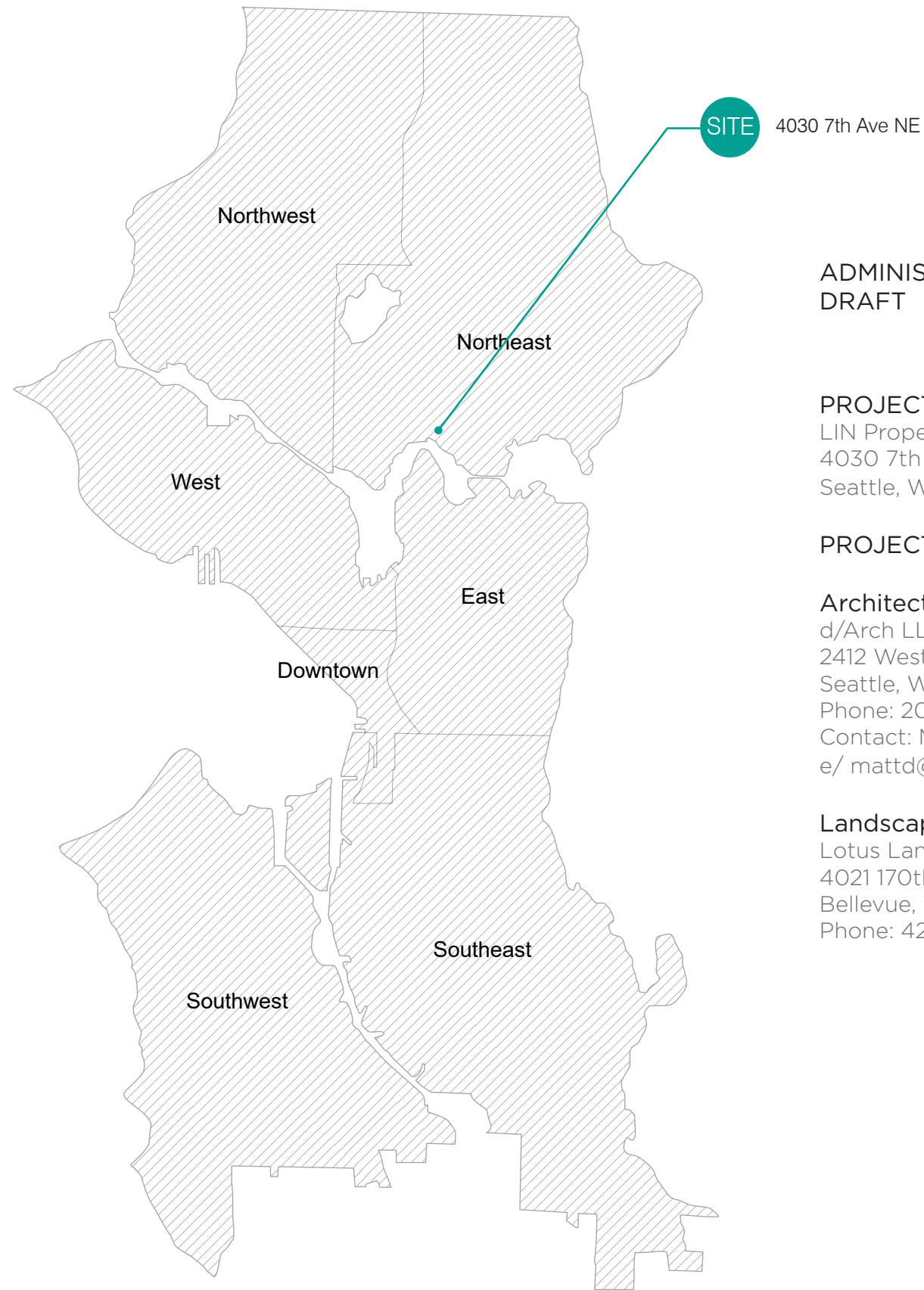




4030 7TH AVE NE
ADMINISTRATIVE DESIGN REVIEW
(DRAFT)
Jan 19th, 2021
SDCI Project: #3035395-EG



d/Arch LLC
2412 Westlake Ave. N, Suite 3 Seattle, WA98109
206.547.1761 | www.darchllc.com



ADMINISTRATIVE DESIGN REVIEW DRAFT

PROJECT ADDRESS:

LIN Properties
4030 7th Ave NE
Seattle, WA 98105

PROJECT TEAM:

Architect

d/Arch LLC
2412 Westlake Ave N, Ste 3
Seattle, WA 98109
Phone: 206.547.1761
Contact: Matt Driscoll, AIA
e/ mattd@darchllc.com

Landscape Architect

Lotus Landscape Design
4021 170th Ave SE,
Bellevue, WA 98008
Phone: 425.753.3424

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PROJECT INFORMATION

Location

The proposed site is located within the University District Northwest Urban Center Village, which is largely comprised of single-family homes, townhouses and mid-size to large apartment/condominium buildings. This project is located along 7th Ave NE. The site is within walking distance of the major shopping and entertainment centers; University Ave, University Village and the University of Washington campus all to the East.

Existing Uses & Structures

The project site is comprised of 2 parcels under single ownership. Each parcel is occupied by one wood-framed single family residence. The combined lot measures approximately 75 feet wide by 100 feet deep. Drainage flows to SouthWest. There is a 6 foot grade change from the North to the South. All existing structures and paved surfaces located on the project site are proposed to be demolished with the new project occupying the entirety of the site.


Adjacencies

University Ave, University Village, buses to Downtown Seattle, University of Washington, University of Washington IMA, and Greenlake to the Northwest. The site also has good access to the Burke Gilman bike trail.

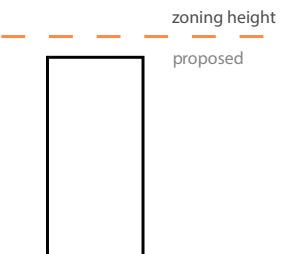
Project Details

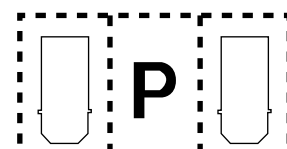
Address:	4030 7th Ave NE Seattle, WA 98105
SDCI Project #:	3035395-EG
Total GSF:	30,417 SF
Program:	1 Bedroom, 2 Bedroom units, with underground parking

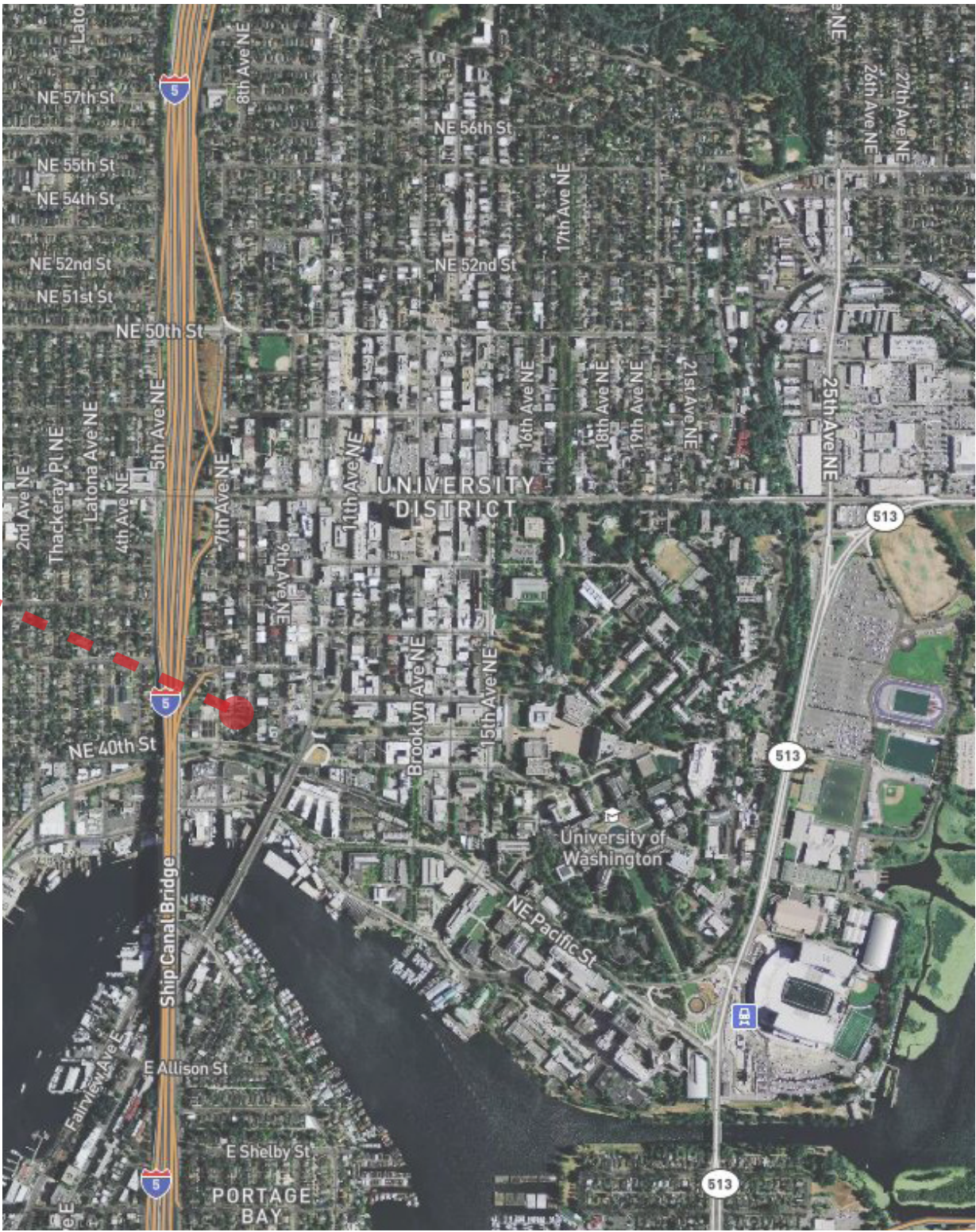
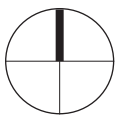
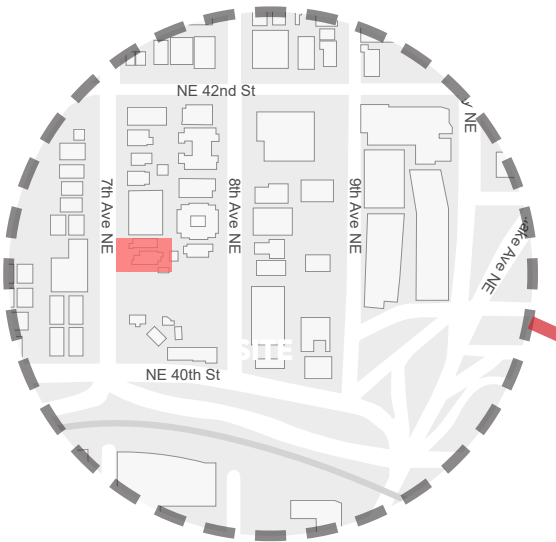
Project Details

	Number of Units: - 25 2-bedroom units - 15 1-bedroom units
---	---

	Site Area: 7,500 sf
---	-------------------------------

	Structure Height: Zoning: 80 ft Proposed: 69.75 ft
---	---

	Parking Stalls: 10 parking 42 bicycle stalls
---	---



CONTEXT ANALYSIS

Neighborhood Zoning

Project Information

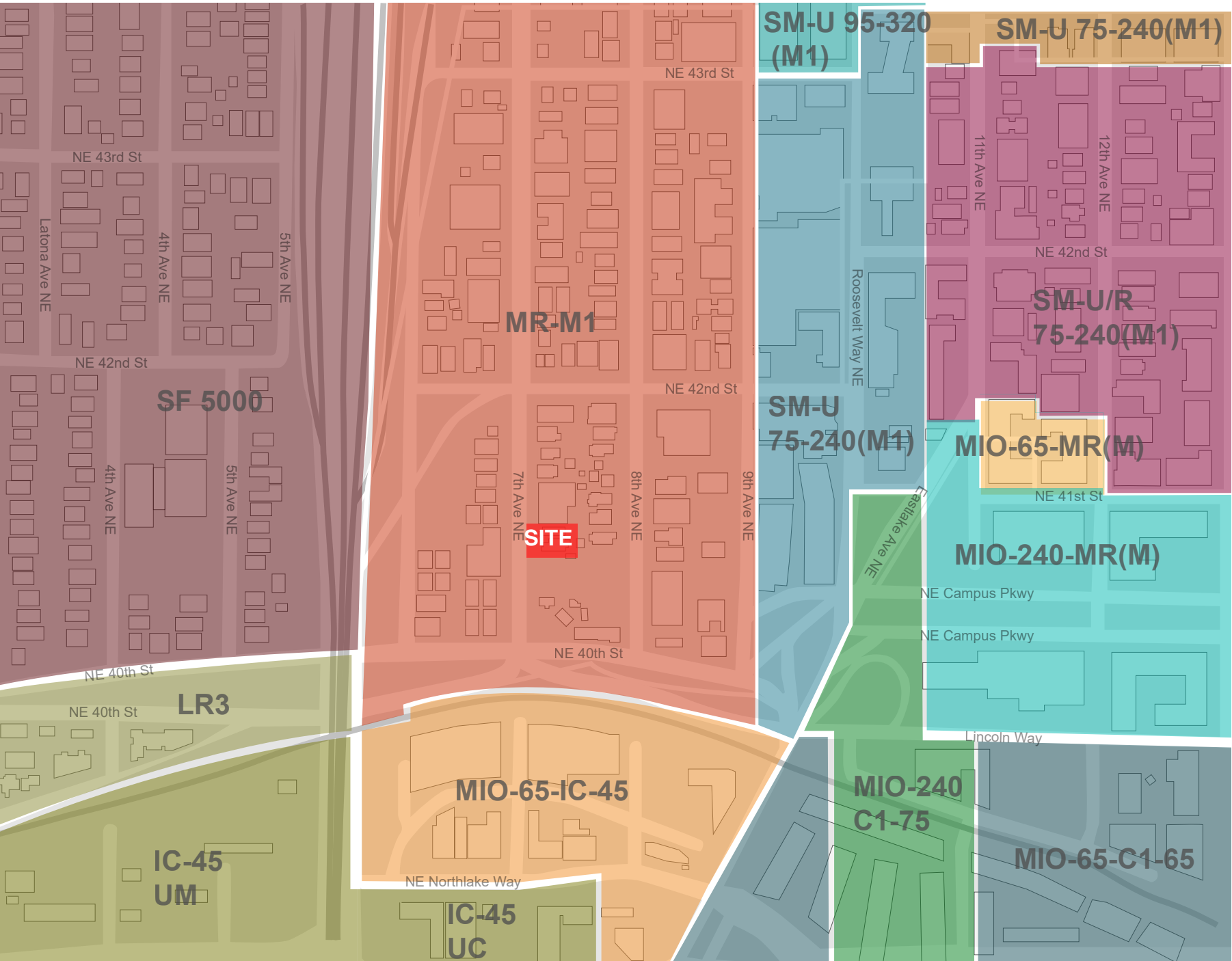
Parcel: 4092301855, 4092301860
Lot Area: 5,000 + 2,500 sqf
Zoning: MR (M1)

Overlay: University Urban Center

Street Classification: 7th Ave NE
(principal Arterial)

Frequent Transit: Yes

Roosevelt Way NE & NE 42nd St
NE 40th St & 7th Ave NE
NE 42nd St & 8th Ave NE
University Bridge & NE 40th St



ZONING MAP

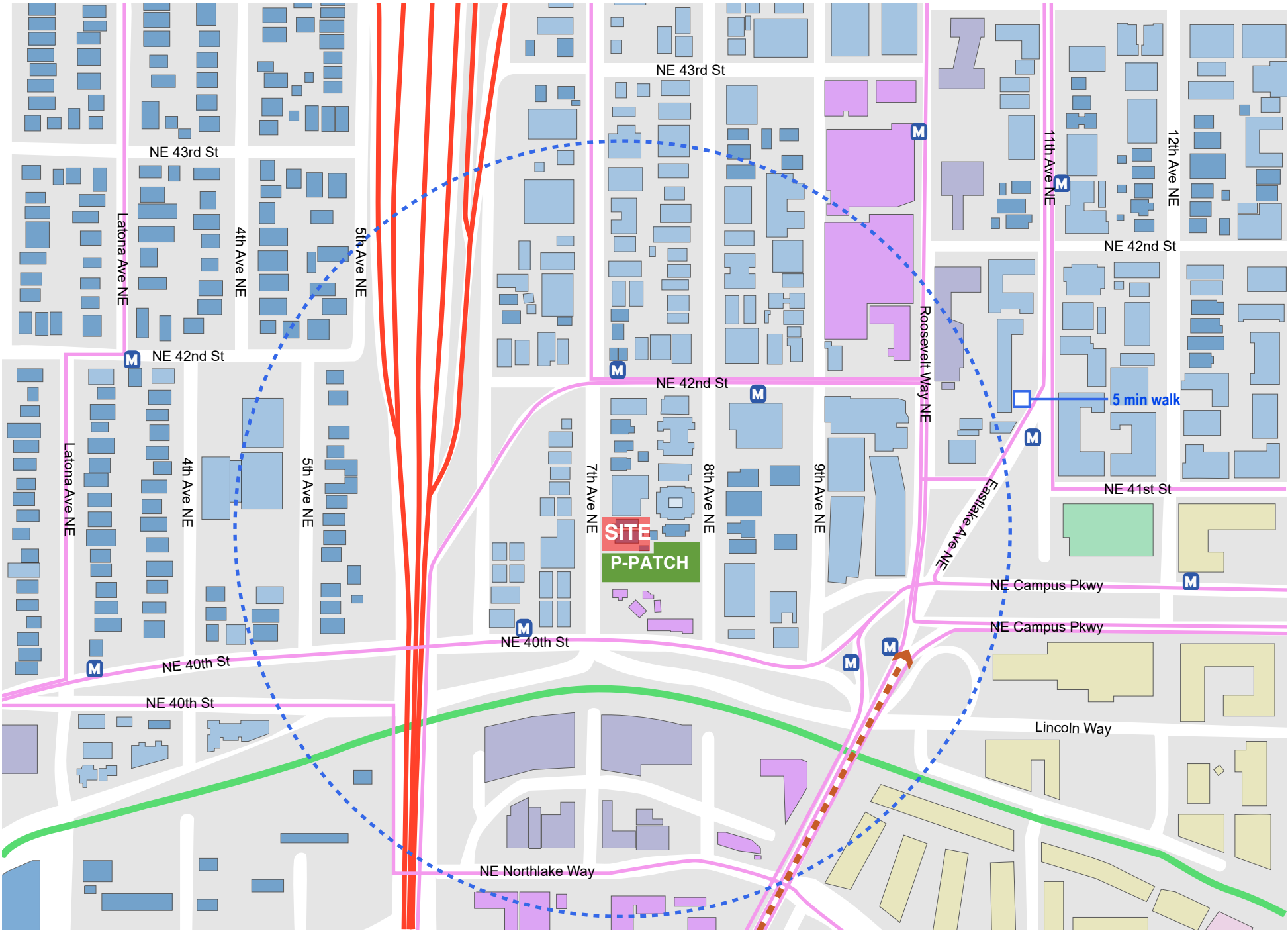
CONTEXT ANALYSIS

LAND USE / CIRCULATION

Land Use / Circulation

The site is located at 4030 7th Ave NE. The surrounding area mostly includes residential buildings for student housing, and some single family housing. Streets are easily walkable with access to Roosevelt Way N. & N. 45th St., with bus stops going North and South and East and West. The Burke Gilman Trail, accessing Fremont, Ballard, Downtown and the East Campus, is just to the south. University Ave N, a major area for dining and shopping, is to the east. Site is in a walkable range to UW campus.

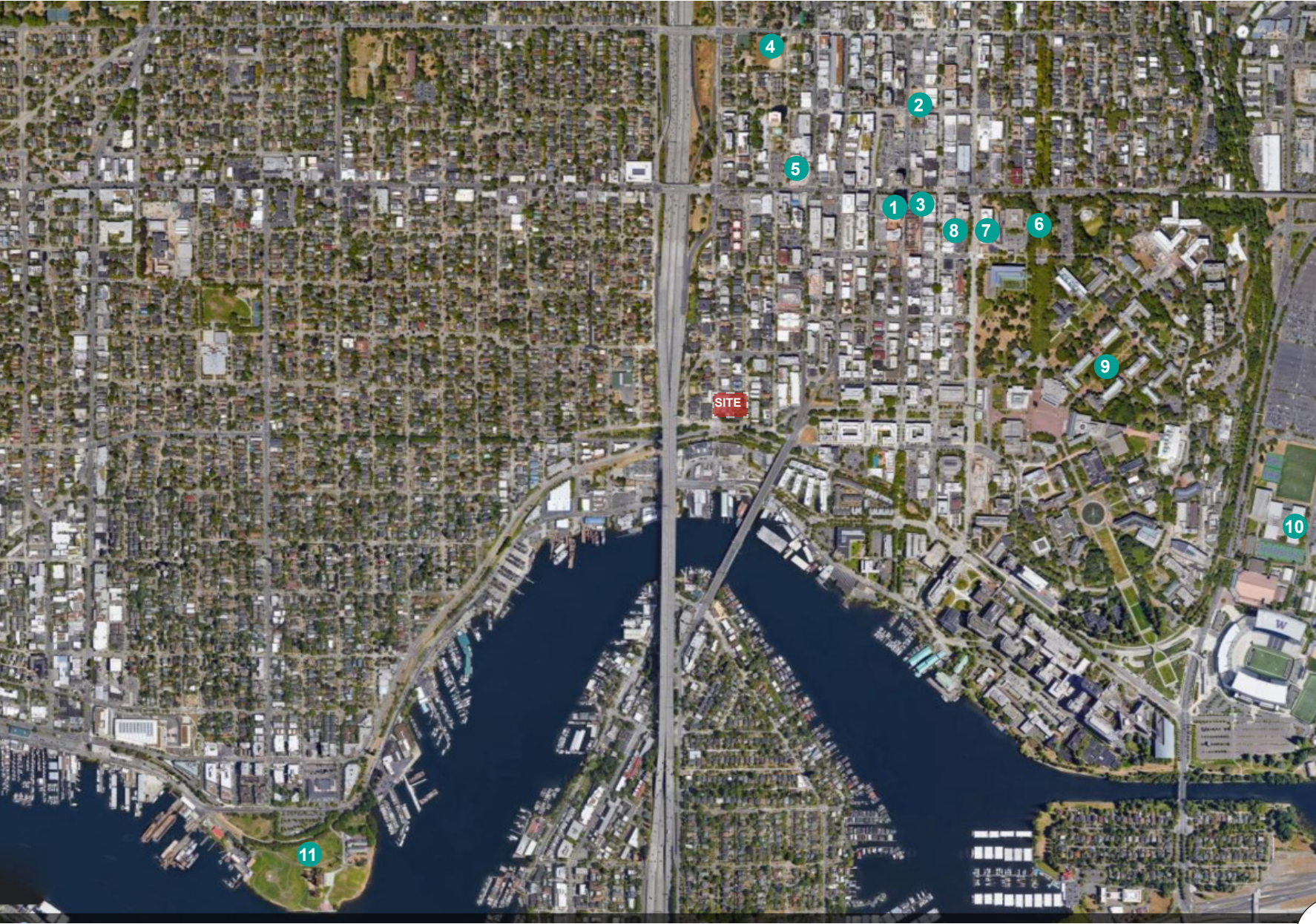
The surrounding area has been experiencing a general trend of growth with multifamily buildings replacing existing single families. Many of the structures designed for single family use have been converted to meet the need of the expanding student population.



