

# E Remington Court Townhomes



## PARCEL INFORMATION

<b>Project Name</b>	<b>E Remington Townhomes</b>
<b>Address</b>	1300 & 1304 E Remington Ct, Seattle
<b>Tax ID Number</b>	2908700080 & 2908700075
<b>Lot Size</b>	5,182 SF

## PROJECT TEAM

<b>Owner/Developer</b>	Lou Development LLC Contact: Lei Cheng 16400 Southcenter Parkway Suite 402 Tukwila, WA 98188
<b>Architect</b>	CB Anderson Architects PLLC Contact: David Squires 7209 Greenwood Ave N Seattle, WA 98103
<b>Landscape Architect</b>	Glenn Takagi ASLA 18550 Firlands Way N, #102 Shoreline, WA 98122

## CONTENTS

### Streamlined Design Review Early Design Guidance Packet SDCI PROJECT # 3034959-EG

<b>2.0 Cover</b>	2
<b>3.0 Development Objectives &amp; Summary of Public Outreach</b>	3
<b>4.0 Site Plan</b>	4
<b>5.0 Context Analysis</b>	5 – 11
• Neighborhood Bird's Eye View & Aerial	5
• Neighborhood Photos	6–7
• Street Photos	8–10
• Site and Alley Photos	11
<b>6.0 Zoning Data</b>	12–13
• Zoning Map	12
• Zoning Table	13
<b>7.0 Design Guidelines</b>	14– 17
• Guidelines and Responses	14–16
• Design Diagrams	17
<b>8.0 Architectural Concept</b>	18–30
• Elevations	18–20
• Floor Plans	21–30
• 3D Views	31
• 9.0 Adjustments	32

## 3.0 OBJECTIVES & SUMMARY OF PUBLIC OUTREACH

### PROJECT DATA

#### Residential Unit Count:

(7) Townhomes with (7) ADUs

#### Parking Quantity:

Vehicles: None

Bicycles: (2) short-term, (7) Long-term stalls

#### Description of Development Objectives:

Project location is an LR3 (M) zone within the 12th Ave Urban Center Village of Seattle. The neighborhood is known as Squire Park and is within the Central District area. The proposed project consists of new construction of seven townhomes over seven ADUs within two townhome buildings. Each townhome unit will have a private roof deck. No vehicle parking will be provided, 7 bike stalls are proposed. The project addresses its context with simple geometry, lush on-site and streetscape planting and street trees, large windows and stoops at street-facing entries to activate the street-scape. Vertical and horizontal modulation help to reduce perceived mass and scale. Proposed sustainable design concepts include rainwater reuse at bio-planters along street facades as well as Built Green and Green Factor landscaping.

### Public Outreach Summary

Summary of Design-related comments received during the Public Outreach process:

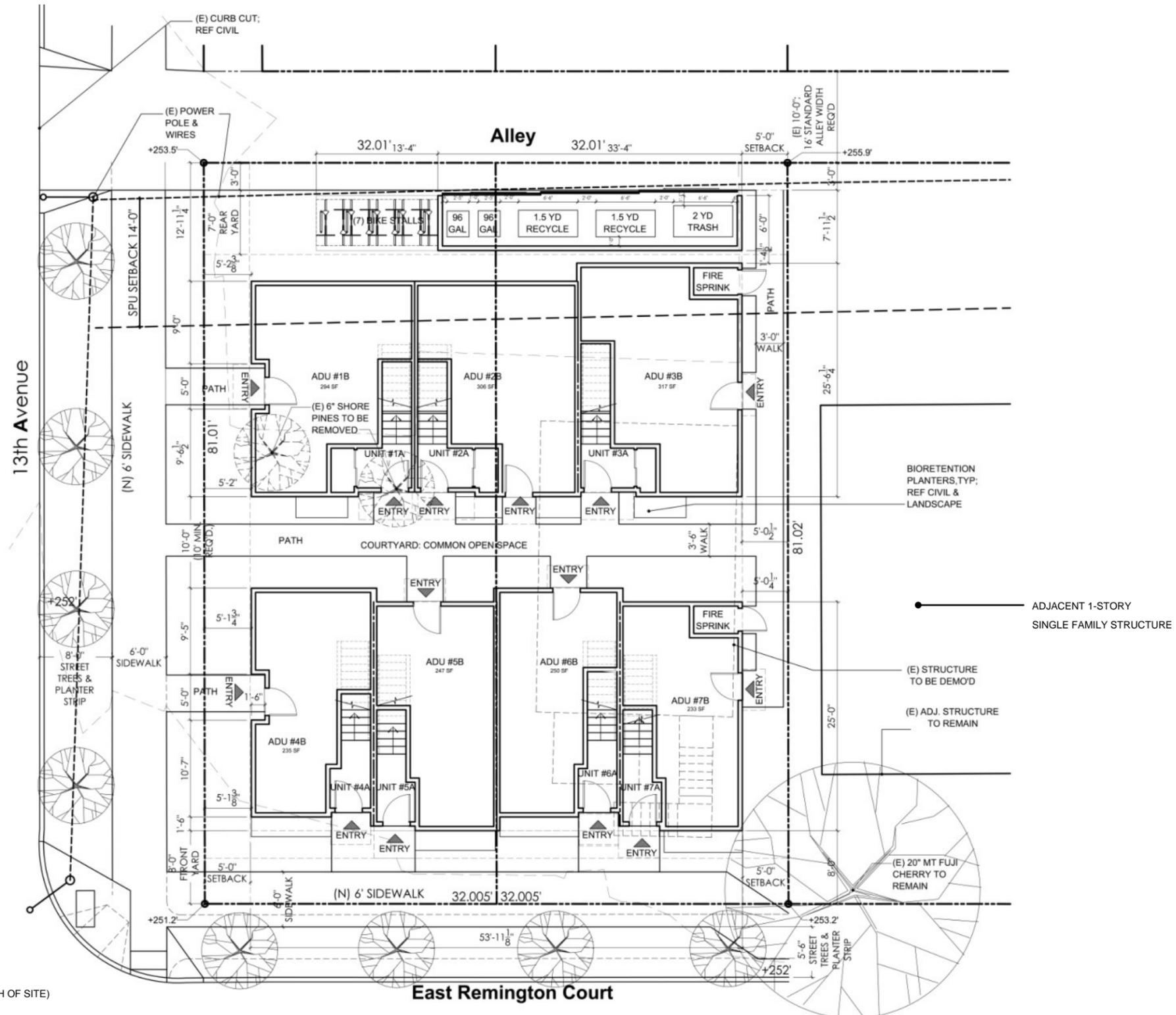
- Appreciate more visibility on the street side for safety – “eyes on the street”
- Transparency on ground level requested.
- Locate the entrances on the same facade, as much as possible, to promote a sense of community, including the ADUs.
- Make the townhomes inviting, less fortress-like.
- Take design cues from the neighborhood in terms of aesthetics, openness.
- Request for more open, welcoming design. “The views to the south is amazing so more street-facing windows would be nice”.
- Make the townhomes look less tall by making the staircase less visible or in the back to the rooftop.
- Include irrigation system in landscaping. Hate to see beautiful landscaping die after a month or two.
- Make the design on the alleyway inviting, similar to other buildings currently in the neighborhood.
- Greenery would be nice and inviting.
- Alleyway is actively used. Would appreciate inviting design in the alleyway as well. Lots of windows are requested.

## ARCHITECTURAL SITE PLAN

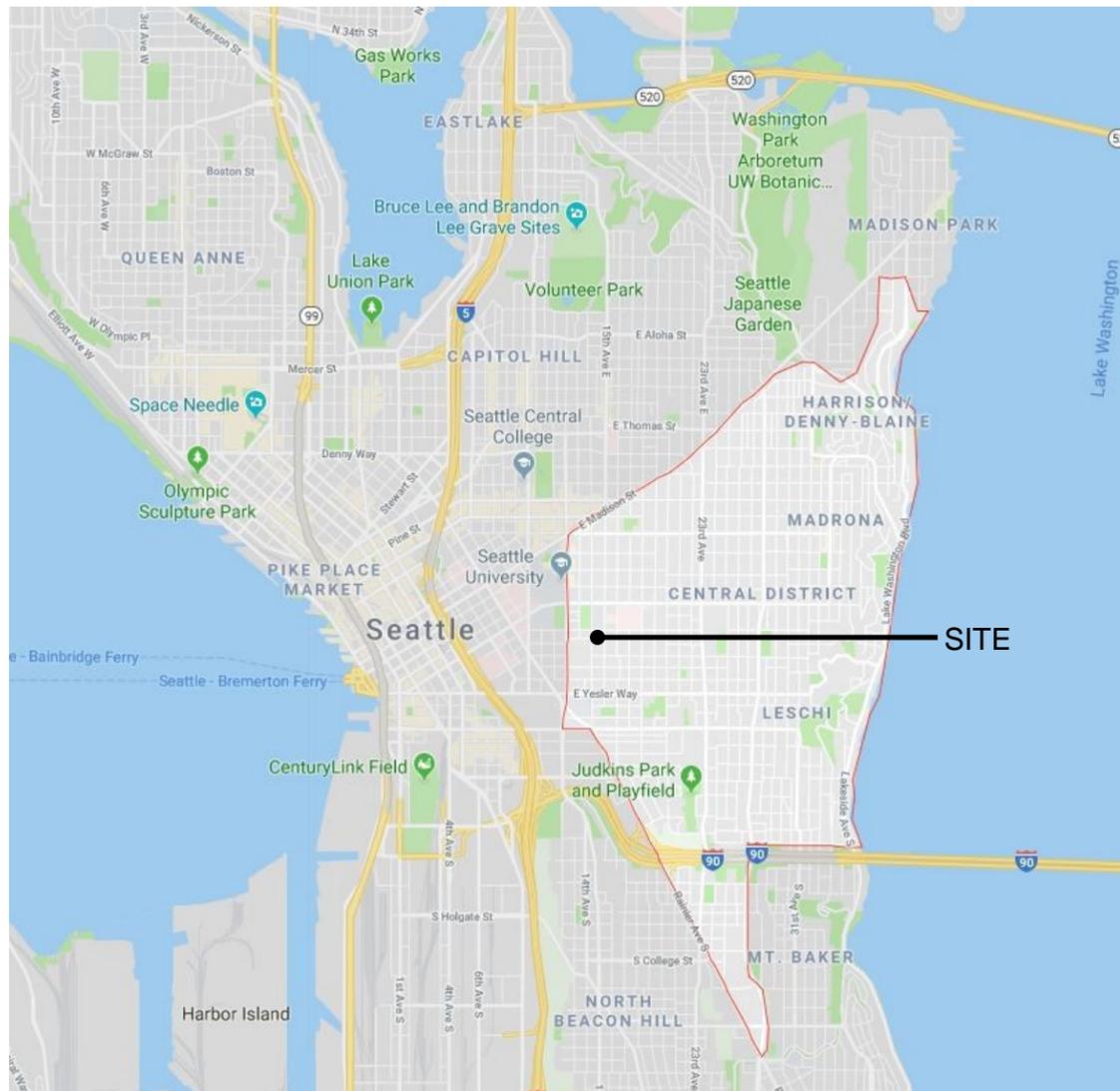
(ADJACENT 1-STORY BAR/RESTAURANT NORTH OF SITE)

