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# Context 01

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- Design Guidelines

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# Outreach & Impact 32

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- In-Person Outreach

# Context

## Project Information

**ADDRESS** 2814 15th AVE S  
SEATTLE, WA 98116

**TAX ID NUMBER** 3086003095

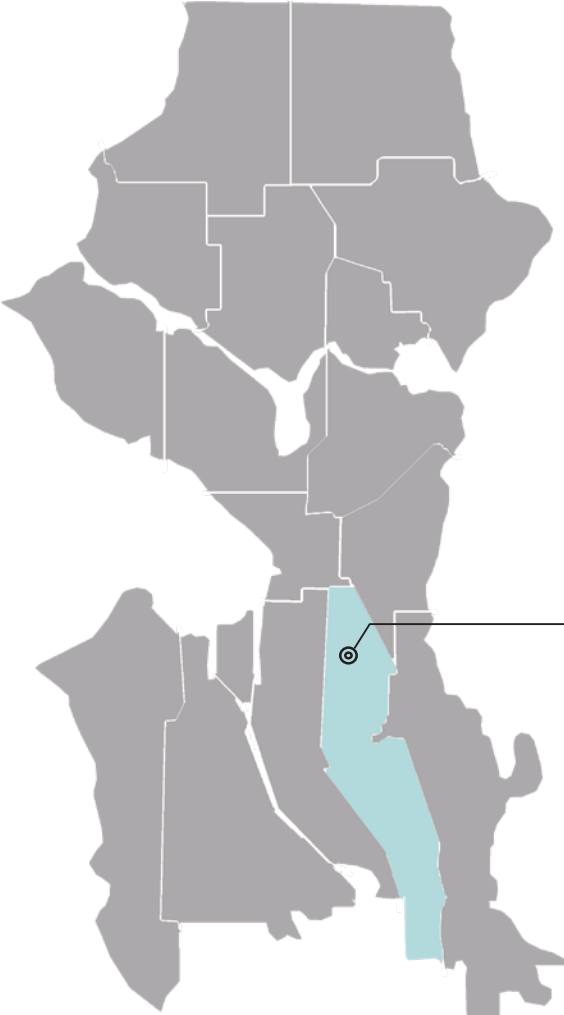
**SDCI PROJECT #** SDR: 3035354-EG

**LOT SIZE** 7,200 SF

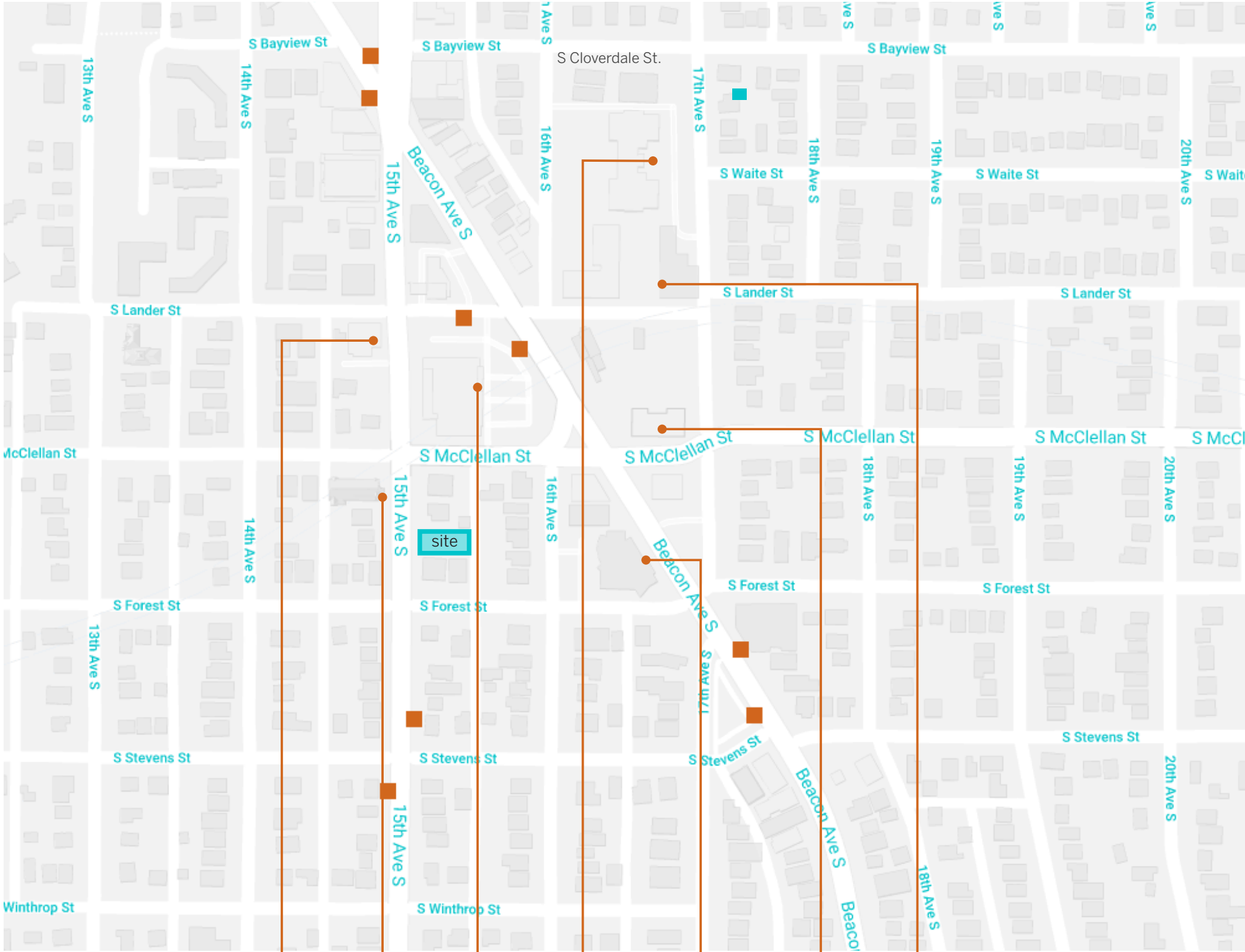
**ARCHITECT** JULIAN WEBER ARCHITECTS, LTD.  
1257 S KING ST  
SEATTLE, WA 98144

**OWNER/APPLICANT** LIVE URBAN 2, LLC  
231 MAIN AVE S. SUITE A  
RENTON, WA 98057

# Site Analysis



NORTH  
BEACON  
HILL  
SITE



Depsi Delite Bakery    St. Peter's Parish    Hilltop Red Apple    El Centro De La Raza    Beacon Hill Public Library    Fresh Flours    Light Link

VICINITY

# zoning + routes

**ZONE:** LR3 (M2)

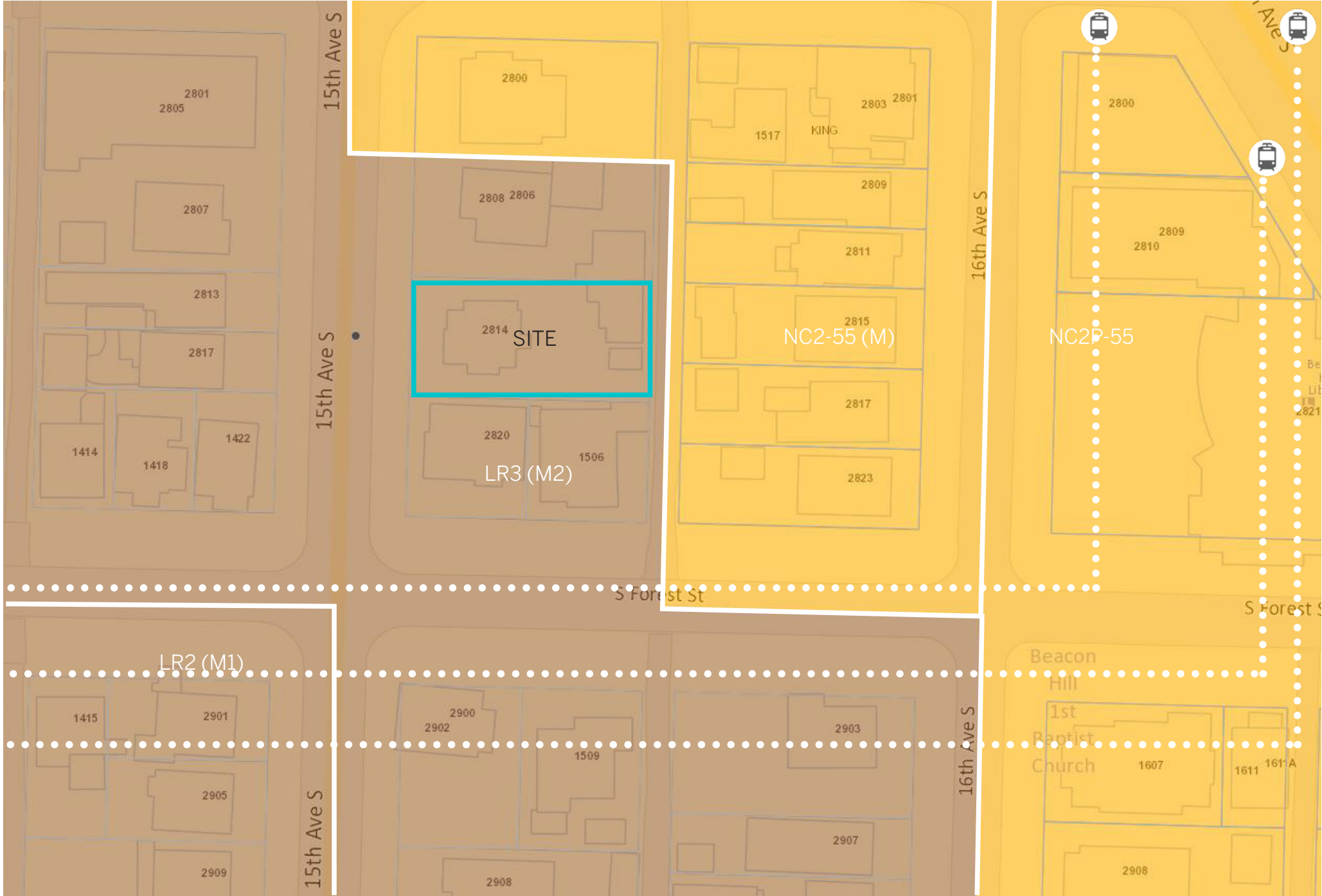
**ADJACENT ZONES:** LR3 (M2)  
LR2 (M1)  
NC2-55 (M)  
NC2P--55

**BUS ROUTES:** **9** - Rainier Beach to Columbia City to Broadway  
**106** - Renton TC to Downtown Seattle  
**107** - Renton TC to Beacon Hill  
**Link** - Univ. of Washington to Airport to Angle Lake

**36** Line  
**60** Line

**36** Line  
**60** Line  
**107** Line

**Light Link**



## PROPOSAL

8608 42nd Avenue South is currently (1) lot with (1) single family residence. The applicant proposes demo SFR, construct (8) townhouses with (6) open parking stalls.

## KEY METRICS

<b>Zone</b>	LR3 (M2)
Urban Village	Yes
Parking Flexibility	Yes
<b>Lot size</b>	7,200 sf
<b>FAR</b>	7,200 sf x 1.8 = 12,960 sf allowed (without green building standards)
	11,777 sf proposed GFA
<b>Structure Height</b>	50' + 4' parapet allowance & 10' penthouse
<b>Units</b>	(8) townhouses
<b>Parking</b>	(6) open parking stalls

## ANALYSIS OF CONTEXT

The project is located in the neighborhood of North Beacon Hill. The site is located on the local street 15th Avenue S. Directly adjacent properties to the north and south are two-story SFRs. Across the street are single family homes and on the corner of 15th and McClellan is St. Peter's Parish.

## EXISTING SITE CONDITIONS

A drawing of existing site conditions, indicating topography and other physical features, location of structures, and prominent landscape elements on the site can be found on page 9.

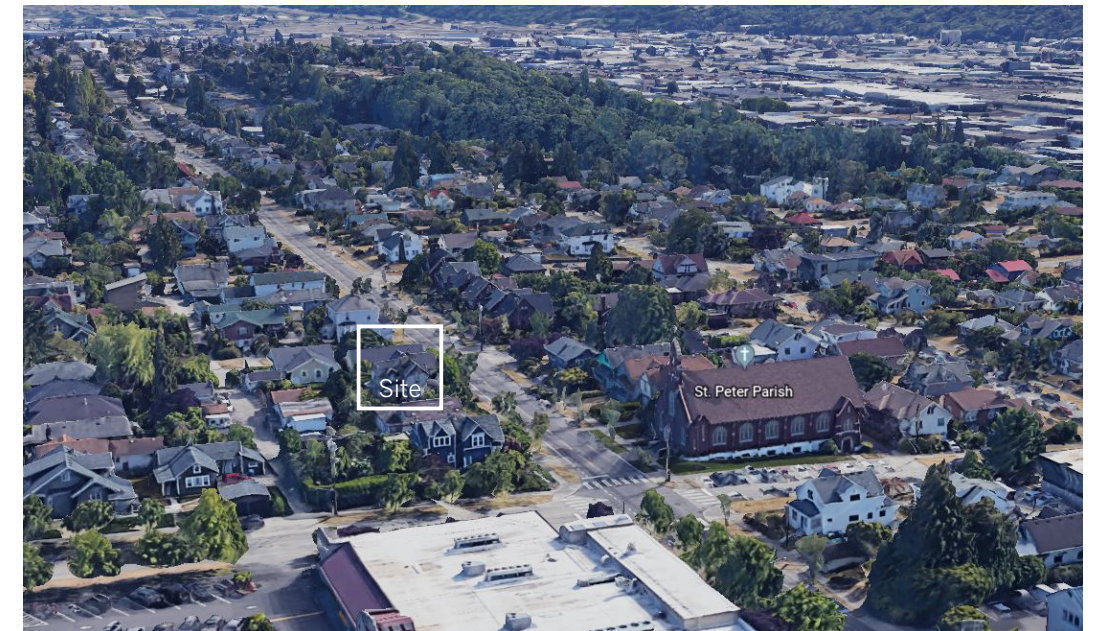
## SITE PLAN

## ARCHITECTURAL CONCEPT DESIGN GUIDELINES

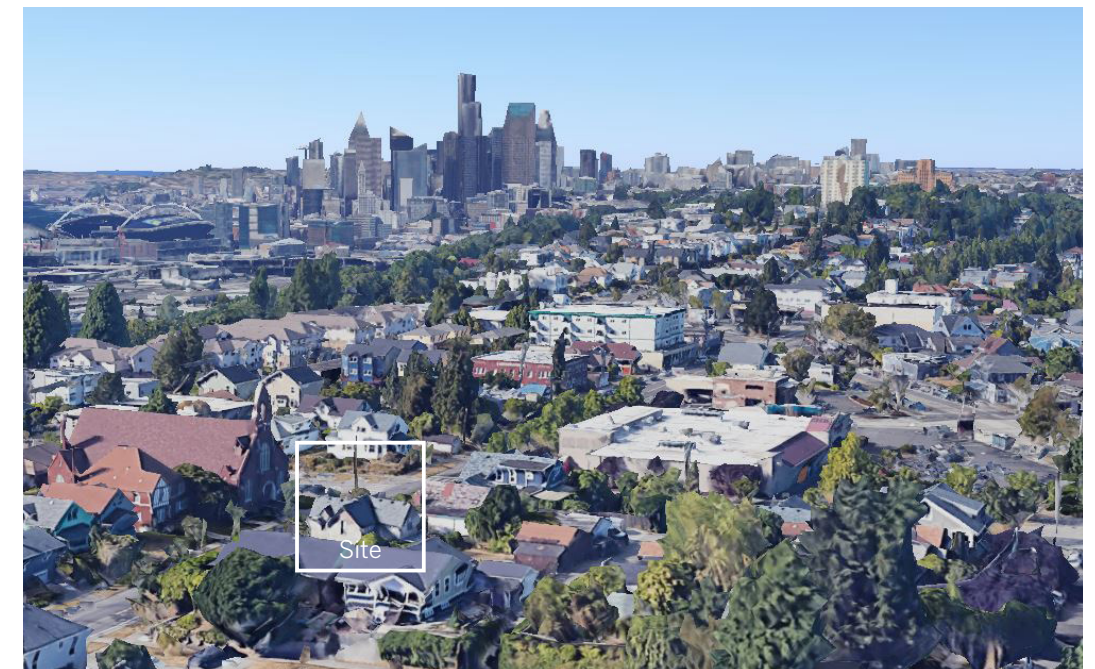
A preliminary site plan including proposed structures and open spaces can be found on page 15&16.

