

# UDPA Building A + Open Space

# **BUILDING A:**

4530 12th Ave NE, Seattle WA 98105 SDCI# 3034749-LU

# **NEIGHBORHOOD OPEN SPACE**

4519 Brooklyn Ave NE, Seattle WA 98105 SDCI# 3036013-LU

# **NORTHEAST DESIGN REVIEW BOARD:**

Design Review Recommendation Administrative Design Review September 2, 2020











# **DESIGN PROPOSAL**

# Project Information

#### **BUILDING A** ADDRESS: 4530 12th Ave NE, Seattle WA PARCEL: 6746700015 3034749-LU SDCI PROJECT #: **NEIGHBORHOOD OPEN SPACE** 4519 Brooklyn Ave NE, Seattle WA ADDRESS: PARCEL: 8817400030 SDCI PROJECT #: 3036013-LU **OWNER Touchstone** 1425 Fourth Avenue Suite 200 Seattle, WA 98101 206-381-3344 **Portman Holdings** 303 Peachtree Center Avenue Suite 575

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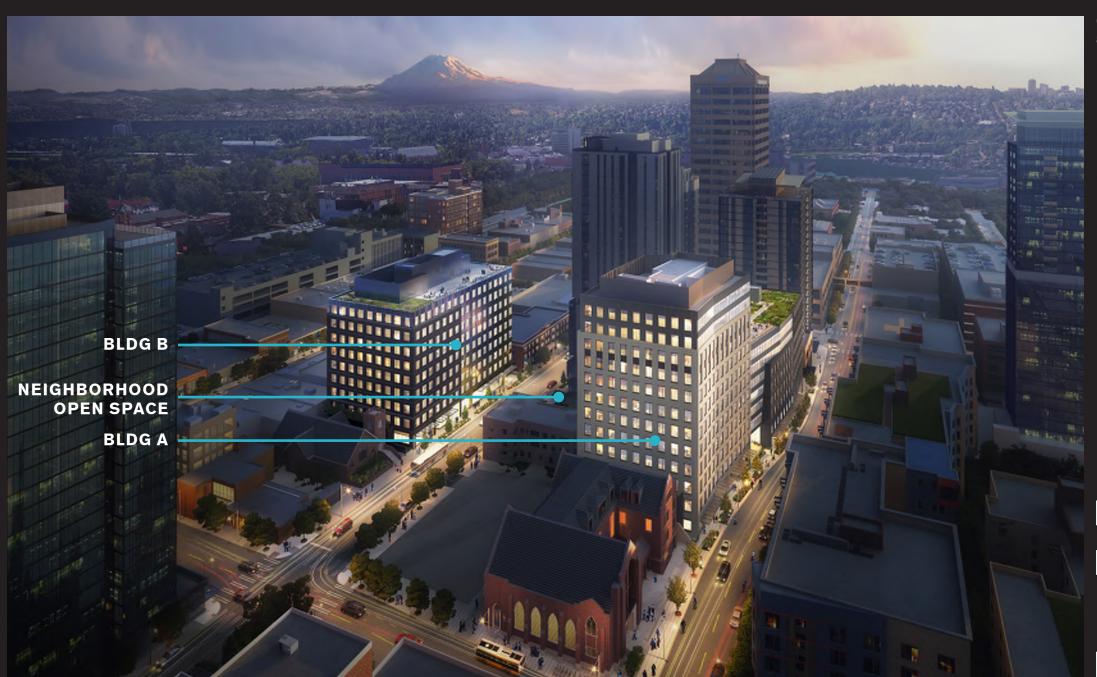
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#### **APPENDIX**



Create a refined workspace by cultivating community and stimulating innovation:

the urban fabric of the neighborhood by infilling previously inactive lots currently occupied with surface parking

ample opportunities for pedestrian connections across previously disconnected sites

an adjacent pocket park into a larger public plaza for multiple uses

university research and academics with loca innovative industries

the existing neighborhood character with an underrepresented typology of new creative and commercial office uses

Gold will be achieved

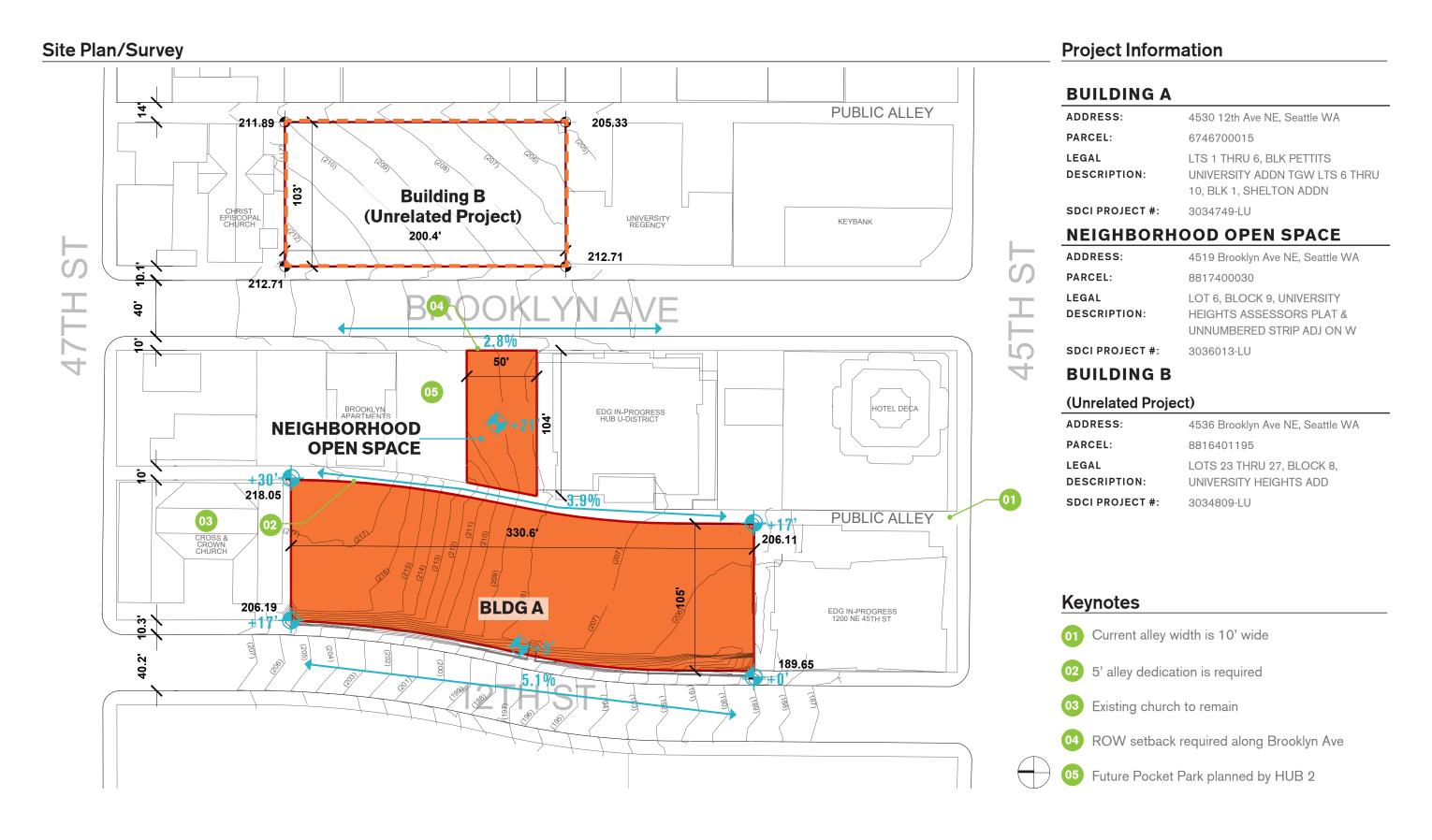
Site Area 34,207 SF
240,000 SF @ 12 Stories Above Grade

Retail 8,000 SF @ Level 1 and Level 2
194 Stalls @ 2 Levels Below Grade

Site Area 4,965 SF

# **EXISTING SITE CONDITIONS**

Building A: Site Plan/Survey & Neighborhood Open Space



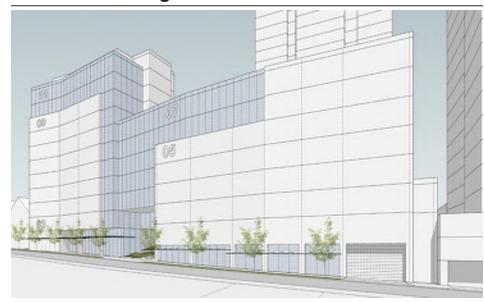
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# **EDG PREFERRED ALTERNATIVE**

# **Aerial View Facing Southeast**



# **Street View Along 12th Ave**



# **Street View Along 12th Ave**



# **Data Summary**

Total GSF (Above Grade)	251,000 SF
Levels	11
Office	240,000 GSF
Retail	11,000 GSF
Below Grade Parking	2 LEVELS @ 180 STALLS
Above Grade Parking	NONE

# **Guiding Principles**







Enhance the streetscape with a variety of spaces

Respect proximity to the adjacent Church

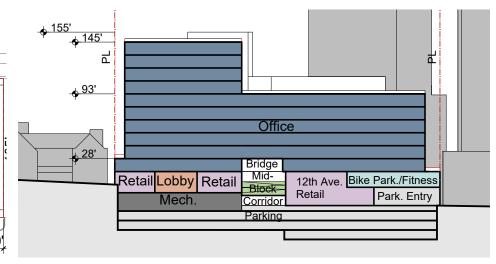
# **Aerial View Facing Southwest**



# **EDG PREFERRED ALTERNATIVE**



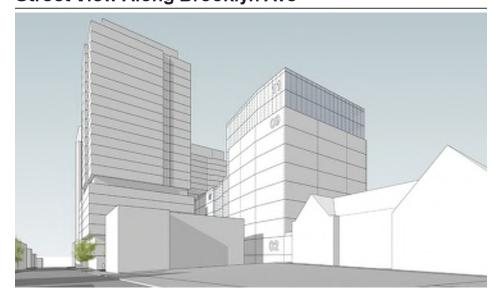
# **Section**



#### **Observations**

- 15% Open Space is located to expand the HUB 2's pocket park
- Parking access occurs off 12th Ave in order to provide safer conditions
- Main Entry is biased to the south side of the tower mass but north of the mid-block connection while also creating varying sizes in retail spaces
- 4 Departures are required for this massing alternative
- **Modulation** is placed to break down the mass of the building and directly relate to the mid-block connection
- Mid-Block Connection is provided to connect 12th and Brooklyn

# **Street View Along Brooklyn Ave**



# **PRESENTATION AGENDA**

# Massing Revisions

Notable Revisions to Preferred Massing Alternative

# Responses to EDG Guidance

Categorical Design Responses to EDG Guidance

# **Exterior Design**

- Floor Plans Elevations Sections
- Exterior Material Palette
- Renderings

# Landscape Design

- Landscape Plans Character Imagery Streetscape Renderings
- Roofscape Plan
- Overall Planting Diagram Plant/Tree Species & Materials
- Street Sections

# Lighting & Signage Plans

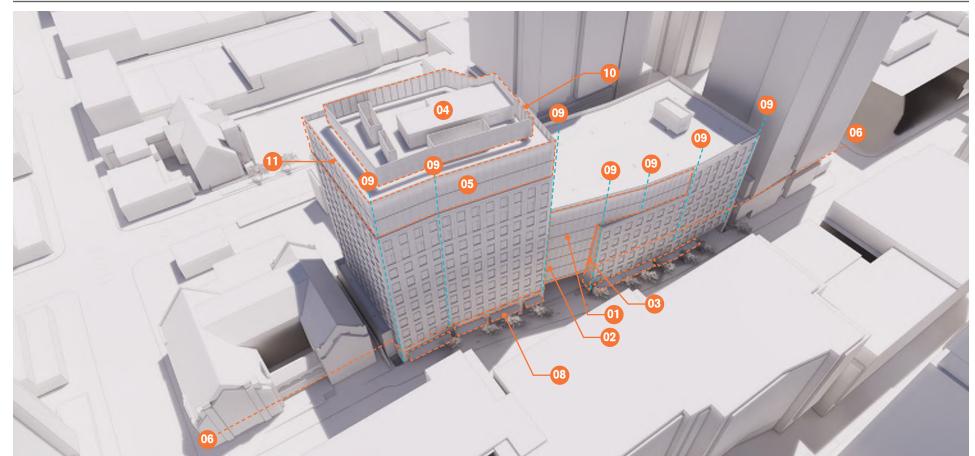
- Overall Lighting Plan
- Signage Plan

# Design Departures

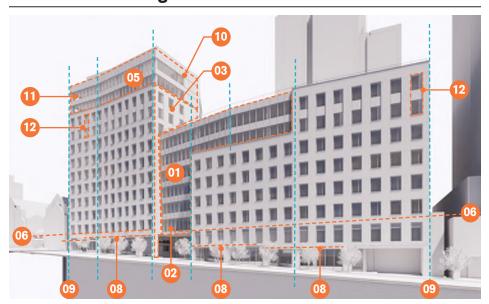
- Maximum Facade Length
- Maximum Floor Area
- Tower Separation
- Required Open Space
- Side Lot Line Setbacks
- Overhead Weather Protection
- Garage Access Location
- Loading Berth Size

Massing Revisions to Preferred Alternative

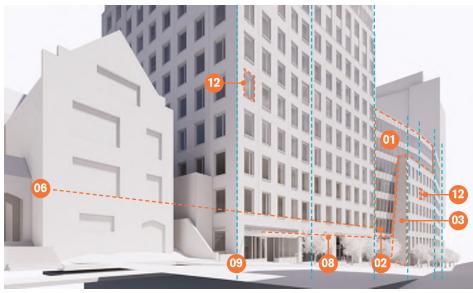
# **Aerial View Facing Southeast**



**Street View Along 12th Ave** 



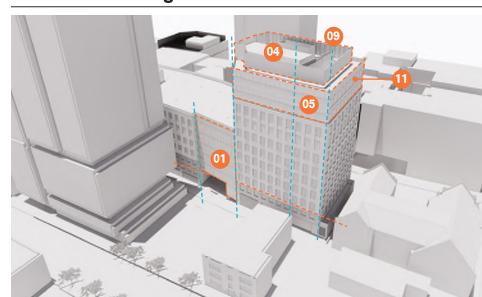
**Street View Along 12th Ave** 



# **Massing Revisions**

- "Void" expression simplified with increased depth for modulation
- 02 L2 connector integrated into angled facade and increase setback
- 03 Improved continuity of brick expression that wraps inward to the "void"
- 04 Removed all mechanical equipment at L8 Roof and moved to L12 roof
- Refined glass expression & setback at L11 & L12
- 06 Created clear datums defining retail and lobby height expressions
- O7 Cantilevered L4-L12 over the alley to provide depth and modulation
- Refined canopies and heights to adjust to storefronts & topography
- O9 Carefully modulated the facades to provide depth and site adaptation
- 10 Resolved the tower massing to better react to tower spacing
- 11 Added 12th floor to the tower massing to accentuate verticality
- Careful brick and window detailing that differ between highrise and midrise masses

# **Aerial View Facing Southwest**



# **AGENDA FOR EDG GUIDANCE RESPONSE**

# **Massing Concepts**

- Improve Continuity, Wholeness, Void Form & Starkness
- Integrate Circulation Connector
- Resolve Connector Pinch Point & Create Grander Gesture
- Develop The Unique & Whimsical Aspects of the Design
- Provide Detail On Lobby Programming & Activation
- Further Consider The Roofscape Design
- Provide Studies of Contextual Cues & Horizontal Datums

# Context

Provide Analysis of Street-Level Interaction & Conditions

# Mid-Block Connection & Neighborhood Open Space

- Provide More Detail On Plantings, Hardscape & Vertical Markers
- Provide More Spill Out Space & Porous Edges

# Vehicular Access & Services

 Mitigate Garage Entry Impacts & Provide Service Use Diagrams for Circulation & Trash Staging

# **Materials**

- Provide Greater Dimensional Difference Between Material Changes
- Provide Detail On Material Application In The Mid-Block Void
- Refine Blank Wall Conditions to Support Alley Activation
- Provide Detail On Canopy Types & Heights

A INTEGRATE - MIDRISE & HIGHRISE

#### B INTEGRATE - FILL VOID/REDUCE SCALE/MODULATE

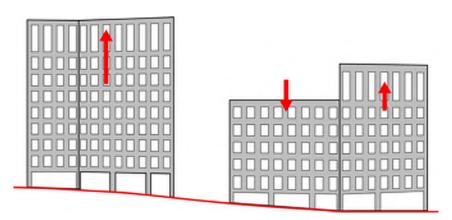
# Response to Massing Concepts

# 2.d.i - Guidance

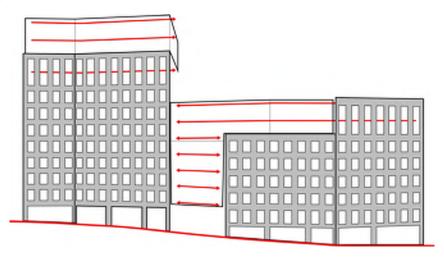
- Improve the continuity and wholeness of the overall building expression, as currently the pieces appear to be conflicting and independent of one another.
- Achieve greater continuity by using the idea of the portal or midblock void to inform the façade systems scale of openings to be more responsive to program, exposure, and massing moves.
- Refinement should address the starkness between the two expressions and provide greater depth at transitions.