(NO STRUCTURE WITHIN 30' WEST OF SITE)

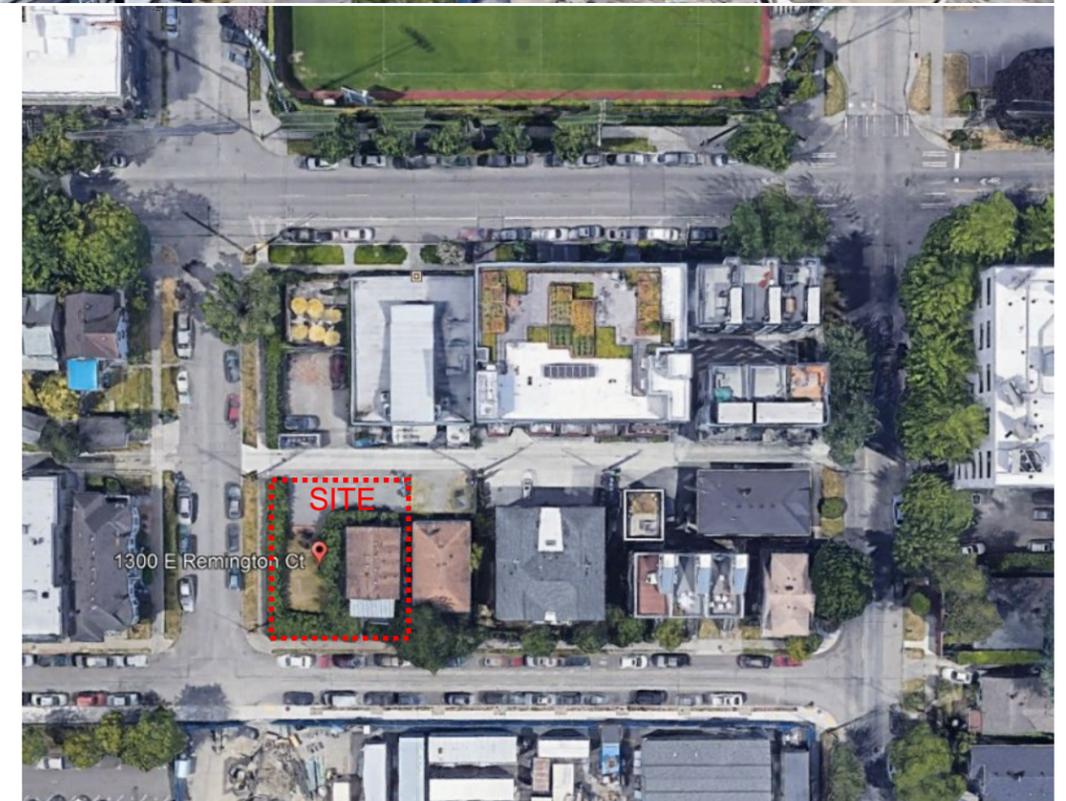
(NO STRUCTURE WITHIN 30' SOUTH OF SITE)



