



Looking East on 45th Ave SW



Lemons Architecture PLLC

The Admiral  
2606 45th Ave SW  
SDCI# 3034796-EG

Streamline Design Guidance Package

2019.08.30



**Table of Contents**

---

Project Information .....3

Area Schedules .....4

Survey .....5

Context Map ..... 6

Existing Site Conditions .....9

Design Guidelines .....11

Graphic Narrative .....12

Building Plans .....16

Building Elevations.....22

Building Section.....26

Material Board .....30

Project Information

Address: 2606 45th Ave SW, Seattle, WA 98116

Project Numbers: 3034584-LU & 3034796-EG

Legal Description: LOTS 47 AND 48 IN BLOCK 2 OF WEST SEATTLE LAND AND IMPROVEMENT CO'S FOURTH PLAT, AS PER PLAT RECORDED IN VOLUME 11 OF PLATS ON PAGE 62, RECORDS OF KING COUNTY, WASHINGTON.

Parcel #: 9276200210

Site Area: 6,252 sf

Zoning: LR3 (M2)

Overlays: Residential Urban Village (Admiral)

Misc: None

ECA: None

Existing Use: Single Family Residence and Detached Garage

Max FAR: TH 2.3 - (6,262 sf x 2.3 = 14,379.6 sf)

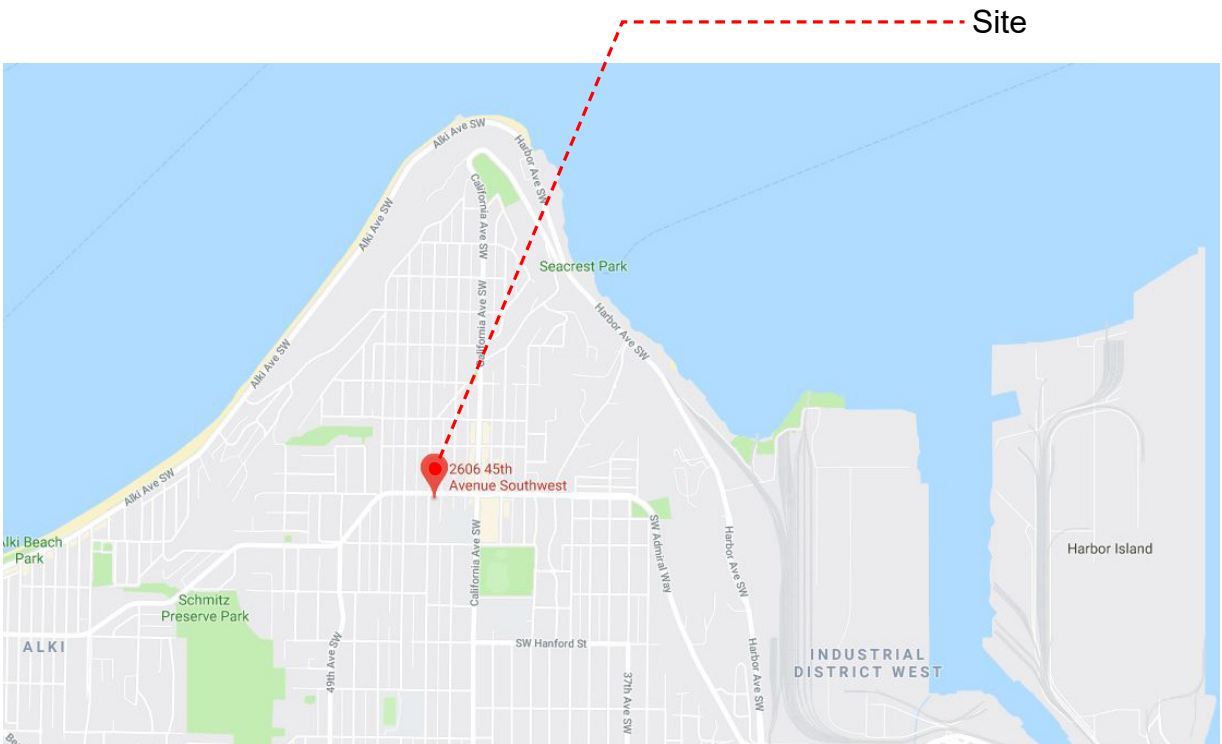
Max Density: No Limit

Height: 50' Above AGP Allowed

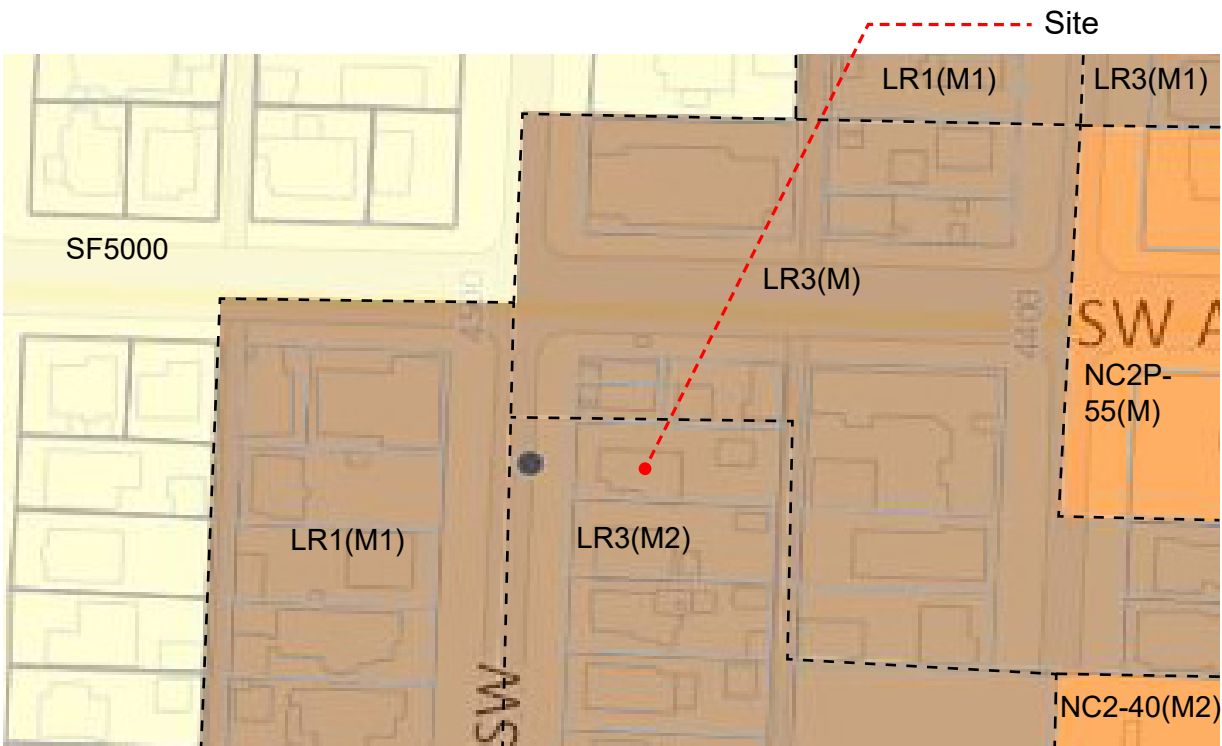
Proposed Project Description: Construct 7 townhouses with 6 surface parking stalls including 1 car share stall. Existing structures to be demolished.

Proposed FAR: 8,402 sf < 14,379.6 sf, **Complies**

Parking: 7 Req'd stalls - 1 Car share stall = 6 Stalls Req'd/ Provided



Context Map



Zoning Map

FAR Summary (Inside Face of Wall)

Net Area Summary (Inside Face of Wall)		
Name	Area	Number
TH 1		
Level 1	353 SF	TH 1
Level 2	353 SF	TH 1
Level 3	353 SF	TH 1
Roof Deck PH	47 SF	TH 1
TH 1: 4	1105 SF	
TH 2		
Level 1	353 SF	TH 2
Level 2	353 SF	TH 2
Level 3	353 SF	TH 2
Roof Deck PH	58 SF	TH 2
TH 2: 4	1117 SF	
TH 3		
Level 1	353 SF	TH 3
Level 2	353 SF	TH 3
Level 3	353 SF	TH 3
Roof Deck PH	47 SF	TH 3
TH 3: 4	1105 SF	
TH 4		
Level 1	353 SF	TH 4
Level 2	353 SF	TH 4
Level 3	353 SF	TH 4
Roof Deck PH	58 SF	TH 4
TH 4: 4	1117 SF	
TH 5		
Level 1	353 SF	TH 5
Level 2	353 SF	TH 5
Level 3	353 SF	TH 5
Roof Deck PH	58 SF	TH 5
TH 5: 4	1117 SF	
TH 6		
Level 1	353 SF	TH 6
Level 2	353 SF	TH 6
Level 3	353 SF	TH 6
Roof Deck PH	58 SF	TH 6
TH 6: 4	1117 SF	
TH 7		
Level 1	473 SF	TH 7
Level 2	586 SF	TH 7
Level 3	586 SF	TH 7
Roof Deck PH	82 SF	TH 7
TH 7: 4	1726 SF	
Grand total: 28	8402 SF	