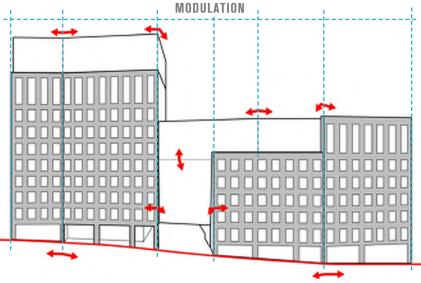
#### **RELEVANT DESIGN GUIDELINES:**

DC2-B-1 DC2-1-b DC2-2-c DC2-2-i

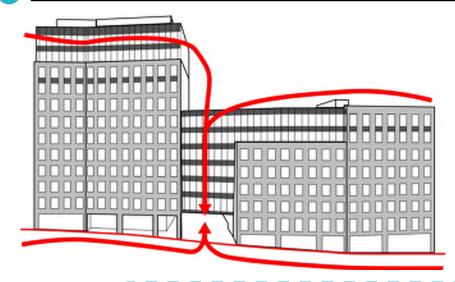




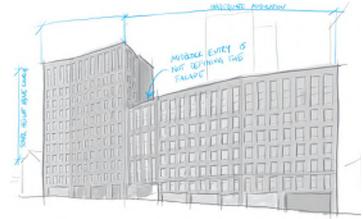




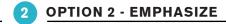
D INTEGRATE - COMPLETED MASSING & ARTICULATION

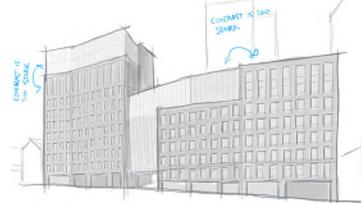






- · Continuous facade system across the length of the facade
- Unifies the design into a single concept with no breaks
- Confuses the clear distinction between midrise and highrise masses
- Does not create adequate modulation





- Clear material and system separation between the window wall & masonry
- Contrasting expression was noted as stark
- Masses do not form a cohesive relationship

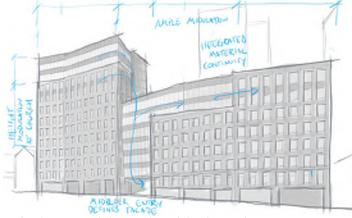
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- Diminishes the impact of the mid-block to something residual
- Does not integrate the highrise and midrise masses

**OPTION 3 - SEPARATE** 

# PROPOSED OPTION - INTEGRATE



- Continuous spandrel expression unifying the massing
- Maintain ample modulation
  - Mid-block spandrel of the void repeating itself in the window openings.
  - Upper floors feature larger & vertical portions of glass for modulation

# Response to Massing Concepts

# 2.d.i - Response

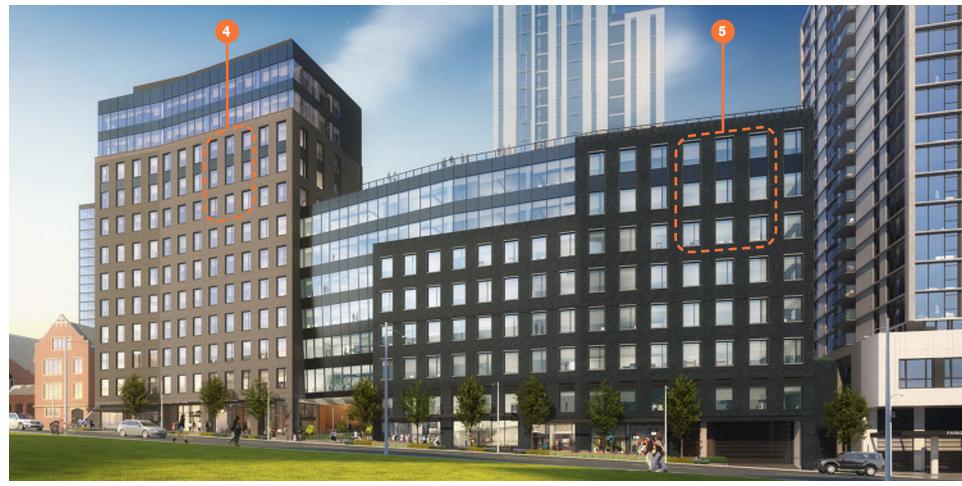
- The curved site informs a series of flowing segmented facades with a maximum length of 80'. The masonry clad tower mass modulates in height per zoning requirements to imply three distinct masses with a break mid-block. The masonry masses terminate with a perceived double height opening at the top.
- The distinct masses are connected with a secondary facade creating ample changes in depth and plane. The changes in plane break down the mass and focus attention on the mid-block
- All elements of the tower are woven together with ribbons of opaque panel which compliment the masonry.
- Vertical mullions align with masonry openings. The window wall feature caps the upper floors and slopes inward towards the pedestrian mid-block, guiding the viewer in.
- The masonry windows feature brick trim at the head and sill which projects 1" from the face of the wall and alternates in color to unify the midrise and highrise component. The trim in the midrise matches the typical wall brick of the highrise, while the trim in the highrise matches the typical brick of the midrise.

**MIDRISE MODULE** 





1 VIEW FROM 12TH AVE NE FACING EAST



VIEW FROM 12TH AVE NE FACING SOUTHEAST



MID-BLOCK PLAN OFFSET



Street offset



# Response to Massing Concepts

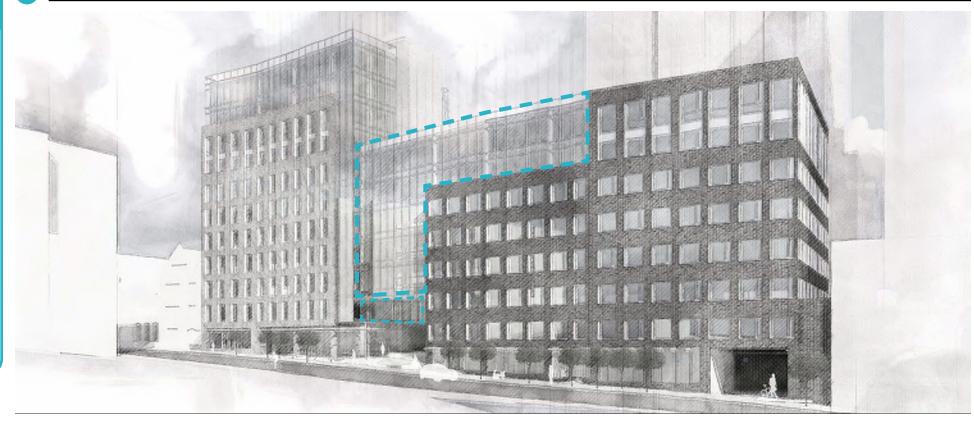
# 2.d.v - Guidance

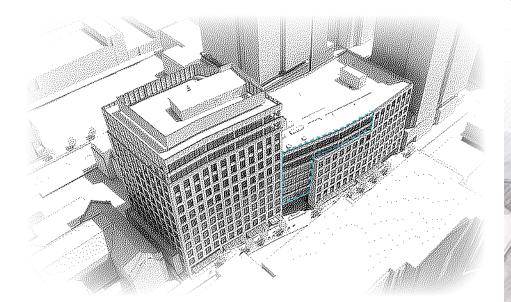
- Remove or revise the circulation bridge spanning the mid-block connection as currently it seems to interrupt and diminish the grand gesture of the void.
- The Board noted the bridge could be there but only if it becomes a unique element of the mid-block more so than the façade, perhaps seeing over or through it, maybe becoming diagonal, or by another means of integrating the bridge into the overall mid-block vocabulary.
- Currently the bridge creates too much compression at the void entry.

#### **RELEVANT DESIGN GUIDELINES:**

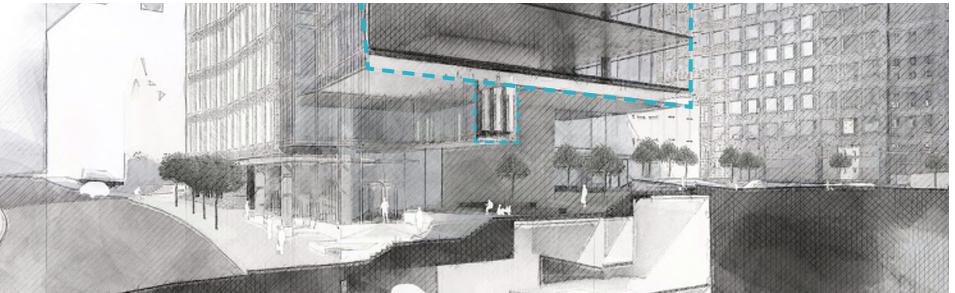
DC2-B-1









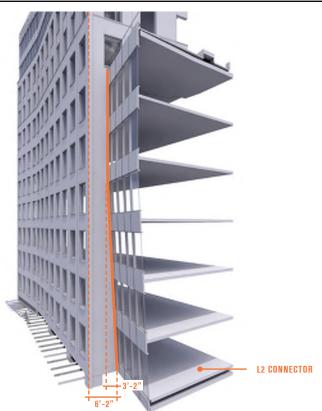


# Response to Massing Concepts

# 2.d.v - Response

- The occupiable portion of level 2 above the **voluntary** mid-block connection has been integrated into the rest of the building as part of a holistic expression. Beginning at level 6, the western wall of the mid-block gently slopes inward, drawing visitors to the mid-block from afar. This is a conscious massing move in order to fully integrate the connector connection with the rest of the massing.
- The soffit above the mid-block is a slightly sheened metal panel with integrated down lighting and is continuous into and through the lobby in order to stitch the street level design into the overall mid-block expression. The massing connects the window wall portion of the tower into a holistic expression all the way through the lobby space. The soffit no longer appears as a pinch point but as an extension of the lobby into the exterior space.
- The mid-block design was also widened at the opening at ground level along the north wall to provide a more grand gesture.

# 2 SECTION PERSPECTIVE OF CONNECTOR



#### 1 VIEW FROM 12TH AVE NE FACING EAST



# 3 VIEW OF MID-BLOCK FROM 12TH AVE



# 4 VIEW FROM MID-BLOCK FACING OPEN SPACE



# Response to Mid-block Connection & Neighborhood Open Space

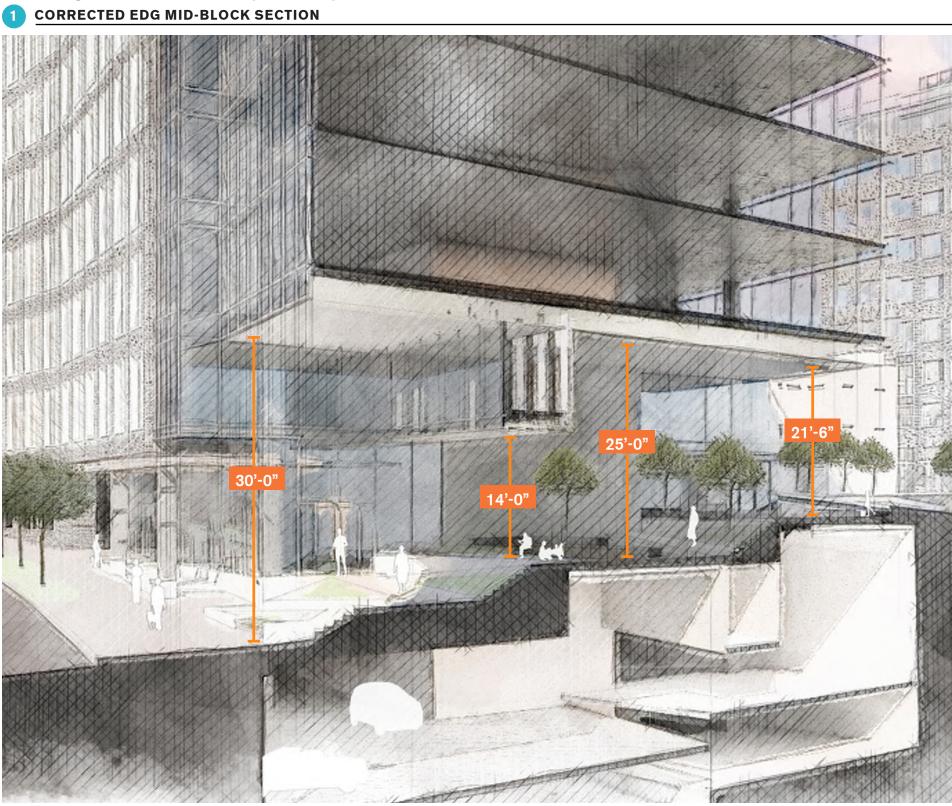
# 3.bi, 3.b.ii & 3.b.iii - Guidance

- As noted above, the Board was concerned with the pinch point created by the circulation bridge. Moving forward, this should be resolved to create a grander gesture and stronger sight lines through the mid-block.
- In addition, a section through the space with accurate height dimension should be provided at the next meeting.

#### **RELEVANT DESIGN GUIDELINES:**

PL1 PL1-2



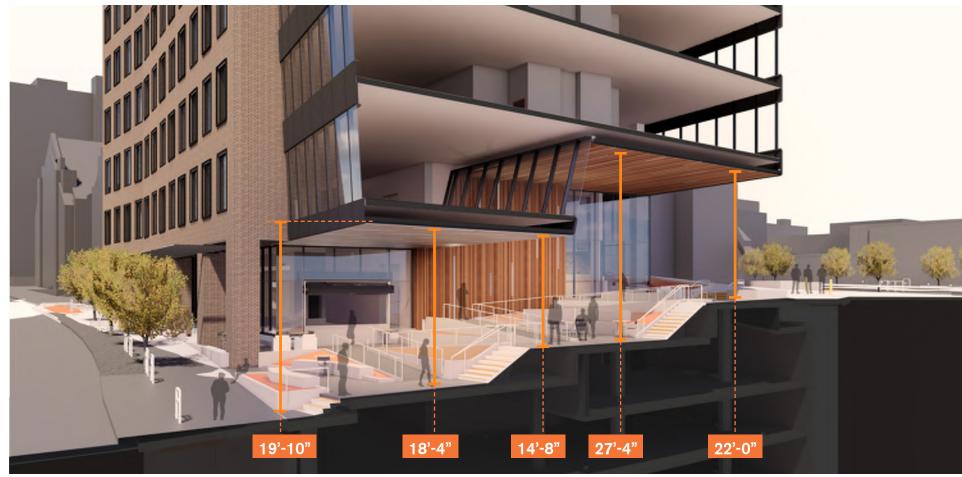


# Response to Mid-block Connection & Neighborhood Open Space

# 3.b.i, 3.b.ii & 3.b.iii - Guidance

- The central core wall and soffit are featured in a wood cladding with clear sight lines from the open space and from 12th ave.
- The soffit below level 2 in the mid-block has been fully integrated into the lobby to create a continuous space both inside and outside in a grander gesture that incorporates with the massing.
- The level 2 floor area, required as a means of egress, is consolidated to the western portion of the facade so as not to impede the ceiling height of the central spill out area. The glazing slopes on both the East and West to soften the mass, guide visitors into the space, and create a focal element in the center seating area.
- Sight lines are clear when entering the mid-block from either the East or West. However, the primary focus is the central space and the seating areas.
- Circulation within the mid-block has been reconfigured to maximize the height in the seating areas.

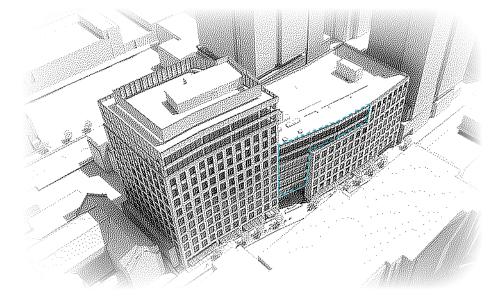








3 VIEW OF MID-BLOCK CONNECTION FACING EAST





# Response to Massing Concepts

# 2.d.vi - Guidance

- What are the fun whimsical elements that further animate and relate this project back to this specific neighborhood?
- Develop these ideas and demonstrate the unique or whimsical aspects of the design at the next meeting

#### **RELEVANT DESIGN GUIDELINES:**

DC2-1-a

# 2.d.vi - Response

• The U District Core and the Ave are celebrated for their small scale shops, restaurants and businesses, as well as its individual, playful and raw energy. The proposed retail spaces are small scale and face 12th ave, the voluntary mid-block, and the alley and open space. They are intended to have their own individual spirit to add variety and vibrancy, especially to the alley, similar in many ways to Cafe Allegro. The open space & mid-block has a variety of useful and unexpected seating installations. Finally, the core of the mid-block is wrapped in a wood wall finish with playful lighting patterns. This wall finish extends into the soffit above and gives a warm and unique character to the mid-block.





# VIEW FACING SOUTH ALONG ALLEY LEVEL



VIEW FACING MID-BLOCK PORTAL AT ALLEY LEVEL



#### MID-BLOCK, ALLEY, & PARK ACTIVATION PLAN



# Response to Massing Concepts

# 2.d.vii - Guidance

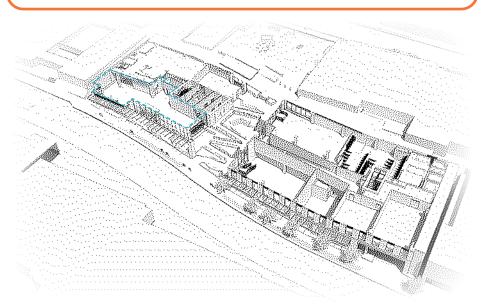
• Provide more detail on how the lobby will be programmed to be active.

