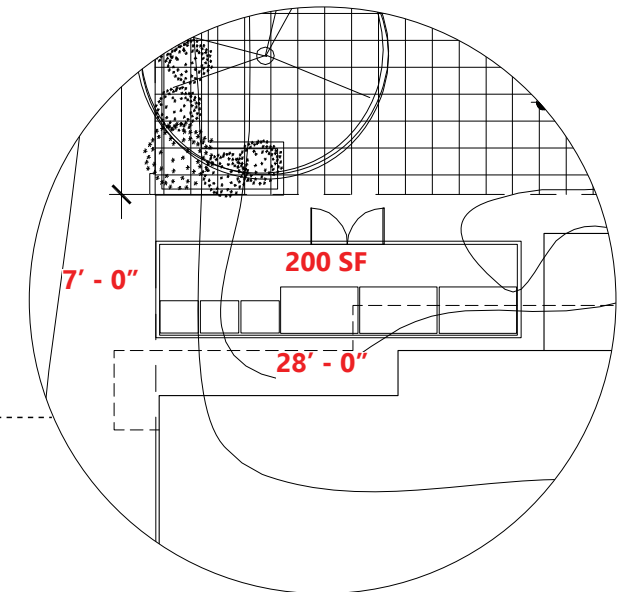


6.2__SOLID WASTE STORAGE AND STAGING

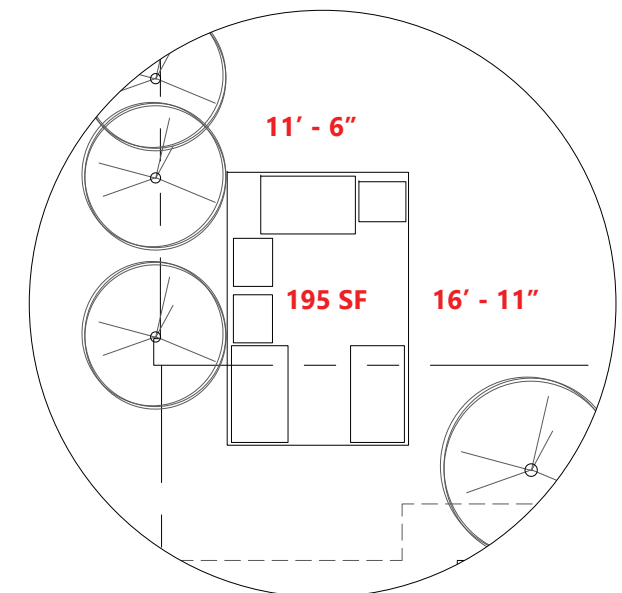


NOTES

- STORAGE FOR HELEN V LOCATED WITHIN HELEN V PROPERTY LINE. STAGING OCCURS ON DESIGNATED 14TH AVE PARKING SPOT.



CLOSE UP OF HELEN V STORAGE AREA WITH EXISTING CONTAINERS.

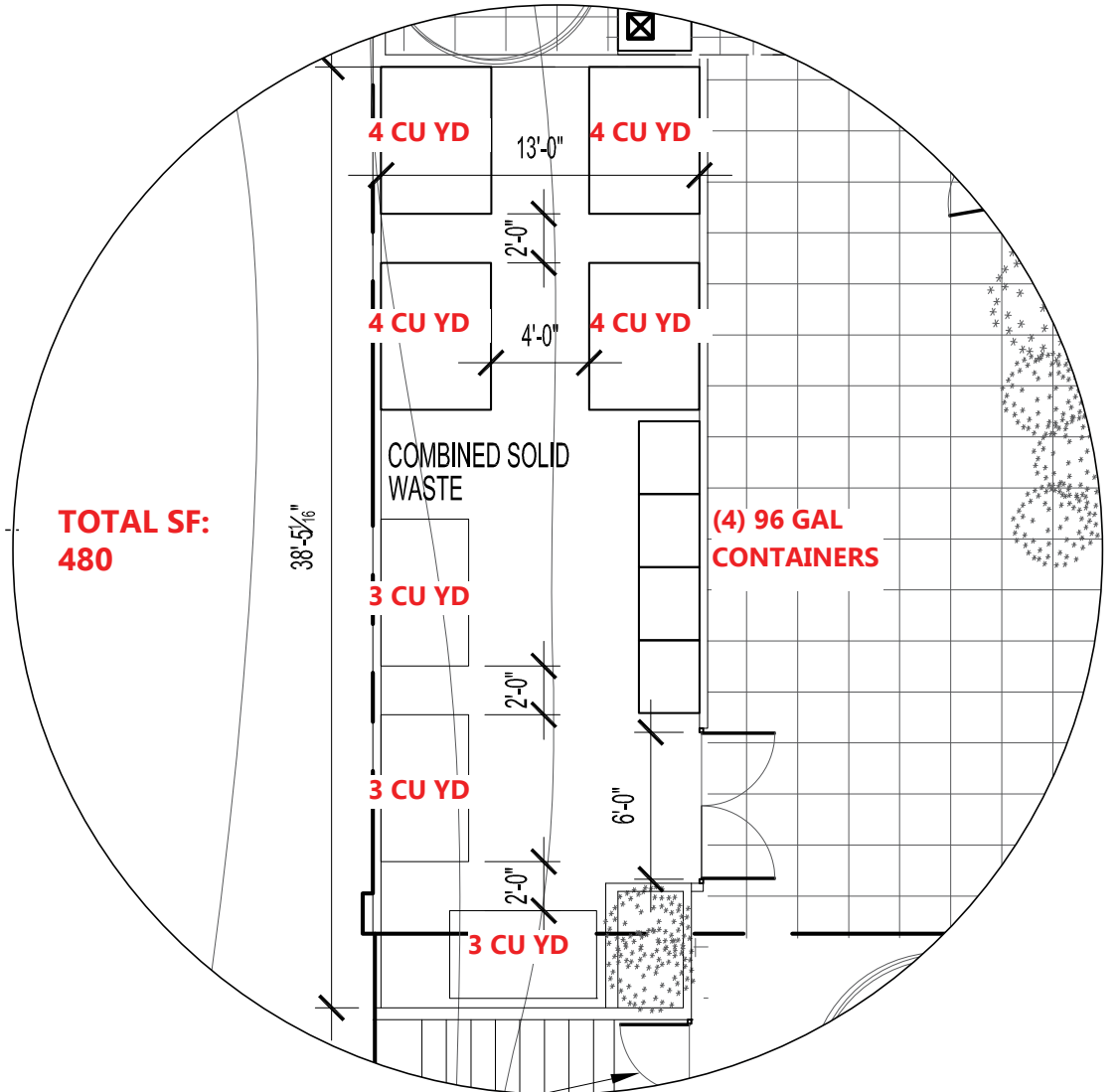
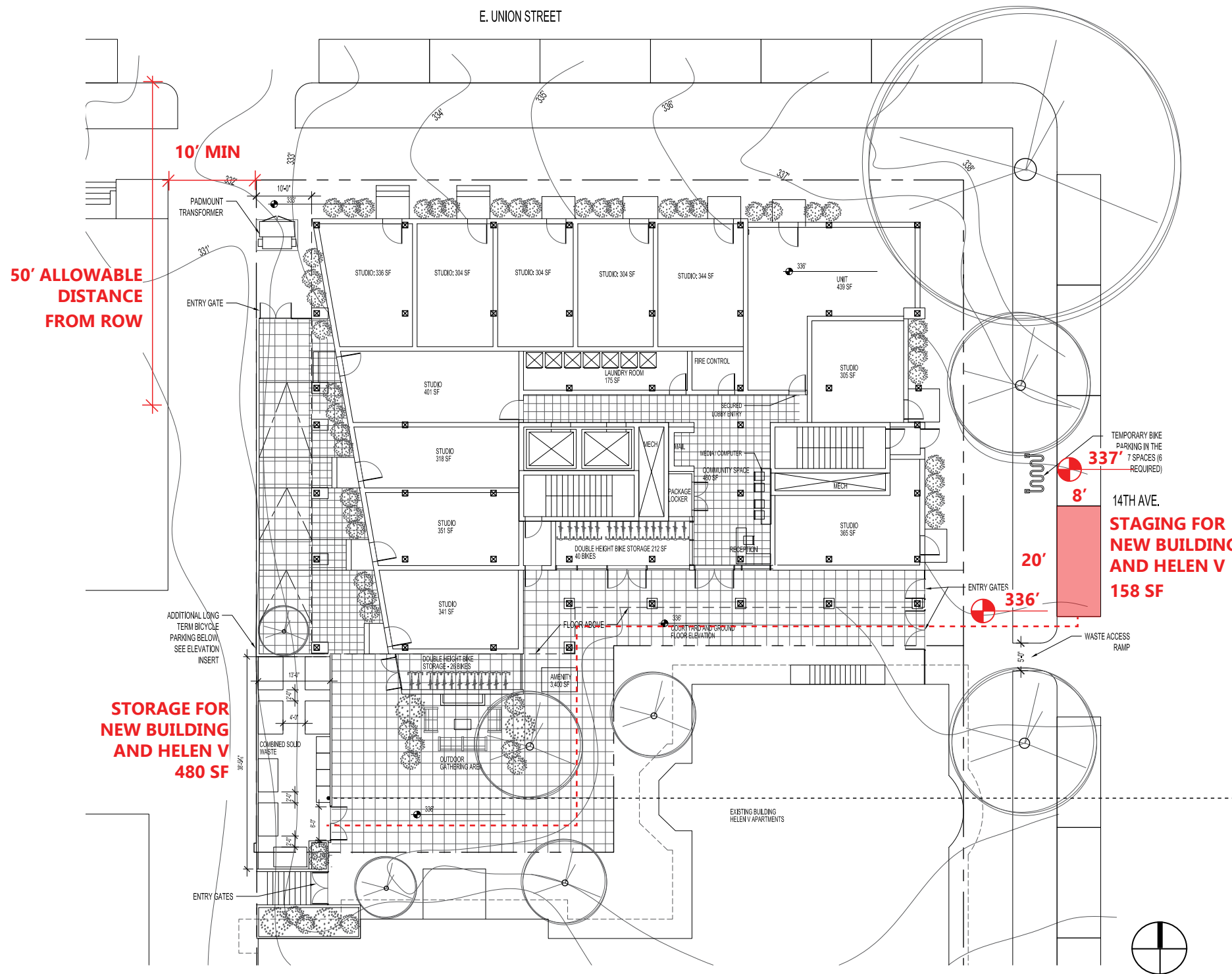