See page 8 for concept statement, diagrams, and images.

See pages 12 & 13 for Design Guideline Responses.



AERIAL VIEW WEST LOOKING SOUTHWEST



AERIAL VIEW LOOKING NORTHWEST

## SITE ANALYSIS



N 44th St.

15th Avenue South: North Side



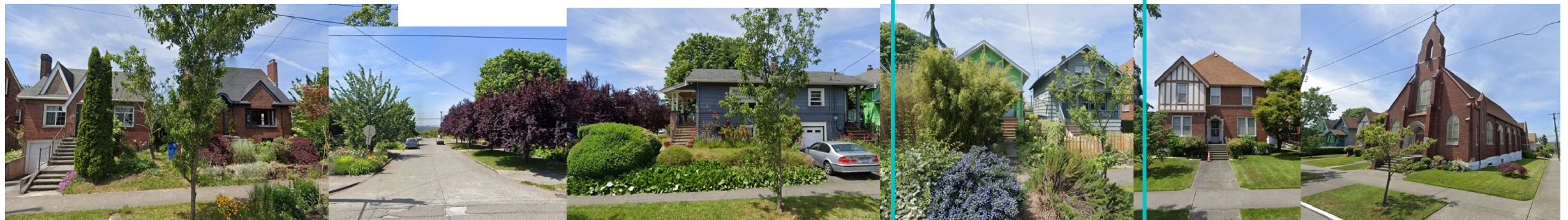
## ADJACENT CHARACTER

*This neighborhood contains a blend of single family residences, small businesses, and larger scale apartments. This lot is adjacent to many desirable amenities such as the light link station, public library, grocery, and church. This street recently was up zoned with the shift in MHA code adoption. The area should expect major development in the next few years.*



## EXISTING CONDITIONS

*The existing 1,640sf single family residence was built in 1904. It has (5) bedrooms and (1) baths. It is a (2) story unit with a (1/2) basement with a garage located on the backside of the lot on the alley*



15th Avenue South: South Side







A-D  
CON  
TXT



A



B



C



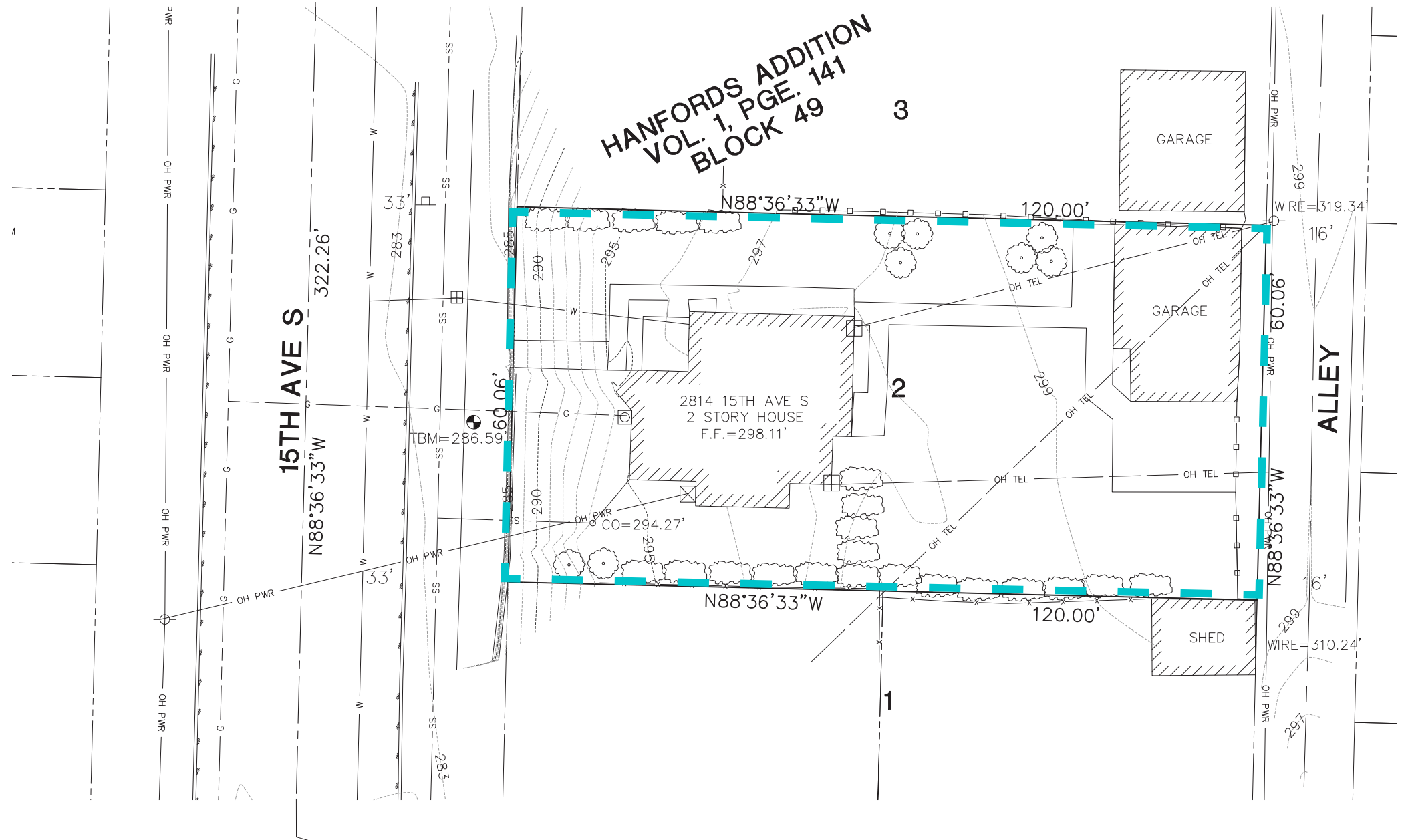
CONTEXT STUDY

**LEGAL DESCRIPTION**

LOT 3, BLOCK 34, BIGELOW'S ADDITION TO SEATTLE, VOLUME 1 OF PLATS, PAGE 176, RECORDS OF KING COUNTY, WASHINGTON.

The following development is subject to streamlined design review: (1) development that is at least 5,000 square feet but less than 8,000 square feet and (2) is proposed on a lot that was rezoned from a Single-family zone to a Lowrise 1 (LR1) zone or Lowrise 2 (LR2) zone, within five years after the effective date of the ordinance introduced as Council Bill 119057.

This requirement shall only apply to applications for new development submitted on or before December 31, 2023.



**SURVEY AND LEGAL DESCRIPTION**

## GFA PROPOSED

### TH 1

TH1-4_Level 1	387 SF
TH1-4_Level 2	377 SF
TH1-4_Level 3	439 SF
TH1-4_T.O. ROOF	110 SF
1,313 SF	

### TH 2

TH1-4_Basement	290 SF
TH1-4_Level 1	427 SF
TH1-4_Level 2	464 SF
TH1-4_Level 3	463 SF
TH1-4_T.O. ROOF	88 SF
1,733 SF	

### TH 3

TH1-4_Basement	291 SF
TH1-4_Level 1	413 SF
TH1-4_Level 2	449 SF
TH1-4_Level 3	448 SF
TH1-4_T.O. ROOF	85 SF
1,686 SF	

### TH 4

TH1-4_Level 1	394 SF
TH1-4_Level 2	359 SF
TH1-4_Level 3	417 SF
TH1-4_T.O. ROOF	86 SF
1,256 SF	

### TH 5

TH5-8_Level 1	443 SF
TH5-8_Level 2	480 SF
TH5-8_T.O. ROOF	38 SF
TH5-8_Level 3	473 SF
1,434 SF	

### TH 6

TH5-8_Level 1	451 SF
TH5-8_Level 2	486 SF
TH5-8_T.O. ROOF	82 SF
TH5-8_Level 3	481 SF
1,500 SF	

### TH 7

TH5-8_Level 1	450 SF
TH5-8_Level 2	486 SF
TH5-8_T.O. ROOF	82 SF
TH5-8_Level 3	479 SF
1,497 SF	

### TH 8

TH5-8_Level 1	419 SF
TH5-8_Level 2	454 SF
TH5-8_T.O. ROOF	37 SF
TH5-8_Level 3	447 SF
1,357 SF	
TOTAL	11,777 SF

## MARKETING SQUARE FOOTAGE

### TH1

LEVEL 1	426 SF
LEVEL 2	415 SF
LEVEL 3	482 SF
PENTHOUSE	61 SF
1,385 SF	

### TH2

LEVEL 1	458 SF
LEVEL 2	497 SF
LEVEL 3	496 SF
BASEMENT	319 SF
PENTHOUSE	100 SF
1,869 SF	

### TH3

LEVEL 1	457 SF
LEVEL 2	493 SF
LEVEL 3	492 SF
BASEMENT	319 SF
PENTHOUSE	99 SF
1,860 SF	

### TH4

LEVEL 1	431 SF
LEVEL 2	396 SF
LEVEL 3	459 SF
PENTHOUSE	51 SF
1,336 SF	

### TH5

LEVEL 1	402 SF
LEVEL 2	482 SF
LEVEL 3	521 SF
PENTHOUSE	57 SF
1,463 SF	

### TH6

LEVEL 1	405 SF
---------	--------

LEVEL 2	478 SF
LEVEL 3	515 SF
PENTHOUSE	100 SF
1,499 SF	

### TH7

LEVEL 1	407 SF
LEVEL 2	483 SF
LEVEL 3	520 SF
PENTHOUSE	100 SF
1,509 SF	

### TH8

LEVEL 1	408 SF
LEVEL 2	456 SF
LEVEL 3	493 SF
PENTHOUSE	54 SF
1,412 SF	

TOTAL 12,333 SF

## HARD SURFACE CALCULATION

### PARKING

670 SF

670 SF

TH 1-4

1,963 SF

1,963 SF

TH 5-8

2,108 SF

2,108 SF

TRASH

36 SF

36 SF

WALKWAYS

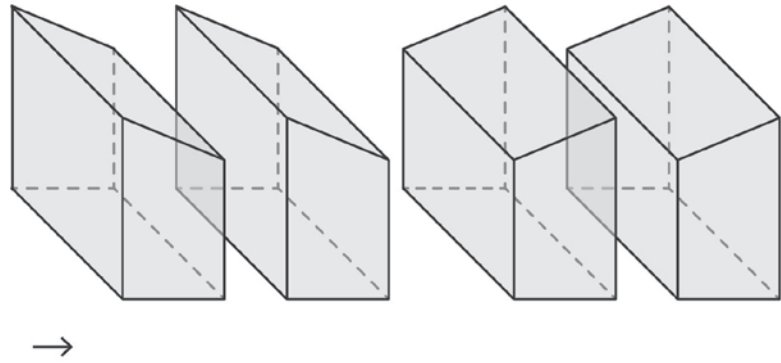
211 SF

211 SF

4,987 SF

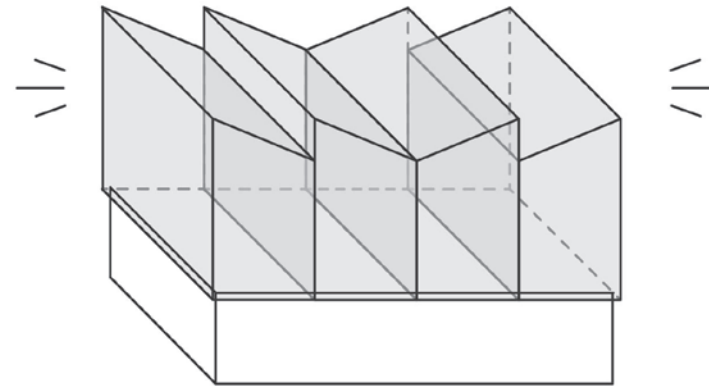
approach

1



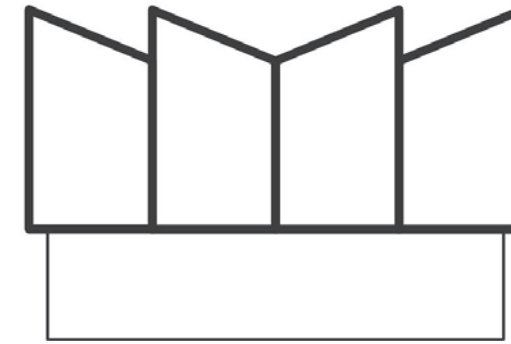
SIMILAR UNIT

2



SNAP ON BASE

3



WRAP IN

This area of Beacon Hill recently became upzoned through the adoption of the MHA code. With this project located on the busy arterial street of 15th Ave S, this project will be a precedent for development to come.

As we studied the surrounding neighborhood's character, it was evident from the start that this project would need to have roof shape. Shed roofs provide a contemporary aesthetic while providing a residential profile.

This was further highlighted by wrapping the buildings in a shroud that defined the individual units and outlined the building's form. By placing this form on a base, we recognized the opportunity to modulate at the ground level and add brightness with lighter, pedestrian scaled materials along the walkways.

PRECEDENT IMAGES



After meeting with the community at the outreach event, we had clear direction to look to the neighborhood for residential precedents. One specific project that we talked with a neighbor about was the State Street Lofts located a few blocks away. The resident liked the unique use of the fins as a material and appreciated the warmth that the orange color brought to the building.

Other precedent images were found that have similar screening devices and related back to the shroud concept. By combining these elements, the project takes on a distinctive character, much like the existing house to be demolished.

Both the vertical fins and the orange color were translated into the proposed design in this packet.

**CS1 Natural Systems and Site Features****D. Plants and Habitat**

Vegetation at the sidewalk is a strong characteristic on 15th Ave South that this project works to maintain this by locating planters below the entries and offering green space for a landscaping buffer between the sidewalk and the project. The buildings are setback farther than what is required by zoning to provide this space and to better match the setbacks of the adjacent neighbors. We are working with our landscape architect to bring native vegetation to the site - especially along the front and in the courtyard.

**CS2 Urban Pattern and Form****D. Height, Bulk, and Scale**

This project has developed a strong street facing facade to both honor the character of the existing neighborhood a provide a precedent for future development. Units are clearly articulated with a shroud to blend the scale of the project with the existing neighborhood. Deck are located at the second level which further break down the street facing mass. Secondly these decks provide an opportunity for interaction between the future residents of the project and the existing neighborhood. Along the walkways, the buildings step back and provide modulation for space, light, and air. Additionally, the street facing building has been sunk into the grade of the site to provide interest and entries off the sidewalk elevation.

**CS3. Architectural Context and Character****D. Emphasizing Positive Neighborhood Attributes**

In order to set a standard for future developments along 15th Ave S, this project intentionally uses shed roof shapes to both compliment the neighborhood and introduce a contemporary aesthetic. We looked to influential buildings in the area, such as the Beacon Hill Library and it's prominent roof line. Our community outreach efforts also lead us to look at projects that the neighbors enjoyed aesthetically, like the State Street Lofts.

**PL3 Open Space Connectivity****C. Outdoor Uses and Activities**

This project creates two green open spaces. The first is a full courtyard between the proposed buildings that is activated with landscaping and seating, which would be accessible for all future residents. The second open space is created in between the sidewalk an the entries for the front set of townhomes. This area has be softened with landscaping and greenery to create a pleasant pedestrian experience for the surrounding neighborhood. We've also allowed

**PL3 Street Level Interaction****A. Entries**

Entries have been articulated by an overhang on both buildings which clearly delineates the private entries from the public walkways. The addition of the vertical fins creates the illusion of privacy while still allowing visual sightlines to the right of way. By elevating the entries off the street, we were also able to use the stairs and an architectural cue that represents the threshold of entering the privately owned site. Units have address signage that face the street and wayfinding signage for those entering from the courtyard space

**DC2. Architectural Concept****B. Architectural Facade Composition**

The facade concept is repeated throughout the project. Similar shroud language faces the courtyard space as well as the alley. Materials were kept to a minimum so as to not overwhelm the buildings' forms. Along the front retaining walls, we opted to implement trellis walls to bring greenery and vegetation to the building's appearance.