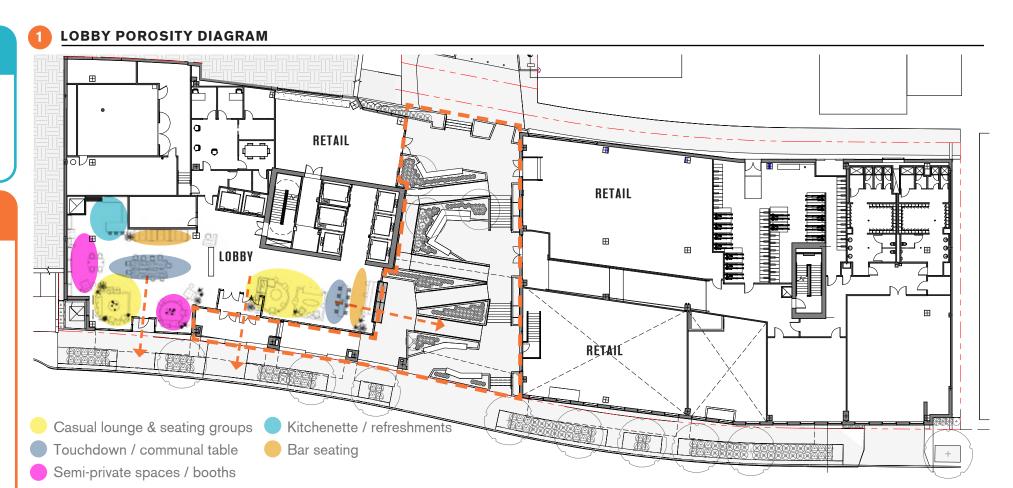
#### **RELEVANT DESIGN GUIDELINES:**

CS2-2-c PL1-2-c

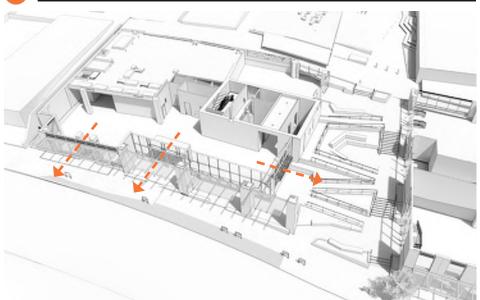
# 2.d.vii - Response

• The interior design of the lobby will be activated by building circulation and interior design. The intent is to relate the office lobby to the mid-block connection by continuing similar materials from the mid-block to the office lobby. The primary ceiling element in the lobby is continued above the mid-block to maintain a holistic expression of interior and exterior. Similarly, the central core is wrapped in a wood wall finish which is also continuous both interior and exterior. The south portion of the lobby features a large operable wall system and bar height seating to promote a direct physical connection. The north portion of the lobby features an intimately scaled area consistent with the neighborhood intended for casually working or meeting and with the potential for direct access to 12th ave. Lastly, the upper level lobby has been removed and replaced with retail to help further activate the alley and mid-block connection.













# Response to Massing Concepts

# 2.d.iv - Guidance

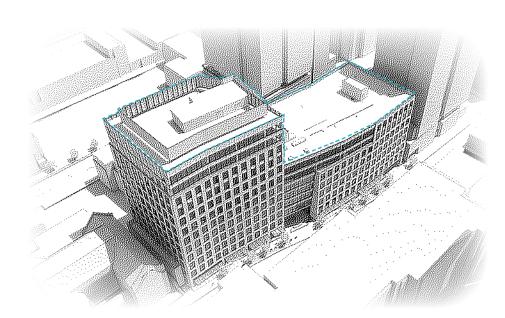
• Further consider the roofscape as it will be highly visible from the surrounding towers.

#### **RELEVANT DESIGN GUIDELINES:**

DC4-D-1 DC2-4-a









# Response to Massing Concepts

# 2.d.iv - Response

- The level 8 roofscape features a large occupiable roof terrace that includes green roof and bioretention planters. The occupiable roofscape provides a variety of seating arrangements and activities. It is located on the Northern portion of the roof terrace above the mid-block with views to the open space below.
- The southern portion of the roofscape is primarily composed of a large planting bed in order to maintain visual privacy with the neighboring residential units.
- Major mechanical systems have been located as far north as possible at the roof level in the building and is screened to reduce the visibility of the mechanical systems from neighboring buildings.









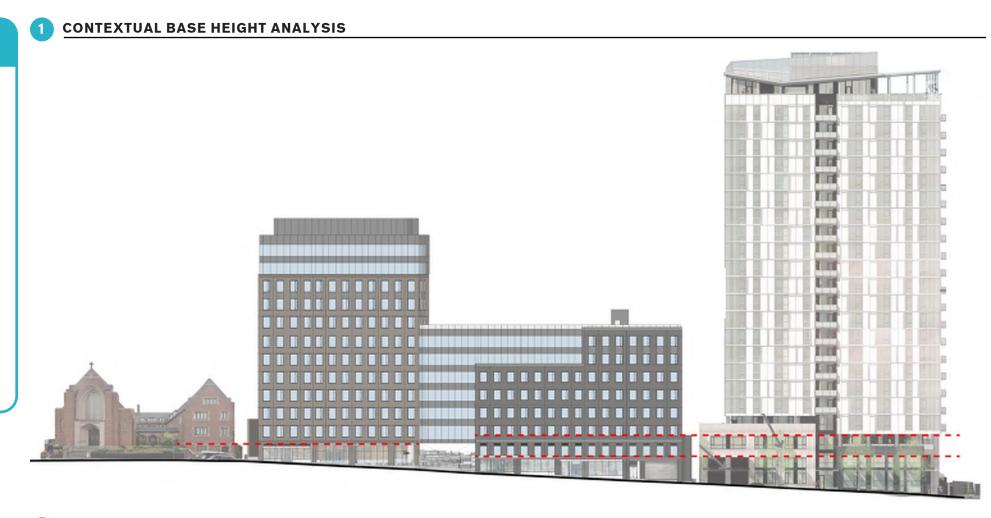
# Response to Massing Concepts

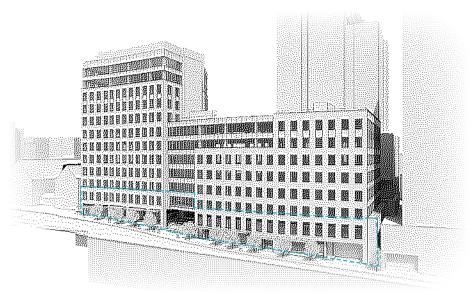
# 2.d.ii, and 2.d.iii - Guidance

- Further consider contextual cues and horizontal datums at street level, especially south of the mid-block connection. The Board noted there are strong contextual historical horizontal datums that could be picked up to lift the building up and make the base more porous, or pulled back to relate to both neighborhood cues and relate back to the base expression north of the mid-block connection.
- Related to the above guidance, the Board would like to see studies of the base height at the next meeting.

#### **RELEVANT DESIGN GUIDELINES:**

DC2-1-a DC2-2-a CS3-1 CS3-1-d









# Response to Massing Concepts

# 2.d.ii, 2.diii - Response

- The street facing facades maintain a horizontal datum of inset soldier course brick at the second floor level with a distinct approach to fenestration below. The band registers with the top of the retail at the South corner of the block. The intent is to increase openness and glazing for the retail to the south of the Mid-block connection, while also aligning with prominent adjacent datums.
- The retail facade is composed of larger openings at street level and the windows immediately above are articulated with louvers at the head. The scale of the openings above the retail are differentiated by providing a 1" projection of brick trim at the top and bottom of all the openings.
- The structural bays for the mid-block, retail, building entry, and parking entry roughly correspond to the massing volumes of the church to the North as a series of small scale solids and voids.
- The scale of the lobby expression to the north is 1.5 stories in height and relates in a subtle way to adjacent window openings at the neighboring church.

#### STREET VIEW FROM 12TH AVE NE FACING NORTH



#### **KEYNOTES**

- 01 Horizontal datum of inset soldier coarse brick
- 02 Large recessed retail entrances
- 03 2 story retail facade expression
- 1" projected brick trim of alternating accent colors
- 05 1.5 story lobby facade expression
- 06 Highly transparent storefront glazing with signage and display
- O7 Canopies that step with topography & provide depth and protection





# Response to Context

## 1.a & 1.b - Guidance

- Greater analysis of street-level interaction and street wall conditions (types of opening, scale of retail, base heights and datums etc.) would have been helpful to better understand what cues the design team will take from the neighborhood in terms of adding to street life and integrating the building into the neighborhood at street level.
- As the project evolves the Board provided guidance to continue analysis of important street level cues and refinement of the project in response to these observations.

#### **RELEVANT DESIGN GUIDELINES:**

CS2-B-2 CS2-1-e

#### 1 STREET LEVEL INTERACTION ANALYSIS OF UNIVERSITY WAY









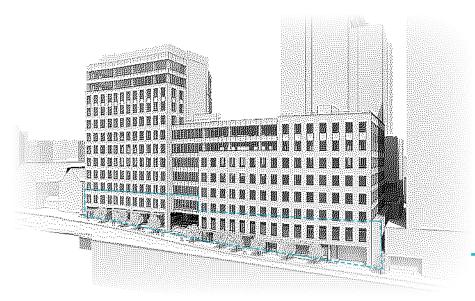






#### **OBSERVATIONS**

- The U District has a rich variety of small scale shops and restaurants with the Ave being the best immediate example of the retail
- The street level is generally composed of 1.5 to 2 story storefronts capped with a detailed masonry band.
- The 1.5 story storefronts feature tall glazing and columns or pilasters.
- The 2 story storefronts have large openings at street level and smaller but related openings at the second floor.



# STREET LEVEL FACADE STUDY



# Response to Context

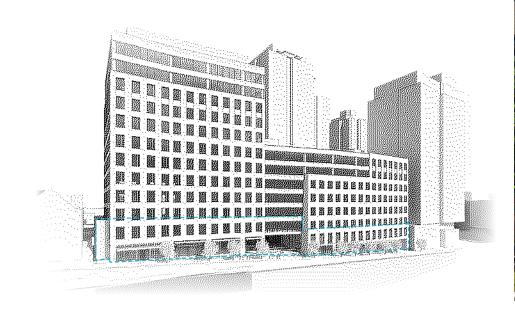
# 1.b - Response

- The northern portion of 12th Ave features a 1.5 story recessed glass storefront with masonry piers. Continuous soldier course masonry creates a clear delineation between storefront and tower.
- The southern portion of 12th Ave features distinct retail storefront entries and canopies.
- Upper windows relate in detailing to the storefront below with opening sizes that relate to the tower
- Storefront sills feature exposed concrete finish to match the midblock concrete elements.





STREET VIEW FROM 12TH AVE NE FACING SOUTHEAST





# Response to Mid-block Connection & Neighborhood Open Space

## 3.a - Guidance

- · Regarding the relationship and connection between the two spaces the Board strongly supported working with SDOT to create a pavement treatment across the alley.
- In addition, the Board would like more information at the next meeting clarifying how plantings, hardscape materials, vertical markers and other elements would reinforce the connection across the two spaces.

#### **RELEVANT DESIGN GUIDELINES:**

PL1-2



# PROPOSED ALLEY PAVING PATTERN



# **VERTICAL MARKER PRECEDENTS**



# **AERIAL VIEW FACING WEST**



# 3.a - Response

- We have submitted our SIPs and have gotten push back from SDOT on the alley paving. We have simplified the paving in the alley but the main lines, color and materiality will be the same on all 3 sites. We will continue to work with SDOT and hope to get this approved.
- We are working with SDOT to relocate the pedestrian crossing on Brooklyn Ave to align directly with the Mid-Block and Open Space.
- Planters and hardscape paving will match in materiality (CIP) concrete, same colors and finishes) on all 3 sites (mid-block, alley, open space). Planting will be different due to the nature of the spaces and the survival of planting materials. Planting in the Neighborhood Open Space parcel will weave with the Hub2 Park parcel. Planting in the mid-block connector will receive very little sun and must be a different palette that works for deep shade. Vertical markers are in development, and will work in concert with lighting and signage. Movable furniture is proposed in the mid-block connector and in the park, tying the spaces with a splash of color.

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# Response to Mid-block Connection & Neighborhood Open Space

# 3.b.iv - Guidance

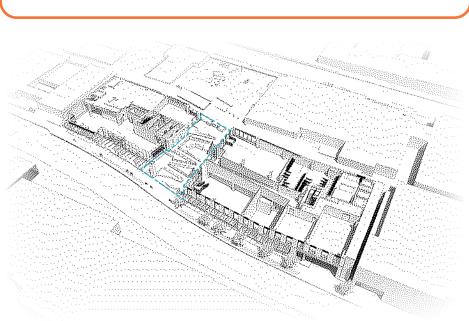
 Provide flexibility for spill out. Mid-block connection looked a bit constrained by ramps and steps. Strongly encouraged spill out spaces or larger operable windows to create more porous edge. Ensure the mid-block connection is an active space rather than just a pass through.

#### **RELEVANT DESIGN GUIDELINES:**

PL1-2-c

# 3.b.iv - Response

- The lower level lobby massing has pulled back, creating more opportunity for movement and seating. Ramps have been reorganized (3 segments as a U, then one scissor) and steps have been straightened and regularized.
- These changes created four spaces to inhabit (lower, lobby, middle and upper plazas) that feel connected to each of the retail and lobby uses, maximizing vibrancy and activation of the spaces.







PROPOSED MID-BLOCK DESIGN

# Response to Materials

# 5.c - Guidance

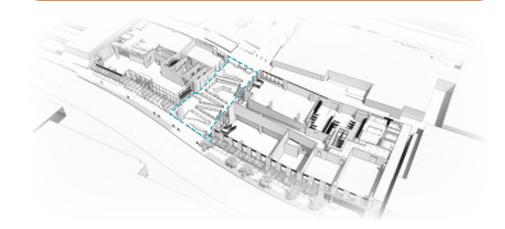
 Treatment of the walls and soffits of the mid-block connection will be critical to reinforcing this expression of the void.
 Consider how the material application will enhance the purity of the void expression.

#### **RELEVANT DESIGN GUIDELINES:**

DC2-B-1 DC2-2-c

# 5.c - Response

- The mid-block finishes are designed to draw pedestrians into the central space and encourage them to comfortably linger rather than simply passing through.
- The building core wall, both interior and exterior, as well as the primary mid-block soffit are finished with warm wood cladding with feature lighting that serves as a visual anchor for the space.
- The adjacent lobby and retail facades are full height glass, emphasizing the materiality of the wood.
- The level 2 portion of mid-block soffit is clad in a crisp metal panel which continues into the lobby.
- To reinforce the uniqueness of the wood feature wall and soffit, the southern façade of the mid-block features large glass openings and a dark brick cladding consistent with the rest of the midrise.



#### VIEW OF MID-BLOCK CONNECTION FACING NORTHEAST



# 2 VIEW OF MID-BLOCK CONNECTION FACING NORTH



# 3 VIEW OF MID-BLOCK CONNECTION FACING NORTH



# Response to Materials

## 5.b - Guidance

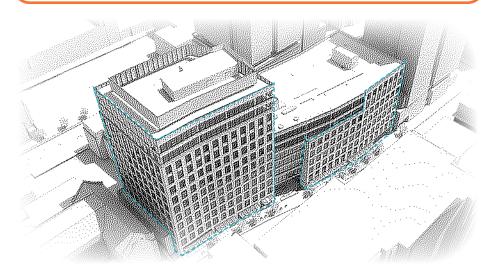
• The Board noted greater dimensional change should be used between material changes

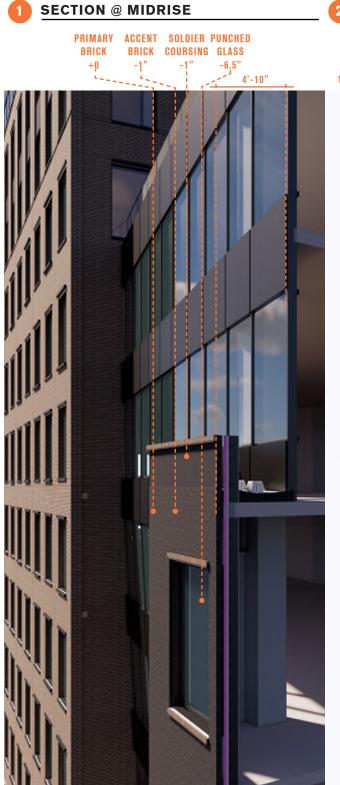
#### **RELEVANT DESIGN GUIDELINES:**

DC2-C-1

# 5.b - Response

- The façade has been simplified to more clearly reflect the massing. The brick façade now encapsulates the corner and accentuates the difference in depth between brick and glass.
- The horizontal change in plane between the brick highrise facade and the window wall varies, but is always greater than 5'.
- The vertical change in plane between the brick and window wall is typically 1'-0" with extra depth added on the south side of the mid-block entry along 12th Ave up to 4'-10". The transition between brick to window wall is highlighted by a double height soldier course.
- Moreover, each masonry window opening is setback 6.5" and is framed in brick trim extending 1" from the facade of the surrounding brick to create added depth along the masonry facade.









