

4312-4316 FREMONT AVENUE N

Project #: #3034795-EG

Meeting Type: Early Design Guidance (EDG)

Meeting Date: January 6 2020

Applicant Team: Cohen Properties LLC
Developer

b9 architects
Architect

Root of Design
Landscape Architect



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SITE PLAN



OBJECTIVES

Construct a residential apartment structure with 5 stories above street level and one below grade story. The structure will have approximately (87) units and one commercial space at grade. Access to below grade parking is provided from Fremont Avenue N. The existing structure will be demolished.

Total Gross Floor Area	Approximately 57,891 sf
Number of Units	Approximately 87
Total Commercial Area	Approximately 1,455 sf
Number of Parking Spaces	Approximately 32
Number of Long-term Bike Parking Spaces	87
Number of Short-term Bike Parking Spaces	5

Sustainability

The project aspires to create a highly sustainable building. Focus will be placed on providing an energy efficient building design that prioritizes the building envelope, to reduce the buildings ecological footprint.

EARLY PUBLIC OUTREACH SUMMARY

As the applicant for the proposal at 4312 - 4316 Fremont Avenue N, b9 architects conducted and completed the Early Community Outreach Department Of Neighborhood requirements. Outreach included the posting of 10 posters in neighborhood landmarks, community and utility poles, an interactive project website and a site tour/walk. Members of the community provided input for the proposed development at the site tour/walk.

The comments and questions centered primarily on setbacks, street facing ground level uses, landscaping, materials, and units types.

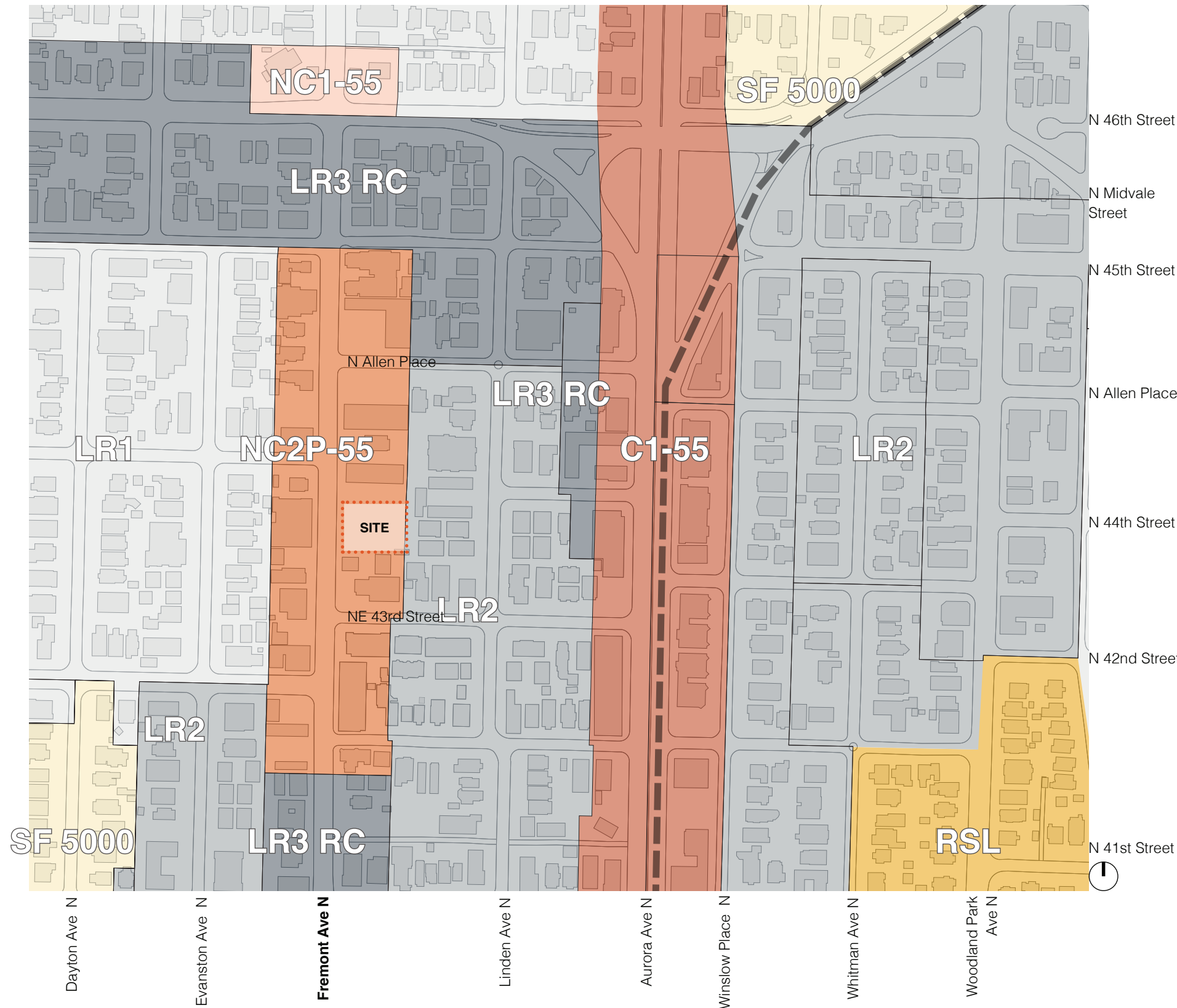
Per SDCI Director Rule 4--2018/DON Director's Rule 1-2018

VI.E. Documentation : Early Design Guidance

Applicants shall include a summary of the design-related feedback they heard during their community outreach as part of their final EDG packet. While collaborative approach is encouraged between the applicant and the community, the applicant is not required to incorporate any specific community feedback into the projects design. Comments and discussion presented at the design review meetings should focus on compliance with the established design guidelines. Applicants may, at their discretion, respond directly to the community about any feedback that is not related to Design Review.

OUTREACH METHOD	DATE IMPLEMENTED	DESIGN-RELATED COMMENTS
① Printed Outreach Posters placed in neighborhood businesses and utility poles.	August 16, 2019	<ul style="list-style-type: none"> The public asked if the building would be placed along the existing east property line fence. The public asked for a setback along the east property line.
② Digital Outreach Interactive project webpage	August 12, 2019	<ul style="list-style-type: none"> The public did not provide any comments through Digital outreach.
③ In-Person Outreach	September 8, 2019	<ul style="list-style-type: none"> What Design Review Board represents the Fremont neighborhood, who are they and how are they assigned? Will the project provide private and public parking within the project? If so, for how many vehicles? Is the project going to provide any setbacks? Will the proposed development require site trees to be removed? How many units, and what types of units and unit sizes are proposed? Will any ground level residential units be provided? Will there be any roof decks? Is the project's front setback going to be at the property line? Is the project going to integrate any art for public display? Is the project was going to be different from recent apartment or townhouse developments in the Seattle area, with regards to exterior cladding materials? Is the project going to have a commercial space at street level? If so, what type of business and will any connections to the common space would be provided? Is the proposed commercial space going to maintain any portions of the existing brick building? Is the project going to provide landscaping at the exterior spaces?

ZONING MAP



ADDRESS

4312-4316 FREMONT AVENUE N

LOT SIZE

Total: 13,883
 NC2P-55: 12,883
 LR2: 1,000

ZONE

NC2P-55 and LR2

URBAN VILLAGE OVERLAY

None

ZONING SUMMARY

SPLIT ZONE LOT

- The proposed development is located on a split-zoned lot. The lot is mostly zoned NC2P-55, including all of the frontage along Fremont Avenue N, with the easternmost 10 feet at the rear of the lot zoned LR2. As the site does not have access to an alley, any proposed development within the LR2 zoned area of the site would require a departure. No development is proposed in the LR2 zone.

LR2 ZONE

23.45.504 PERMITTED USES:

- Residential use permitted outright

23.45.510 FLOOR AREA RATIO:

- LR2 Zone: 1.4 X 1,000 = 1,400 square feet
- The following floor area is exempt from FAR limits:
 - All stories or portions of stories that are underground
 - The floor area of required bicycle parking for small efficiency dwelling units

23.45.512 - DENSITY LIMITS—LR ZONES

- No limit for Apartments with M suffix

23.45.514 STRUCTURE HEIGHT:

- 40 Feet base height, Rooftop features may extend 10' above the base height limit.

23.45.518 SETBACKS AND SEPARATIONS:

- Front - 5' minimum for Apartments
- Rear - with alley: 10'-0" , no alley: 15'-0"
- Side setback - 5' minimum for Apartments

23.45.522 AMENITY AREA:

- The required amount of amenity area for apartments developments in LR2 zones is equal to 25% of the lot area.
- A min of 50% of the required amenity area shall be provided at ground level.
- For apartments, amenity area required at ground level may be provided as either private or common space.

ZONING SUMMARY

NCP-55 ZONE

23.47A.004 PERMITTED USES:

- Residential use permitted outright

23.47A.008 STREET LEVEL DEVELOPMENT:

- Base max height for NC3P-55 zones = 55'-0"
- Blank segments of the street-facing facade between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width and may not exceed 40 percent of the width of the facade of the structure along the street.
- For structures with street-level nonresidential uses in NC zones sixty percent of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent. Transparent areas of facades shall be designed and maintained to allow unobstructed views from the outside into the structure or, in the case of live-work units, into display windows that have a minimum 30-inch depth.
- Non-residential uses shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level street-facing facade.
- Nonresidential uses at street level shall have a floor-to-floor height of at least 13 feet.
- Street-level, street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided
- Street-facing facades containing a residential use shall have a visually prominent pedestrian entry
- The floor of a dwelling unit located along the street-level, street-facing facade shall be at least 4 feet above or 4 feet below the sidewalk grade or be set back at least 10 feet from the sidewalk.
- The maximum width and depth of a structure is 250 feet.

23.47A.012 STRUCTURE HEIGHT:

- Base max height for NC3P-55 zones = 55'-0"
- Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets, and firewalls may extend 4 feet above the maximum height limit
- Insulation material, rooftop decks and other similar features, or soil for landscaping located above the structural roof surface may exceed the maximum height limit by up to 2 feet if enclosed by parapets or walls that comply with this subsection 23.47A.012.C.2
- Solar collectors may extend up to 7 feet above the otherwise applicable height limit, with unlimited rooftop coverage
- Solar collectors, mechanical equipment, play equipment and open mesh fencing at least 15 feet from the roof edge, wind-driven power generators, and minor communication utilities may extend up to 15 feet above the applicable height limit, as long as the combined total coverage of all features gaining additional height including weather protection does not exceed 20 percent of the roof area, or 25 percent of the roof area if the total includes stair or elevator penthouses or screened mechanical equipment

- Stair and elevator penthouses may extend up to 16 feet above the applicable height limit

23.47A.024 AMENITY AREA:

- Amenity areas are required in an amount equal to 5 percent of the total gross floor area in residential use. Gross floor area, for the purposes of this subsection 23.47A.024.A, excludes areas used for mechanical equipment and accessory parking. For the purposes of this subsection 23.47A.024.A, bioretention facilities qualify as amenity areas.
- Common amenity areas shall have a minimum horizontal dimension of 10 feet, and no common amenity area shall be less than 250 square feet in size.
- Private balconies and decks shall have a minimum area of 60 square feet, and no horizontal dimension shall be less than 6 feet
- All residents shall have access to a common or private amenity area.

23.47A.013 FLOOR AREA RATIO:

- NC Zone: FAR is 3.45 if the project meets the standards of subsection 23.47A.013.
- NC Zone: $3.75 \times 12,883 = 48,123$ square feet
- The following floor area is exempt from FAR limits:
- All stories or portions of stories that are underground,
- All portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, excluding access,
- The floor area of required bicycle parking for small efficiency dwelling units

23.47A.014 SETBACKS AND SEPARATIONS:

- Rooftop features are not allowed in setbacks, except that for upper-level setbacks
- Open railings may extend up to 4 feet above the height at which the setback begins.
- Parapets may extend up to 2 feet above the height at which the setback begins.
- A triangular setback is required where a lot abuts the intersection of a side lot line and front lot line of a lot in a residential zone.
- For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone. The setback is 15 feet for portions of structures above 13 feet in height to a maximum of 40 feet and for each portion of a structure above 40 feet in height, additional setback at a rate of 2 feet for every 10 feet in additional height.
- Decks with open railings may extend into the required setback

23.47A.016 LANDSCAPING:

- A Green Factor Score of 0.3 or greater is required for any lot with development containing more than four new dwelling units.
- Street trees are required when any development is proposed. Existing street trees shall be retained unless the Director of Transportation approves their

removal.

- If it is not feasible to plant street trees in a right-of-way planting strip, a 5-foot setback shall be planted with street trees along the street property line or landscaping other than trees shall be provided in the planting strip, subject to approval by the Director of Transportation.

23.47A.022 LIGHT AND GLARE:

- Exterior lighting shall be shielded and directed away from adjacent properties
- Interior lighting in parking garages must be shielded to minimize nighttime glare affecting nearby uses.
- Driveways and parking areas for more than two (2) vehicles shall be screened from adjacent properties by a fence or wall between five (5) feet and six (6) feet in height, or solid evergreen hedge or landscaped berm at least five (5) feet in height.
- In zones with a forty (40) foot or greater height limit, exterior lighting on poles is permitted up to a height of forty (40) feet from finished grade, provided that the ratio of watts to area is at least twenty (20) percent below the maximum exterior lighting level permitted by the Energy Code.

23.54.015 AND 23.54.030 VEHICLE PARKING

- Commercial use less than 1500 square feet is exempt from parking requirements
- For residential SEDU uses 1 space for every 2 SEDU units
- For residential dwelling uses 1 space for every dwelling
- In multifamily and commercial zones, the minimum required parking for all uses is reduced by 50 percent if the property is located within a frequent transit service area, and the property is not located in an Urban Center, Urban Village, or Station Area Overlay District.

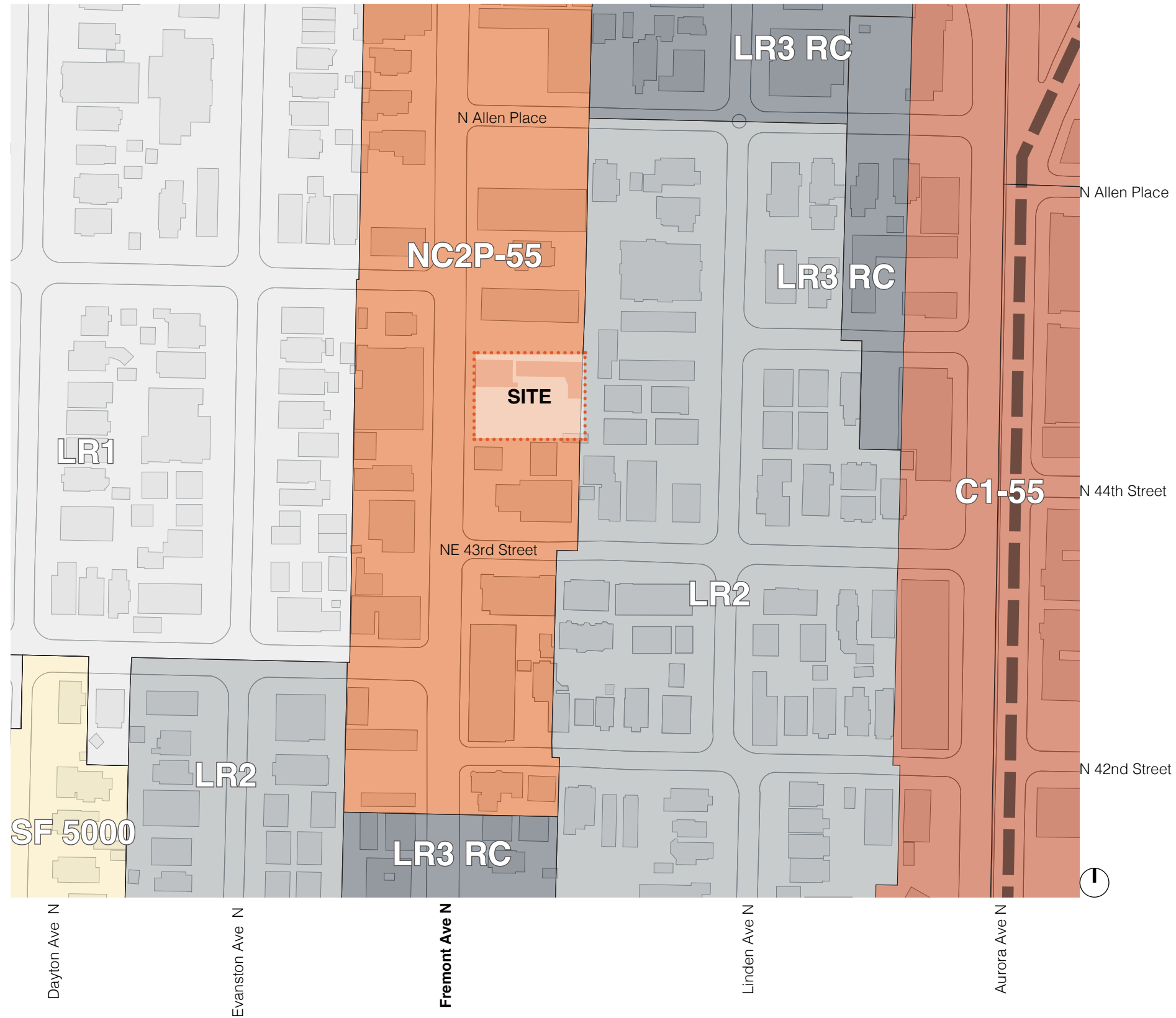
23.54.015.K BICYCLE PARKING:

- Long Term parking requirement: 1 per dwelling unit and 1 per small efficiency dwelling unit
- Short Term parking requirement: 1 per 20 dwelling units
- Bicycle parking required for small efficiency dwelling units and congregate residence sleeping rooms is required to be covered for full weather protection.

23.54.040 SOLID WASTE





- Mixed use development that contains both residential and nonresidential uses shall meet the storage space requirements shown in Table A for 23.54.040 for residential development, plus 50 percent of the requirement for nonresidential development. In mixed use developments, storage space for garbage may be shared between residential and nonresidential uses, but separate spaces for recycling shall be provided.
- Residential units: 26-50 units = 375 square feet of storage area

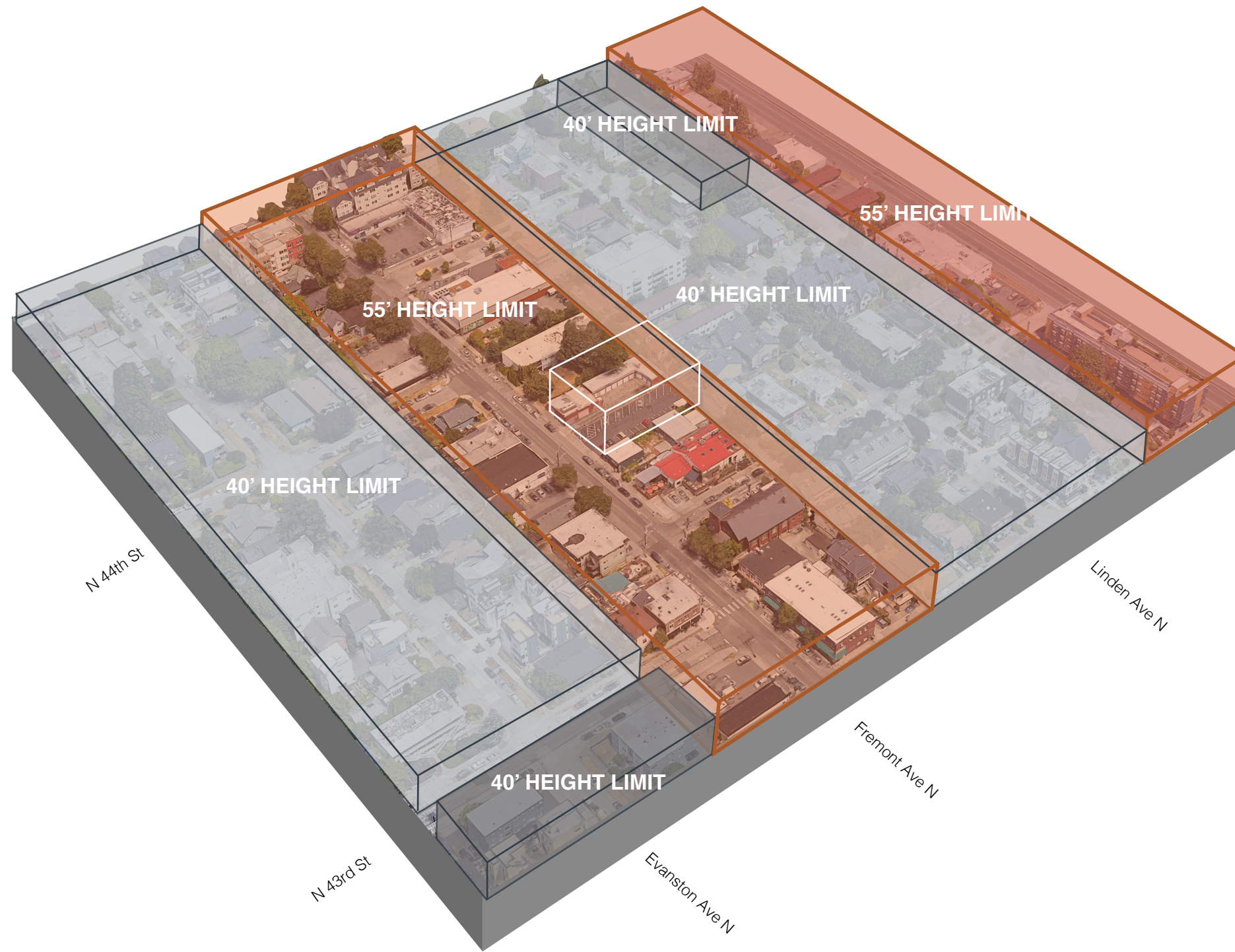
DETAILED ZONING MAP



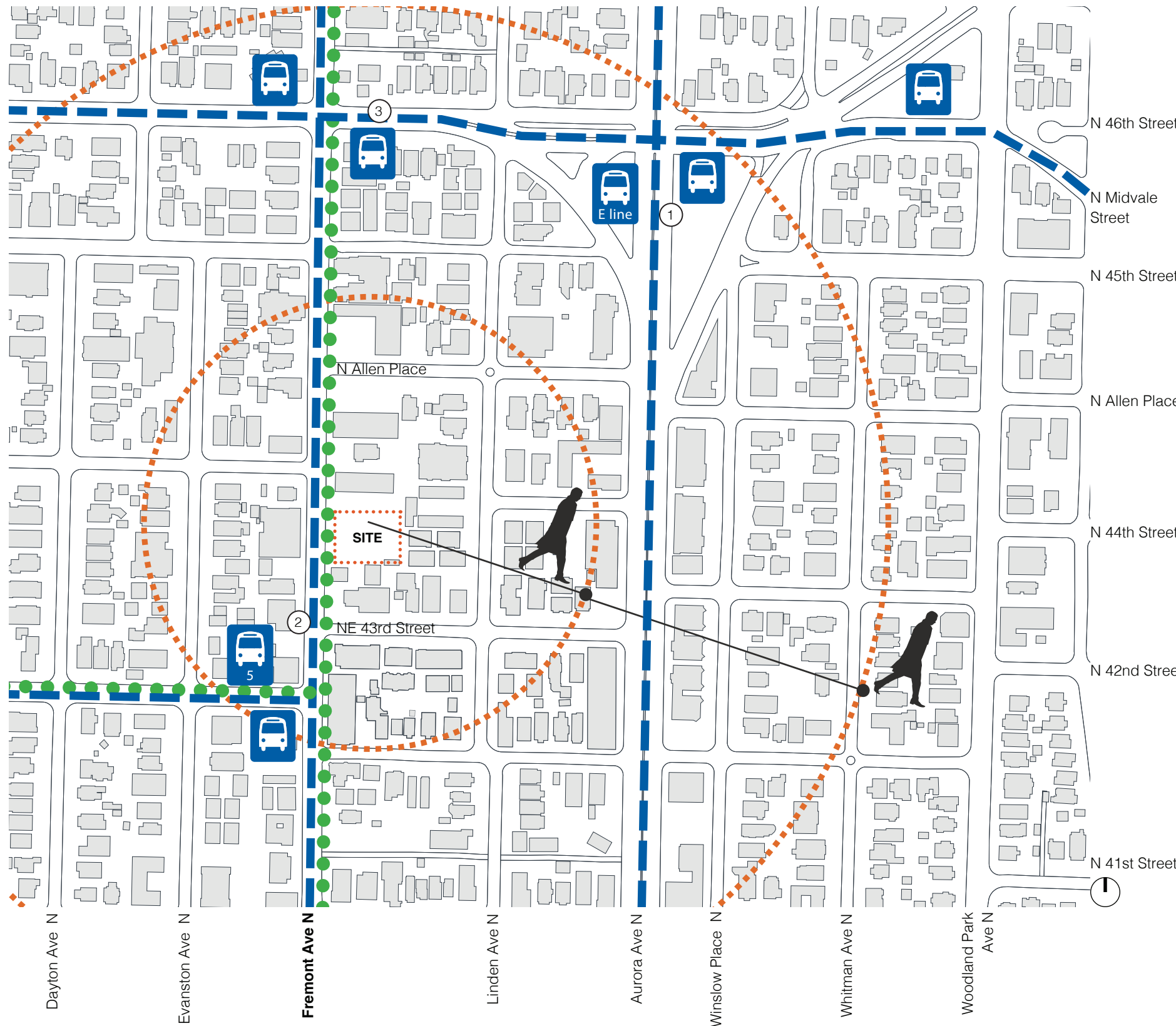
ZONING ENVELOPE CONTEXT

LEGEND

-  C1 - 55
-  NC2P - 55
-  LR1 AND LR2
-  LR3



TRANSIT & ACCESS



This site is well served by several bus lines, including the #44, 5, and E Line, facilitating travel to many Seattle neighborhoods, including Downtown, University District, Greenwood, and Northgate.