EXISTING HELEN V STORAGE AREA AND LOCATION WITH EXISTING CONTAINERS.

6.2__SOLID WASTE STORAGE AND STAGING

NOTES

- COMBINED STORAGE FOR NEW BUILDING AND HELEN V LOCATED IN COURTYARD, HIDDEN BY LANDSCAPING. STAGING OCCURS ON DESIGNATED 14TH AVE PARKING SPOT.
- ASSUMES PICK UP 2X / WK



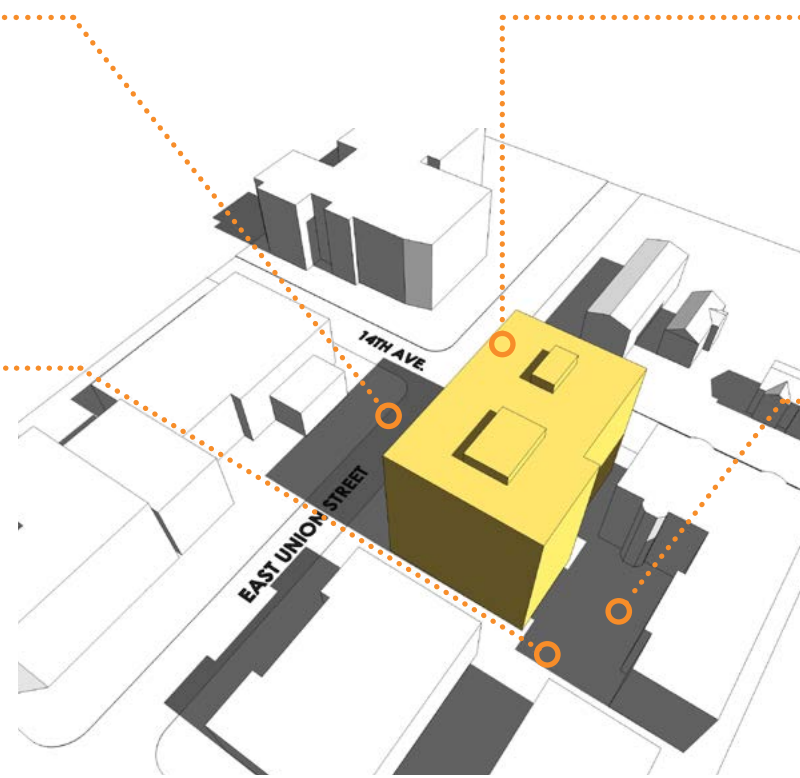
CLOSE UP OF **NEW BUILDING STORAGE AND HELEN V** STORAGE AREA, WITH 2' ADJACENT SPACING AND 4' FACE TO FACE SPACING.

NEW BUILDING CONTAINERS:
(4) 4 CU YD DUMPSTERS, AND (1) 96 GAL CONTAINER

EXISTING HELEN V CONTAINERS:
(3) 3 CU YD DUMPSTERS, AND (3) 96 GAL CONTAINERS

Soft residential edge on the street is created by introducing stoops and landscaping. This feature echoes the steps and porches of the neighboring building just west of the site, and also introduces a quintessential urban feature for brief social encounters, security, and street beautification.

Improved, updated alley opens additional access to the building for added security, accessibility, and light - benefiting the residents of the two neighboring buildings. Residential entries and stoops facing the alley add the "eyes on the ground" security, as well as opportunities for place making, chance encounters with neighbors, and greening of the alley.



This building massing is the most efficient to build to MR zoning using a sustainable construction type, while creating the greatest number of MHA and MFTE units. At the same time, this massing allows for a generous space at ground level for **viable community environment**, with plenty of light, air, and green space. To achieve this, Cross Laminated Timber (CLT) technology is used to achieve the height and unit count, while keeping the building green.

New open space preserves the existing Helen V courtyard, but also connects it to E. Union St. through an updated alley and a series of ramps, steps, and landscaped areas.

Positioned at the north side of the courtyard, the building does not block the light coming into the court (please see shadow studies on page 14).



View on E Union St., looking east

The corner at E. Union St. and 14th Ave. is activated by a coffee/retail shop, an increased setback from street, and an exterior space under the roof overhang, combined with the indoor/outdoor transparency.

Working with the **site's topography**, while **enhancing public life**: stoops, ramps, and steps work with the site's topography, as the street rises up. At the same time, the stoops and vertical modulation of the facade create a uniquely urban and vibrant residential edge at the street.

Working with the **context**: the new building continues the rhythm of steps and stoops established by the historic neighboring building, providing its modern interpretation.



View in new courtyard, looking east

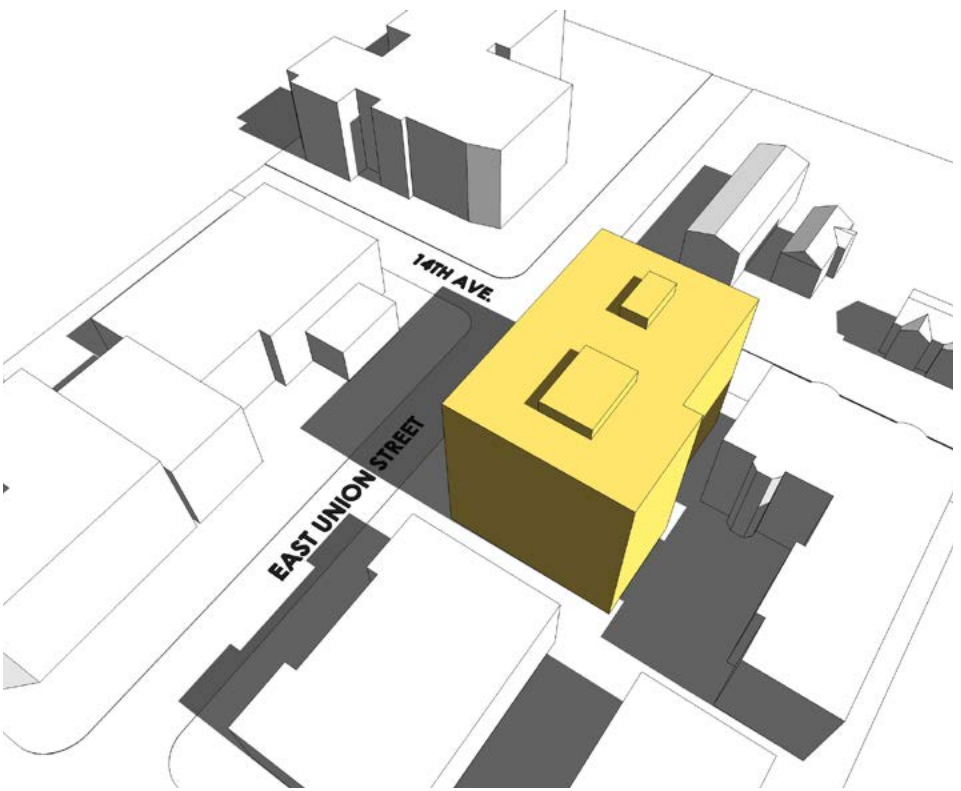
Open spaces with planting, seating, and art create a **welcoming environment** for the residents of the existing Helen V and their new neighbors.