LAND USE/TRANSPORTATION MAP

CONTEXT ANALYSIS

VICINITY



1 UW TOWER



2 Hotel Decca



3 The Neptune Theatre



4 University Playground



5 AMC Cinema



6 The 'W' Memorial Way



7 Burke Museum of Natural History



8 University Bookstore



9 Parrington Lawn

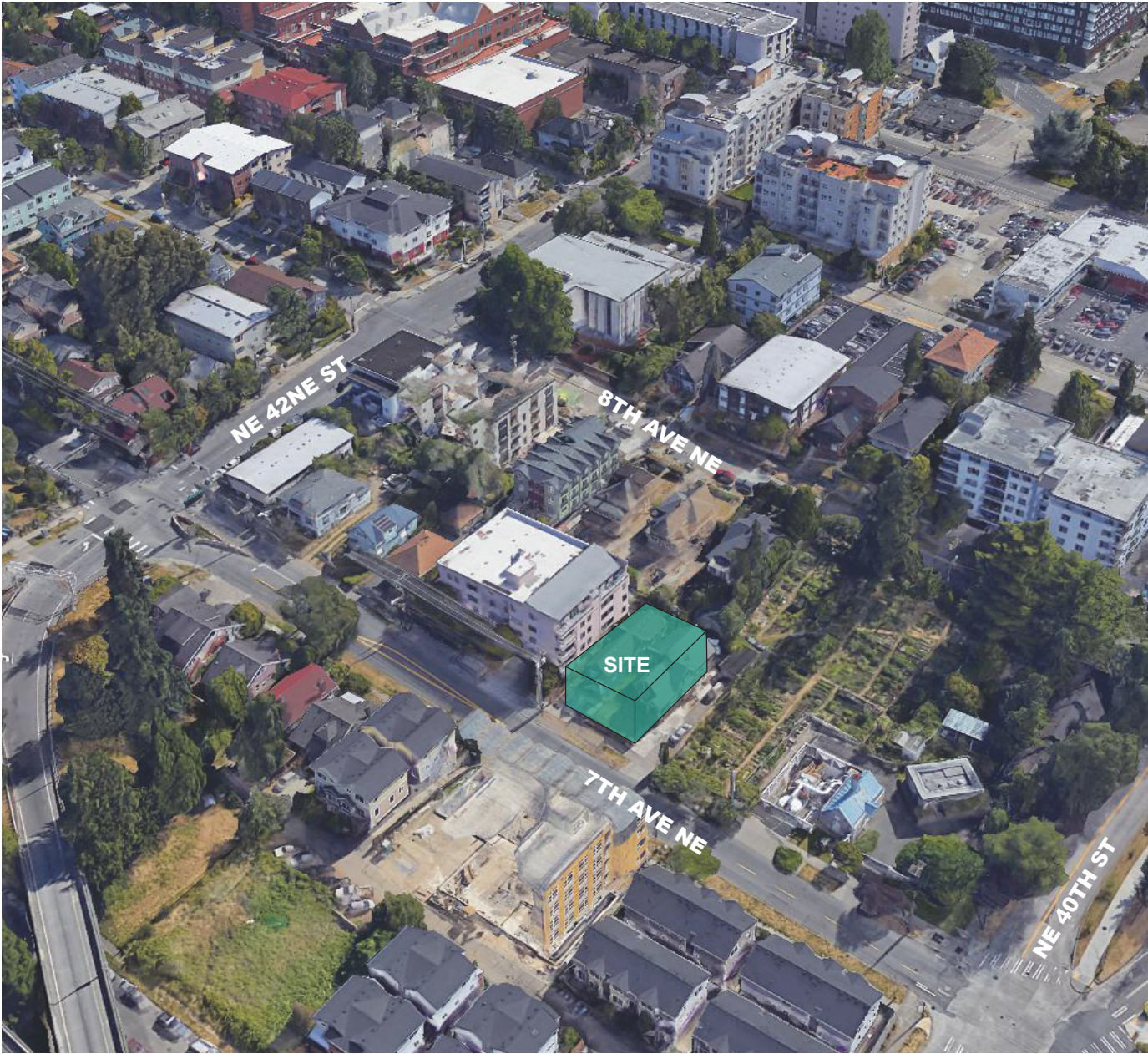


10 UW IMA

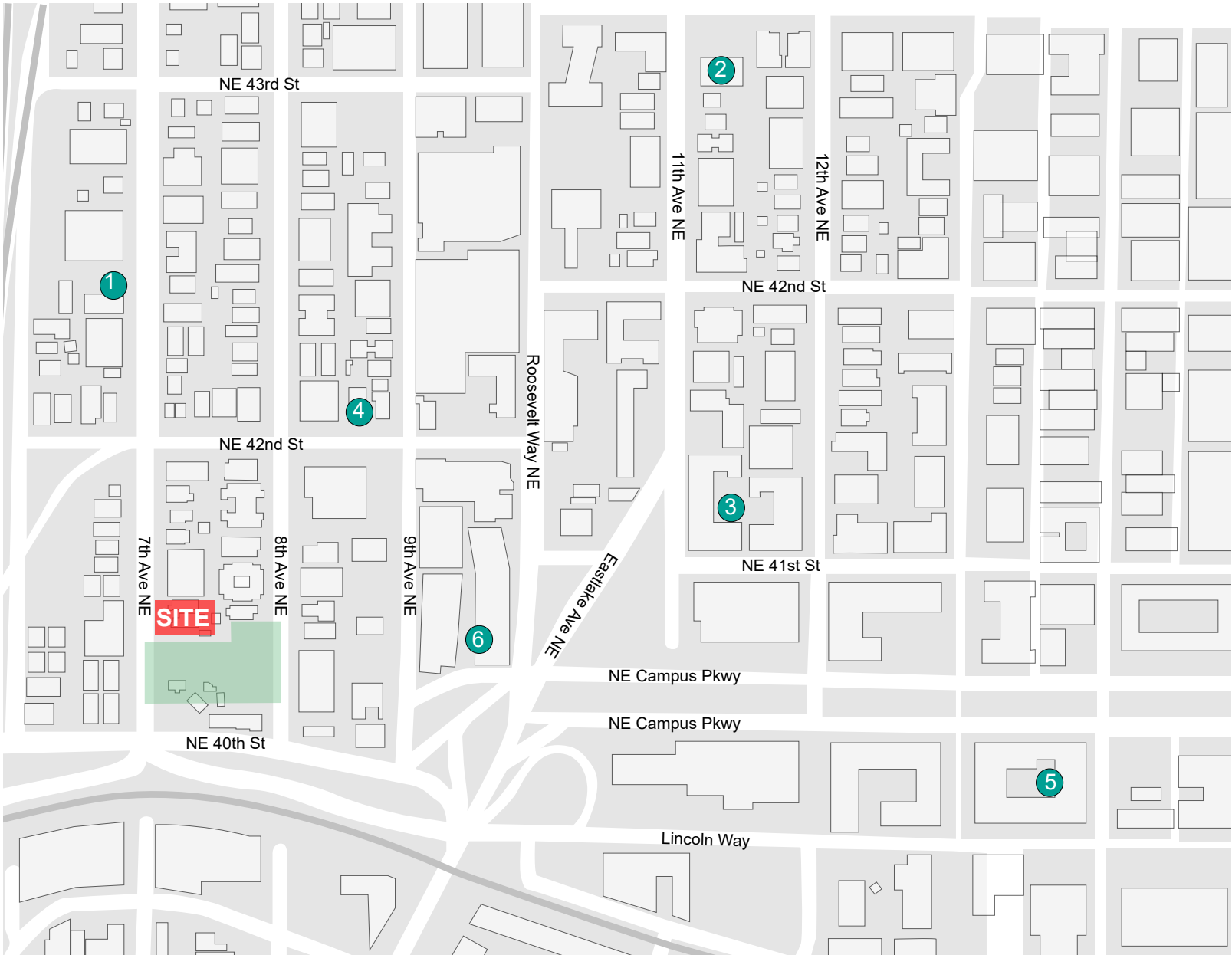


10 Gas Works Park

CONTEXT ANALYSIS



Neighborhood Development



CONTEXT ANALYSIS

Recently Proposed & Built Projects



1 3925 Adams Ln NE



2 4218 Roosevelt Way NE



3 Cedar Apartment, 1112 NE 41st St



4 4230 11th Ave NE



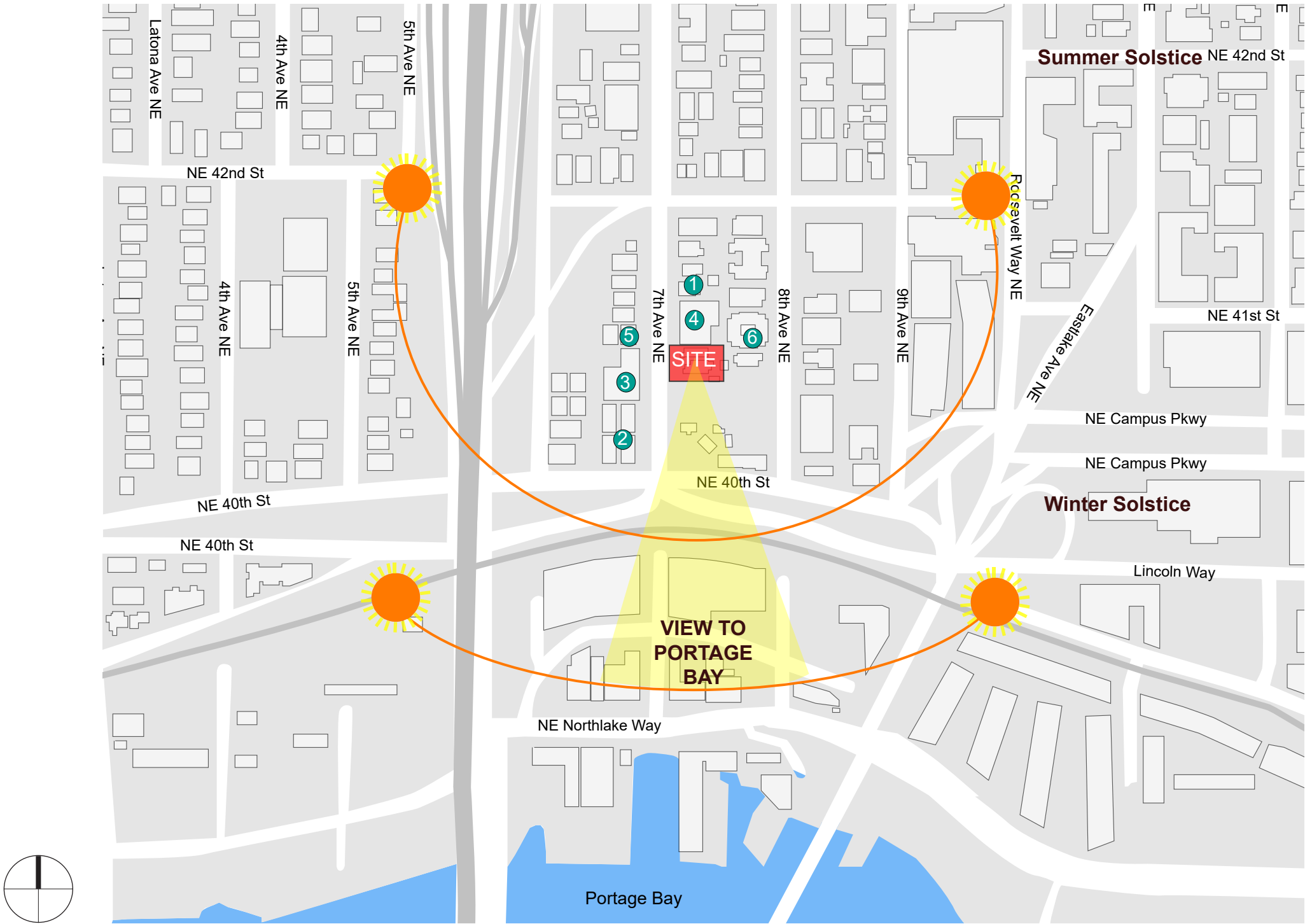
5 Alder Hall, 1315 NE Campus Pkwy



6 4041 Roosevelt Way NE

CONTEXT ANALYSIS

Sun Path Analysis



CONTEXT ANALYSIS

Adjacent Existing Buildings



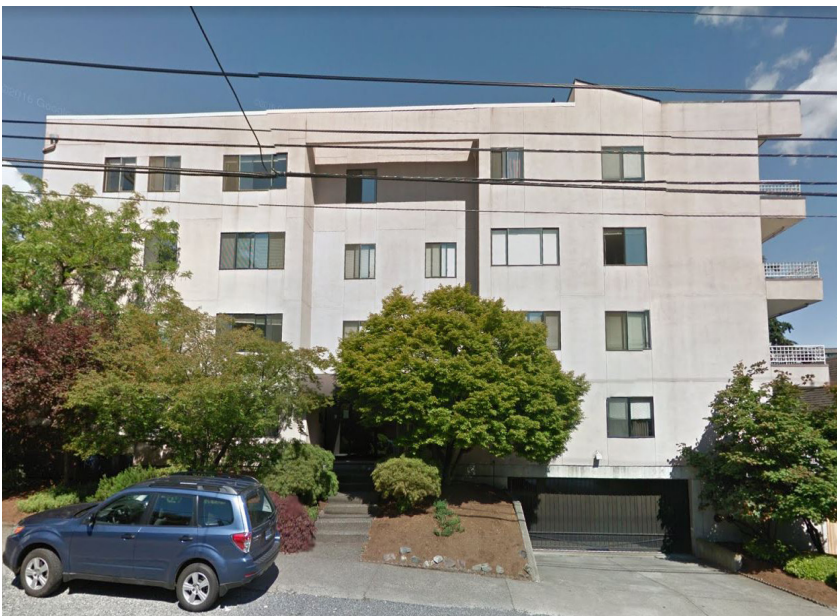
1 Multi-Family



2 Multi-Family



3 Multi-Family



4 Multi-Family



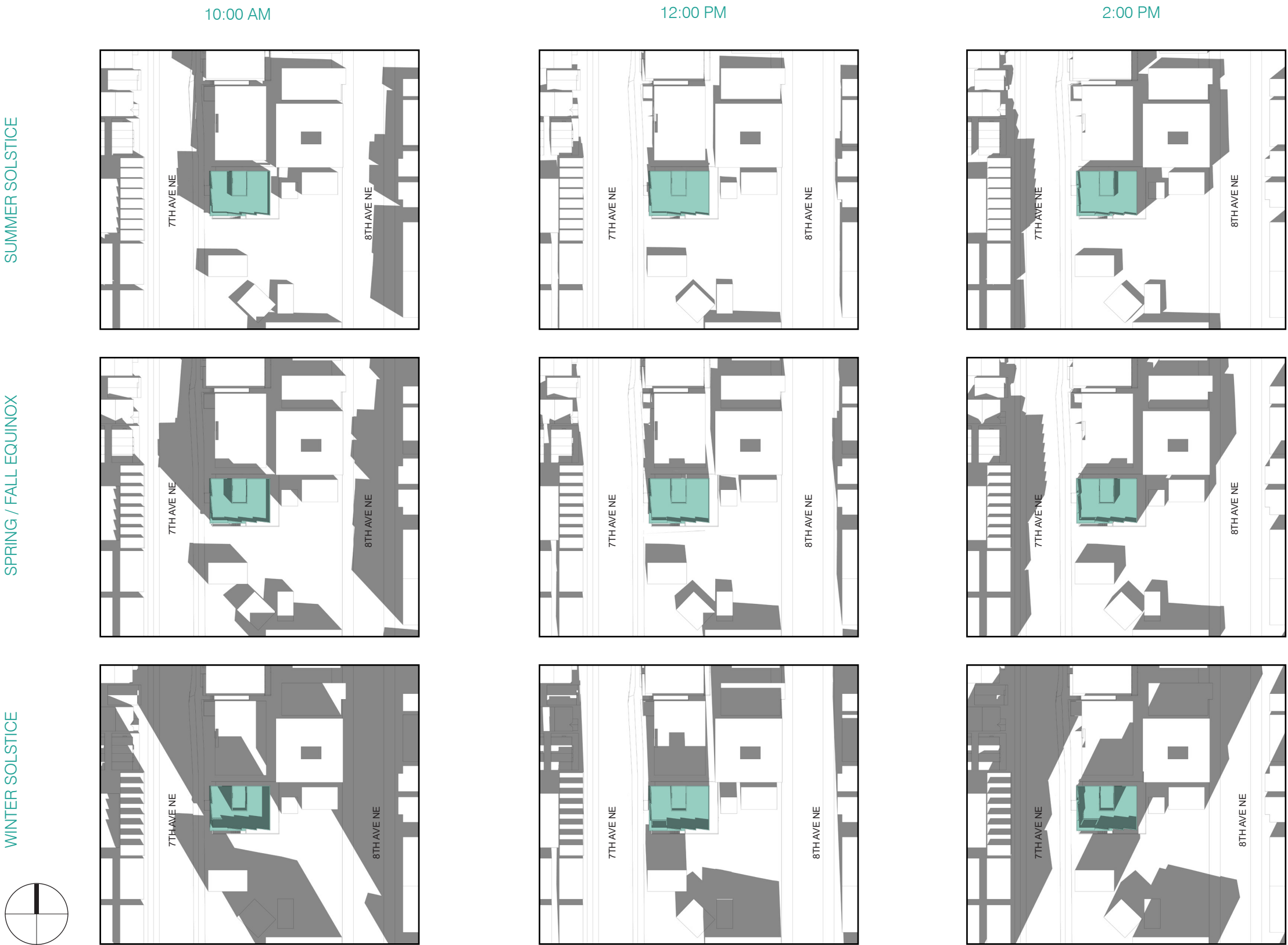
5 Multi Family



6 Multi-Family

SHADOW STUDY

The shadow studies are based on Alternative 3 . The site has ample sun exposure throughout the year, there's a slight exception in the winter, primarily due to the empty adjacent lot. The shadows cast by the proposed building do not appear to impact surrounding properties significantly.



CONTEXT ANALYSIS



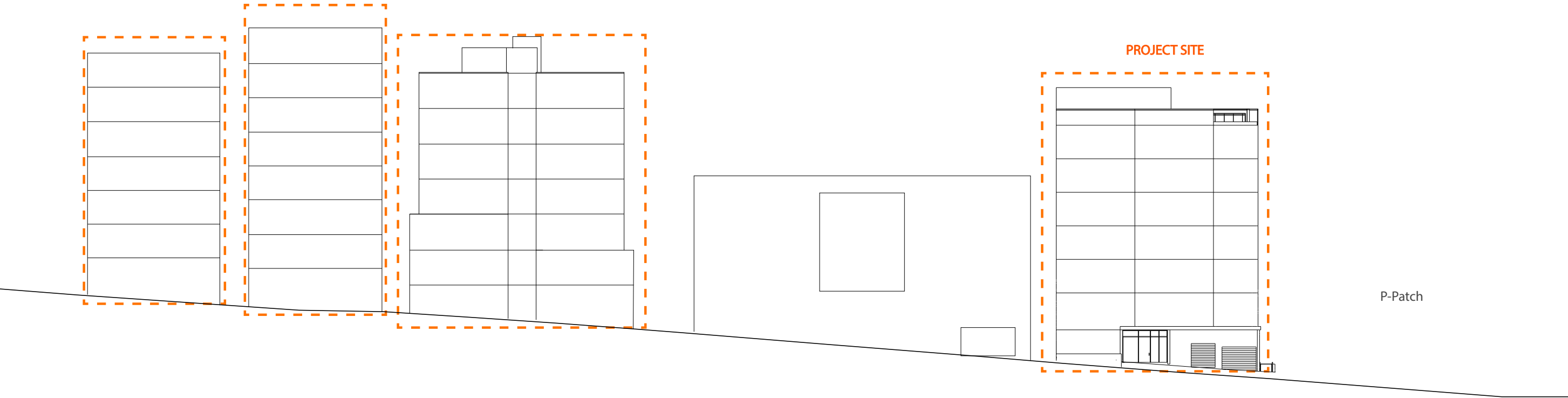
COMMUNITY P-PATCH GARDEN

University P-patch Garden is located at the south property line of the proposed project site, which provides open views and plenty of sunlight access. Although the project is located at a mid-block site, with the existence of P-patch garden, both South and West facades will be directly visible from public. The site presents itself more as a corner site.