Bicycle routes connect the site to South Lake Union, Downtown, and the University District. The Burke Gilman Trail is also approximately two miles south of the site, which connects west to Ballard and east to the University District and beyond.

- 2 MINUTES**
Marketime Foods
Uneda Burger
Paseo Fremont
Fermont Arts Center
Cafe Vita Roasting
Pecado Buedno
The Yoga Tree
American Music

- 5 MINUTES**
BF Day Playground
Woodland Park
Fermont Peak Park
BF Day Elementry
Fermont Medical

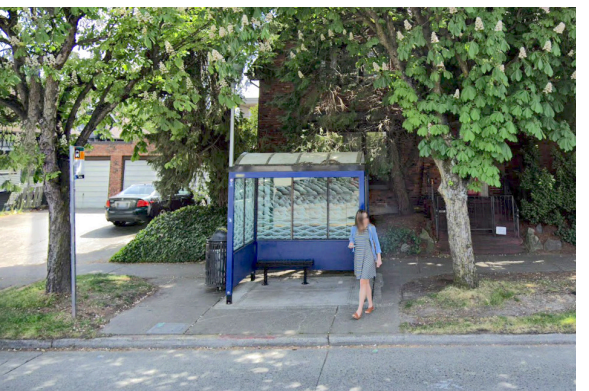
Bike Route
 Bus Stop & Route



1 Rapid Ride Bus Stop along Aurora Avenue North



2 Bike Lane along Fremont Avenue North



3 Bus Stop at Fremont Avenue North and North 46th Street

3D VICINITY MAP

RECENT DEVELOPMENT



SITE

NEW DEVELOPMENT

- ① Master Use Permit under Project #3031386-LU to construct a 3-story, 7-unit rowhouse building. Parking for 7 vehicles proposed. Existing buildings to be demolished.
- ② Master Use Permit under Project #3033470-LU to construct a 3 story, 7-unit townhouse building. Parking for 3 vehicles proposed. Existing buildings to be demolished.
- ③ Master Use Permit under Project #3022861-LU to construct two, 2-unit townhouse structures for a total of 4 units. Below grade parking for eight vehicles to be provided.
- ④ Construction Permit under Project #6707854-CN to construct two, 3 story, 4-unit townhouse buildings. Parking for 4 vehicles proposed. Existing building to be demolished. To be considered with project #3033280-LU for shared access.
- Ⓐ Aurora Housing Apartments
4251 Aurora Ave N
13,319 sf lot
4 stories - 72 Apartments
22,749 sf building

ARCHITECTURAL CONTEXT



- The architectural context in the neighborhood contains a mix of building types and vintages. The immediate neighborhood includes a variety of small commercial buildings, multifamily mixed-use and residential buildings, townhouse developments and single-family structures. The neighborhood has experienced a number of lowrise development projects recently.
- There is a concentration of commercial spaces located to the south of the site along Fremont Avenue N. Older structures typically include small retail uses as well as restaurants, such as the mixed use building at 4301 Fremont Avenue N with Cafe Vita at the ground level (3).
- There are a few single-family structures sprinkled along Fremont Avenue N, with some having been converted to business uses. These homes have contributed to the definition of the neighborhood since the early 20th century.
- The Fremont Abbey, Saint Paul Lutheran, is located along Fremont Avenue N (5), a half-block south of the site.
- Lastly, there is significant contemporary development in the neighborhood, both recently finished and in process (4). These buildings are often a composition of rectilinear volumes, sided with wood, or colorful panel. All of the above creates a context that is deeply layered, and continuing to evolve.



① Fremont Court Apartments
4464 Fremont Ave N
Built: 1990



② Mixed Use Apartment
4250 Fremont Ave N
Built: 1909



③ Mixed Use Apartment
4301 Fremont Ave N
Built: 1927



④ Townhouses
4239 Evanston Ave N
Built: 1918, 7 units



⑤ Fremont Abby: Saint Paul English Lutheran
4272 Fremont Ave N
Built: 1914



⑥ Mixed Use Apartment
4250 Fremont Ave N
Built: 1909



⑦ Apartment
4509 Fremont Ave N
Built: 1978



⑧ Single Family House
4469 Linden Ave N
Built: 1906



⑨ Mixed Use Apartment
4250 Fremont Ave N
Built: 1909



⑩ Mixed Use Apartment
4201 Fremont Ave N
Built: 1906

ADJACENT USES



Single Family	Commercial
Duplex	Educational
Triplex	Office
Fourplex	Religious
Townhouse Plat	Government
Condominium	Industrial
Apartment	Vacant



1 Fremont Abby: Saint Paul English Lutheran along Fremont Ave N



2 Mixed Use apartment along Fremont Ave N



3 Restaurant along Fremont Ave N



4 Open Space along Fremont Ave N



5 Grocery Store along Fremont Ave N



6 Townhouse development on Evanston Ave N

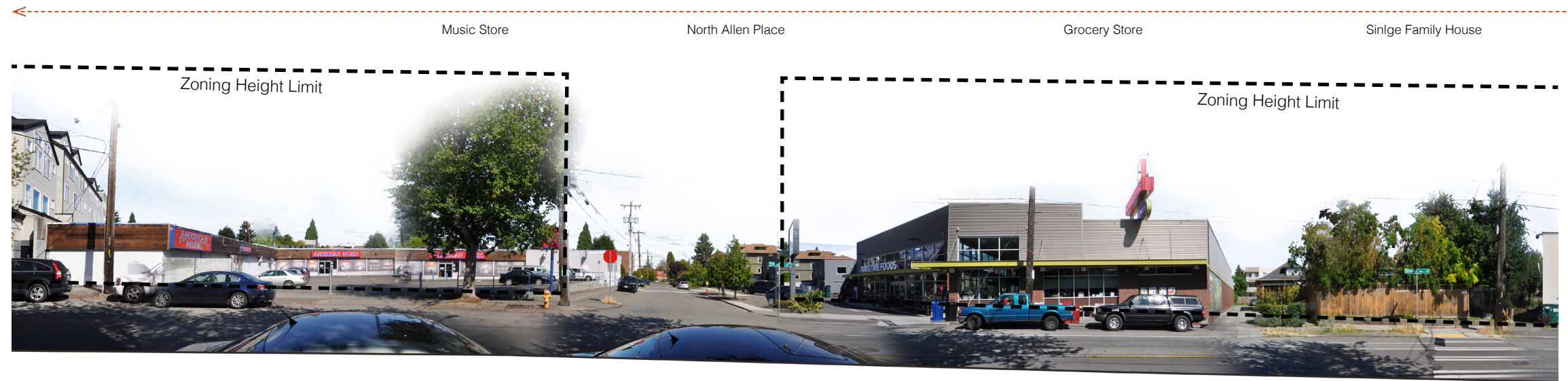
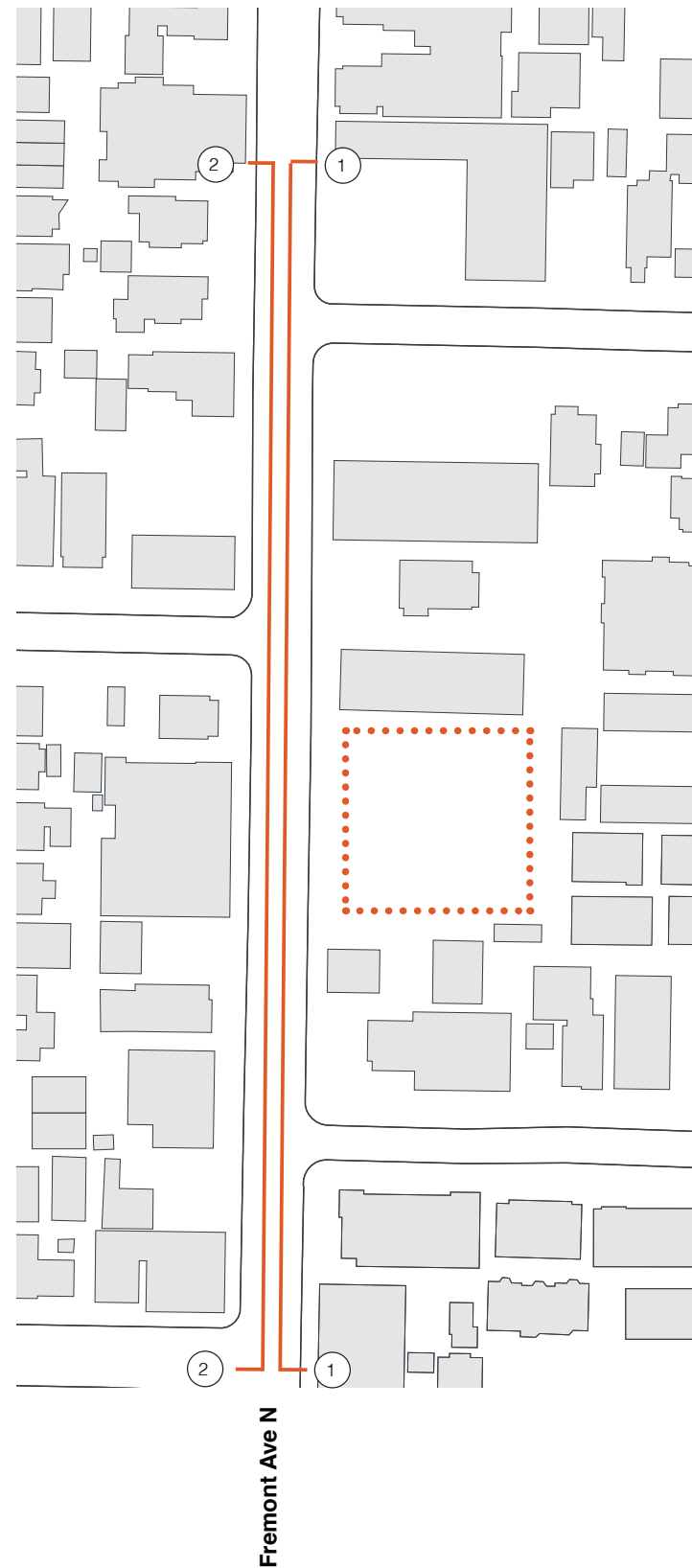


7 Single Family House on Evanston Ave N



8 Commercial Store along Fremont Ave N

STREET PANORAMAS

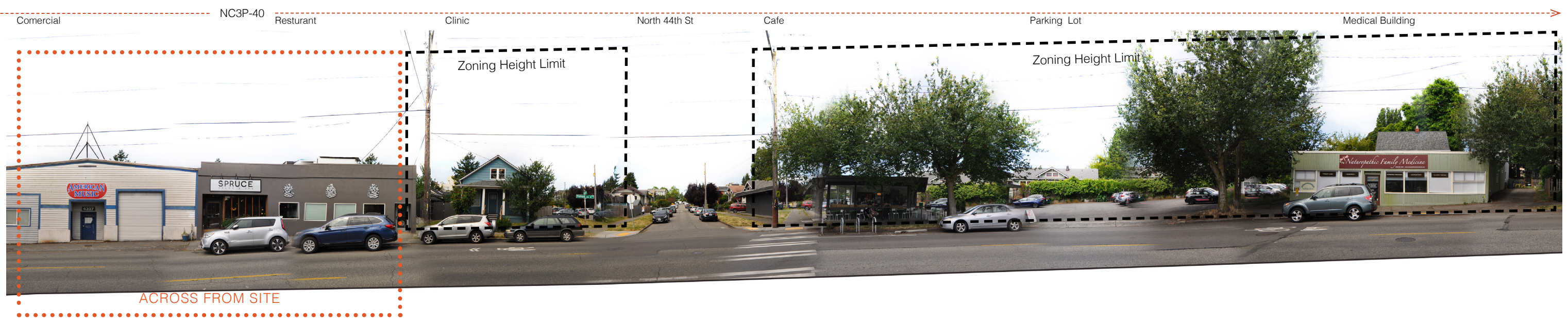


1 East side of Fremont Avenue N



2 West side of Fremont Avenue N

--- Zoning Height Limit



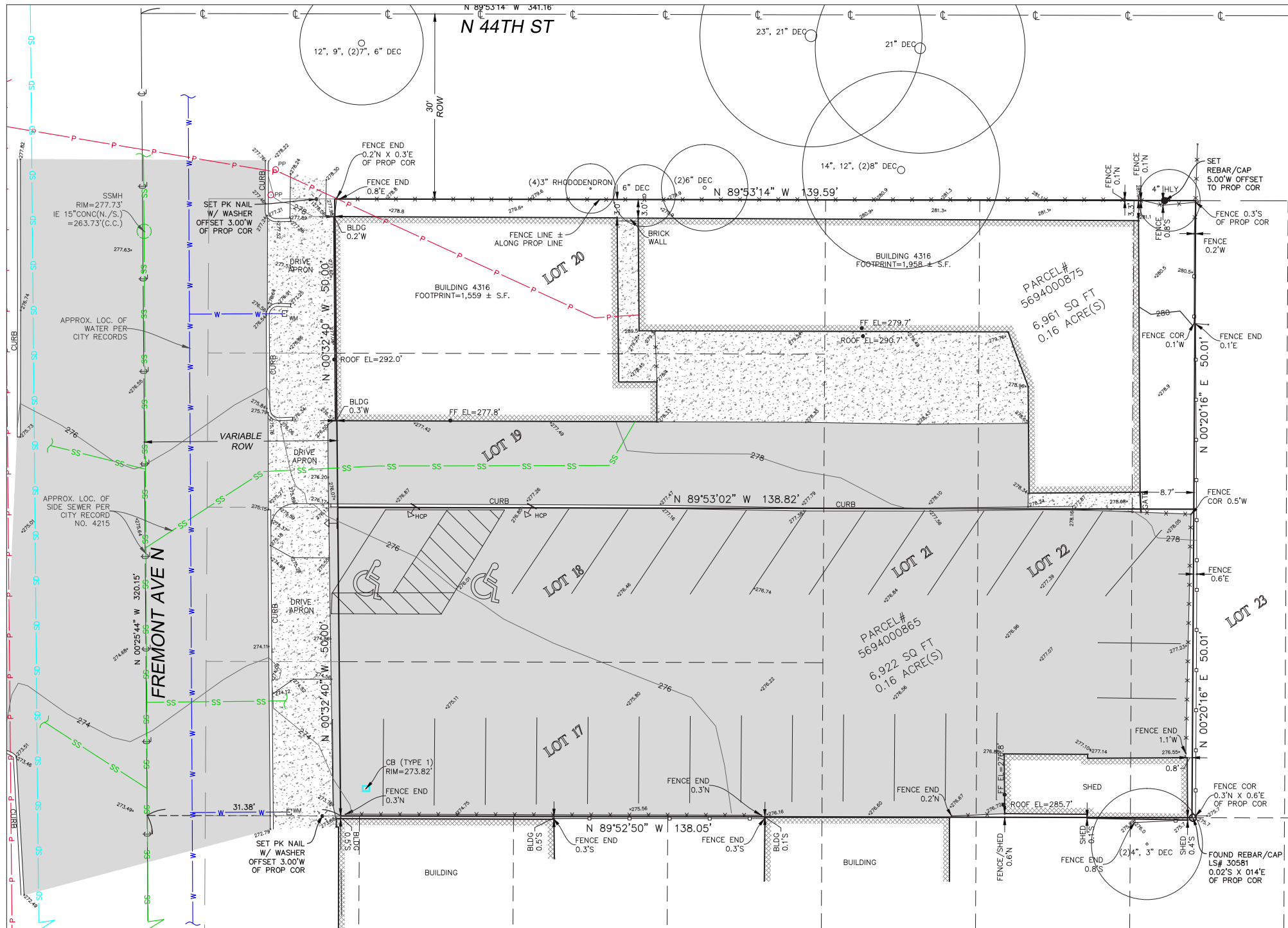
SITE CONDITIONS & CONSTRAINTS



CONSTRAINTS

- Fremont Avenue N is a neighborhood corridor that connects north and south to the Fremont Neighborhood. N 46th Street is a principal arterial that connects to Aurora Avenue N, which connects the area south to Queen Anne, South Lake Union and Downtown, and north to Greenlake, Greenwood and Northgate. N 46th Street also connects the area to Ballard, Wallingford and the University District.
- The site is located mid-block between N Allen Place and N 43rd Street.
- The site is located on the east side of Fremont Avenue N.
- The site currently consists of a 1-story, 1,554 -square foot service building.
- Access to the site is from Fremont Avenue N as it is a mid-block infill site with no alley.
- Context is commercial use with low-rise to mid-rise multifamily residential structures further north and south of the immediate context.
- The site is bordered by a one-story commercial structure to the south, a 12 unit apartment to the north and a townhouse development to the east. The existing structure to the north provides a large setback abutting the subject parcel that is previously vacated N 44th Street. Many of the adjacent structures are predominantly one and two-story. These conditions motivate the design team to create a well-articulated, vernacular-inspired building that will employ high-quality materials along the public realm.

SITE SURVEY



PARCEL #
684820-0460

LEGAL DESCRIPTION

(Per Personal Representative deed rec no 20120622001154)

Lots 19 and 20; north half of lots 21 and 22; and west 10 feet of the north half of lot 23; all in block 6, second motor line addition to the City of Seattle, according to plat recorded in volume 2 of plats, page 179, in King County, Washington, except portion of said lots 19 and 20 condemned in King County superior court cause no. 52566 for widening of Fremont Avenue as provided by ordinance no. 13677 of the City of Seattle.

(Per statutory warranty deed rec. no. 20090408001849)

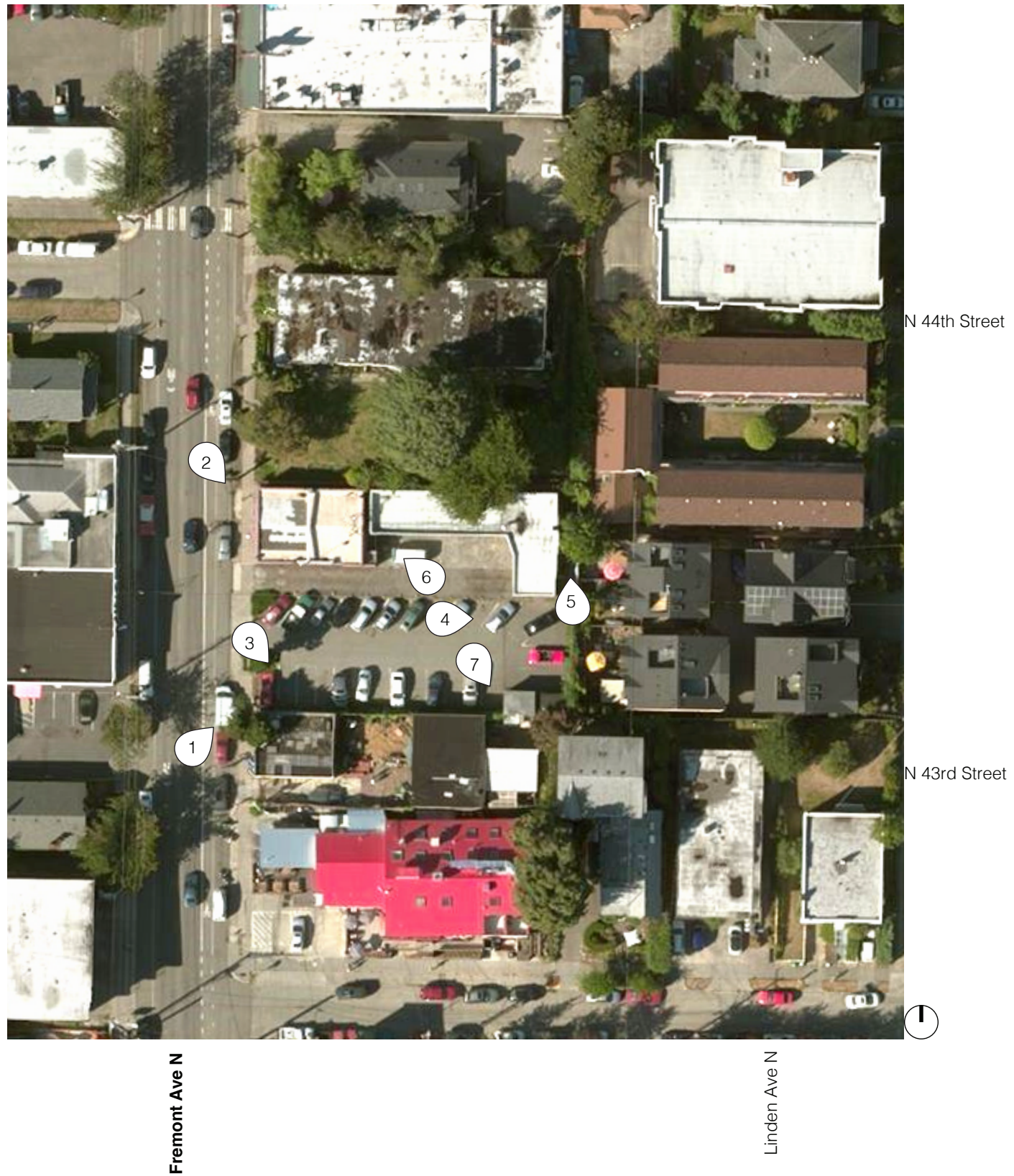
Front Lot: Portions of motor line 2d addition; #17 less the north 15 feet of the east 18 feet, and #18 less the east 18 feet and less the north 10 feet and the south 10 feet of #21 and #22, and the south 10 feet of the west 10 feet of #23 less street.