Existing alley is updated and enhanced with landscaping, step, and ramps (please see the note above regarding enhances security and accessibility).

The courtyard also provides access to the entries into both buildings and interior and exterior bicycle parking - creating a **new public space** in Capitol Hill and providing many new opportunities for place making.

8.1 - 8.3 ARCHITECTURAL MASSING CONCEPTS - SIDE BY SIDE COMPARISON

PREFERRED OPTION

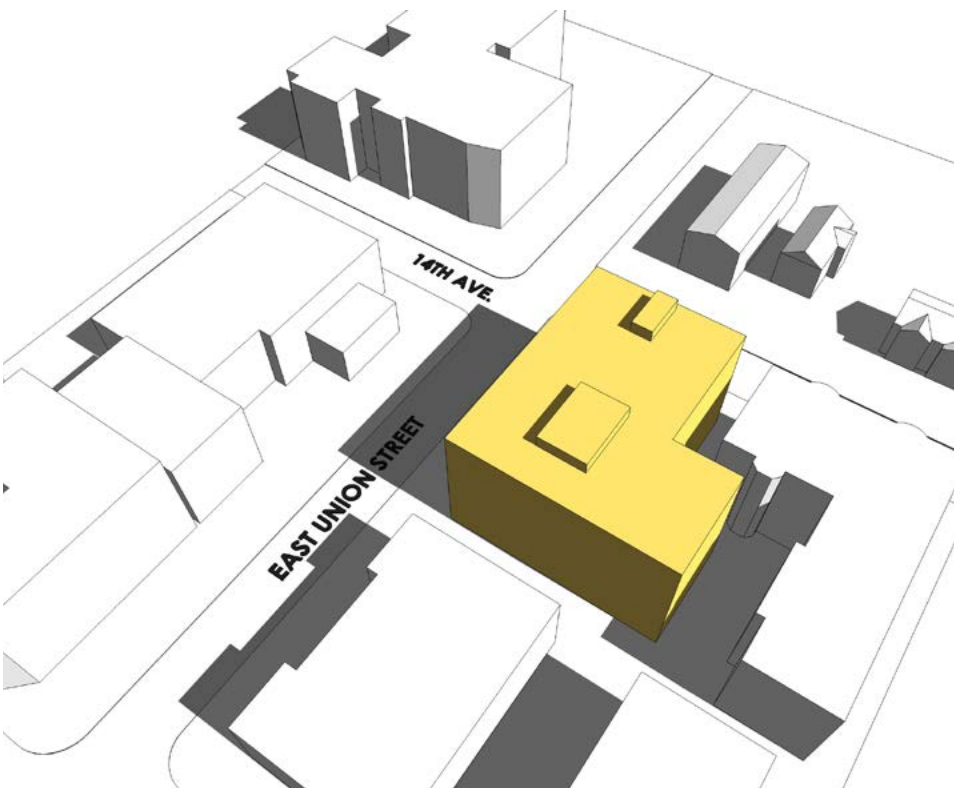


OPTION 1
EIGHT STORY, 114 UNIT BUILDING WITH AN OPEN COURTYARD
PRIMARY STRUCTURAL SYSTEM: CROSS LAMINATED TIMBER (CLT)

This massing achieves a number of goals, making it the preferred option:

- Existing Helen V building’s courtyard is preserved, moreover, a new shared courtyard is created, preserving and improving existing accessibility, increasing security (by introducing stoop and other features - please see page 12), revitalizing currently underused alley, and adding new programming (please see page 12 for detailed analysis and diagrams).
- This massing achieves MR zoning height (while creating the greatest number of MHA and MFTE units in comparison to other options), while using Cross Laminated Timber (CLT) structure, a sustainable and pioneering construction technology.
- Primary CLT structure proposed for this building achieves the necessary height, reduces length of construction time (benefiting the residents of Helen V), improves interior living environment, among other benefits. At the same time, the use of CLT is immensely beneficial from the environmental point of view. Use of structural CLT significantly reduces the use of concrete and steel (by reducing foundations due to decreased mass, as well as replacing concrete and steel in the structure itself), while CLT itself acts as carbon sink, sequestering CO2.

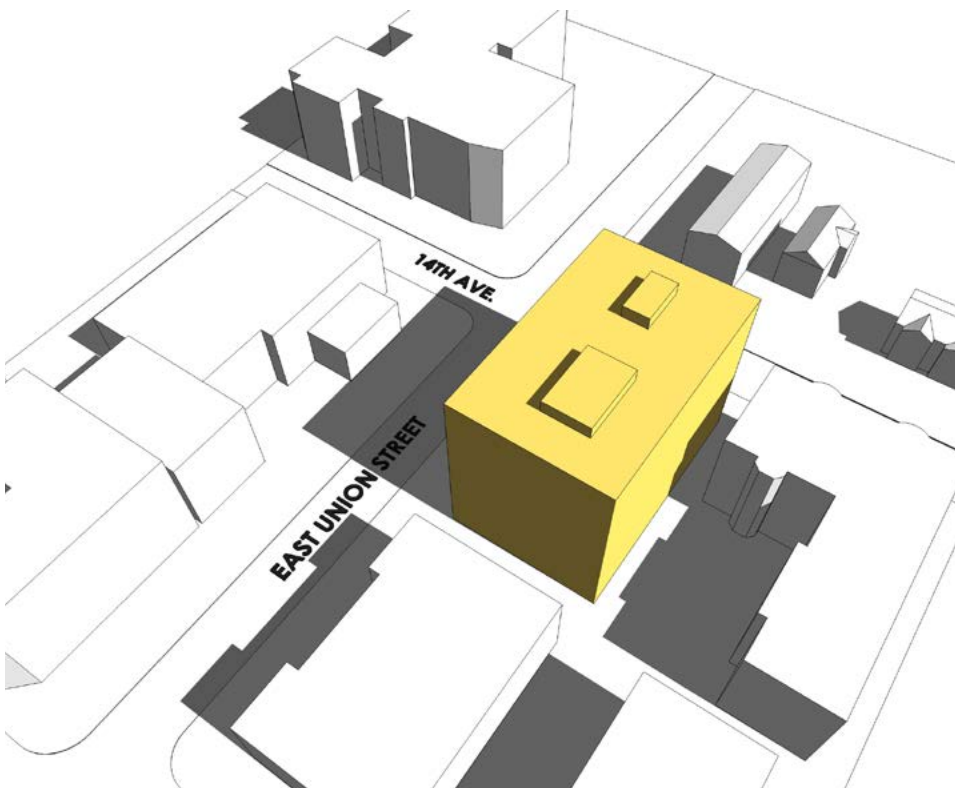
This building would become a precedent for Capitol Hill and Seattle, pioneering CLT construction in residential multifamily structure.



OPTION 2
FIVE STORY, 81 UNIT BUILDING WITH A SMALL COURTYARD
PRIMARY STRUCTURAL SYSTEM: CONVENTIONAL WOOD FRAMING

Five story massing option does not respond to the urbanistic and environmental needs of this site:

- If maximum allowed footprint is used, the resulting courtyard and open spaces between Helen V and the new building would lack light and views, and, overall, there will be very little opportunity to create a meaningful courtyard space for the residents of both buildings.
- Conventional wood frame construction, feasible for this building, would not carry any unique environmental benefits, and will also require a longer construction time, causing a greater hardship for the residents of Helen V (many of whom are disabled).
- This option does not provide a high number of MHA and/or MFTE units, thus not being as beneficial for the neighborhood and community as Option 1.