CONTEXT ANALYSIS

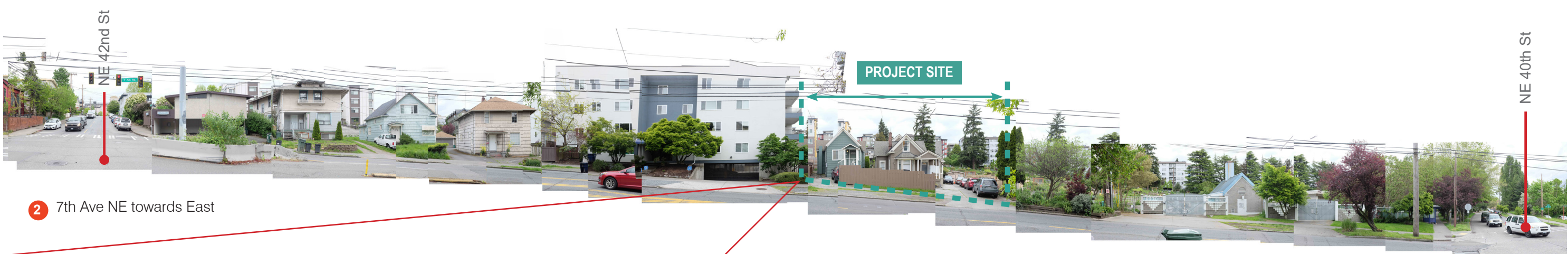
NEW PROPOSED BUILDINGS



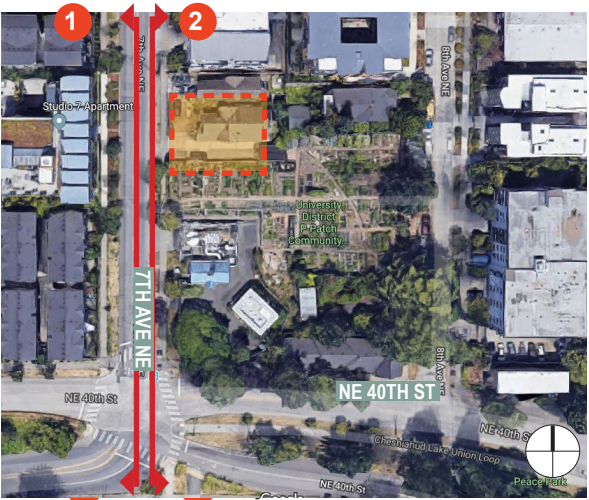
STREETSCAPE



1 7th Ave NE towards West



2 7th Ave NE towards East



STREETSCAPE



3 42nd St towards North



4 42nd St towards South



Key Plan

CONTEXT ANALYSIS



A



B



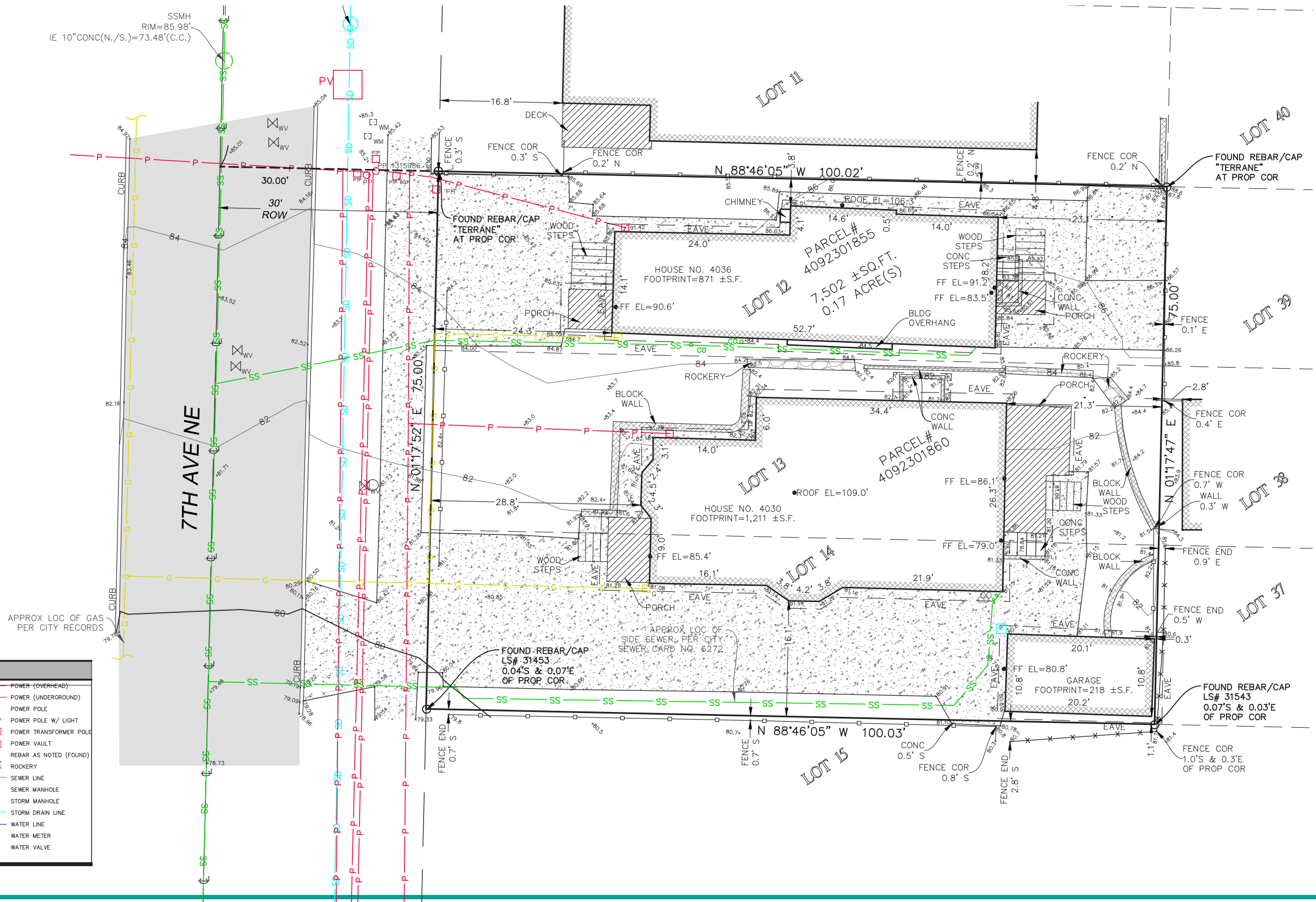
C



5 40nd St towards North

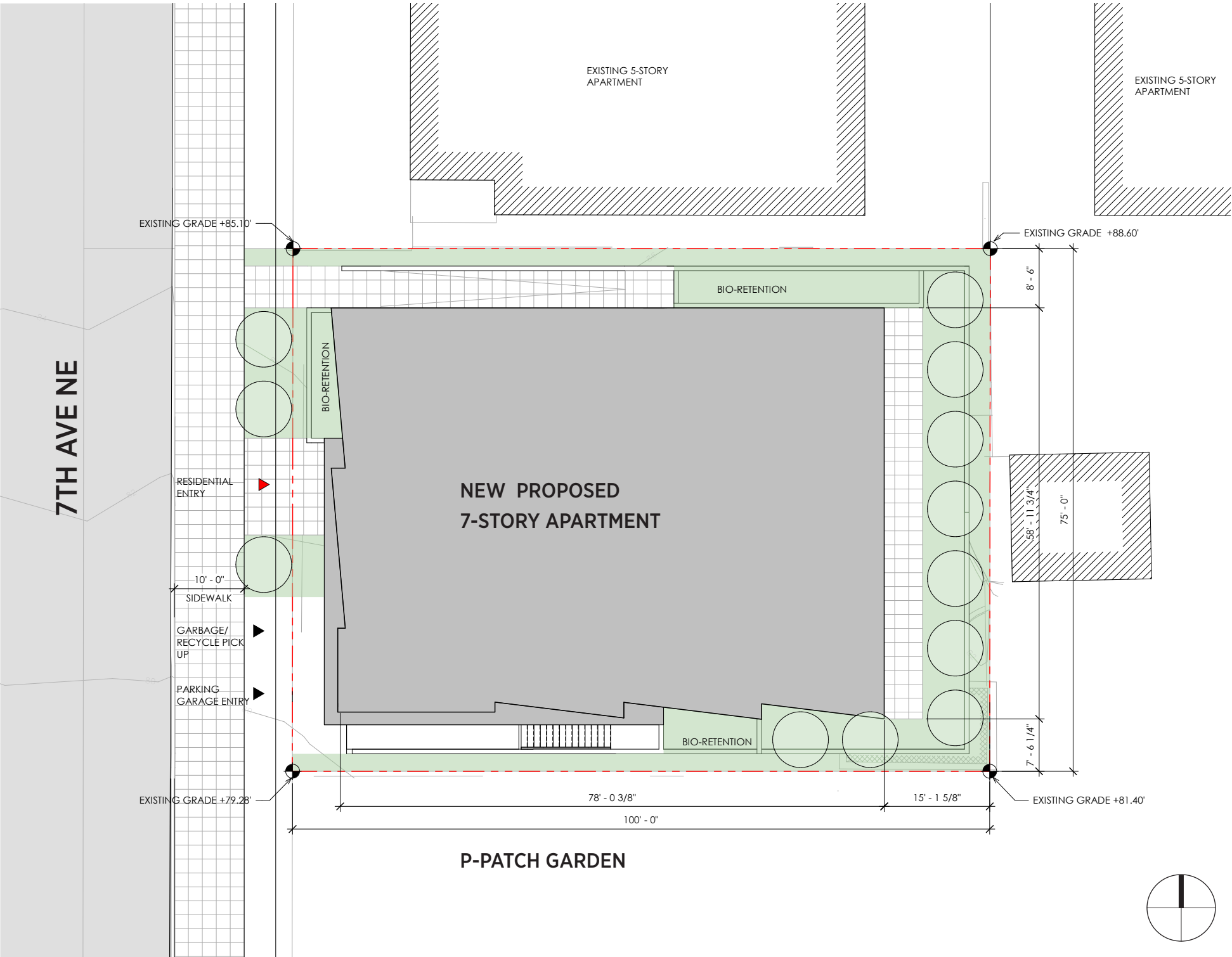


SITE SURVEY



SITE PLAN

SITE PLAN



COMMUNITY OUTREACH PLAN AND COMMENTS

1. Project Description:

Project Address:	4030 7th Ave. NE, Seattle, WA 98105
Description:	New construction of a multi family building with 40 dwelling units within 7 stories; providing parking for 9 cars and 42 bikes. Existing structure to be demolished.
Applicant:	d/Arch LLC
Contact Person:	Sam Bjorklund or Matt Driscoll
Contact Information:	SBjorklund@dArchllc.com or Mattd@darchllc.com
Type of building:	Multifamily
Neighborhood:	University District
In Equity Area:	Yes

2. Outreach Plans:

- Printed Outreach:

High-Impact Method

- b.** Posters hung in a minimum of 10 local businesses, community centers, or other publicly-accessible venues, located within approximately a half mile from the proposed site. At least half of the posters must be visible from the sidewalk.

10 posters were hung at University District.

The locations were selected from the “Spaces To Gather” list on the U District Neighborhood Snapshot. All posters were hung outside near gathering spaces and major intersections.

- Electronic/Digital Outreach

Multi-Pronged Methods

- a.** Basic Project Web page

The basic web page was published
<https://newconstdarch.wixsite.com/40307thavene>

- b.** Email to distribution list that includes community organizations identified by DON. Emails were sent, and include:

- North of 45 Committee cssc@u.washington.edu

- Northeast District Council
- Northeast Seattle
- Seattle Northeast Rotary
- U District Conversation on Homelessness
- U District Community Council
- University District Food Bank
- University District Service Providers Alliance
- University District Resident Council
- University of Washington City University Community Advisory Committee
- University Park Community Club
- University District Business Improvement Area
- University District Farmers Market
- University District Partnership
- University Village Merchants Association
- University District Greenways
- North Precinct Advisory Committee
- Emergency Hubs & Block Watches
- Through Website
- Through Website
- joelcalvert@allstate.com
- jsehlin@grlg.net
- encanta5@comcast.net
- udistrictcouncil@hotmail.com
- joe@udistrictfoodbank.org
- udsp.spt@gmail.com
- andy.chan@seattlehousing.org
- maureen.sheehan@seattle.gov
- risler@u.washington.edu
- phillip.sit@seattle.gov
- Through Website
- Through Website
- info@uvillage.com
- info@seattlegreenways.org
- spd.npac@gmail.com
- CindiLBarker@gmail.com

- In-Person Outreach

High-Impact Method

- b.** Guided tour or site walk

A 1-hour community site walk was held Saturday, Nov. 9th from 2:00 - 3:00 p.m. The site walk was advertised on DON’s Early Outreach for Design Review Calendar on August 21st (17 days before the event). There was an interpreter on site - a Chinese member of our design team with firsthand knowledge of the project.

3. Community Feedback:

- No feedback was provided from the community.

NOTE: Any comments or questions received after this report will be summarized in the ADR Packet.

- No feedback was provided from the community.

CODE ANALYSIS

ZONING: MR (M1)

WITH A MANDATORY HOUSING AFFORDABILITY SUFFIX

SMC 23.45.504.B.A

PERMITTED USES

- Residential Use Permitted Outright.

SMC 23.45.510

FLOOR AREA RATIO

- The maximum FAR limit for MR zones with a mandatory housing affordability suffix is 4.5

SMC 23.45.514.B

HEIGHT

- Base height limit of 80' above average grade.
- Parapets / Railings / Clerestories / Skylights may extend 4 feet above the allowed height limit.
- Stair penthouses may extend 15 Feet above allowed height limit.
- Elevator penthouses may extend 16 Feet above allowed height limit.

SMC 23.45.518.B (Setbacks)

SETBACKS

- FRONT/SIDE FROM STREET LOT LINES: 7 Feet Average and 5 Feet Min.
- REAR: 15 Feet from a rear lot that with no alley.
- SIDE FROM INTERIOR LOT LINE: ≤42 ft 7 Feet Average and 5 Feet Min.
 >42 ft 10 Feet Average and 7 Feet Min.

SMC 23.45.522

AMENITY AREA

- 5% of total gross floor area of structure in residential use shall be provided as amenity area.
- Common Amenity Area: min. 250 sf and 10 Feet min. dimension; Accessible to all units.
- 50% ground amenity area landscaped.

SMC 23.45.524

LANDSCAPING

- Green Area Factor of 0.5 or greater for more than one dwelling unit.

SMC 23.45.529

DESIGN STANDARDS

- Facade Openings: 20% shall consist of windows / doors
- Facade Articulation: If street-facing facade of a structure exceeds 750 sf, division of facade is required; Separate facade plane shall have a minimum of 150 sf and max. of 500 Feet.

SMC 23.45.534

LIGHT AND GLARE STANDARDS

- Directed away from adjacent properties. Minimizing Glare.
- For parking greater than 2 stalls vehicle lights shall be screened by a fence or landscaping 5ft tall from abutting properties.

SMC 23.45.536

PARKING LOCATION, ACCESS, AND SCREENING

- Off-street parking per Chapter 23.54.
- Street access required, access to parking shall be from the street if the lot does not abut an alley.
- Screening of parking: screening by garage doors. 4' above grade.

SMC 23.54.015

REQUIRED PARKING

- No min. vehicular parking requirement for all residential uses with urban centers or with the Station Area Overlay District
- **Bicycle Parking:**
Long-term 1 per dwelling unit and 1 for SEDU.
Short-term 1 per 20 units

SMC 23.54.040

SOLID WASTE & RECYCLE

- Residential: 51-100 dwelling units - 375 sf plus 4 sf for each additional unit over 50.
- 26-50 units require 375 sq ft.
- 12 Feet min. horizontal dimension screened from public.

DESIGN GUIDELINE PRIORITIES AND ARCHITECTURAL CONCEPT

CITY WIDE & UNIVERSITY NEIGHBORHOOD GUIDELINES

CS-1: NATURAL SYSTEMS AND SITE FEATURES:

B.1.2 Sunlight and Natural Ventilation

The proposed building design takes advantage of the open east, south and west facades by locating the majority of the units along these sides of the building, providing the most sunlight.

C.1.2 Topography

The topography slopes up from south to the north generating a difference in height. This allows for a lower level entry for garage on the south, with a higher level entry for the main lobby.

CS-2: URBAN PATTERN AND FORM:

A-1. Sense of Place:

The design responds to the surrounding environment with it's variety of architectural styles and scales. The proposal picks up on that variety and provides a strong sense of place for students and young professionals. Contemporary massing and facade design, emphasizing the building entrance and interesting window pattern associating with indoor space design provides a unique identity.

B-2. Connection to the Street:

The building has an appropriate setback from the street to maintain the existing street edge established by adjacent buildings, This setback design provides for a green area in front of main entry and serves as a buffer zone for residents from the public, The residential connection to the street is emphasized with the parking entrance lower and subordinated to it. Planting, paving, and the outdoor space,is designed to improve the quality of the sidewalk experience.

C-2. Mid-Block Sites:

The setback and height respond to the zoning envelope.

D. Height, Bulk, Scale

The surrounding area is a mix of newly built and existing multifamily projects. Some single family homes (used as apartments) still exist. The up-zone of the area will see more multistory multifamily buildings built. The design proposal breaks up the vertical and horizontal volumes or planes.

CS-3: ARCHITECTURAL CONTEXT AND CHARACTER:

A-2. Contemporary Design:

The design simplicity in color and form are an appropriate approach to a contemporary design aesthetic. In keeping with the trends of Seattle and U-district residential architecture, the project will feature large windows and have modular facade materials. The massing strategy of the preferred option breaks the building into horizontal portions to make a transition from low-rise into mid-rise, while emphasizing the building entrance with a setback and different material.

PL-1: CONNECTIVITY:

A.2 Pedestrain Amenities:

The project builds on the established and pedestrian infrastructure of the neighborhood. There is not any particularly significant pedestrian activity currently on this block. But, with new developments there is potential for re activating this block to reinforce the live and vibrant culture of this neighborhood.

PL-2: WALKABILITY:

B-3. Street-Level Transparency:

The street level will be sufficiently lighted to provide a safe environment for the residents and other pedestrians. The Planting along the building will provide a pleasant pedestrian environment.

C. Weather Protection

Weather protection will be provided at the street level residential entrance by installing an overhead canopy.

PL-3: STREET LEVEL INTERACTION:

A. Entries

Taking advantage of existing topography allows for a distinct residential entrance, separate from the lower garage entry.

B-2. Ground-level Residential:

One dwelling unit are located on ground level on 7th Ave NE. The front setback allows for a buffer between the units and the sidewalk. Several others are located at grade on the East and South facades with adjacent open space.

PL-4: ACTIVE TRANSPORTATION:

A. Entry Locations and Relationships

The main entrance to the building will be located off 7th Ave. NE. The entrance will be set back from the property edge for safety and design purposes.

B. Planning Ahead for Bicyclists

Bicycle parking will be provided for the residents.

DC-1: PROJECT USES AND ACTIVITIES:

A.1 Visibility

The building entrance will be clearly identified and visible to pedestrians. Solid waste/recycle and bicycle storage are facing the sides, with separate access from the sidewalk. The garage entrance is at the south side of the west facade and is lower, setting it apart.

DC-2: ARCHITECTURAL CONCEPT:

A-2. Reducing Perceived Mass:

The building design carries through a similar architectural expression to some of the nearby buildings. To reduce the perceived mass, the preferred building design option uses material composition, window patterns, recessed elements, and highlighted building entries.

B. Architectural and Facade Composition:

The design concept will be consistent on all sides of the building.

D-1. Human Scale:

The Main entrance on the west side will emphasize human scale with the set back from the street, landscaping features., and the canopy.

DC-3: OPEN SPACE CONCEPT:

B.4. Multifamily Open Space:

The residential building entry will be slightly recessed to accentuate the entry area. There will be roof garden provided as an additional amenity for the residents. Some ground floor units will have access to side yards.

DC-4: EXTERIOR MATERIALS AND FINISHES:

A. Building Materials:

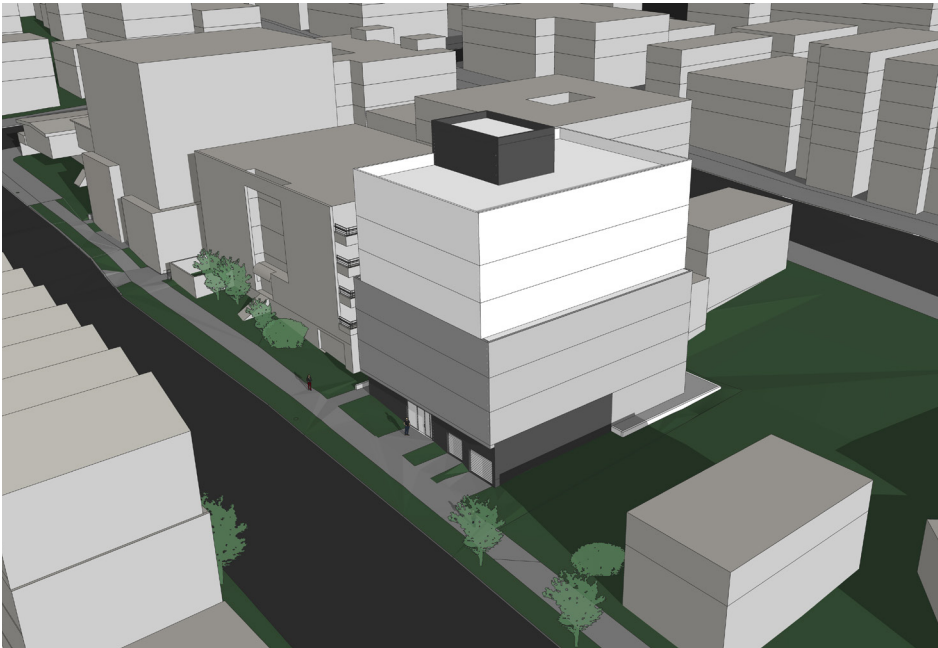
The project will be constructed with durable and attractive material. Color, texture, and pattern will be consistent with the intended design.

D. Trees, Landscaping and Hardscape Materials:

Landscaping will be responsive to climate, existing context, and intended use. It will be designed to provide texture, protection and privacy.