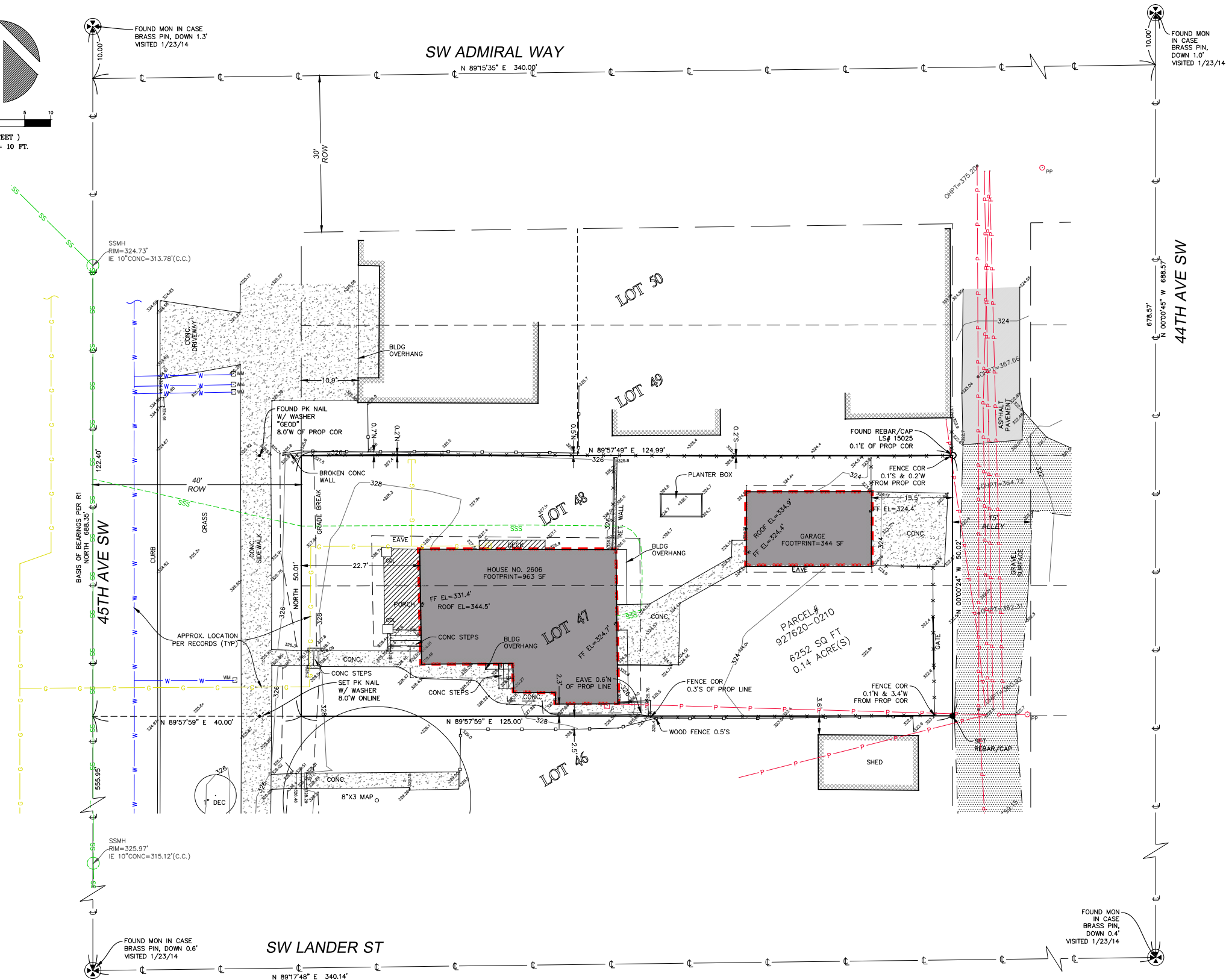
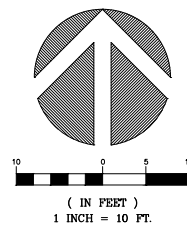
FAR

FAR Allowed (TH 2.3): 6,252 sf x 2.3 = 14,379.6 sf Max

FAR Proposed: TH 1: 1,105 sf  
TH 2: 1,117 sf  
TH 3: 1,105 sf  
TH 4: 1,117 sf  
TH 5: 1,117 sf  
TH 6: 1,117 sf  
TH 7: 1,726 sf