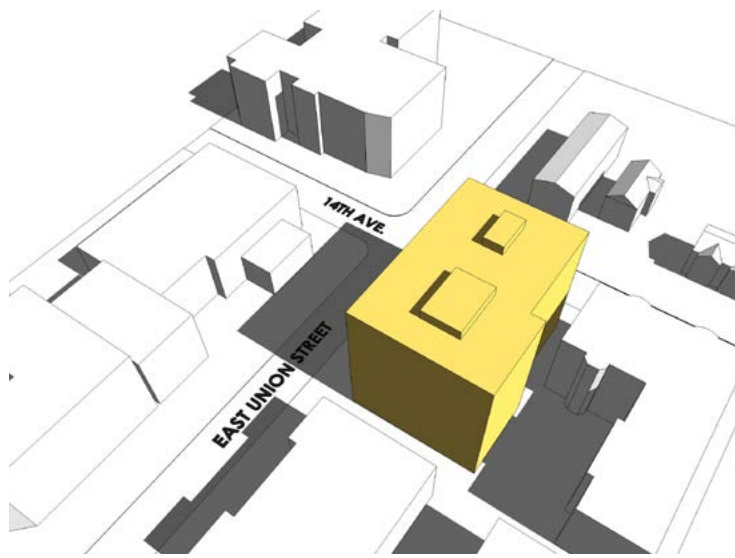
OPTION 3
EIGHT STORY, 104 UNIT BUILDING WITH AN OPEN COURTYARD
PRIMARY STRUCTURAL SYSTEM: CROSS LAMINATED TIMBER (CLT)

While similar to Option 1, this version does not respond to the needs of residents and community on the same level.

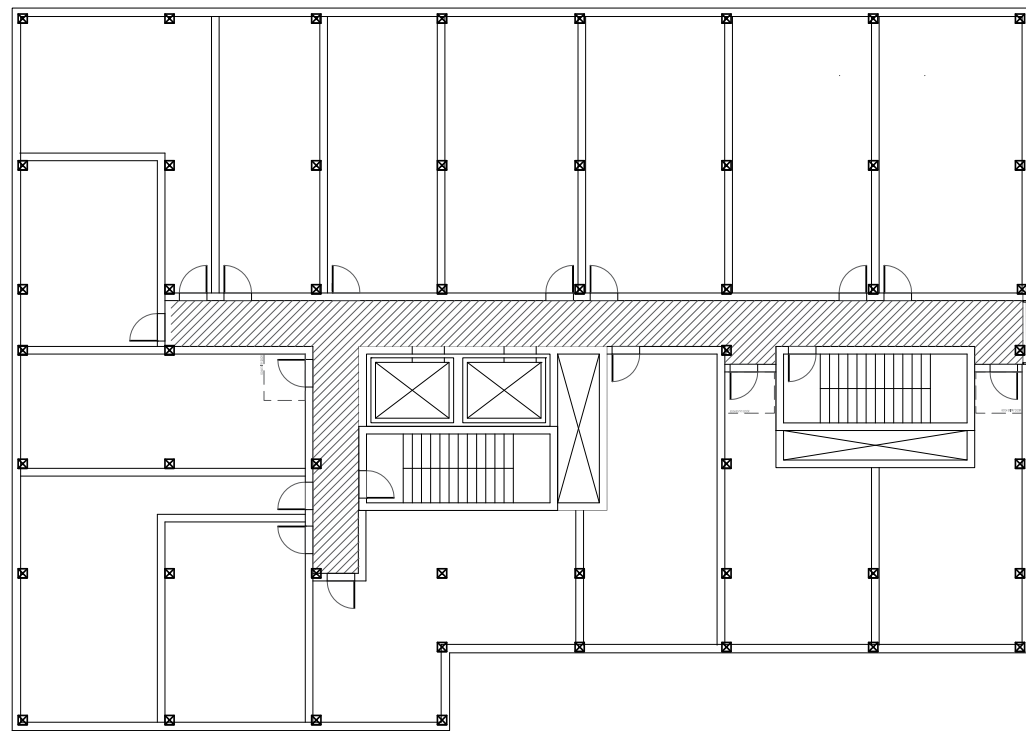
- Urbanistically, the courtyard and other features at ground level work similarly as those of Option 1; however, on floors above ground level, the floor plate lacks articulation, thus requiring long and narrow units with less access to light and air.
- One of the best environmental features of CLT is its carbon-sequestering nature. It is notable, that the greater the scale on which this mass timber material is used, the greater the benefit - this massing reduces the use of CLT, and, therefore, its environmental benefit.
- For the neighborhood and community, the number of MHA and MFTE units is reduced, making this version less desirable than the first.