# Response to Materials

## 5.d - Guidance

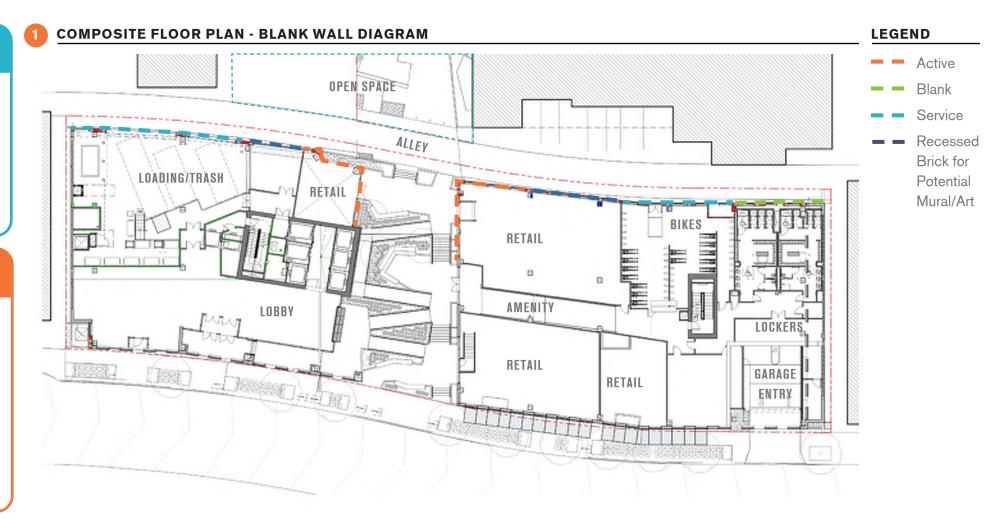
 Continue to refine and consider how any blank wall conditions will be treated to support alley activation and the success of the open spaces.

#### **RELEVANT DESIGN GUIDELINES:**

DC2-B-2

# 5.d - Response

 Both sides of the mid-block connection are fronted with corner facing retail units. The bicycle parking entry is located to the south and building service and loading dock is located to the north and visually screened from public view by surrounding buildings and planting. Where blank walls along the alley are unavoidable, they feature inset portions of brick wall in modules matching the tower rhythm above and could be a good location for potential art or other murals in the future.



# 3 AERIAL VIEW OF OPEN SPACE & ACTIVATED ALLEY



# 2 ALLEY ELEVATION



# Response to Materials

# 5.e - Guidance

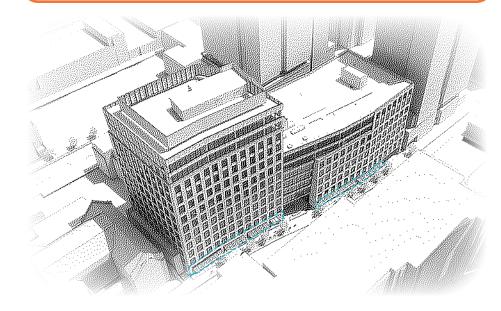
• At the next meeting the Board requested more information regarding canopy types and heights.

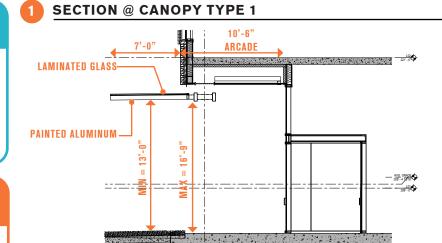
#### **RELEVANT DESIGN GUIDELINES:**

DC1-C DC2-1-c

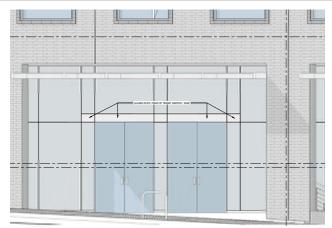
# 5.e - Response

- The two primary canopy types indicate the use as either retail or building entry. All canopies are painted aluminum structure aligned to building modules.
- The canopies are consistently 7'-0" deep and vary in height due to the significant slope across the facade. The canopies are discontinuous at times to adapt to the slope of the site and provide distinct canopies for retail tenants and the building entry.
- Canopy Type 1 is intended to be lighter and more refined and relate directly to the main building entry.
- Canopy Type 2 has a deeper perimeter channel, and is meant to relate directly to the street level retail spaces. Each canopy type has the flexibility to have signage mounted to them.





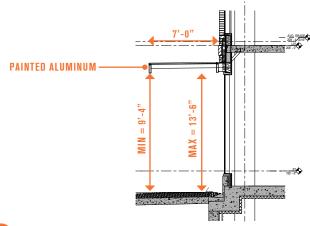
1 ELEVATION @ CANOPY TYPE 1



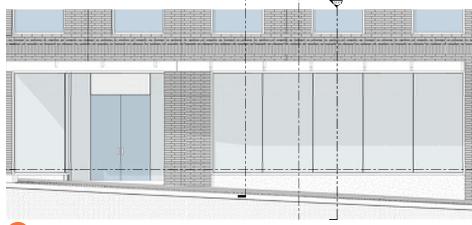
VIEW OF CANOPY TYPE 1



3 SECTION @ CANOPY TYPE 2



**3** ELEVATION @ CANOPY TYPE 2



4 VIEW OF CANOPY TYPE 2



**LEGEND** 

# Response to Vehicular Access & Services

# 4.b & 4.c - Guidance

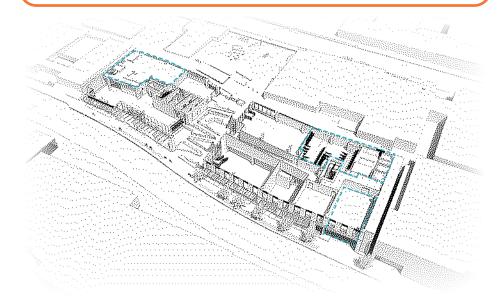
- The garage entry design needs to address and fully mitigate visual impacts to the public realm.
- In addition, at the next meeting the Board would like to see service use diagrams for both circulation and staging.

#### **RELEVANT DESIGN GUIDELINES:**

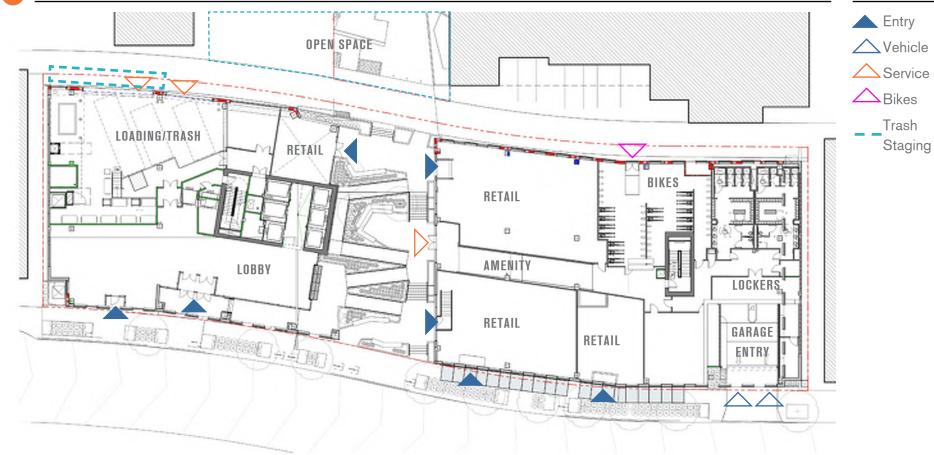
DC1-C-2 DC1-C-4

# 4.b & 4.c - Response

- The parking entry is recessed from the primary building frontage. The adjacent wall to the North was also recessed to increase visibility of the sidewalk for cars exiting the parking area. The visible walls at the parking entry are a consistent brick material with the rest of the façade. The parking entry is secured with a high quality perforated metal screen overhead coiling door.
- The loading dock and trash staging area is located on the northeastern façade and fully serviced from the alley. It is located behind an existing building, and to the greatest extent possible, visually screened from public view of the park both in location as well as with overhead doors and planting.







2 VIEW OF ACTIVATED ALLEY



3 VIEW OF VEHICLE ENTRY ON 12TH AVE

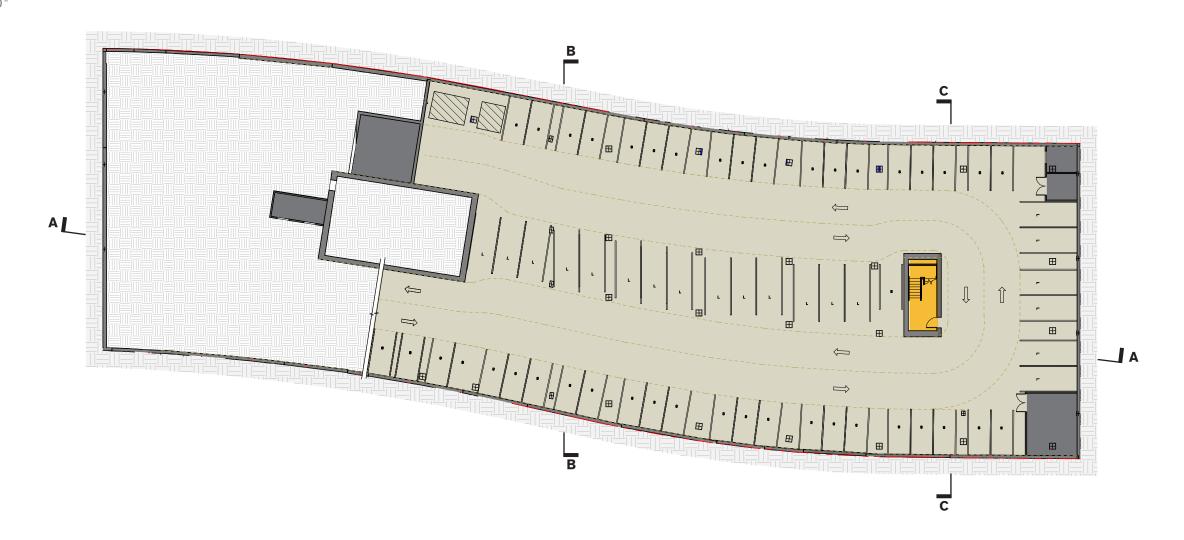


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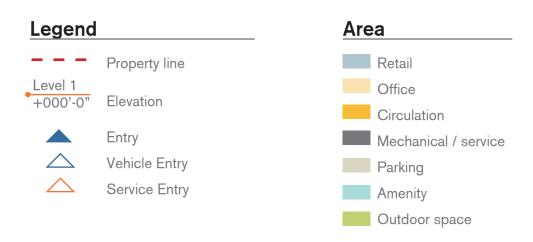
Level P3

# Level P3

Scale: 1/32" = 1'-0"



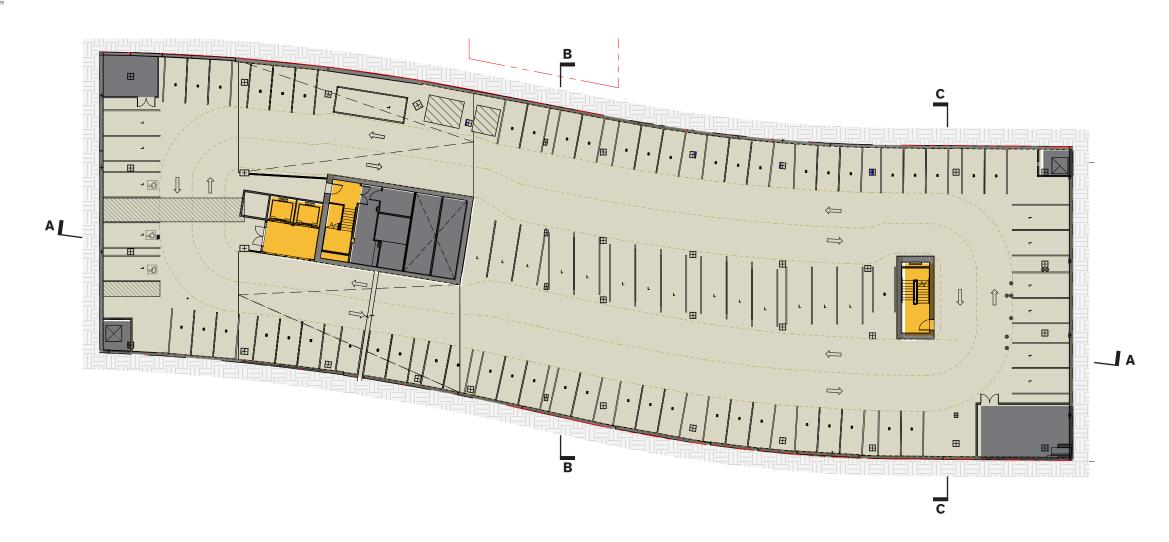
# Keynotes



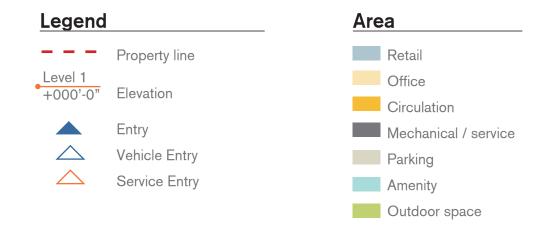
Level P2

# Level P2

Scale: 1/32" = 1'-0"



Keynotes



Level P1

# Level P1

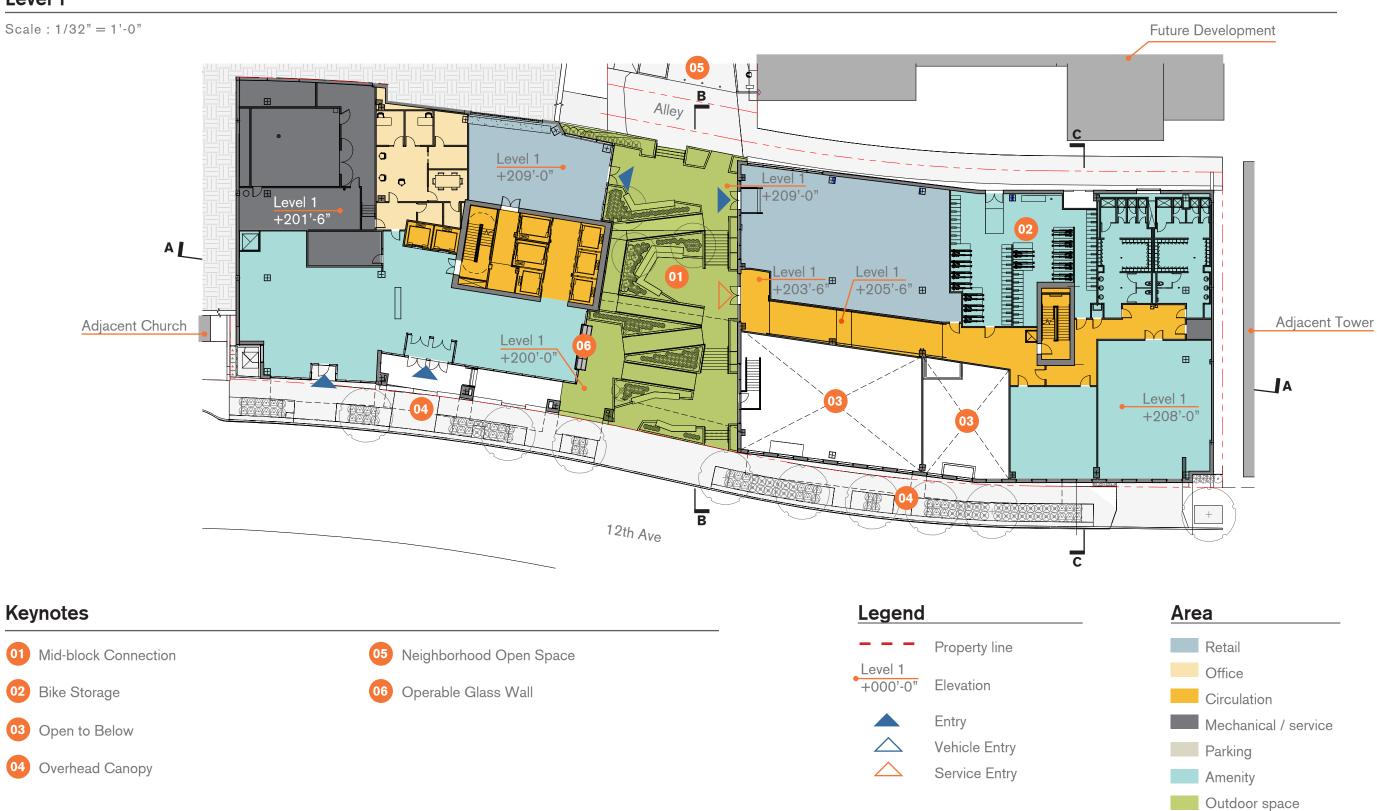


Amenity

Outdoor space

Level 1

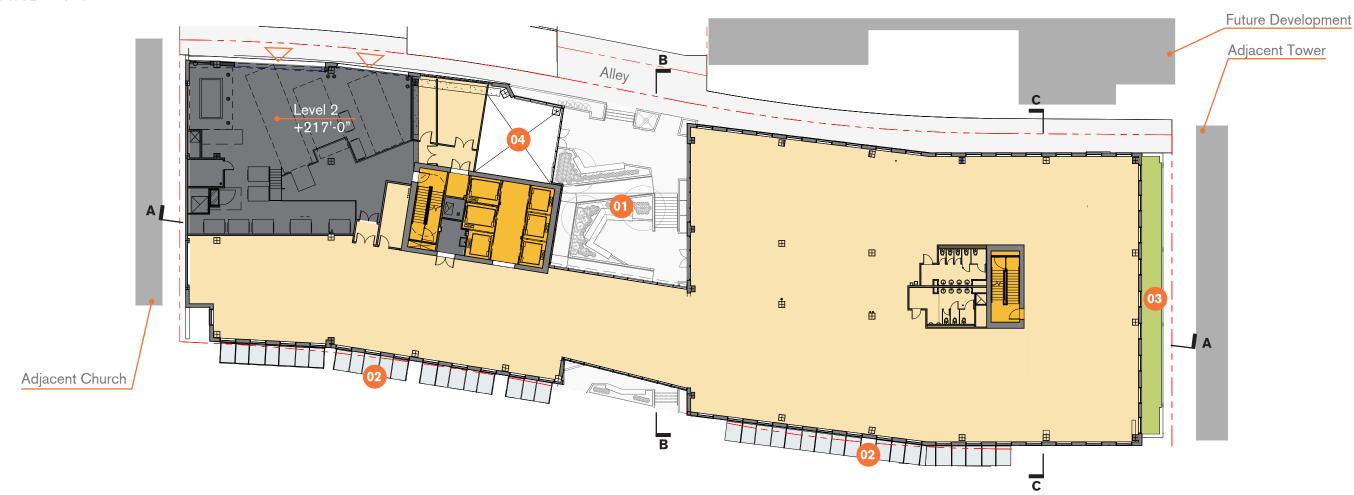
# Level 1



Level 2

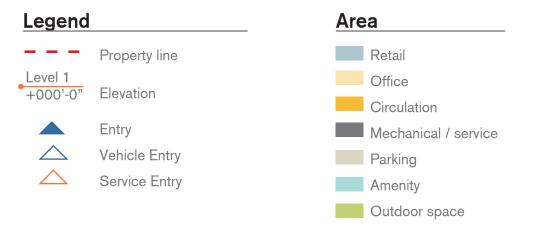
#### Level 2

Scale: 1/32" = 1'-0"