Total Proposed: 8,402 sf < 14,379.6 sf, Complies

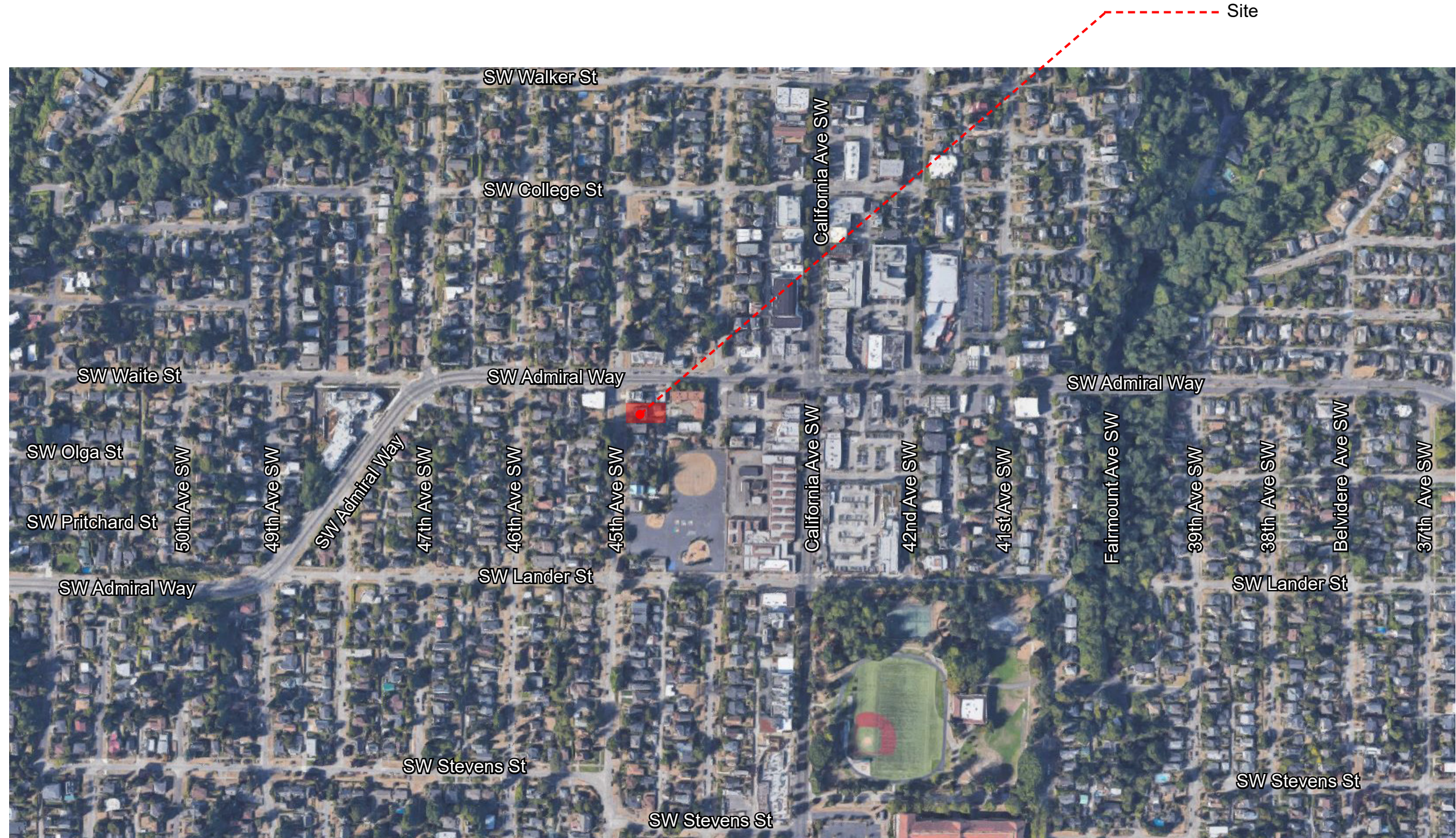




Existing Structures

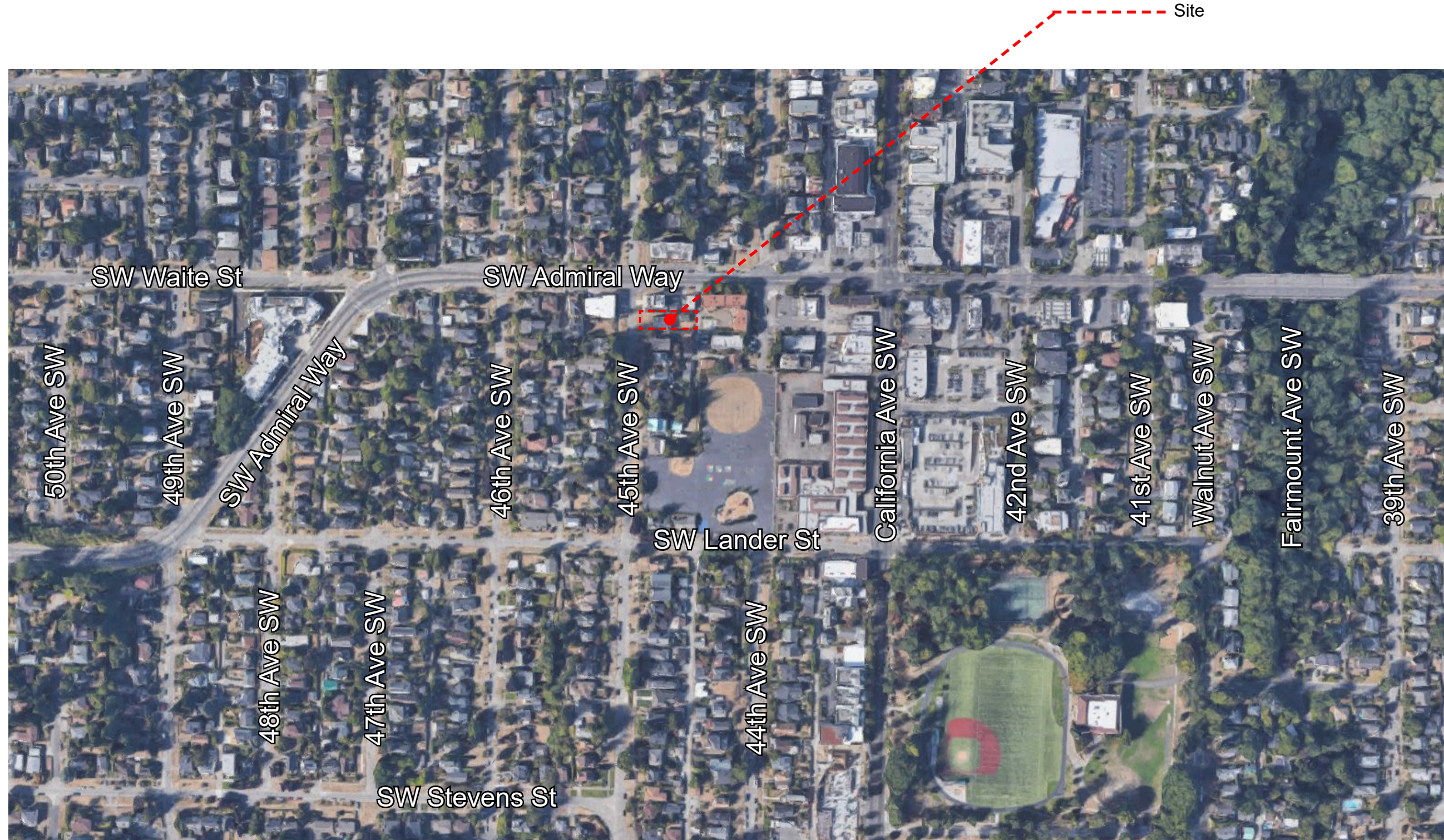






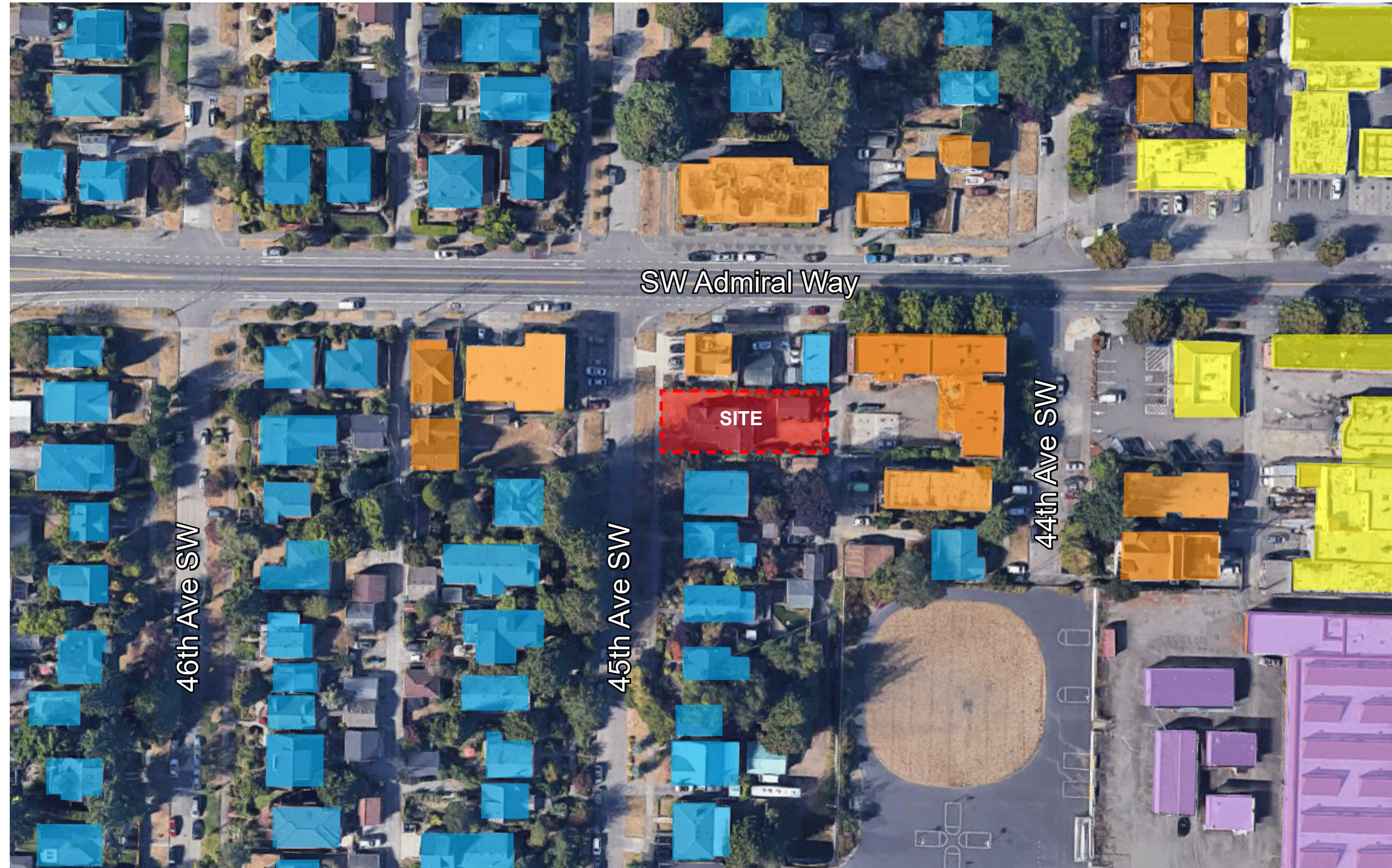
Context Map 





Context Map 





- Site
- Single Family
- Multi-Family
- School
- Commercial

Surrounding Use Map





Looking East on 45th Ave SW





SW Admiral Way

Site

45th Ave SW

Looking East on 45th Ave SW



45th Ave SW

Across from Site

SW Admiral Way

Looking West on 45th Ave SW



Seattle Design Guidelines

Design Response

<b>CS2. Urban Pattern and Form</b> ..... B. Adjacent Sites, Streets, and Open Spaces	There are pathways with pavers connecting 45th Ave SW to the alley along the North and South property lines. These pathways include landscaping and appropriate lighting. Signage will also help to enhance wayfinding.
<b>CS2. Urban Pattern and Form</b> ..... C. Relationship to the Block	Project is located near the Southeast corner of SW Admiral Way and & 45th Ave SW giving the proposed massings a strong street presence. We focus large amounts of glazing along the street and smaller windows along the North and South facades to better respect the adjacent buildings.
<b>CS3. Architectural Context and Character</b> ..... A. Emphasizing Positive Neighborhood Attributes	The proposed massings are appropriately scaled to fit in the with existing and future context. We are emphasizing a contemporary design to influence future development in the area and create positive neighborhood attributes. We also minimize the use of dark materials on facades adjacent to exiting buildings.
<b>PL1. Connectivity</b> ..... B. Walkways and Connections	Open spaces are created around the site as well as an open courtyard between the two buildings. Appropriately scaled pavers, benches and landscaping elements encourage outdoor activities and interactions among residents.
<b>PL2. Walkability</b> ..... A. Accessibility	Every unit has access from the street to their private entry via appropriately scaled pavers. All entries are located on ground level and well lit pathways lead residents to their entry.
<b>PL2. Walkability</b> ..... B. Safety and Security	Each of the individual units has its own private entry with address numbers and sconce lights to help distinguish the unit entrances. At night, each entry is further illuminated with additional lighting fixtures on the ground as well as on the wall.
<b>DC2. Architectural Concept</b> ..... A. Massing	The massing is broken down by the use architectural elements and material variations. Each building is strategically designed to be three stories to better fit with the surrounding context. Additionally, open railings along the street facade help reduce the height, bulk and scale of the mass.
<b>DC2. Architectural Concept</b> ..... B. Architectural and Façade Composition	The street-facing facade has been designed to be visually appealing with large amounts of glazing, entrance canopies, cedar wood screens and contrasting materials. These entrance canopies and cedar wood solar screens help create a successful facade composition.
<b>DC2. Architectural Concept</b> ..... C. Secondary Architectural Features	Secondary architectural elements such as armature spines, overframing and entrance canopies enhance the architectural concept and bring residential character to each building. The cedar wood solar screens add depth and rhythm to the street facade to enhance the black and white panels.
<b>DC4. Exterior Elements and Materials</b> ..... A. Exterior Elements and Finishes	An overarching goal of the project throughout the design phase was to keep the building form inherently simple for scale, rhythm, and tectonics in order to use durable and high quality building materials. All finished materials will be durable and easy to maintain in Seattle’s climate.