DESIGN ALTERNATIVES SUMMARY



Alternative 1

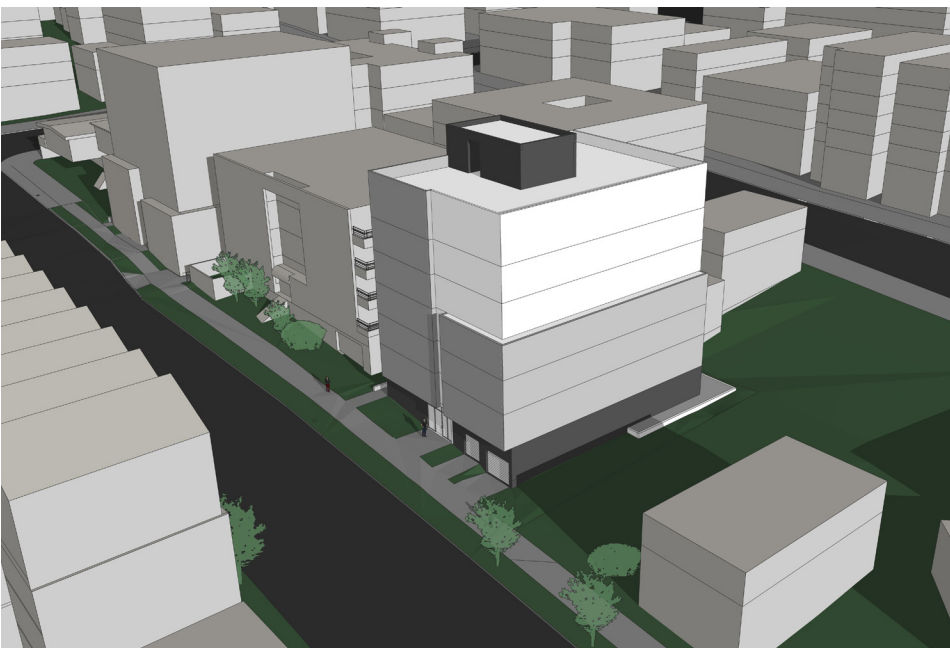
7 Stories, Ground-level & Roof Amenity	
Unit Count	40
Total Floor Area	32,240 gsf
FAR Proposed	4.04

Pros:

- Overall massing maximum development on the site
- Simple form
- No circulation, blank facade from building street visible sides.
- Code compliant

Cons:

- Abrupt transition at level 5
- Square massing, lack of street-facade massing expression



Alternative 2

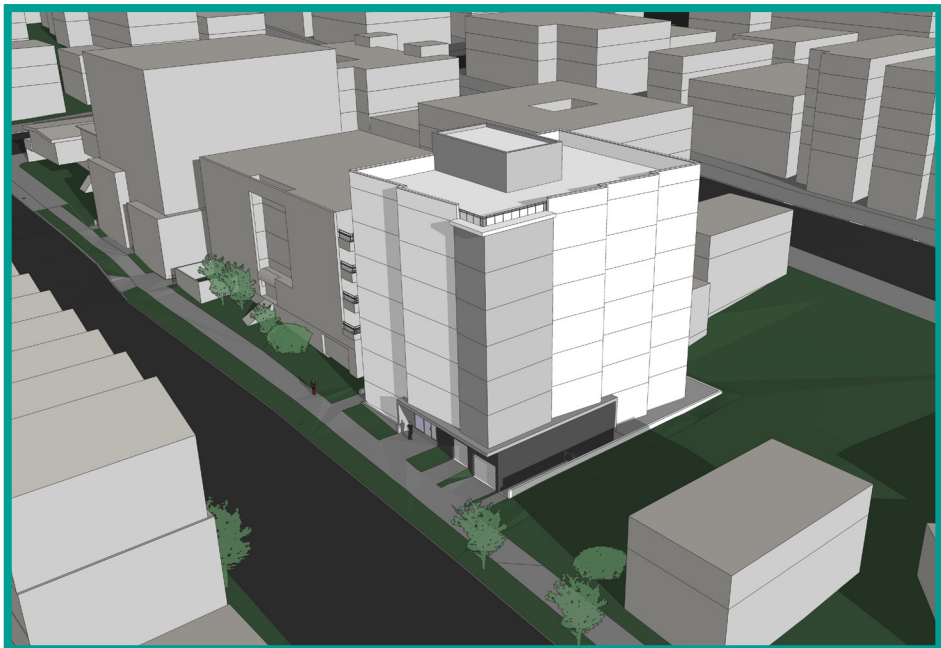
7 Stories, Ground-level & Roof Amenity	
Unit Count	40
Total Floor Area	32,813 gsf
FAR Proposed	4.02

Pros:

- Articulated and balanced massing.
- Defined base provides more integrity of massing transition

Cons:

- Required departure at North Facade



Alternative 3 - Preferred

7 Stories, Ground-level & Roof Amenity	
Unit Count	40
Total Floor Area	30,417 gsf
FAR Proposed	4.03

Pros:

- Distinct vertical expression of massing, responding to neighborhood established pattern.
- Bread down the main facade, reduced perception scale and mass
- West facade emphasizes the building entrance to be recognizable and apparent.
- Create more distance at lower level than code-required, which distancing more from existing North project, and provide more landscape buffer at ground level.
- Layout of the units taking advantage of the street, rear south open space, providing increased interior daylight

Cons:

- Departure required at North Facade
- Departure required at South Facade

ALTERNATIVE 1

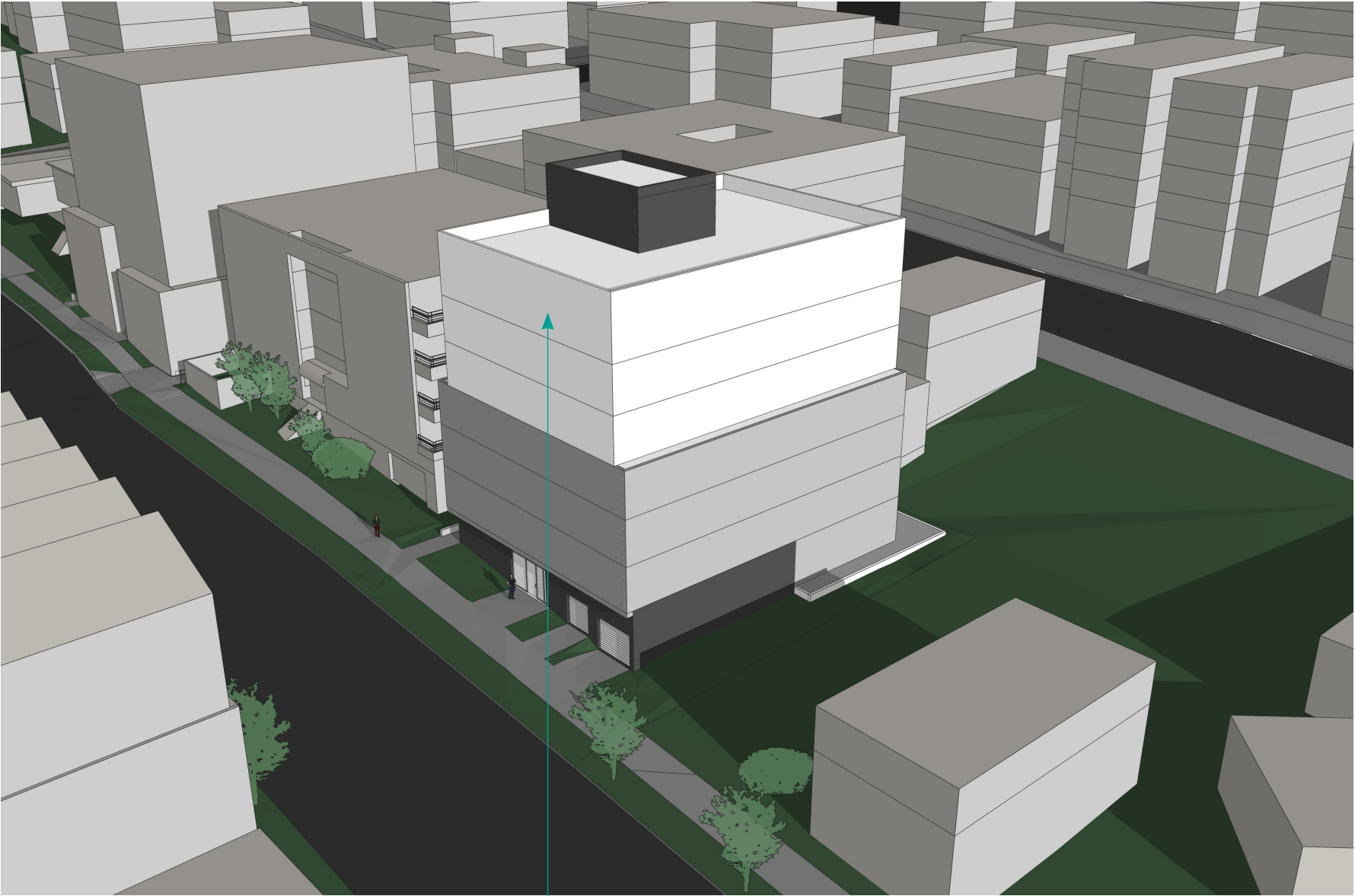
DESIGN GUIDELINES

DESIGN CONCEPT

DC 2 Architectural Concept

2B. ARCHITECTURAL AND FACADE COMPOSITION: The massing is composited with a strong base and upper level mass.

2B. BLANK WALLS: Stair/ Elevator are located at North, avoiding blank walls being visible.



2B

ALTERNATIVE 1

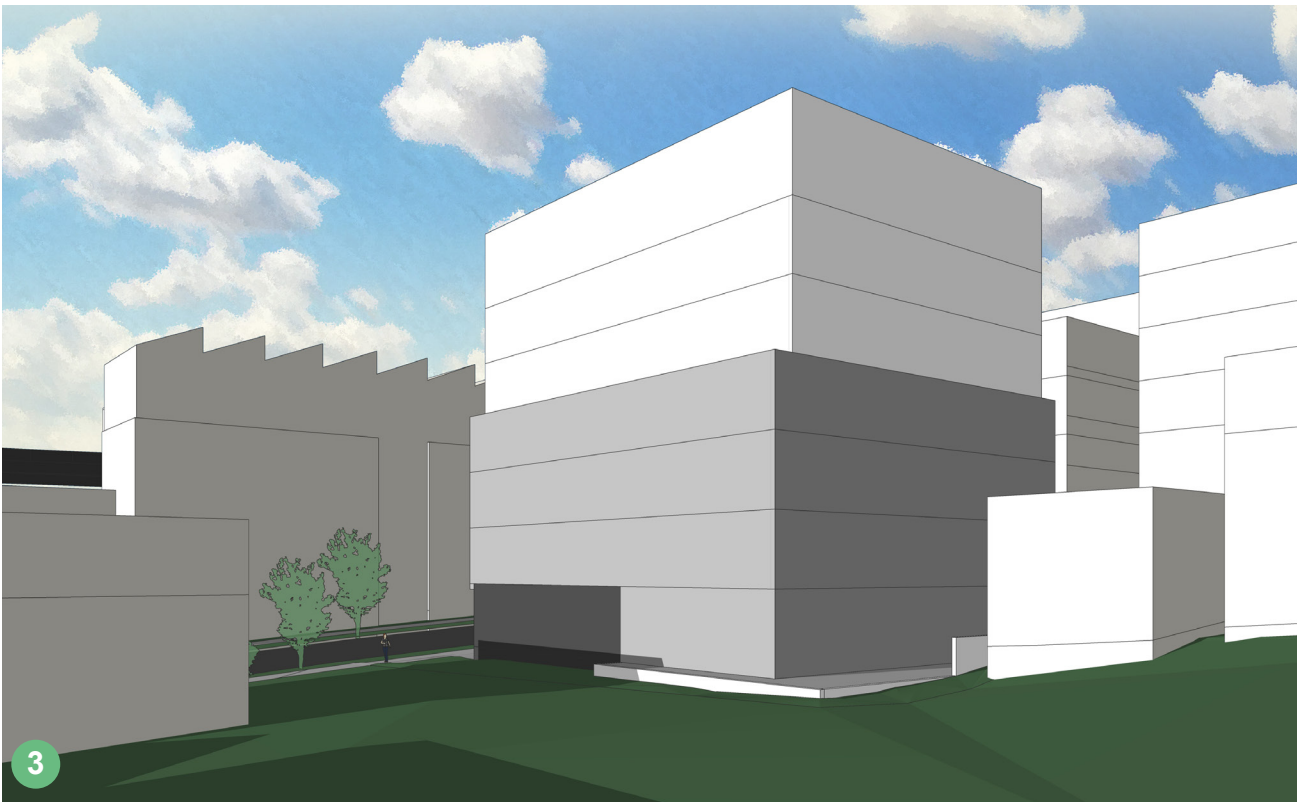
PERSPECTIVES



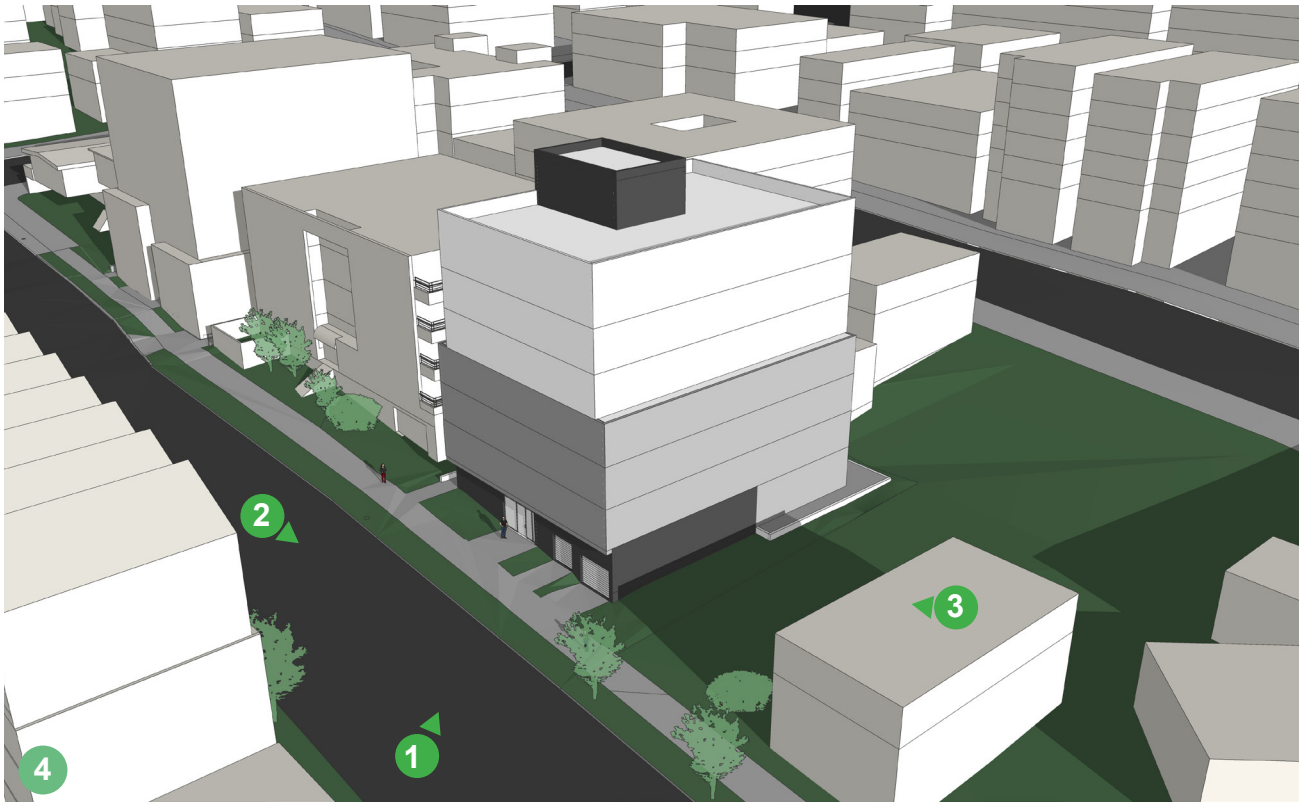
STREET PERSPECTIVE FROM SOUTH OF 7TH AVE NE



STREET PERSPECTIVE FROM NORTH OF 7TH AVE NE



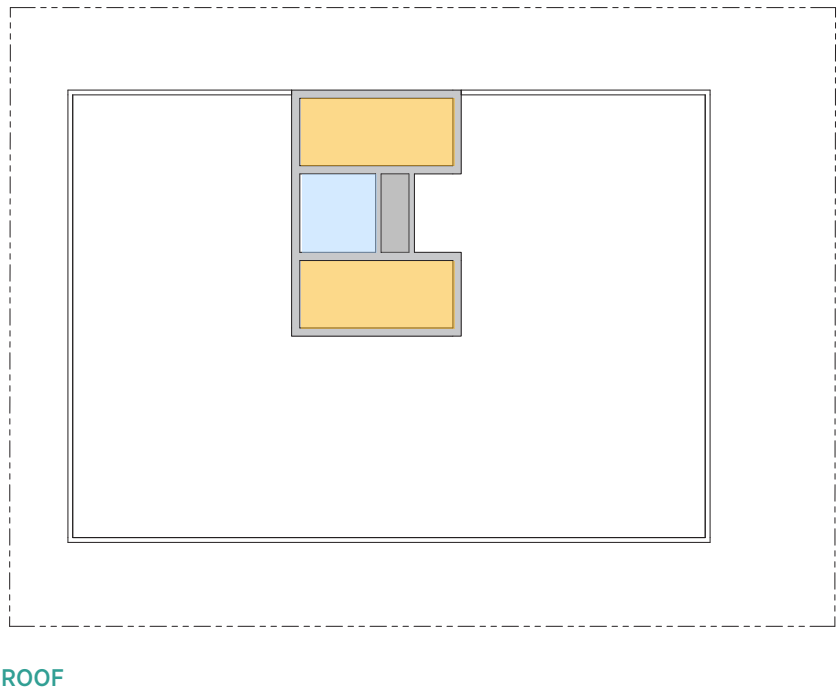
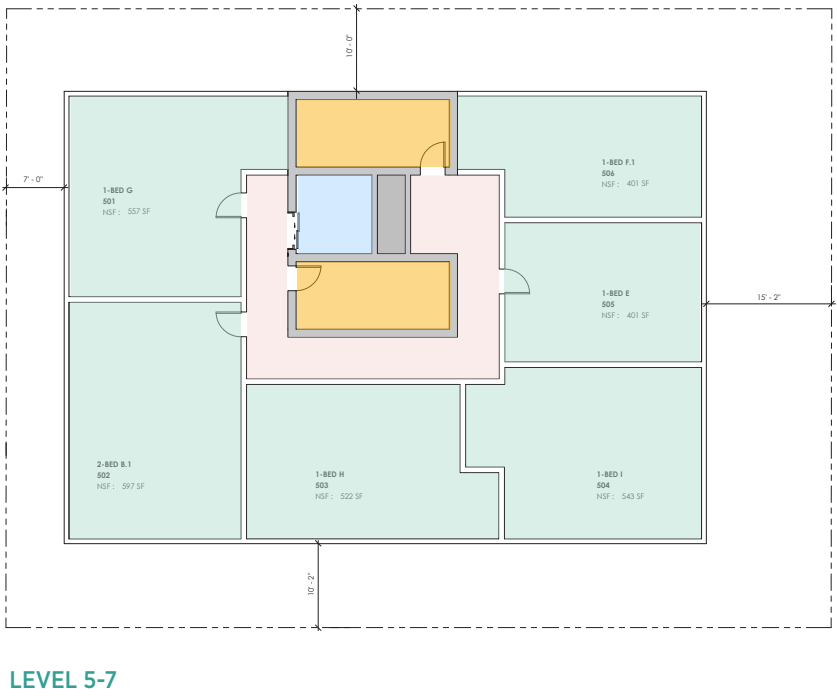
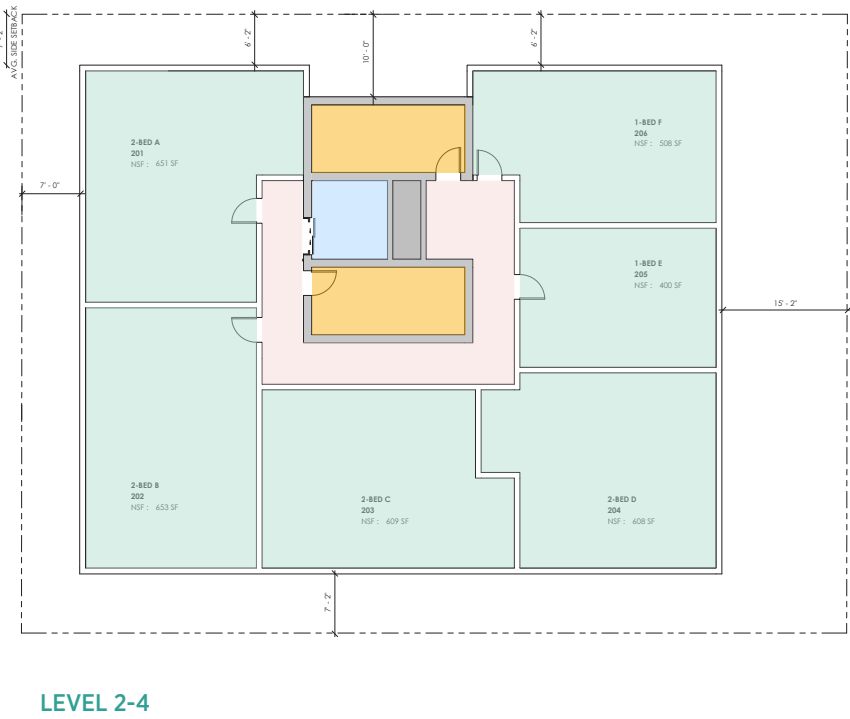
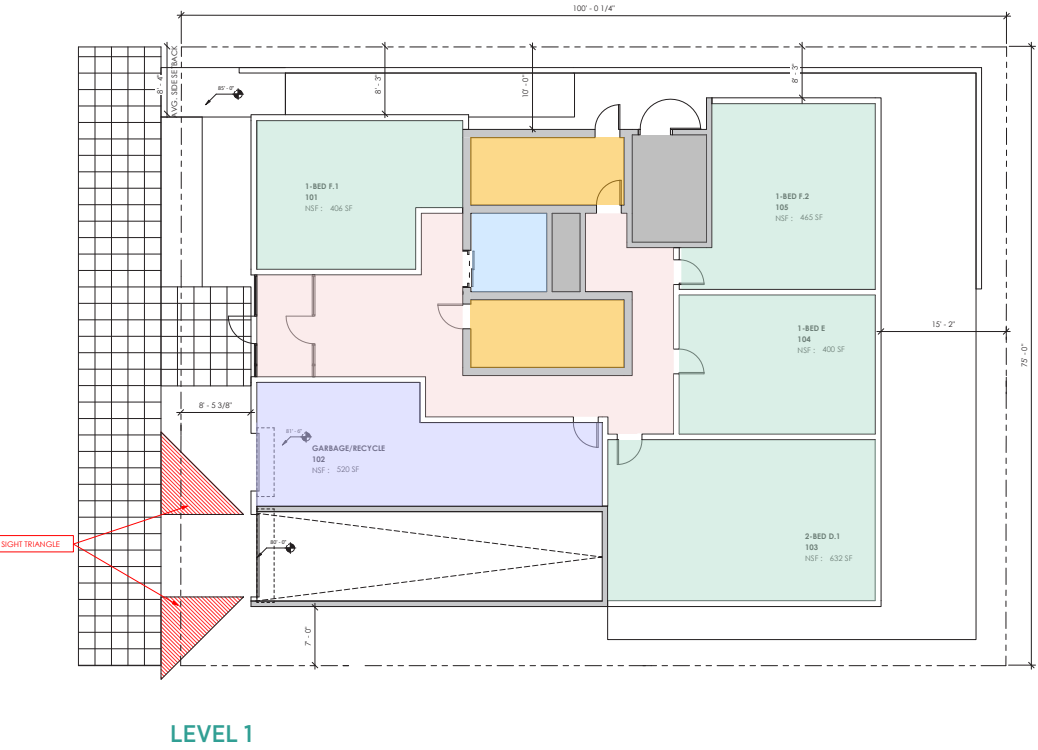
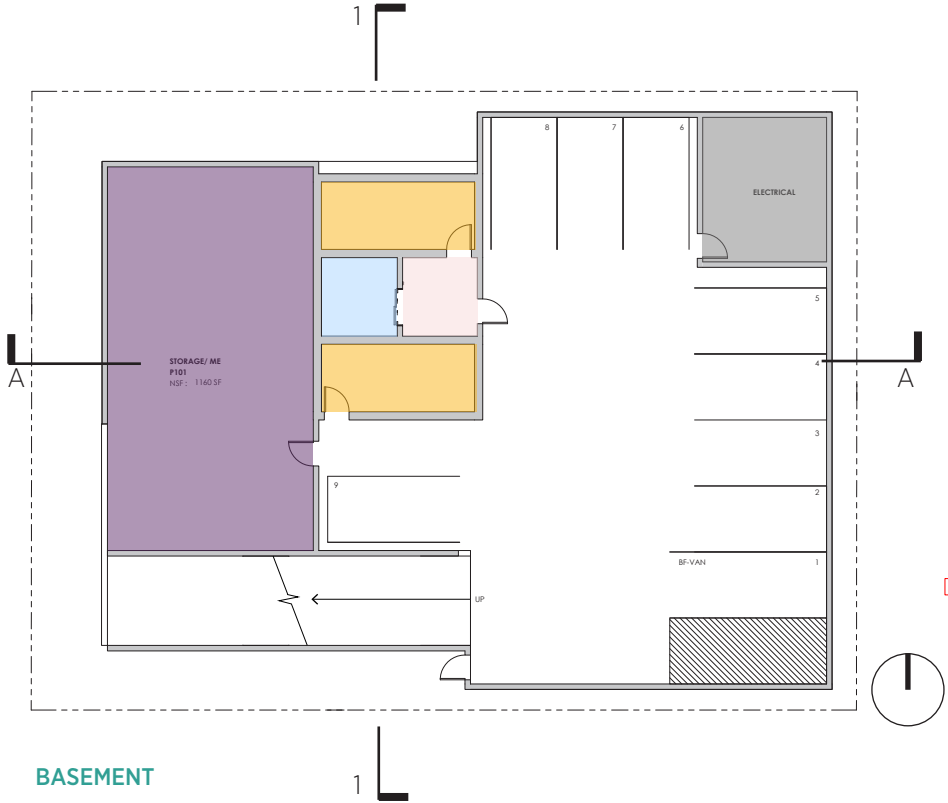
PERSPECTIVE FROM P-PATCH