8.1 ARCHITECTURAL MASSING - OPTION ONE

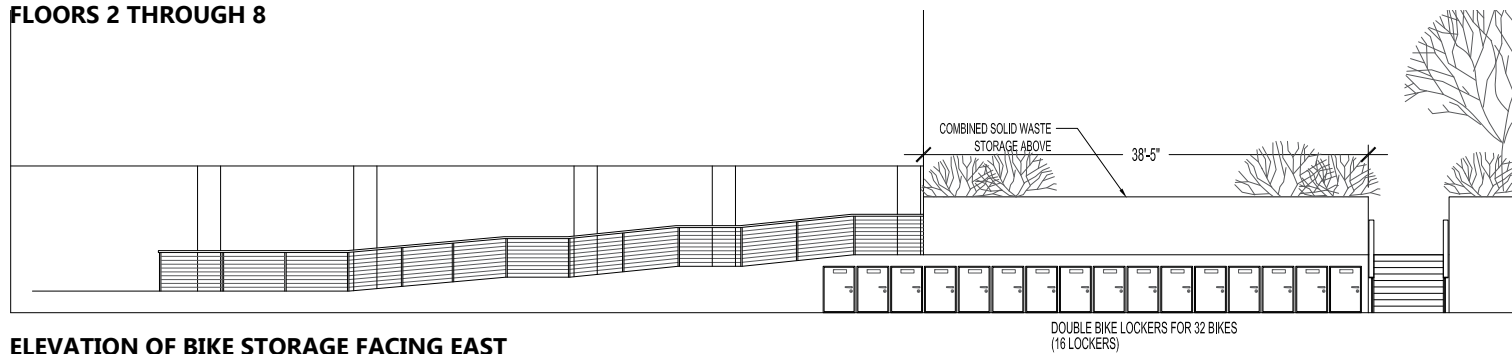
PREFERRED OPTION



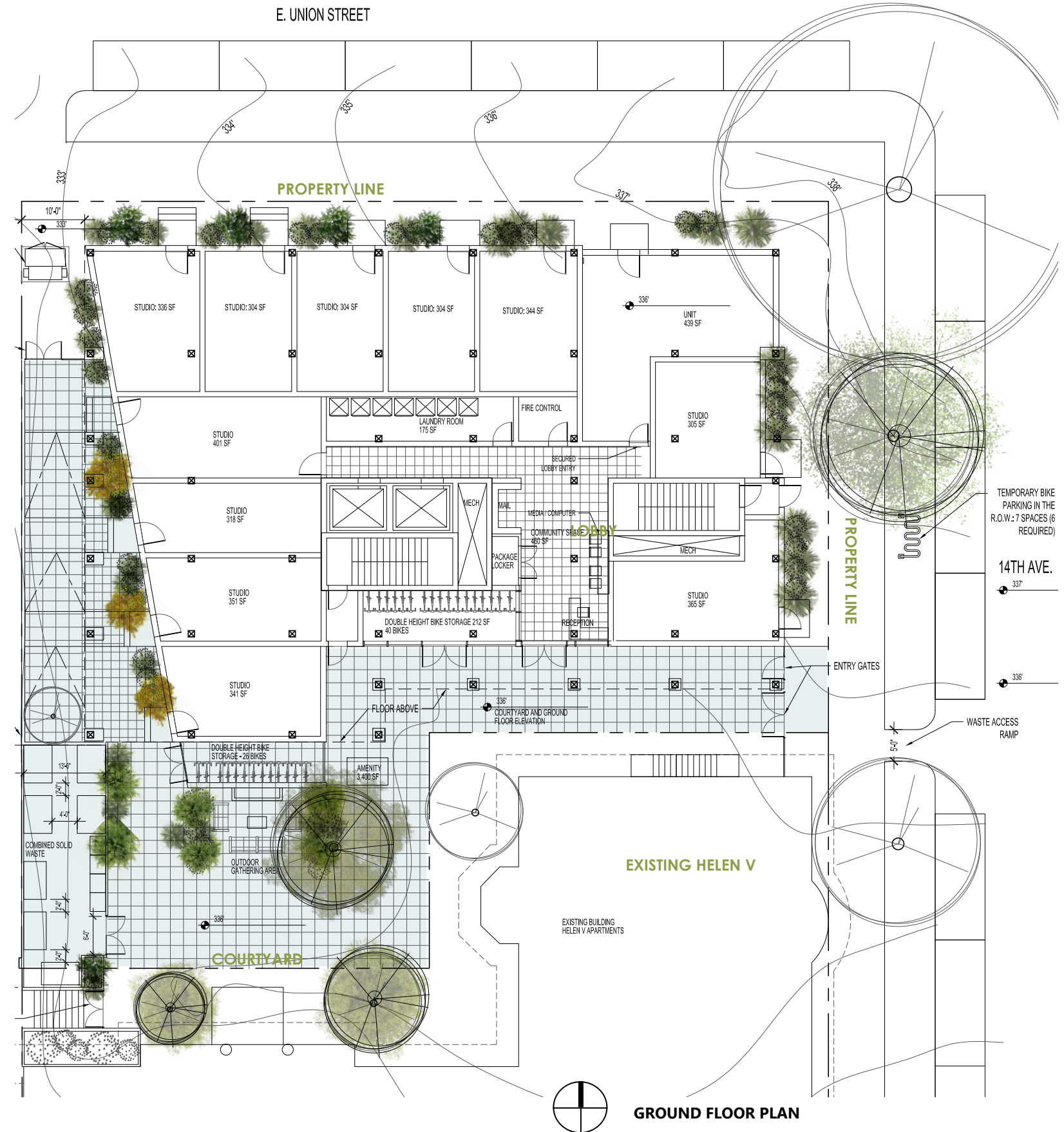
OPTION 1
 EIGHT STORY
 114 UNIT BUILDING
 OPEN COURTYARD
 PRIMARY STRUCTURAL SYSTEM: CROSS LAMINATED TIMBER (CLT)