#### Keynotes

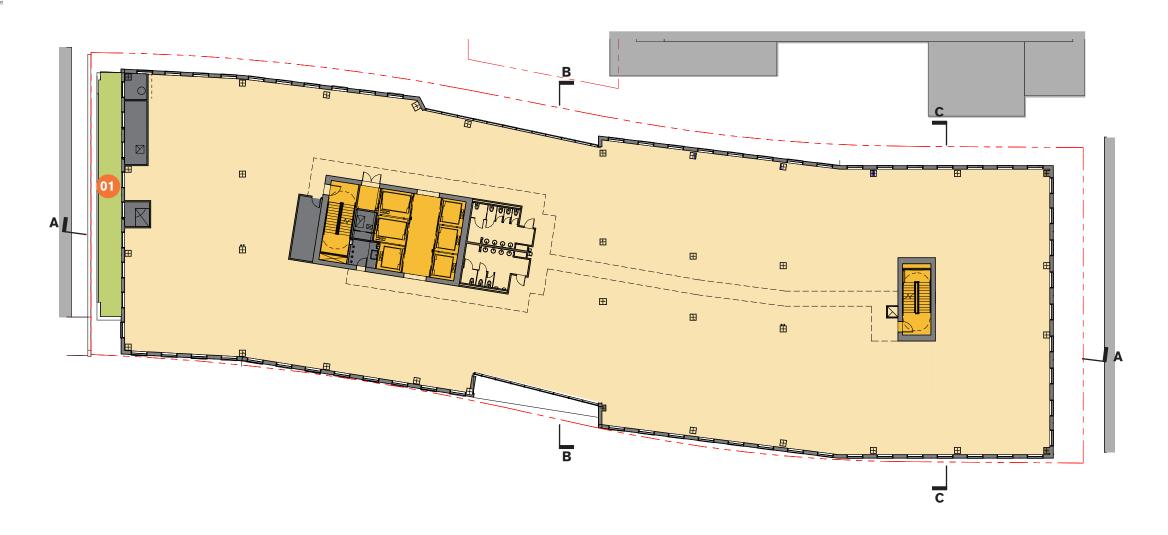
- 01 Mid-block Connection Below
- 02 Canopy Below
- 03 Bioretention Swale Roof
- 04 Open to Below



Level 3

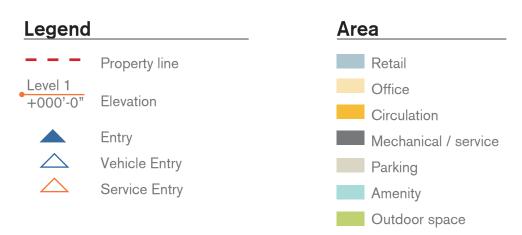
#### Level 3

Scale: 1/32" = 1'-0"



#### **Keynotes**

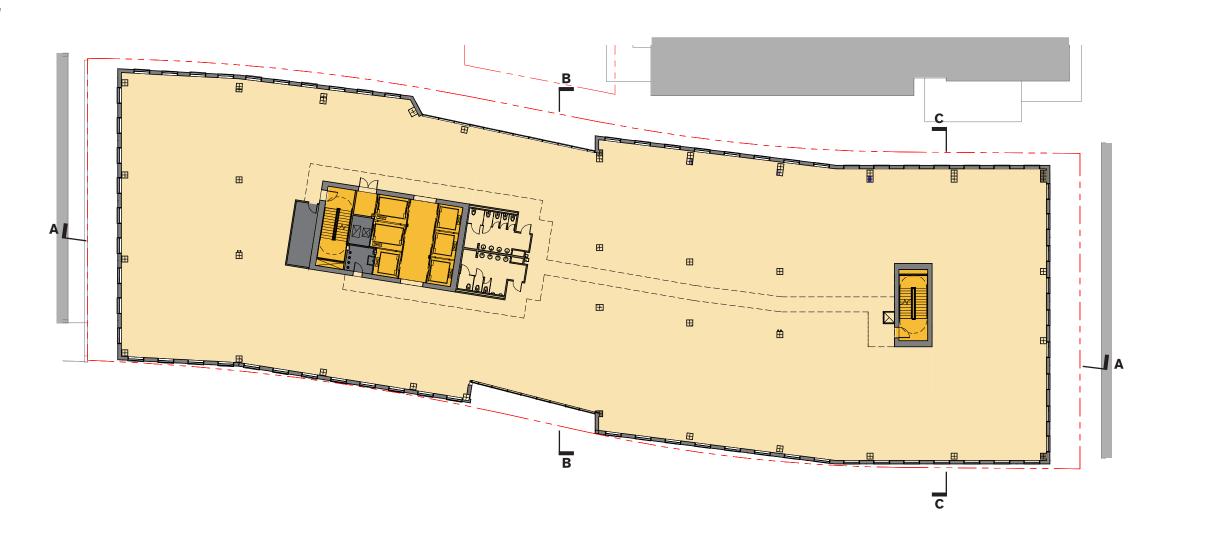
01 Bioretention Swale Roof



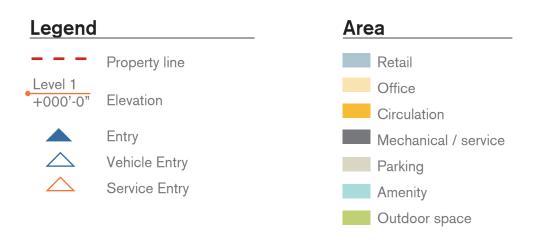
Levels 4-5

#### Levels 4-5

Scale: 1/32" = 1'-0"

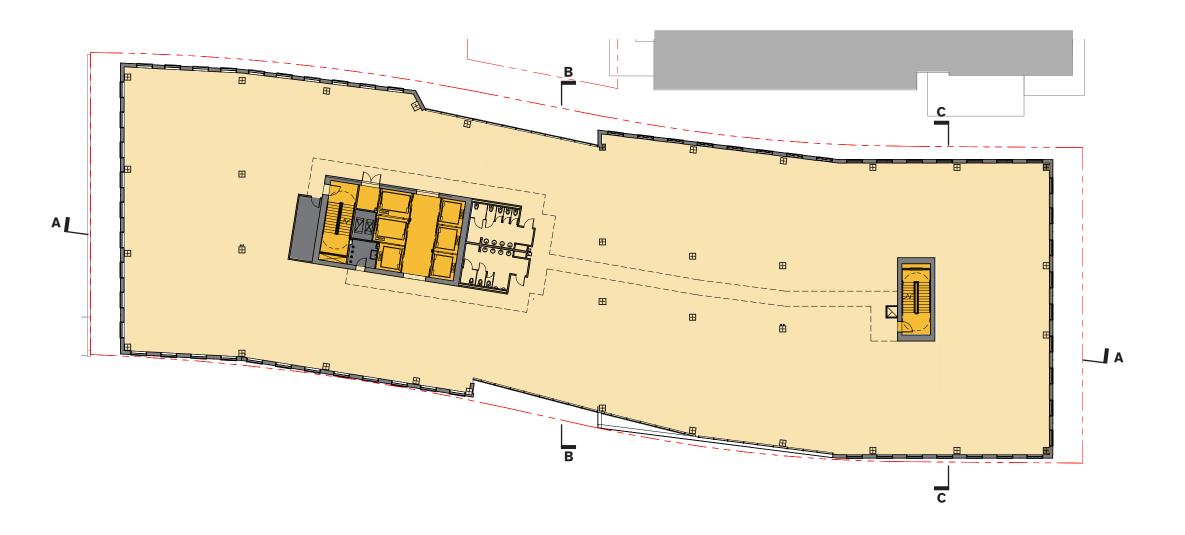




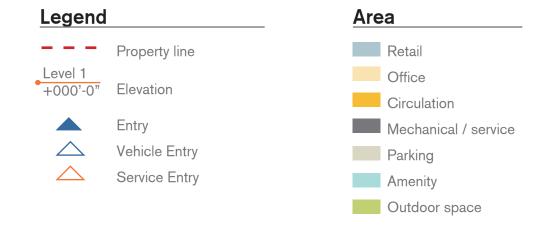


#### Levels 6 & 7

Scale: 1/32" = 1'-0"

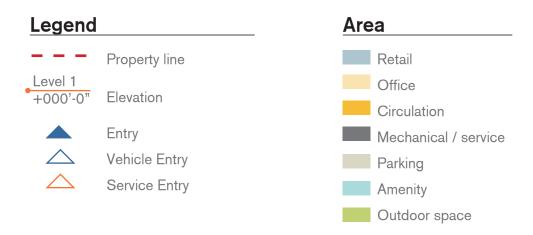








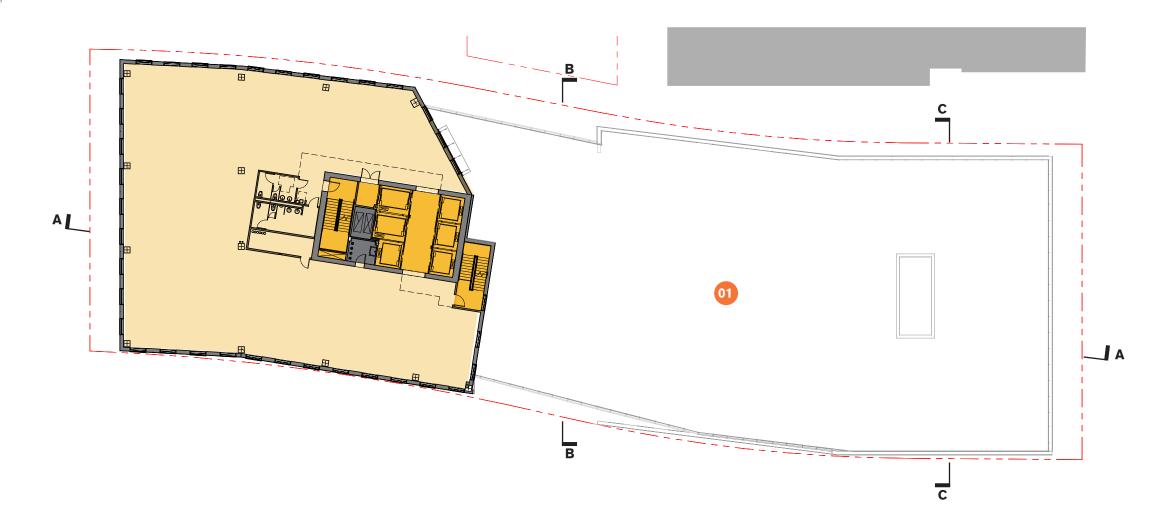
- 01 Green Roof
- 02 Bioretention Swale Roof
- 03 Occupied Roof Deck



Level 9-10

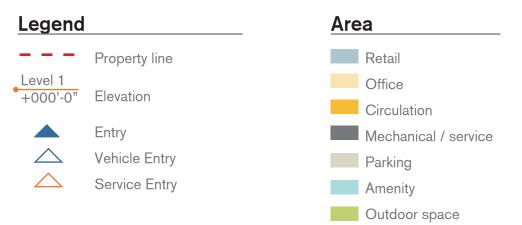
### Level 9-10

Scale: 1/32" = 1'-0"



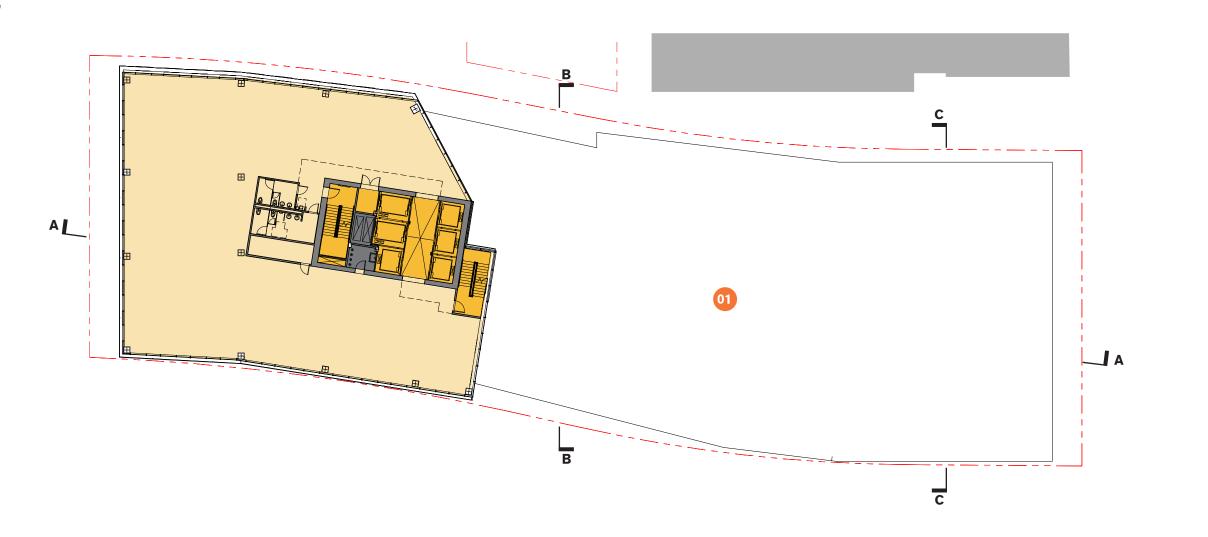
#### Keynotes

01 Roof Below



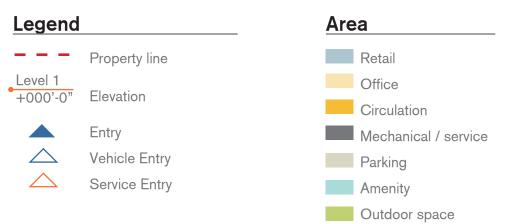
#### Level 11-12

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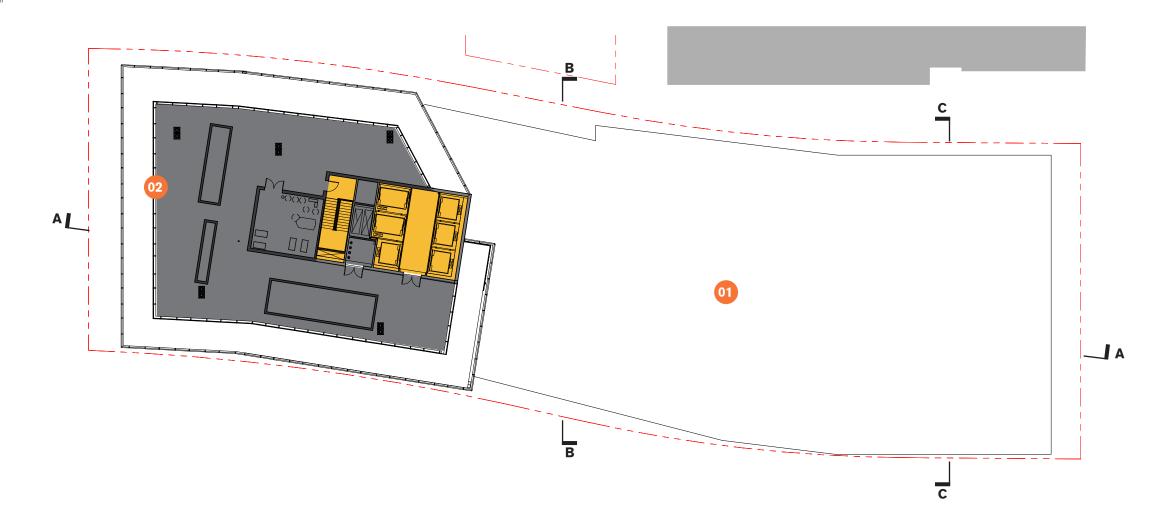