Looking East on 45th Ave SW



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**Graphic Narrative**  
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Page 12  
2019.08.30





Looking West on Alley



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**Graphic Narrative**  
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Page 13  
2019.08.30





Looking Northwest on Alley



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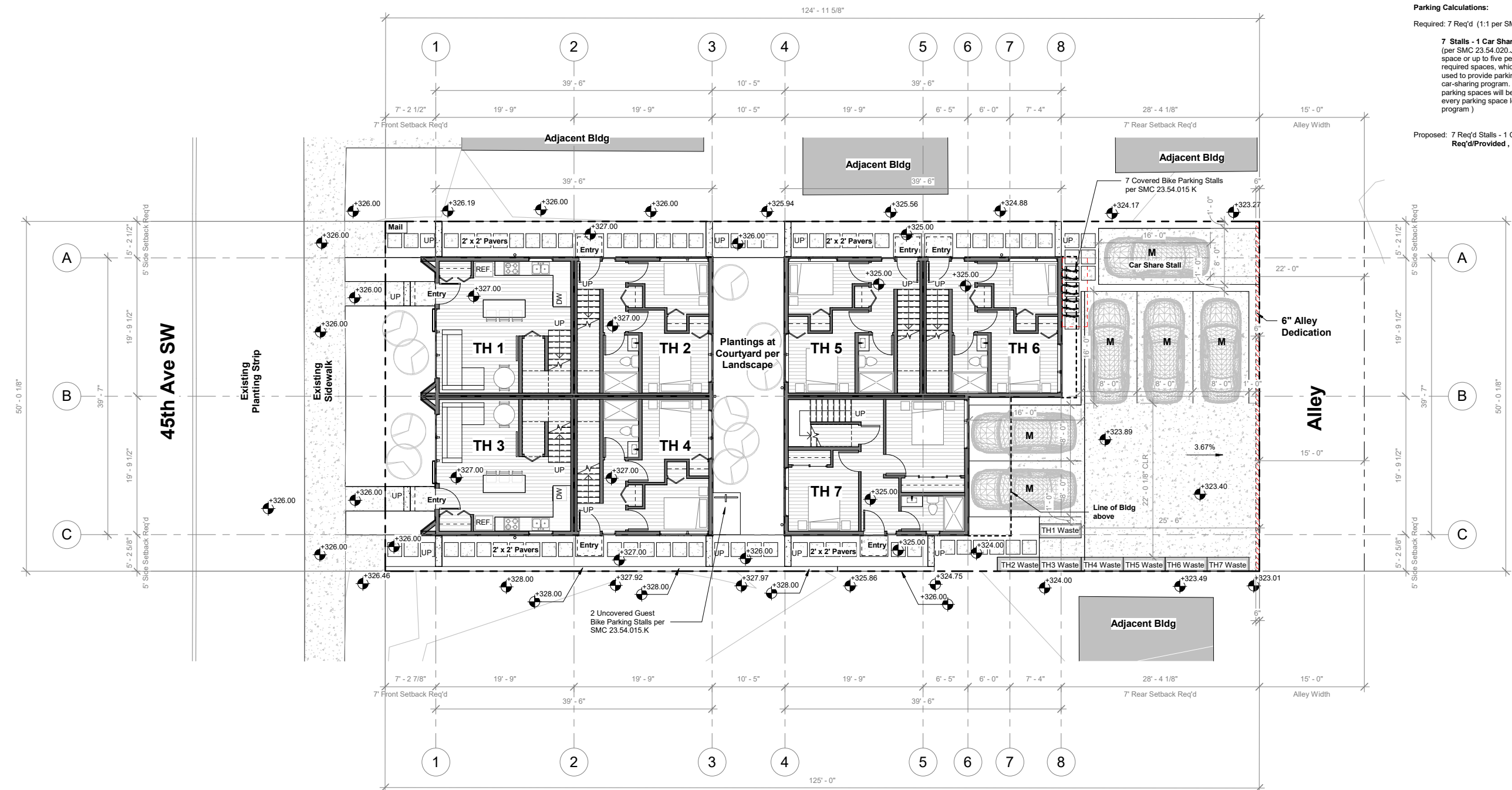
Page 14  
2019.08.30





Looking Southeast on 45th Ave SW





**Parking Calculations:**

Required: 7 Req'd (1:1 per SMC 23.54.015), or

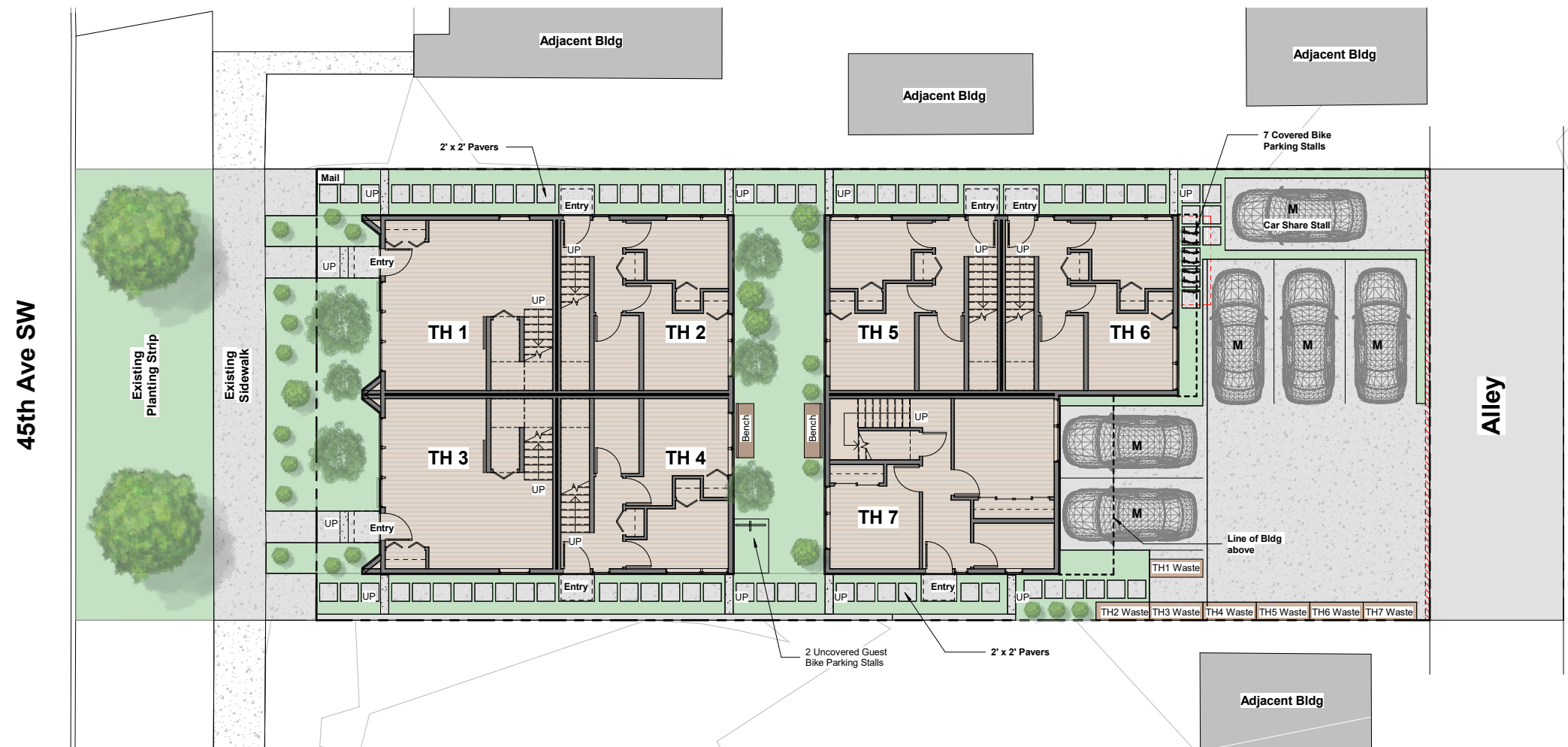
**7 Stalls - 1 Car Share Stall = 6 Req'd Stalls**  
 (per SMC 23.54.020.J.1 For any development, one space or up to five percent of the total number of required spaces, whichever is greater, may be used to provide parking for vehicles operated by a car-sharing program. The number of required parking spaces will be reduced by one space for every parking space leased by a car-sharing program.)