Back Lot: The north 15 feet of the east 18 feet of #17, the east 18 feet of #18, the north 10 feet of #18, less the east 18 feet and north 40 feet of the south 1/2 of #21 and #22 and the north 40 feet of the south 1/2 of the west 10 feet of #23 less street.

LOT SIZE

Total: 13,883
NC2P-55: 12,883
LR2: 1,000

EXISTING CONDITIONS



- The site, approximately 100 feet north-south by 130 feet east-west, currently contains two small structures, one, a one-story commercial building abutting Fremont Avenue N, and the other, a one-story building with individual storage units behind. The south area of the site is currently a surface Diamond parking lot. The development proposes to remove the existing structures and construct a new mixed-use building.
- Multi-family structures bound the site to the north and east. To the north, the existing multi-family structure provides a large setback. The multi-family structure to the east was completed in 2002. To the south is a one story commercial building, built in 1925. The site directly abuts Fremont Avenue to the west.
- The site is located on the east side of Fremont Avenue N, mid-block between N 43rd Street and N Allen Place. The sites topography slopes down, at approximately 5 percent, from north to south.
- All access to the site is from Fremont Avenue N to the west.



① View looking Northeast from Fremont Avenue North



② View looking Southeast from Fremont Avenue North



③ View looking east at adjacent structure from Fremont Avenue North



④ View looking East at adjacent structures from site



⑤ View looking North at adjacent structures from site



⑥ View looking West at existing structure from site

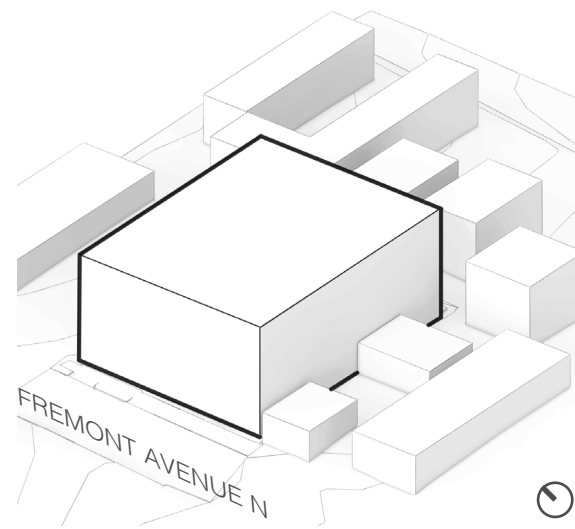


⑦ View looking Southeast at adjacent structures from site

PROJECT EVOLUTION

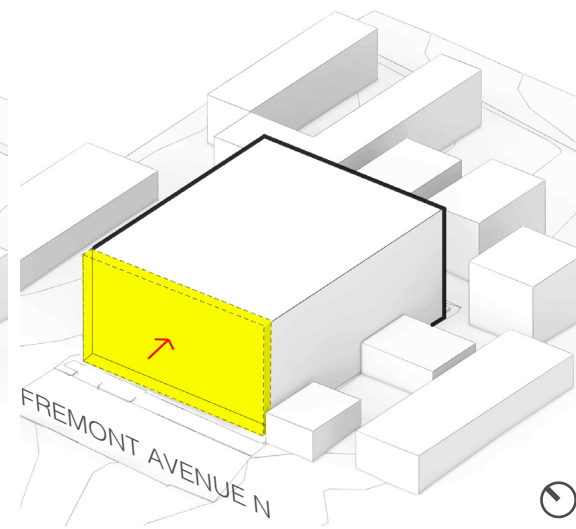
ZONING ENVELOPE

- Allowable Building envelope



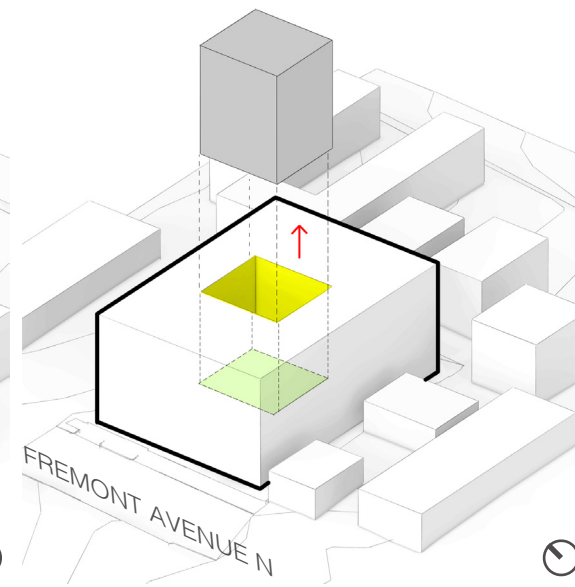
FRONT SETBACK

- +/- 2'-6" SDOT setback along Fremont Ave N



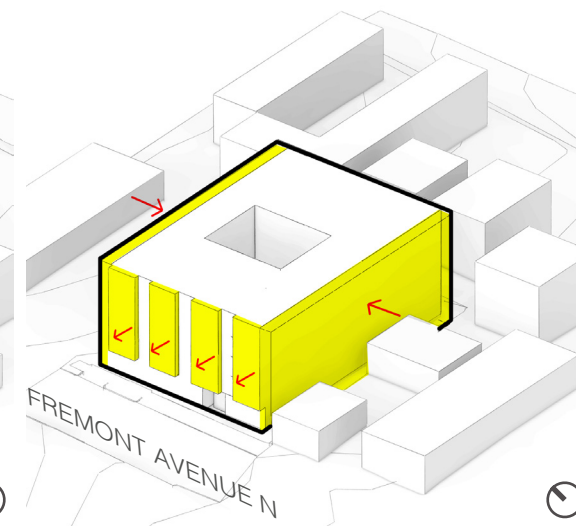
COURTYARD

- Massing is removed to create a central courtyard



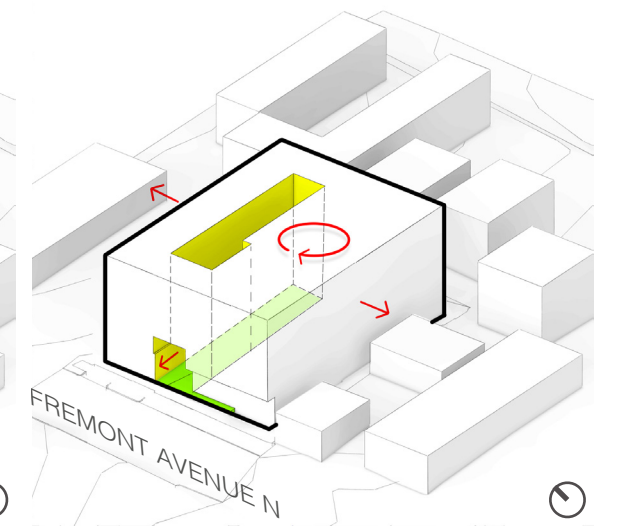
ALTERNATIVE 1

- Massing is removed along the side property lines to access to light and air to units and adjacent sites.
- Bay windows along Fremont Avenue N
- Commercial space connects to Fremont Avenue N at street-level

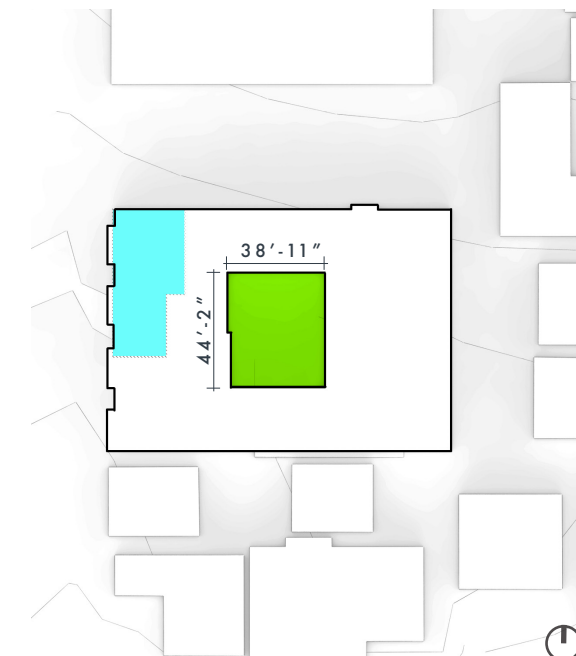


STREET COURTYARD

- Courtyard oriented in an east-west direction
- Massing is shifted to change proportion of courtyard area in order to create connection to Fremont Avenue N
- Connection to streetscape is framed through an entry portal



COMMON SPACE : ■
 COURTYARD : ■

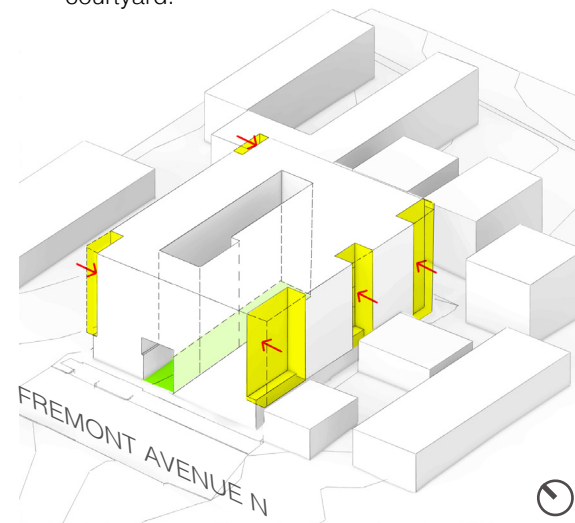


ALTERNATIVE 1
 COMMON SPACE AND
 COURTYARD AREA: 1,690 SQFT
 COURTYARD ARE SEPARATED
 FROM EACH OTHER

PROJECT EVOLUTION

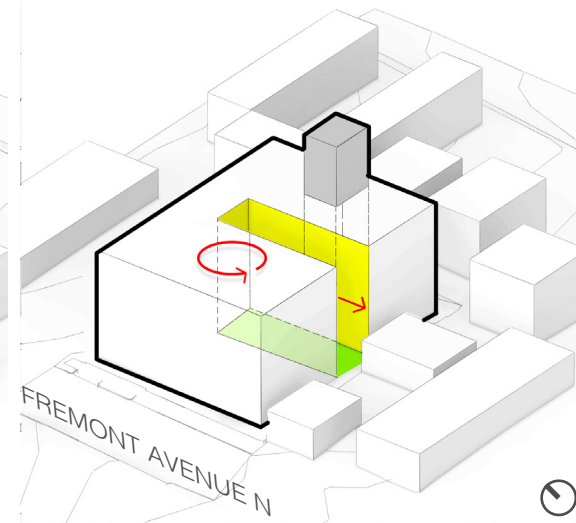
ALTERNATIVE 2

- Massing is strategically removed along the side property lines, creating modulation that provides access to light and air to units and adjacent sites.
- Commercial space fronting Fremont Avenue N with entry portal connecting streetscape to courtyard.



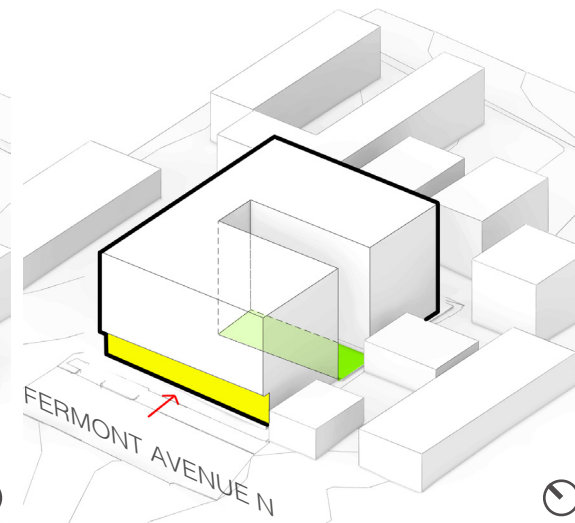
COURTYARD ROTATION

- Rotate courtyard to allow increased access to light and air to units and adjacent sites.
- Position of courtyard allows for reorientation of units to face the street, courtyard and rear setback, reducing privacy concerns to adjacent sites to the north and south.



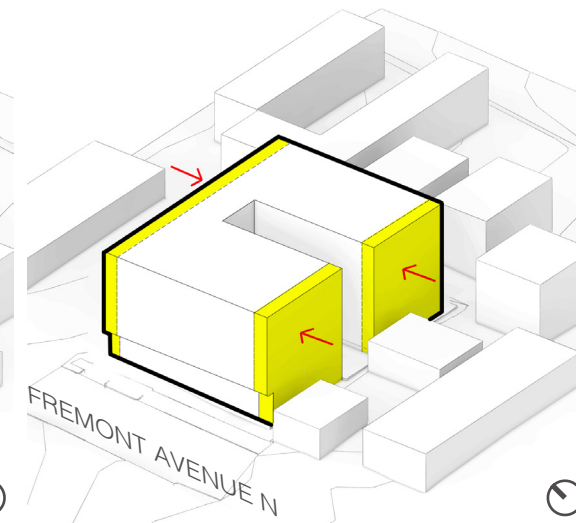
COMMERCIAL SETBACK

- Increased setback to allow "spill out" space for the commercial space to the streetscape.



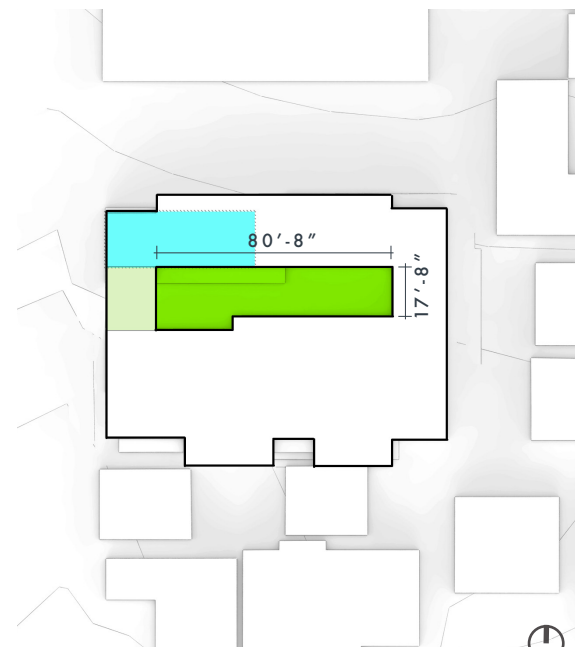
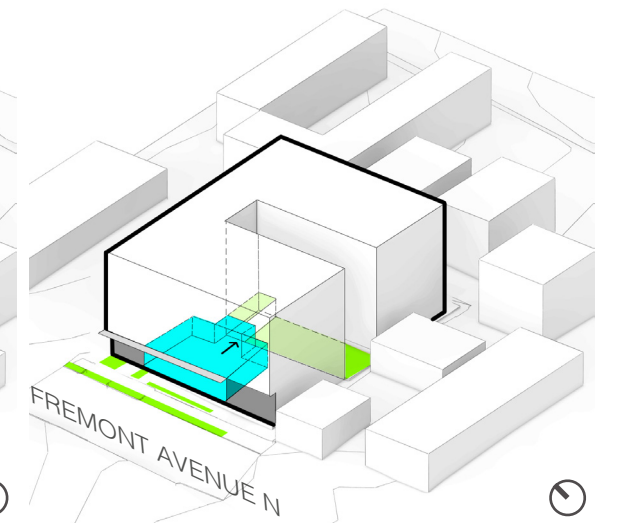
INCREASED SIDE SETBACKS

- Continuous side setbacks allow access to light and air to units and adjacent sites

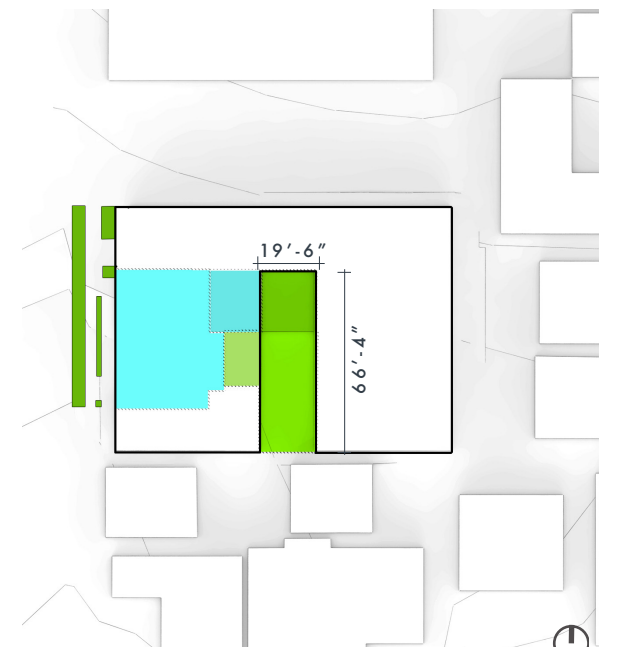


ALTERNATIVE 3

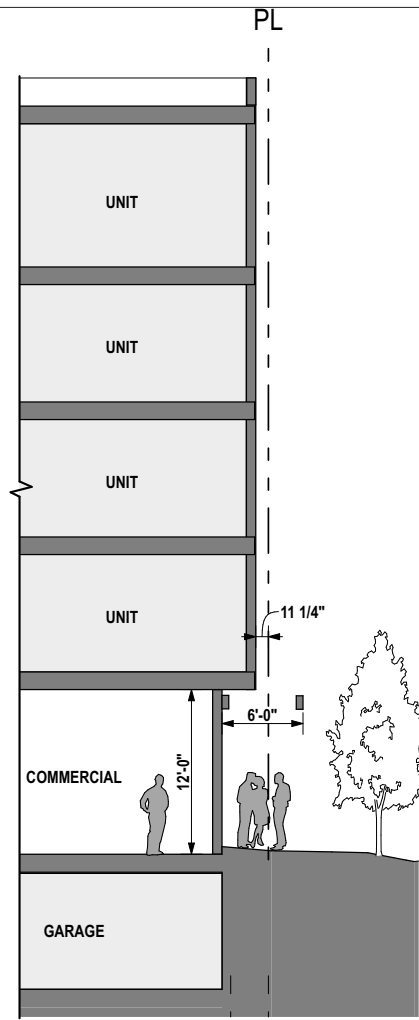
- Commercial space connects to Fremont Avenue N and the central courtyard, providing opportunities for covered exterior patio areas



ALTERNATIVE 2
 COURTYARD AREA: 1,695 SQFT
 LINEAR COMMERCIAL SPACE AND LINEAR COURTYARD HAVE SMALL STREET FRONTAGE AND INTERNAL CONNECTION

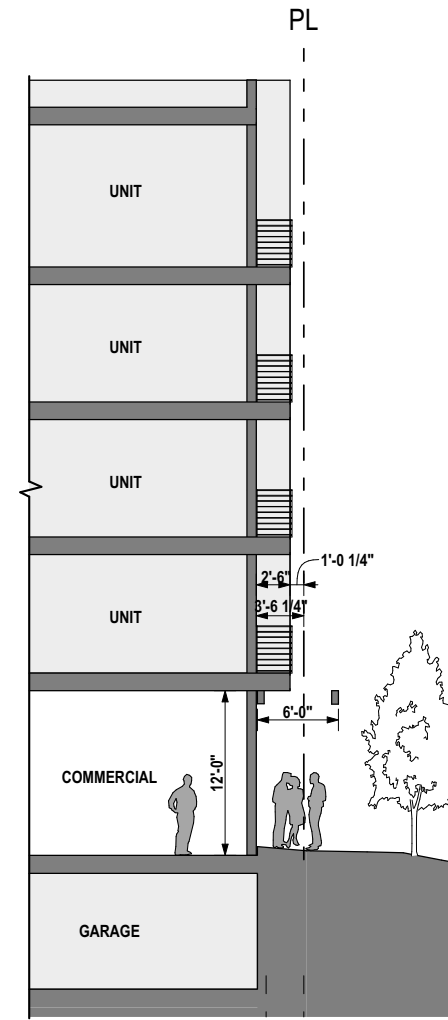


ALTERNATIVE 3
 COURTYARD AREA: 1,715 SQFT
 WIDE COMMERCIAL SPACE PROVIDES CONNECTION TO STREET WITH INTERNAL CONNECTION TO NORTH-SOUTH ORIENTED COURTYARD



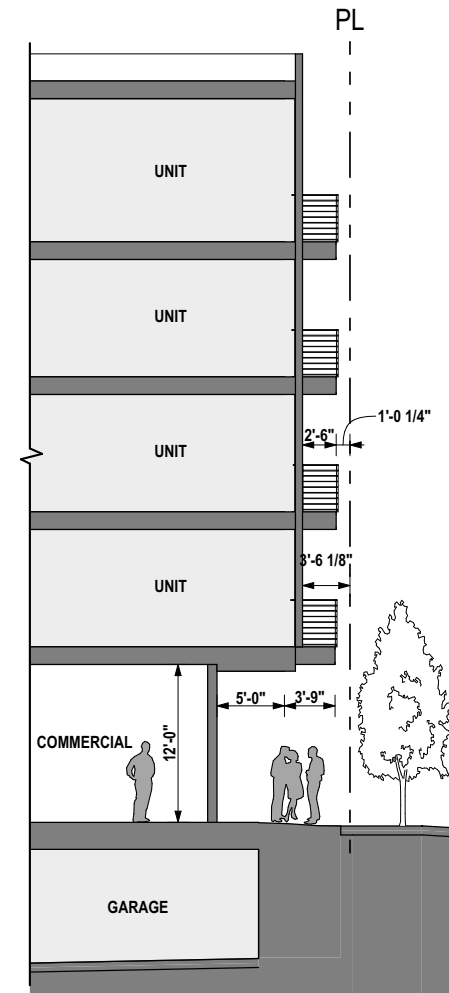
SECTION AT FREMONT AVENUE N LOOKING SOUTH

ALTERNATIVE 1



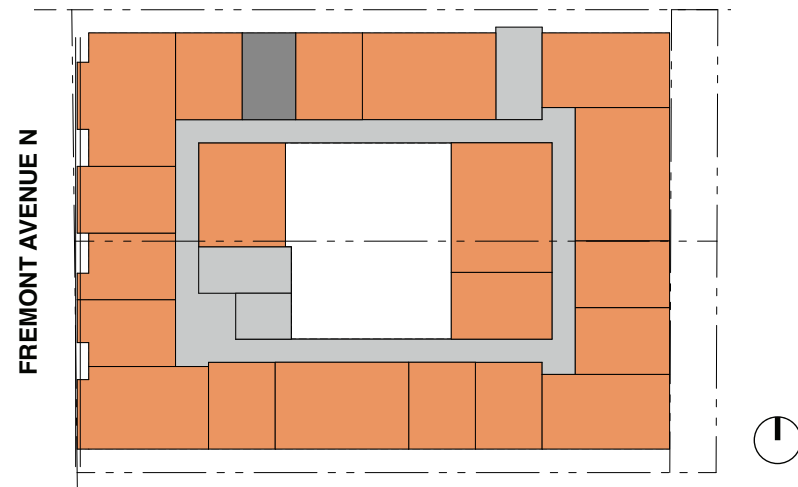
SECTION AT FREMONT AVENUE N LOOKING SOUTH