01 Roof Below



#### Level 13

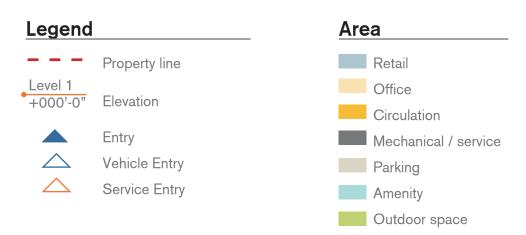
Scale: 1/32" = 1'-0"



#### Keynotes

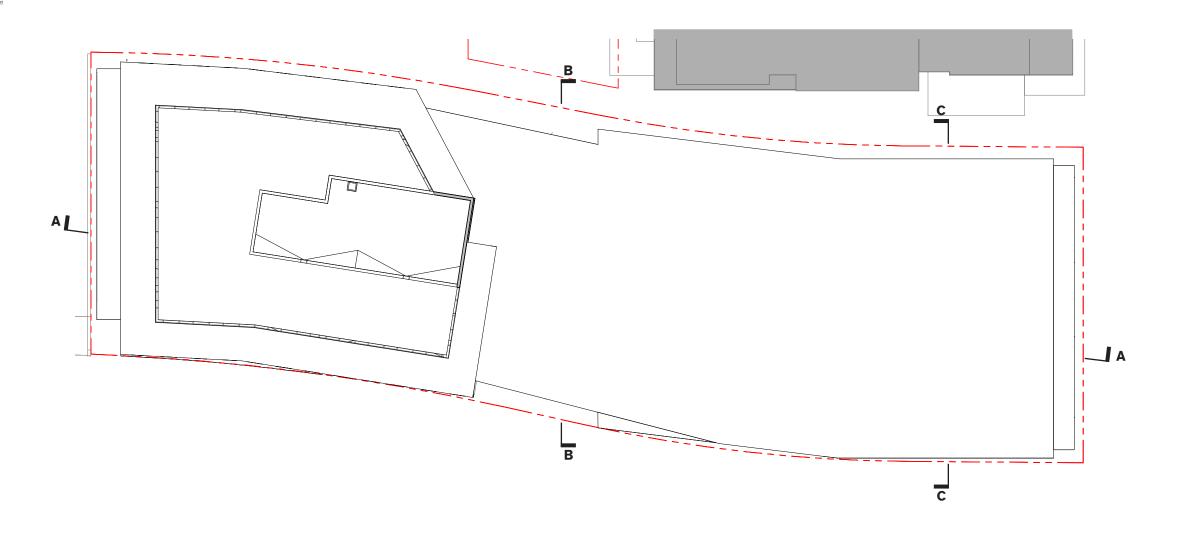
01 Roof Below

Mechanical Screening around Mechanical and Service Space

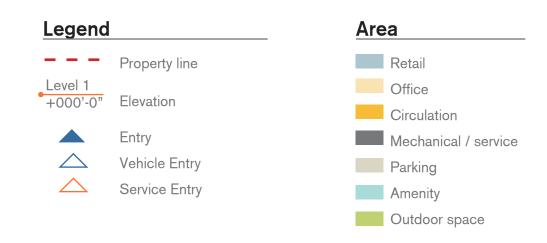


#### Roof

Scale: 1/32" = 1'-0"

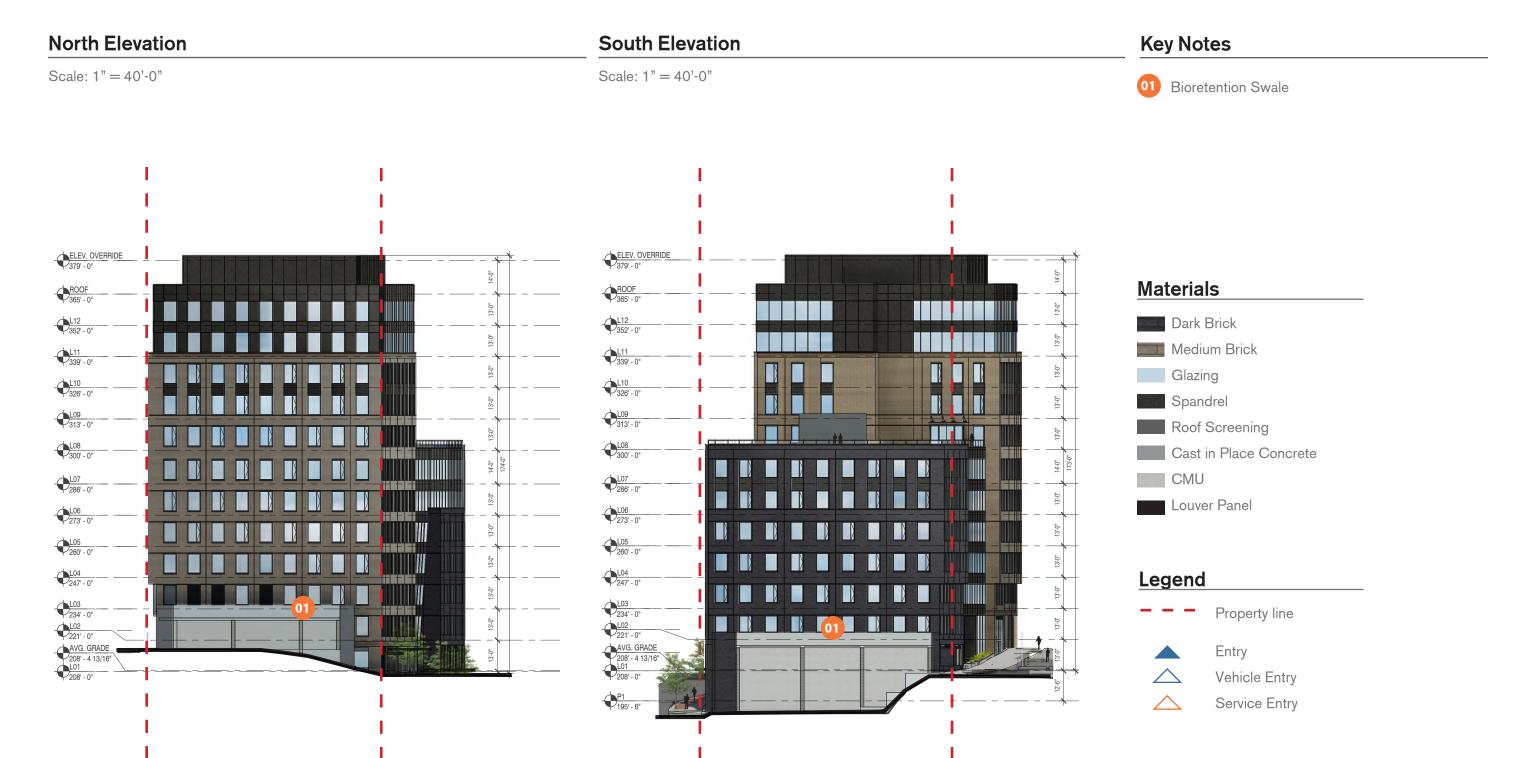






### **ELEVATIONS**

North and South Elevation



### **ELEVATIONS**

### East Elevation

#### **East Elevation**

Scale: 1" = 40'-0"



### **Key Notes**

- 01 Mid-block Connection
- 02 Loading Dock
- 03 Inset Brick Wall For Potential Art or Mural

#### **Materials**

- Dark Brick
- Medium Brick
- Glazing
- Spandrel
- Roof Screening
- Cast in Place Concrete
- CMU
- Louver Panel

#### Legend



Property line



Entry



Vehicle Entry



Service Entry

#### **ELEVATIONS**

West Elevation

#### **West Elevation**

Scale: 1" = 40'-0"



#### **Key Notes**

01 Mid-block Connection

#### **Materials**

Dark Brick

Medium Brick
Glazing

Spandrel

Roof Screening

Cast in Place Concrete

CMU

Louver Panel

#### Legend

Property line

Entry

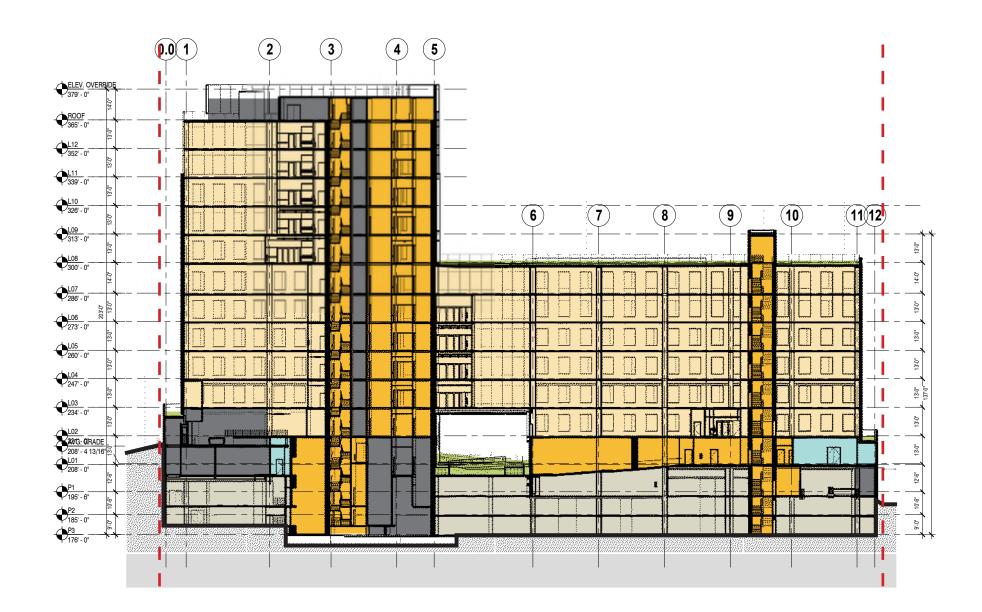
Vehicle Entry

Service Entry

#### **BUILDING SECTIONS**

#### A: North/South Section looking East

Scale: 1" = 40'-0"



### Keynotes





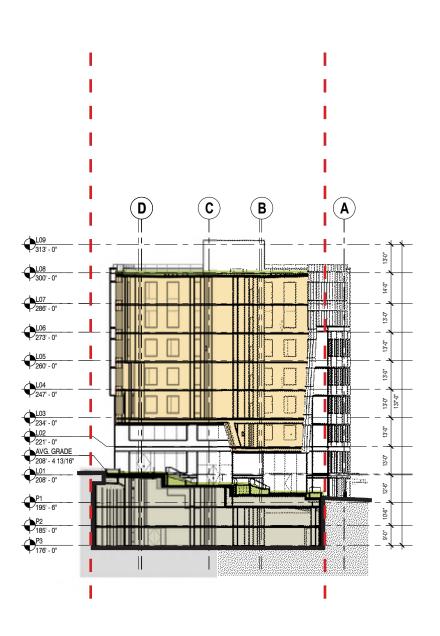
### **BUILDING SECTIONS**

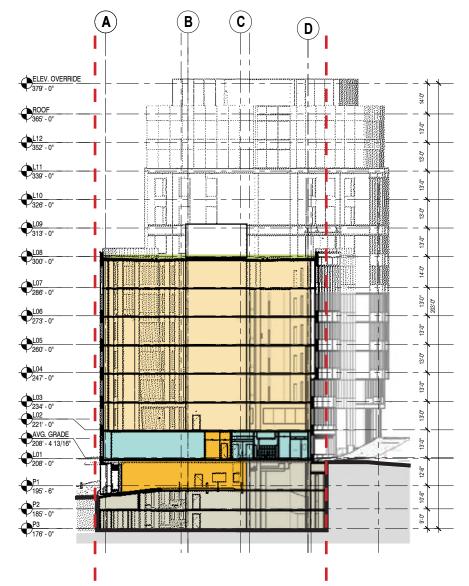
Scale: 1" = 40'-0"

### B: East/West Section looking South at Mid-block

# C: East/West Section looking North at South Tower

#### Keynotes







#### **MATERIAL & COLOR PALETTE**

#### **Materials Board**



#### **Narrative**

- The brick masonry reflects the traditional material of the U-district. The warm, medium gray color lightens the facade and accentuates the height of the tower.
- The highrise tower windows feature dark brick trim matching the midrise, which relate to the color to the tower spandrel.
- Ribbons of lightly sheened metal panel correspond to the brick color and unify midrise and highrise.
- The bright metal soffit compliments the tower spandrel while bouncing ambient light deeper into the mid-block.
- The dark brick masonry reflects the traditional material of the U-district.
   The darker color visually recedes, reducing the mass and connecting to the more contemporary buildings in the neighborhood.
- The midrise tower windows feature the medium brick trim of the highrise. The lighter color create a highlight along the darker facade and connect the midrise and highrise.
- The dark gray mortar is consistent across both midrise and highrise. The mortar color creates a consistent backdrop between the two masses.
- Large Rectangular punched openings of clear vision glass correspond to the proportions of the neighborhood. The minimal profile dark mullions blend seamlessly into the surrounding brick, spandrel, and trim.