AERIAL VIEW LOOKING TOWARD NORTHEAST

ALTERNATIVE 1

PLANS

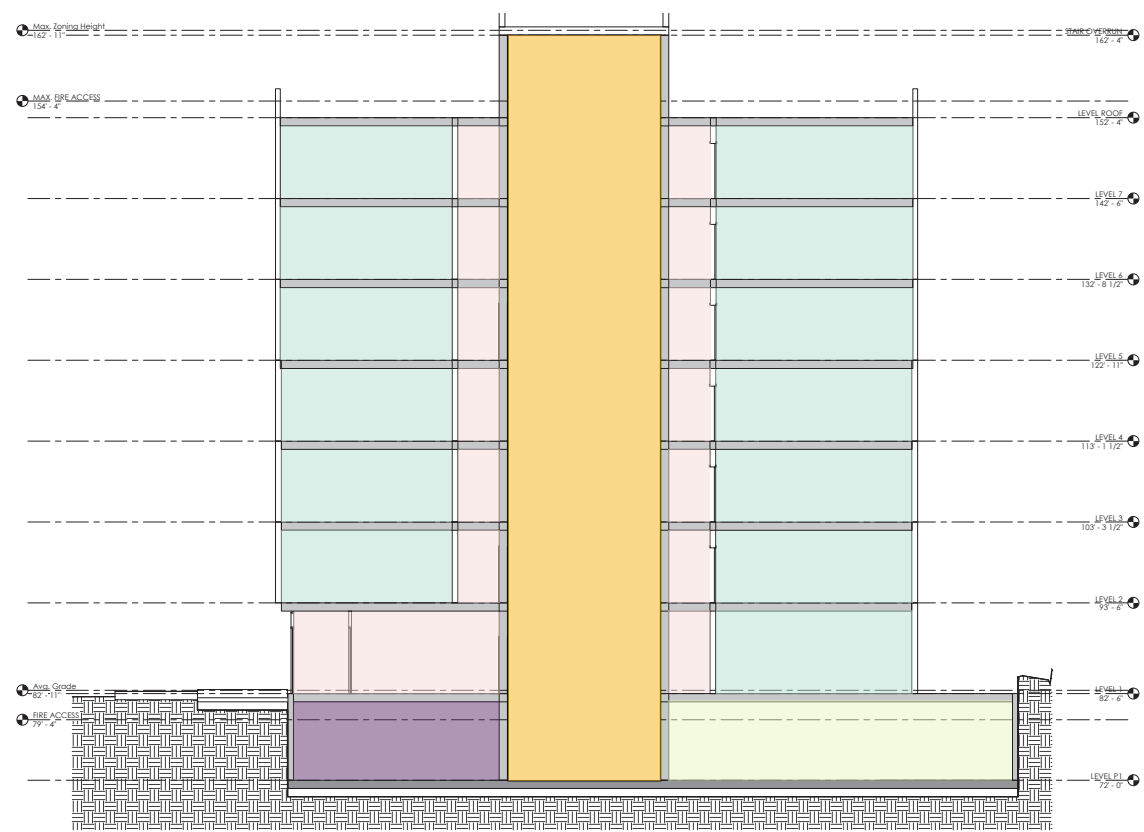


- Amenity
- Parking/Bicycle
- Elevator
- Garbage/Recycle
- Lobby/Corridor
- M/E
- Residential Unit
- Stairs
- Laundry
- Storage
- Office

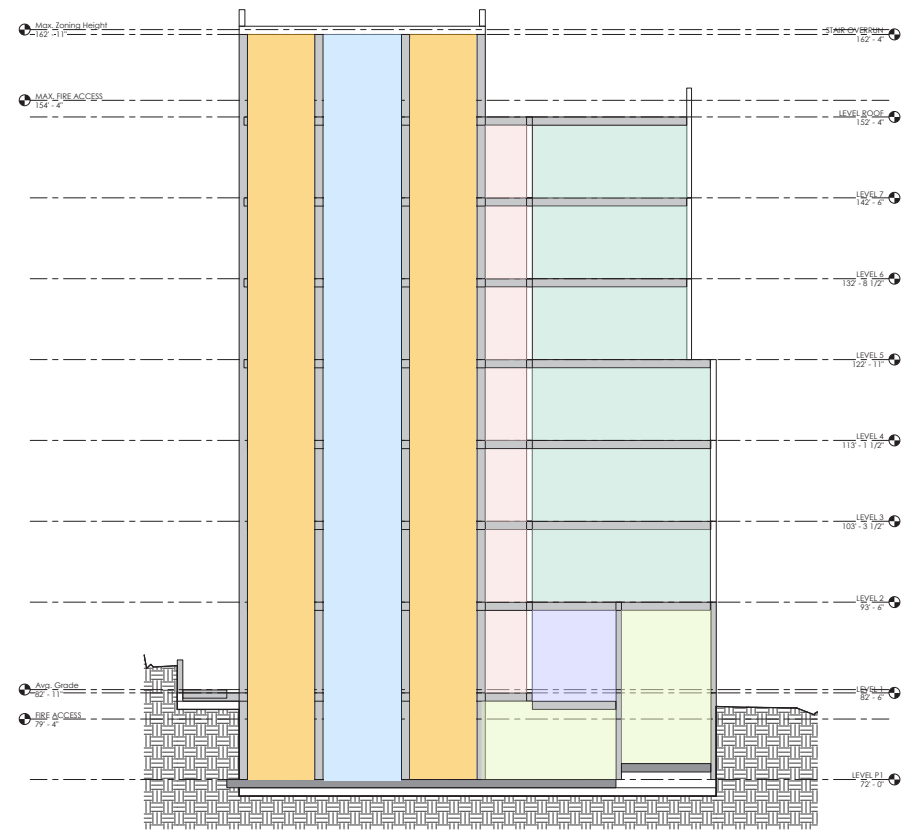


ALTERNATIVE 1

SECTIONS



SECTION A-A

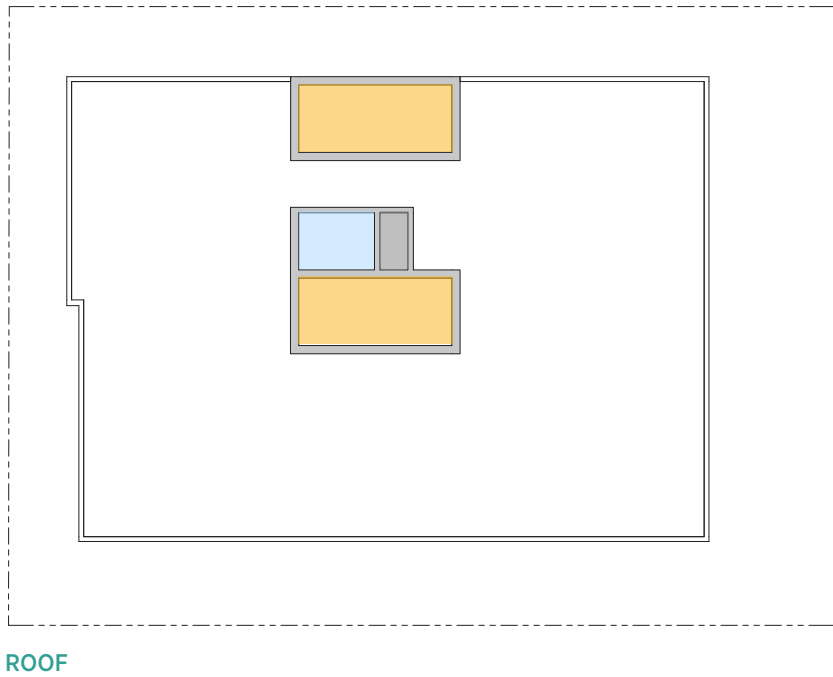
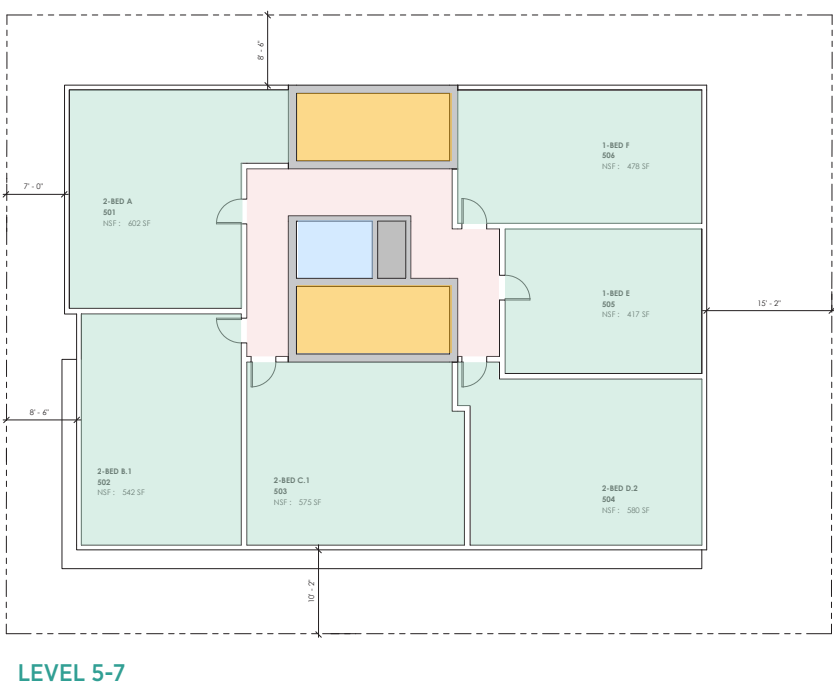
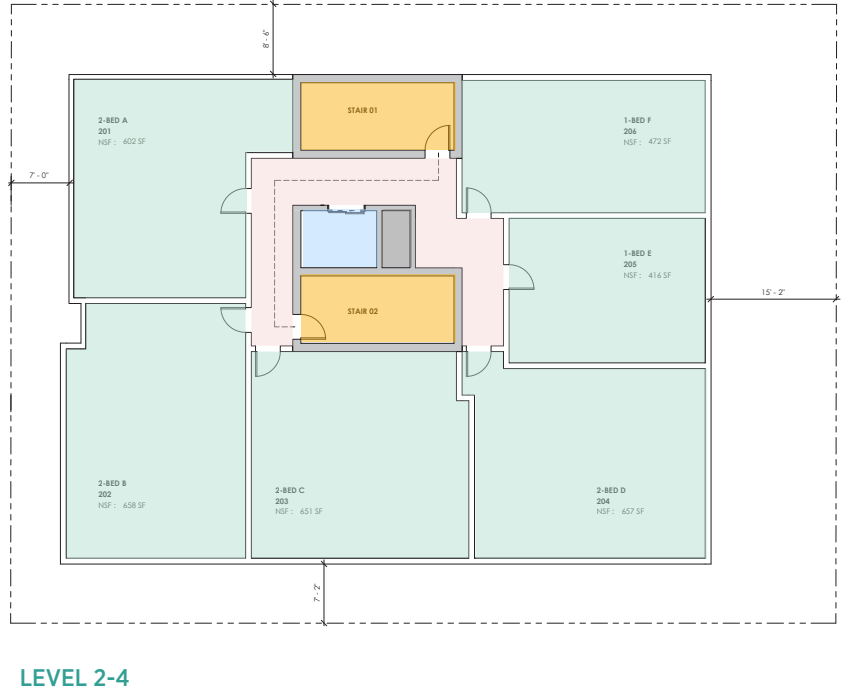
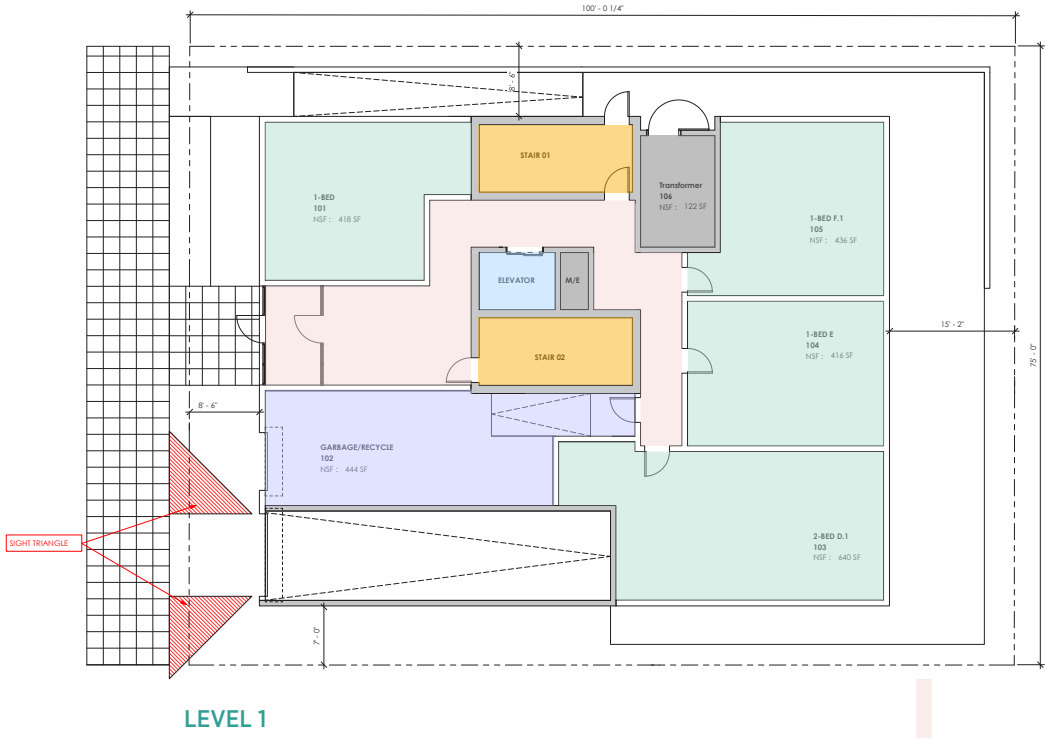
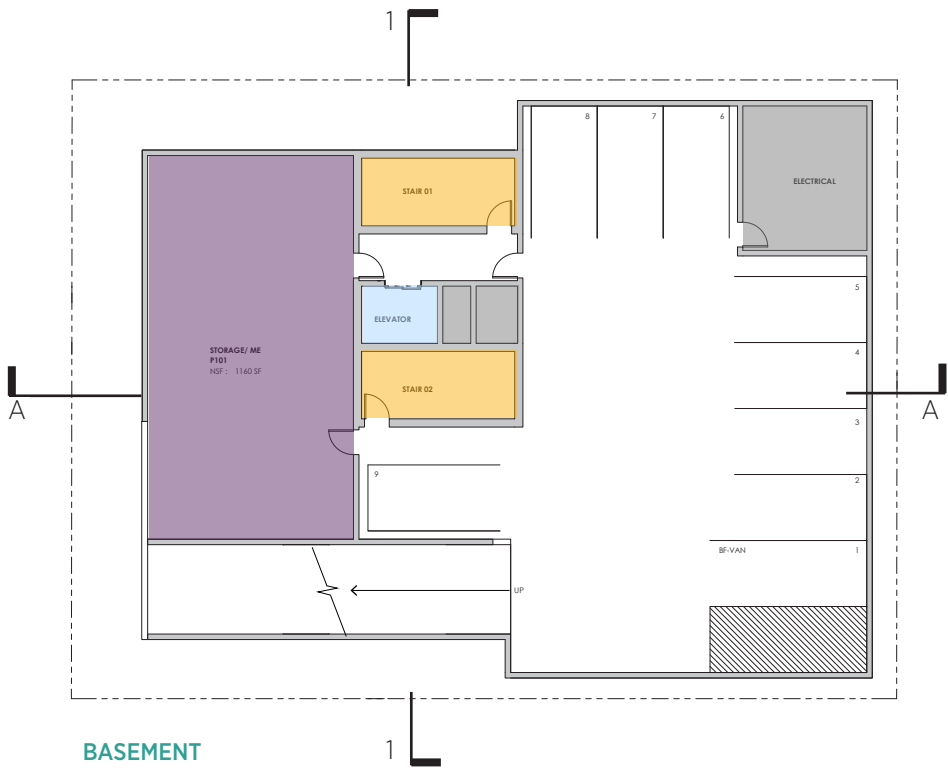


SECTION 1-1

- Amenity
- Parking/Bicycle
- Elevator
- Garbage/Recycle
- Lobby/Corridor
- M/E
- Residential Unit
- Stairs
- Laundry
- Storage
- Office

ALTERNATIVE 2

PLANS

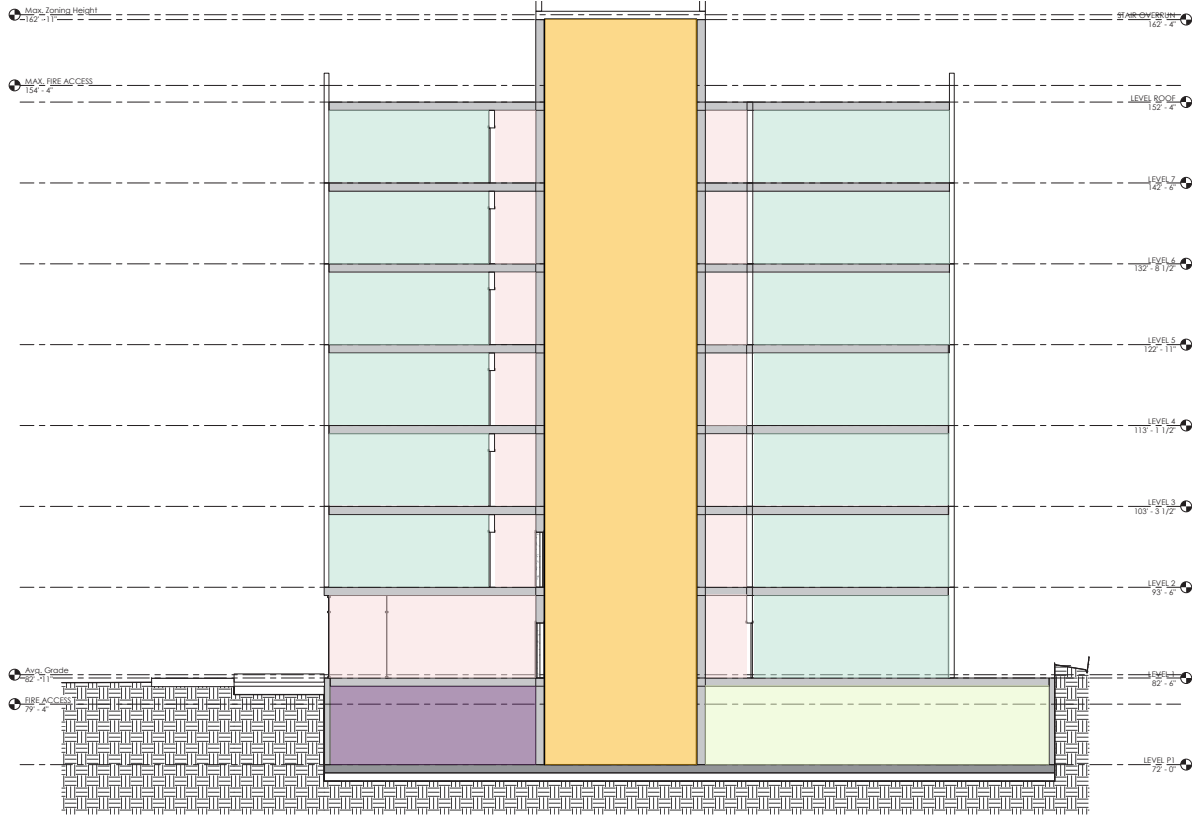


- Amenity
- Parking/Bicycle
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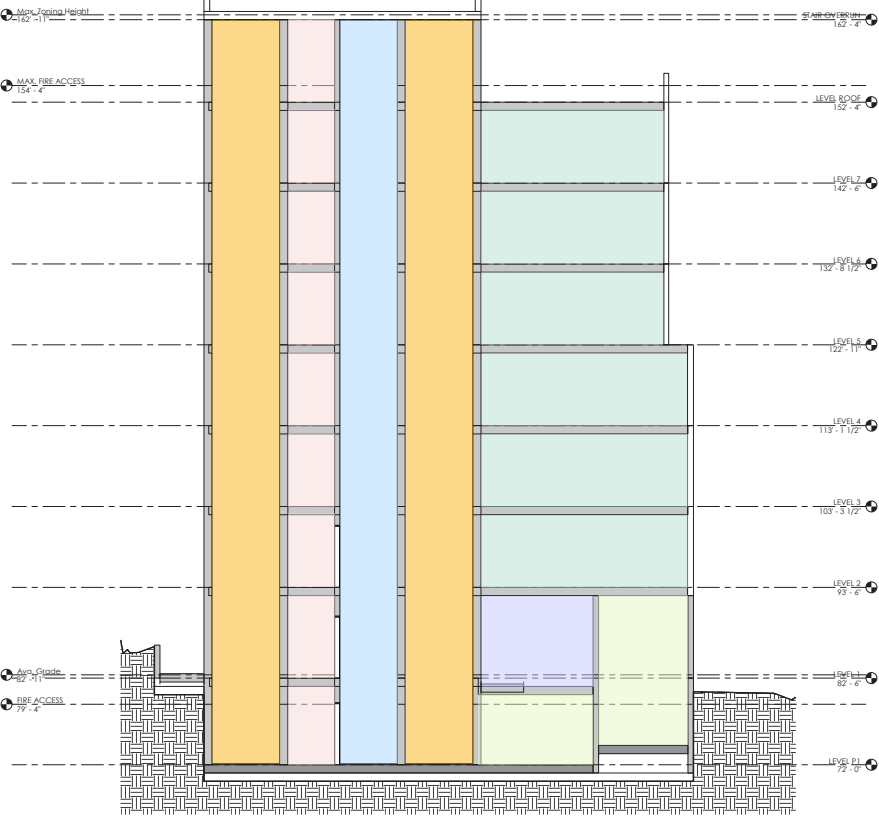