NEIGHBORHOOD CONTEXT

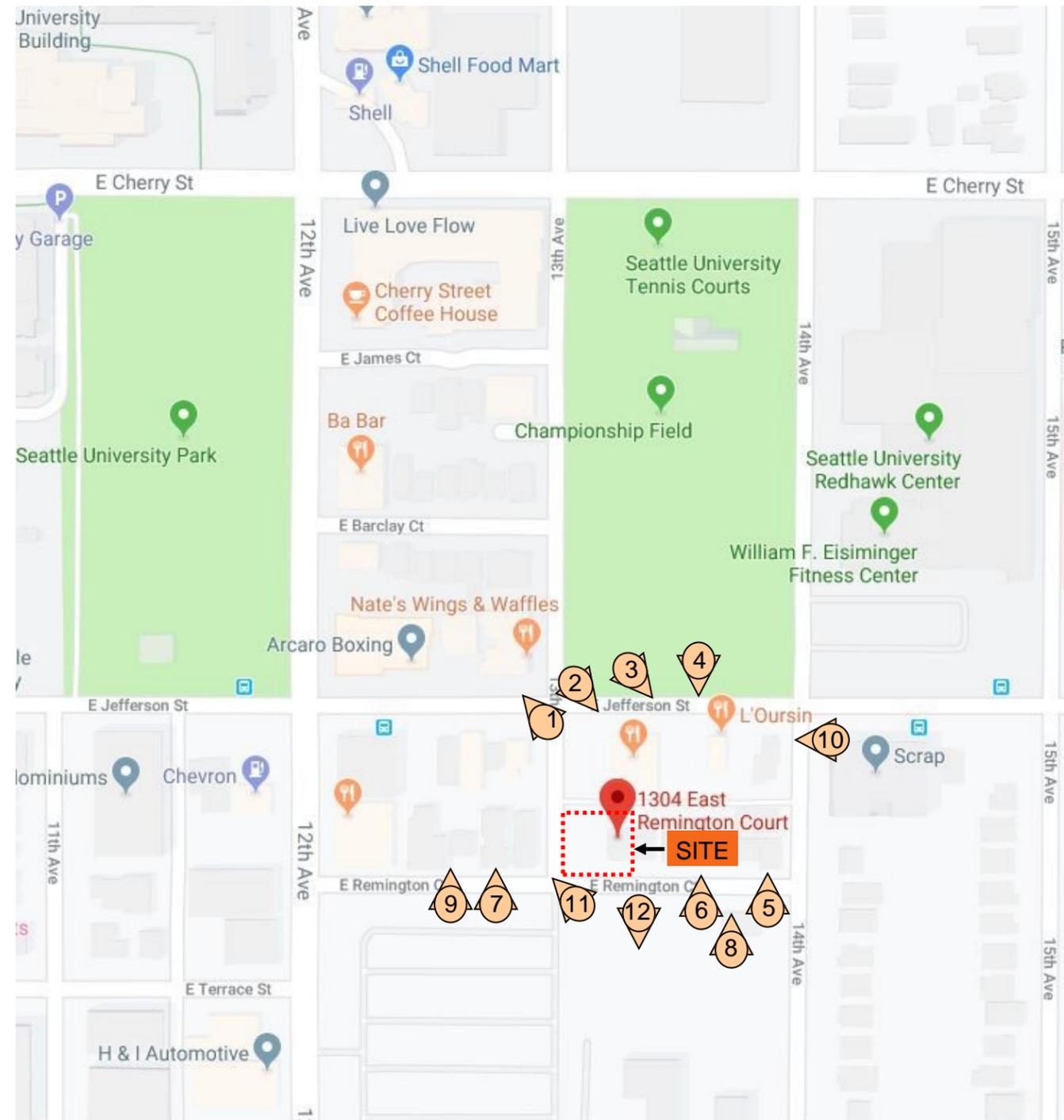


Seattle with Central District boundary



Neighborhood Bird's Eye View & Aerial

NEIGHBORHOOD CONTEXT PHOTO MAP : SEE PHOTOS ON PAGE 7



NEIGHBORHOOD PHOTOS



1. NATE'S WINGS & WAFFLES



2. CENTRAL SMOKE BAR & SMOKERY



3. 4-STORY MIXED USE APARTMENTS



4. 4-STORY MIXED USE APARTMENTS



5. 2-STORY SINGLE FAMILY HOME



6. 3-STORY TOWNHOMES



7. 3-STORY APARTMENTS



8. 3-STORY TOWNHOMES



9. 3-STORY APARTMENTS



10. 4-STORY TOWNHOMES



11. 2-STORY APARTMENTS



12. INSTITUTIONAL BUILDINGS

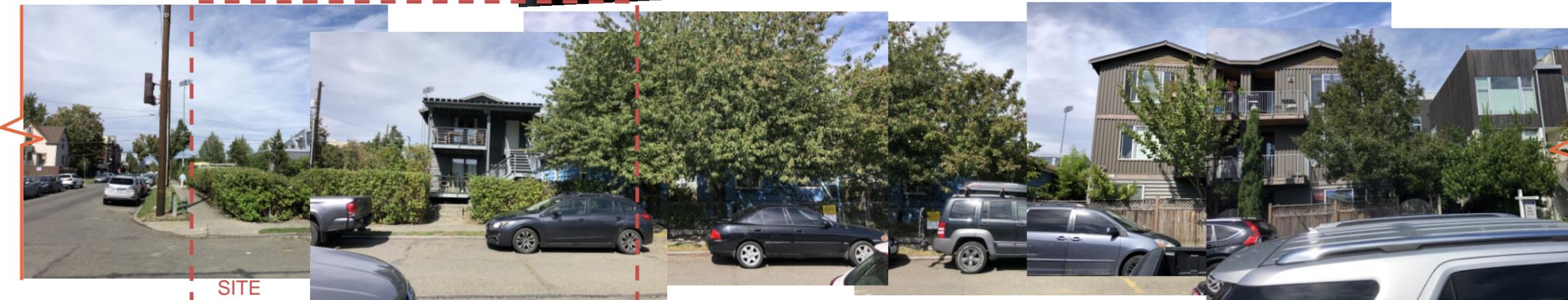
E REMINGTON CT BLOCK : NORTH SIDE



E REMINGTON CT

13TH AVENUE

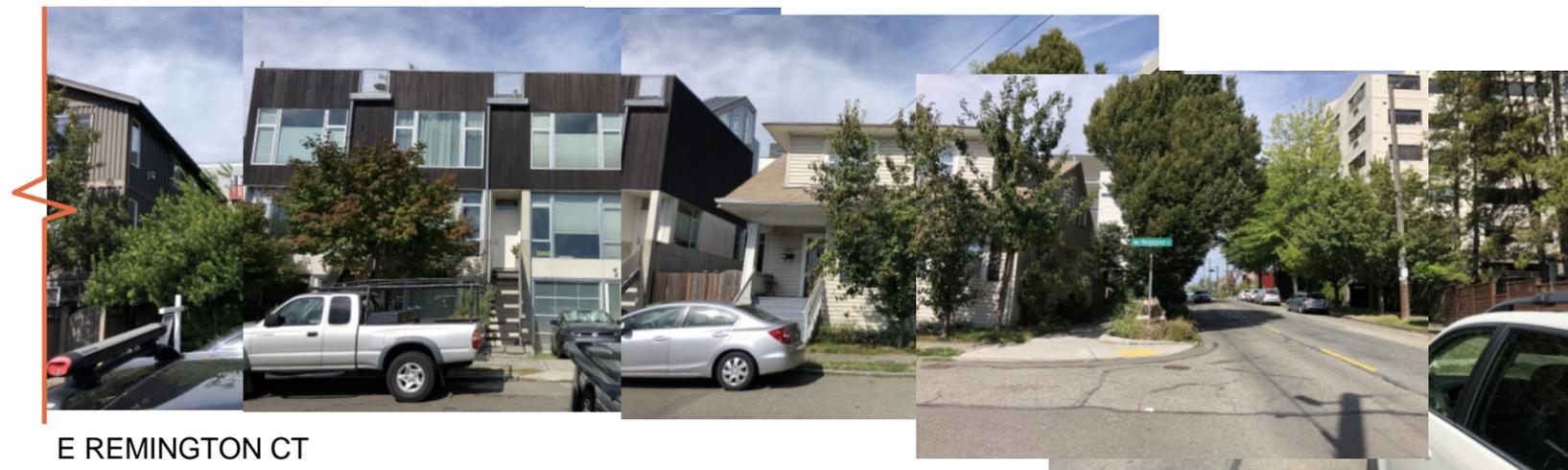
STREETSCAPE CONTINUES BELOW



SITE

STREETSCAPE CONTINUES BELOW

E REMINGTON CT



E REMINGTON CT

14TH AVENUE

E REMINGTON CT : SOUTH STREETScape

14TH AVE



E REMINGTON CT

STREETSCAPE CONTINUES BELOW



E REMINGTON CT

STREETSCAPE CONTINUES BELOW



E REMINGTON CT

13TH AVE BLOCK : WEST & EAST STREETScape



13TH AVENUE : LOOKING WEST



13TH AVENUE : LOOKING EAST

## EXISTING SITE, STREET AND ALLEY PHOTOS



1



2



3



4



5



6



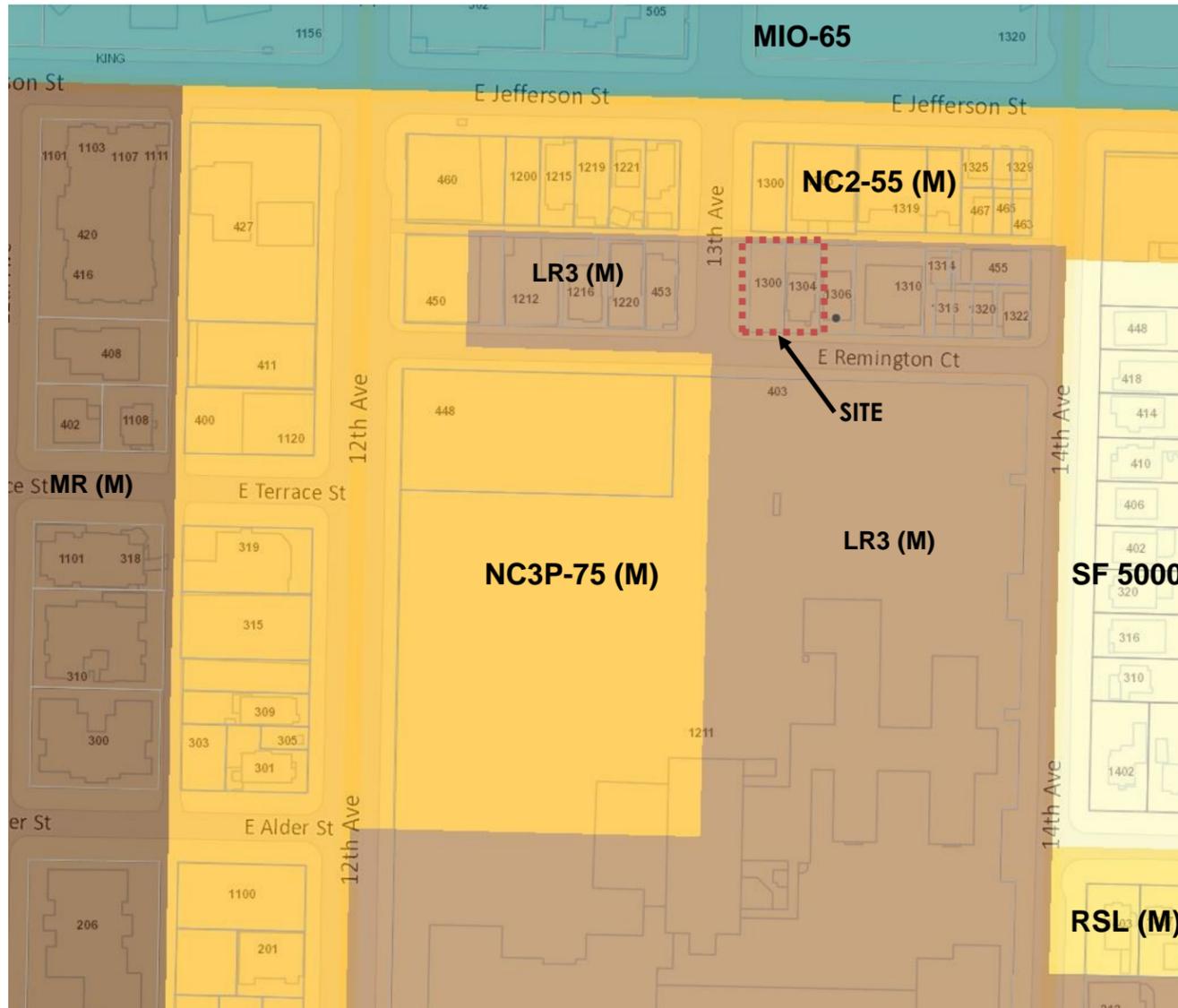
7



8

## DETAILED ZONING MAP

## VICINITY MAP WITH EXISTING USES



### Use Legend

- Single Family
- Institutional
- Multi Family
- Commercial



ZONING TABLE

Seattle Land Use Section	Code	Proposed
23.45.510 Floor Area Ratio	Maximum FAR in LR3 (M) for townhomes inside urban village: 2.3 if meeting standards of 23.45.530 & 23.58D.	Lot area: 5,182 SF Maximum FAR allowed: 5,182 SF x 2.3 = 11,919 GFA FAR proposed: 9,903 SF GFA
24.45.512 Density Limits	LR3 (M) density limit for townhomes: No Limit	Maximum density allowed: No Limit Proposed: (7) Townhomes over (7) ADUs
23.45.514 Structure Height	- Maximum base height for townhomes for principal structures is 40' in LR3 (M) zones. - Open railings and parapet walls may extend 4' above the base height - Stair penthouses are allowed to extend 10' above the maximum allowed base height	Proposed: building heights shall comply with code limits
23.45.518 Setbacks	Townhome setbacks Front setback: 7' average, 5' minimum Rear setback: 7' average, 5' minimum Side setback for facades 40' or less in length: 5' Side setback for facades 40' or more in length: 7' average, 5' minimum	Proposed Front setback: 8'-0" Proposed Rear setback: 12'-11 1/4" Proposed Side setback for facades more than 40': West: 5'-1" and East: 5'-0"
23.45.522 Amenity Area	Minimum amenity area for Townhomes: 25% of lot area A minimum of 50% of the amenity area is required on ground level	Minimum required Amenity area: 5,182 SF x 25 % = 1,296 SF Proposed: Private amenity area = 2,900 SF
23.45.524 Landscaping Standards	Green Factor Requirement: Green Factor score or 0.6 or greater	Proposed: landscaping will meet Green Factor score of 0.6
23.45.527 Structure Width & Façade Length	Townhouse requirements: Maximum allowed structure width, inside urban village: 150' Maximum façade length within 15' of a side lot line: 65% or lot depth	Proposed max. width: 53'-11" Maximum allowed façade length: 81' x 65% = 52'-7", Proposed: 50'-6"
23.54.015 Table B Parking for Residential Uses	Per City documents, vehicular parking is not required for site. Bike stalls are required.	Proposed vehicle parking: None Proposed bike parking: (2) short term, (7) long term covered stalls