ALTERNATIVE 2

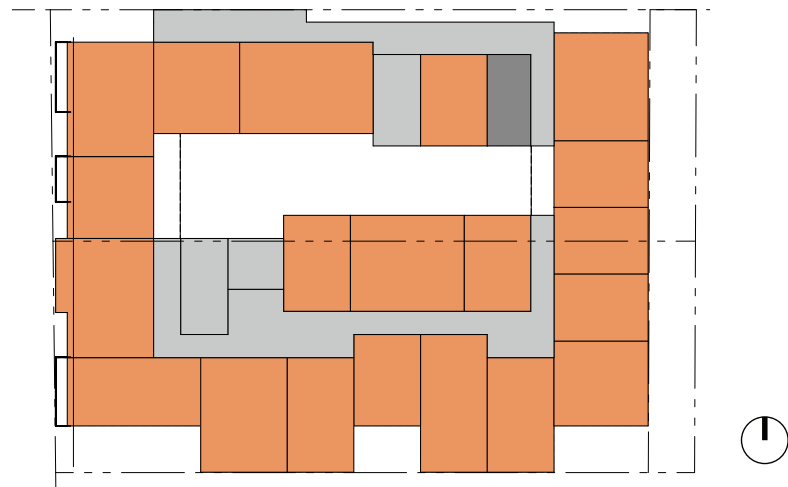


SECTION AT FREMONT AVENUE N LOOKING SOUTH

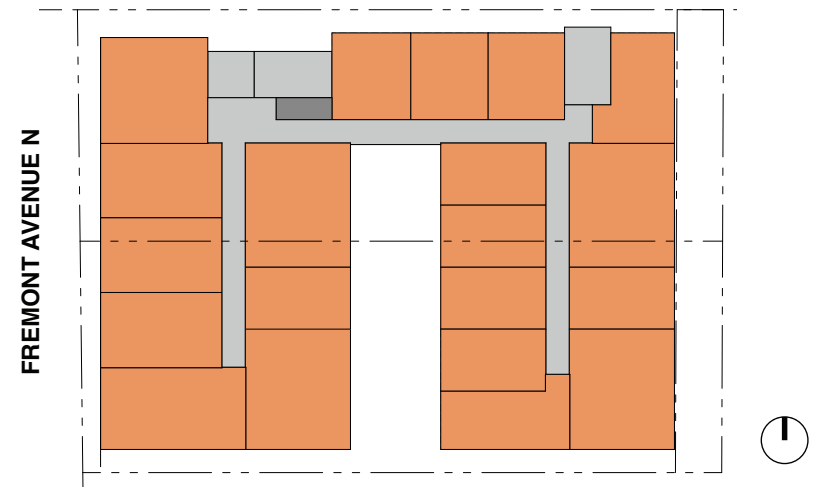
**ALTERNATIVE 3
(PREFERRED)**



TYPICAL FLOOR PLAN



TYPICAL FLOOR PLAN



TYPICAL FLOOR PLAN

DESIGN PROPOSAL ALTERNATIVES

ALTERNATIVE 1

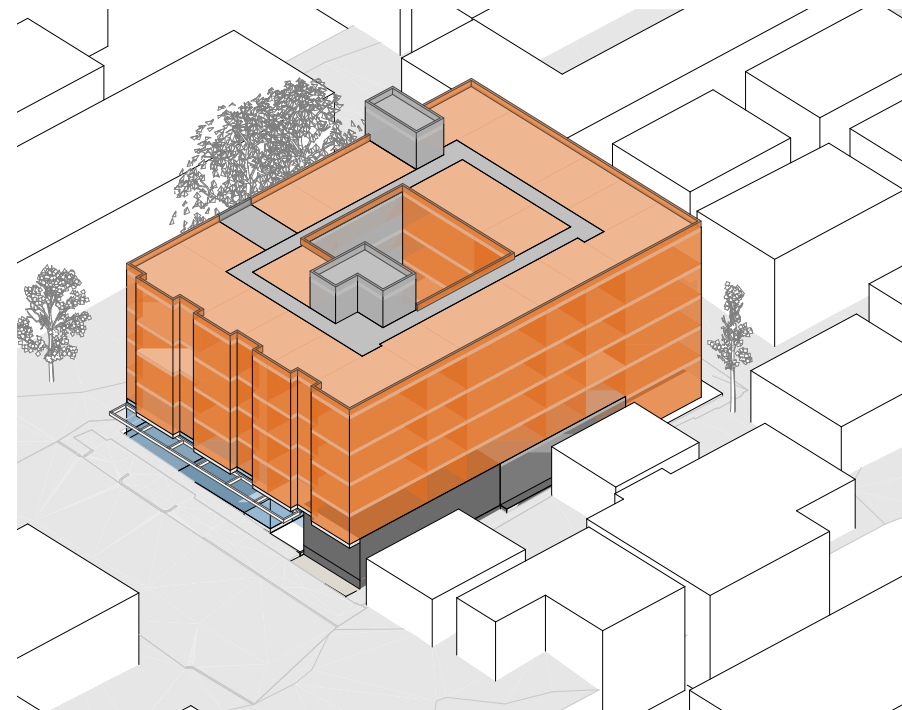
Design Review Building Area - 59,050 sf
 Above Ground Area - 48,198 sf
 Above Below Area - 10,852 sf
 # of Units - 87, 48 SEDU, 18 Studios, and 21 1-Bedroom apartments
 Commercial Space - 1,069 sf
 # of Parking Stalls - 32
 # of Bicycle Parking Spaces - 92

Advantages:

- Code compliant scheme
- Features internal courtyard for access to light and air.

Issues

- Completely Internal courtyard shifts all massing to edges
- Small commercial space provided with small street level setback limits engagement with the existing streetscape.
- Long side facades provide no relief along the north and south property lines.



Aerial View from Southwest

ALTERNATIVE 2

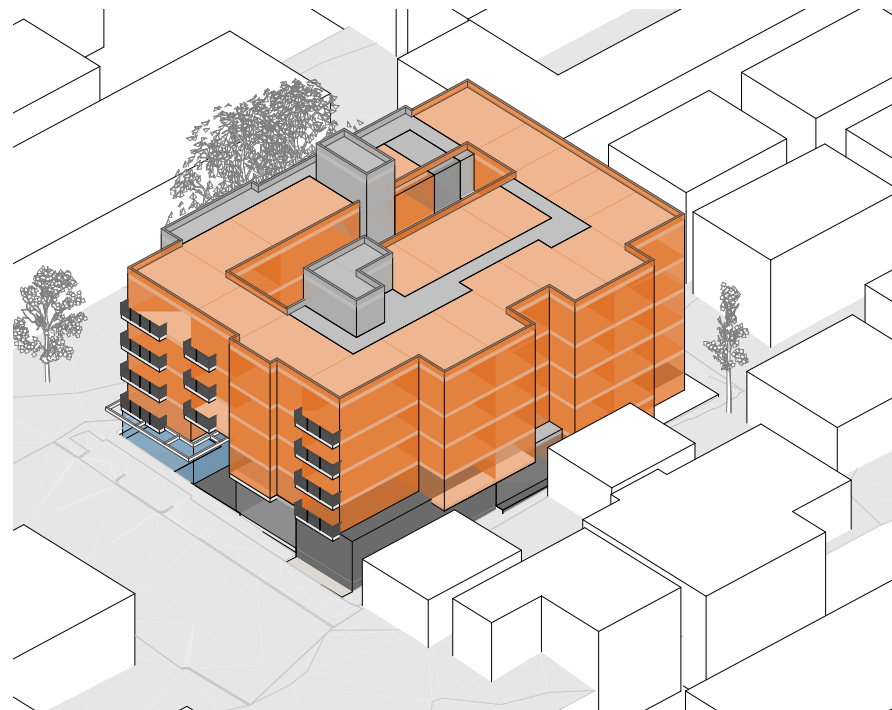
Total Gross Building Area - 58,765 sf
 Above Ground Area - 47,926 sf
 Above Below Area - 10,839 sf
 # of Units - 87, 49 SEDU, 16 Studios, and 22 1-Bedroom apartments
 Commercial Space - 1,434 sf
 # of Parking Stalls - 32
 # of Bicycle Parking Spaces - 92

Advantages:

- Street-level, street-facing connection to internal courtyard.
- Modulated massing along the north and south property line

Issues

- Majority of units face adjacent sites, creating privacy concerns.
- The commercial space has a limited frontage along Fremont Avenue N due to the exterior street-level connection to the internal courtyard.
- Zero Setbacks along side lot lines.
- Departures requested for non-residential use and residential uses along Pedestrian designated frontage on Fremont Ave N.
- Narrow courtyard is oriented east-west and is less effective at bringing light into the proposed development.



Aerial View from Southwest

ALTERNATIVE 3 (PREFERRED)

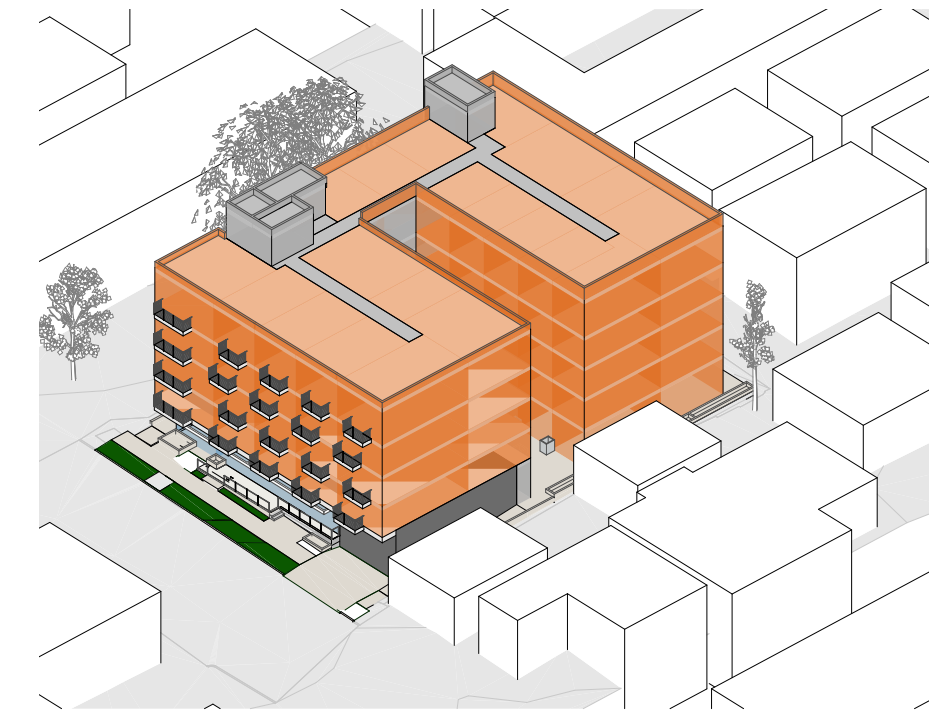
Total Gross Building Area - 57,891 sf
 Above Ground Area - 47,323 sf
 Above Below Area - 10,568 sf
 # of Units - 87, 49 SEDU, 16 Studios, and 22 1-Bedroom apartments
 Commercial Space - 1,455 sf
 # of Parking Stalls - 32
 # of Bicycle Parking Spaces - 92

Advantages:

- Commercial space entirely fronts Fremont Avenue N and is located between the residential lobby, at the north of the site, and the driveway entrance at the south of the site.
- Commercial space connects outward to the streetscape along Fremont Avenue N as well as the ground floor central courtyard.
- Central courtyard is open to the south, allowing relief along the south property line as well as access to light and air.
- Privacy is maintained for adjacent sites, with most units oriented east-west, toward the street, courtyard or 10-foot rear setback.
- Increased street-level street-facing facade setback to provide space for commercial "spill out" area.
- Clear residential entry articulated through massing.

Issues

- Departures requested for non-residential use and residential uses along Pedestrian designated frontage on Fremont Ave N.



Aerial View from Southwest

ALTERNATIVE 1 (CODE COMPLIANT)

Gross Floor Area - 59,022 sf

Alternative 1 is a code compliant scheme with approximately eight-seven (87) apartment units, including 48 SEDUs, 18 studios and 21 one-bedroom apartments and (1) ground floor commercial space. Access to 32 parking stalls is provided from Fremont Avenue N.

This alternative proposes an "O-shaped" 5-story Mixed-Use Apartment with partially below grade parking, and an internal courtyard for light and air to all units. Interior walkways bound the courtyard for access to all units.

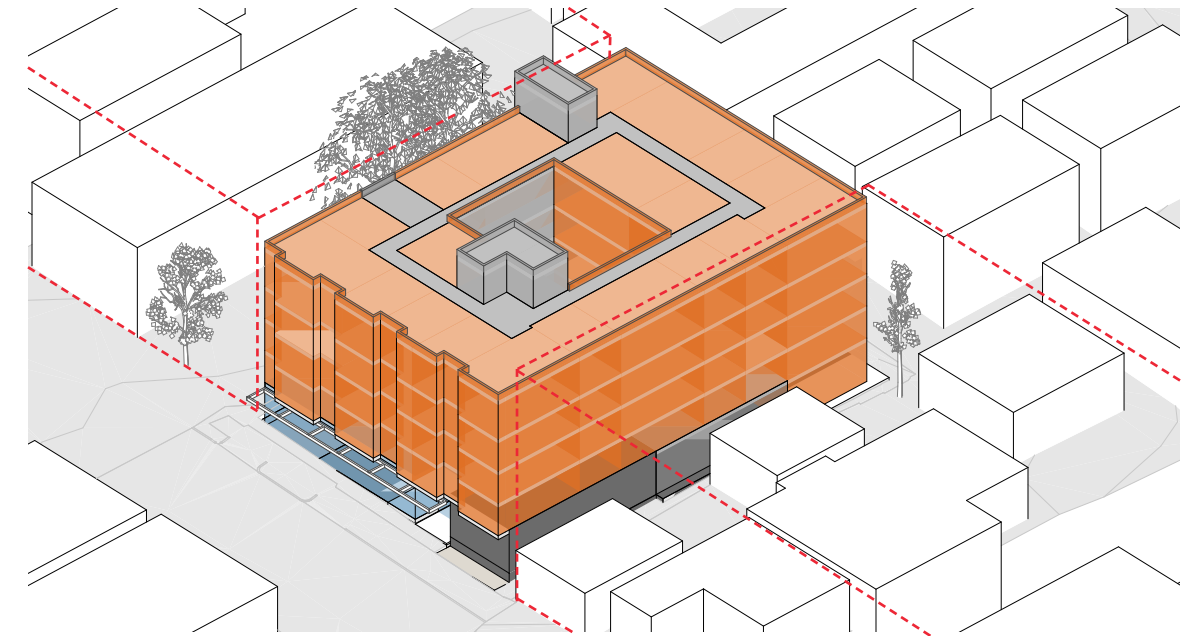
This alternative shifts all massing to the site edges, with no relief along its side facades.

Advantages:

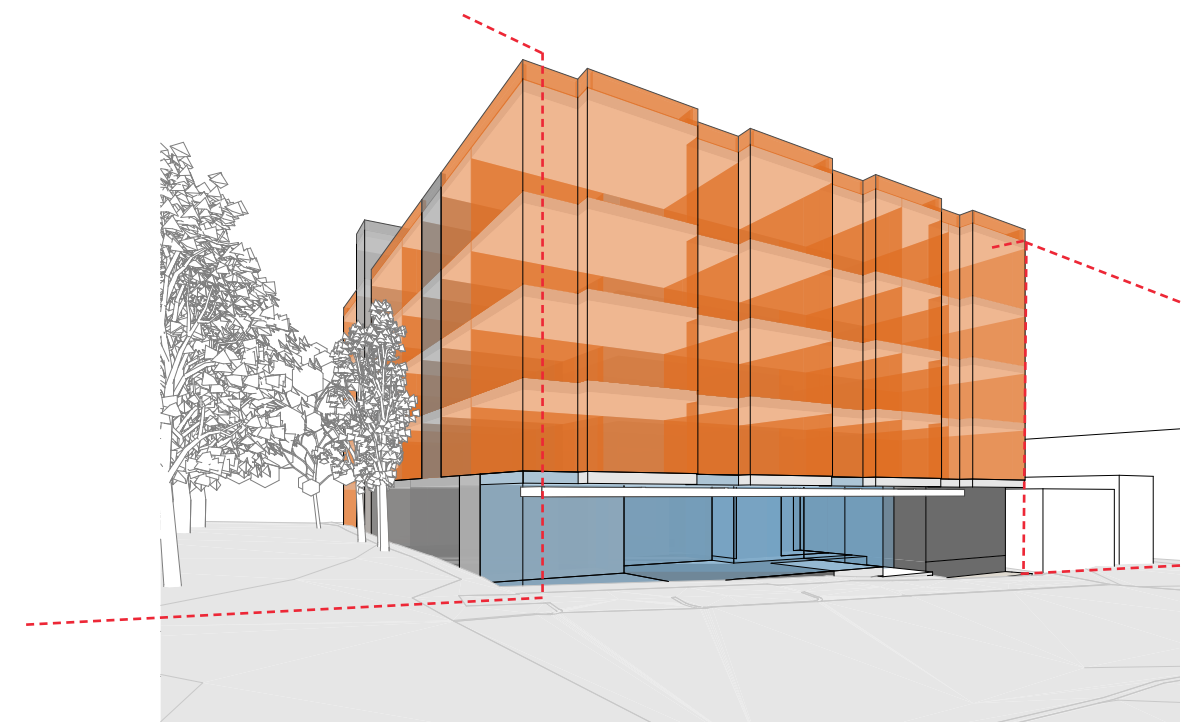
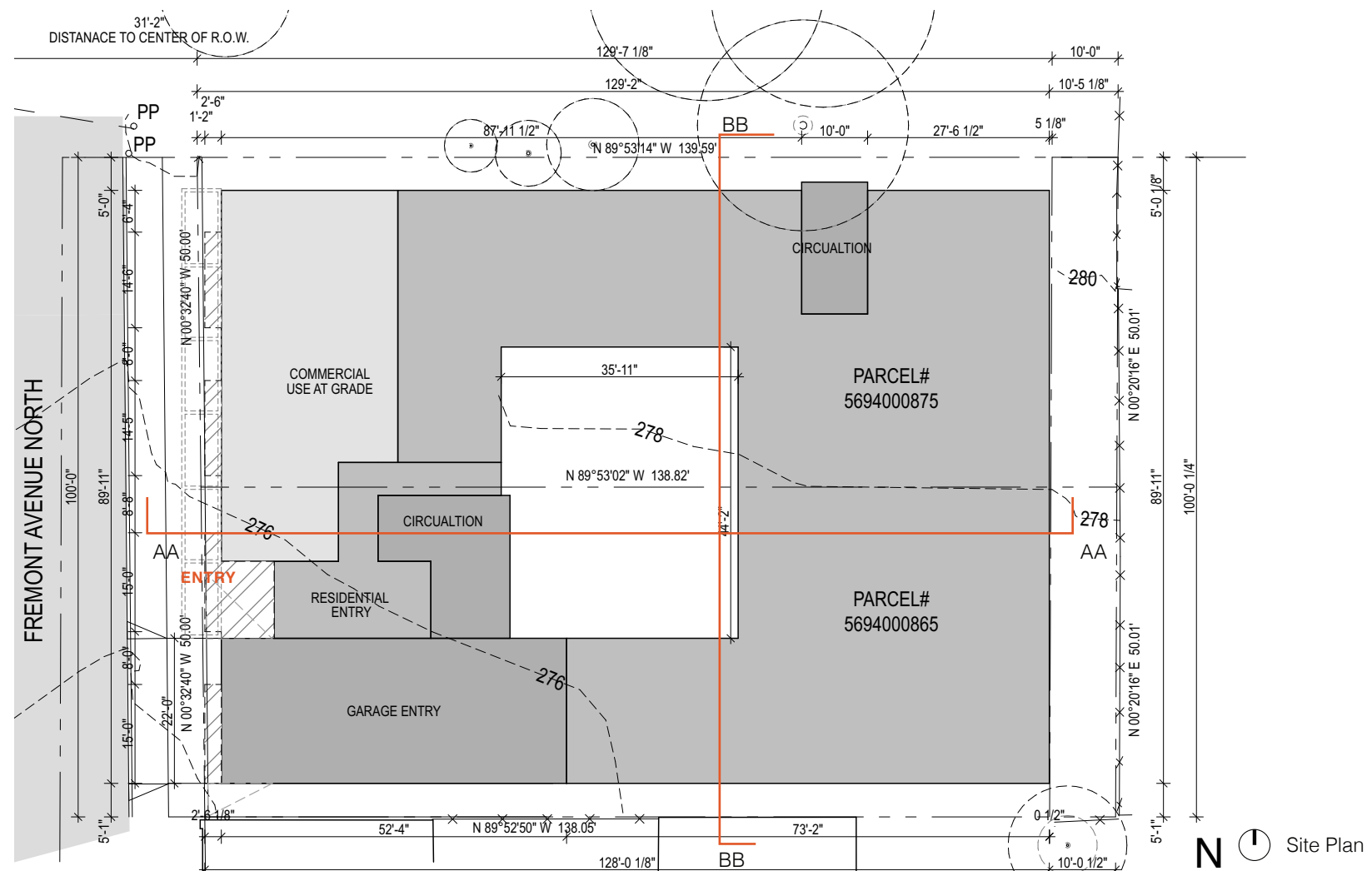
- Code compliant scheme
- Features internal courtyard for access to light and air.

Issues

- Internal courtyard shifts all massing to edges with limited opportunities for access to natural light and increased privacy concerns.
- Bay Windows overhang Fremont Avenue N
- Small commercial space provided with limited street level setback for streetscape engagement.
- Long side facades provide no relief along the north and south property lines.