ALTERNATIVE 2

SECTIONS



SECTION A-A



SECTION 1-1

- Amenity
- Parking/Bicycle
- Elevator
- Garbage/Recycle
- Lobby/Corridor
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- Residential Unit
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- Office

ALTERNATIVE 2

DESIGN GUIDELINES

DESIGN CONCEPT

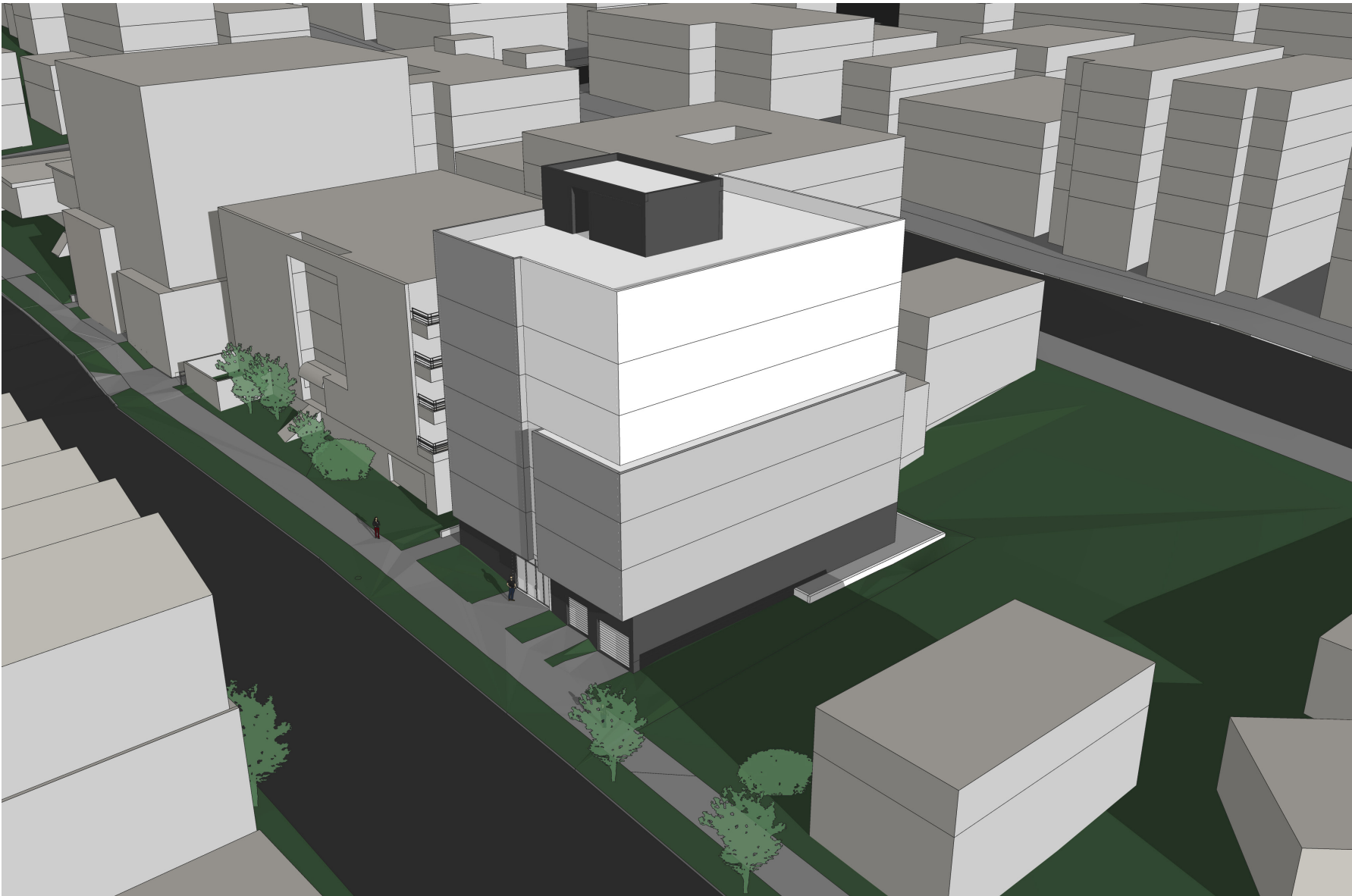
DC 2 Architectural Concept

2B. ARCHITECTURAL AND FACADE COMPOSITION: This design option modulates the facade creating an interesting 4 story base transitioning to the upper levels.

2C. SECONDARY ARCHITECTURAL FEATURES: Projecting upper levels creating recessed ground level

2D. SCALE AND TEXTURE: Breaking down the overall massing into modulations, which could be applied by materials with variation in texture and color.

2E. FORM AND FUNCTION: The building common,service, parking and residential functions of the building are legible and easy to perceive.



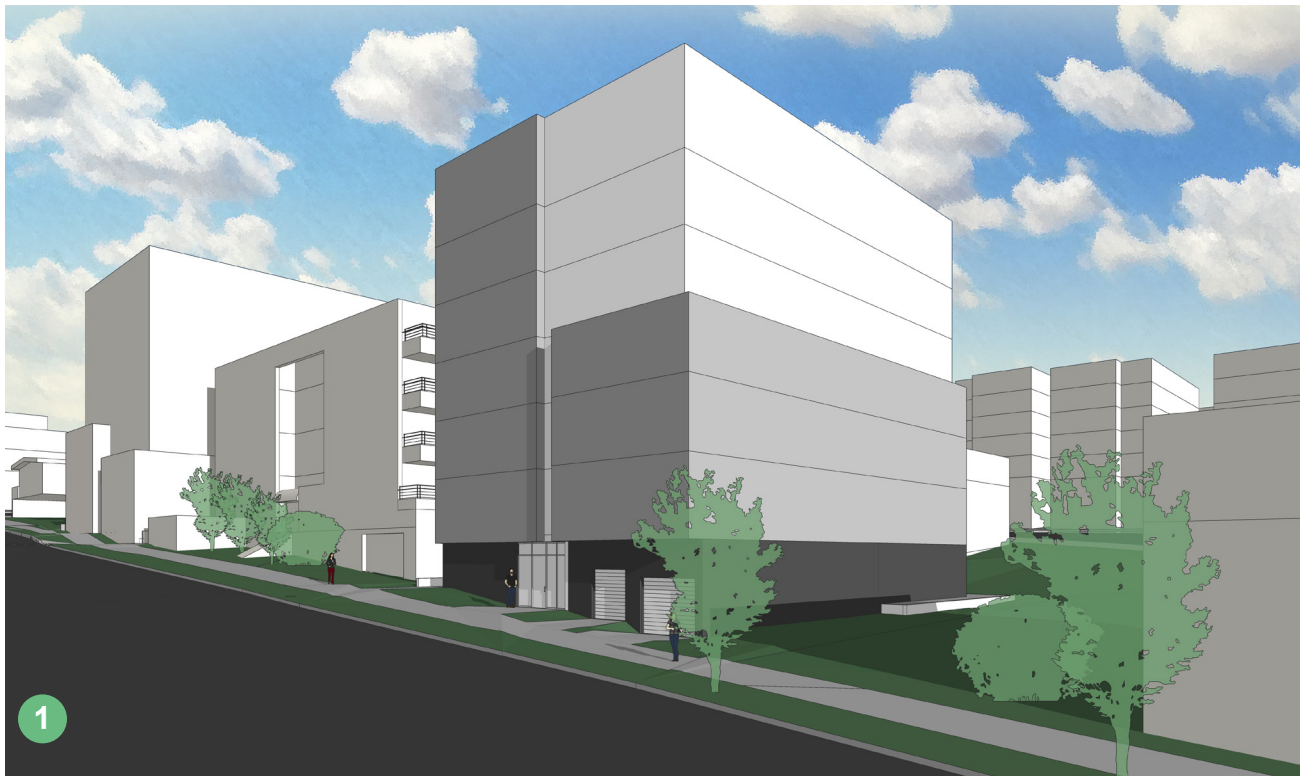
2B

2C

2D

ALTERNATIVE 2

PERSPECTIVES



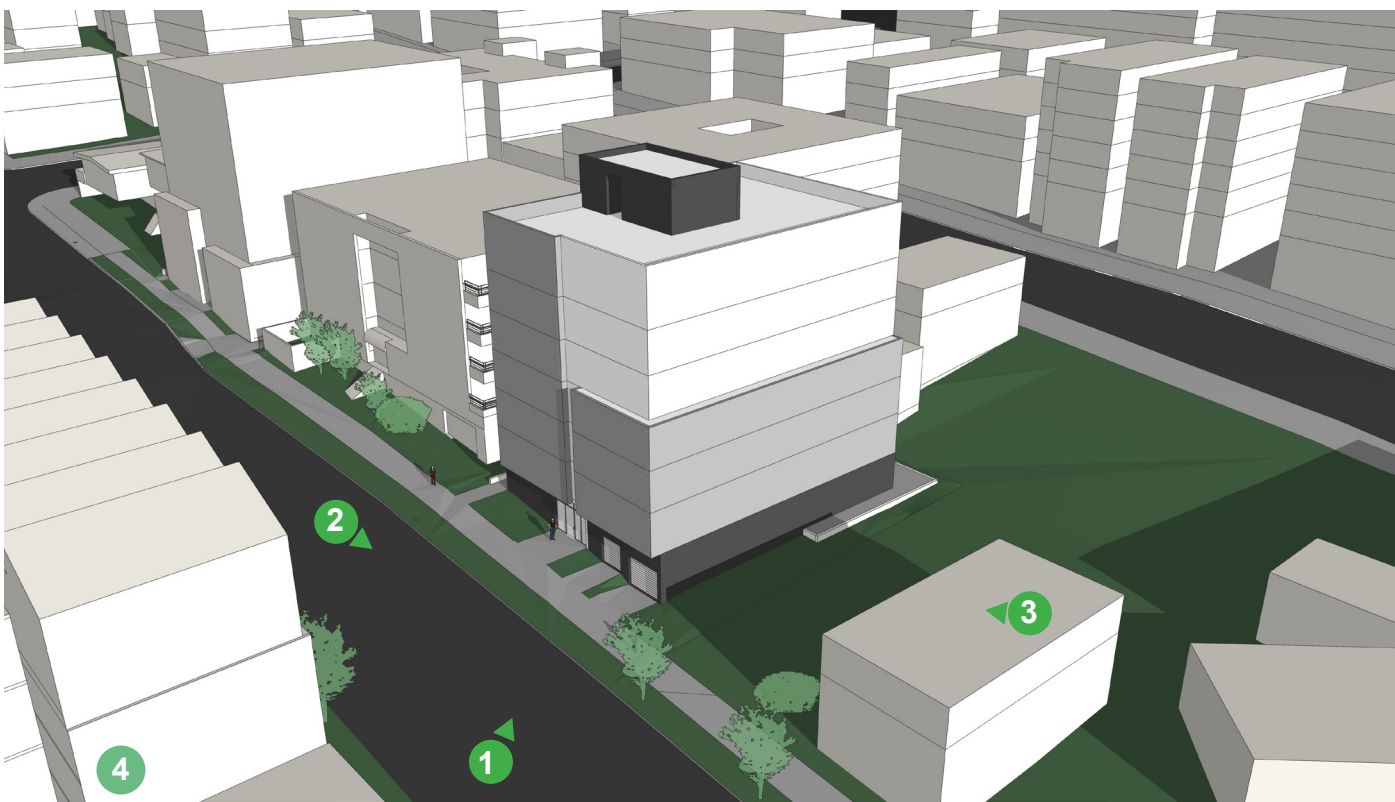
STREET PERSPECTIVE FROM SOUTH OF 7TH AVE NE



STREET PERSPECTIVE FROM NORTH OF 7TH AVE NE



PERSPECTIVE FROM P-PATCH



AERIAL VIEW LOOKING TOWARD NORTHEAST

ALTERNATIVE 2

DEPARTURE

DEPARTURE 1 : NORTH SIDE SETBACK

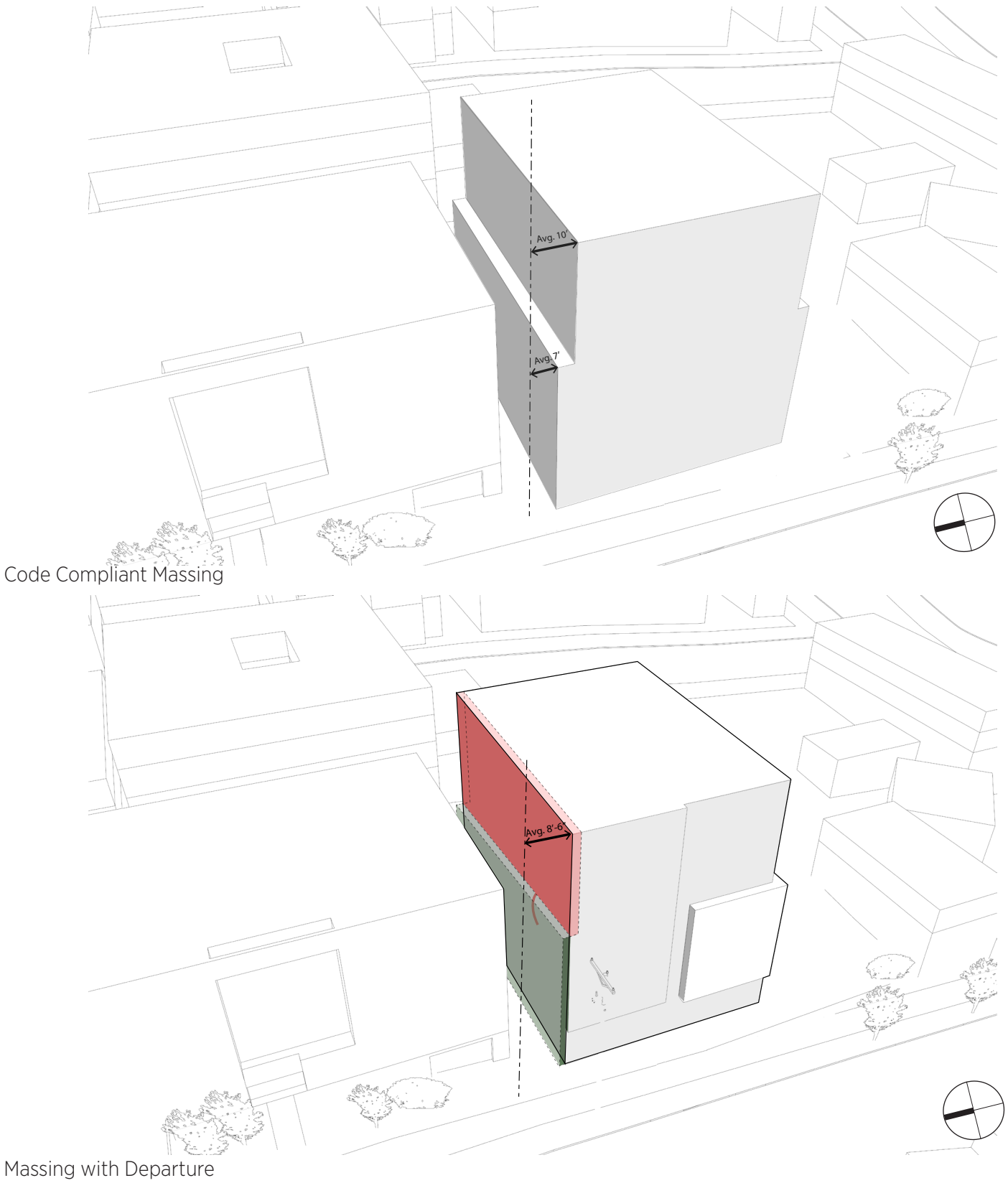
REQUIREMENT:
SMC 23.45.518 TABLE B SIDE SETBACK FROM INTERIOR LOT LINE

Side- 42 Feet or less in height: 7 feet average; 5 feet minimum;
- Above 42 Feet in height; 10 feet average, 7 feet minimum.

REQUEST:
Along North interior lot line, average 8'-6" proposed setback for structure from the ground level to roof level.

JUSTIFICATION:
The proposed setback above 42 feet is average 8'-6" instead of required 10'-0" which is offset by the increased setback below feet, 8'-6" instead of 7'-0". This results in a different profile but provides the same building total square footage by Zoning Code. The requested departure better meets design guidelines CS 2-II (Respect for adjacent sites). The existing north neighbor is a 5-story apartment building, the greater side setback from the lower levels provides more space buffer, which allowing more sunlight and large ground space for landscaping. The requested departure also provides a simplified and uniformed building massing.

SUPPORTED DESIGN GUIDANCE:
CS2-II. Respect for adjacent site
CS2-D-1 Existing development and Zoning.
CS2-D4. Height, Bulk and Scale-Massing Choices



ALTERNATIVE 3

DESIGN GUIDELINES

DESIGN CONCEPT

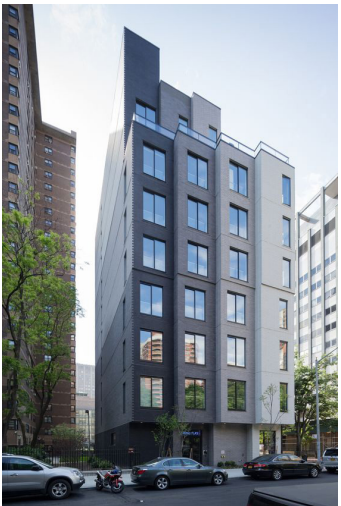
DC 2 Architectural Concept

2B. ARCHITECTURAL AND FACADE COMPOSITION: The facades are organized by massing, articulation and materials into distinct elements. The angled bays establish vertical expression while providing views towards the Southwest (Portage Bay). The location of P-Patch community garden provide large open space at the south, which opens up the south facade to be visible from the street. Emphasis the Southwest corner of the project will give it prominence in the streetscape, while providing a transition point to the South and West facade.

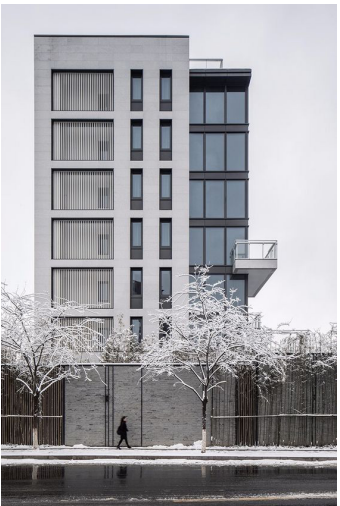
2C. SECONDARY ARCHITECTURAL FEATURES: Projecting solid frame around ground level, emphasis the building main entries, create visual depth and interest. This building will be similar in bulk and size to the neighboring building to the north and will respond to the datum lines and rhythm of the building.

2D. SCALE AND TEXTURE: The angles bays break down the overall massing into smaller scale. Design par-ti is consistent iat South and West sides of the building. Streets-cape elements, windows will provide human scale. Materials with vary in texture.

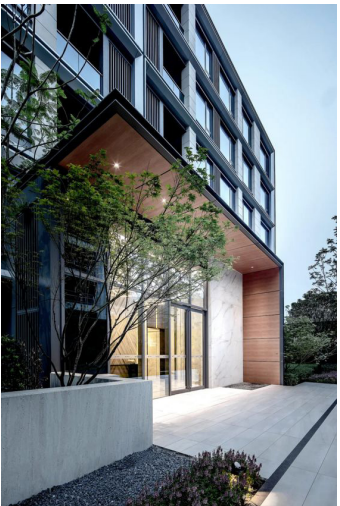
2E. FORM AND FUNCTION: The building common,service, parking and residential functions of the building are legible and easy to perceive.