**CS1 Natural Systems and Site Features**

**I. Residential Open**

This project is not developing to the full potential of 50' in height. By keeping the project to 30'+, we are able to preserve more light and views on the site. Additionally, the buildings step down with the grade and provide some sightlines over one another. No existing trees were on site and thus, no trees are proposed to be removed. The buildings are setback further than what is required by zoning to better match the setbacks of the adjacent neighbors.

**CS2 Urban Pattern and Form**

**III. Height, Bulk, and Scale Com-**

Each unit in these buildings are articulated through massing or secondary architectural features (shroud). This breaks down the mass of the project and has it read as more appropriately scaled units rather than large apartment buildings. Vegetated trellises and occupiable courtyard space has been incorporated to the site design to create pleasant pedestrian scaled experiences. Sinking the street facing building into the slope of the site helps integrate the project into the site and keep the perceived height down.

**PL2. Walkability**

**I. Personal Safety and Security**

The project creates a clear transition from public to private space by utilizing the entry stairs as a physical threshold. Additionally, TH1-4 entry doors face the street. All occupiable spaces in units have glazing that overlooks public walkways and right of ways. Landscaping helps create soft transition buffers to the site as well. Exterior lighting is provided for each unit as well as along walkways and near the trash and parking stalls off the alley.

**PL3 Street Level Interaction**

**I. Human Activity**

There are many opportunities for interaction on site at various degrees of privacy. The grand entry off 15th Avenue South and the shared courtyard located at the interior of the site encourage resident interaction. Unit specific interaction opportunities happen on the living/dining/kitchen open floor plans and the outdoor amenity spaces.

**DC1 Project Uses and Activities**

**I. Parking and Vehicular Access**

Parking and trash are both located off the alley. No curb cuts are proposed in this project. Parking and trash pick up should not effect pedestrian access and patterns. Green stalls help mitigate stormwater run off. Bio-retention planters are proposed near the courtyard and street facing facade.

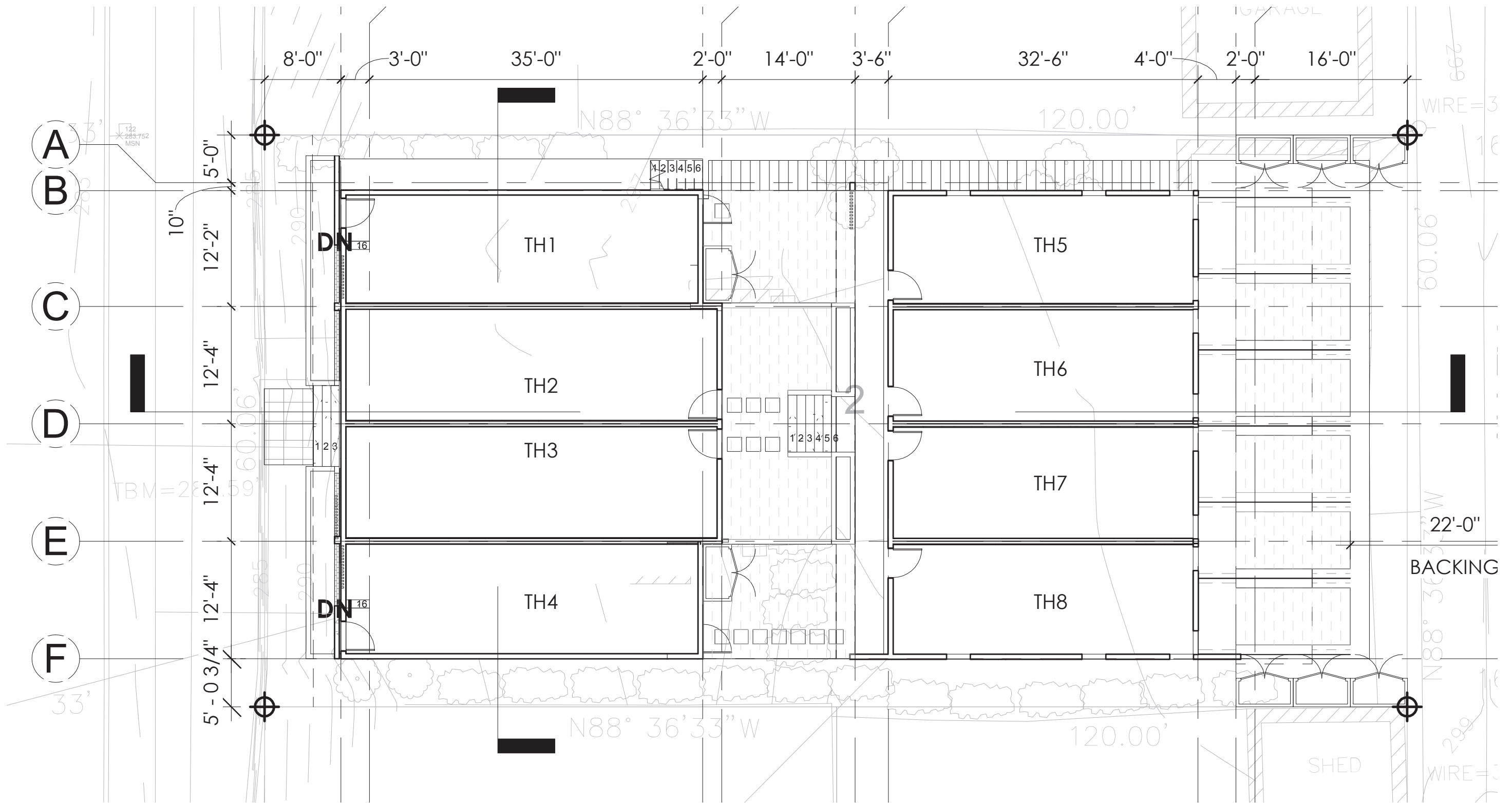
**DC3. Open Space Concept**

**I. Landscaping to Enhance the Building and/or Site**


Downspouts from the buildings' roofs are routed into bio-retention planters that provide plantings along walkways. We are working with our landscape architect to add many native landscapings. No existing trees are located on site.

design



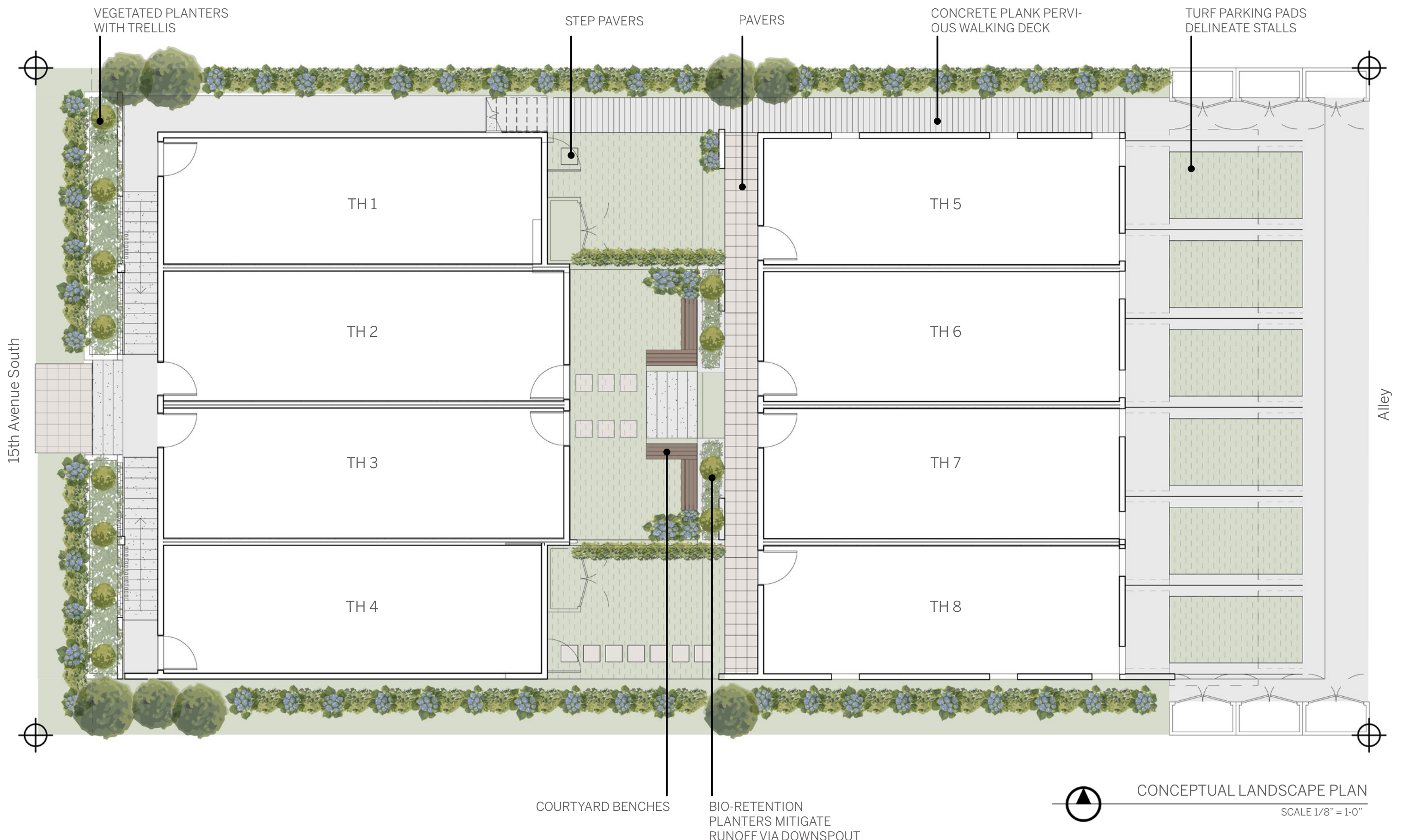


	Required	Provided
<b>Front:</b>	7' average, 5' minimum	8'-0" average, 8'-0" minimum
<b>Side (north):</b>	5' minimum	5'-0" minimum
<b>Side (south):</b>	5' minimum	5'-3/4" minimum
<b>Rear:</b>	7' average, 5' minimum	17'-0" average, 16'-0" minimum



**SITE PLAN**  
 SCALE: 1/8" = 1' 0"

**SITE PLAN**



LANDSCAPE PLAN



FERN



PACIFIC RHODODENDRON



BLUE HYDRANGEA



TUSCAN BLUE ROSEMARY



HIDCOTE BLUE LAVENDER



SHORE PINE



HORSETAIL REED GRASS

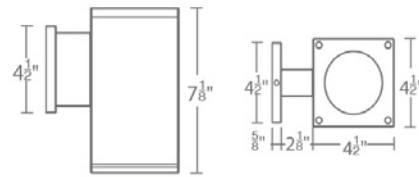
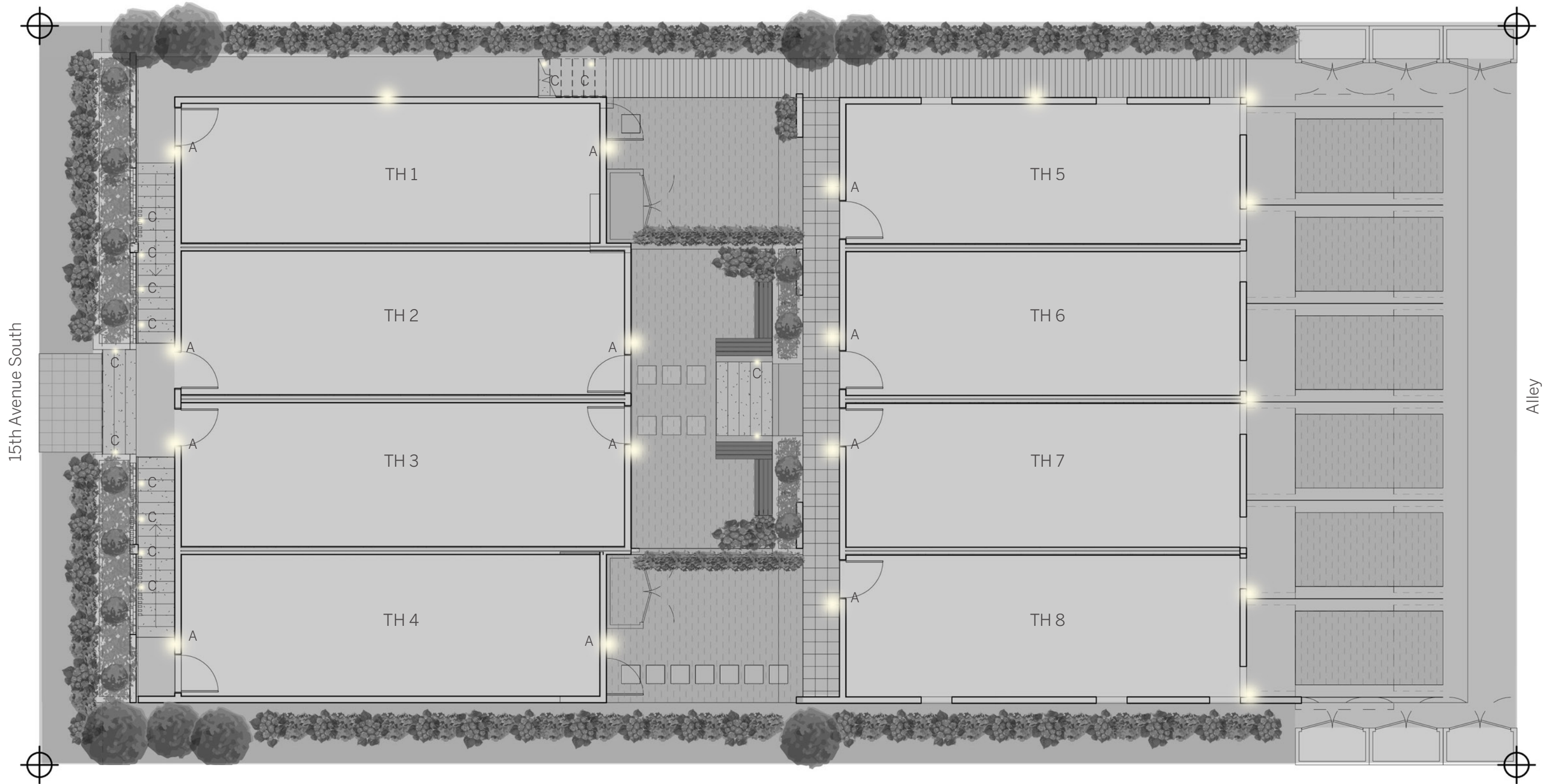