Proposed: 7 Req'd Stalls - 1 Car Share Stall = 6 Stalls  
 Req'd/Provided, Complies

**Site Plan**  
 1/16" = 1'-0"



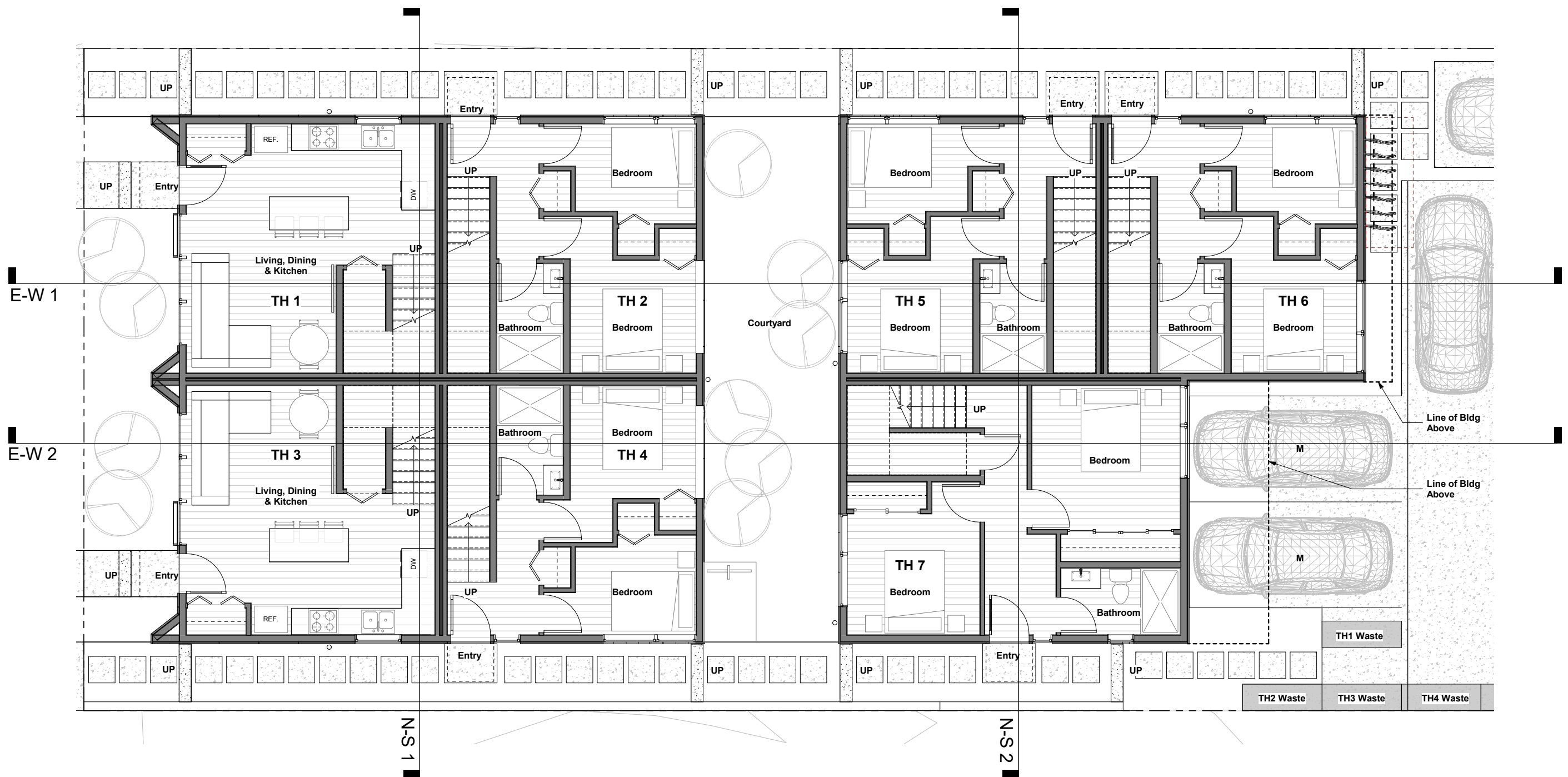




**Landscape Plan**  
1/16" = 1'-0"



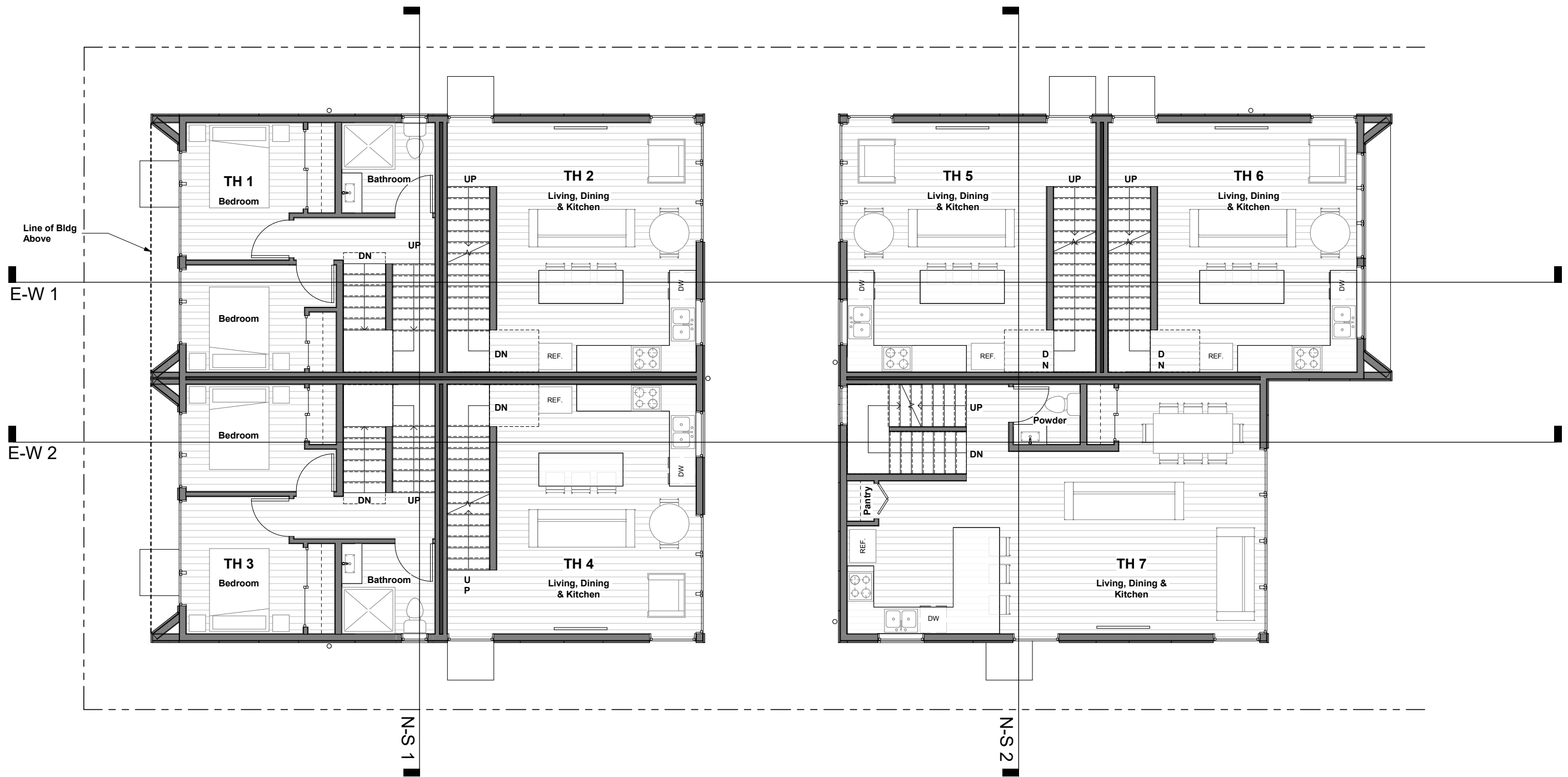




**Level 1 Plan**  
1/8" = 1'-0"







**Level 2 Plan**  
 1/8" = 1'-0"



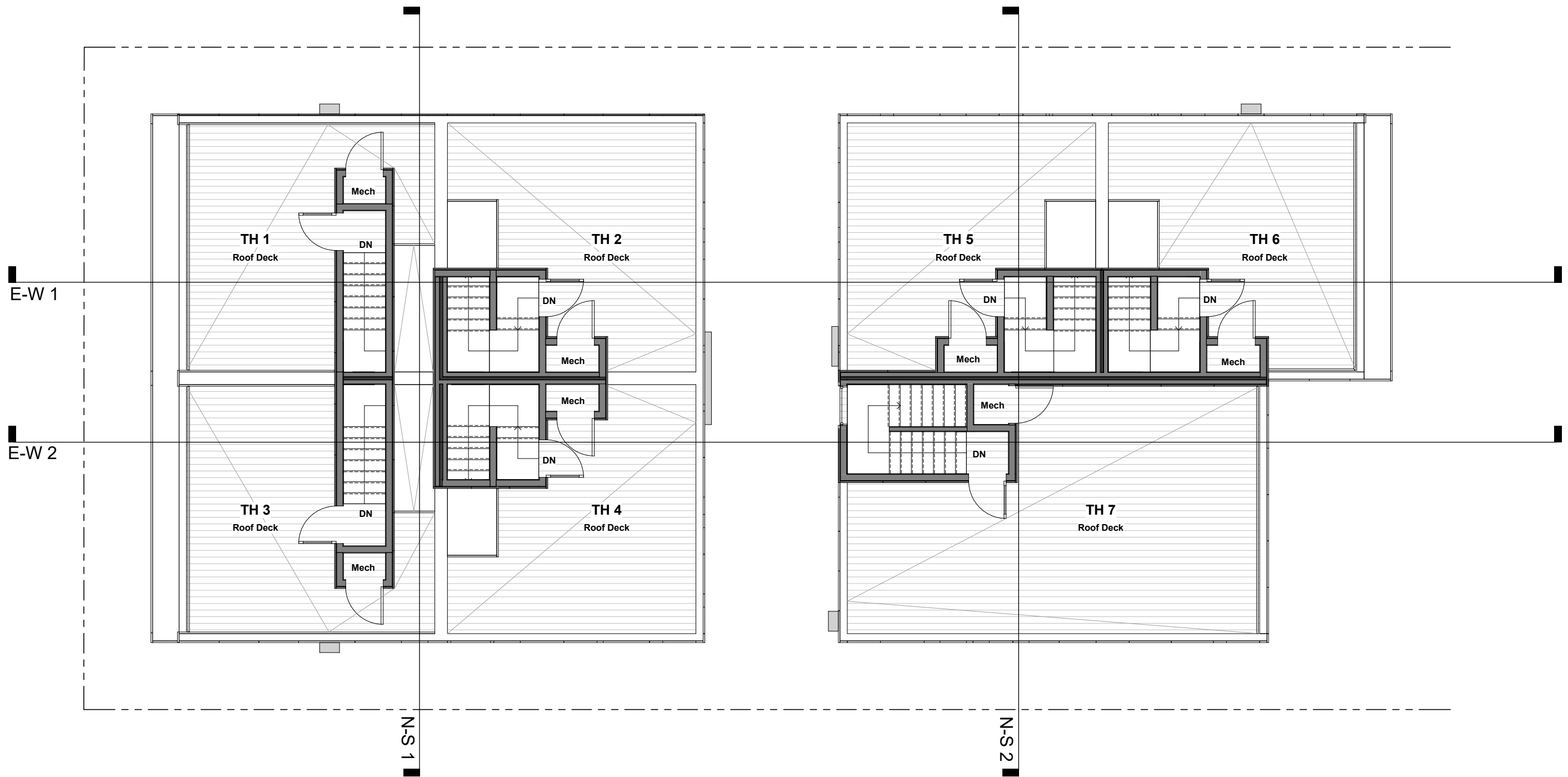




**Level 3 Plan**  
1/8" = 1'-0"







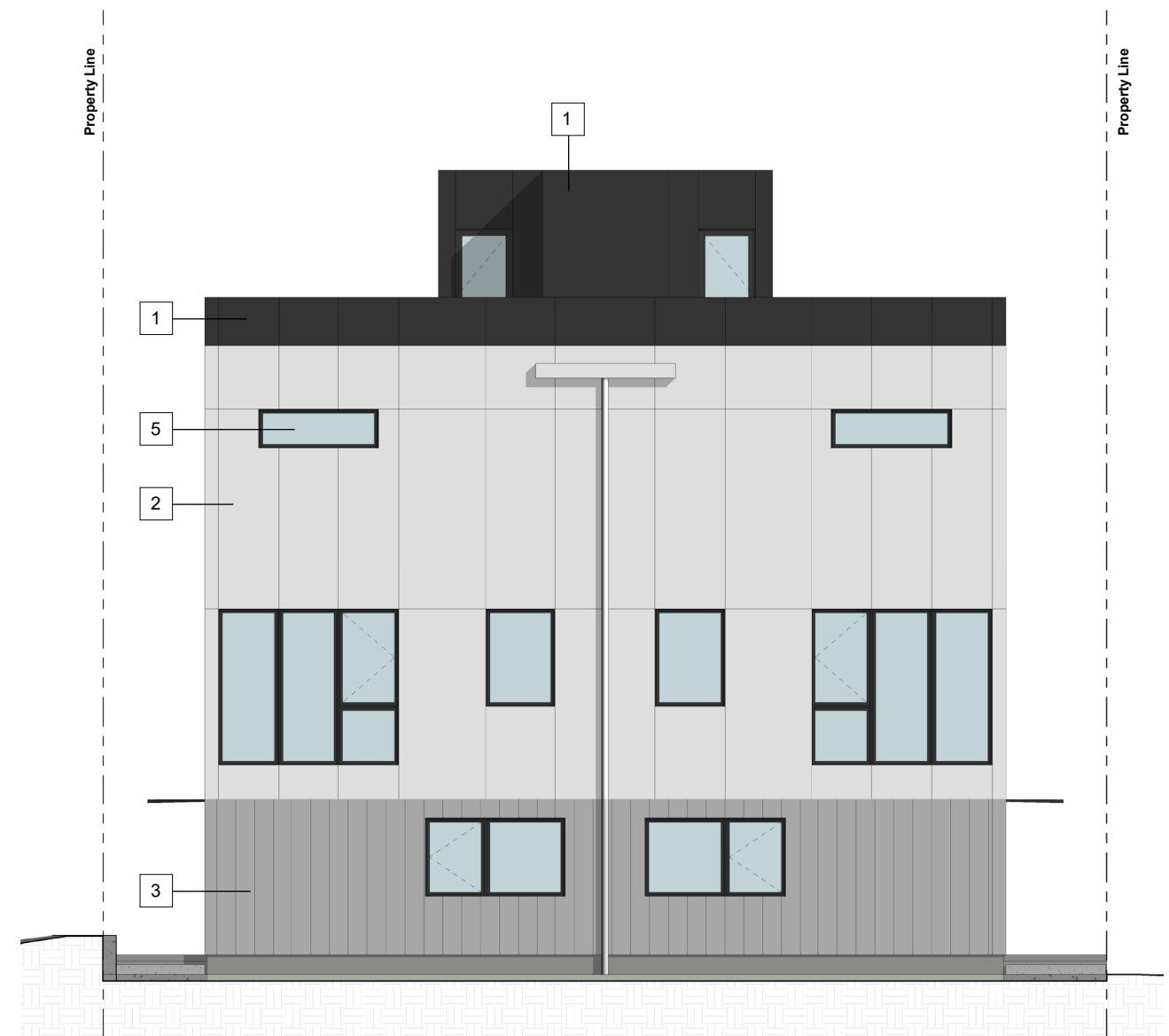
**Roof Deck Plan**  
1/8" = 1'-0"







**West Building West Elevation**  
 1/8" = 1'-0"



**West Building East Elevation**  
 1/8" = 1'-0"

**Material Legend**

- 1. Black Fiber Cement Panel
- 2. White Fiber Cement Panel
- 3. Light Gray Vertical Fiber Cement Panel
- 4. 2" x 4" Horizontal Cedar Wood Screening
- 5. Black Vinyl Window
- 6. Black Powder Coated Alum Guardrail





**East Building East Elevation**  
 1/8" = 1'-0"



**East Building West Elevation**  
 1/8" = 1'-0"

**Material Legend**

- 1. Black Fiber Cement Panel
- 2. White Fiber Cement Panel
- 3. Light Gray Vertical Fiber Cement Panel
- 4. 2" x 4" Horizontal Cedar Wood Screening
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**South Elevation**  
1/8" = 1'-0"



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**South Elevation**  
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Page 24  
2019.08.30





# **North Elevation**

1/8" = 1'-0"

## **Material Legend**

1. Black Fiber Cement Panel
2. White Fiber Cement Panel
3. Light Gray Vertical Fiber Cement Panel
4. 2" x 4" Horizontal Cedar Wood Screening
5. Black Vinyl Window
6. Black Powder Coated Alum Guardrail