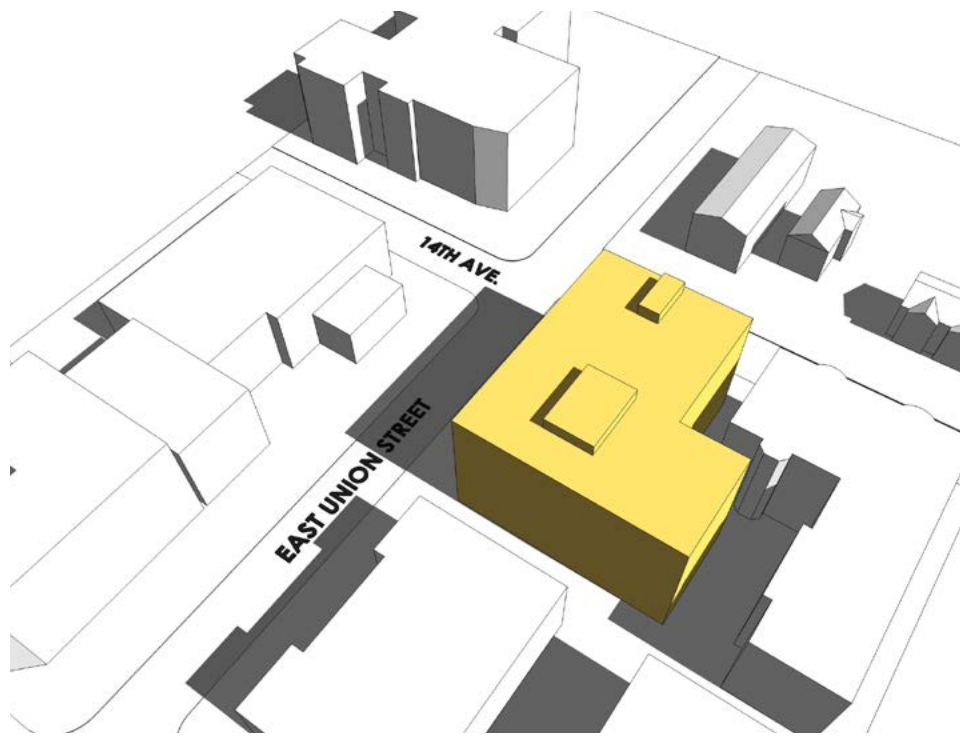
FLOORS 2 THROUGH 8



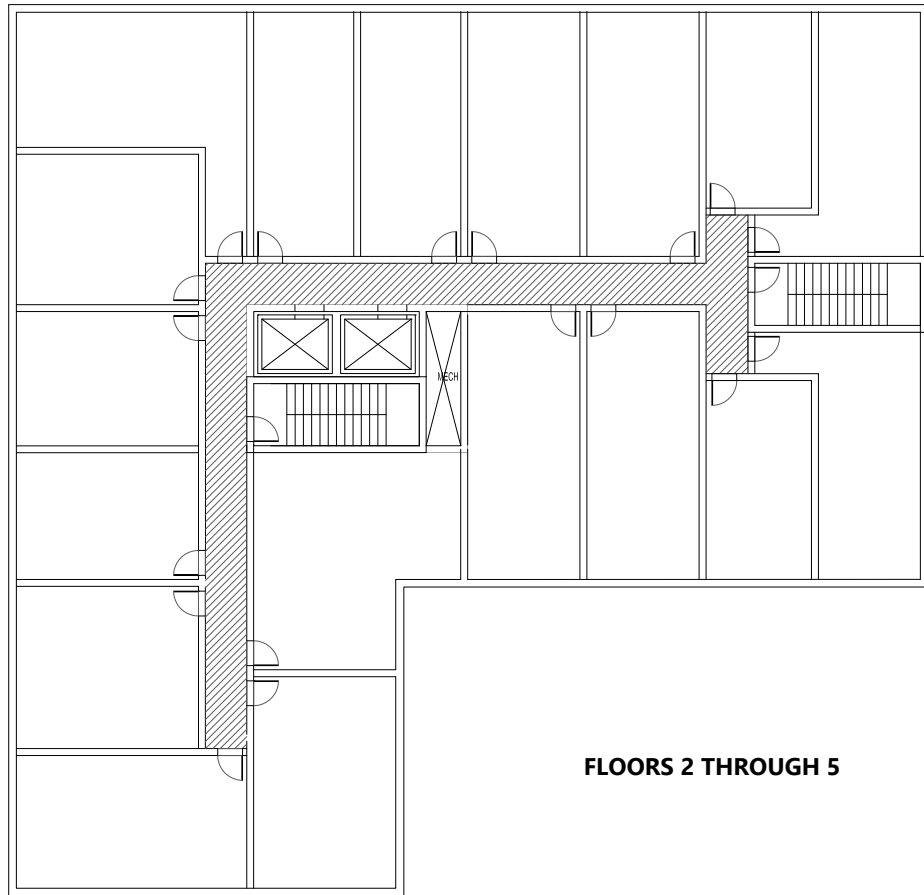
ELEVATION OF BIKE STORAGE FACING EAST



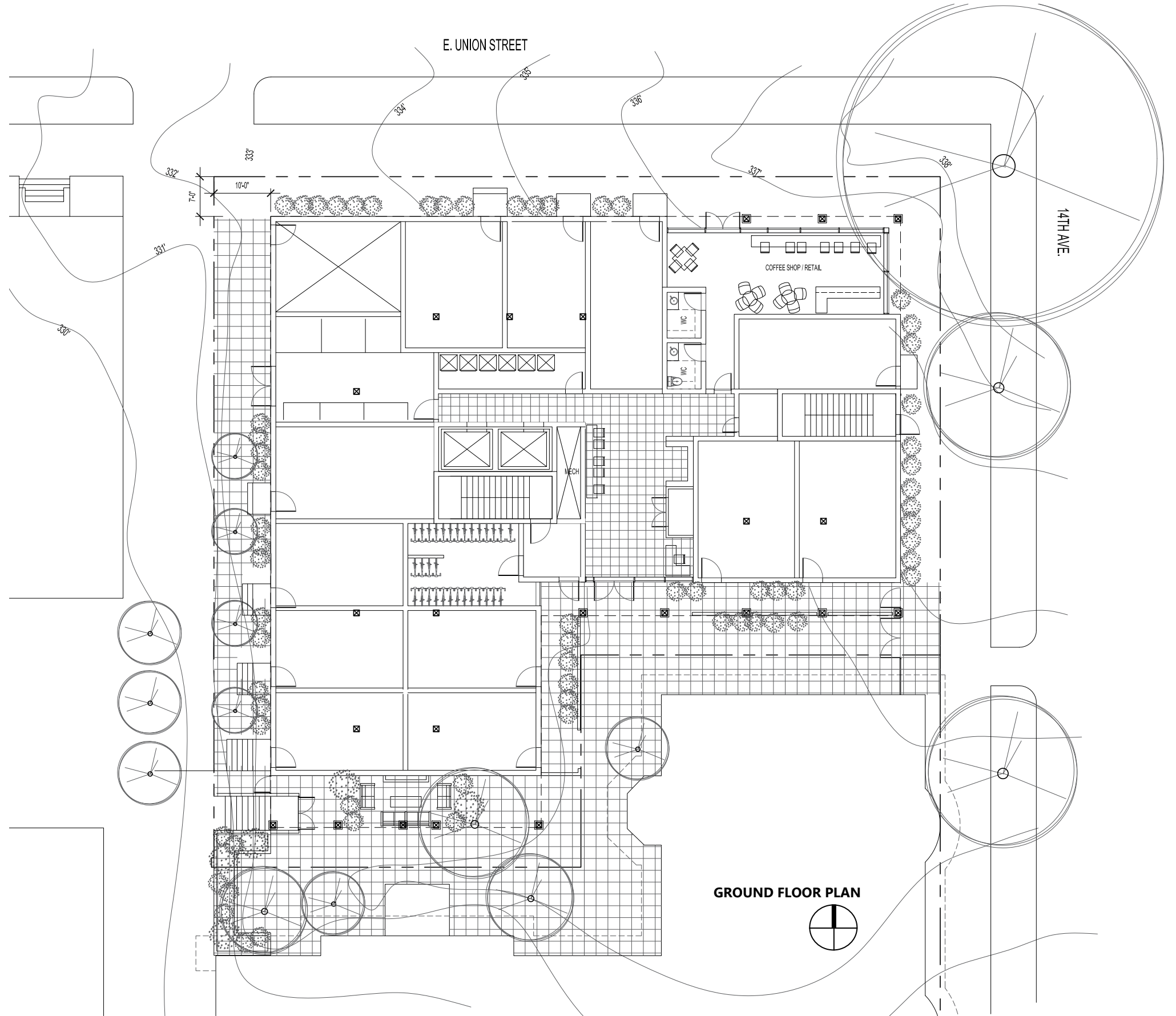
8.1 ARCHITECTURAL MASSING - OPTION TWO



OPTION 2
 FIVE STORY
 81 UNIT BUILDING
 SMALL COURTYARD
 PRIMARY STRUCTURAL SYSTEM: CONVENTIONAL WOOD FRAMING

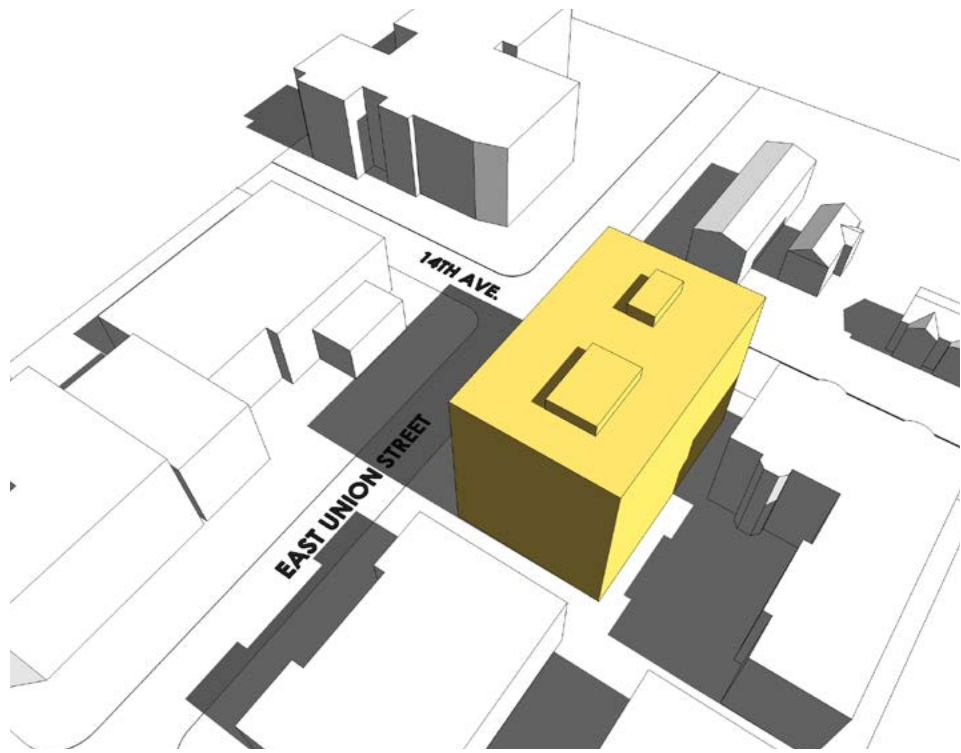


FLOORS 2 THROUGH 5

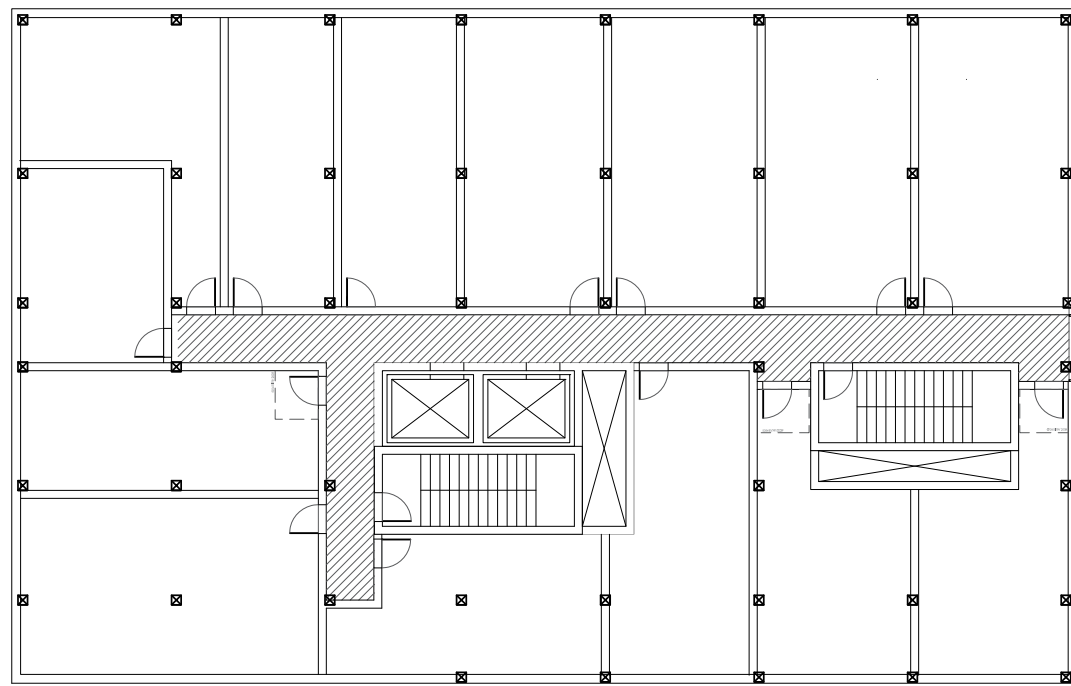
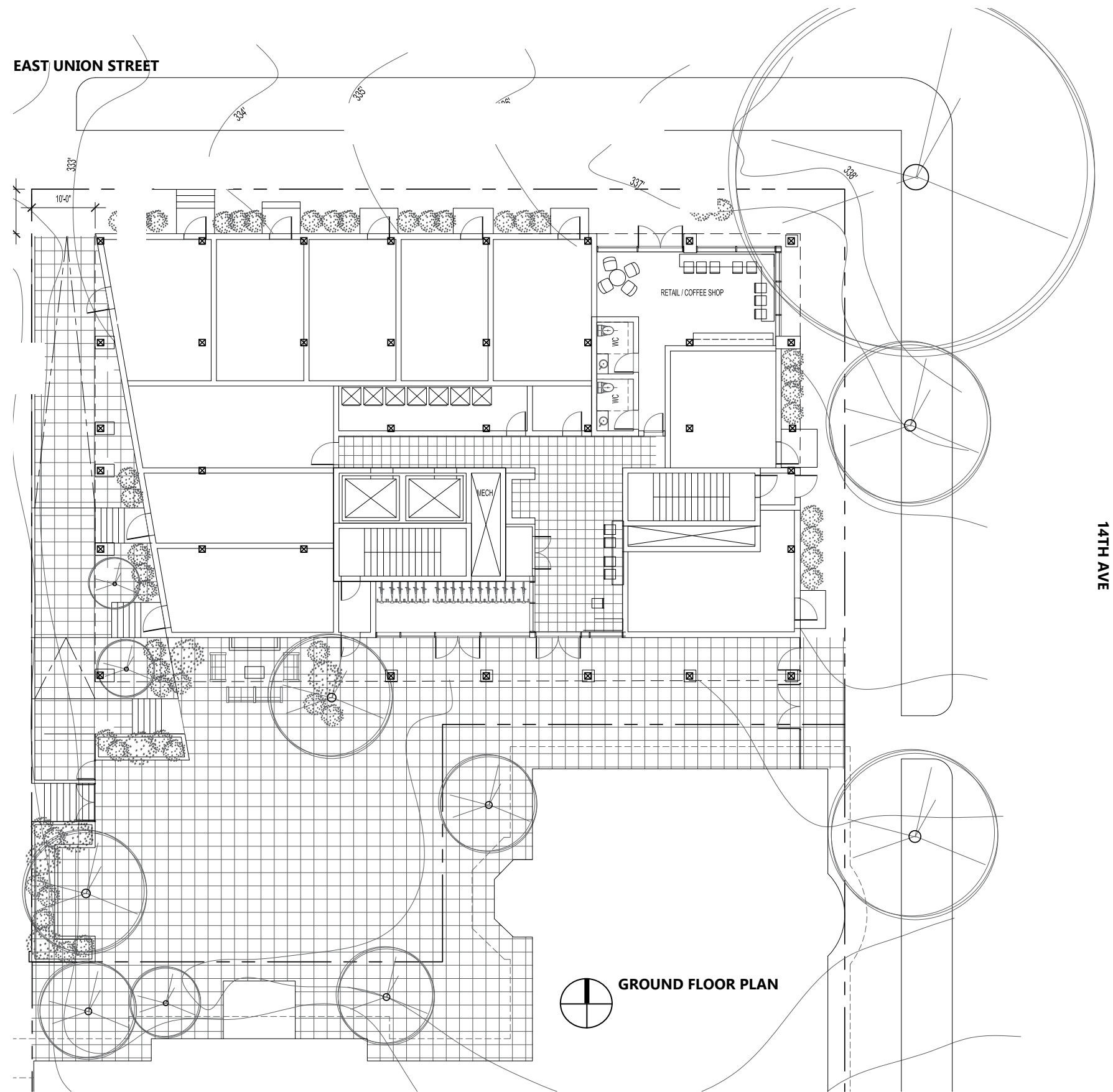


GROUND FLOOR PLAN

8.1 ARCHITECTURAL MASSING - OPTION THREE



OPTION 3
 EIGHT STORY
 106 UNIT BUILDING
 OPEN COURTYARD
 PRIMARY STRUCTURAL SYSTEM: CROSS LAMINATED TIMBER (CLT)



FLOORS 2 THROUGH 8

GROUND FLOOR PLAN

8.6 ___ PREFERRED OPTION - ARCHITECTURAL RENDERINGS



Design Proposal
View from the alley into the courtyard



Design Proposal
View east along East Union St.

8.8 NEIGHBORHOOD PRECEDENT IMAGES



Chophouse Row
(Graham Baba Architects)

A bright example of a successful, viable interior court. The narrow entry from the 11th Ave spills out into vibrant courtyard, broken into smaller programmatic spaces with varied seating, transparencies, materials, colors, and activities. Design of the proposed shared interior court will certainly draw inspiration from Chophouse Row.



Chophouse Row
(Graham Baba Architects)