MAHONIA SOFT CARESS

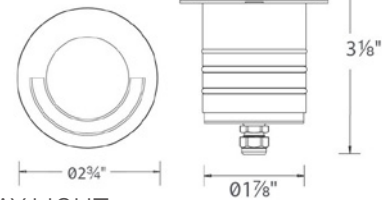


MEXICAN FEATHER GRASS

## EXAMPLE PLANTINGS



A | WALL MOUNTED DOWNLIGHT  
 B | WALL MOUNTED DOWNLIGHT - MOTION SENSORED

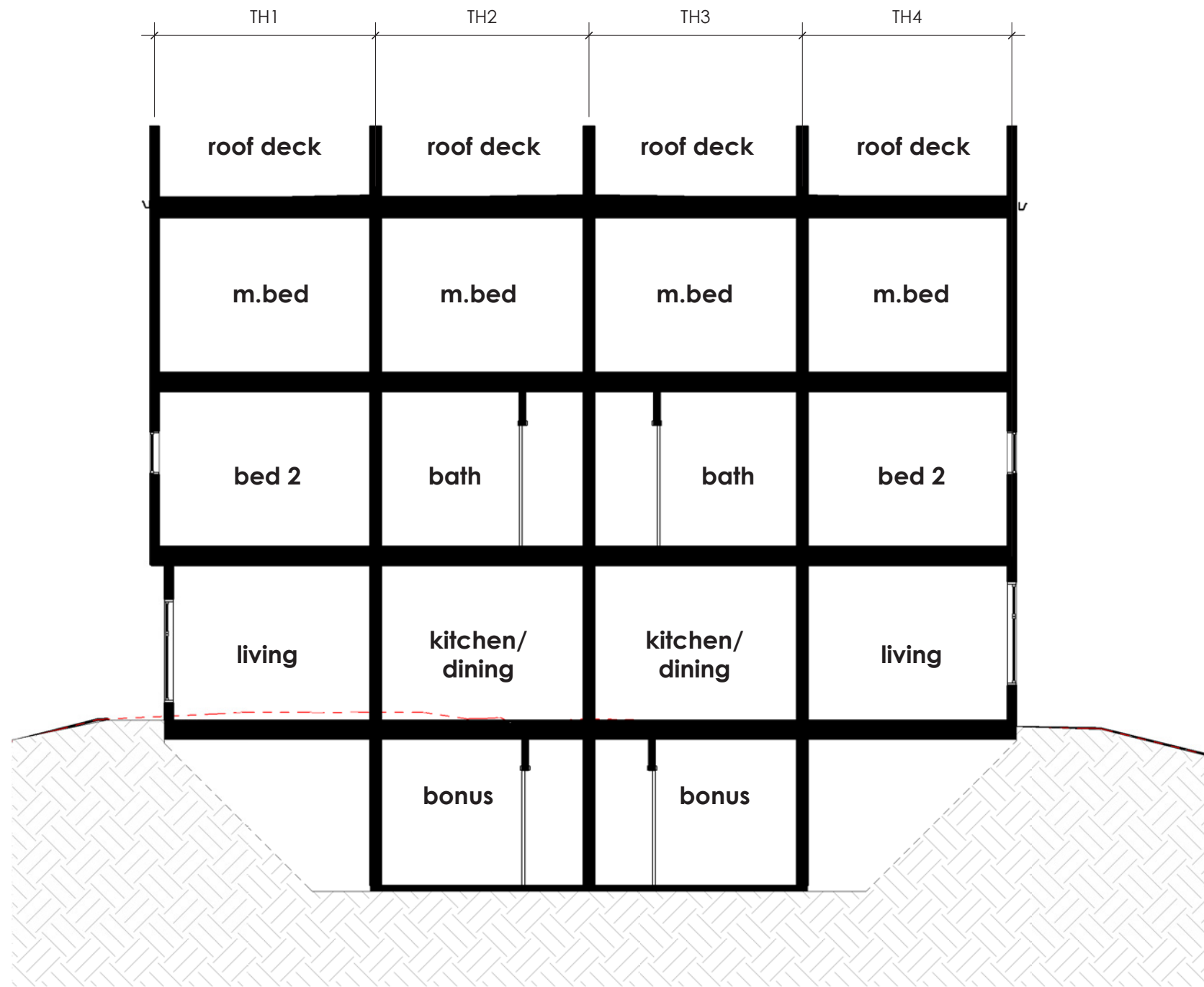


C | IN-GRADE WALKWAY LIGHT

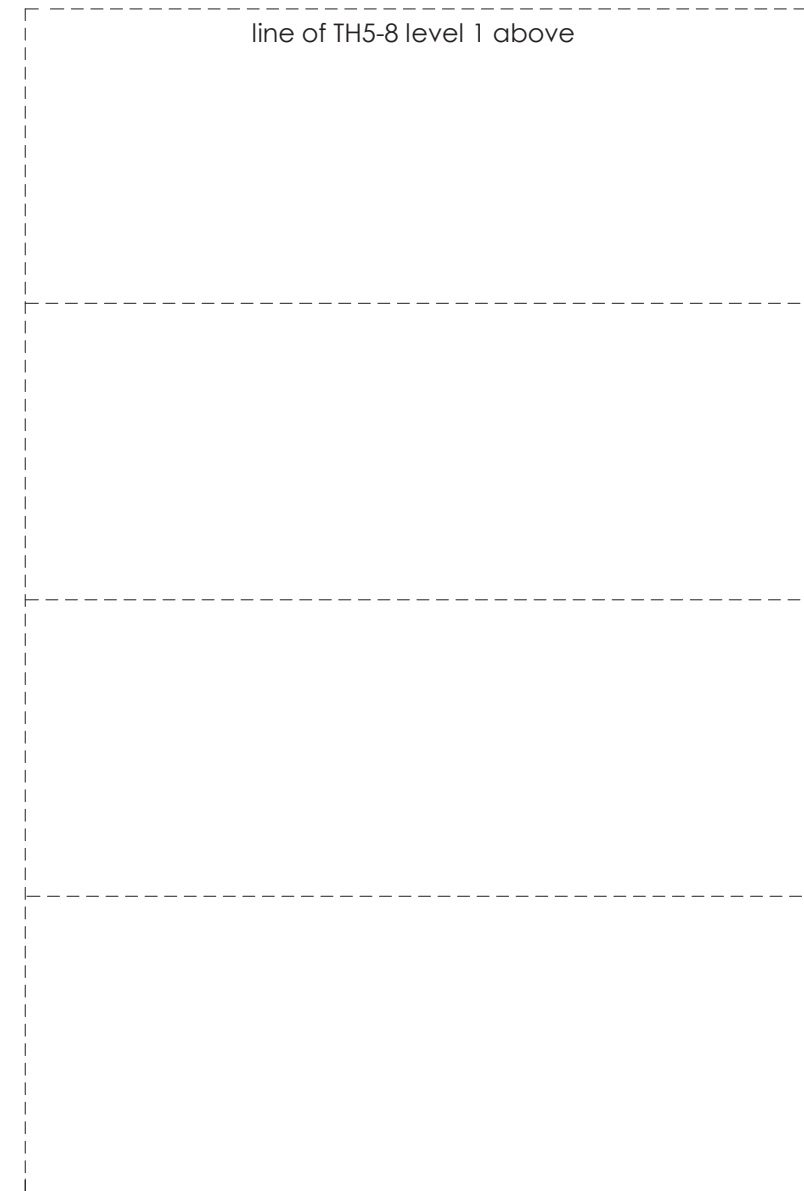
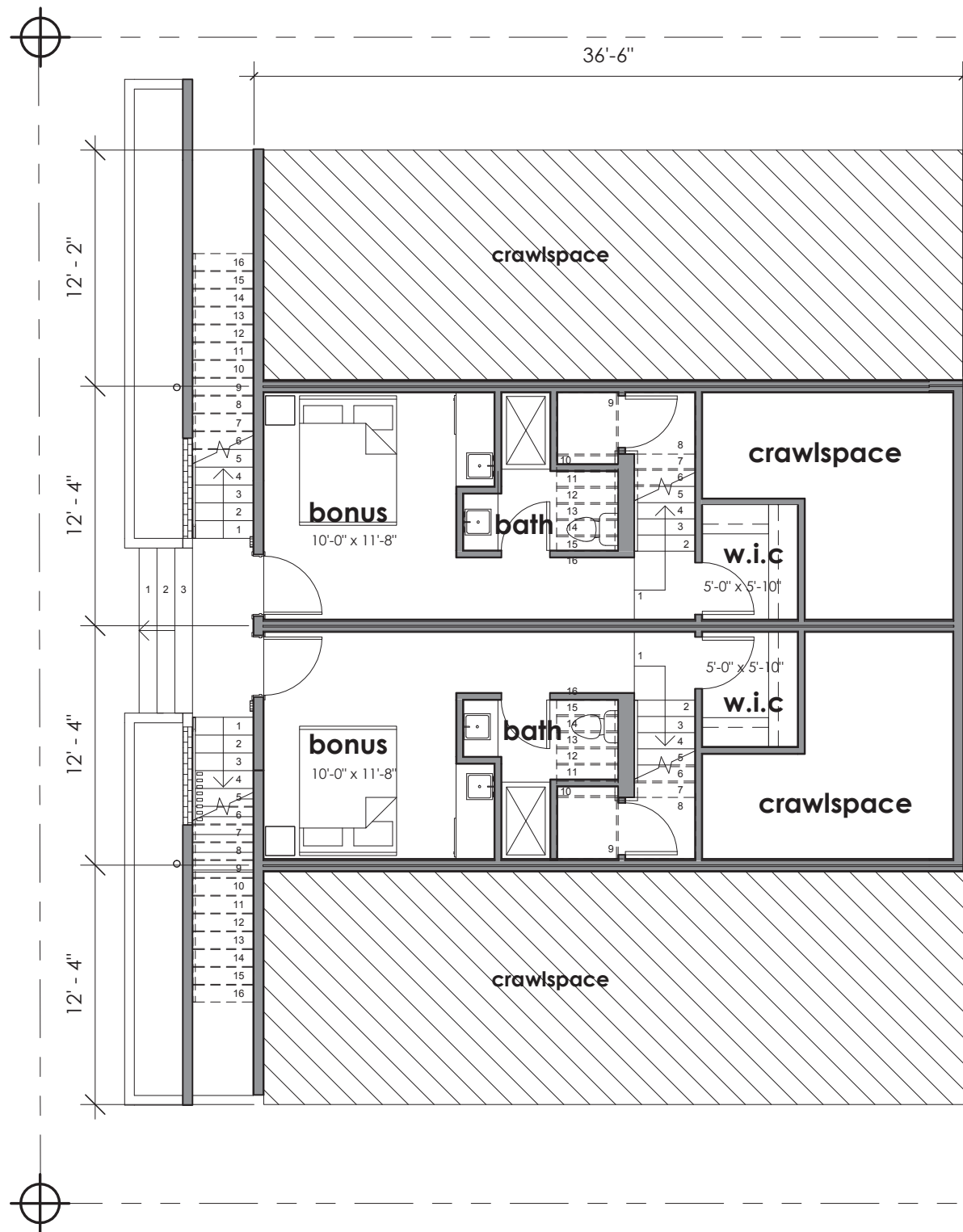

**CONCEPTUAL LIGHTING PLAN**  
 SCALE 1/8" = 1'-0"



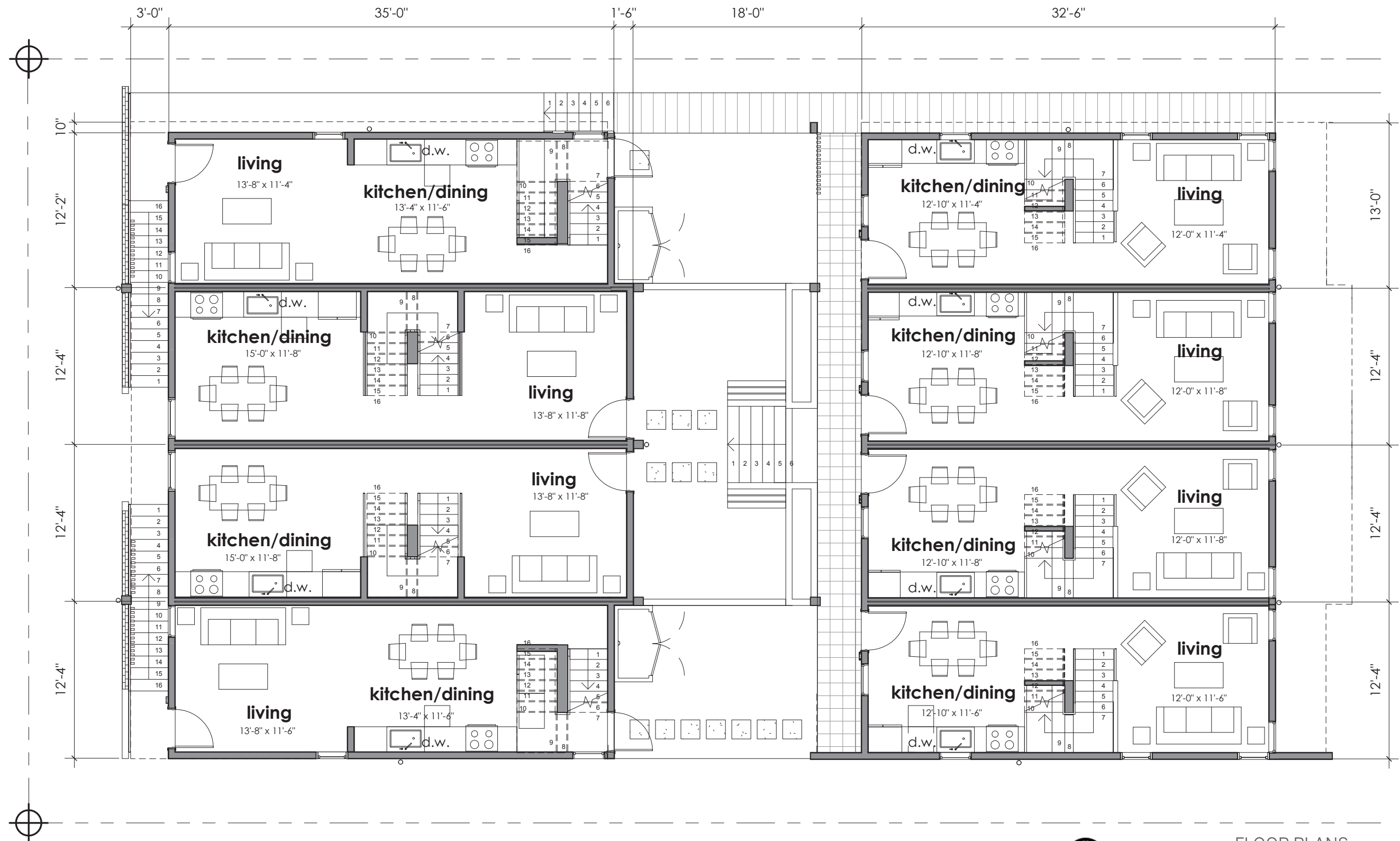
E/W SITE SECTION  
SCALE 1/8" = 1'-0"



N/S SITE SECTION  
SCALE 1/8" = 1'-0"

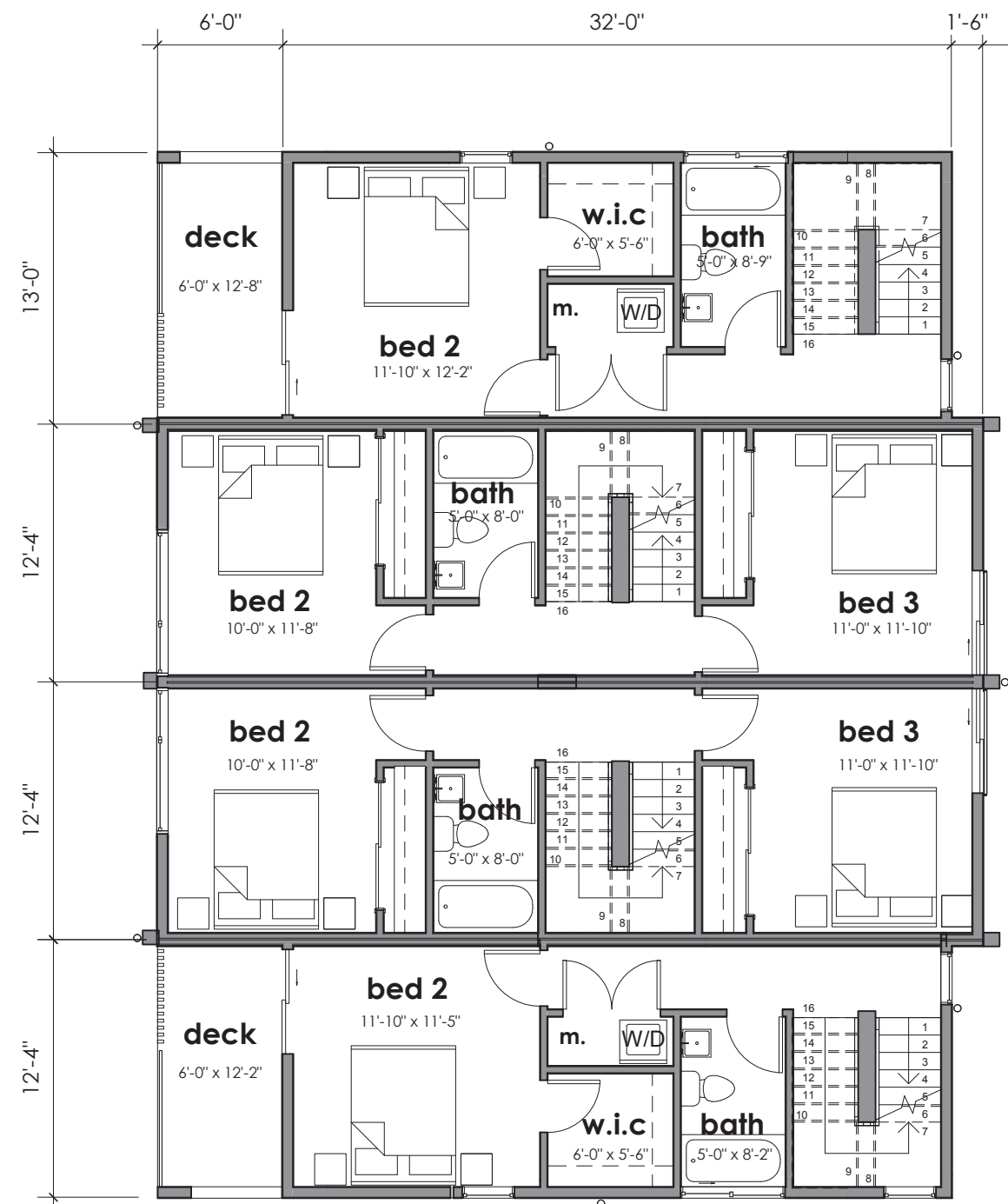


FLOOR PLANS  
SCALE: 1/16" = 1'0"