## DESIGN GUIDELINES

DESIGN GUIDELINE	DESCRIPTION	DESIGN RESPONSE
<b>Context and Site</b>		
CS1 Natural Systems and features	<ul style="list-style-type: none"> <li>A. Energy Use</li> <li>B. Sunlight &amp; Natural Ventilation</li> <li>C. Topography</li> <li>D. Plants &amp; Habitat</li> <li>E. Water</li> </ul>	The operable windows in all units are located to optimize natural ventilation. All units are designed to have taller ceilings and large windows to allow natural light deep into the spaces. The proposed deciduous street trees wide provide shading the South & West façades in the summer while allowing more light during winter months. The buildings will conform with Built Green and Green Factor standards, providing high density landscape, and high performance building envelope and mechanical systems. The site's topography is largely flat, allowing for direct on-grade access to units and allowing for efficient open spaces without the need for retaining walls and ramps. Rooftop stormwater will be piped to bio-retention planters at each unit, providing rain-water-fed plantings along the common space and Remington Court streetscape.
CS2 Urban Pattern and Form	<ul style="list-style-type: none"> <li>A. Location: Street &amp; Neighborhood</li> <li>B. Adjacent Sites, streets &amp; Open Spaces</li> <li>C. Relationship to the block</li> <li>D. Height, Bulk &amp; Scale</li> </ul>	<p>Existing buildings in the immediate vicinity of the property are two, three and four-story apartment buildings and townhomes. One single family home shares the east property line however this home is slated to be developed in the near future. Overall the block is a mixture of older and newer single-family and multi-family structures with varied mass, scale and height.</p> <p>The MHA zoning suffix allows for four-story buildings. The townhomes are set back from the sidewalk with generous planted buffers and street trees within planter strips along the curbs. Situated on a corner lot, both street-facing facades address their frontage with unit entries and architectural language.</p> <p>The north building's mass steps back from the alley at its upper two floors. All buildings modulate horizontally and vertically to reduced their perceived bulk. The roof deck parapets feature guardrail inserts which reduce perceived height, allowing for more skyline and sunlight to be enjoyed from the street level.</p>
CS3 Architectural Context and Character	<ul style="list-style-type: none"> <li>A. Emphasizing Positive Neighborhood Attributes</li> <li>B. Local History &amp; Culture</li> </ul>	Squire Park/Central District is an evolving neighborhood with a mixture of buildings from different eras, styles and uses. The local history has a strong base of African heritage with a diverse blend of building stock and uses. The proposed development intends to acknowledge the neighborhood's history visually through its composition and with its direct connection to the streetscape, encouraging community interaction. The project density and its front door configuration intends to create a small scale community culture on site set within the greater neighborhood. Strong community bonds within communities have been shown to increase security, safety and quality of living. No fences are proposed along the sidewalks, which helps to create an inviting communal environment.
<b>Public Life</b>		
PL1 Open Space Connectivity	<ul style="list-style-type: none"> <li>A. Network of Open Spaces</li> <li>B. Walkways &amp; Connections</li> <li>C. Outdoor Uses &amp; Activities</li> </ul>	Outdoor uses and activities are centered on entry stoops, central common plaza and roof top decks. The larger than average setbacks created along the streets and alley in combination with planter strips and street trees create the sense of a public open space along the frontage for play and interaction. A centrally located mailbox is situated along the central plaza pathway. Bike storage and trash/recycling are situated along the alley and screened from view. No fences are proposed along the sidewalks. The boundaries between public and private areas will be created through landscaping.
PL2 Walkability	<ul style="list-style-type: none"> <li>A. Accessibility</li> <li>B. Safety &amp; Security</li> <li>C. Weather Protection</li> <li>D. Wayfinding</li> </ul>	The proposed site plan provides a simple network of pathways connecting all adjacent right of ways to open space and unit entries. Pathway illumination provides a balance of night time safety and appropriate light levels. Weather protection is provided by cantilevered masses and entry canopies. The brightly colored entry doors, color matched canopies and oversized unit addressing allow for easy wayfinding. Pathways shall also be illuminated and clearly identified.

## DESIGN GUIDELINES

DESIGN GUIDELINE	DESCRIPTION	DESIGN RESPONSE
<b>Public Life</b>		
PL3 Street Level Interaction	<ul style="list-style-type: none"> <li>A. Entries</li> <li>B. Residential Edges</li> </ul>	The entries on the south and west faces directly engage the streetscape, a portion of the ADUs and (2) townhome entries face the common space courtyard with pathways to the sidewalks. No fences are proposed for this development. Public/private zones are delineated with landscaping, fostering an open and welcoming experience. New street trees and planter strip landscaping enhance the streetscape. Entry doors and large windows connect interiors to the streetscape and open spaces.
PL 4 Active Transit	<ul style="list-style-type: none"> <li>A. Entry Locations &amp; relationships</li> <li>B. Planning ahead for bicyclists</li> <li>C. Planning ahead for transit</li> </ul>	All street-facing units feature entry doors facing the sidewalk, the remaining entry locations engage the common space courtyard. A common pathway to the court will be lined with vegetation and connected to the sidewalk. This site entry node will be marked by a common mailbox and pathway lighting. 7 covered long-term bike stalls and 2 covered short term bike stalls are provided. On-site pathways make easy access to adjacent street and alley links to neighborhood and transit.
<b>Design Concept</b>		
DC1 Project Uses & Activities	<ul style="list-style-type: none"> <li>A. Arrangement of Interior Uses</li> <li>B. Vehicular Access &amp; Circulation</li> <li>C. Parking &amp; Service Uses</li> </ul>	The arrangement of interiors promotes visual connection to the outdoors through a high window-wall ratio, Juliette railings, and open floor plans. No vehicular access is proposed, maximizing site area for activities and landscaping. Bike stalls are covered and situated along the alley for easy access. The common courtyard will provide shared outdoor space for the residents.
DC 2 Architectural Concept	<ul style="list-style-type: none"> <li>A. Massing</li> <li>B. Architectural &amp; Façade Composition</li> <li>C. Secondary Architectural Features</li> <li>D. Scale &amp; texture</li> </ul>	Massing is modulated vertically and horizontally and accented by projecting entry canopies. The geometry and façade composition is a timeless simplified contemporary style. Secondary elements include roof deck railings and Juliette balconies. The scale is reduced through material and color changes, which adds smaller scale textures and shadow lines.

## DESIGN GUIDELINES

DESIGN GUIDELINE	DESCRIPTION	DESIGN RESPONSE
<b>Design Concept</b>		
DC2 Architectural Concept	B. Architectural and façade composition	With its density and small lot area, the townhomes must be vertical in nature. To reduce the vertical emphasis, the design employs horizontal and vertical articulation to create interest. This modulation provides corners for material changes and natural shadow lines. The application of a variety of materials, colors and railings further break up the rectilinear massing. A simple palette of colors and materials are proposed throughout. A simple abstract paint scheme that visually "ties" window groupings via color-match siding panels finishes the composition.
	C. Secondary architectural features	All units will feature awnings at entries and railing segments within the roof parapets. The three alley-facing units have Juliette balconies at the upper floors to add architectural interest. The simple abstract window composition with color matched panels add a distinctive look to the project.
	D. Scale and Texture	The buildings take advantage of the recent MHA height allowance, matching the height of the adjacent 4 story apartment building. The proposed façade composition features metal railings, entry awnings, Juliette balconies and a variation in siding. The horizontal lines of the modulation and setbacks create shadow lines to add visual interest. Material and color changes combined with secondary elements and modulation reduce scale and increase texture.
DC3 Open Space Concept	A. Building—Open Space relationship	The density for this site ensures a limited amount of available on-grade open space. As such, private on-grade areas are minimized and roof decks are emphasized. Each townhome features a rooftop deck which will offer territorial and mountain views to the south. All units have ADUs at grade level which enter directly from open spaces and the streetscape. Dense landscaping enhances the limited open space. No fences are proposed along the sidewalks, which draws the eye beyond the site boundaries.
DC4 Exterior Elements and Materials	A. Exterior elements and Finishes	The project features a variety of exterior finishes, patterns and colors. Painted cement board panel and lap siding create a simple contemporary composition which draws from adjacent residential structures. Metal entry canopies, Juliette balcony and roof deck railings add an industrial flair to the buildings, referencing the mixed industrial-residential history of the neighborhood.
How does proposal meet Citywide and Neighborhood design guidelines?	Central District Design & Citywide Guidelines	The proposed development intends to acknowledge the neighborhood's history visually through its composition and with its direct connection to the streetscape, encouraging community interaction. The project density and its front door configuration intends to create a small scale community culture on site set within the greater neighborhood. Strong community bonds within communities have been shown to increase security, safety and quality of living. No fences are proposed along the sidewalks, which helps to create an inviting communal environment. Bright colors on doors and canopies combined with a simple abstract paint scheme reference the neighborhood's African history.