In this mixture of new and old structures, textures, and colors, art plays an important role. We hope to include art in the design of the new courtyard, connecting the exiting historic Helen V and the new apartment building. History of the site may serve as an inspiration.



Pacific Point Apartments
(David Baker Architects)

Stoops, an classic urban feature became part of the "self-regulating street" described by Jane Jacobs: creating the place from which to watch the events on the street, a spot for chance encounters with neighbors and passersby, an individual mini-front yard to beautify, stoops add social value to an urban street.



Odin Apartments
(Runberg Architecture Group)

This Seattle courtyard employs varying paving materials and textures, suspended overhead lighting, generous planting and landscaping, a variety of seating, and roof overhang for some shelter to create a vibrant courtyard.



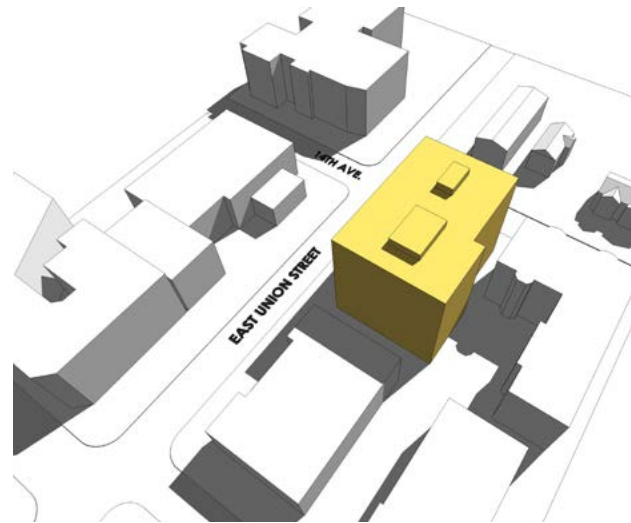
Salt and Straw cafe

A successful cafe , coffee shop , or a retail business on the corner is able to provide much vitality to the street - and the building, like this Slat and Straw ice cream cafe.

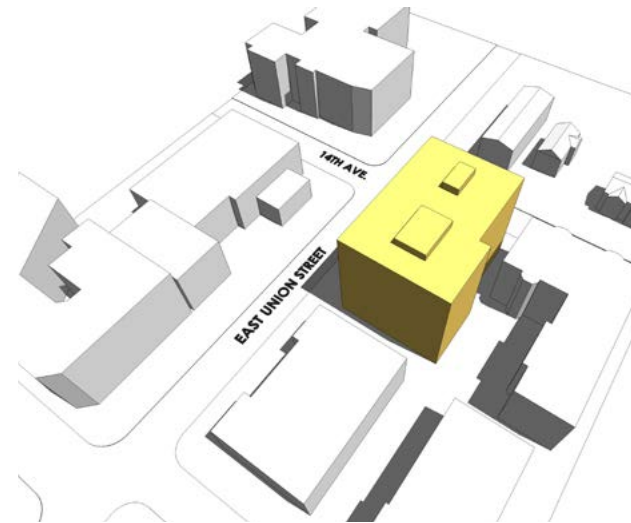


8.9__SHADOW STUDIES

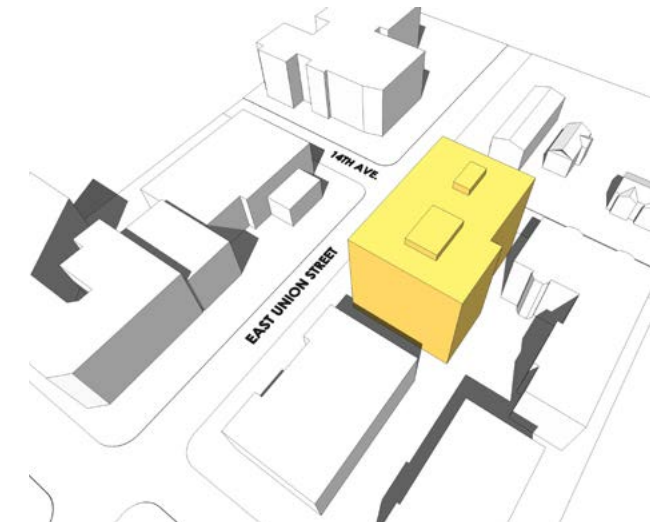
Shadows are shown for massing Option One.