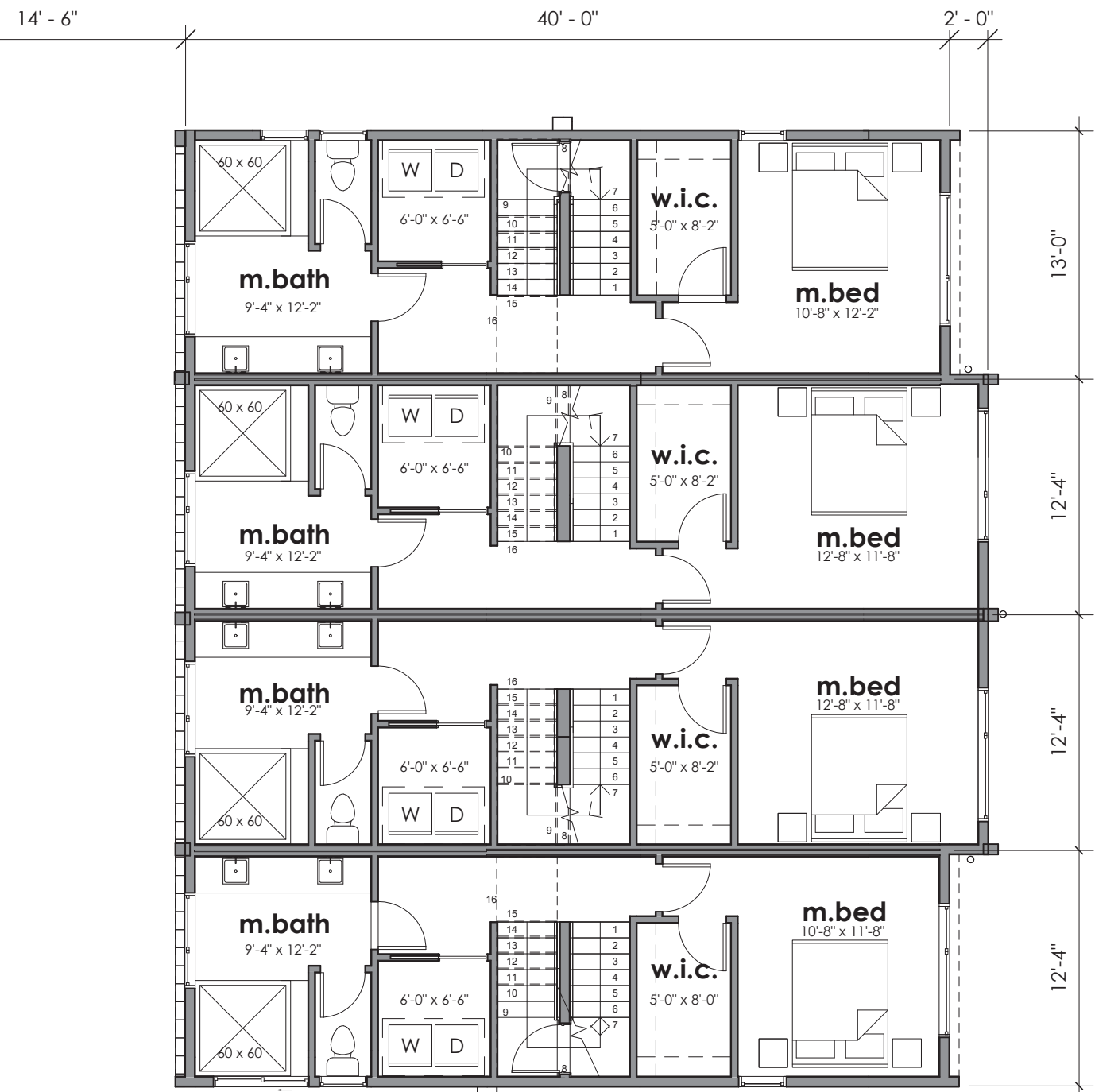
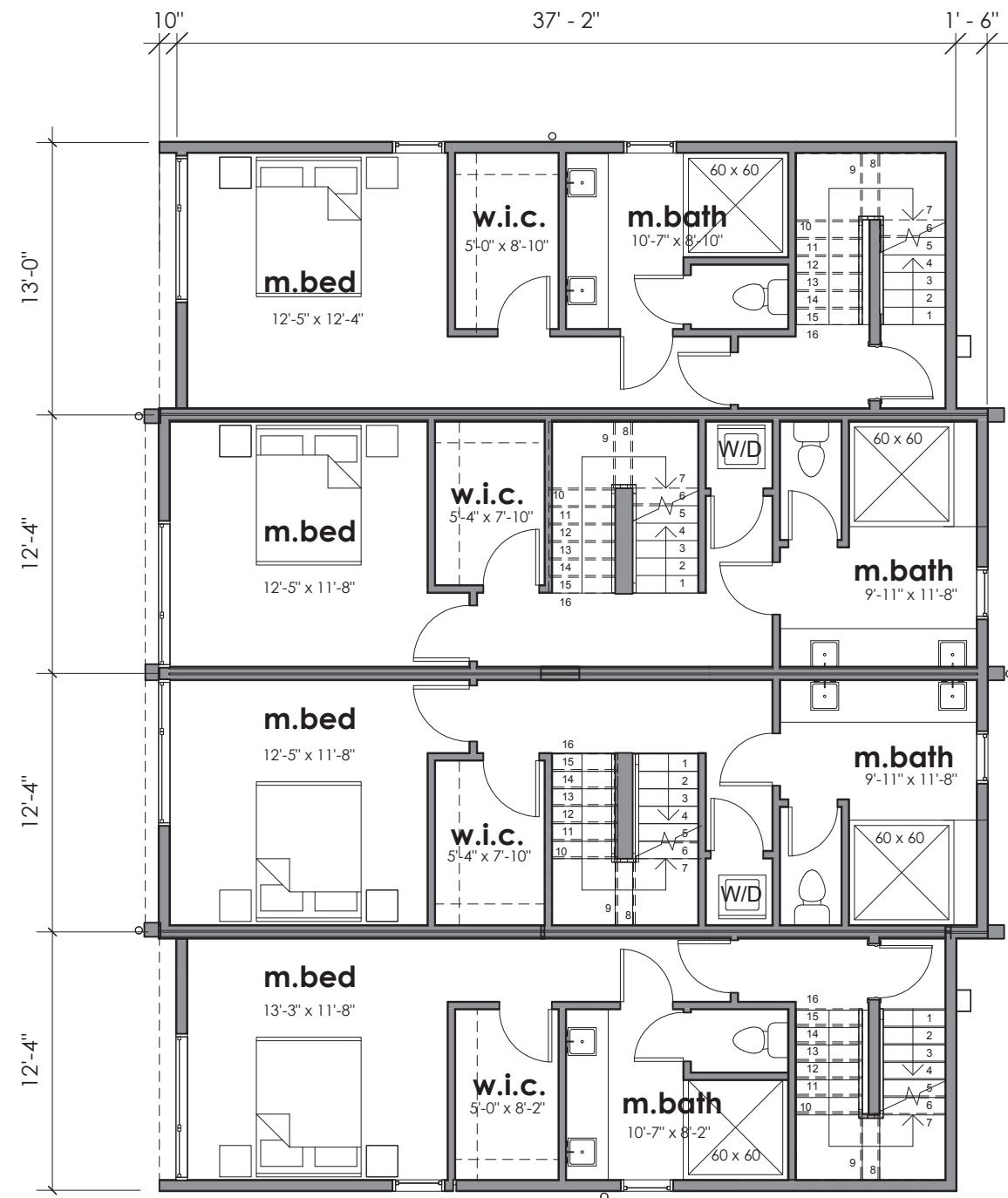


FLOOR PLANS  
SCALE: 1/16" = 1'0"

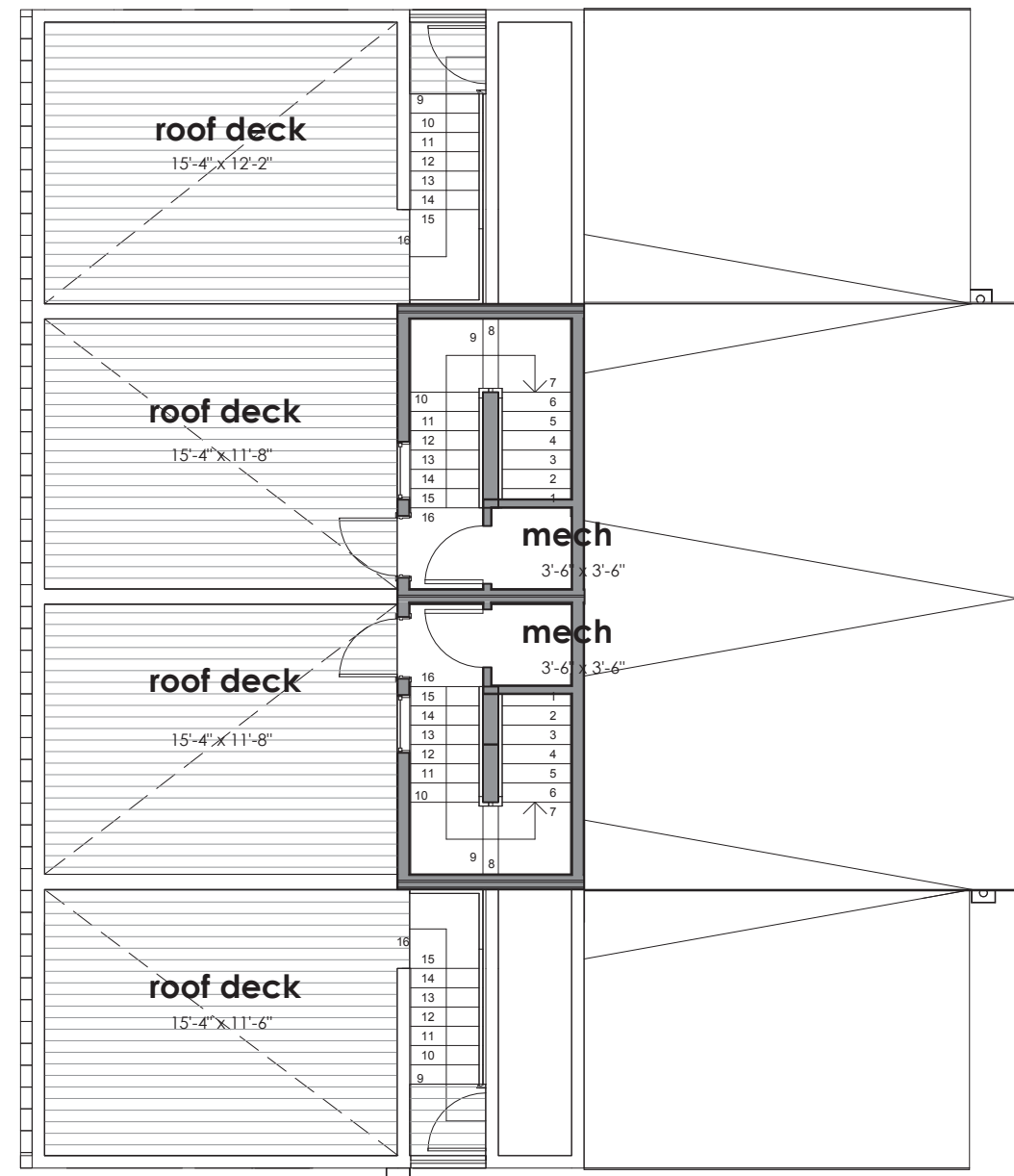
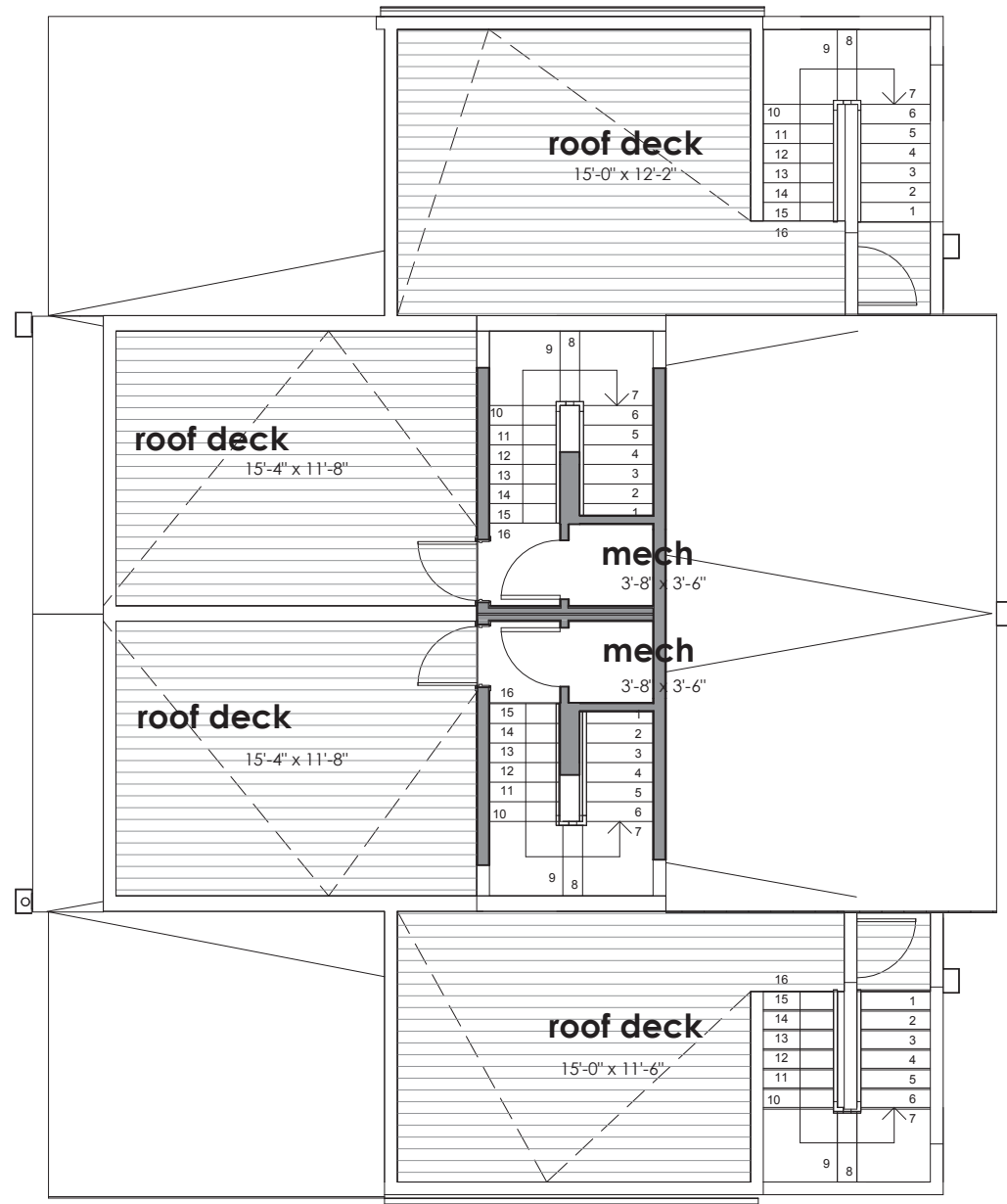




FLOOR PLANS  
SCALE: 1/16" = 1'0"