## DESIGN GUIDELINE DIAGRAMS



Entry Canopy in accent color for enhanced wayfinding & street level interaction

Bio-planters for stormwater management and visual enhancement at southern facades

Lush Green Factor Landscaping throughout site

**DIAGRAM : ENTRY PORCH**

Railing inserts within parapet help to preserve skyline and light

Building setback along alley reduces mass

Simple massing creates interest while maximizing interior living area on small site

Accent color and simple abstract paint scheme generates interest

South and western facades along frontages and large windows allow for maximum natural light within units and provides eyes-on -street



**DIAGRAM : MASSING**

## ELEVATIONS



- Metal railings
- Painted FC panel siding (white)
- Painted FC panel siding (charcoal gray)
- Painted 10" FC lap siding (dark gray)
- Color-matched entry doors and canopies (dark red)

**SOUTH ELEVATION : SOUTH BUILDING**



- Metal railings
- Painted FC panel siding (white)
- Painted FC panel siding (charcoal gray)
- Painted 10" FC lap siding (dark gray)
- Color-matched entry doors and canopies (dark red)

**WEST ELEVATIONS**

ELEVATIONS



- Metal railings
- Painted FC panel siding (white)
- Painted FC panel siding (charcoal gray)
- Painted 10" FC lap siding (dark gray)
- Color-matched entry doors and canopies (dark red)

NORTH ELEVATION : NORTH BUILDING



- Painted FC panel siding (white)
- Painted FC panel siding (charcoal gray)
- Painted 10" FC lap siding (dark gray)
- Color-matched entry doors and canopies (dark red)