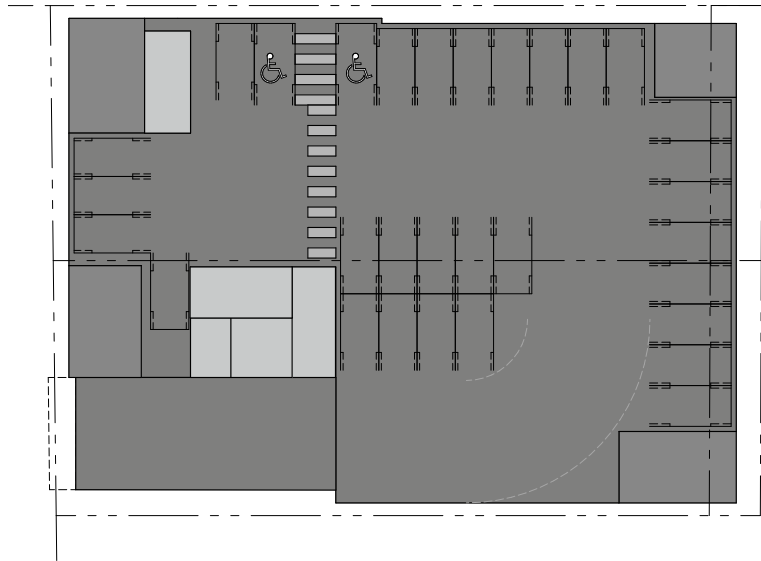


1 Aerial View from Southwest

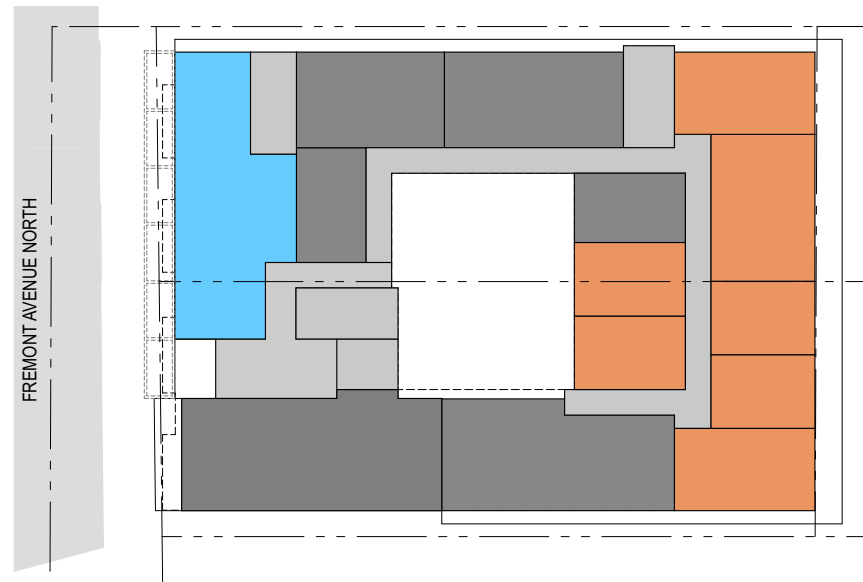


2 View looking Southeast from Fremont Avenue North

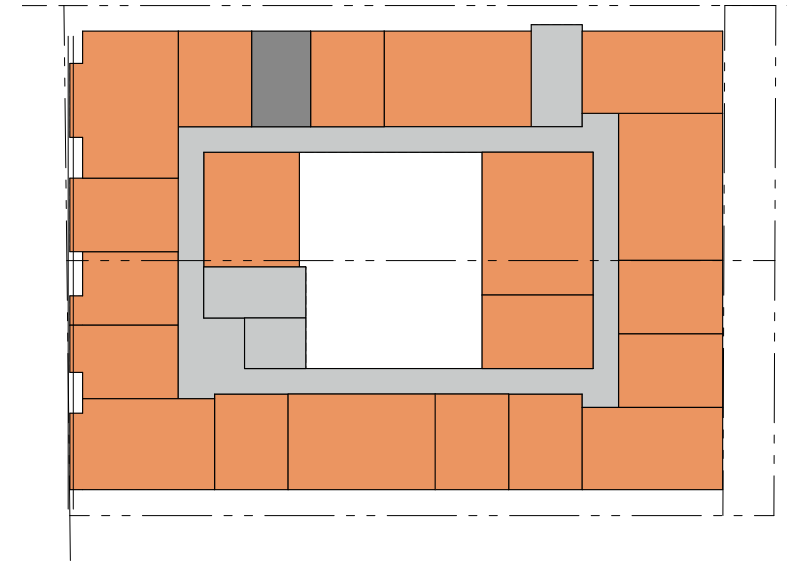
--- Zoning Height Limit



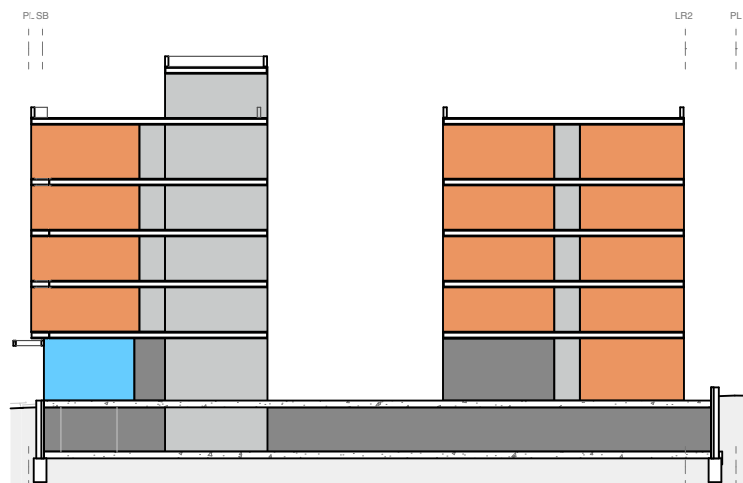
Basement Floor Plan



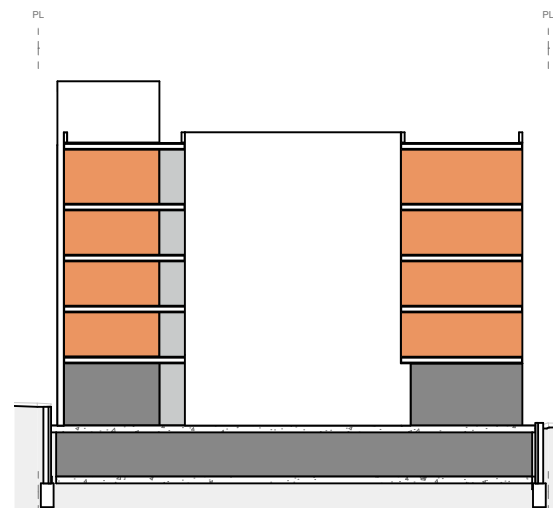
First Floor Plan



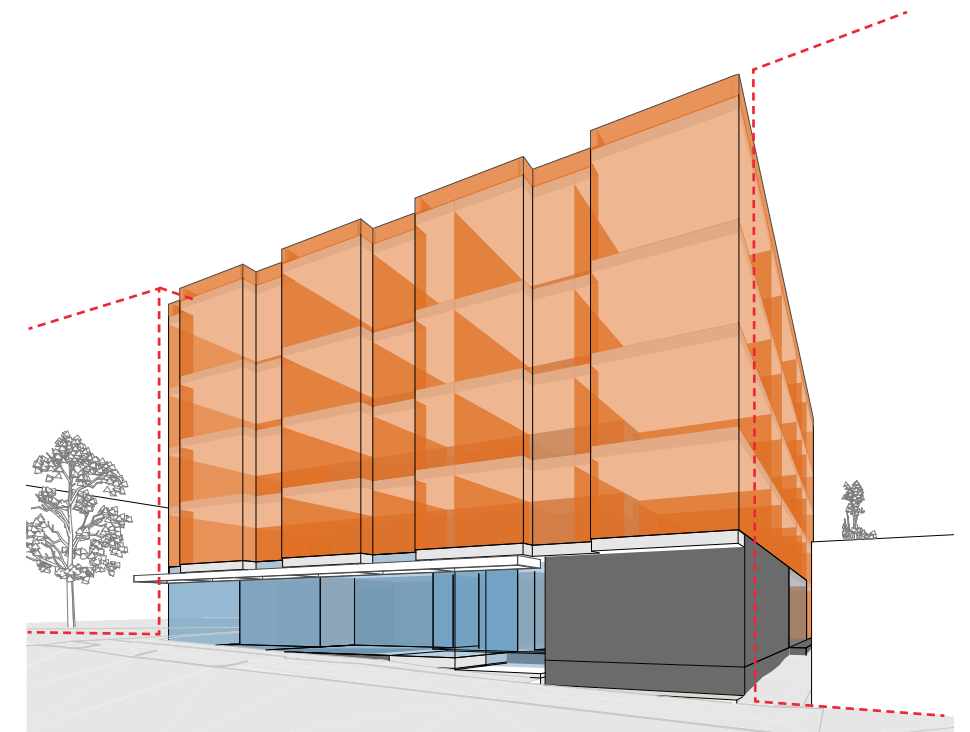
Second through Sixth Floor Plans



AA. Longitudinal section looking N



BB. Transverse Section looking E



3 View looking Northeast from Fremont Avenue North

--- Zoning Height Limit

ALTERNATIVE 2

Gross Floor Area - 59,037 sf

Alternative 2 is a scheme with approximately eightyseven (87) apartment units, including 49 SEDUs, 16 studios and 22 one-bedroom apartments and (1) ground floor commercial space. Access to 32 parking stalls is provided from Fremont Avenue N.

This alternative proposes an Open "O-shaped" 5-story Mixed-Use structure with partially below grade parking, and an internal courtyard for light and air to all units. The massing is organized around a central east-west courtyard that has an entry portal at street-level from Fremont Avenue N. Light and air is provided to units along the courtyard and the side setbacks for the majority of the site.

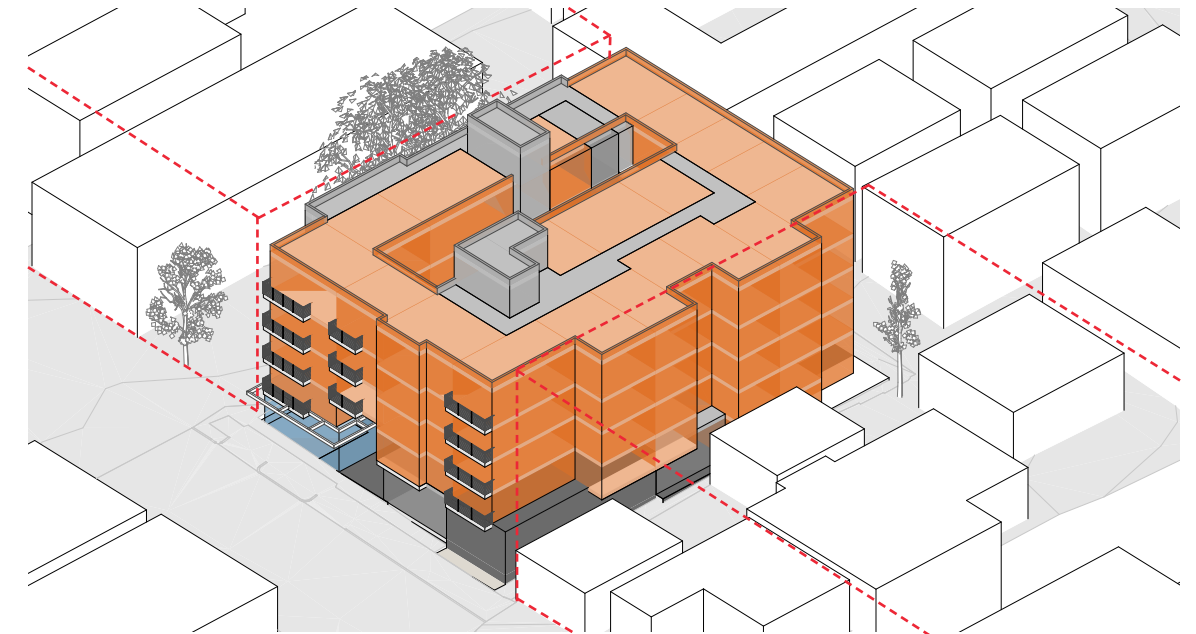
Although, this alternative provides an entry portal connection to Fremont Avenue N, it results in most units looking out at adjacent sites, creating privacy concerns. Zero Setbacks along side lot lines are provided in multiple locations. Furthermore, this orientation at street-level results in a narrow and deep commercial space, with a limited amount facing Fremont Avenue N.

Advantages:

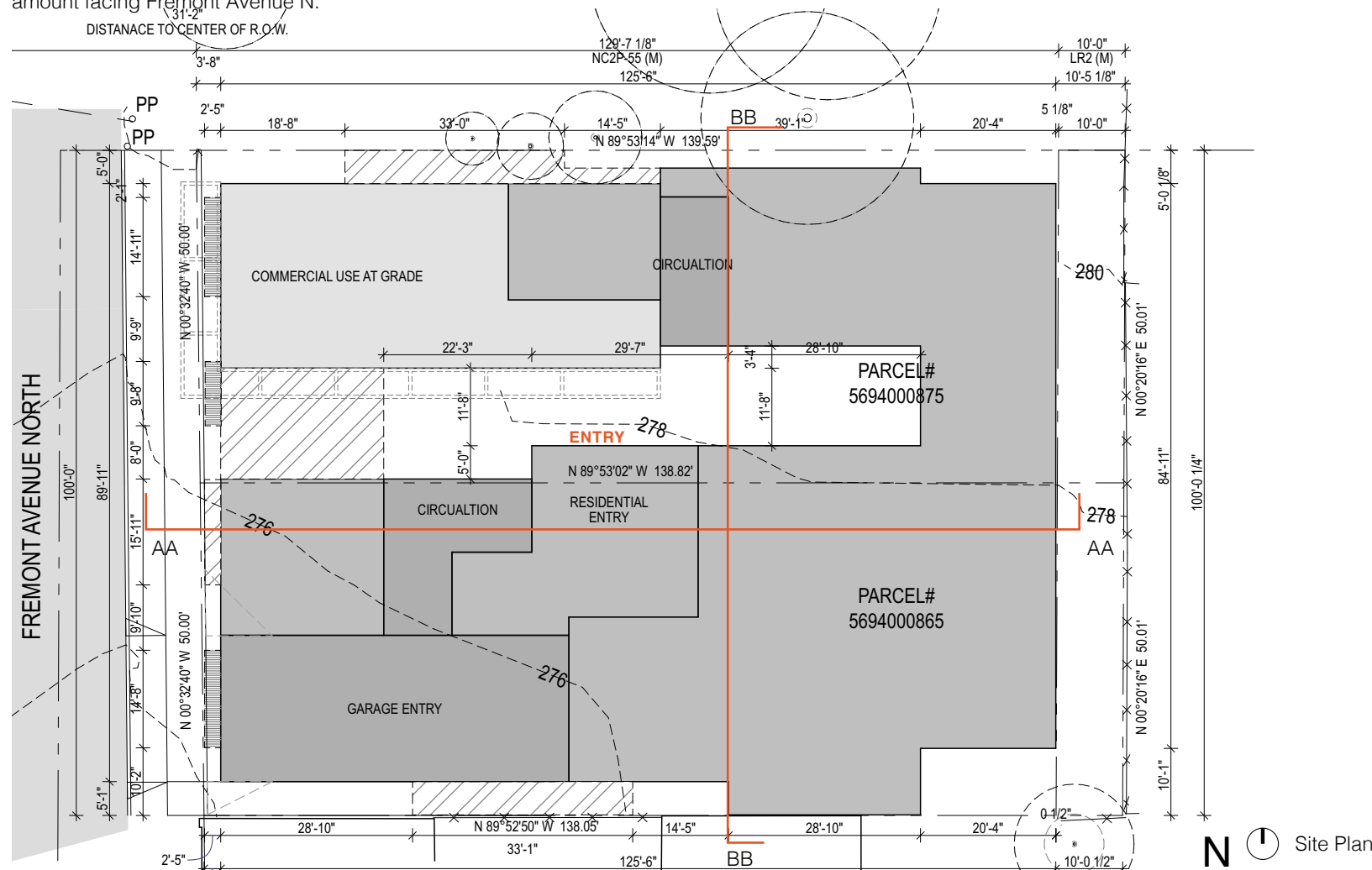
- Street-level street-facing courtyard.
- Modulated massing along the north and south property line

Issues

- Majority of units face adjacent sites, creating privacy concerns.
- The commercial space has a limited frontage along Fremont Avenue N.
- The majority of the modulation noted above provides zero setback along north and south side property lines.
- Departures requested for non-residential use and residential uses along Pedestrian designated frontage on Fremont Avenue N.

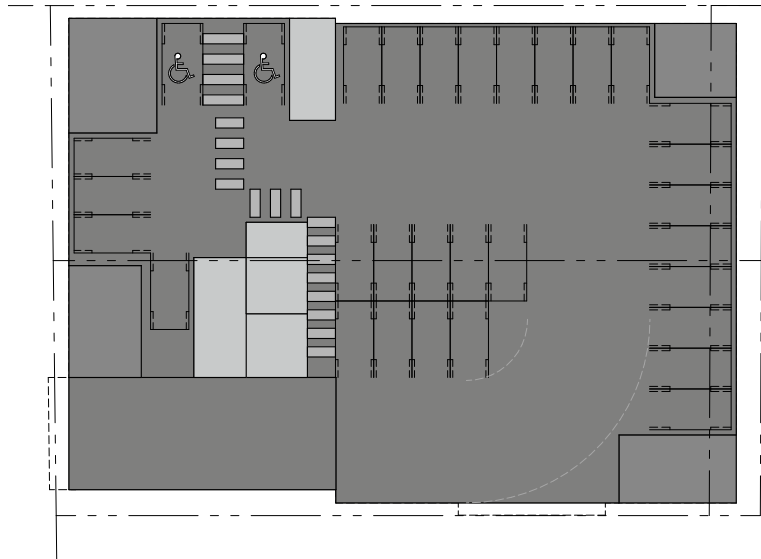


1 Aerial View from Southwest

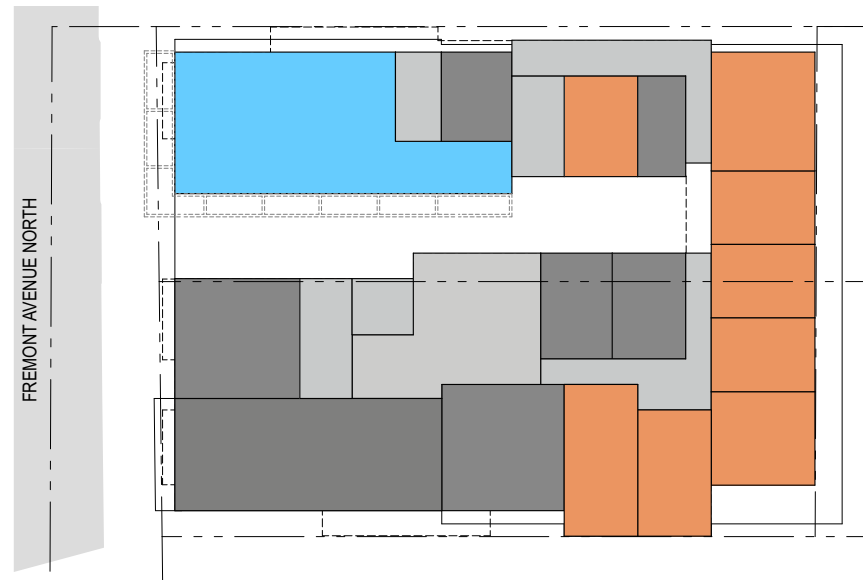


2 View looking Southeast from Fremont Avenue North

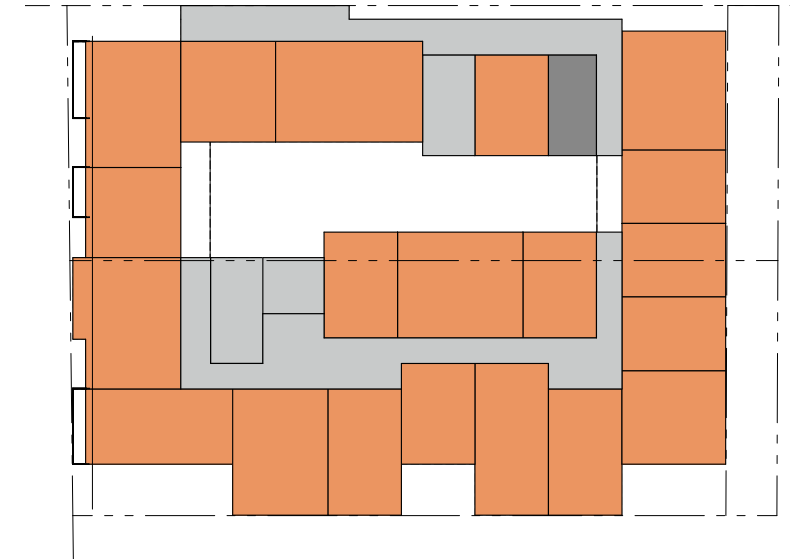
--- Zoning Height Limit



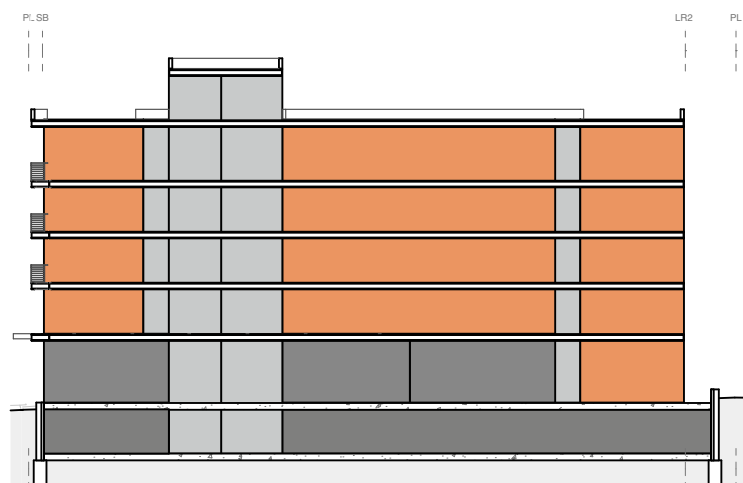
Basement Floor Plan



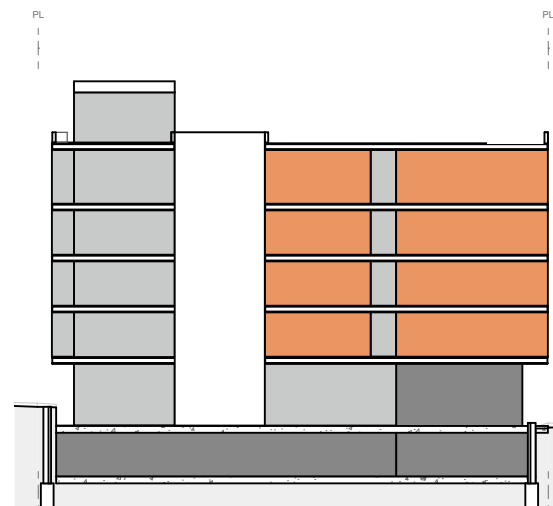
First Floor Plan



Second through Sixth Floor Plans



AA. Longitudinal section looking N



BB. Transverse Section looking E



3 View looking Northeast from Fremont Avenue North

--- Zoning Height Limit

ALTERNATIVE 3 (PREFERRED)

Gross Floor Area - 57,933 sf

Alternative 3 is a scheme with approximately eightyseven (87) apartment units, including 49 SEDUs, 16 studios and 22 one-bedroom apartments and (1) ground floor commercial space. Access to 32 parking stalls is provided from Fremont Avenue N.

This alternative proposes an "U-shaped" 5-story Mixed-Use structure with partially below grade parking. The massing is organized around a central south-facing courtyard. Light and air is provided to units along the courtyard, street, and rear setback.