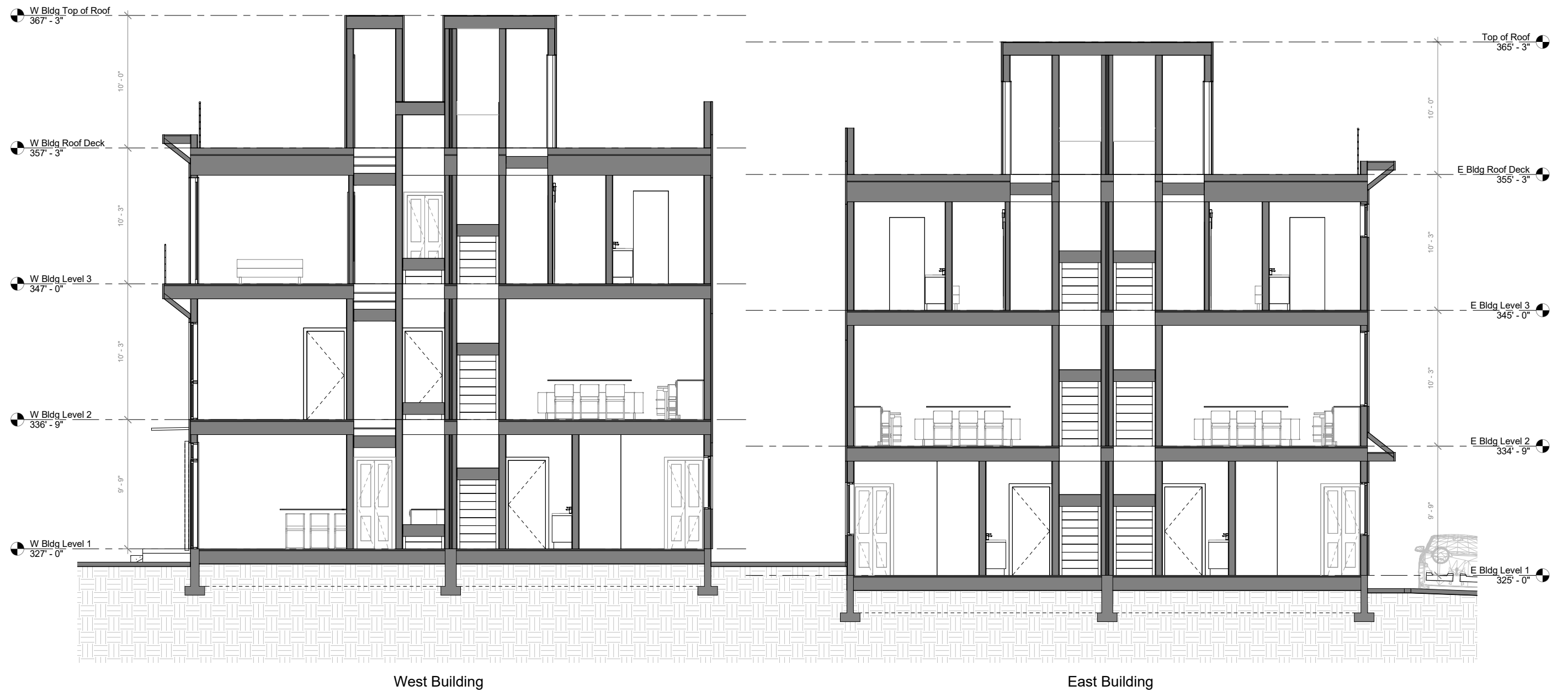
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Page 25  
2019.08.30





# E-W Section 1

1/8" = 1'-0"



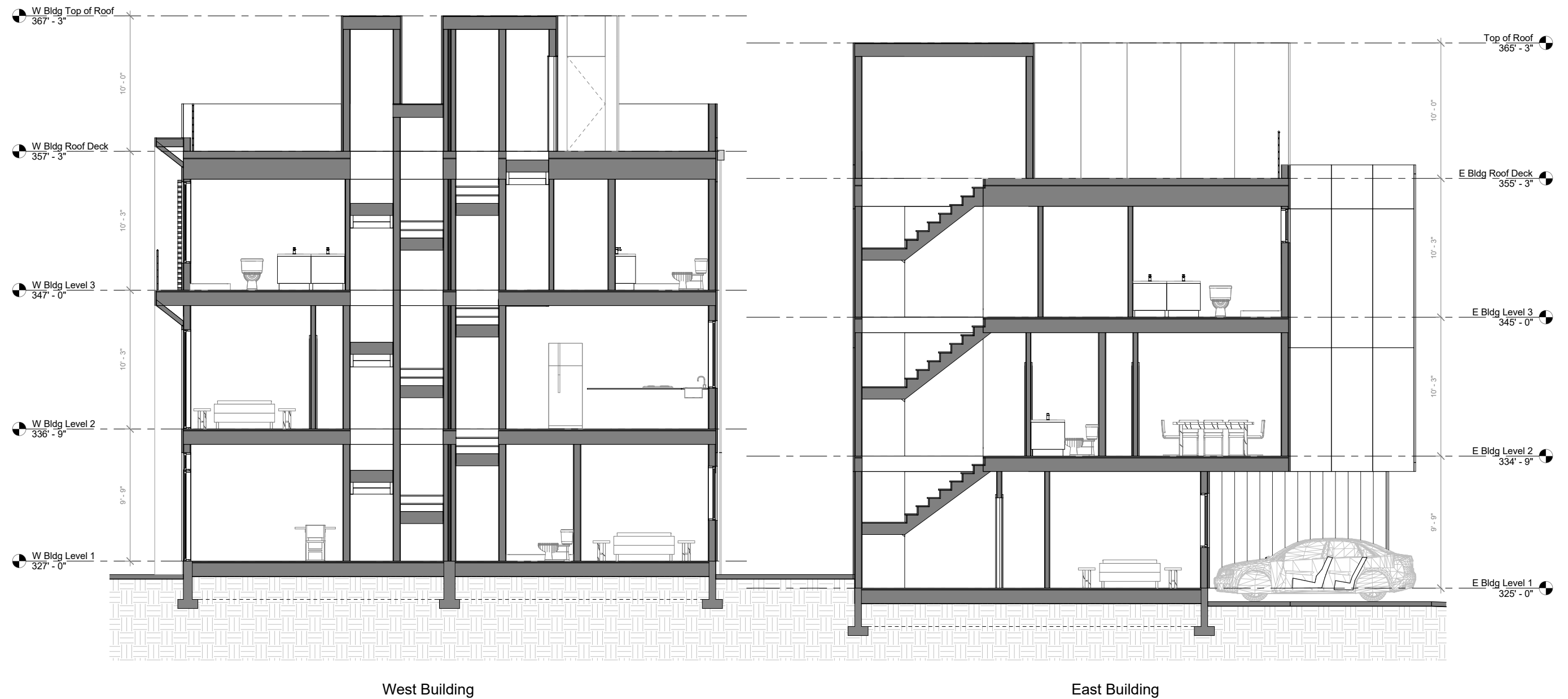
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East-West Building Section  
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Page 26  
2019.08.30





## E-W Section 2

1/8" = 1'-0"



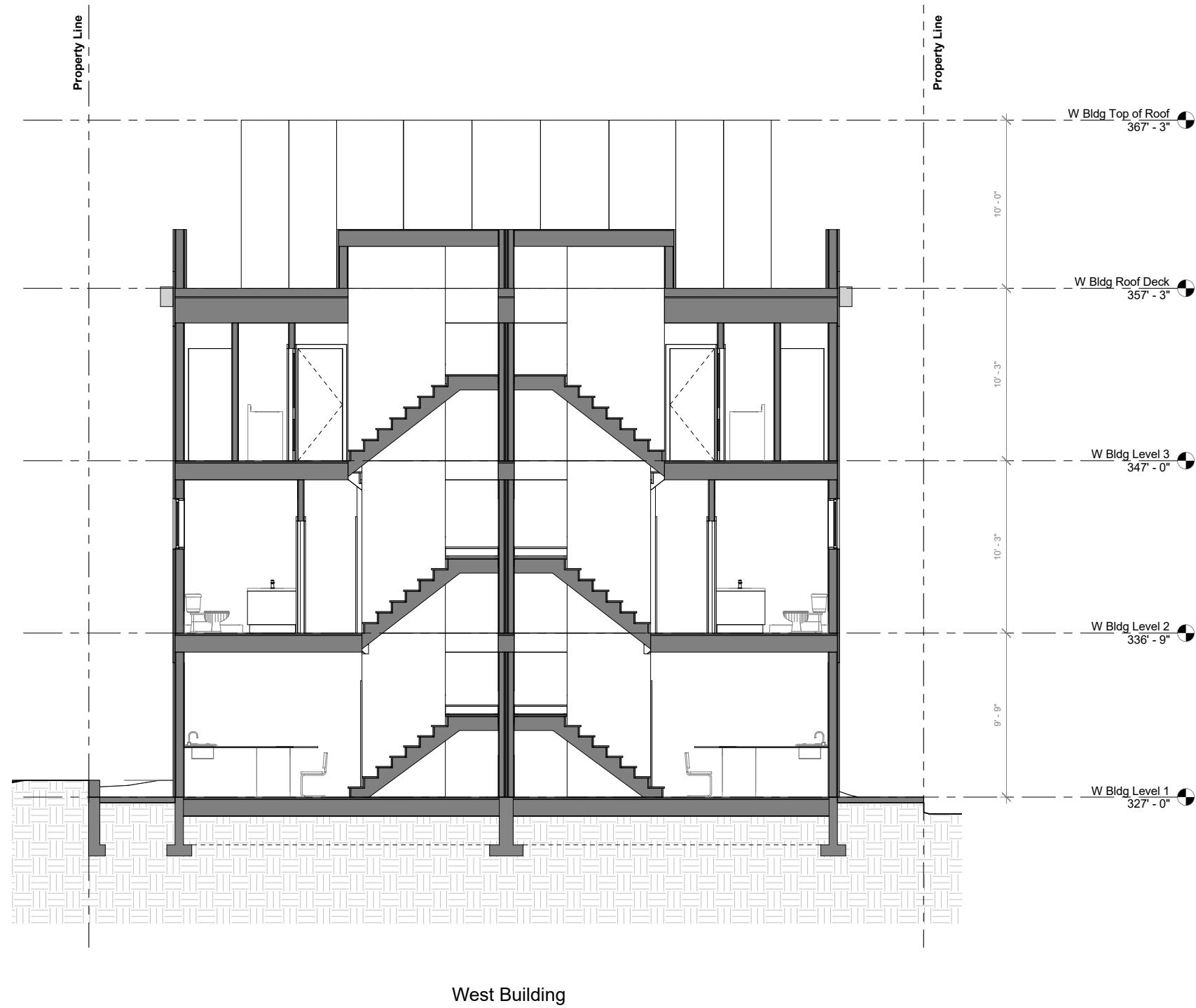
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**East-West Building Section**  
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Page 27  
2019.08.30