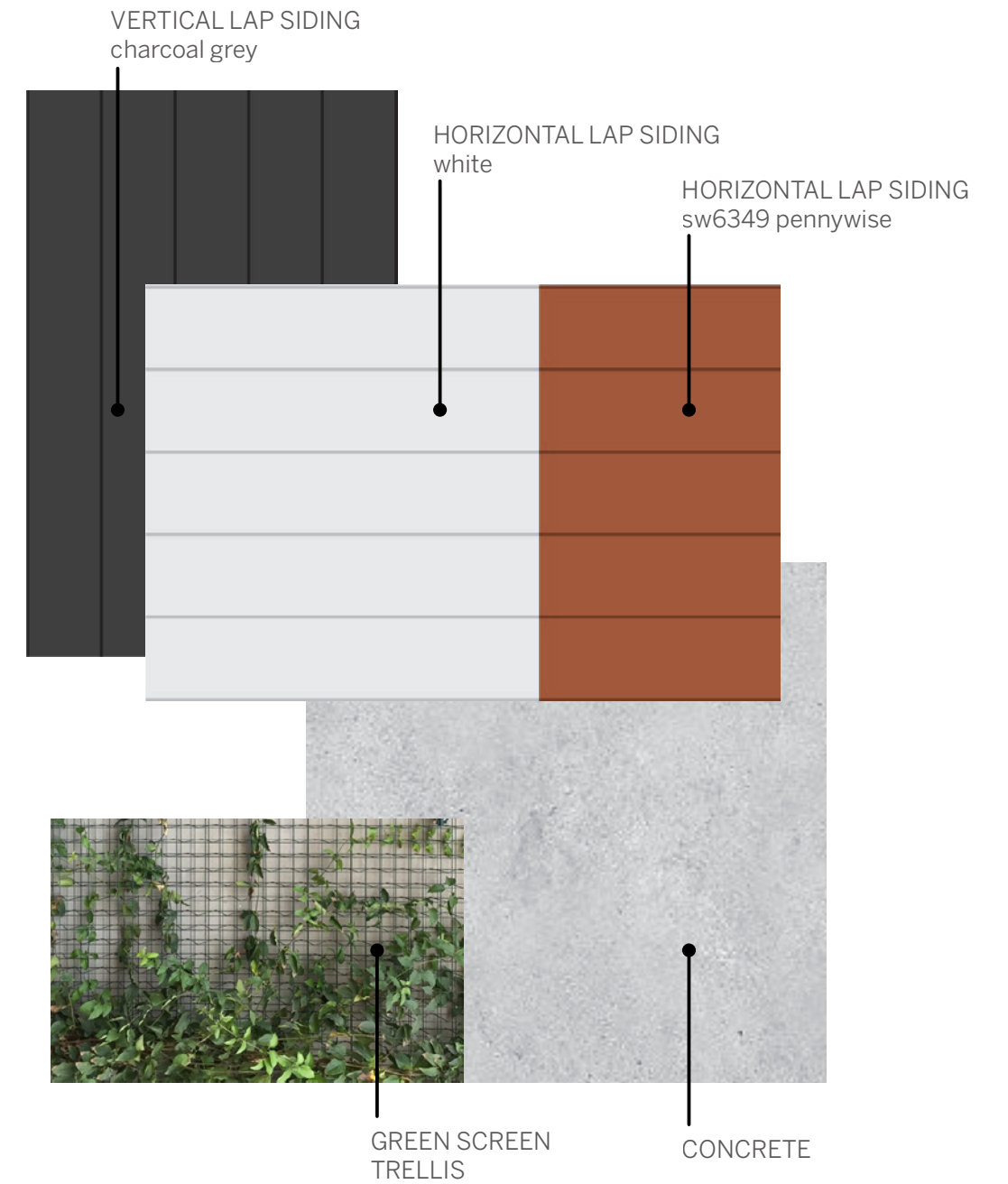

FLOOR PLANS  
SCALE: 1/16" = 1'0"



FLOOR PLANS  
SCALE: 1/16" = 1'0"



MATERIAL PALLET



WEST ELEVATION TH 1-4  
SCALE: 1/8" = 1'0"



EAST ELEVATION TH 1-4  
SCALE: 1/8" = 1'0"



WEST ELEVATION TH 5-8  
SCALE: 1/8" = 1'0"



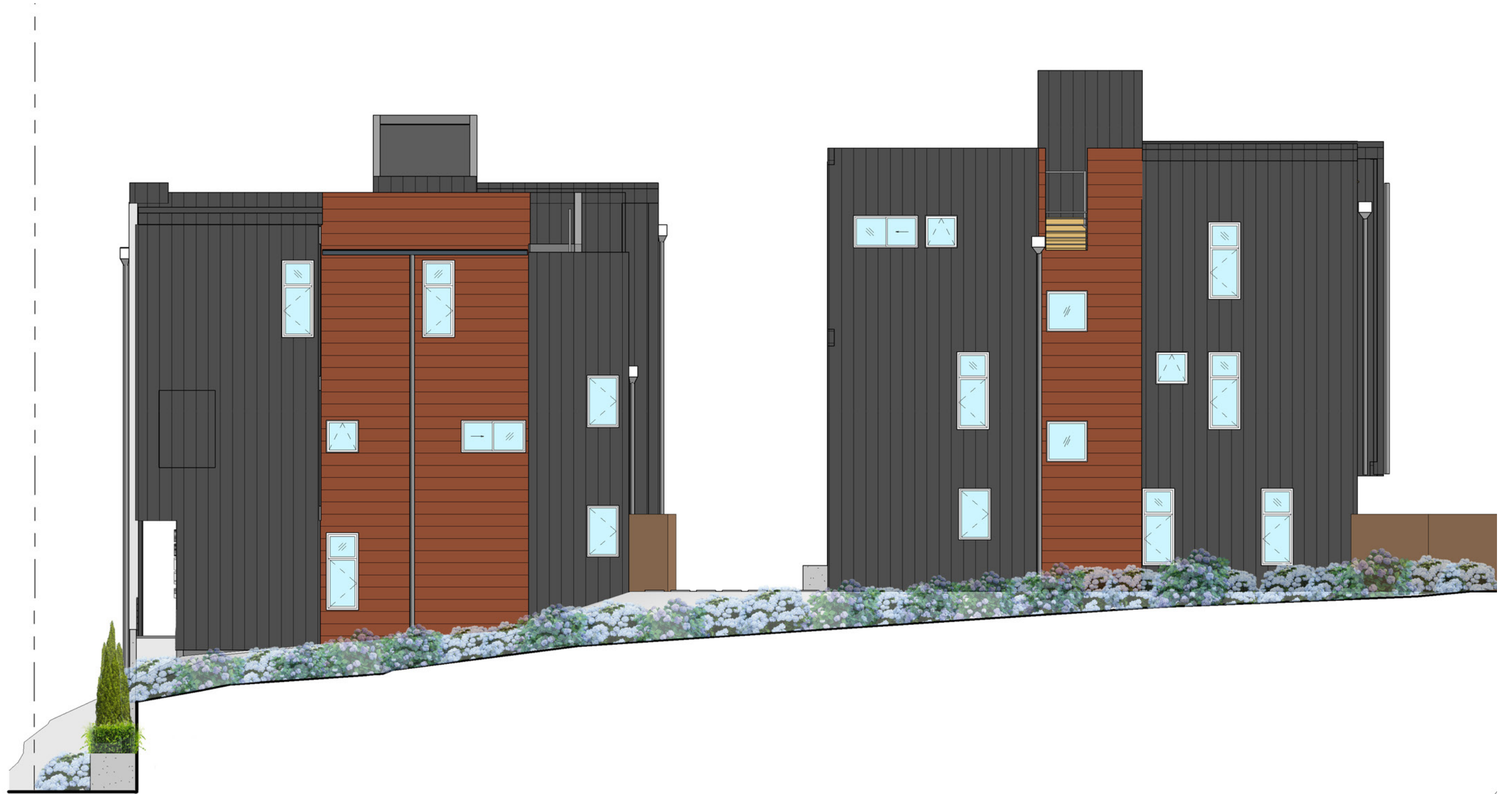
EAST ELEVATION TH 5-8  
SCALE: 1/8" = 1'0"



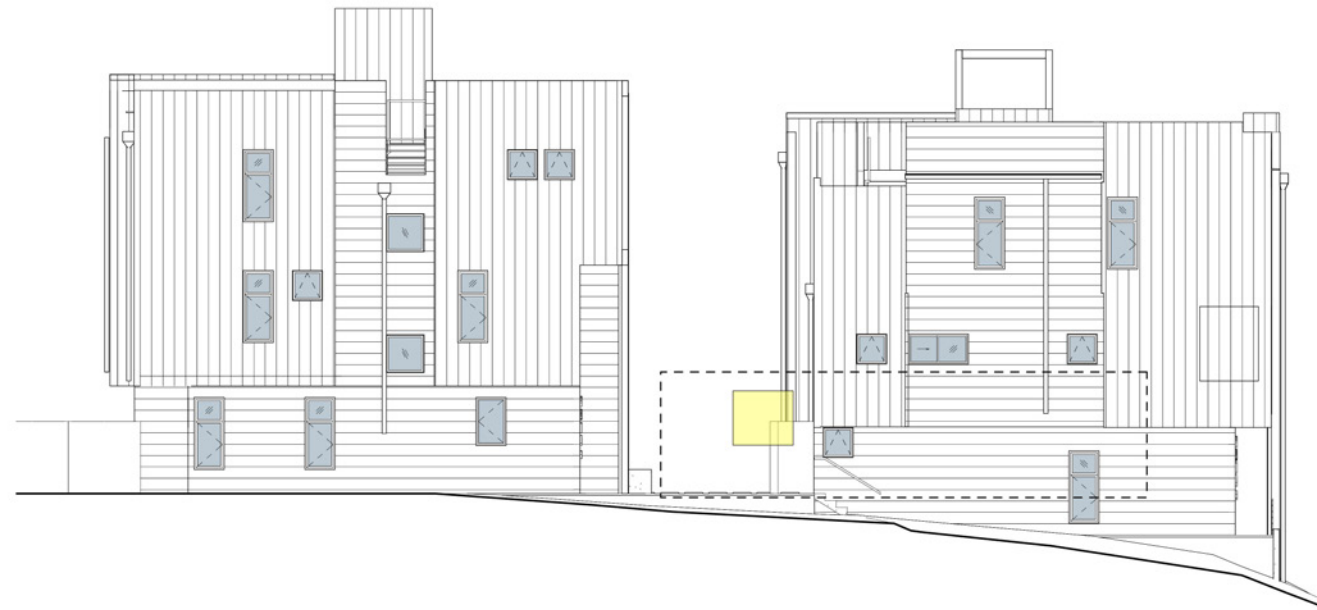
NORTH ELEVATION

SCALE: 1/8" = 1'0"





SOUTH ELEVATION  
SCALE: 1/8" = 1'0"



15th Ave S

NORTH ELEVATION  
SCALE: N.T.S



15th Ave S

SOUTH ELEVATION  
SCALE: N.T.S

- Transparency at 2814 15th Ave S (site)
- Transparency at neighboring units
- Overlap

## WINDOW STUDY





APPROACH FROM NORTHEAST (15TH AVE)

RENDERINGS

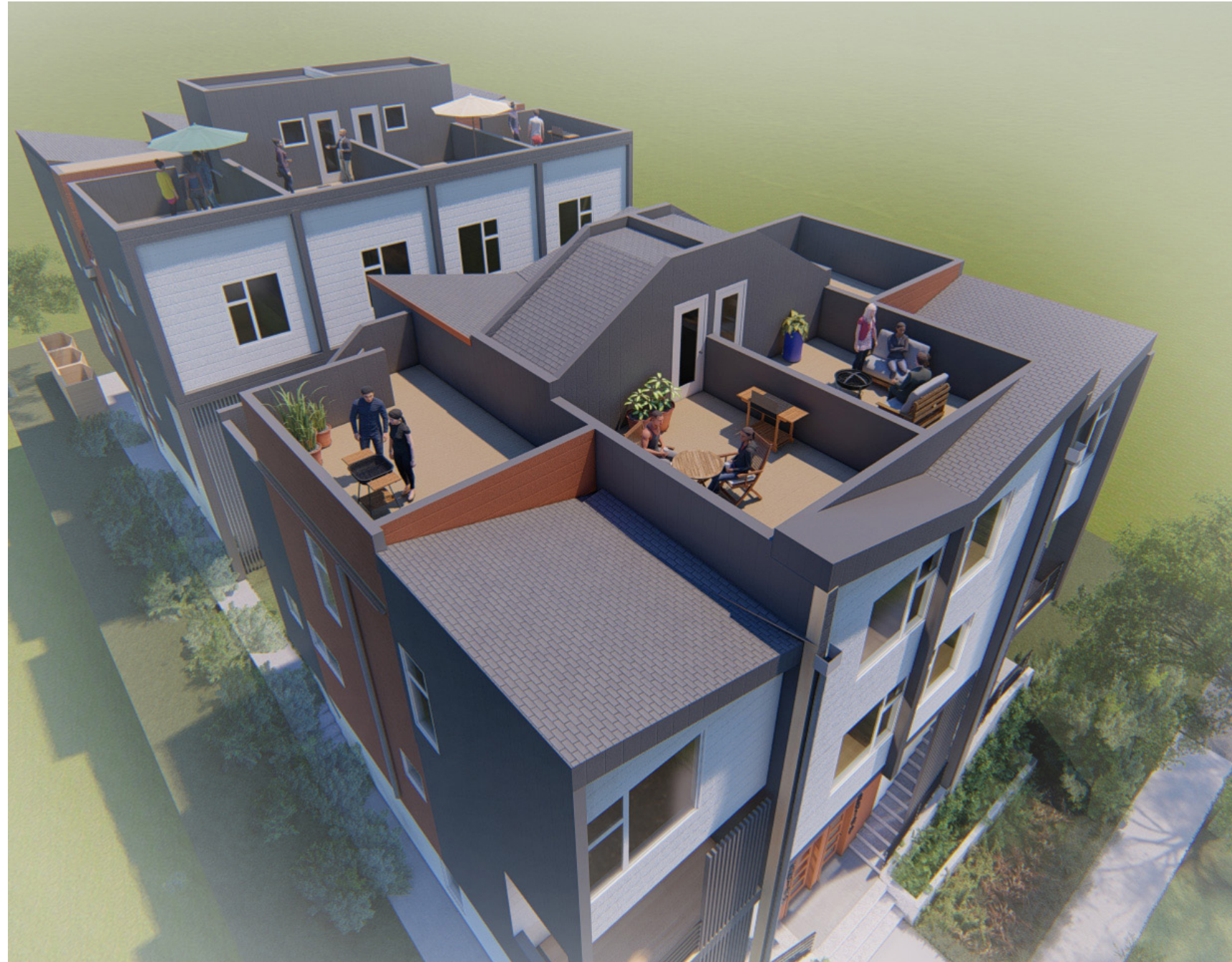


APPROACH FROM SOUTHWEST (ALLEY)



APPROACH FROM NORTH WEST (ALLEY)

RENDERINGS



ENTRY APPROACH (SIDEWALK OFF 22ND AVE)