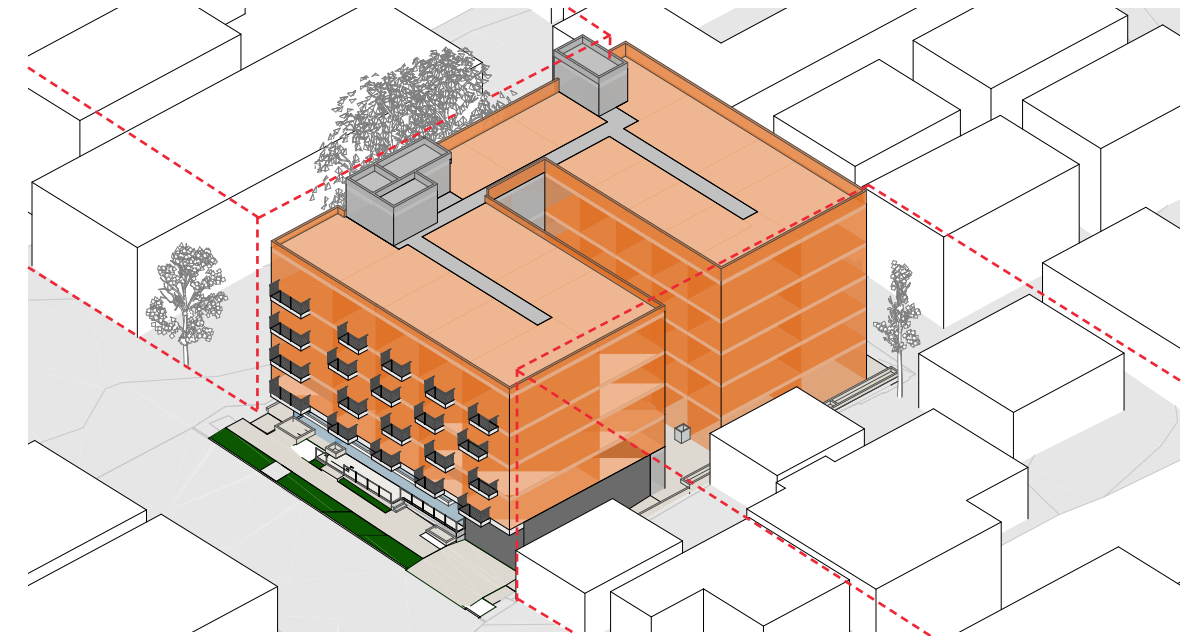
In contrast to Alternatives 1 and 2, thoughtful modulation is provided along the side facades, with the courtyard splitting the building into two smaller facades along the south property line. The street facade is composed of two volumes, a one-story recessed volume at street-level with a second volume at the stories above. Decks project beyond the facade at the upper floors adding elements of human scale and visual interest along the street facade.

Advantages:

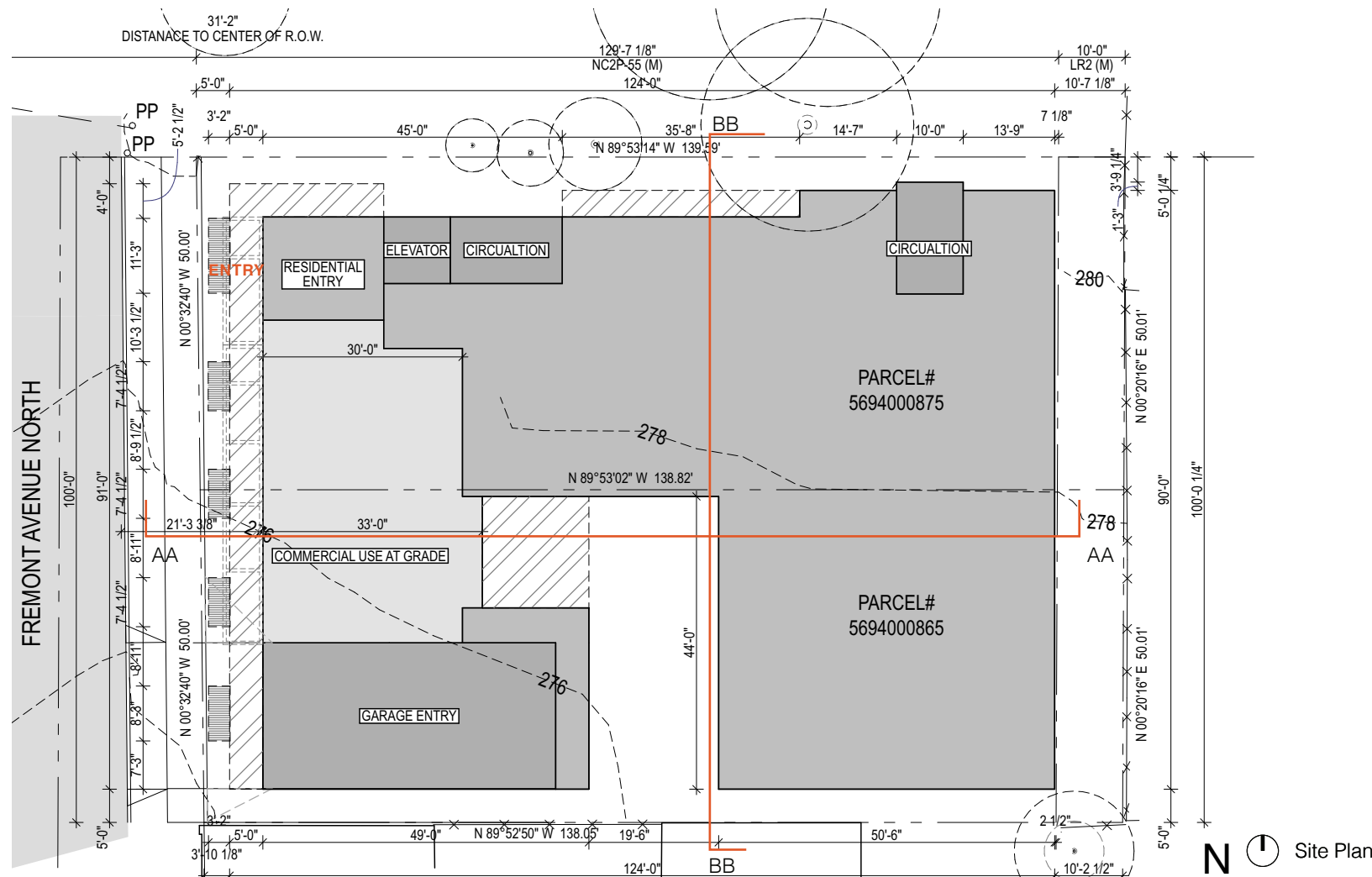
- Commercial space entirely fronts Fremont Avenue N and is located between the residential lobby, at the north of the site, and the driveway entrance at the south of the site..
- Commercial space connects outward to the streetscape along Fremont Avenue N as well as the ground floor central courtyard.
- Central courtyard is open to the south, allowing relief along the south property line as well as access to light and air.
- Privacy is maintained for adjacent sites, with most units oriented east-west, toward the street, courtyard or 10-foot rear setback.
- Increased street-level street-facing facade setback to provide space for commercial "spill out" area.

Issues

- Departures requested for non-residential use and residential uses along Pedestrian designated frontage on Fremont Avenue N.

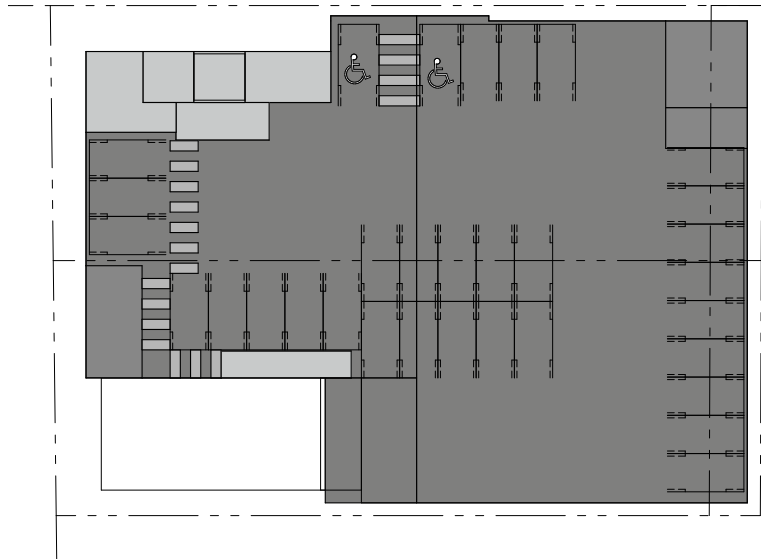


1 Aerial View from Southwest

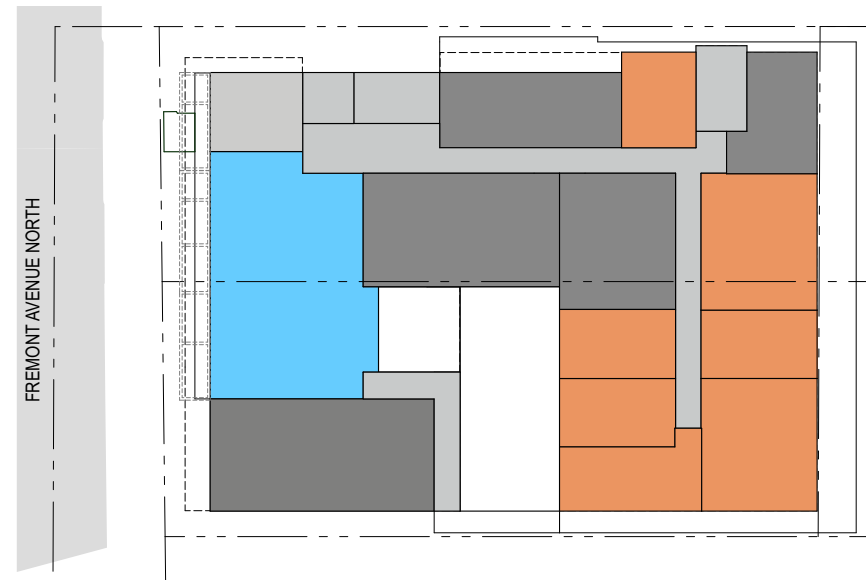


2 View looking Southeast from Fremont Avenue North

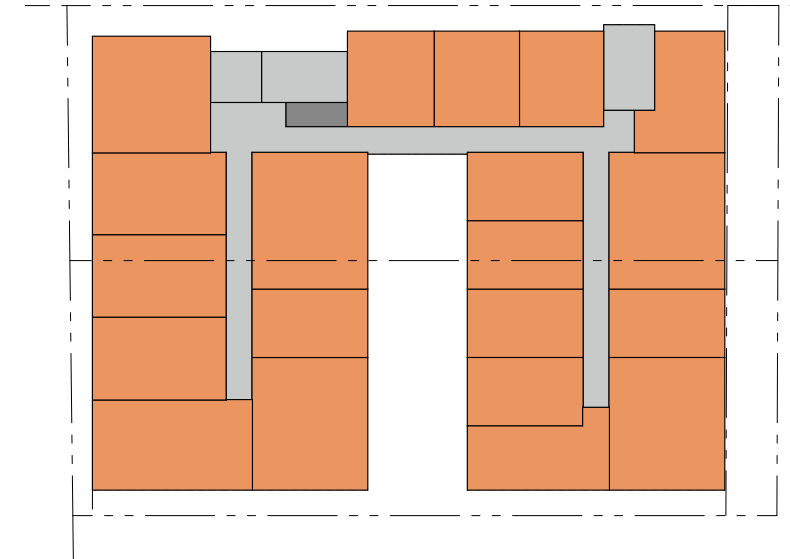
--- Zoning Height Limit



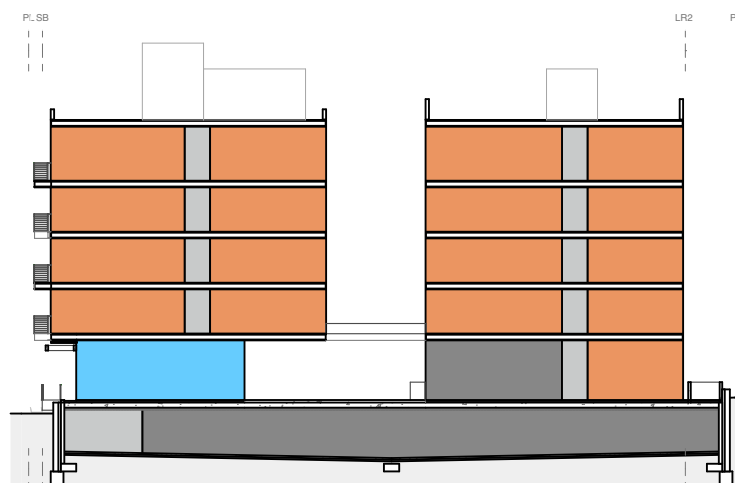
Basement Floor Plan



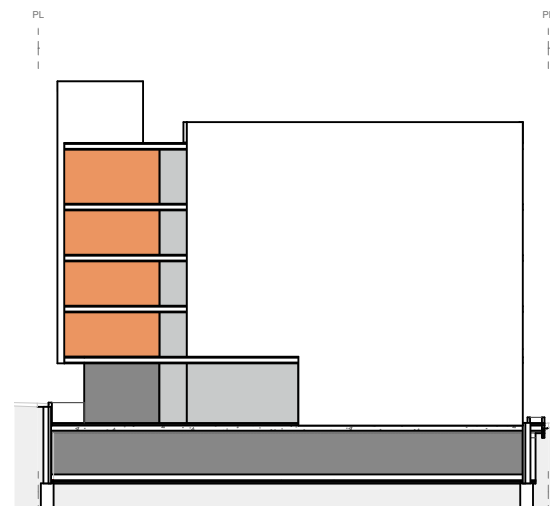
First Floor Plan



Second through Sixth Floor Plans



AA. Longitudinal section looking N



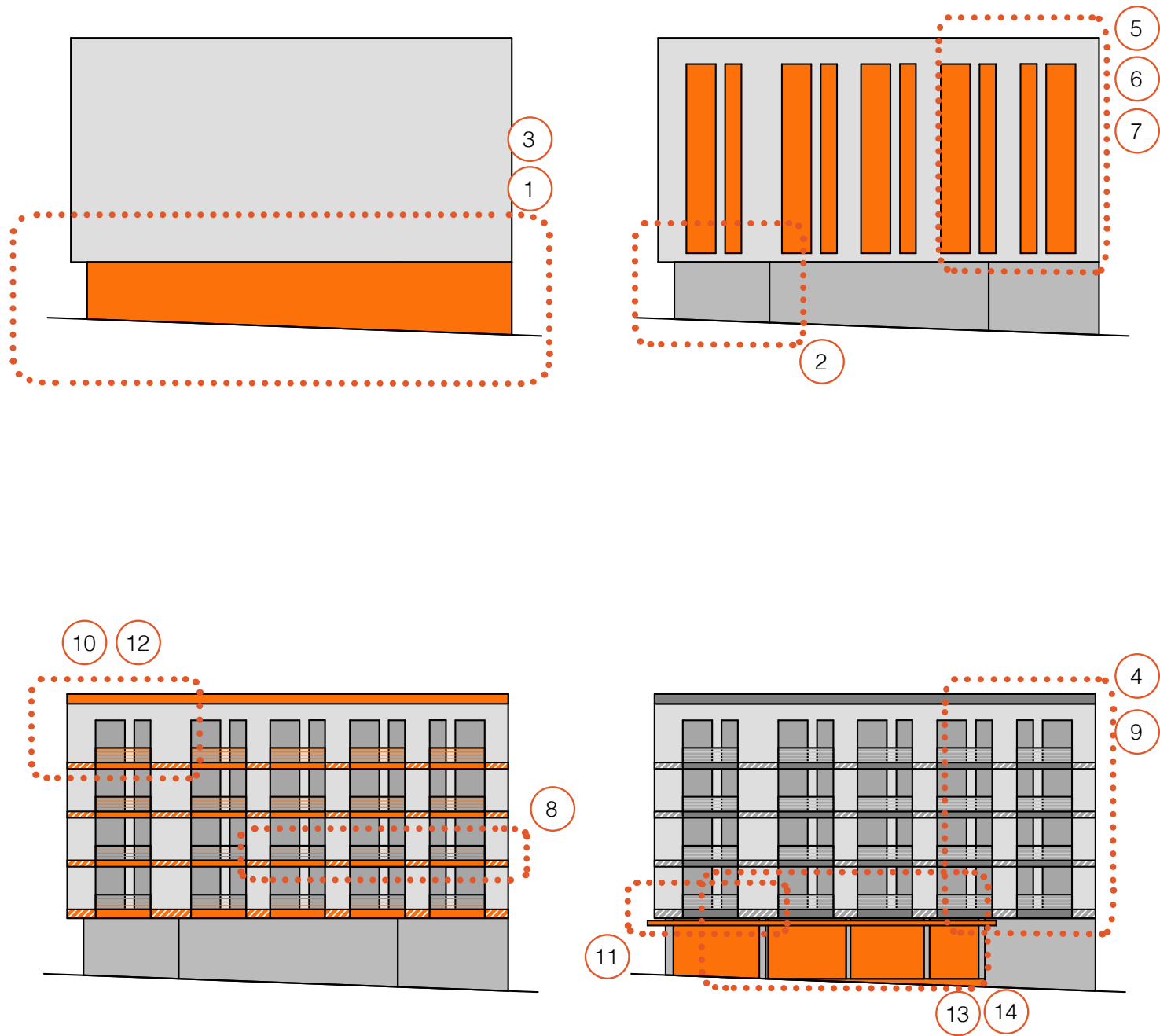
BB. Transverse Section looking E



3 View looking Northeast from Fremont Avenue North

--- Zoning Height Limit

SCHEMATIC DESIGN STRATEGY



ENGAGEMENT AT STREET-FACING GROUND LEVEL

- 1 PROGRAM LEGIBILITY
- 2 ENTRY ARTICULATION
- 3 GROUND LEVEL COMMERCIAL SPACE

SCALE AND TEXTURE

- 4 HIGH-QUALITY MATERIALS AT PUBLIC FACADES
- 5 FACADE PATTERN
- 6 RHYTHM OF ELEMENTS
- 7 FACADE ARTICULATION
- 8 NEIGHBORHOOD CHARACTER AND HUMAN SCALE
- 9 VERNACULAR INSPIRATION