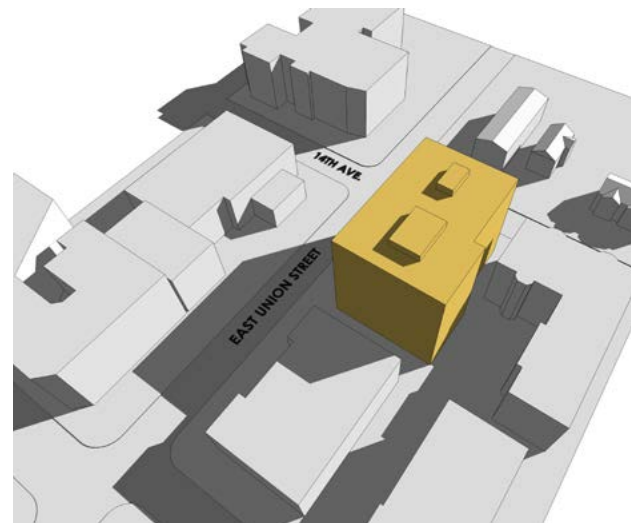
JUNE 21, 9 AM



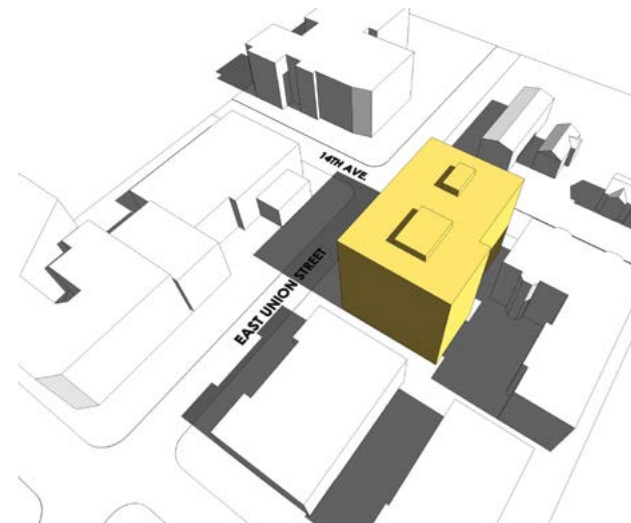
JUNE 21, 12 PM



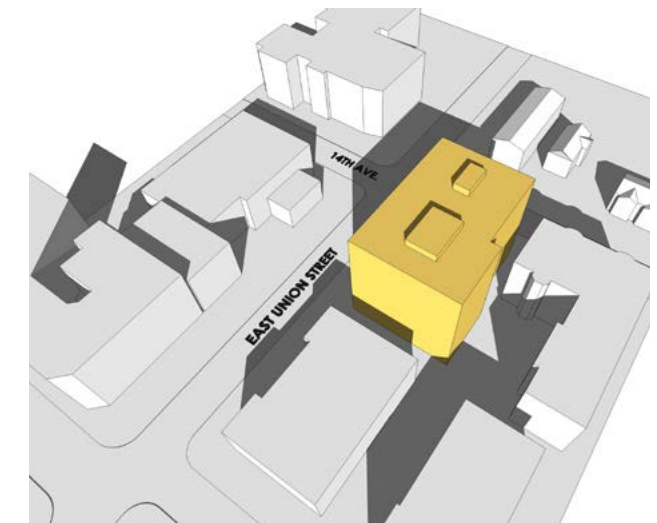
JUNE 21, 3 PM



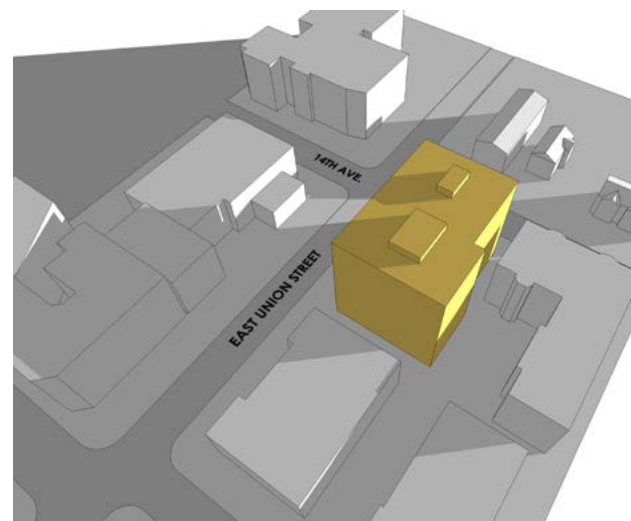
SEPTEMBER/MARCH 21, 9 AM



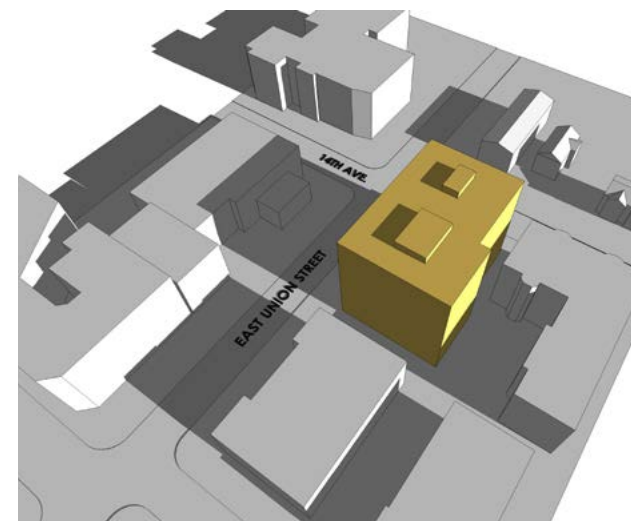
SEPTEMBER/MARCH 21, 12 PM



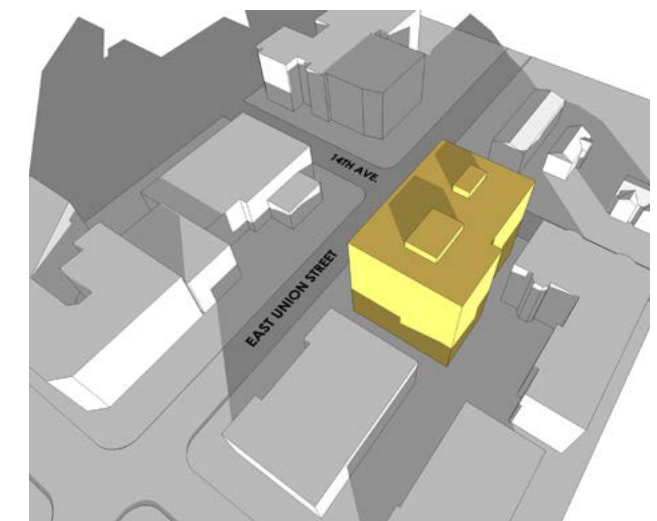
SEPTEMBER/MARCH 21, 3 PM



DECEMBER 21, 9 AM



DECEMBER 21, 12 PM



DECEMBER 21, 3 PM

**REAR SETBACK
(23.45.518.B)**

REQUIRED: 15 FT FROM A REAR LOT LINE THAT DOES NOT ABUT AN ALLEY; OR 10 FT FROM A REAR LOT LINE ABUTTING AN ALLEY

REQUESTED DEPARTURE: 10 FT FROM REAR LOT LINE THAT ABUTS EASEMENT

REASON: THE ABUTTING SPACE AT THE REAR PROPERTY LINE WAS PREVIOUSLY UNDERSTOOD TO BE AN ALLEY. AFTER FURTHER INVESTIGATION POST DESIGN, IT WAS CONFIRMED TO BE AN EASEMENT. KEEPING THE ORIGINAL INTENTION OF THE 10 FT SETBACK WILL KEEP THE PROJECT FEASIBLE.

**SIDE SETBACK FROM INTERIOR LOT LINE
(23.45.518.B)**

REQUIRED: ABOVE 42 FT IN HEIGHT: 10 FT AVERAGE; 7 FT MINIMUM

REQUESTED DEPARTURE: 7 FT SETBACK

REASON: THE 7 FT SETBACK WILL BE NEEDED TO KEEP THE PROJECT FEASIBLE. THE 10 FT SETBACK WILL TAKE AWAY 3 FT OF SPACE FROM ALL UNITS ABOVE 42 FT.