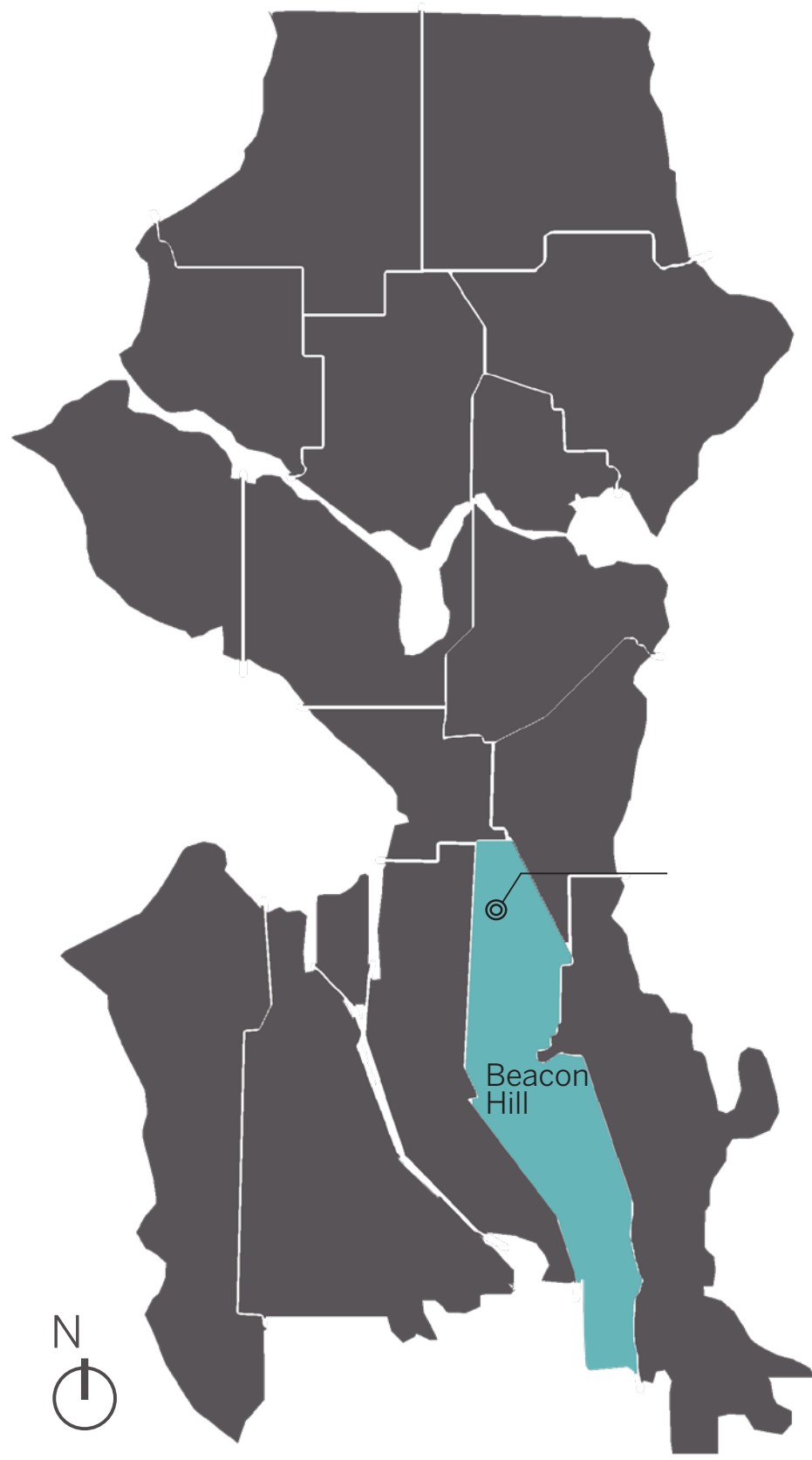


2814 15th Avenue South #3035354-EG



EARLY COMMUNITY OUTREACH  
December 02, 2019





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## OUTREACH PLAN:

**Early Community Outreach Plan:**  
2814 15<sup>th</sup> Ave S, Seattle, WA 98144

**Neighborhood: Beacon Hill**  
**Equity Area: Yes, Equity Zone #100.02**

Project Description: This proposal is for (8) townhomes with (6) open parking stalls off the alley. The site is in a Frequent Transit and Urban Village area and is close to the Link Light Rail.

### **Printed**

Outreach: Mailer distributed to residences and businesses within approximately 500 ft radius of the proposed site (high impact). Contains project information, link to online survey, link to DON's Early Outreach Blog and Calendar, and date/time/location of in-person outreach.  
Additional: Translation required – Spanish, Chinese (traditional), and Chinese (simplified)  
Documentation: Presentation of flyer to DON, map of distribution/number of locations, photo documentation.

### **Digital/Electronic**

Outreach: Basic project website (multi-pronged method) with online survey (high impact) and public commenting function (high impact). Project info and contact information on webpage.  
Additional: Translation required- Spanish, Chinese (traditional), and Chinese (simplified)  
Documentation: Link to website, survey prepared, number of surveys completed, demographic break down, coded surveys (qualitative and quantitative)

### **In-Person**

Outreach: Guided community site walk (high impact). Open to the public.  
Additional: Not to fall on cultural holiday or event. Interpretor available upon request.  
Documentation: Sign in sheet, design game method, coded data from event (qualitative and quantitative), photo documentation.

### **Additional:**

We will email the flyers to neighborhood organizations identified on the Beacon Hill snapshot. We are also going to put up a couple flyers in the Beacon Hill Library and the Red Apple (maybe a few other businesses as well.)

## OVERALL SUMMARY:

In summary, the project team was able to reach multiple people through this outreach. On Thursday November 7th, we mailed flyers to residences and businesses in a 500ft radius of the site. The flyer notified people of the in-person event which was held on November 23rd. The flyer also provided links to the online survey which was provided in English, Spanish, traditional and simplified Chinese characters. The website along with the survey was created on November 9th and taken down on November 30th. The website for the project will permanently stay online to document our outreach work while the survey was kept online for at least 3 weeks. In addition, the project event was posted on the DON calendar and blog. As a result of these types of outreach, we were able to gather information from the public about what they value in a future apartment building and, popular, iconic and dangerous/needing-improvement buildings and spaces were located in the area. There were also comments which touched on broader city concerns, like gentrification and parking. Overall, this design review outreach created an opportunity for us to gather information about the neighborhood and allowed us to provide information on the proposed site and the design process.

## SUMMARY OF PLAN

HIGH-IMPACT METHOD:

Door-to-door fact sheet or flyer distributed to residences and businesses within approximately 500 ft radius of the proposed site. We worked with a translator to get all outreach transcribed into Spanish and traditional and simplified Chinese Characters, the key languages identified by the Department of Neighborhoods.

Addresses:

- 2555 BEACON AVE S
- 2810 16TH AVE S
- 2810 16TH AVE S
- 2552 BEACON AVE S
- 2541 15TH AVE S
- 2903 14TH AVE S
- 2907 14TH AVE S
- 2911 14TH AVE S
- 2915 14TH AVE S
- 2917 14TH AVE S
- 2720 14TH AVE S
- 2718 14TH AVE S
- 2706 A 14TH AVE S
- 2706 B 14TH AVE S
- 2708 B 14TH AVE S
- 2708 A 14TH AVE S
- 2710 14TH AVE S
- 2702 14TH AVE S
- 2701 15TH AVE S
- 1415 S LANDER ST
- 2713 15TH AVE S
- 2719 15TH AVE S
- 1414 S MCCLELLAN ST
- 1402 S FOREST ST
- 1408 S FOREST ST
- 2816 14TH AVE S
- 2808 14TH AVE S
- 2802 14TH AVE S
- 1411 S MCCLELLAN ST
- 2807 15TH AVE S
- 2817 15TH AVE S
- 2813 15TH AVE S
- 1422 S FOREST ST
- 1418 S FOREST ST
- 1414 S FOREST ST
- 1408 S STEVENS ST
- 2914 14TH AVE S
- 2908 14TH AVE S
- 1405 S FOREST ST
- 2905 15TH AVE S
- 2901 15TH AVE S
- 1415 S FOREST ST
- 2909 15TH AVE S
- 1414 S STEVENS ST
- 2913 15TH AVE S
- 2917 15TH AVE S
- 2921 15TH AVE S
- 3002 14TH AVE S
- 1415 S STEVENS ST
- 3001 15TH AVE S
- 3006 15TH AVE S
- 1511 S STEVENS ST
- 1503 S STEVENS ST
- 3003 16TH AVE S
- 3007 16TH AVE S
- 2920 15TH AVE S

- 1510 S STEVENS ST
- 2912 15TH AVE S
- 2916 15TH AVE S
- 2908 15TH AVE S
- 2902 15TH AVE S
- 1509 S FOREST ST
- 2903 16TH AVE S
- 2907 16TH AVE S
- 2909 16TH AVE S
- 2917 16TH AVE S
- 2915 16TH AVE S
- 2921 16TH AVE S
- 2820 15TH AVE S
- 1506 S FOREST ST
- 2814 15TH AVE S
- 2806 15TH AVE S
- 2800 15TH AVE S
- 2801 16TH AVE S
- 2811 16TH AVE S
- 2809 16TH AVE S
- 2815 16TH AVE S
- 2817 16TH AVE S
- 2823 16TH AVE S
- 2701 BEACON AVE S
- 2702 16TH AVE S
- 2721 17TH AVE S
- 2821 BEACON AVE S
- 2800 16TH AVE S
- 2800 BEACON AVE S
- 2920 16TH AVE S
- 1608 S STEVENS ST
- 2914 16TH AVE S
- 2908 16TH AVE S
- 1607 S FOREST ST
- 1611 S FOREST ST
- 1615 S FOREST ST
- 2901 17TH AVE S
- 2915 17TH AVE S
- 1614 S STEVENS ST
- 2803 14TH AVE S
- 2807 14TH AVE S
- 2811 14TH AVE S
- 2817 14TH AVE S
- 2821 14TH AVE S
- 2820 13TH AVE S
- 2816 13TH AVE S
- 2812 13TH AVE S
- 1311 S MCCLELLAN ST
- 2709C 14TH AVE S
- 2711 14TH AVE S
- 2717 14TH AVE S
- 2721 14TH AVE S
- 2723 14TH AVE S
- 1320 S MCCLELLAN ST
- 1318 S MCCLELLAN ST
- 1316 S MCCLELLAN ST

FLYERS

Dear Resident, this flyer is to include you in a

### PROJECT UNDER DESIGN REVIEW

at 2814 15th Avenue South

Live Urban 2 LLC and JW Architects are collaborating to design the redevelopment of 2814 15th Ave S

**Project Information:**  
This project will be located midblock on the east side of 15th Avenue. When it's complete, the new homes will be 3 stories tall and will include 8 townhomes with 6 open parking stalls. We're just getting started planning now - construction could start in Spring 2021 and the building could be open as early as Winter 2022.

**Project Contact:**  
Julian Weber, Founding Principal, JW Architects  
outreach@jwasattle.com

We request your input through:

**ONLINE SURVEY**  
November 4 - November 30  
Link to survey:  
[www.jwasattle.com/2814-spa018](http://www.jwasattle.com/2814-spa018)

**DROP-IN HOURS**  
Saturday, November 23  
12:00pm - 1:00pm  
ON SITE  
2814 15th Ave S

\*additional info on back of flyer

Estimado residente, le invitamos a participar en una

### REVISIÓN DE DISEÑO DE PROYECTO

en el 2814 15th Ave S

Live Urban 2 LLC y JW Architects están colaborando en el diseño del nuevo proyecto de construcción en el 2814 15th Ave S.

**Información del proyecto:**  
El proyecto se ubicará en la mitad de la cuadra del lado Este de 15th Avenue South. Cuando se complete, el proyecto tendrá ocho casas adosadas de tres pisos, con seis plazas de estacionamiento y estacionamiento para bicicletas para todas las viviendas. El desarrollo del proyecto está aún en sus primeras etapas. La construcción podría comenzar en el invierno de 2019, y el edificio podría abrirse en la primavera de 2021.

**Contacto del proyecto:**  
Julian Weber, JW Architects

Estamos solicitando sus comentarios a través de los siguientes medios:

**ENCUESTA EN LÍNEA**  
06 de Noviembre - 30 Noviembre 2019  
Enlace a la encuesta:  
[www.jwasattle.com/2814-spa018](http://www.jwasattle.com/2814-spa018)

**HORARIO PARA VISITAS EN PERSONA**  
Sábado 23 de noviembre de 2019  
12:00 pm - 1:00 pm  
En el sitio del proyecto: 2814 15th Ave S

\*información adicional en la parte posterior

亲爱的居民，这传单旨在让您参与一项

### 接受设计评审的项目

位于 2814 15th Avenue South

Live Urban 2 LLC和JW Architects正在合作设计位于2814 15th Avenue South的开发项目

**项目信息:**  
该项目将位于15th Avenue东侧的中间街区。竣工后，新建楼房高三层，包括8户联排别墅，以及6个开放式停车位。我们现在刚刚开始规划，预计2021年春季开始动工，最早可能在2022年春季进入市场。

**项目联系人:**  
Julian Weber, JW Architects 事务所创始人/负责人  
outreach@jwasattle.com

我们希望通过以下方式征求您的意见:

**在线调查**  
2019年11月4日至2019年11月30日  
调查链接:  
[www.jwasattle.com/2814-chinese-simplified](http://www.jwasattle.com/2814-chinese-simplified)

**来访时间**  
2019年11月23日  
下午12:00 - 1:00  
地址: 2814 15th Avenue South

\* 反面还有更多信息

親愛的居民，這傳單旨在讓您參與一項

### 接受設計評審的項目

位於 2814 15th Avenue South

Live Urban 2 LLC和JW Architects正在合作設計位於2814 15th Avenue South的開發項目

**項目信息:**  
該項目將位於15th Avenue東側的中間街區。竣工後，新建樓房高三層，包括8戶聯排別墅，以及6個開放式停車位。我們現在剛剛開始規劃，預計2021年春季開始動工，最早可能在2022年春季進入市場。

**項目聯繫人:**  
Julian Weber, JW Architects 事務所創始負責人  
outreach@jwasattle.com

我們應通過以下方式來聽取您的意見:

**在線調查**  
2019年11月4日至2019年11月30日  
調查鏈接:  
[www.jwasattle.com/2814-chinese-traditional](http://www.jwasattle.com/2814-chinese-traditional)

**來訪時間**  
2019年11月23日  
下午12:00 - 1:00  
地址: 2814 15th Avenue South

\* 反面還有更多信息

Front - English

Please join us in-person to talk about project ideas and how to make this a successful development in the Beacon Hill neighborhood.

**DROP-IN HOURS**  
Saturday, November 23, 2019  
12:00 pm - 1:00 pm  
ON SITE  
2814 15th Ave S

By transit:  
Off 15th - Buses 60, 107  
Off Beacon Ave S - Buses 36, 60, 107  
Link

To find out more about this project and share your thoughts on the future of the project, please visit JW Architects website ([www.jwasattle.com](http://www.jwasattle.com)) and attend our drop-in hours listed above.

**More information** about early outreach for design review can be found on the Seattle Department of Neighborhood's web page (<http://www.seattle.gov/neighborhoods>).

All information is being collected by JW Architects, but may be submitted to the City of Seattle. Therefore, personal information entered may be subject to disclosure to a third-party requestor pursuant to the Washington Public Records Act.

What type of feedback is the Design Review looking for?

- Reference unique neighborhood features and character
- Architectural design
- Building forms and materials
- Sidewalk experience
- Screening for privacy

Back - English

Front - Spanish

Lo invitamos a hablar con nosotros en persona sobre sus ideas para el proyecto y sobre cómo garantizar que sea una contribución positiva para el vecindario de Rainier Beach.

**HORARIO PARA VISITAS EN PERSONA**  
Sábado 23 de Noviembre de 2019  
12:00 pm - 1:00 pm  
En el sitio del proyecto:  
2814 15th Ave S.

Cómo llegar en autobús:  
Por la 15th Ave S - autobús 60, 107  
Por la Beacon Ave S - autobús 36, 60, 107  
Link

Para más información sobre el proyecto o para compartir sus comentarios, visite el sitio web de JW Architects ([www.jwasattle.com](http://www.jwasattle.com)) y acérquese a la recepción mencionada arriba.

Para más información sobre la divulgación temprana de revisión de diseño, puede visitar el sitio web del Departamento de Vecindarios de Seattle (<http://www.seattle.gov/neighborhoods>).

Toda la información está siendo recopilada por JW Architects, pero puede enviarse a la Ciudad de Seattle. Por lo tanto, la información personal ingresada puede estar sujeta a divulgación a un tercero solicitante de conformidad con la Ley de Registros Públicos de Washington.

La revisión de diseño servirá para reunir comentarios sobre los siguientes temas:

- Las características y lugares únicos del vecindario
- Diseño arquitectónico
- Formas y materiales de construcción
- Experiencia a nivel peatonal
- Medidas de privacidad

Back - Spanish

Front - Chinese Simplified

请您亲自前来与我们一起讨论项目构想，以及如何使其成为Beacon Hill社区的成功开发项目。

**来访时间**  
2019年11月23日  
下午12:00 - 1:00  
地址: 2814 15th Avenue S

15th Avenue S - 60, 107 路公交车  
Beacon Ave S - 36, 60, 107路公交车  
Link

想了解更多有关本项目的信息并分享您对本项目未来的看法，请访问JW Architects网站 ([www.jwasattle.com](http://www.jwasattle.com))，并在上述来访时间参加我们的活动。

有关设计审查早期推广的更多信息，请访问西雅图社区部网页 (<http://www.seattle.gov/neighborhoods>)。

所有信息都由JW Architects收集，但可能会提交给西雅图。因此，根据《华盛顿公共记录法》，输入的个人信息的可能会向第三方请求者披露。

设计审查需要什么样的反馈?