EAST ELEVATIONS

## ELEVATIONS

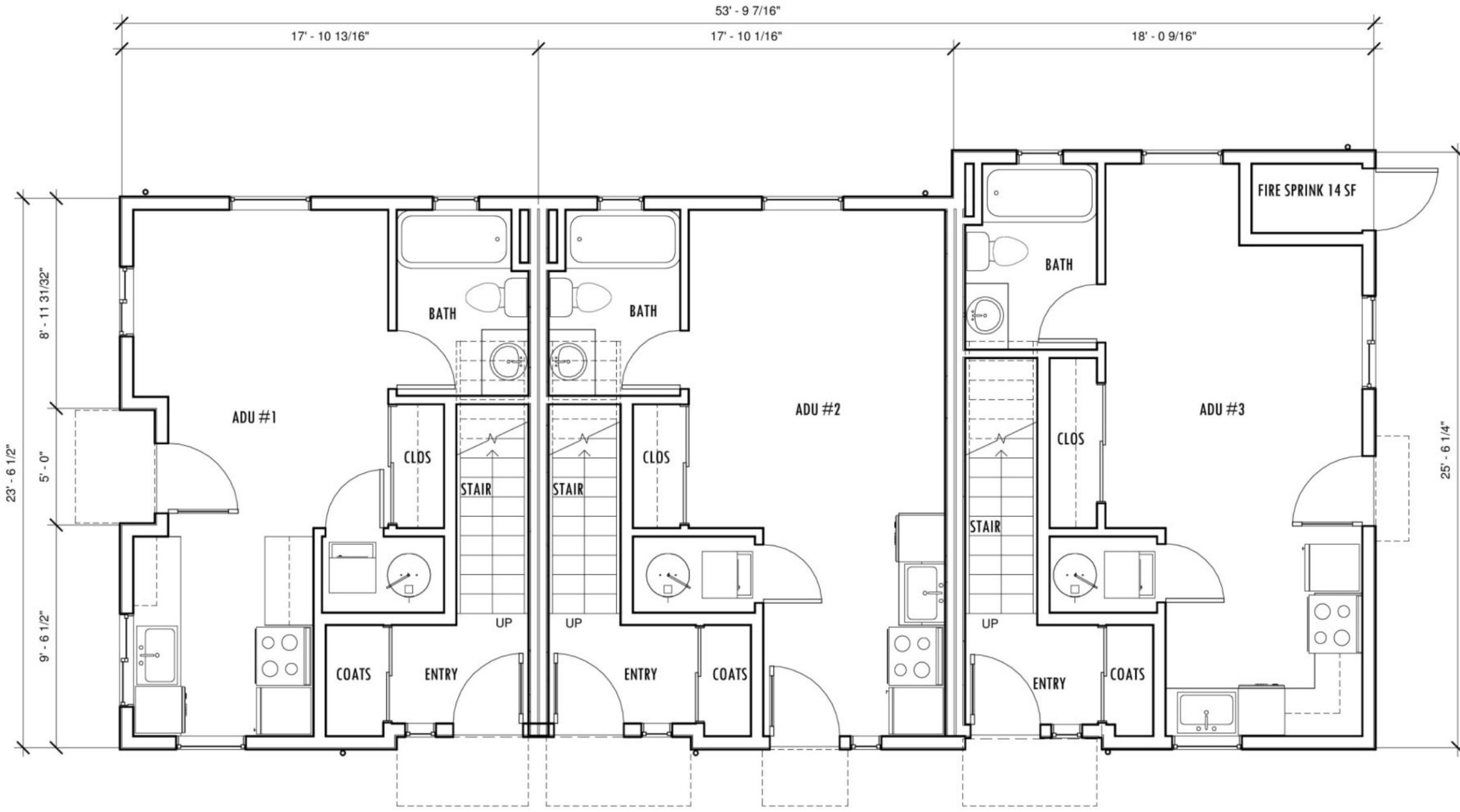


**SOUTH ELEVATION : NORTH BUILDING**



**NORTH ELEVATION : SOUTH BUILDING**

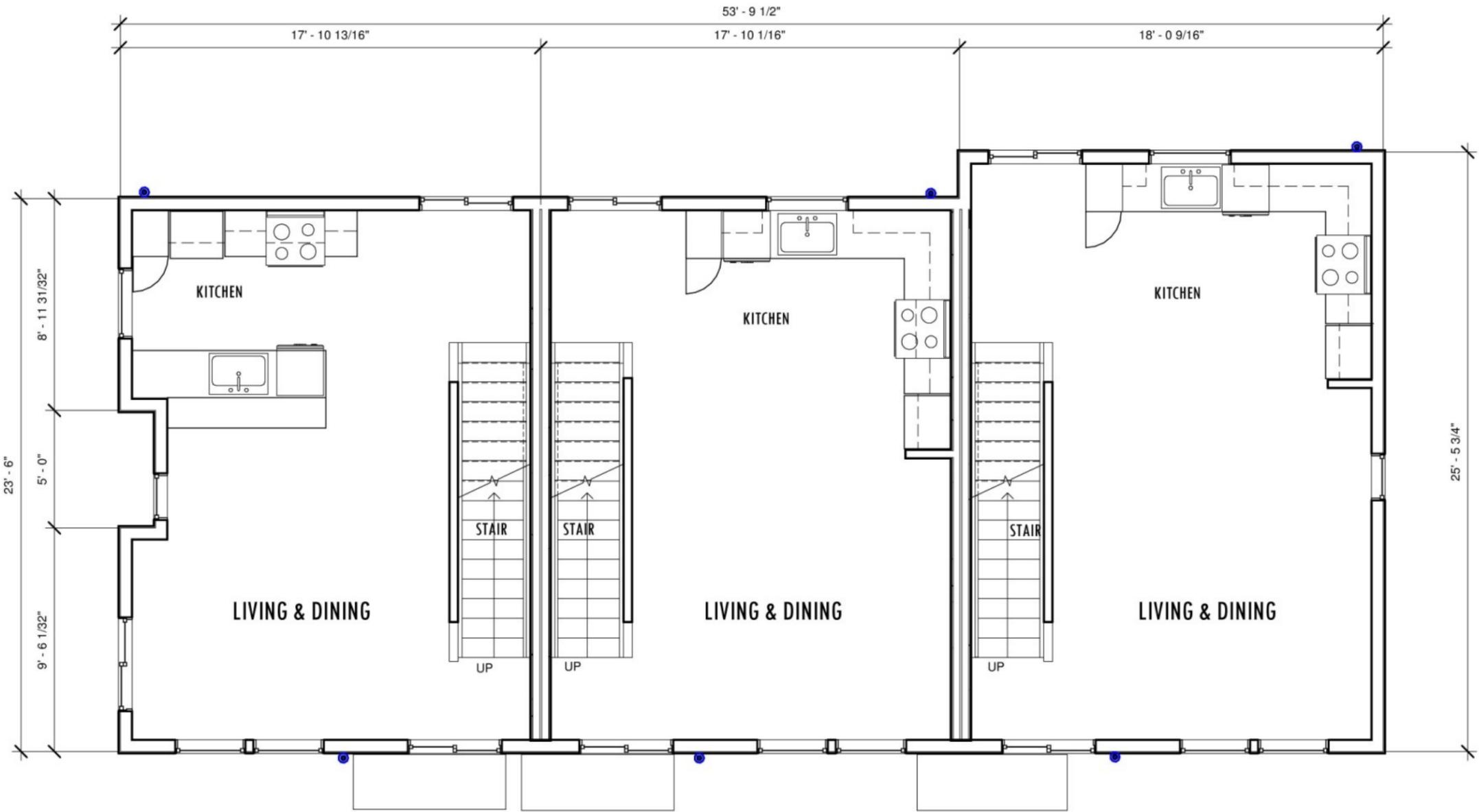
NORTH BUILDING : PLANS



FIRST FLOOR PLAN



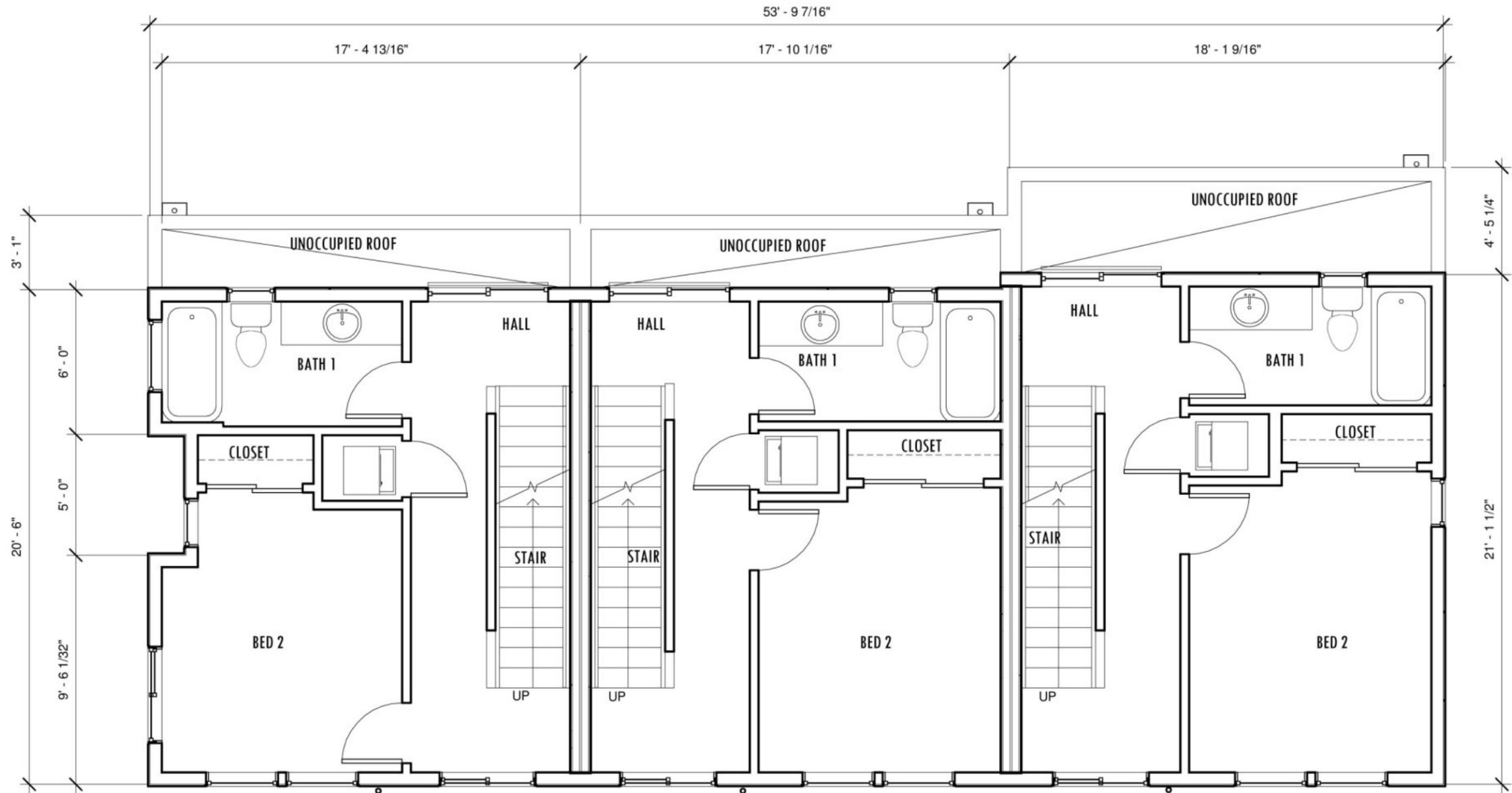
NORTH BUILDING : PLANS



SECOND FLOOR PLAN



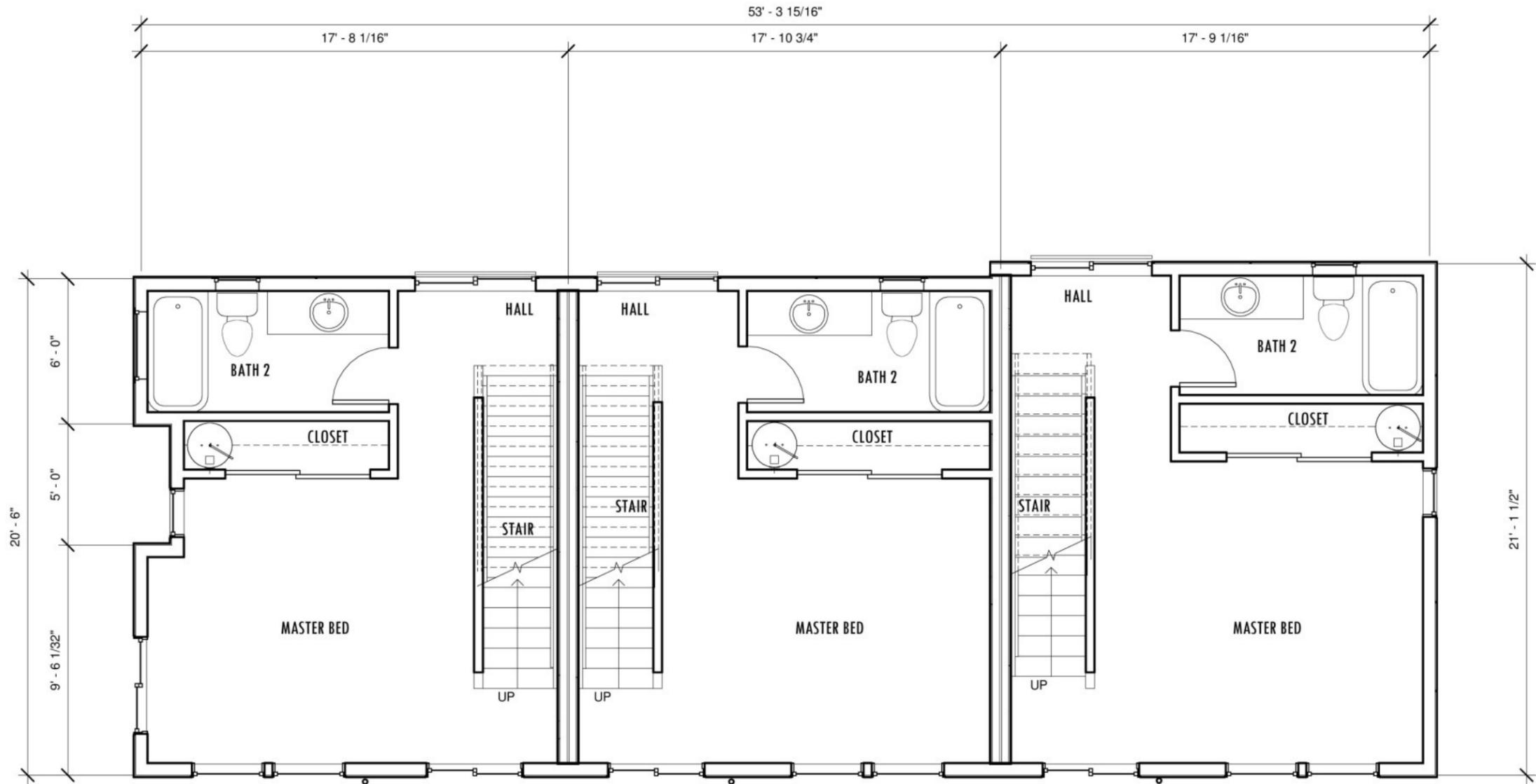
NORTH BUILDING : PLANS



THIRD FLOOR PLAN



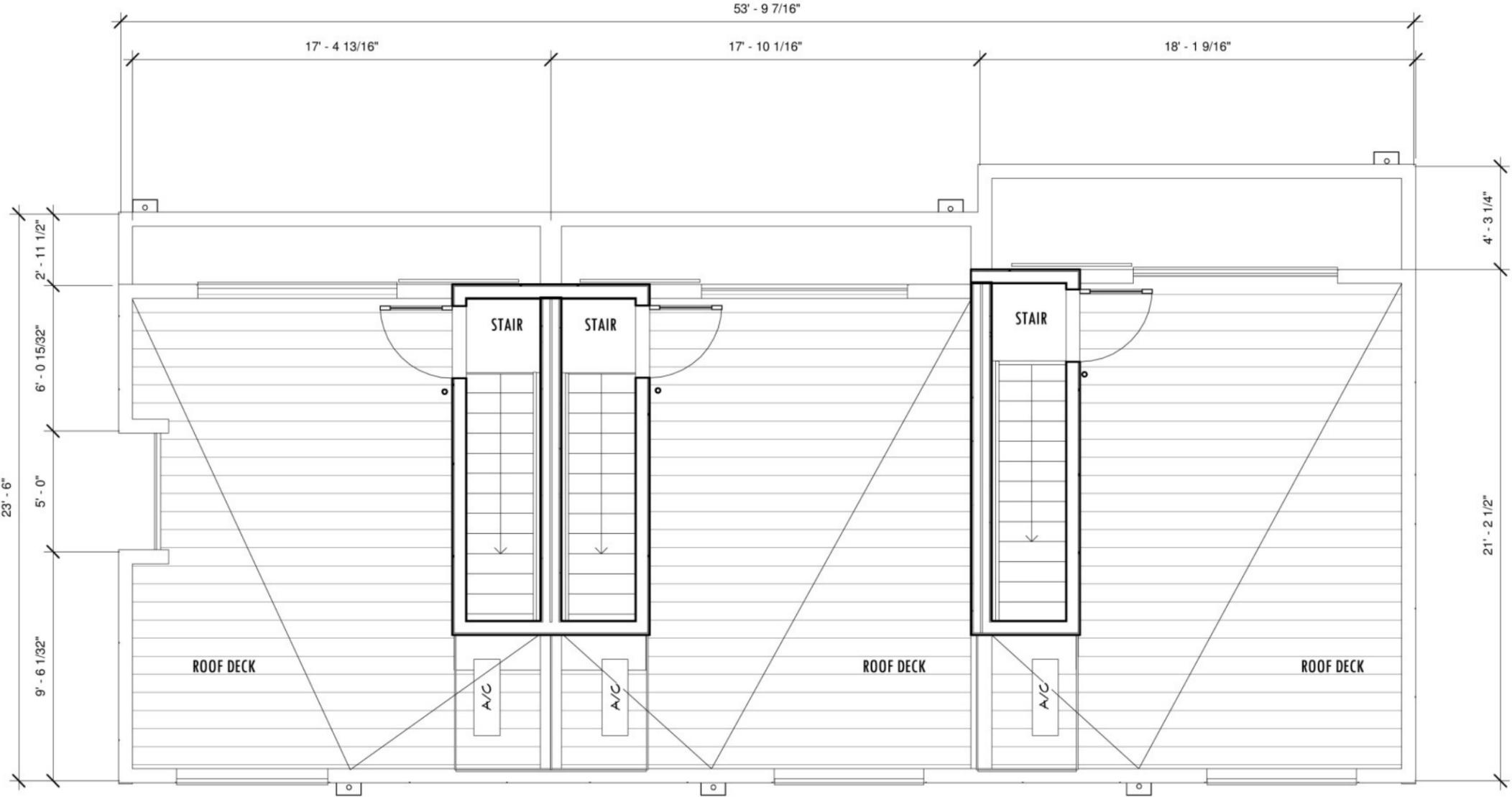
NORTH BUILDING : PLANS



FOURTH FLOOR PLAN



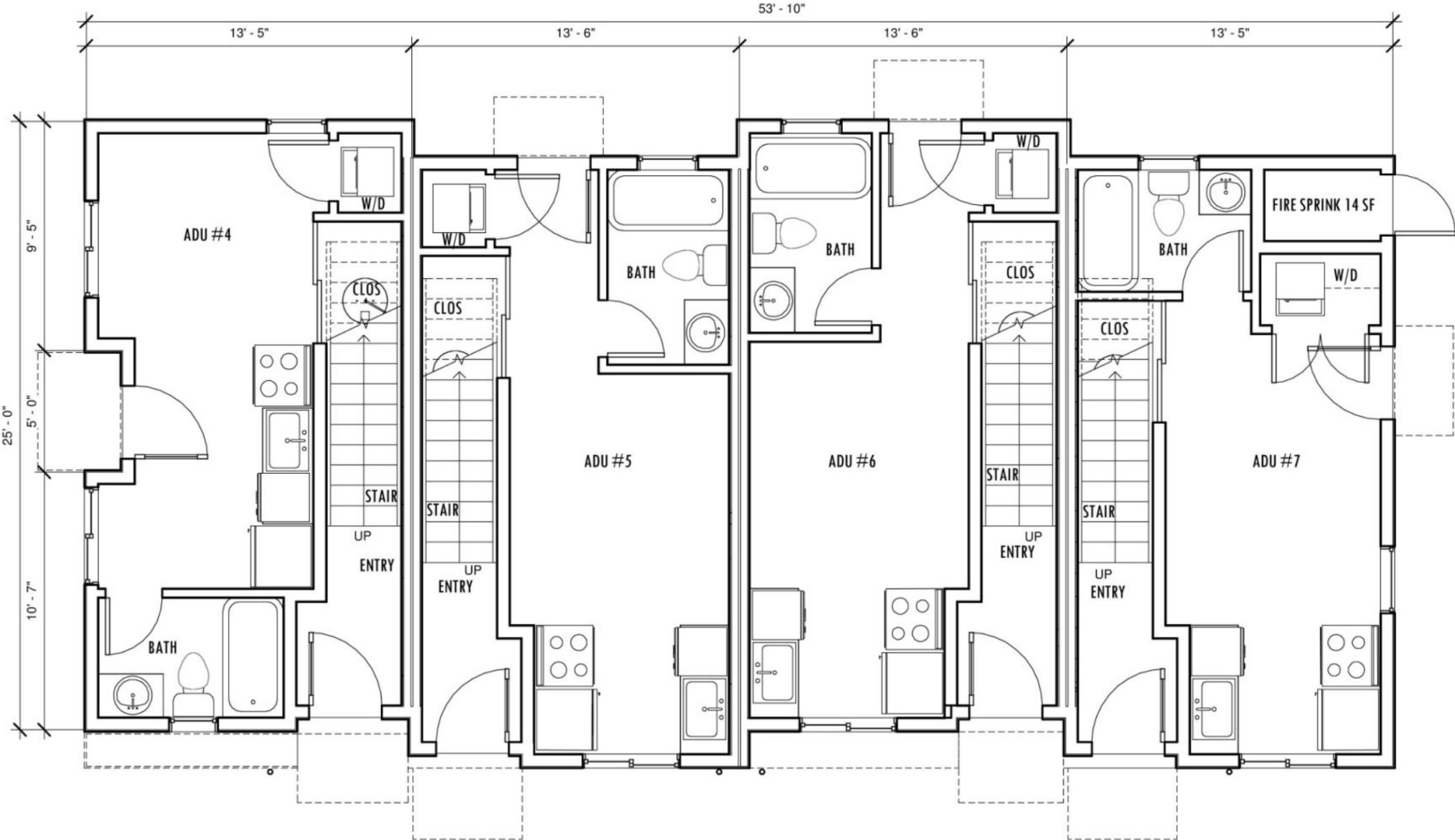
NORTH BUILDING : PLANS