SECONDARY ARCHITECTURAL FEATURES

- 10 PRIVATE UNIT DECKS
- 11 CANOPIES AT ENTRY CONDITIONS
- 12 VISUAL MOVEMENT

GATHERING SPACES

- 13 COVERED PATIO AS EXTENSION OF COMMERCIAL SPACE
- 14 STREET LEVEL TRANSPARENCY

PROJECT PRECEDENT



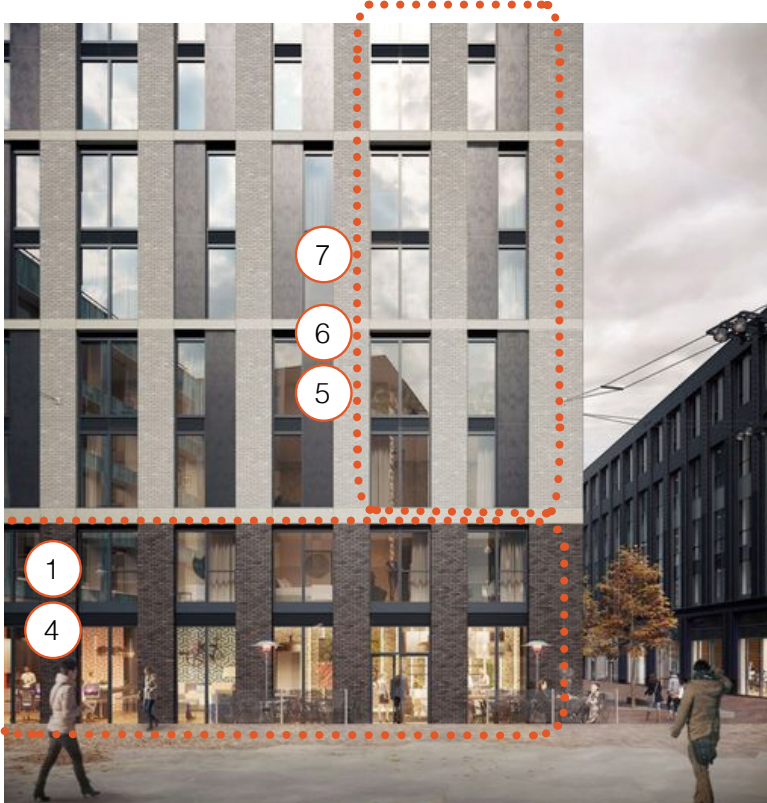
Mixed Use Apartment
4301 Fremont Ave N



Storage Building
4312 Fremont Ave N



Union Stables
2414 Western Avenue



Apartment
Stoke on Trent, England

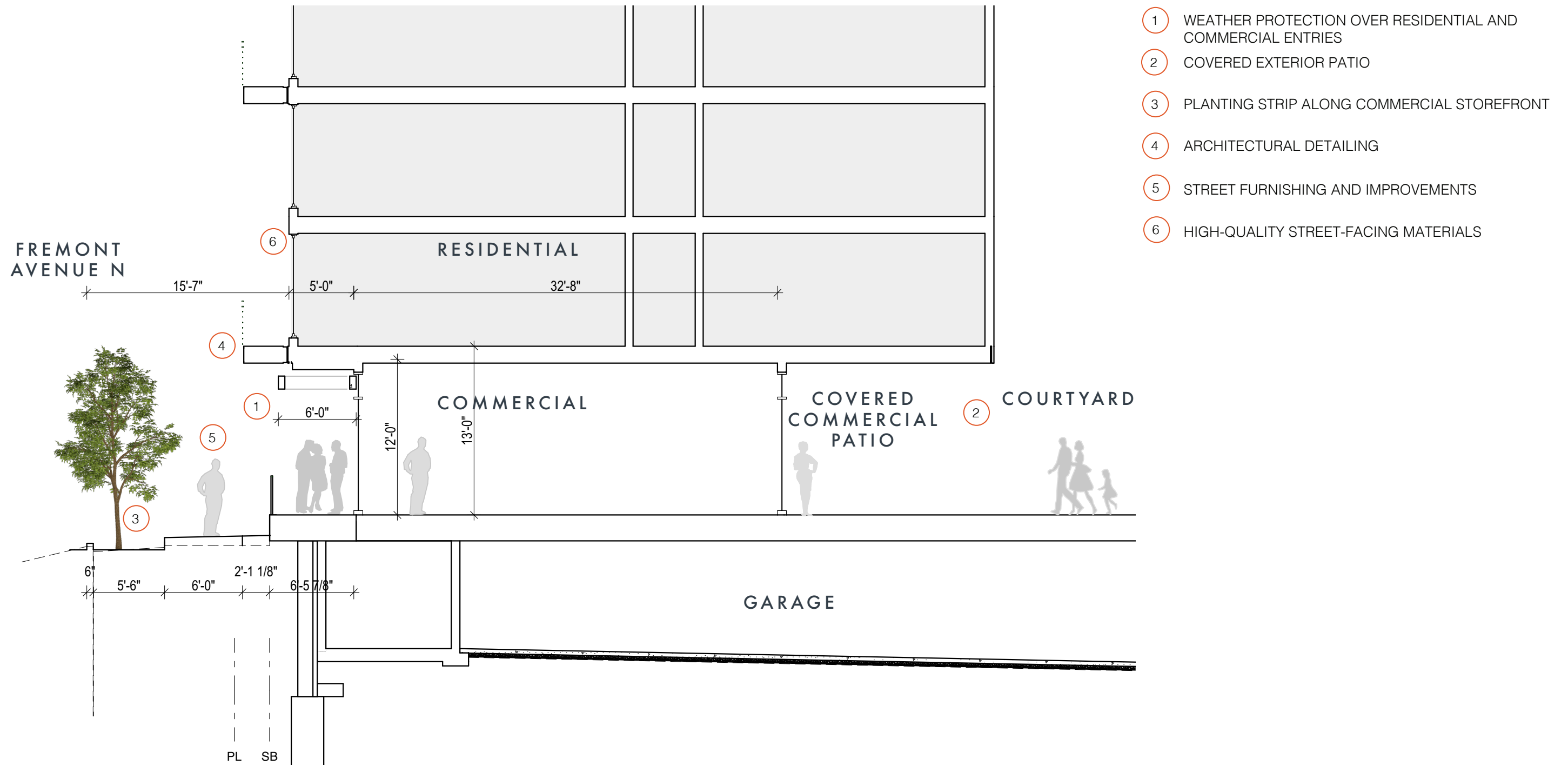


Mixed Use Apartment
1601 N 45th Street



Pioneer Square Hotel, Best Western
77 Yesler Way

SCHEMATIC DESIGN STRATEGY



Section AA through the Streetscape and Commercial-Courtyard

STREETSCAPE PRECEDENTS



4312 Fremont Ave N



Mixed Use Apartment Building
4301 Fremont Ave N



Mixed Use Apartment Building
4301 Fremont Ave N



Restaurant
4302 Fremont Ave N



Mixed Use Apartment Building
4201 Fremont Ave N



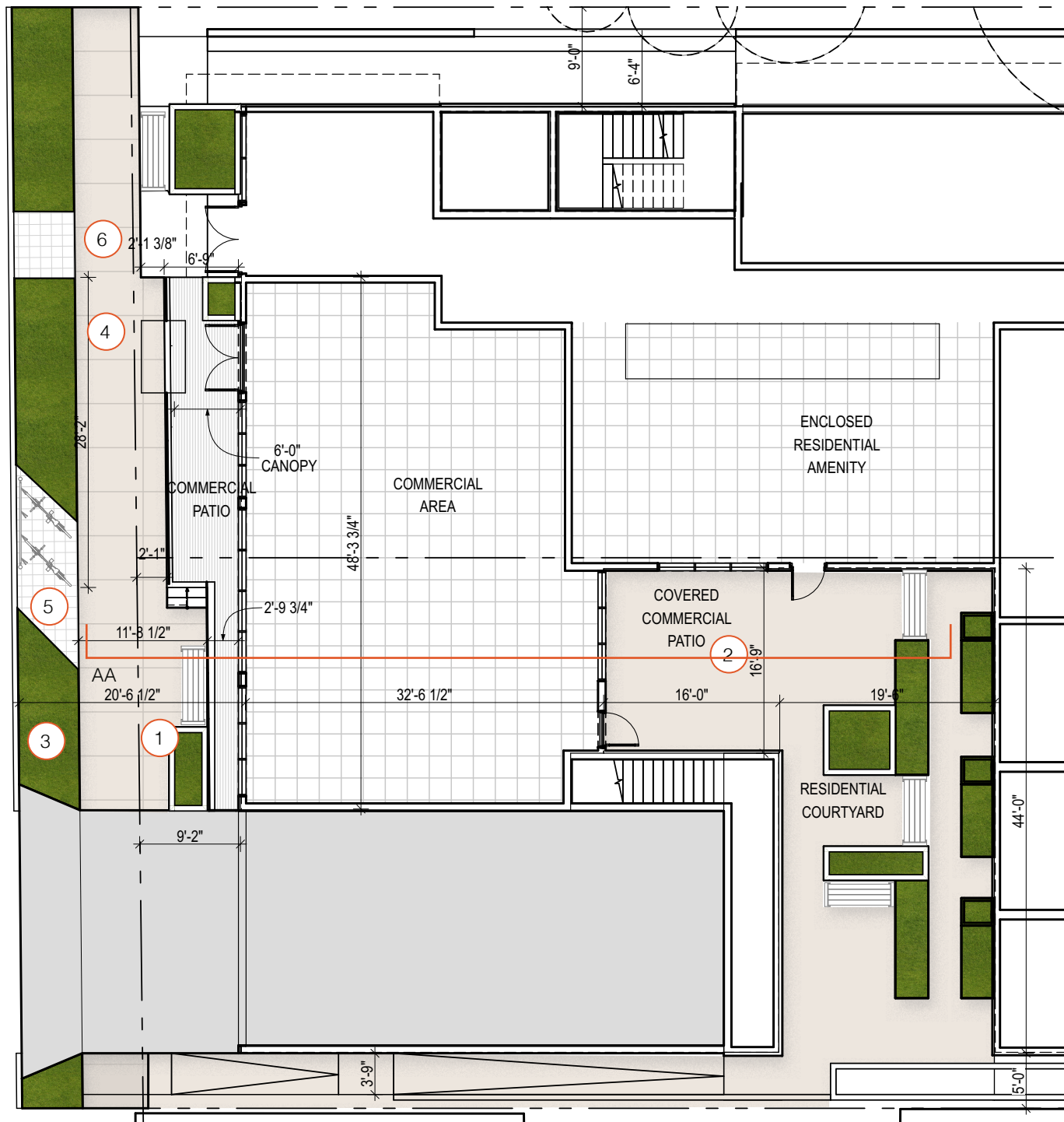
Mixed Use Apartment Building
4250 Fremont Ave N

SCHEMATIC DESIGN STRATEGY



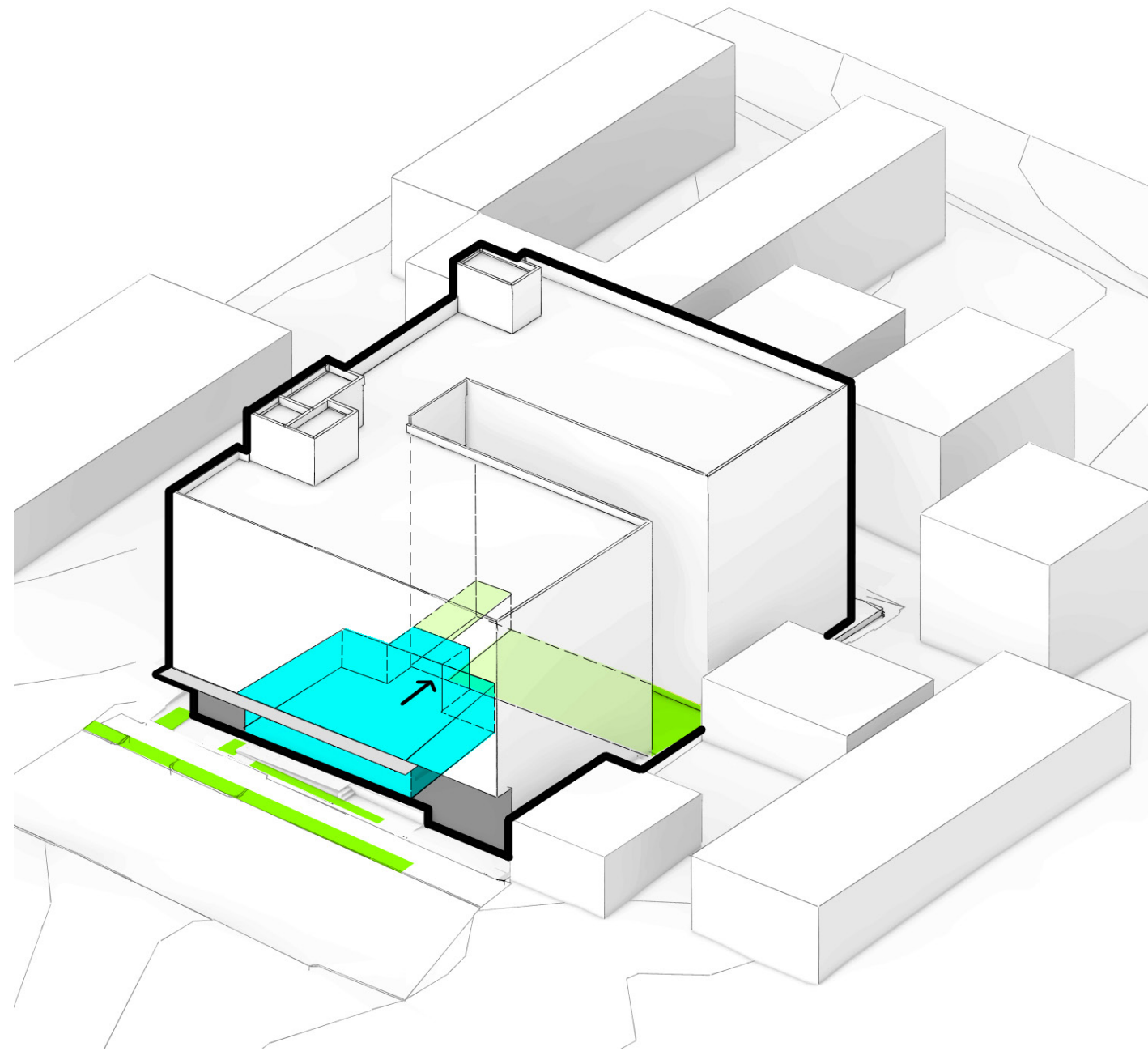
Perspective Section AA through the Streetscape and Commercial-Courtyard

SCHEMATIC DESIGN STRATEGY



Streetscape and Commercial-Courtyard Plan

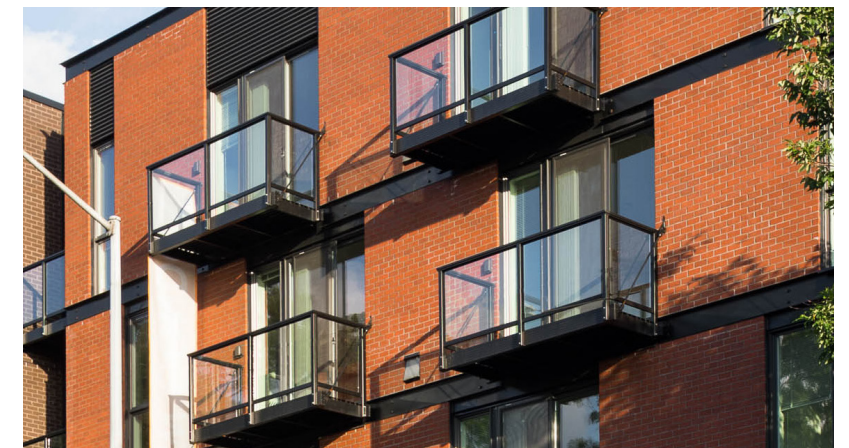
SCHEMATIC DESIGN STRATEGY - MATERIALS



Note:

Material specifications indicate aesthetic and performance characteristics of the proposed design and are not intended to be proprietary specifications and do not preclude alternate products with equivalent aesthetic and performance standards.

1/ MASONRY



Masonry

Masonry is a durable long lasting, finish that provides a connection to the surrounding context along the street facing facades.

SCHEMATIC DESIGN STRATEGY

2/ STOREFRONT



Storefront

Storefront windows provide a high quality glazing that connects the interior program to the streetscape

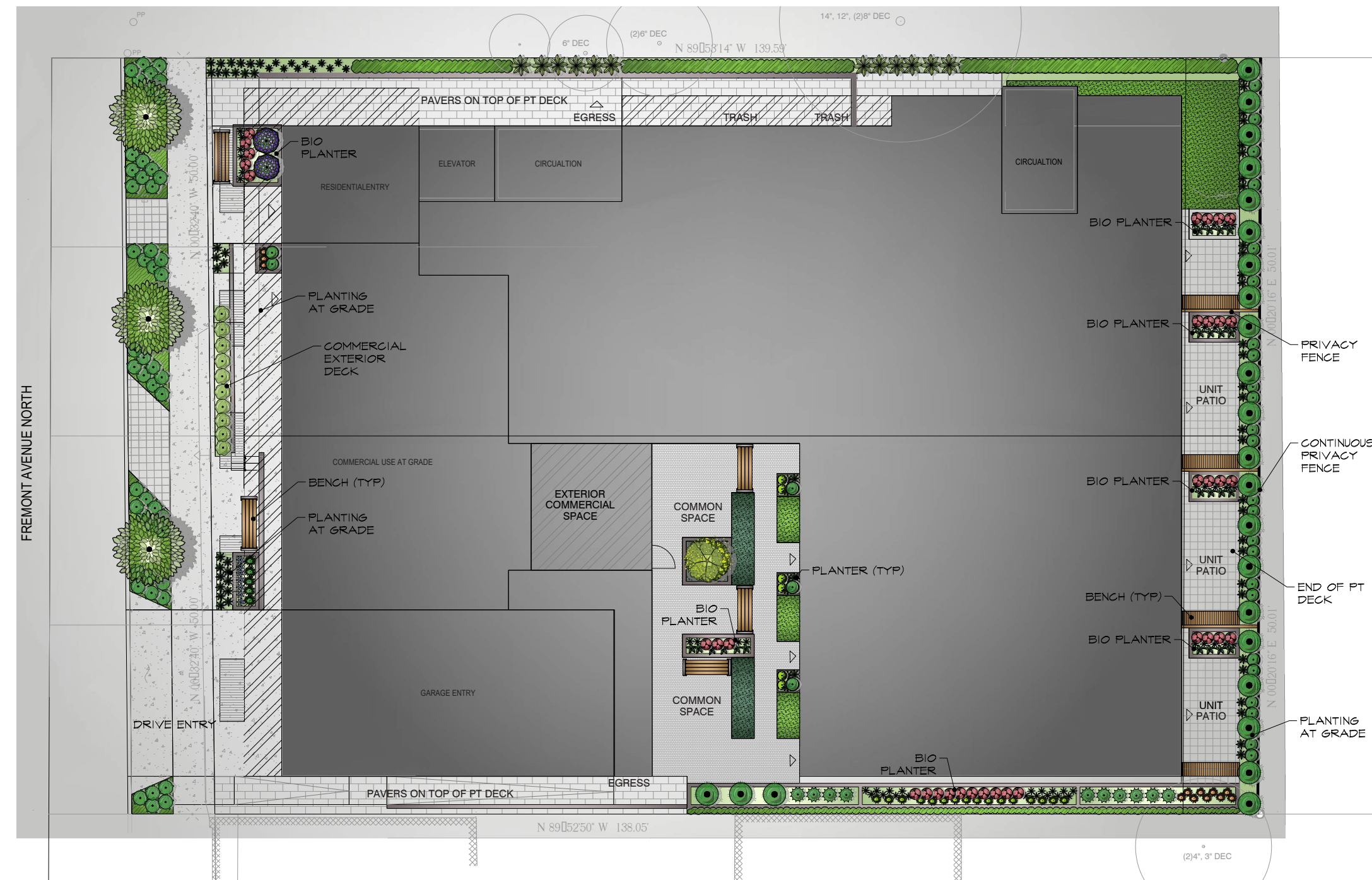
3/ PAINTED CEMENT BOARD



Painted Cement Board

Painted Cement Board is a durable, painted surface that provides an alternative to the higher quality materials and will be used away from the street-facing facades.

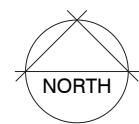
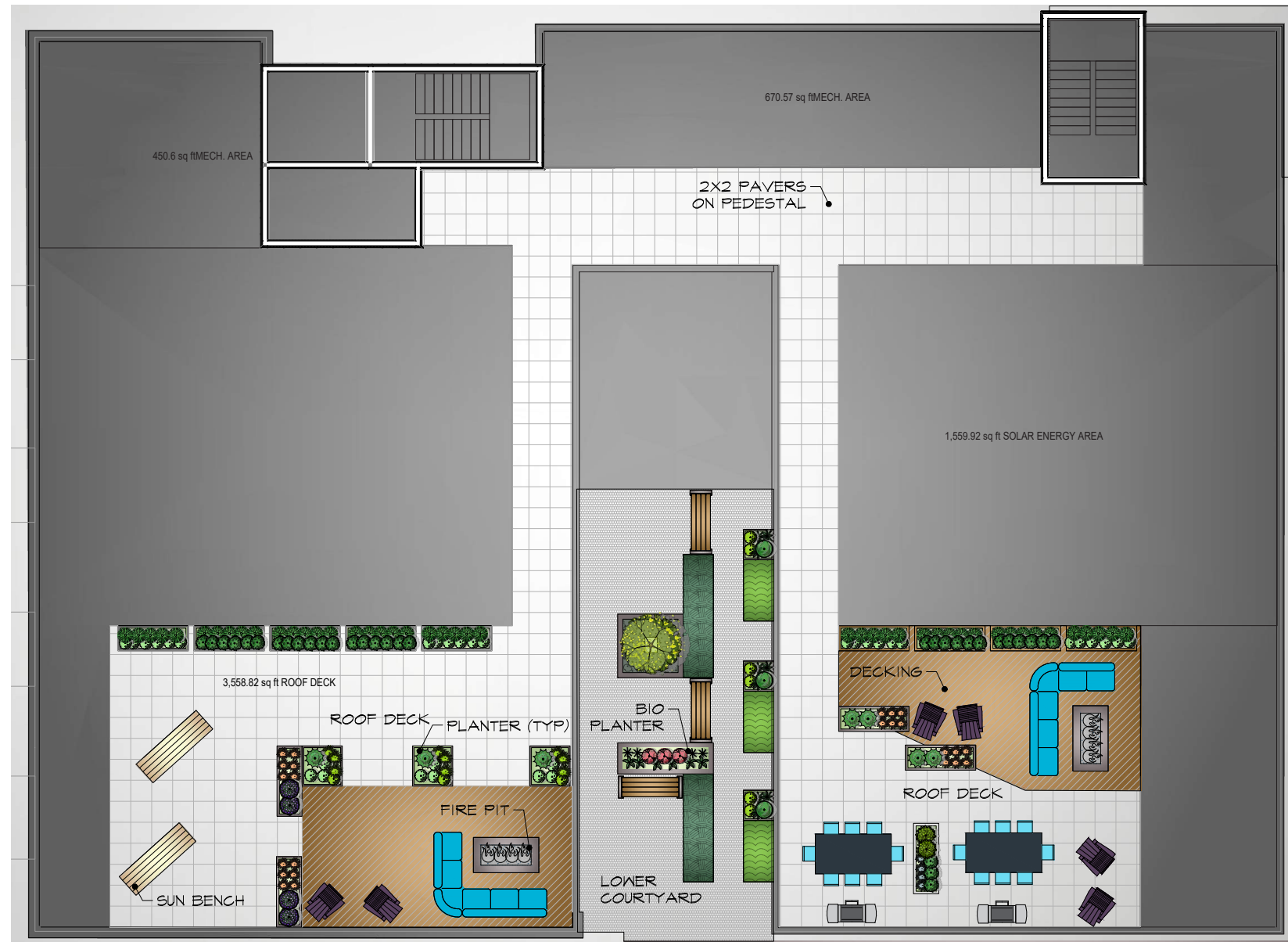
ALTERNATIVE 3 CONCEPTUAL LANDSCAPE PLAN



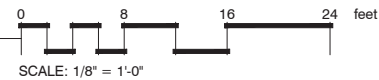
PLANT SCHEDULE	
TREES	BOTANICAL / COMMON NAME
	<i>Acer japonicum</i> 'Autumn Moon' / Autumn Moon Maple
	<i>Cladrastis kentuckea</i> / American Yellowwood
SHRUBS	BOTANICAL / COMMON NAME
	<i>Blechnum spicant</i> / Deer Fern
	<i>Carex morrowii</i> 'Ice Dance' / Ice Dance Japanese Sedge
	<i>Carex testacea</i> / Orange Sedge
	<i>Ceanothus thyrsiflorus</i> 'Diamond Heights' / Diamond Heights Ceanothus
	<i>Ilex crenata</i> 'Sky Pencil' / Sky Pencil Japanese Holly
	<i>Liriope muscari</i> 'Big Blue' / Big Blue Lilyturf
	<i>Lonicera pileata</i> 'Moss Green' / Moss Green Honeysuckle
	<i>Mahonia eurybracteata</i> 'Soft Caress' / Mahonia Soft Caress
	<i>Nandina domestica</i> 'Gulf Stream' TM / Heavenly Bamboo
	<i>Ophiopogon planiscapus</i> 'Nigrescens' / Black Mondo Grass
	<i>Prunus laurocerasus</i> 'Mount Vernon' / Mount Vernon Laurel
	<i>Thuja occidentalis</i> 'Smaragd' / Emerald Green Arborvitae
BIORETENTION	BOTANICAL / COMMON NAME
	<i>Acorus gramineus</i> 'Ogon' / Golden Variegated Sweetflag
	<i>Cornus sericea</i> 'Kelsey' / Kelsey Dogwood
	<i>Juncus patens</i> 'Elk Blue' / Spreading Rush
	<i>Polygonatum odoratum</i> / Solomon's Seal
	<i>Sambucus nigra</i> 'Black Lace' / Black Lace Elderberry
GROUND COVERS	BOTANICAL / COMMON NAME
	<i>Ophiopogon japonicus</i> 'Nanus' / Dwarf Mondo Grass
	<i>Pachysandra terminalis</i> 'Silver Edge' / Japanese Spurge
	<i>Rubus calycinosus</i> 'Emerald Carpet' / Creeping Raspberry
	<i>Vinca minor</i> 'Bowles Blue' / Dwarf Periwinkle
SITE	BOTANICAL / COMMON NAME
	Black Mexican Beech Pebbles 1"-3"



ALTERNATIVE 3 CONCEPTUAL LANDSCAPE

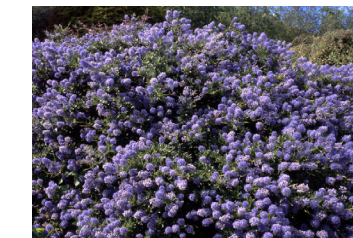


RENDERED LANDSCAPE
ROOF PLAN



PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME
	<i>Acorus gramineus</i> 'Ogon' / Golden Variegated Sweetflag
	<i>Berberis thunbergii</i> 'Golden Rocket' / Golden Pillar Barberry
	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Feather Reed Grass
	<i>Calluna vulgaris</i> 'Firefly' / Heather
	<i>Carex testacea</i> / Orange Sedge
	<i>Ceanothus thyrsiflorus</i> 'Diamond Heights' / Diamond Heights Ceanothus
	<i>Helictotrichon sempervirens</i> / Blue Oat Grass
	<i>Lavandula angustifolia</i> 'Hidcote Blue' / Hidcote Blue Lavender
	<i>Nandina domestica</i> 'Gulf Stream' TM / Heavenly Bamboo
	<i>Rosmarinus officinalis</i> 'Prostratus' / Creeping Rosemary