- 参考独特的社区特征和特色
- 建筑设计
- 建筑形式和材料
- 舒适的步行道
- 保护隐私的设计

Back - Chinese Simplified Char-

Front - Chinese Traditional Char-

請親自前來與我們一起討論項目構想，以及如何使其成為Beacon Hill社區的成功開發項目。

**來訪時間**  
2019年11月23日  
下午12:00 - 1:00  
地址: 2814 15th Avenue S

15th Avenue S - 60, 107 路公車  
Beacon Ave S - 36, 60, 107路公車  
Link

想了解更多有關本項目的信息並分享您對本項目未來的看法，請訪問JW Architects網站 ([www.jwasattle.com](http://www.jwasattle.com))，並在上述來訪時間參加我們的活動。

有關設計審查早期推廣的更多信息，請訪問西雅圖社區部網頁 (<http://www.seattle.gov/neighborhoods>)。

所有信息都由JW Architects收集，但可能會提交給西雅圖。因此，根據《華盛頓公共記錄法》，輸入的個人信息可能會向第三方請求者分享。

設計評審需要什麼樣的反饋?

- 參考獨特的社區特徵和特色
- 建築設計
- 建築形式和材料
- 舒適的人行道
- 保護隱私的設計

Back - Chinese Traditional Char-

PRINTED OUTREACH



Front page of Flyer.

Link to project website and survey.

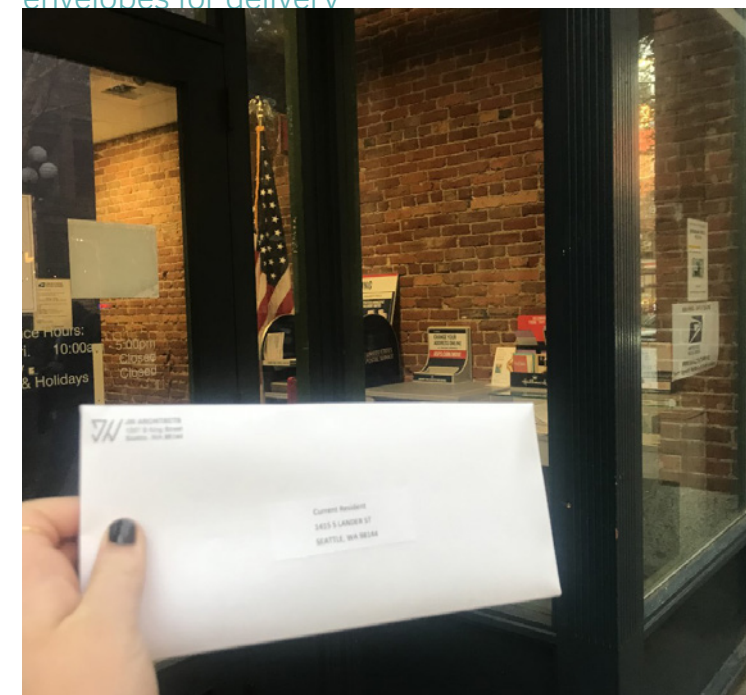
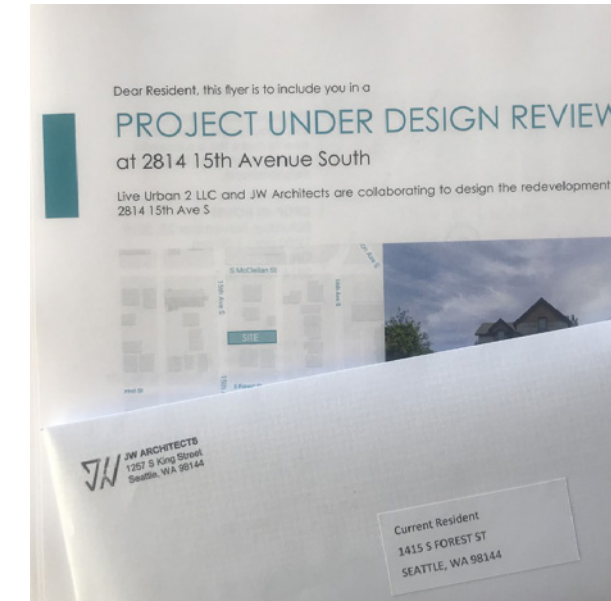
Details about In-Person Event

### HIGH-IMPACT METHOD:

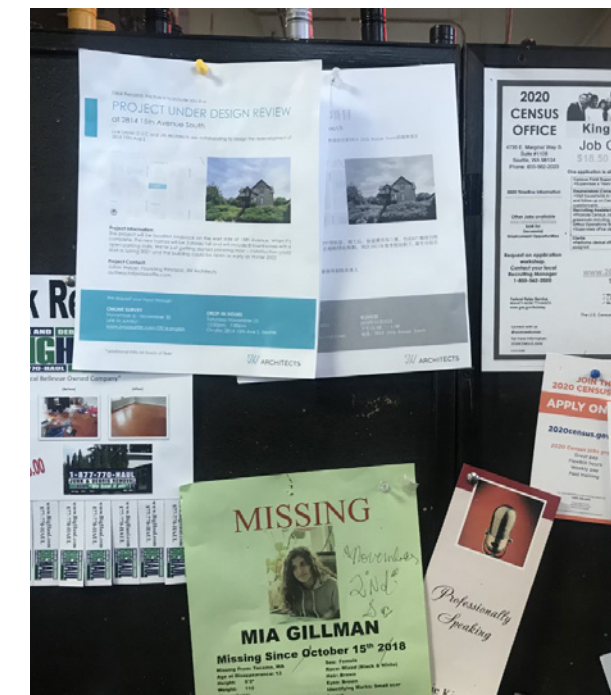
We distributed flyers in a 500 foot radius from the site. Flyers were also displayed on a public board inside the Red Apple grocery store.



113 Flyers were folded and put into envelopes for delivery



Flyers were taken to the post office for delivery



Flyers were placed on the public bulletin board inside the Red Apple Grocery store

## PRINTED OUTREACH

Website is fully secure, as noted by the locked icon to the left of the website address.

Project address and additional information.

Links to Seattle Services Portal as well as the Department of Neighborhood's website.

Privacy language

Download printed outreach flyer

Contact Information

HIGH-IMPACT METHOD:

An online survey with commenting function, as well as a project website, were added to the Design Review tab on JW Architects website. Additionally, the website has been made secure and a privacy policy link appears at the bottom of each web page.

Though the survey will no longer be available after 3 weeks, you can find the Design Review page on JW Architects website here:

[https://www.jwaseattle.com/project\\_category/design-review/](https://www.jwaseattle.com/project_category/design-review/)

ELECTRONIC/DIGITAL OUTREACH

## DESIGN REVIEW OUTREACH SURVEY

Live Urban 2 LLC and JW Architects are collaborating to design the redevelopment of 2814 15<sup>th</sup> Avenue South. When it's complete, the new homes will be 3 stories tall and will include 8 townhomes and 6 open parking spots. We're just getting started planning now – construction could start in Spring of 2021 and the building could be open as early as Winter of 2022.

Please join us in person to talk about project ideas and how to make this a successful development in the Beacon Hill neighborhood. Drop-in hours will be held on site, 2814 15<sup>th</sup> Ave S, on November 23 from 12:00pm – 1:00pm.

This survey will be open from November 9th to November 30. After that, we'll start preparing for the City's Design Review process and other permitting steps.

To find out more about this project and track our progress through the design review and permitting process, search the project address (2814 15<sup>th</sup> Ave S) or project number (3035354-EG) in the Design Review Calendar and the [Seattle Services Portal](#). To find out more about early outreach for design review, visit the [Department of Neighborhood's webpage](#).

Questions:

1. What is your connection to this development project? (select all that apply)
  - I live very close to the project
  - I live in the general area
  - I own a business nearby
  - I visit the area often for work or leisure
  - I don't have a direct connection, but I care about growth and development in Seattle
  - Other [fill in blank, 100 character maximum]
2. What is most important to you about a new building on this property? (select up to two)
  - That it fits into neighborhood look
  - That it stands out as a unique and landmark building
  - That it brings new services or amenities to the area (businesses, open space, etc.)
  - That is affordable for residents and/or businesses
  - That it is designed to be family-friendly
  - That it is designed with environmental sustainability in mind
  - Other [fill in blank, 100 character maximum]

3. We will be improving the sidewalks and landscaping at the street-level. What design features do you prefer? (select up to two)
  - Lots of plants/greenery
  - Additional designs for safety (street lighting, gates, fences, etc)
  - Quality building materials at street-level (brick, large windows,
  - Seating/places to congregate (sidewalk cafes, benches, etc)
  - Pet friendly areas
  - Off-street bicycle parking
  - Other [fill in blank, 100 character maximum]
4. What concerns do you have about the project? (select any/all that apply)
  - Construction noise/impacts
  - The existing residence is going away
  - That I will not like the way it looks
  - That it will not be affordable
  - That it may feel out of scale with other buildings nearby
  - I don't really have any specific concerns
  - Other [fill in blank, 100 character maximum]
5. Is there anything specific about this property or neighborhood that would be important for us to know? [fill in blank, 300 character maximum]
6. What are some landmarks/spaces that help to identify your neighborhood? [fill in blank, 300 character maximum]
7. What do you like most about living or working in your neighborhood? [fill in blank, 300 character maximum]
8. What do you like least about living/working in your neighborhood? [fill in blank, 300 character maximum]

Additional questions to help us analyze the survey results:

1. What is your age?
  - Under 12 years old
  - 12-17 years old
  - 18-24 years old
  - 25-34 years old
  - 35-44 years old
  - 45-54 years old
  - 55-64 years old
  - 65-74 years old
  - 75 years or older
2. What are the languages spoken in your home? (select any/all that apply)
  - English
  - Spanish
  - Amharic
  - Oromo
  - Tigrinya
  - Other [please specify]
3. How long have you lived in this neighborhood?
  - 0-5 years
  - 5-10 years
  - 10-20 years
  - More than 20 years
  - I do not live in this neighborhood

Thank you for sharing feedback about our project! Your input is helpful for us to hear as we start to plan for the new building.

To find out more about this project and track our progress through the design review and permitting process, search the project address (1900 23<sup>rd</sup> Avenue South) or project number (3031510) in the [Design Review Calendar](#) and the [Seattle Services Portal](#).

If you don't want to respond to the survey but do want to share your thoughts, or you have any other project-related thoughts or ideas to share, the contact person for the project is Julian Weber at outreach@jwaseattle.com

## SURVEY RESULTS

We received 5 surveys. All were completed through our online survey via the link provided on our printed outreach flyer. Percentages are based on the information completed. Not all surveys had all questions answered.

Question 1:

55% live very close to the project  
22% visit the area often for work or leisure  
22% own a business nearby

Question 2:

36% want it to be affordable for residents and/or businesses  
36% want it to be affordable for residents and businesses  
9% want it to be family-friendly  
9% want it to be environmentally sustainable  
9% other

Question 3:

30% want lots of plants/greenery  
10% want seating/places to congregate  
30% want quality materials at street-level  
20% want additional design for safety  
10% other

Question 4:

27% are concerned it will not be affordable  
27% are concerned it may feel out of scale with other buildings nearby  
13% are concerned with construction noise/impacts  
14% are concerned they will not like the look of the design  
13% are concerned that the existing residence is going away  
7% other

Question 5:

Residents who answered this question expressed that the neighborhood feel and walkability was important and that they wanted to maintain the affordability of the neighborhood because many residents fall in the low income bracket, and would be forced to move if this neighborhood became to expensive.

Question 6:

Garden House, El Centro De La Raza, Churches and places of Worship, Jefferson Park, various craftsman houses in the area

Question 7:

That it is a low income neighborhood, close knit neighborly community, walkability, close to amenities like the library, bank, light rail station, and freeway access.

Question 8:

New developments that make the neighborhood more expensive and do not honor the community, that 15th can be a cut through for people to the freeway,

more trash and more traffic.

Additional results:

Question 1:

20% were 25-34 years old  
20% were 35-44 years old  
20% were 45-54 years old  
20% were 55-64 years old  
20% were 65-74 years old

Question 2:

100% English

Question 3:

40% 10-20 years  
60% more than 20 years

## ELECTRONIC/DIGITAL OUTREACH



Adding the firm's banner helped provide a strong street presence.



A map of neighborhood was a useful tool.

#### HIGH-IMPACT METHOD:

For in-person outreach, we opted for the guided site walk, and staffed "pop-up" event on site. With permission from the applicant and current resident, we held drop-in hours where residents could stop by, ask questions, learn about the project and provide insight about the neighborhood. We provided a design game (map), surveys and take away flyers.

### BEACON HILL NEIGHBORHOOD

- 
 WHERE ARE YOUR FAVORITE PLACES IN THE NEIGHBORHOOD?
- 
 WHICH PLACES FEEL UNSAFE/UNCOMFORTABLE?
- 
 WHICH PLACES BEST REPRESENT YOUR NEIGHBORHOOD?

## IN-PERSON OUTREACH





## IN-PERSON OUTREACH

### MAPPING EXERCISE:

We developed a map of the neighborhood in relation to the site and asked those who stopped by the event three questions (below) to give us a better understanding of the area.

This was a useful tool as it helped spur conversation and gave a location reference for both residents and staff.

While speaking with folks at the event, a neighboring resident referenced a developed project in the area that would serve as a good precedent for what she hopes to see more of in the neighborhood. She liked the warmth added to the facade and the unique aesthetic. We are lucky that the designer of that project now works at our firm and we can bring him on board to review our progress throughout design.



In-Person Event:

We provided a sign-in sheet which was signed by 9 visitors. There were 9 total people who showed up. After visiting with each person, we offered a flyer as a way to say thank you and to give them more ways to learn more about the project.

**PLEASE SIGN IN**

2814 15th Ave South Community Outreach Event  
11/23/18, 12:00pm - 1:00 pm

FIRST NAME, LAST INITIAL	ZIPCODE
Michelle [REDACTED]	98144
Mike [REDACTED]	98144
Hans [REDACTED]	98144
Amy [REDACTED]	98144
Freddie [REDACTED]	98144
Kim [REDACTED]	98144
JENNIFER [REDACTED]	98144
KIM [REDACTED]	98144
Chris [REDACTED]	98144

Dear Resident,

**THANK YOU**  
for stopping by our outreach event

We value your time and feedback as we work on the project proposed for 2814 15th Avenue South.

**To learn** more about this project please visit JW Architects website ([www.jwaseattle.com](http://www.jwaseattle.com)).

**To share** your thoughts please fill out a survey here: <https://jwaseattle.com/2814-english/>. You can also reach Julian Weber at this email address: outreach@jwaseattle.com.

**To track** the progress of this project through the design review and permitting process, search the project address (2814 15th Avenue South) or project number (3035354-EG) in the Design Review Calendar and the Seattle Services Portal. Links are provided below:

<http://www.seattle.gov/dpd/aboutus/news/events/DesignReview/upcomingreviews/>

<https://cosaccela.seattle.gov/portal/welcome.aspx>



Takeaway flyer

SUMMARY:

In summary, there were a total of 9 people at our event. Most people were Neighbors in adjacent lots living very close to the site. Everyone who came to our event has lived in the Beacon Hill neighborhood for at least 10 years and some residents said they have lived in the area for 35 years. All visitors spoke English. A translator was not needed. We had both Chinese Simplified and Traditional character, and Spanish flyers to hand out, but they were not needed. Hosting the event on the project site, helped us reach those who were closest and most interested in the project.

The interactive map was a useful tool to engage the public. It was a simple tool that helped neighbors identify their favorite and least favorite locations in the surrounding area. Some favorite locations are the Fresh Flowers Bakery, Oak, Bar del Corso, and the Red Apple grocery. Neighbors expressed concerns about new development not matching the character of the neighborhood, not providing low income housing, and the existing building being vacant for too long.

IN-PERSON OUTREACH