**N-S Section 1**  
1/8" = 1'-0"



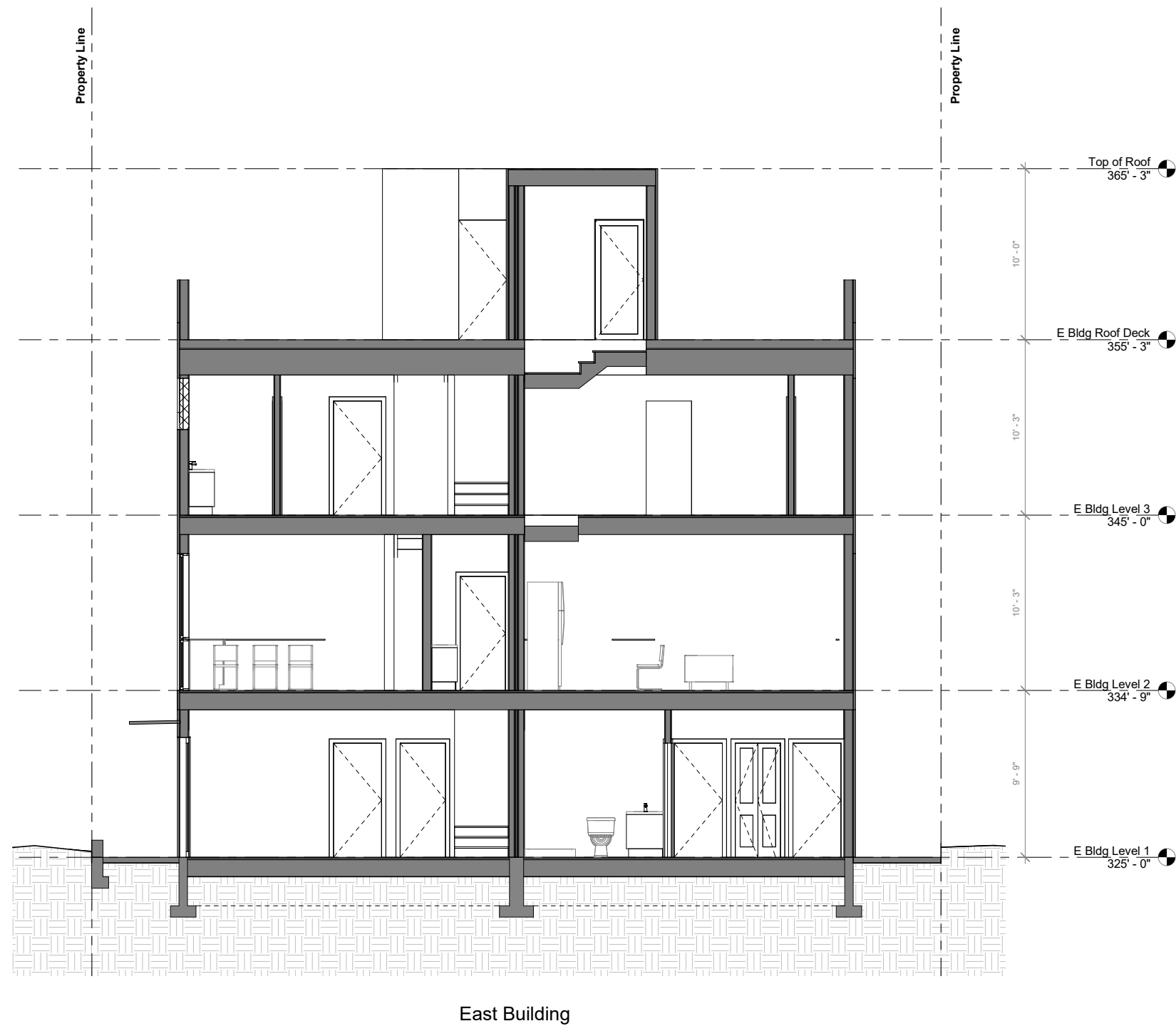
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**North-South Building Section**  
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Page 28  
2019.08.30





**N-S Section 2**  
1/8" = 1'-0"



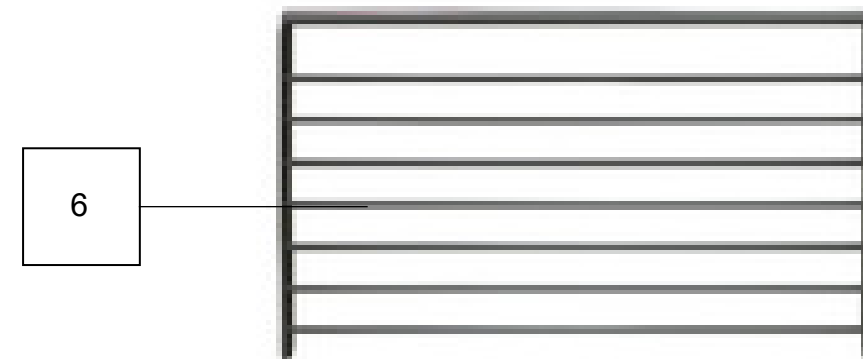
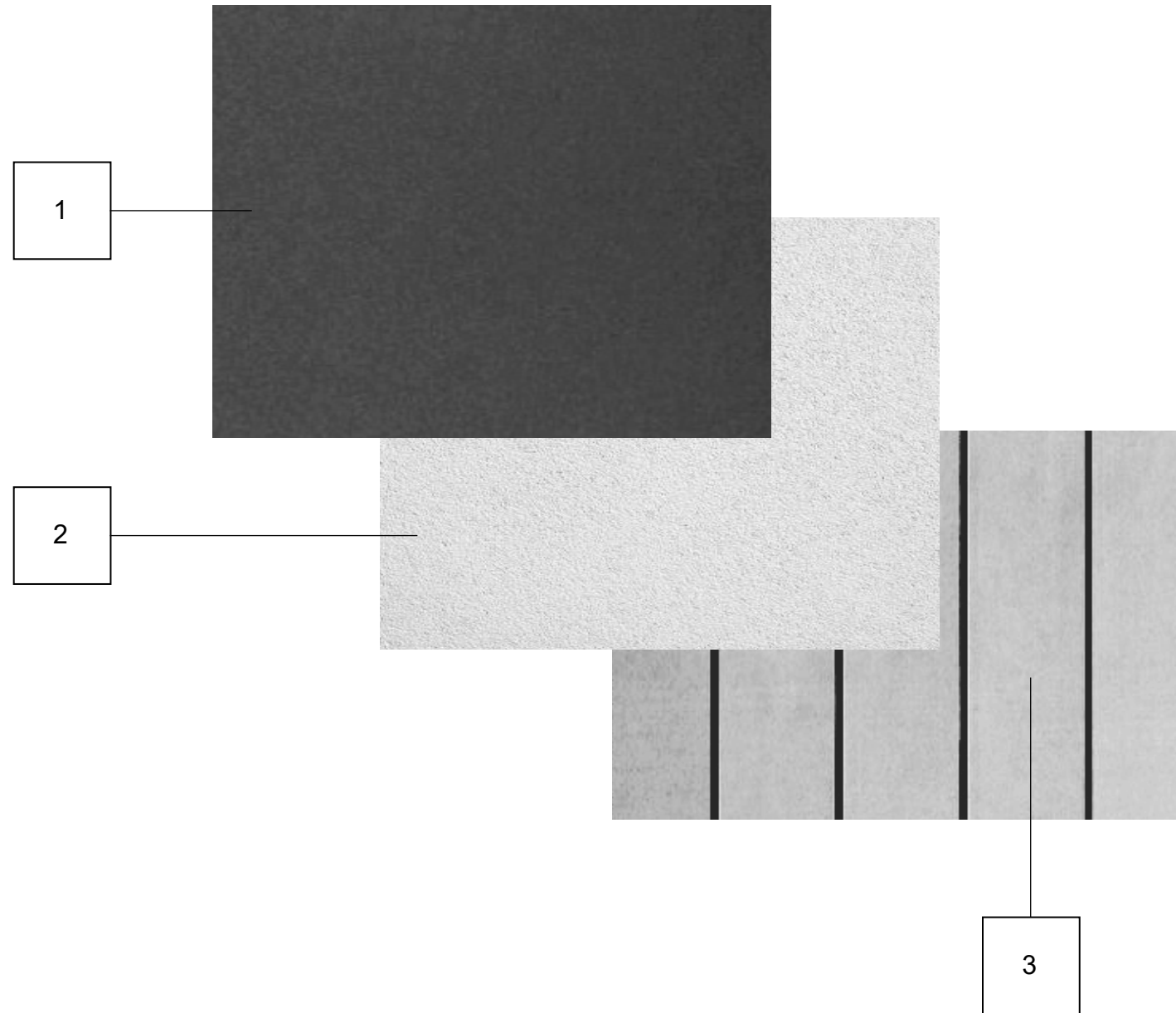
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**North-South Building Section**  
Streamline Design Guidance Package

Page 29  
2019.08.30





#### Material Legend

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