Angled Bays



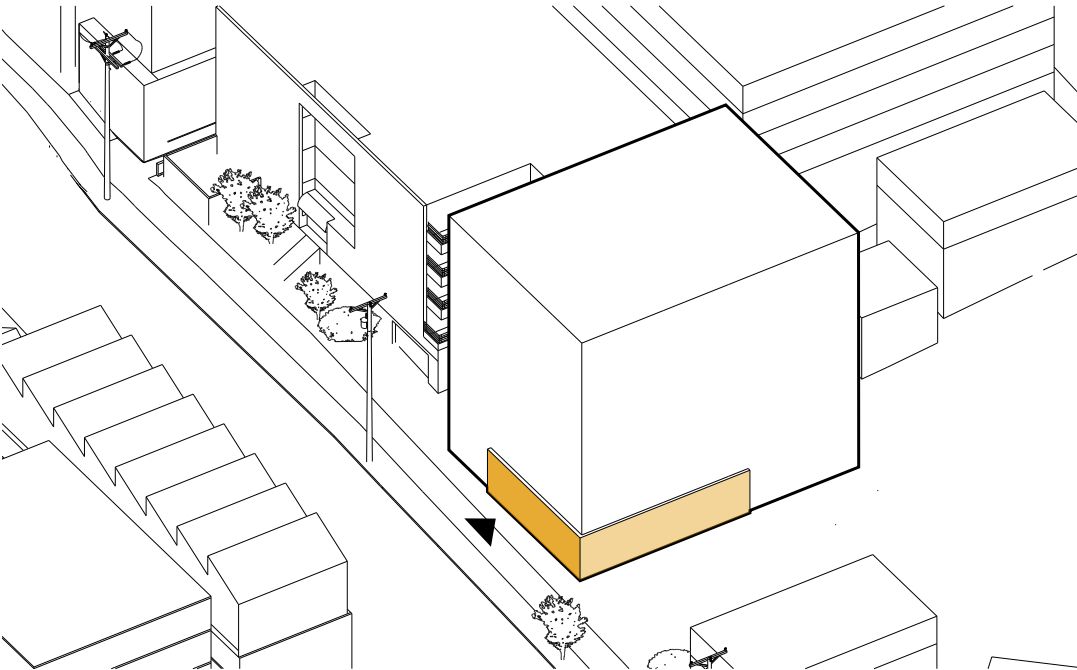
Corner Design



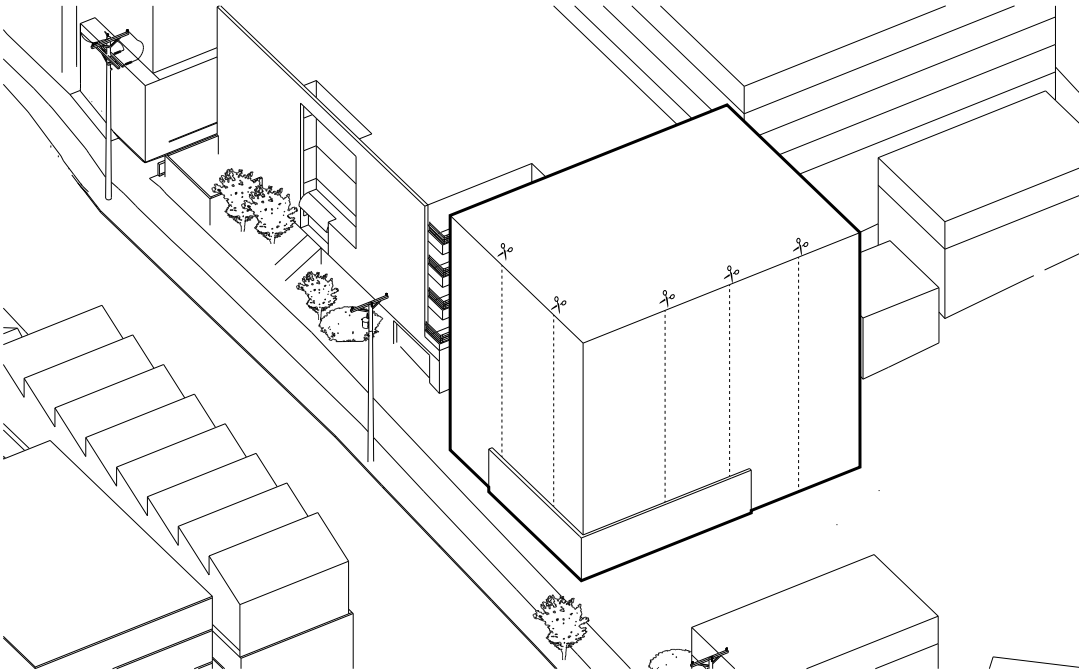
Entry Design

ALTERNATIVE 3

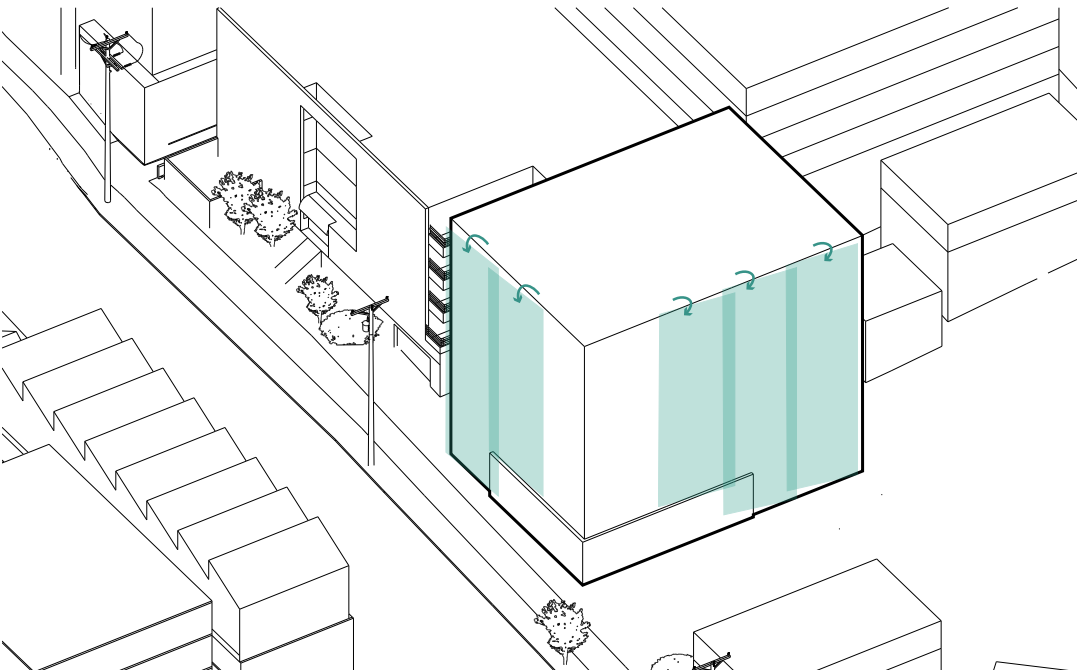
MASSING DEVELOPMENT



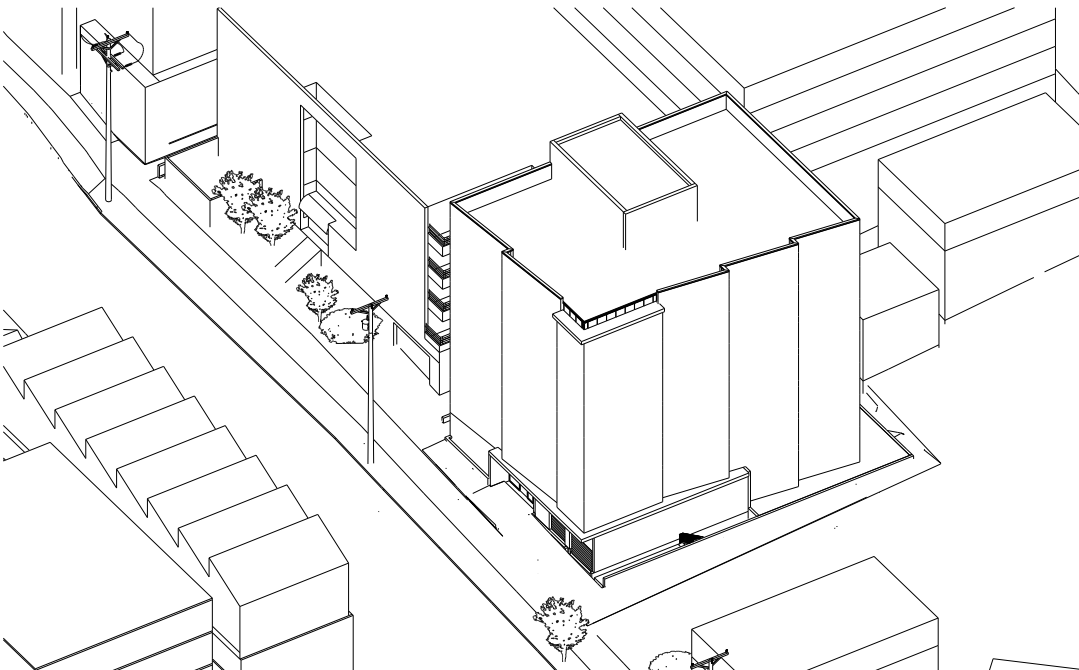
1. Differentiate service with residential use & emphasis entries.



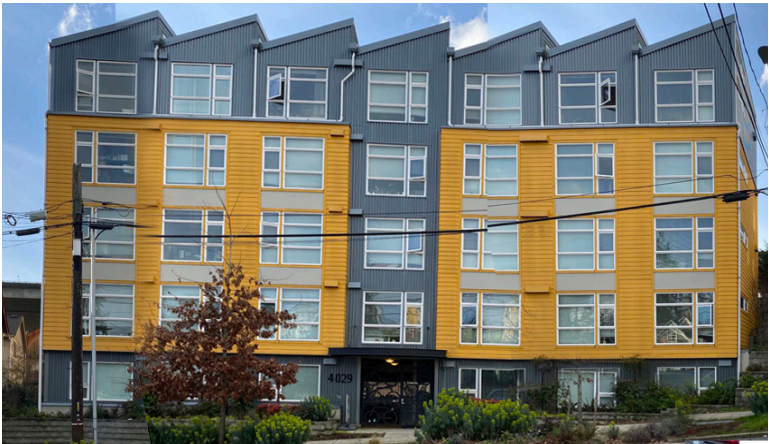
2. Divide massing into smaller scale sections.



3. Create angled bays & emphasis SW corner



4. Vertical forms & facades responding existing patterns.



Building across the street, shed roofs create vertical pattern.



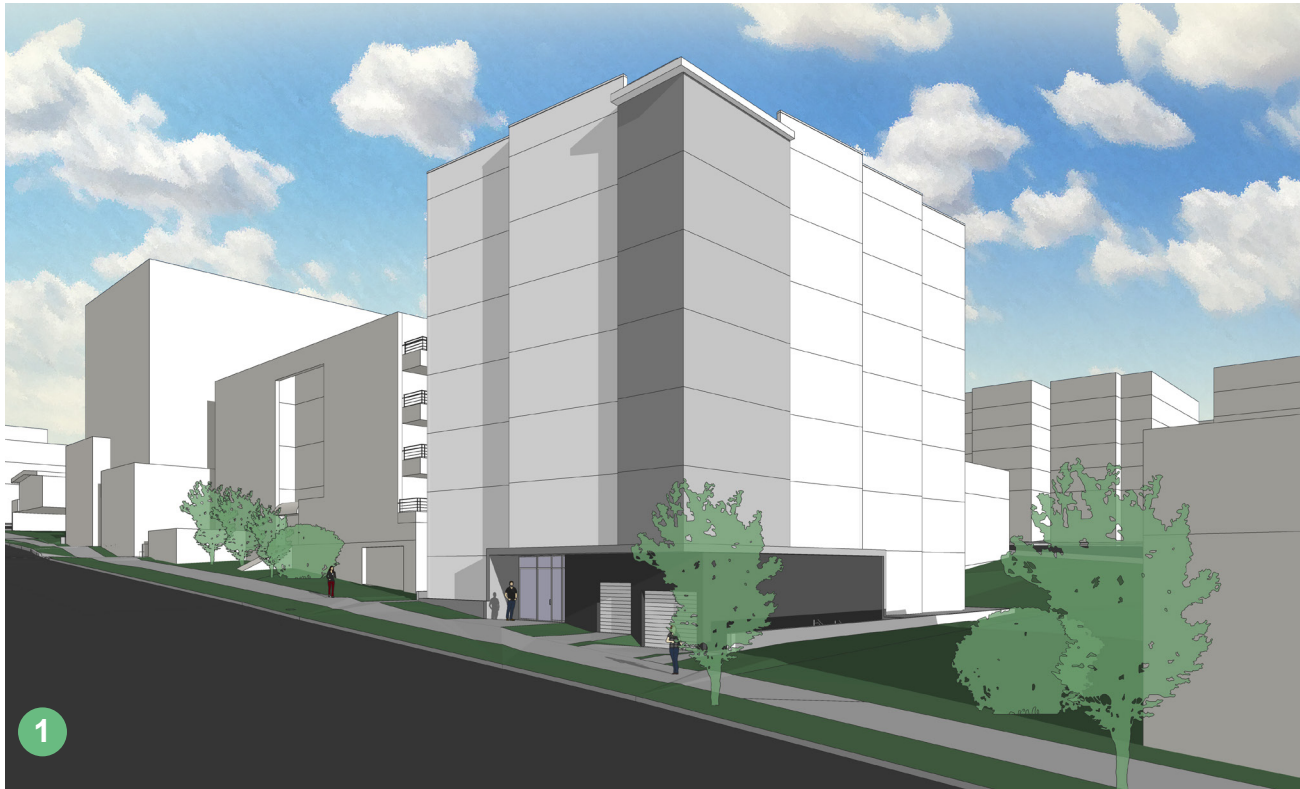
UW On-campus Dormitory; angled bays, vertical modulations.



Existing architectures features & elements; Modulations & Vertical expression.