Exterior

View looking North along 12th capturing the South elevator



Exterior

View looking South along 12th - capturing the North elevator



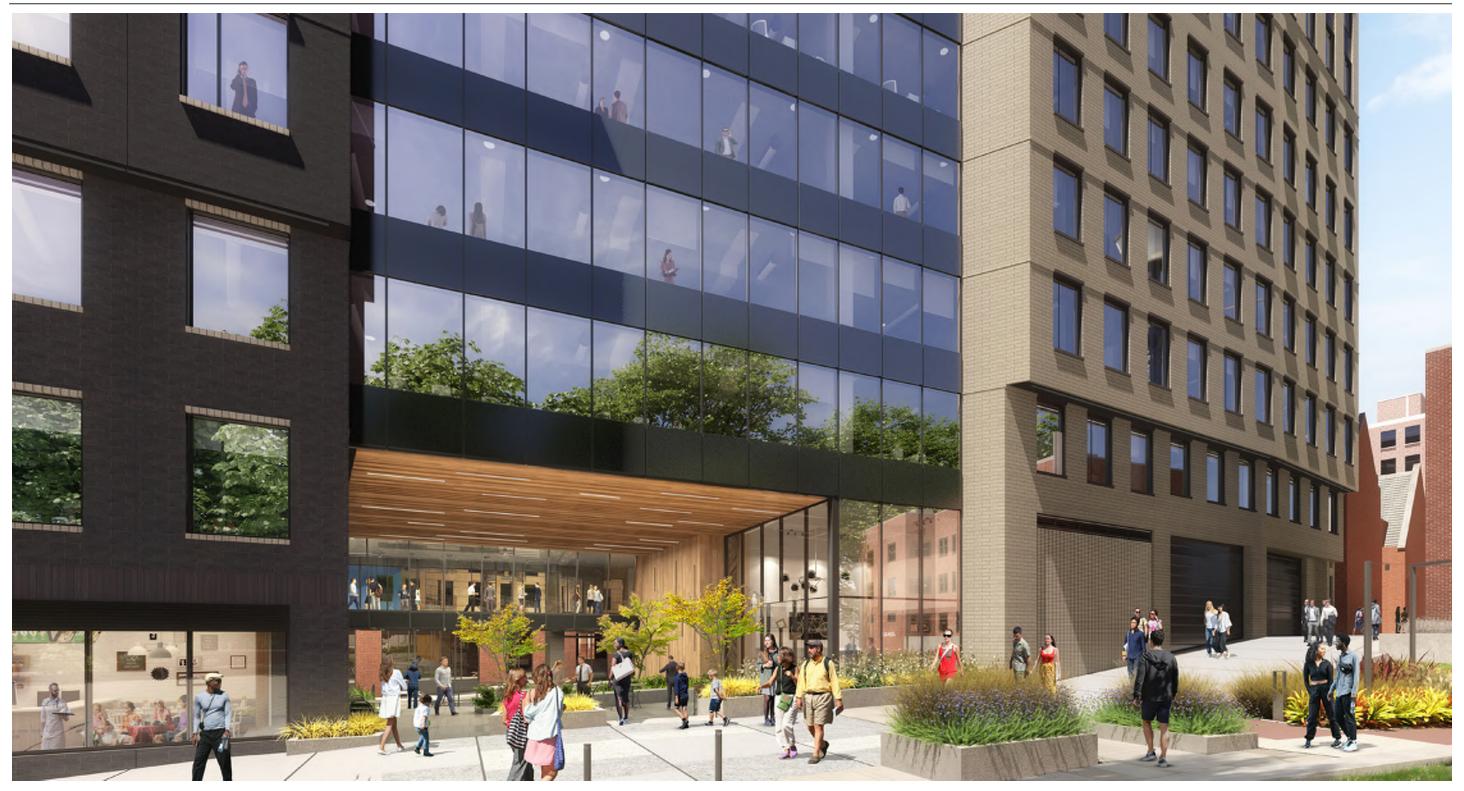
Exterior

# View looking South along 12th



Exterior

# **View looking through Mid-block Connector**



Exterior

# View looking North East



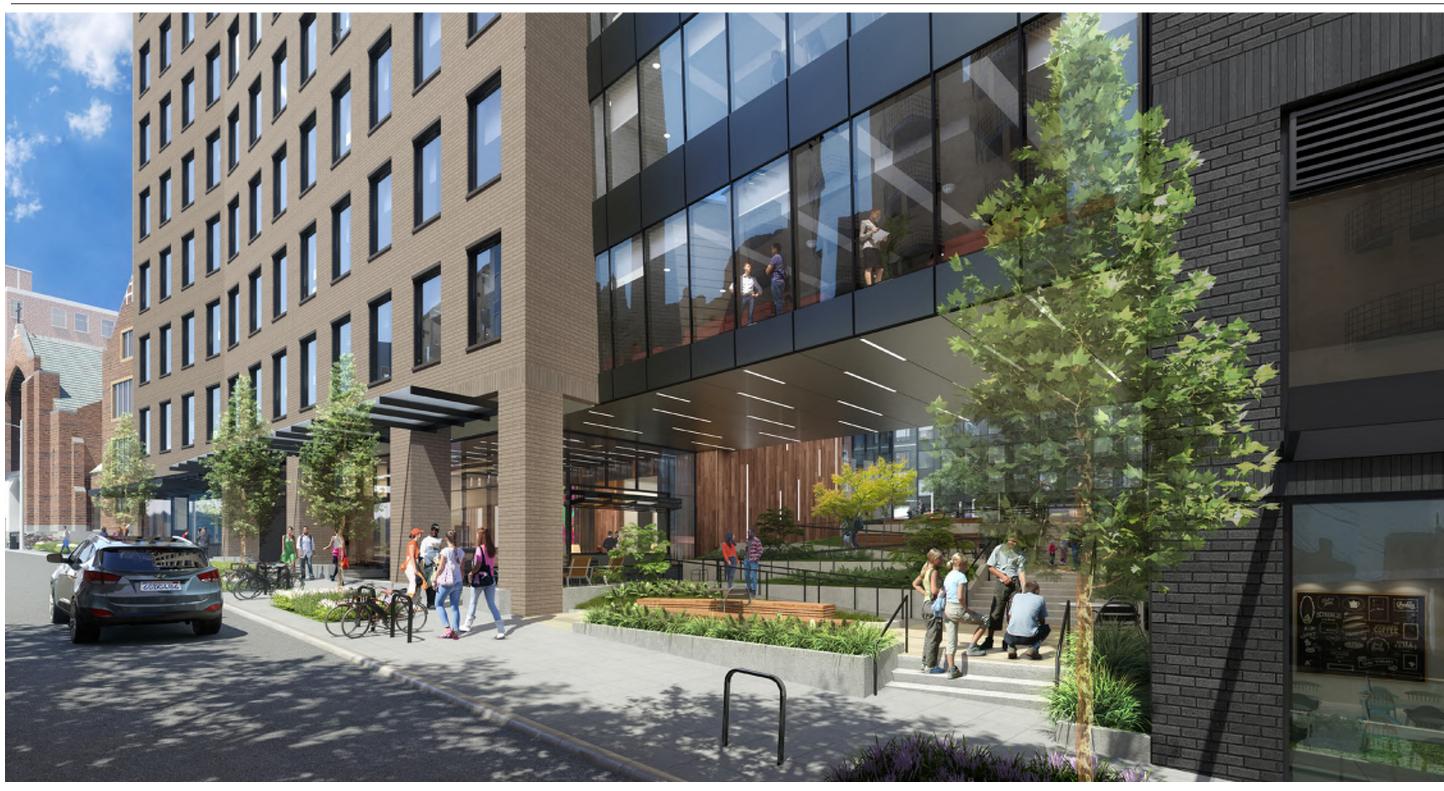
Exterior

# Aerial view looking South East



Mid-Block Connector

# **View of Mid-block Connector looking North**



Mid-Block Connector

# View looking South from the North - capturing the alley elevation



Neighborhood Open Space

# View looking West



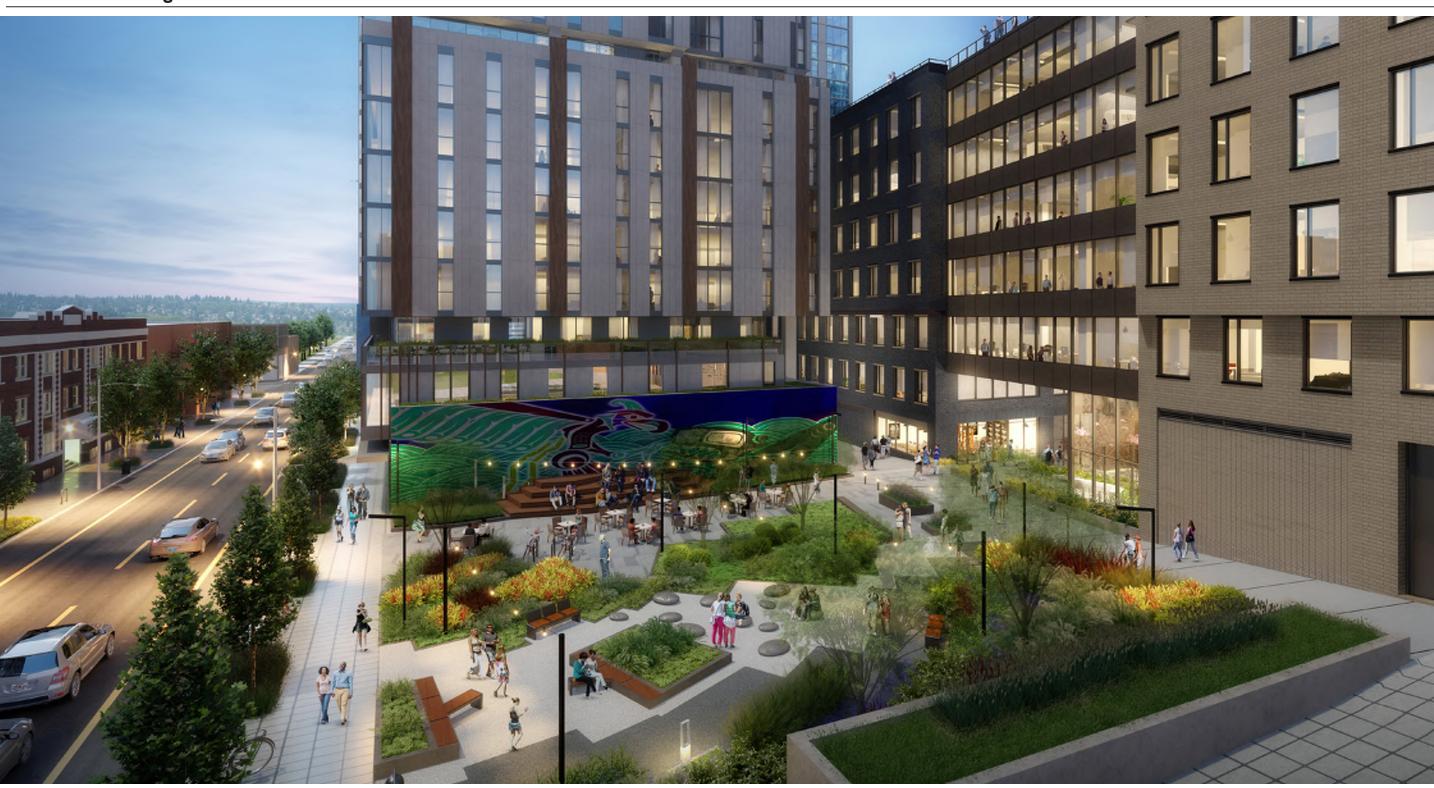
Neighborhood Open Space

# **View looking South West**



Neighborhood Open Space

# Aerial view looking North



Neighborhood Open Space

# Aerial view looking West



Neighborhood Open Space

# Aerial view looking North



Neighborhood Open Space

# Aerial view looking North



Mid-Block Connector

# View looking West towards 12th Avenue



Mid-Block Connector

# View looking North towards office lobby



Mid-Block Connector

# View looking East towards neighborhood open space





#### **LANDSCAPE / HARDSCAPE PLAN**

Overall Landscape Plan

#### Keynotes

- 01 Neighborhood Public Open Space
- 02 Mid-Block Connector
- 03 Arcade
- 04 Alley
- 05 Hub 2 Pocket park
- 06 Parking Garage Access

The overall concept is to re-connect the north-south streets through a public open space and mid-block connector.



#### LANDSCAPE / HARDSCAPE PLAN

#### Character Images - Lot A Street Level



Streetscape is welcoming for pedestrians and engages the retails uses



Retail spaces are well connected to the street activity



Seating along the arcade creates respite



Streetscape fits with the U District's character



Spaces blur the lines between outdoor and indoor



Lush plantings in the planting strip protect pedestrians and create a usable streetscape edge

#### **Street Level Character**

Overall, the design seeks to amplify the richness of the neighborhood and bring its essence onto our site. The project is all about connections – we want to connect to:

Neighborhood: The future site will reconnect areas that were previously disconnected from each other and to the surroundings.

Nature: Ideas will pull from the Pacific Northwest's intrinsic beauty - from the surrounding mountain ranges, to Ravenna Park, Portage Bay, and the UW campus.

Culture: The project wants to contribute to the community's vibrancy and bring a workplace environment that promotes innovation

To that end, the streetscapes are simple and incorporate short-term bike parking, planting and pedestrian friendly sidewalks. Both streetscapes match adjacent sidewalks to provide continuity. Brooklyn West matches the Hub 2 Streetscape design and 12th Avenue matches the future streetscape to the south, a 14' sidewalk section. New streets trees will be proposed at all streetscapes, and the alley is widened through a 5' dedication process.



# LANDSCAPE / HARDSCAPE PLAN

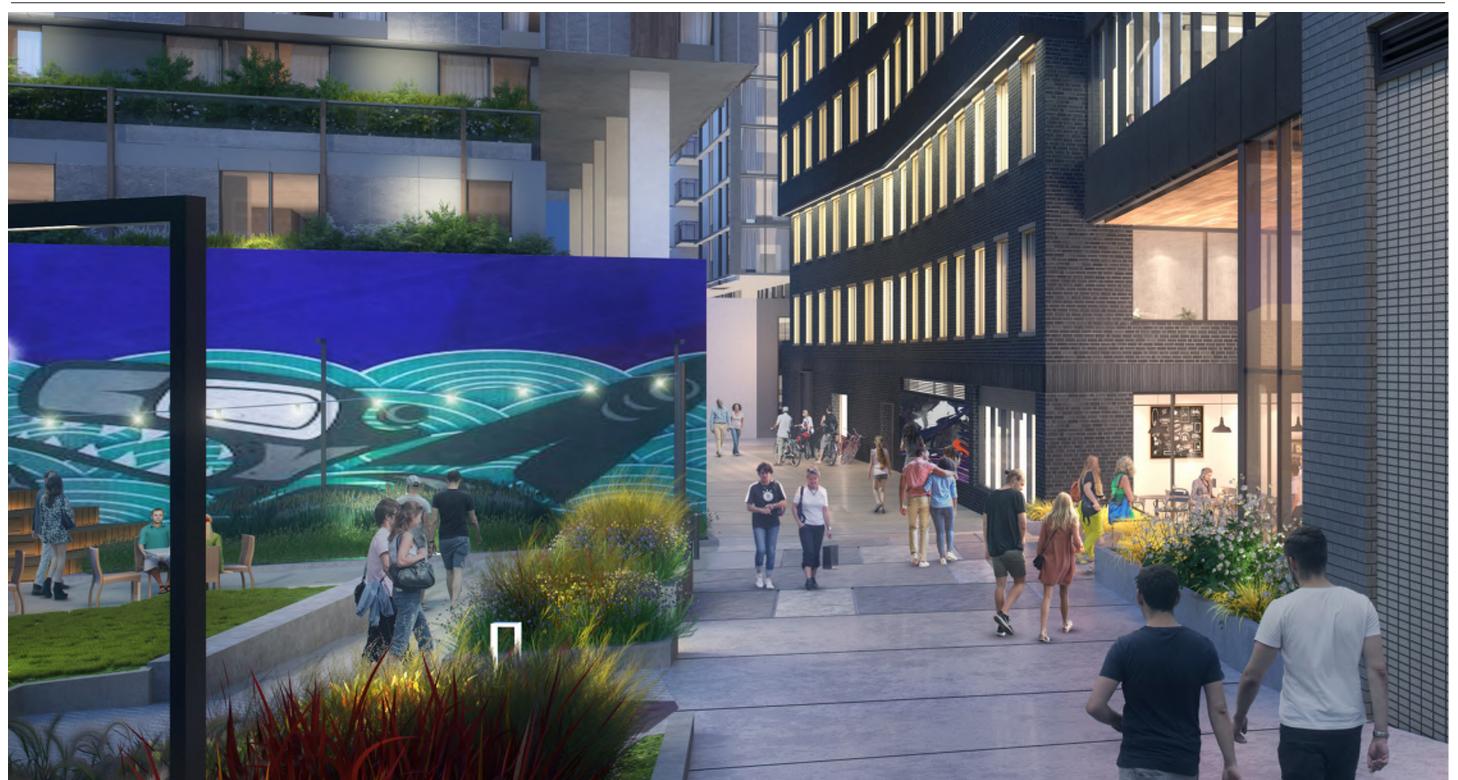
Rendering - 12th Avenue Streetscape

# **View of Mid-block Connector looking North**



Rendering - Alley

# View looking South from the North - capturing the alley elevation



#### Character Images - Neighborhood Public Open Space



Plaza could include playful temporary installations to bring vibrancy and positive use of space



Planting along south edge has bio-retention planters to mitigate stormwater and park paved areas



Food Trucks will be welcomed in and around the space



Paving Pattern integrates with Core Park to the North to make it one Park design



The grassy meadow could include fun seating elements



Seating steps along the south wall anchor the mural and create a space to see and be seen

#### **Public Open Space Character**

The design's biggest intention is to make the 2 parks feel like one design. In this case, the Hub 2 Park's fan/radial pattern stops in the new space and becomes a perpendicular array, which extends through the alley and in the mid-block connector, and to the Building B streetscape to connect them visually.

In order to connect pedestrians coming form the light rail station to 12th avenue, we established a main pedestrian spine along the southern side of the alignment.

The north park has two small plazas, so this south park creates a larger plaza to diversify the offering and includes space for a food truck to come and park in, moveable seating and plenty of room for pedestrian movement.

It is important to create a foreground to the mural that is proposed on the Hub 2's north wall - and there we propose seating steps that create a perch space, an area that feels comfortable to sit and people-watch; and bio-retention on either side.

Rendering - Neighborhood Open Space

# **Aerial view looking West**



Rendering -Neighborhood Open Space

# Aerial view looking North



#### Character Images - Mid-Block Connector



Space has a good flow, and is accessible/friendly to all



Planting is Pacific Northwest inspired



Seating is nestled in planting



Plantings are simple and shade tolerant



Seating areas are conducive to exchange of ideas



Wood used at benches brings warmth

#### **Street Level Character**

We wanted to bring the design language from the open space into the mid-block connector. This is done with paving patterns that keep the angle and color of the open space paving, and used in the alley as well.

Within the connector, the smallest grade change is 9', and the largest grade change is 13'. Ramps are cleverly located to create 3 usable areas for seating, bottom, middle and top.

A main stair axis is located on the south side, and this create more opportunities for planting and nestling spaces on the north side.

Fixed and moveable seating will be reminiscent of the open space seating steps, and vertical markers will help pedestrians with intuitive wayfinding. Retail and Lobby doors will coordinate with the mid-block connector and activate it.

On 12th Avenue, the arcade connects directly with the Mid-block Connector and create a lively space to sit, and be part of the street activity.