ROOF DECK PLAN



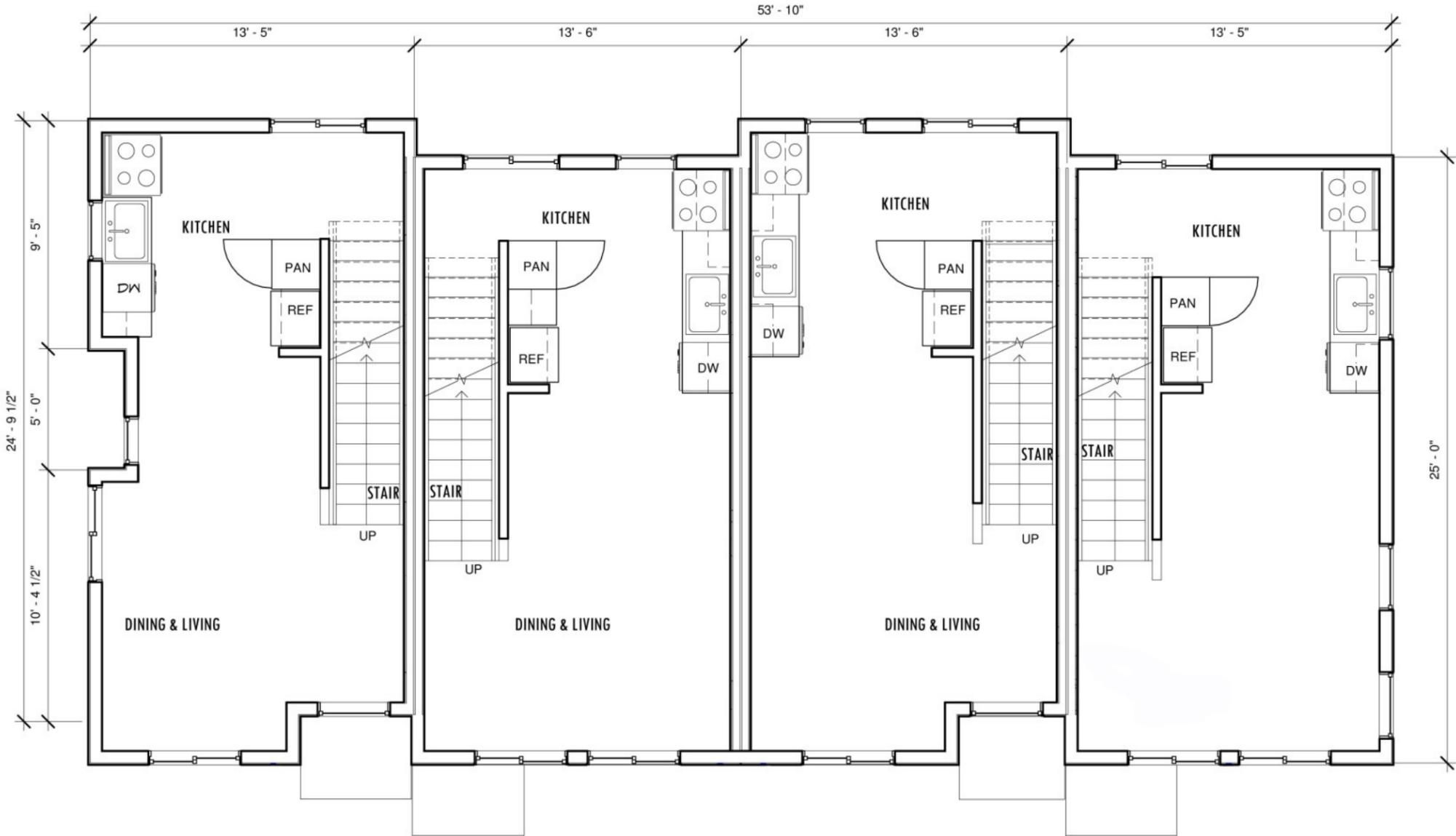
SOUTH BUILDING : PLANS



FIRST FLOOR PLAN



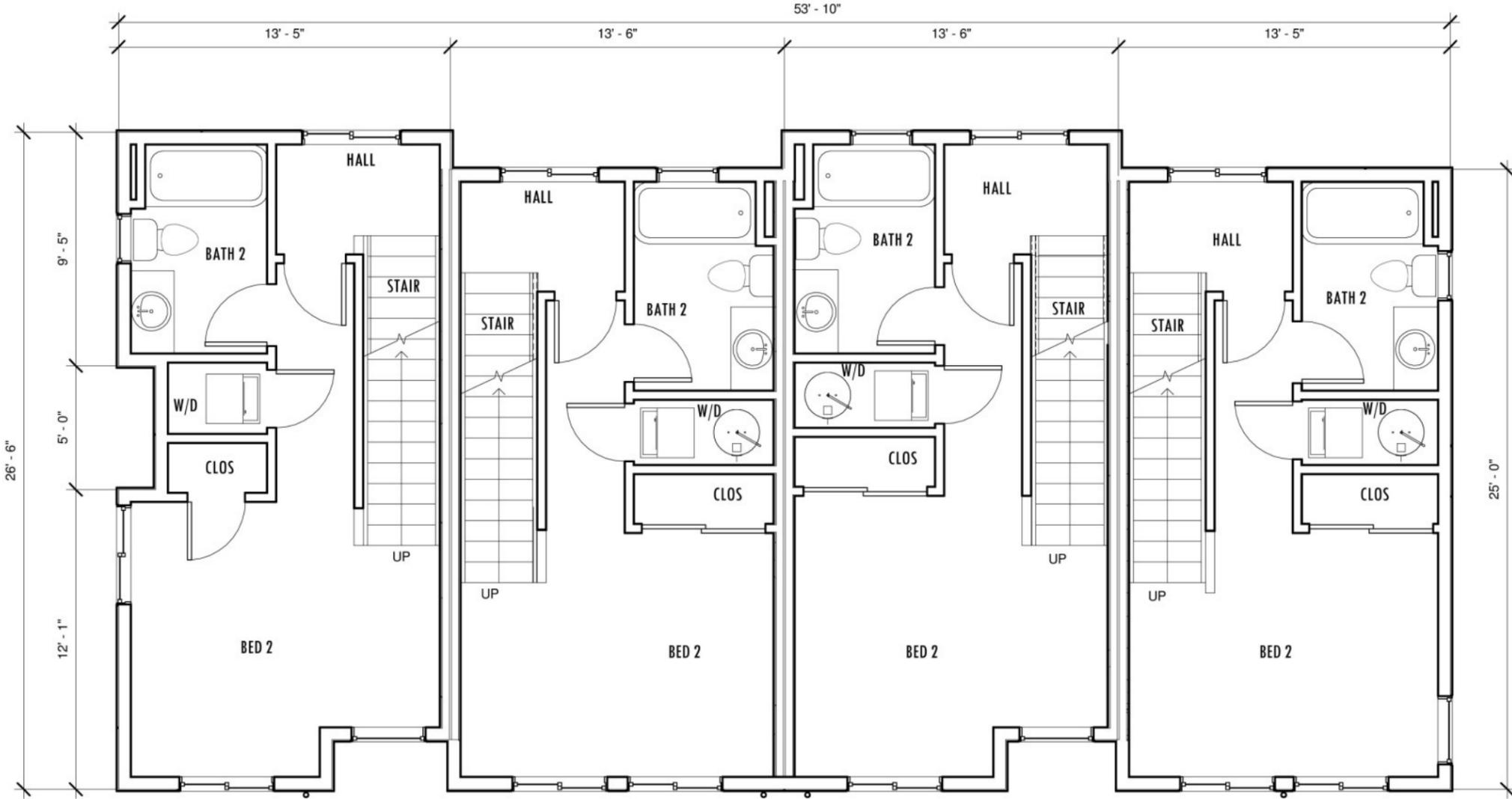
SOUTH BUILDING : PLANS



SECOND FLOOR PLAN



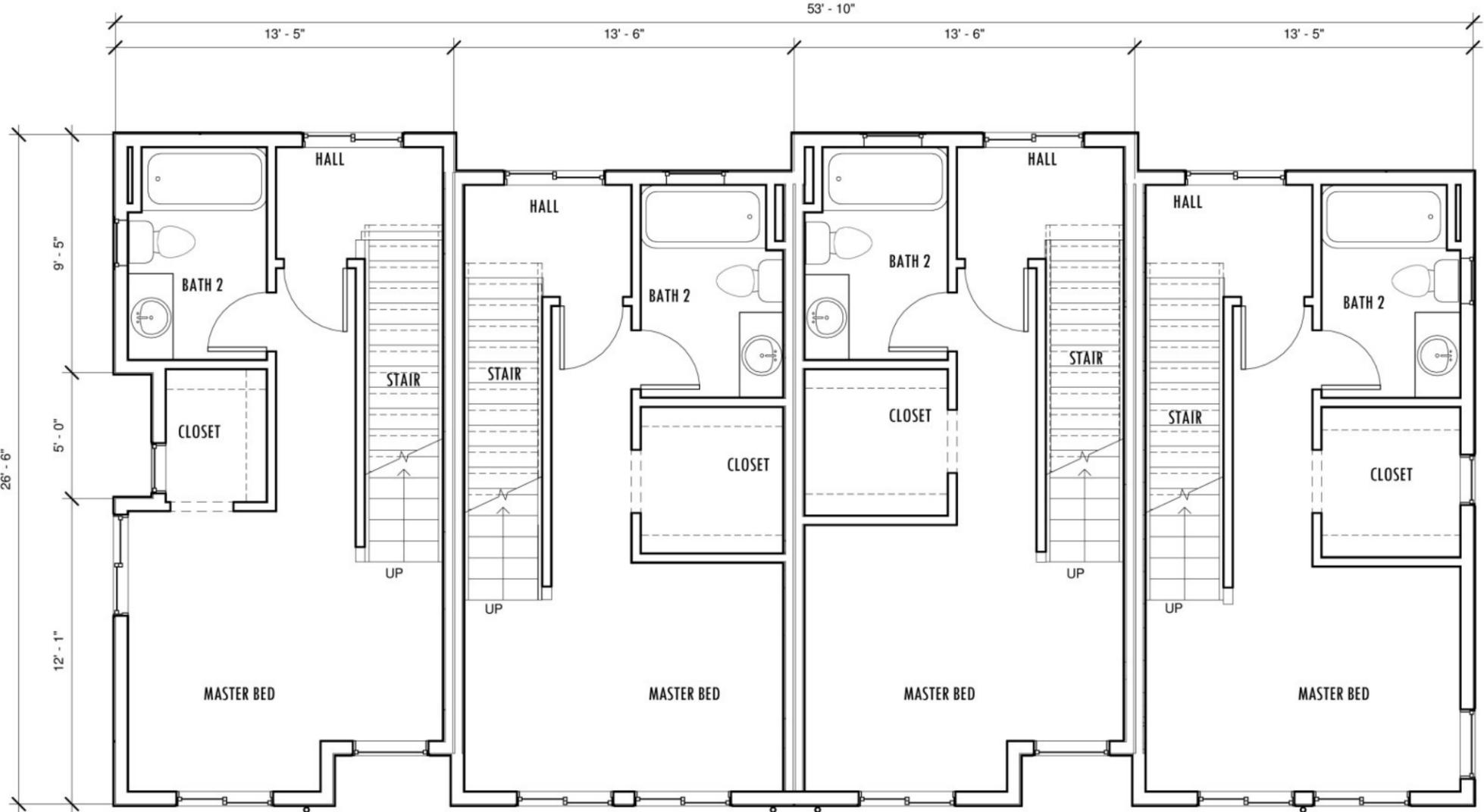
SOUTH BUILDING : PLANS



THIRD FLOOR PLAN



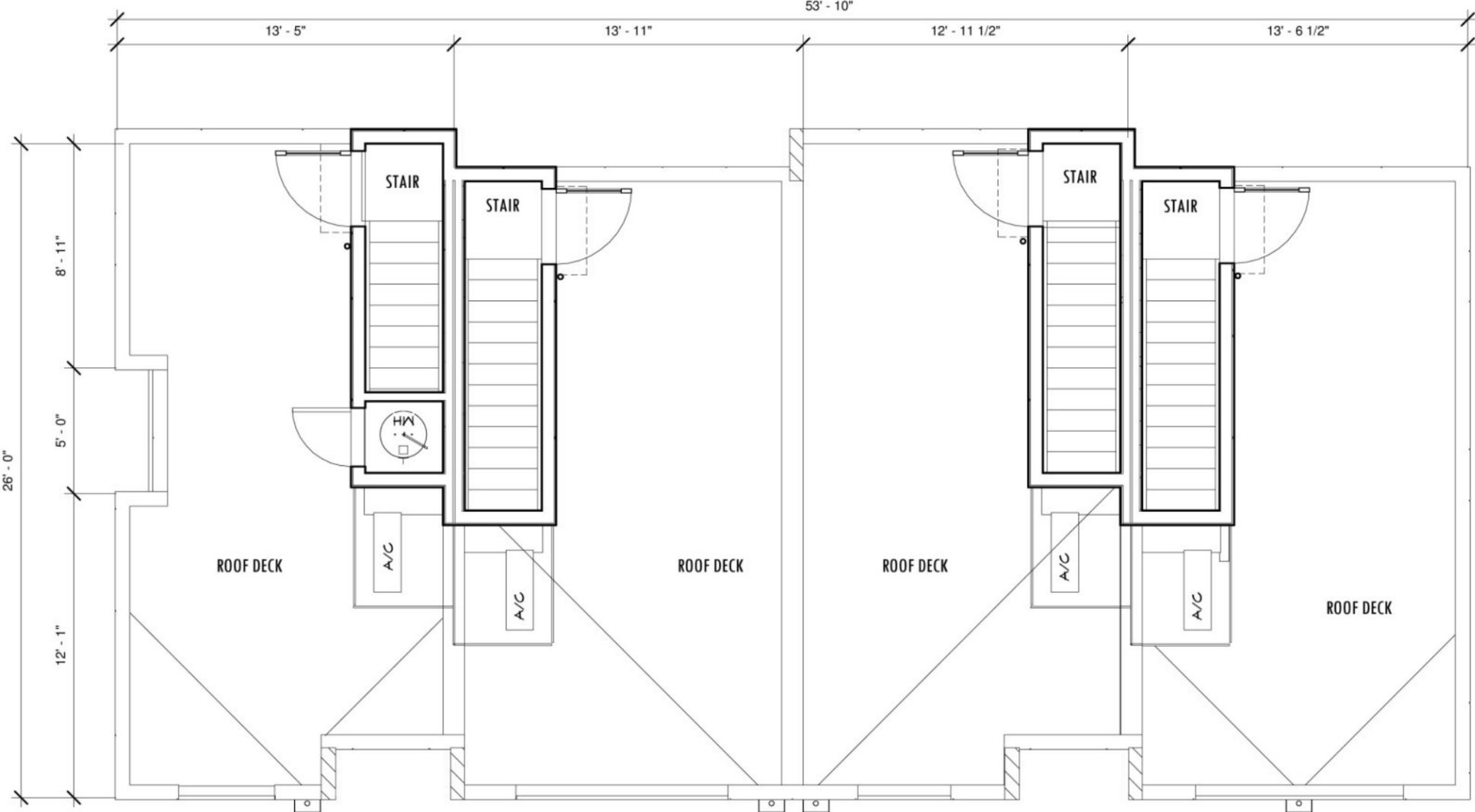
SOUTH BUILDING : PLANS



FOURTH FLOOR PLAN



SOUTH BUILDING : PLANS



ROOF DECK PLAN



## 3D VIEWS



LOOKING NORTHEAST FROM 13TH & E REMINGTON CT

Gray collector boxes and downspouts

Red unit entry doors & canopies

White painted smooth cement board siding

Dark gray painted smooth cement board siding

10" horizontal lap siding in gray

Cedar screening around trash/recycling corral

### Exterior Composition:

- 10" horizontal lap siding painted in light gray color
- Painted smooth cement board panel in white color
- Windows and infill panels in a dark gray color
- Metal deck railings & Juliette balconies
- Red unit front doors & entry canopies



Juliette railings

Metal railings

Dark gray windows & infill panels

LOOKING SOUTHEAST FROM 13TH

## LAND USE CODE DEPARTURES/ADJUSTMENTS

- No Land Use code departures are requested