SHADOW STUDIES

DECEMBER COMPARISON

ALTERNATIVE 1

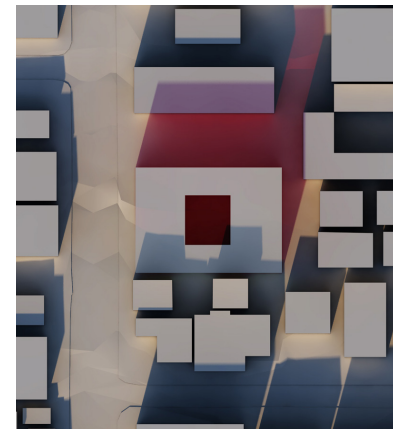
ALTERNATIVE 2

ALTERNATIVE 3

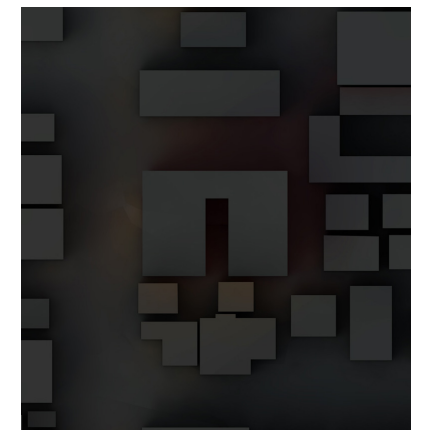
10 am



1 pm



4 pm



MARCH COMPARISON

ALTERNATIVE 1

ALTERNATIVE 2

ALTERNATIVE 3

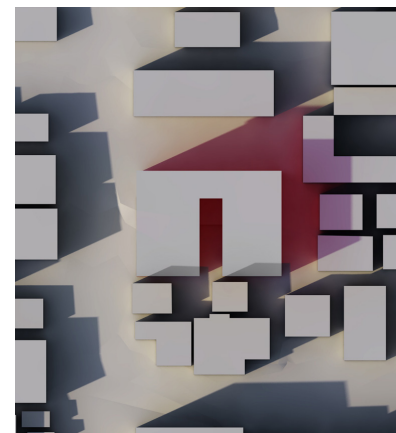
10 am



1 pm



4 pm



JUNE COMPARISON

ALTERNATIVE 1

ALTERNATIVE 2

ALTERNATIVE 3

10 am



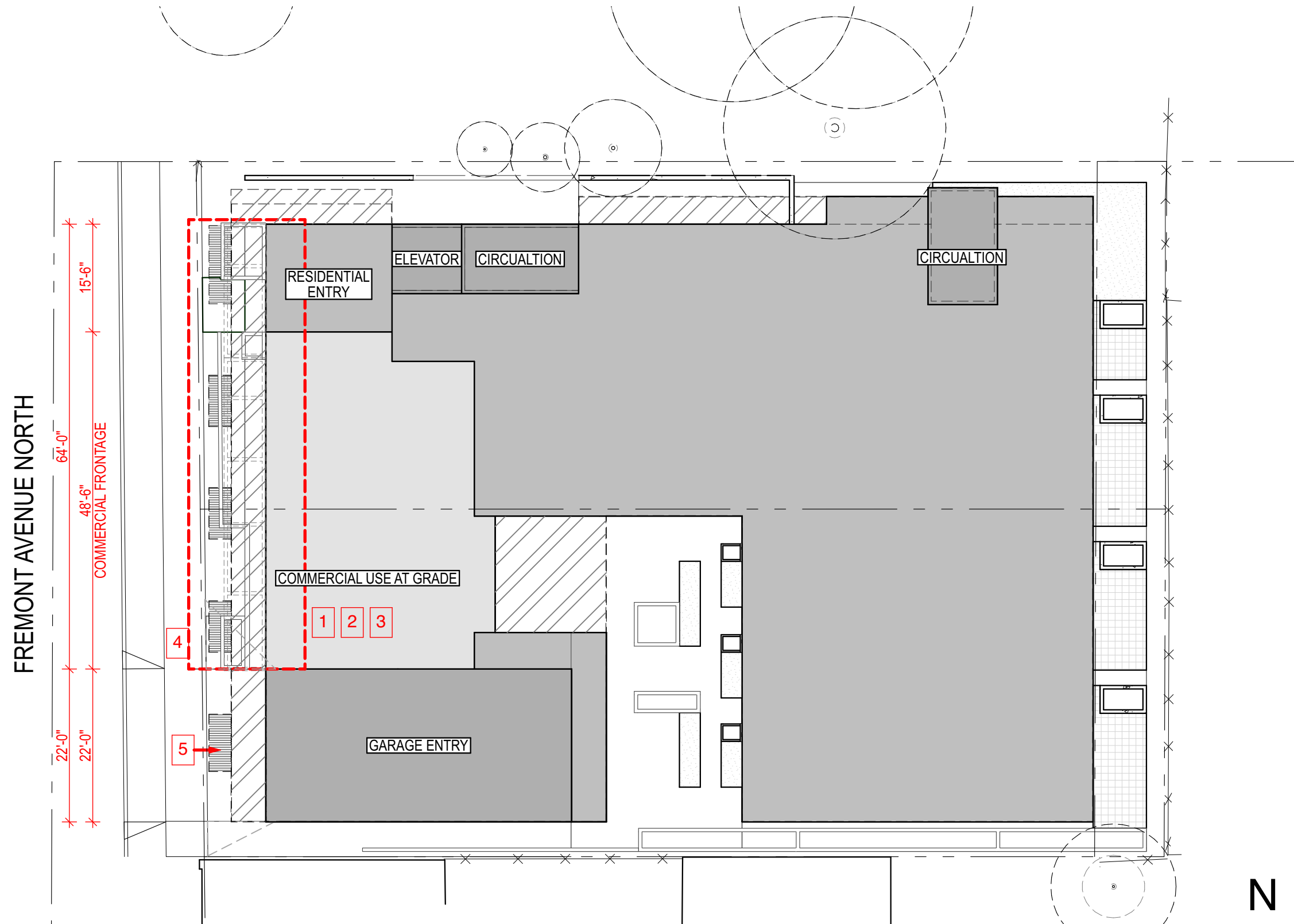
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DEPARTURE MATRIX



DEPARTURE MATRIX

ITEM	CODE SECTION	REQUIRED	PROVIDED	AMOUNT OF DEPARTURE	JUSTIFICATION	SUPPORTED DESIGN GUIDANCE
1	RESIDENTIAL USES AT STREET LEVEL SMC 23.47.A.005.C.1	In all NC and C zones, residential uses may occupy, in the aggregate, no more than 20 percent of the street-level street-facing facade	RESIDENTIAL STREET LEVEL USE 15'-6" OF 64'-0", 24.2 %	4.2%, 2'-9" Over	The design proposal features a singular and prominent commercial space that engages its street frontage with its entry and commercial "spill out space" along Fremont Avenue N. <ul style="list-style-type: none"> In response, the residential entry and below grade parking access are shifted away from the commercial space, allowing it a prominent central location along the street facing facade. 	CS2-C-2: URBAN PATTERN AND FORM - Relationship To Block - Mid Block Sites PL1-B-3: CONNECTIVITY - Walkways Ad Connections - Pedestrian Amenities PL2-A-2: WALKABILITY - Access For All/Access Challenges PL3-A-1: STREET LEVEL INTERACTION - Entries PL3-C-1: STREET LEVEL INTERACTION - Retail Edges DC1-A-2: PROJCT USES AND ACTIVITIES - Arrangement Of Interior Uses - Gathering Spaces DC2-B-1: ARCHITECTURAL CONCEPT - Architectural And Facade Composition - Façade Composition DC2-E-1: ARCHITECTURAL CONCEPT - Form and Function - Legibility And Flexibility DC3-C-2 : OPEN SPACE CONCEPT - Design - Amenities And Features
2	STREET-LEVEL USES IN PEDESTRIAN DESIGNATED ZONES SMC 23.47A.005.D.1	Non-residential allowable uses at street-level street-facing facade are required along 80 percent of the street façade	NON-RESIDENTIAL STREET LEVEL USE: 48'-6" OF 64'-00", 75.8 %	4.5%, 2'-9" Under	<ul style="list-style-type: none"> These project priorities, combined with the site dimensions, resulting in a ratio of commercial to residential frontage that is not code compliant. The proposed commercial space is well-scaled to adjacent commercial spaces along Fremont Avenue N, supporting the existing neighborhood character and historic predominance of smaller commercial spaces. 	
3	STREET-LEVEL STREET-FACING FAÇADE STANDARDS SMC 23.47A.008.C.1	Non-residential allowable uses at street-level street-facing facade are required along 80 percent of the street façade the remaining 20 percent of the street frontage may contain other permitted uses and/or pedestrian entrances.	NON-RESIDENTIAL STREET LEVEL USE: 48'-6" OF 64'-00", 75.8 % RESIDENTIAL STREET LEVEL USE: 15'-6" OF 64'-00", 24.2 %	4.5%, 2'-9" Under/Over	<ul style="list-style-type: none"> The garage entry is recessed to further emphasize and prioritize the commercial space. The residential entry is limited in width along Fremont Avenue N, while providing a visually prominent pedestrian entry, per smc 23.47a.008.d.1. Well-composed facade designs along with an efficient and appropriate interior commercial space results in a vibrant and clear ground floor that successfully engages the public through a "spill-out space". 	
4	COVERED WALKING AREA ADJACENT TO SIDEWALK GRADE SMC 23.47A.008.C.4.c	When overhead weather protection is provided adjacent to the sidewalk, the covered walking area must be at the same grade or within 18 inches of the sidewalk grade.	Walking Surface is 24" above sidewalk grade at the southern edge.	An increased of 6 additional inches between sidewalk grade and the walking surface	Adjacent commercial spaces along Fremont Avenue N feature small scale commercial spaces with overhead weather protection above exterior space. <ul style="list-style-type: none"> In response, the proposed design features continuous overhead weather protection above exterior commercial "spill out" space commercial space. The proposed "spill-out" space area is maximized by extending it the entire width of the commercial space. features operable windows that connect the interior space to the exterior space Providing a continuous overhead weather protection, beyond the required 60% of façade along sloping Fremont Avenue N, results in covered area elevations that area not code compliant. An ensemble of canopies, benches, landscape, steps and railings create an integrated 	CS2-C-2: URBAN PATTERN AND FORM - Relationship To Block - Mid Block Sites PL1-B-3: CONNECTIVITY - Walkways Ad Connections - Pedestrian Amenities PL2-A-2: WALKABILITY - Access For All/Access Challenges PL3-A-1: STREET LEVEL INTERACTION - Entries PL3-C-1: STREET LEVEL INTERACTION - Retail Edges DC1-A-2: PROJCT USES AND ACTIVITIES - Arrangement Of Interior Uses - Gathering Spaces DC3-C-2 : OPEN SPACE CONCEPT - Design - Amenities And Features
5	RATIO OF PARKING STALL SIZES SMC 23.54.030.B.1.b	A minimum of 60 percent of the parking spaces shall be striped for medium vehicles	30 parking stalls to be striped as small stalls	11 additional parking stalls striped as small parking stalls	The design proposal features a below grade parking structure which limits the impact of parking and service spaces to adjacent neighbors. <ul style="list-style-type: none"> Access to parking is provided through a curb cut along Fremont Avenue north, as the site does not have access to an alley. A departure for 13 more small stalls is requested to allow service spaces to be located below grade. By providing additional small stalls, service and storage spaces can be located within the garage level, shifts mass bulk and scale away from adjacent neighbors, allowing a larger central courtyard. 	DC1-C-1: PROJECT USES AND ACTIVITIES - Parking And Service Uses - Below Grade Parking DC1-C-4: PROJECT USES AND ACTIVITIES -Parking And Service Uses - Service Uses

DESIGN GUIDELINES

CONTEXT AND SITE

CS1 NATURAL SYSTEMS & SITE FEATURES

CS1.A - Natural Systems and Site Features : Energy Use

- The project is committed to providing a high-performing, energy efficient building.
- Design strategies include an air-tight, highly insulated building envelope, designed to capture and manage daylight.

CS1.B - Natural Systems and Site Features : Sunlight and Natural Ventilation

- The preferred alternative, as noted below, is organized around a central, south-facing courtyard.
- The majority of units face either east or west, with access to morning and afternoon light. Where possible, units will open to the south.
- Setbacks at each property line are provided, allowing increased access to light and air for units and adjacent sites.

CS2 URBAN PATTERN & FORM

CS2.A.1 - Location in the City and Neighborhood

CS2.B - Connection to the Street

CS2.B - Character of Open Space

- This project aims to support and engage existing adjacent commercial spaces along the Fremont Avenue N street-scape. It proposes to replace a vacant commercial building, one-story structure containing private storage units and a Diamond surface parking lot with a vibrant mixed use building.
- As noted in CS2.D, the preferred alternative proposes a central courtyard that will connect to the streetscape through a street-level commercial space.
- The design proposal includes program elements, material strategies and a simple massing expression that contributes to the immediate context.
- Aspects of the design, including a 1,500 square foot commercial space, will further activate Fremont Avenue N's streetscape, which currently consists of a mix of uses, including vibrant small scale commercial businesses, surface parking lots, and vacant buildings.
- The streetscape will be activated through an increased street-level street-facing setback that allows program to "spill out" of the proposed commercial use

CS2 URBAN PATTERN & FORM

CS2.C - Mid-Block Sites

- The proposal is located mid-block, along the east side of Fremont Avenue N.
- The apartment building immediately adjacent to the site to the north provides a large landscape setback.
- The public facade of Preferred Alternative 3 has been utilizes the strategies below to break the overall street facing massing into discrete parts:
 - Recessed ground level, providing a 20'-0" space between the street and the facade for program, streetscape and engagement.
 - Upper residential massing.
 - A 10-foot setback is provided at the rear of the site to provide a buffer to the neighboring residential townhouse structures to the east.

CS2.D - Height, Bulk and Scale

- The three design alternatives provide distinct approaches to the building layout and massing.
- Alternative 1 proposes an "O" shaped or donut massing strategy with an open center surrounded by a double-loaded corridor of apartments. This scheme orients the majority of the residential units towards adjacent neighbors and limits a streetscape to courtyard connection.
- Alternative 2 proposes an Open "O" shaped or courtyard massing strategy with an open entry portal from Fremont Avenue N. It features limited setbacks and a reduced commercial space connection to Fremont Avenue N.
- Alternative 3 (Preferred) proposes a "U" shaped massing strategy with a south-facing courtyard and increased setbacks. This scheme engages with the neighborhood through a strong relationship between the streetscape, program and more thoughtful massing strategy.
- Alternative 3 improves on the monolithic massing and small courtyard portal facing Fremont Avenue N in Alternatives 1 and 2. In addition, Alternative 3 (Preferred) acknowledges the surrounding context while providing a forward-looking solution that can be an example for future projects.
- Alternative 3's massing features a ground floor transparent lobby and commercial space, an upper residential unit massing and a central courtyard.

- An increased 10'-0" street-level setback for Alternative 3 provides "spill-out" opportunities for the commercial space that further activates the street level experience.
- As noted above in CS2.C, the massing of Alternative 3 is divided into two distinct volumes to emphasize the street-scape.
- As noted below in DC2.A.2. and DC2.B.1. the mass is further articulated with pattern and deck projections.

CS3 ARCHITECTURAL CONTEXT AND CHARACTER

CS3.A - Fitting Old and New Together

CS3.A -Evolving Neighborhoods

- Existing small commercial buildings define the current character of Fremont Avenue N.
- Seattle's Mandatory Housing Affordability's upzone allows increased height and bulk.
- Aspects of the design will further activate Fremont Avenue N's streetscape, which currently consists of small scale commercial businesses, surface parking lots, and vacant buildings.
- The design proposal incorporates program elements, material strategies and a simple massing expression that will contribute to its immediate context.

PUBLIC LIFE

PL1 CONNECTIVITY

PL1.A.2 - Adding to Public Life

PL1.B.3 - Pedestrian Amenities

PL1.C.1 - Selecting Activity Areas

The proposed Alternative 3 focuses activity in four interconnected areas:

- internal central courtyard;
- Interior common amenity area;
- ground level commercial space; and
- Increased setback at street-level that allows a "Spill-out" the commercial space along Fremont Avenue N.
- Each of these areas are located to address access to light, views across spaces, or pedestrian routes.
- An increased street-level street-facing setback increases the connection between the sidewalk and the ground level commercial space.
- In addition, the commercial space connects internally to the central courtyard, activating all outdoor areas.
- Covered "spill-out" spaces on each side of the ground level commercial space provide project related program interaction.
- Recessed entries, trees, site furnishing, landscape, visually connect the central courtyard and contribute to pedestrian amenities along Fremont Avenue N.

PL2 WALKABILITY

PL2.A.1 - Access for All

PL2.B - Safety and Security

PL2.C - Weather Protection

- The project provides access for all to all programmatic elements.
- Access to below grade parking is located away from the residential and commercial entries, along the south end of the street frontage, reducing vehicle-pedestrian conflicts.
- A separate bicycle parking access path to bicycle parking at the street-level is located along the south setback.
- The building entry is recessed to provide a generous 10-foot setback at street-level which, combined with a large canopy and strategic lighting, creates a safe and vibrant sidewalk environment.
- The residential lobby and ground level commercial space provide large areas of transparency, increasing eyes on the street and the visual connection into the courtyard.

PL3 STREET-LEVEL INTERACTION

PL3.A.1.b/c Retail Entries/ Common Entries to Multi-Story Residential Buildings

PL3.A.2 Street-Level Interaction : Entries : Ensemble of Entries

PL3.A. Street-Level Interaction : Retail Edges : Visibility

- This project aims to support and engage adjacent spaces along the Fremont Avenue N street-scape by replacing a vacant commercial structure, a structure containing private storage spaces and a surface parking lot with a vibrant mixed use building.
- The mid-block site provides distinct identifiable points of access from the sidewalk grade to each individual programmatic use.
- As noted in PL1, an increased street-level, street-facing setback provides additional space for adequate ground level exterior commercial space access that can engage the public realm.
- Benches, canopies, landscape planters, and the exterior patio for the commercial space, create an ensemble of elements that contribute to public life along Fremont Avenue N. These elements provide and appropriate transition between the sidewalk and interior spaces.
- Ground level transparency, 12'-0" ceiling heights and operable doors opening to the streetscape maximize visibility and interaction between the street and the commercial space.
- As noted above, below-grade parking is located at the south end of the street frontage, allowing pedestrian focused spaces to be the predominant ground level use on the site.

PL3 STREET-LEVEL INTERACTION

PL4.A.2 - Entry locations and relationships

PL4.B.2 - Bike Facilities

PL4.C.3 - Transit Connections

- The garage door that accesses the below-grade parking garage is shifted back from the property line, providing space to reduce vehicle and pedestrian conflicts.
- Bicycle routes connect the site to Greenlake, South Lake Union, Downtown, and the University District.
- Bicycle parking will be provided for all units in an easily accessible location on site.
- Access to bicycle parking is through the courtyard, activating this central space while providing separate street level access.
- The site is well served by several bus lines, including the #44, 5, and E line, facilitating travel to many Seattle neighborhoods, including Downtown, University District, Greenwood, and Northgate.

DESIGN CONCEPT

DC1 PROJECT USES & ACTIVITIES

DC1.A.1 - Visibility

DC1.A.3 - Views and Connections

- As described in other guidelines, the residential entry and commercial space establish a connection to the streetscape along Fremont Avenue N and articulate the arrangement of interior uses.
- The transparent ground level commercial space provides a physical and visual connection to the streetscape, exterior covered commercial areas and shared commercial and residential central courtyard.
- The preferred alternative provides an interior amenity space that directly opens to the courtyard and landscaped seating areas.
- Exterior decks above grade further activate the street and central courtyard.
- Alternative 3 proposes to orient the majority of the units east and west, reducing potential privacy impacts to adjacent neighbors.

DC1.C.1 Below Grade Parking

DC1.C.4 Service Uses

- Parking and service uses are located below grade, minimizing the impact of blank walls and vehicular circulation to adjacent neighbors.
- Access to the below grade parking is located along the south property line, away from the commercial and residential entries.
- The below grade parking garage door is shifted back from the property line, providing space adjacent to the sidewalk in order to reduce vehicle and pedestrian conflicts.
- A narrow exterior walkway adjacent to the residential entry provides access for service uses, including interior trash storage.

DC2 ARCHITECTURAL CONCEPT

DC2.A.2 - Reducing Perceived Mass

- A combination of design strategies result in a preferred Alternative 3 that respects adjacent sites and reduce perceived mass.
- The preferred Alternative 3 proposes to break the overall street-facing massing into two discrete parts; a recessed ground level, and overhead residential unit mass.
- The proposed central courtyard, rear setback and setbacks to adjacent neighbors help to reduce the perceived mass.
- An increased 10'-0" street-level setback provides "spill-out" commercial space that reduces massing at street level.
- Building massing will be further articulated with pattern in materials and fenestration as well as deck projections.
- To provide an engaging street level commercial space, a strong street presence is provided in Alternative 3. Alternative 1 and 2's massing and ground level program provide a limited street presence.

DC2.B.1 - Facade Composition

- The design proposes a well-proportioned composition that responds to the mid-block condition on Fremont Avenue N.
- All facades will be considered equally.
- A system of design elements will be used to highlight volumes while maintaining a consistent language throughout the project
 - Recessed Residential and Commercial Entries
 - Massing and Modulation Expression
 - Facade Patterning
 - Exterior Deck Projections
 - Exterior and Interior Program Expression
 - Overhead Weather Protection
 - Architectural Detailing
- High quality materials provide another layer of interest to the composition and commitment to the neighborhood

DC2.C.3 - Fit with Neighboring Buildings

DC2.D - Scale and Texture

- Established commercial buildings define the current character of the neighborhood through their relationship to exterior spaces, the use of high quality materials and small scale architectural detailing.
- The design proposal has represented precedents in this packet that suggest strategies for introducing elements of human scale. These strategies include:
 - High quality materials
 - Material transition and articulation
 - Balcony projections or Juliet balconies
 - Material variation and layout.

DC3 OPEN SPACE CONCEPT

DC3.A.1 - Interior/Exterior Fit

DC3.B.4 - Multi-family Open Space

- The design alternatives present different strategies for incorporating open space and daylight into the development.
- The alternatives are presented as a progression of approaches, with a central courtyard in Alternative 1 and a linear courtyard oriented east-west in Alternative 2.

- Alternative 3 orients the courtyard north-south which results in a larger courtyard space, smaller building volumes along the south property line, a connection to the commercial space at street-level, and access to light and air for all units and adjacent sites.
- Alternative 3 reduces the massing along the south property line and creates a stronger relationship between the streetscape, program and courtyard.
- The courtyard functions as an internal pedestrian street with circulation provided for the residential lobby, bicycle parking, interior amenity space and commercial space.
- An increased front setback is provided, allowing exterior commercial open space along Fremont Avenue N.
- Alternative 3 provides an interior amenity space that directly opens to the courtyard, landscaped seating area, and visually connects to the adjacent commercial space.
- The courtyard will incorporate seating and landscape strategies that will further activate the streetscape and internal space.
- This strategy results in exterior space that can be activated by multiple uses, including the commercial space facing the courtyard and the street.

DC4 MATERIALS

DC4.A.1 - Exterior Finish Materials

- The proposal will include durable quality materials throughout the project, with specific attention paid to materials along Fremont Avenue N and the southwest corner. This approach is consistent with the character of existing commercial buildings in the neighborhood.
- Materials and finishes will create an attractive and inviting street edge and courtyard.
- Pattern and rhythm within all building facades will be highlighted, responding to setbacks at all sides.
- Materials, fenestration and texture will be used to reduce the overall scale of the building and identify individual units.

DC4.D.1 - Trees, Landscape and Hardscape Materials

- Trees, landscape and hardscape materials will enliven the streetscape and exterior commercial space in front of the project and within the planting strip.
- A lush selection of plants and furniture, combined with pavers of various scales and texture will be featured.
- These strategies will be included at the central courtyard and at the roof deck.

COMPLETED WORK b9 ARCHITECTS



121-123 12th Avenue E Apartments



748 11th Avenue E Apartments



1601 N 45th Street Apartments



1427 NW 65th Street Apartments



6501 Roosevelt Way NE, Design Proposal