ALTERNATIVE 3

PERSPECTIVES



STREET PERSPECTIVE FROM SOUTH OF 7TH AVE NE



STREET PERSPECTIVE FROM NORTH OF 7TH AVE NE



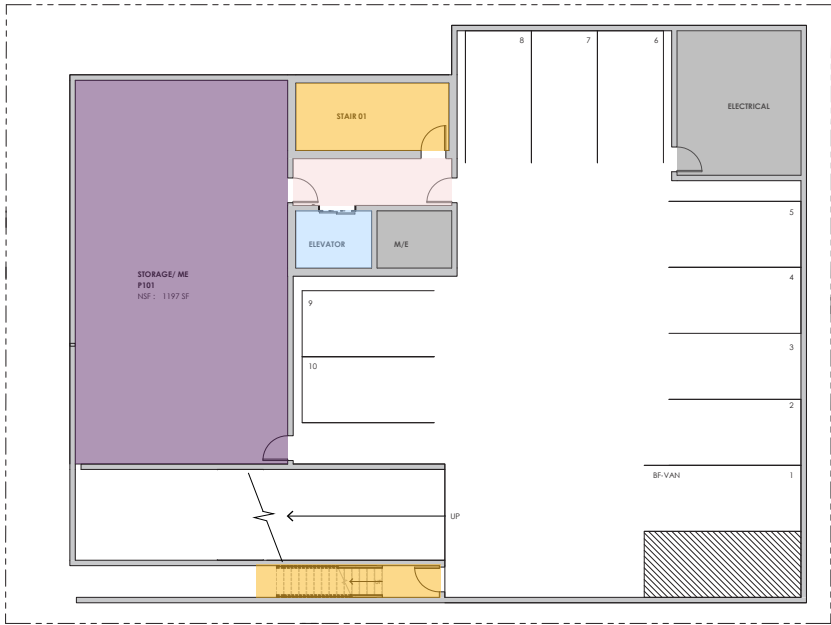
PERSPECTIVE FROM P-PATCH



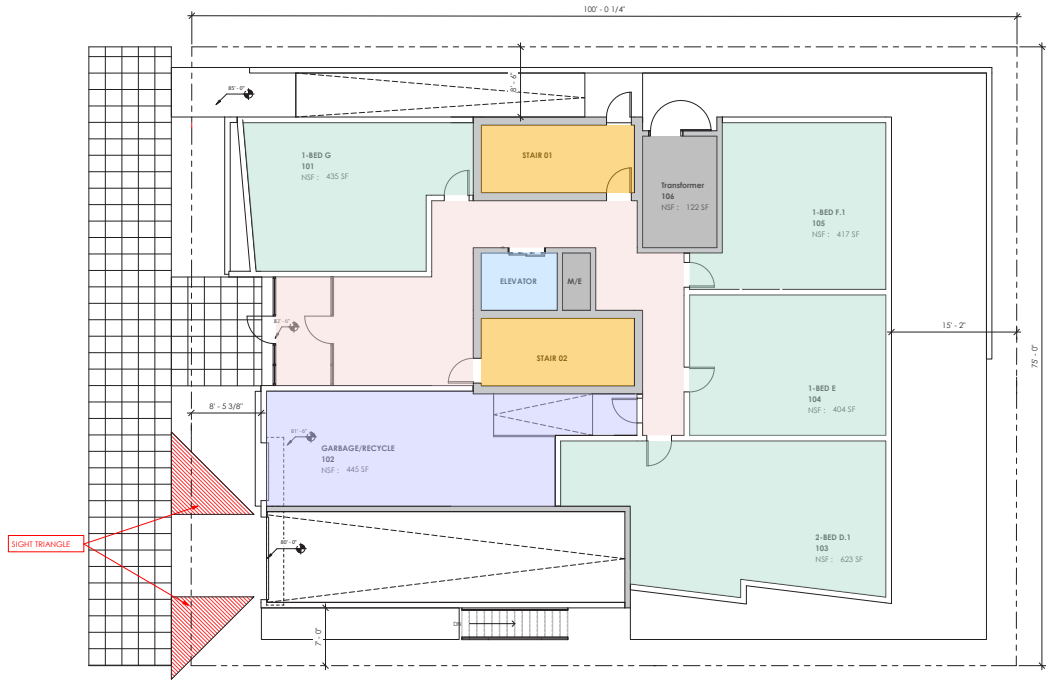
AERIAL VIEW LOOKING TOWARD NORTHEAST

ALTERNATIVE 3

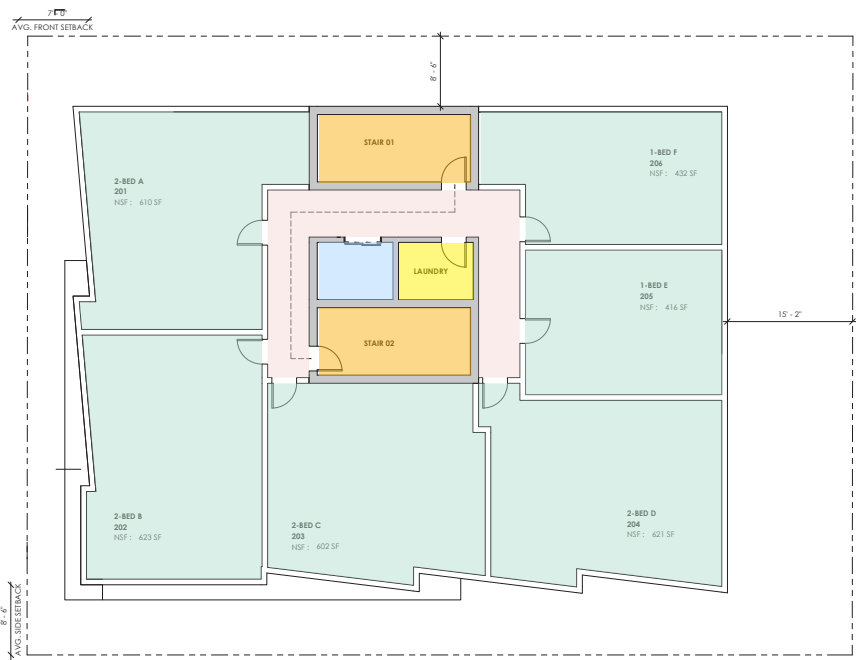
PLANS



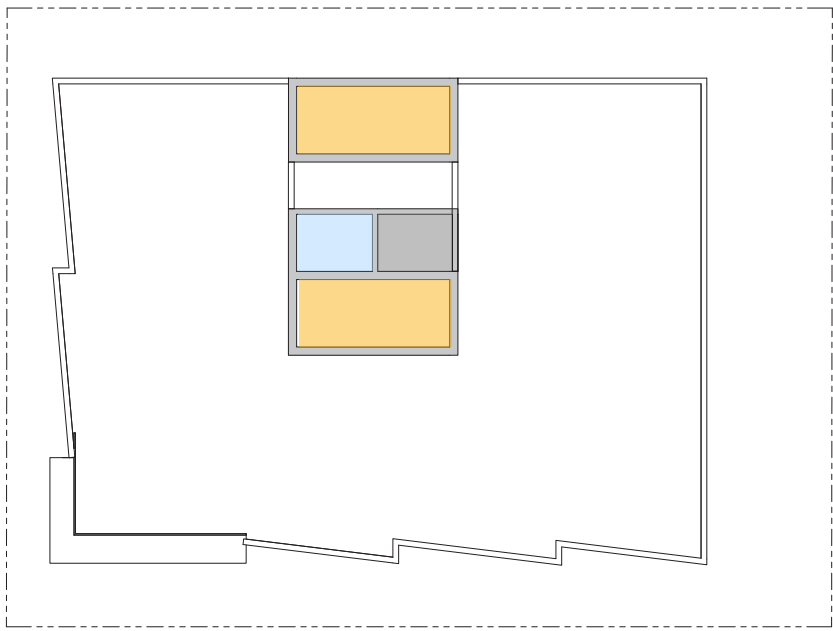
BASEMENT



LEVEL 1



LEVEL 2-7

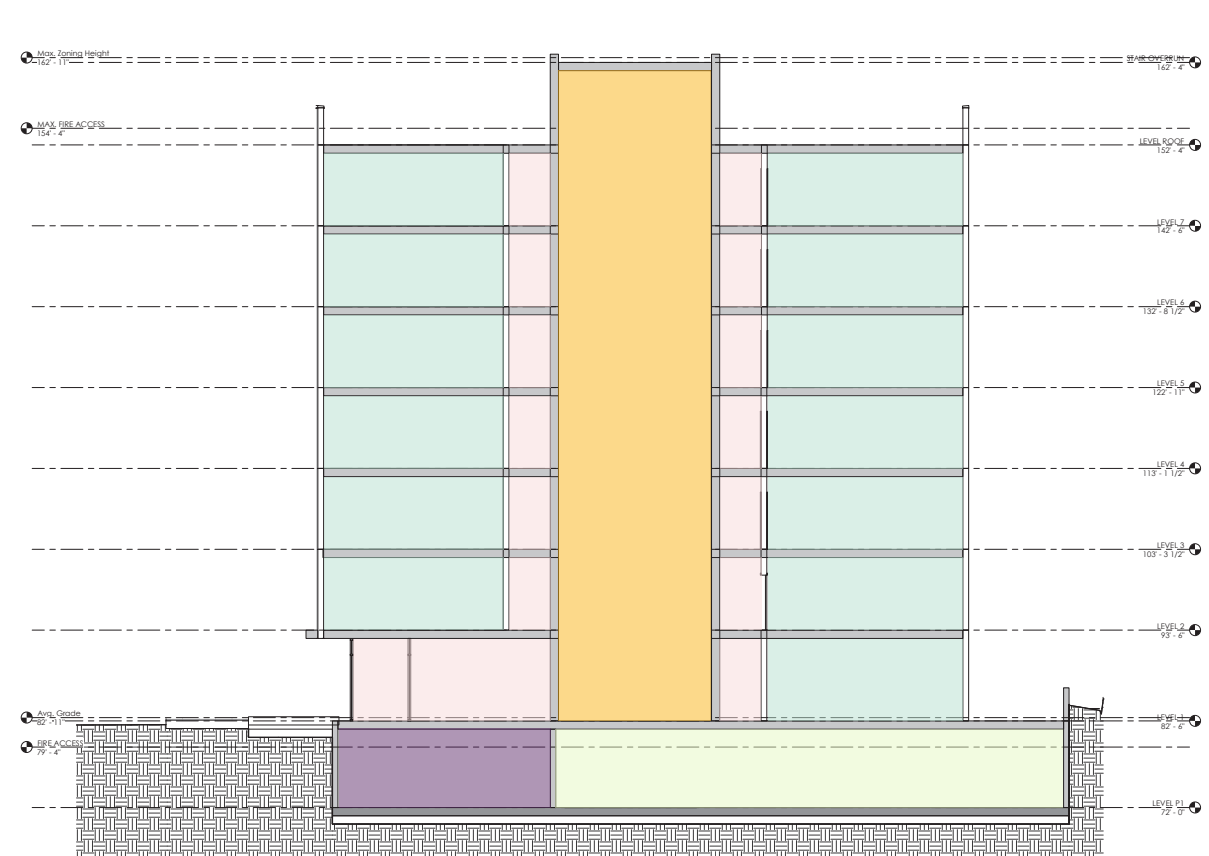


ROOF

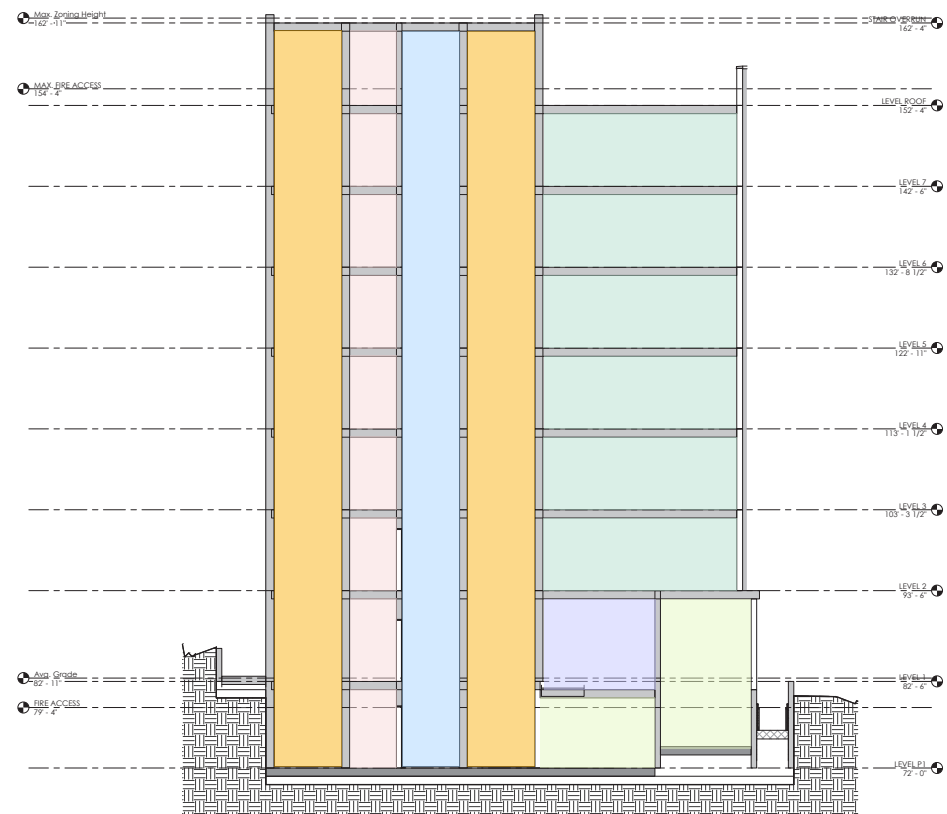
- Amenity
- Parking/Bicycle
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- Laundry
- Storage
- Office

ALTERNATIVE 3

SECTIONS



SECTION A-A



SECTION 1-1

- Amenity
- Parking/Bicycle
- Elevator
- Garbage/Recycle
- Lobby/Corridor
- M/E
- Residential Unit
- Stairs
- Laundry
- Storage
- Office

ALTERNATIVE 3

DEPARTURE #1

DEPARTURE 1 : NORTH SIDE SETBACK

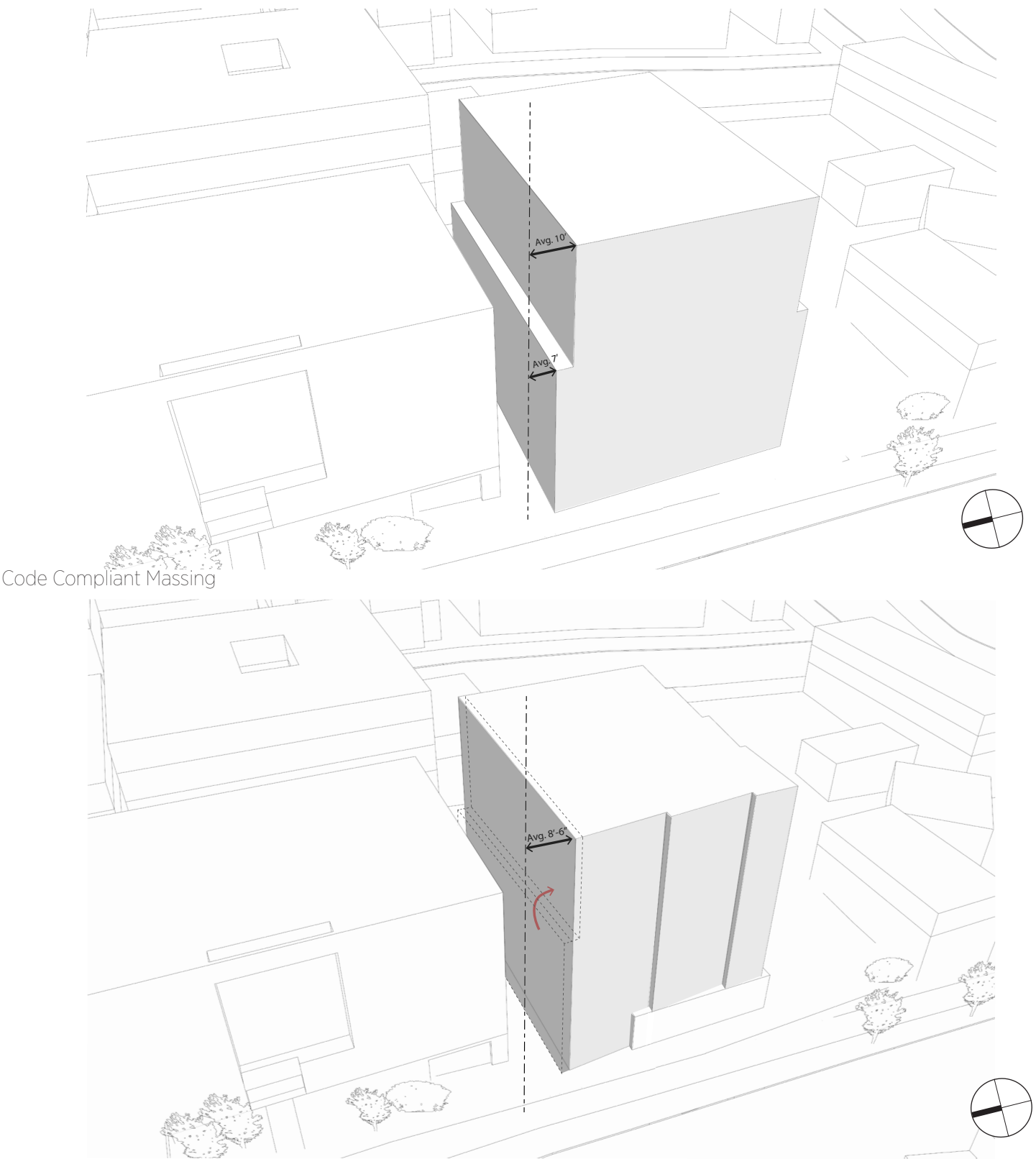
REQUIREMENT:
SMC 23.45.518 TABLE B SIDE SETBACK FROM INTERIOR LOT LINE

Side- 42 Feet or less in height: 7 feet average; 5 feet minimum;
- Above 42 Feet in height; 10 feet average, 7 feet minimum.

REQUEST:
Along North interior lot line, average 8'-6" proposed structural setback from the ground level to roof level.

JUSTIFICATION:
The proposed setback above 42 feet is average 8'-6" instead of required 10'-0" which is offset by the increased setback below 42 feet, 8'-6" instead of 7'-0". This results in a different profile but provides the same building square footage required by Zoning Code. The requested departure better meets design guidelines CS 2-II Respect for adjacent sites, CS2-D-1 Existing development and Zoning, CS2-D4. Height, Bulk and Scale-Massing Choices . The existing north neighbor is a 5-story apartment building, the greater side setback from the lower levels provides more space buffer, which allowing more sunlight and air, and large ground space for landscaping buffer. The requested departure also provides a building massing with simplified bulk and scale.

SUPPORTED DESIGN GUIDANCE:
CS2-II. Respect for adjacent site
CS2-D-1 Existing development and Zoning.
CS2-D4. Height, Bulk and Scale-Massing Choices



Massing with Departure

ALTERNATIVE 3

DEPARTURE #2

DEPARTURE 1 : SOUTH SIDE SETBACK

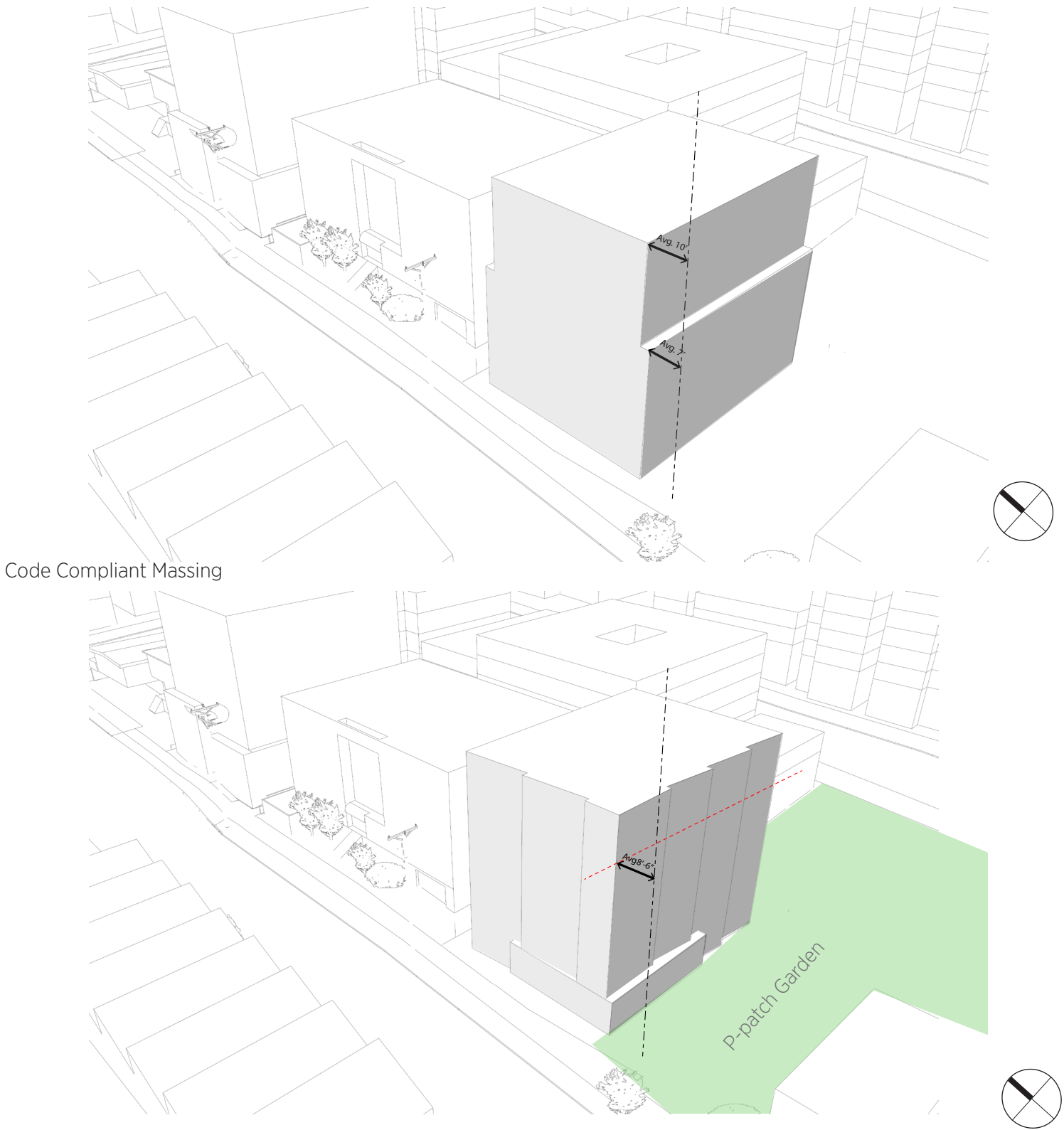
REQUIREMENT:
SMC 23.45.518 TABLE B SIDE SETBACK FROM INTERIOR LOT LINE

Side- 42 Feet or less in height: 7 feet average; 5 feet minimum;
- Above 42 Feet in height; 10 feet average, 7 feet minimum.

REQUEST:
Along South lot line, average 8'-6" average proposed setback for structure from the level 2 to roof level.

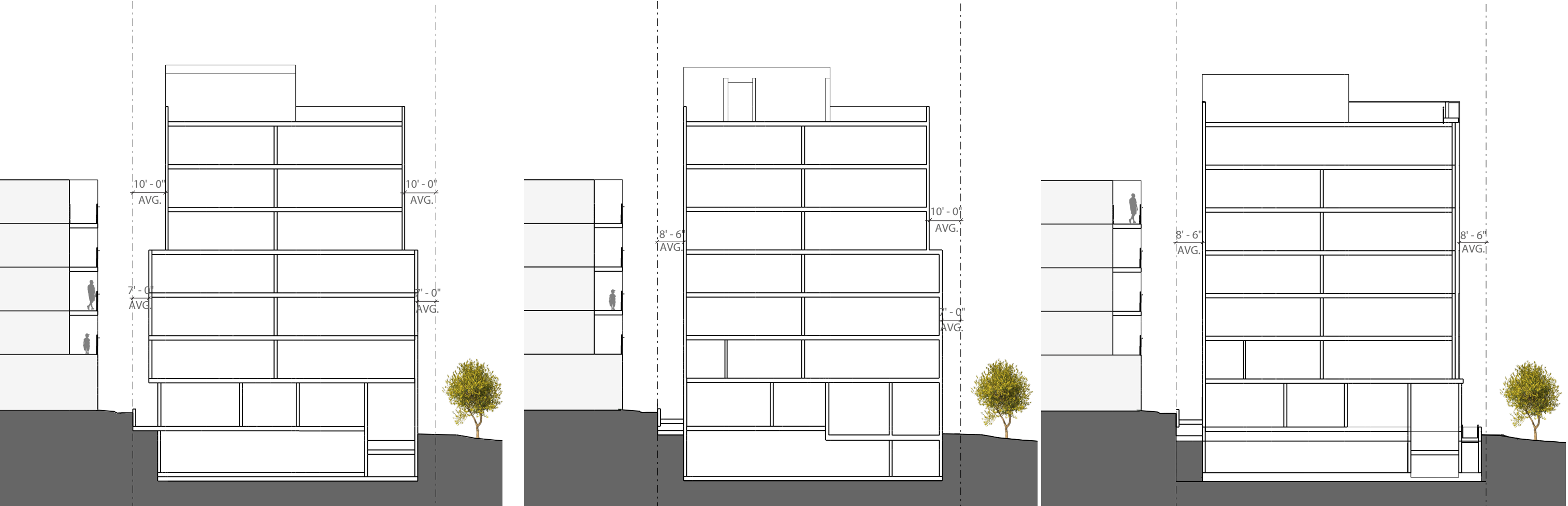
JUSTIFICATION:
The proposed project is located at a mid-block site, with the presence of P-patch Garden providing open space at the south, which should be more treated as a corner site. The proposed setback above 42 feet is average 8'-6" instead of required 10'-0" which is offset by the increased setback below feet, 8'-6" instead of 7'-0". This results in a different profile but provides the same building total square footage by Zoning Code. The requested departure better meets design guidelines CS 2-B-1 (Site Characteristics), CS2-D-4 (Height, Bulk and Scale-Massing Choices). To set the lower floors exterior facade further way from the property line would create more distance buffer. While the angled bays of the south facade maintain the integrity of the building characters, which also orients views.

SUPPORTED DESIGN GUIDANCE:
CS2-B-1. Site Characteristics
CS2-D-4. Height, Bulk and Scale-Massing Choices



Massing with Departure

DESIGN ALTERNATIVES SUMMARY



ALTERNATIVE 1 - CODE COMPLIANT

ALTERNATIVE 2

ALTERNATIVE 3

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T1 Tulip Trip 'Fastigiata'



S3 Mexican Orange



S4 Heavenly Bamboo



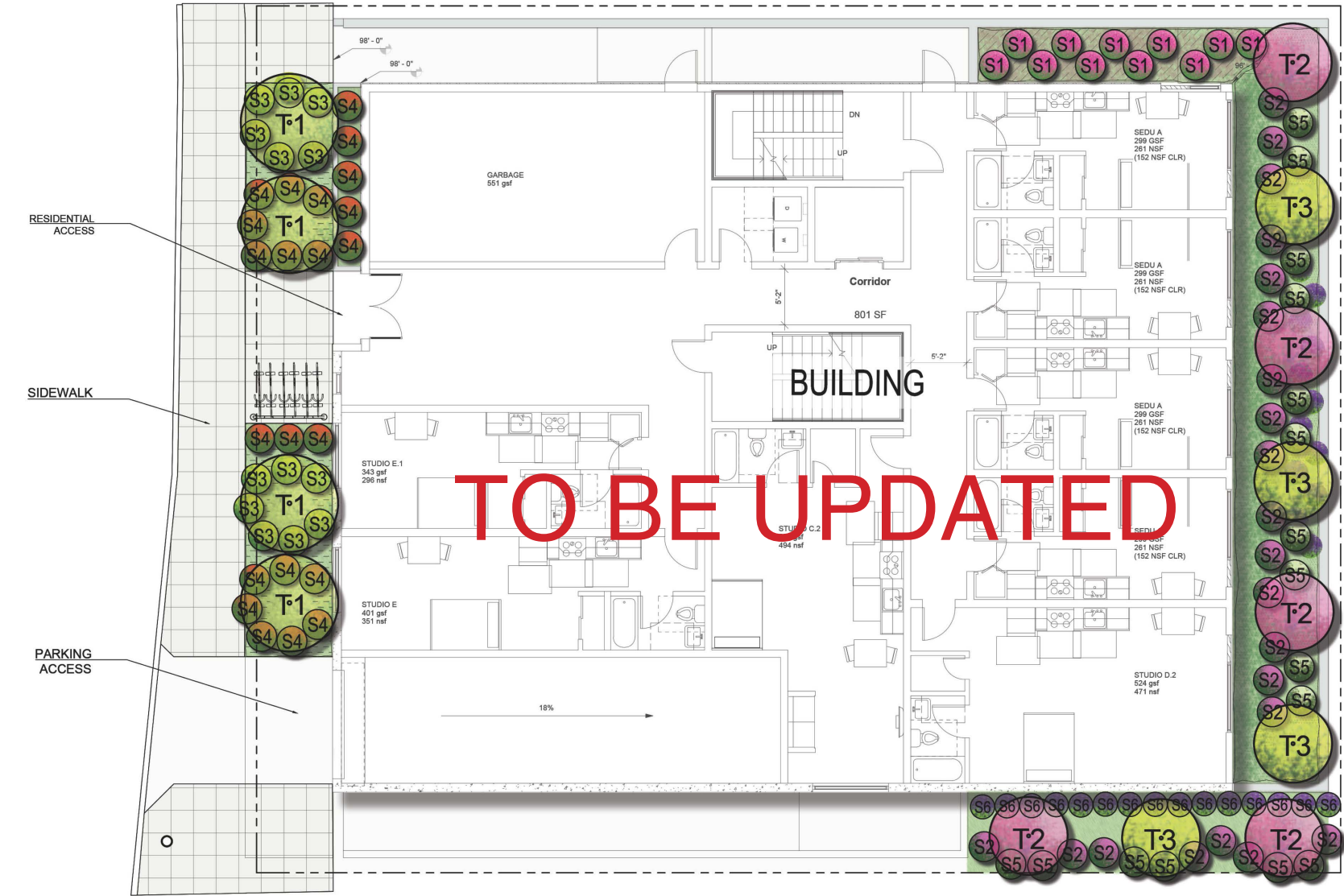
G1 Heather



Bike Rack



LANDSCAPE CONCEPT PLAN
LOTUS LANDSCAPE DESIGN



T2 Kwanzan Cherry



T3 Butterfly Magnolia



S1 Purple Gem Azalea



S2 Daphne



G3 Coral Bell



G2 Lilyturf



S6 Lavender



S5 Hydrangea