Rendering - Mid-Block Connector

# View looking East towards neighborhood open space



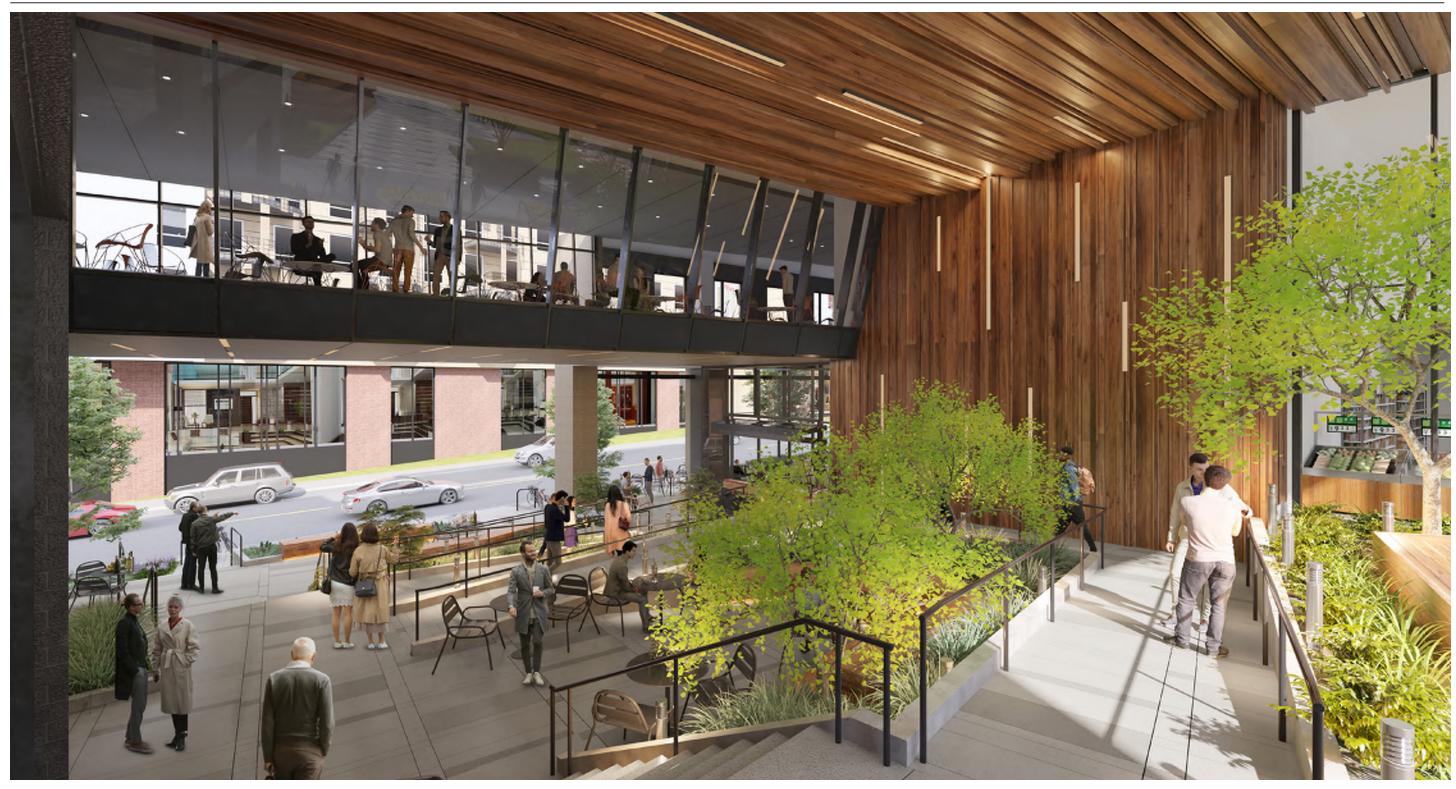
Rendering - Mid-Block Connector

# View looking North towards office lobby



Rendering - Mid-Block Connector

# View looking West towards 12th Avenue



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#### Character Images - Upper Levels Building A

#### Levels 2 and 3



Non-infiltrating bio-retention planters



Planted with sedges and rushes

#### Level 8



Green roof



Flexible spaces for small or large groups



Movable furniture



Maximize views



Encourage all season use

#### Landscape Character

#### **LEVELS 2 AND 3 - PODIUM**

Setback spaces on the south and west sides of the building will allow for stormwater mitigation of the upper roofs. A slab step accommodates the whole planter profile and will match sill height from the office interiors, for added visual interest.

#### **LEVEL 8 - ROOF**

The outdoor space is directly connected to the interior space. It is meant to be used by all office users, and will create large and small seating groups of movable furniture for dining, lounging, and outdoor play. Planters delineate a path of travel between higher tower and lower exit stair, and green roof area promotes a connection to nature and open views to the surrounding mountain ranges.

Building A Upper Levels



Street Section

#### Section A at 12th Ave Street



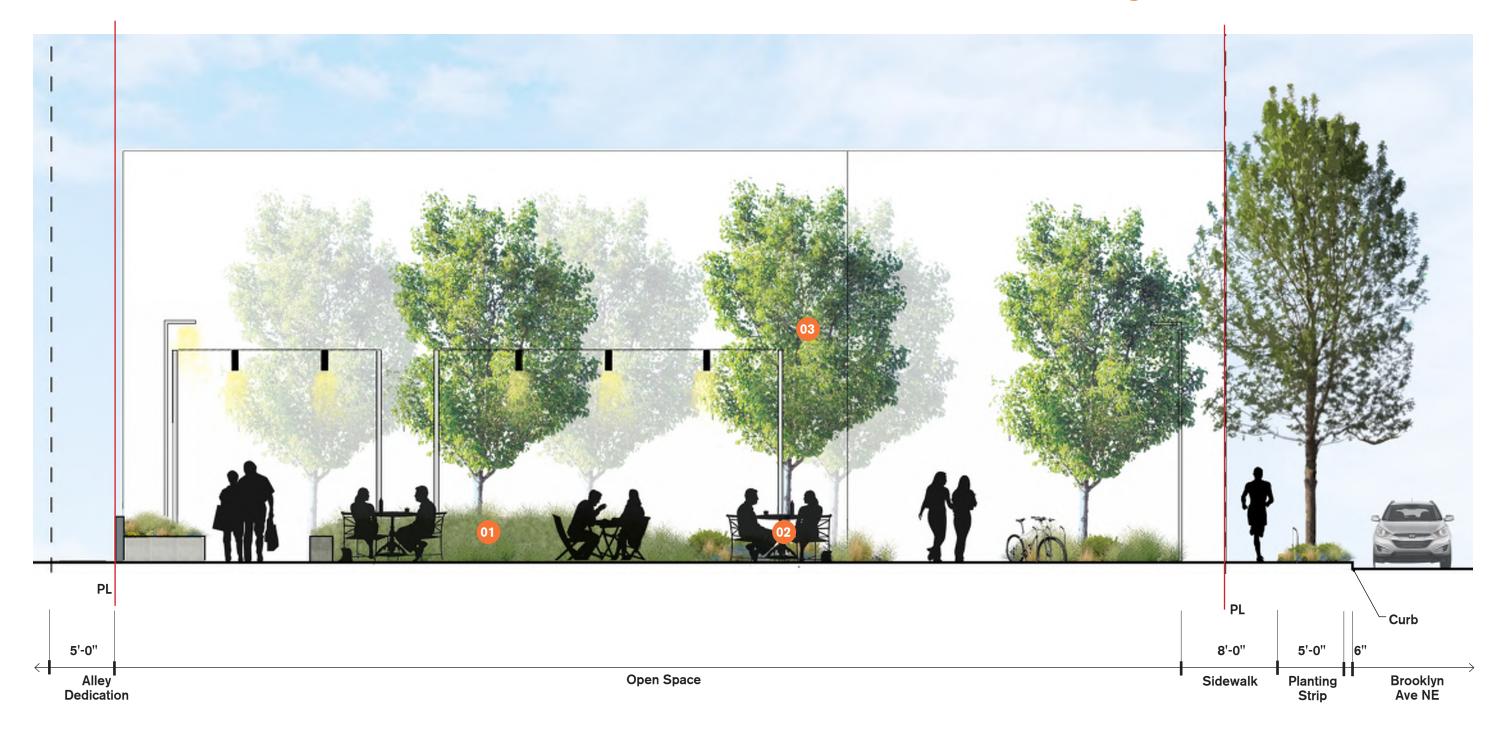
#### **Keynotes**

- 01 Lobby
- 02 Office
- 03 New Street Trees
- 04 Arcade with movable tables and chairs
- 05 Weather Protection



# Keynotes

- 01 Planting
- Movable Furniture
- 03 Tree

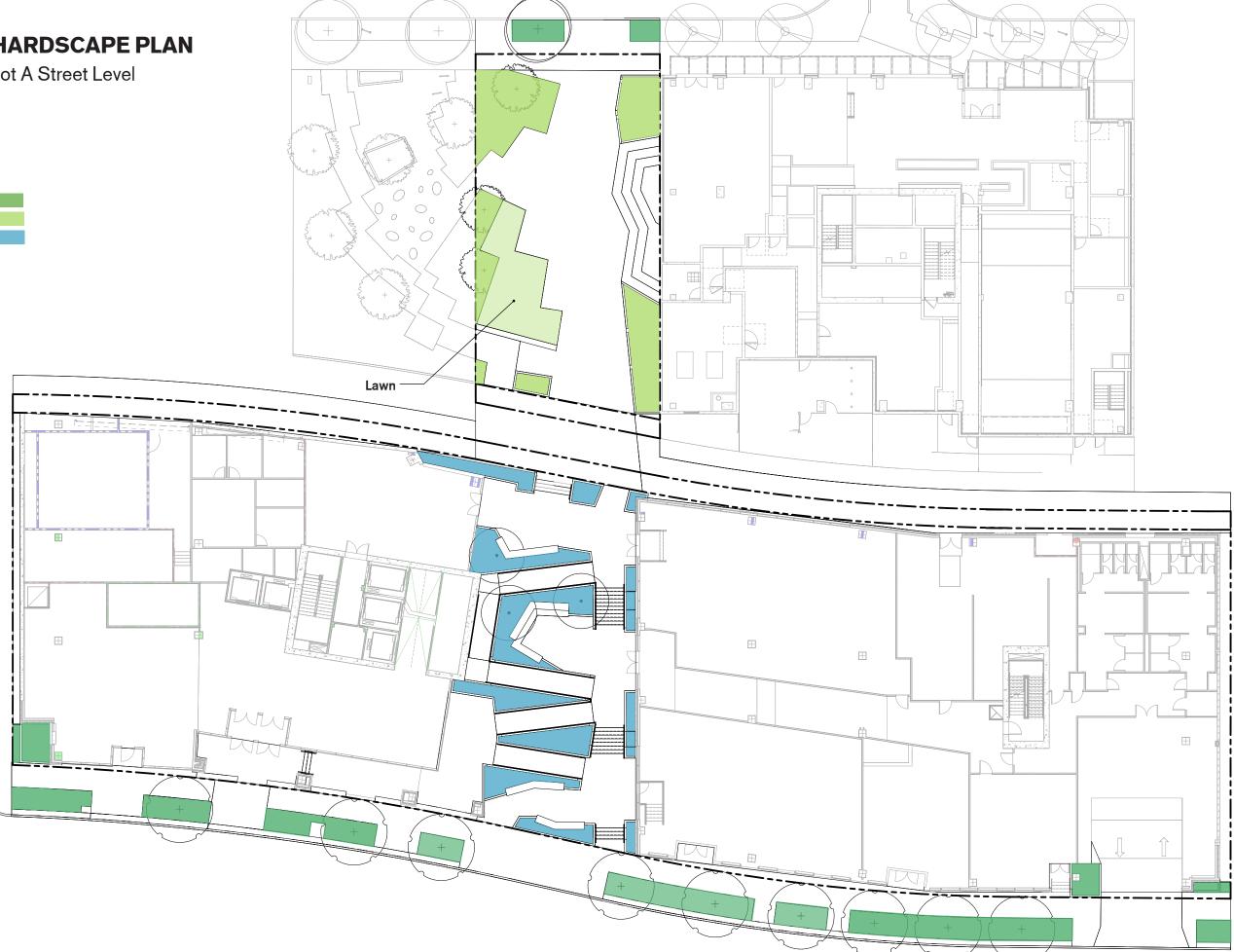




Planting Diagram - Lot A Street Level

KEY

STREETSCAPE PLANTING MID-BLOCK PLANTING





Planting Palette - 12th and Brooklyn Avenues



Bosque Elm, Brooklyn Avenue



Crescendo Sugar Maple, 12th Avenue

Trees





Boxleaf Honeysuckle



Silvery Sunproof Liriop



Bishop's Hat



Elijah Blue Fescue





California Grey Rush

**Shrubs** 

Bagatelle Barberry

Sweet Box

Grasses and perennials

**Bio-retention** 

# Planting Palette - Neighborhood Public Open Space



Green Vase Zelcova



Mt Vernon Cherry Laurel

Kelsey's Dogwood

Wheeler's Dwarf Japanese MockOrange

**Shrubs** 



Boxleaf Honeysuckle



Silvery Sunproof Liriope







California Grey Rush





Purple Moor Grass





Eco-Lawn

**Trees** 

Grasses and perennials

**Bio-retention** 

Grass

Planting Palette - Mid-Block Connector



Autumn Moon Maple



Koto No Ito Japanese Maple

**Trees** 





Variegated Winter Daphne

Shrubs



Japanese Tassel Fern





Everillo Sedge



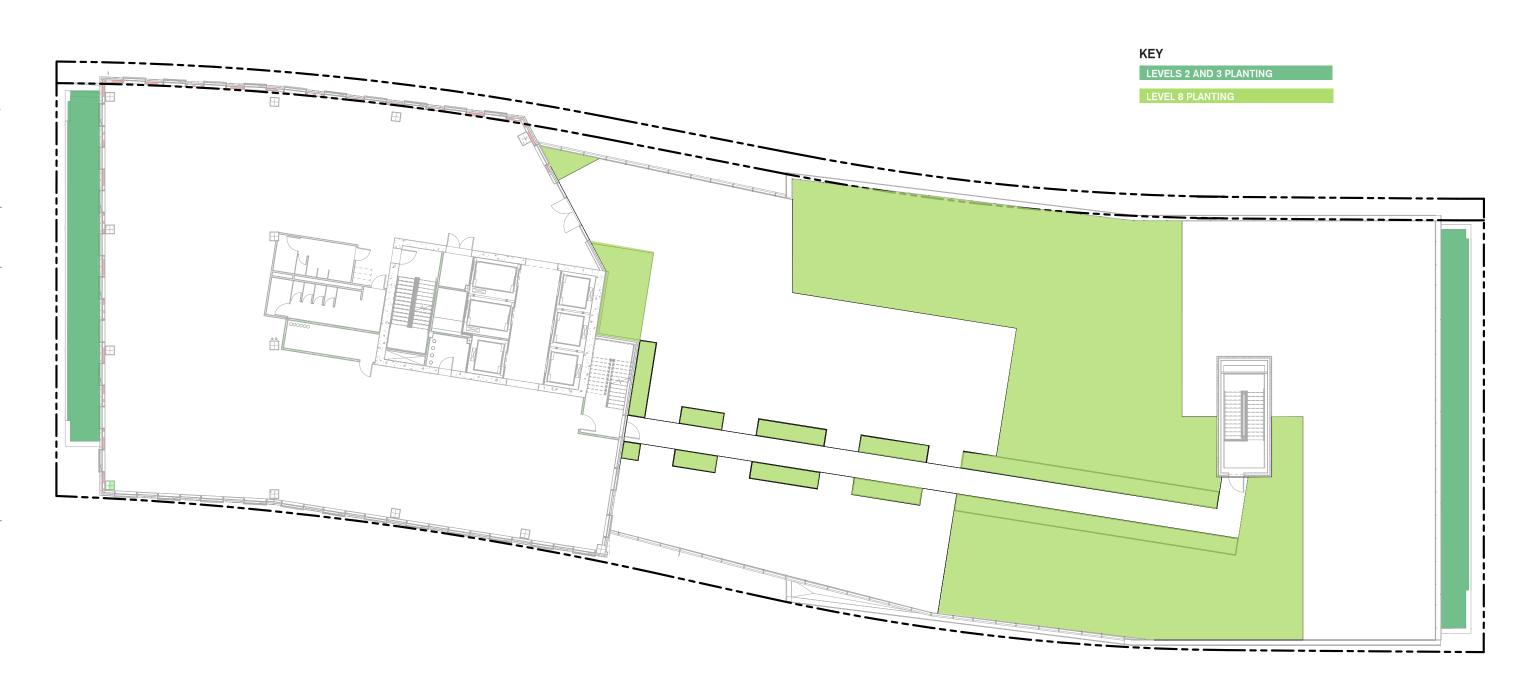
Ivory Prince Hellebore



Ogon Variegated Sweet Flag

**Grasses and perennials** 

Planting Diagram - Building A Upper Levels





Planting Palette - Building A upper Levels

Levels 2 and 3



California Grey Rush



Common Rush

# Level 8



Wheeler's Dwarf Japanese MockOrange



Bear's Breeches



**Humpty Dumpty Spurge** 



Creeping Jenny



Sedum Vegetated Mat

Rendering - Neighborhood Open Space

# Neighborhood Open Space



Rendering - Neighborhood Open Space

# Neighborhood Open Space







Rendering - Neighborhood Open Space

# Neighborhood Open Space







# **EXTERIOR LIGHTING PLAN**

#### **Lighting Glow Plan**

#### **Lighting Glow Plan**



#### **Fixture Summary**

Recessed Wall Grazer



Recessed Ceiling and Wall Diffuse LED Linears



In-grade Uplight



\_ED Downlight

#### **Goals Summary**

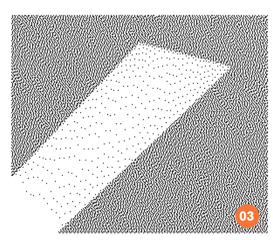
Lighting is designed to provide a visual connection between the park, mid-block connector, and Building A. The park is illuminated by a combination of bollards, pedestrian-scale poles, catenary fixtures, and integrated lighting in benches. The East facade of Building A facing the alley will be grazed with a linear light, highlighting the texture of the brick. As one moves through the mid-block connector, the lighting changes to wall and ceiling mounted linears. Downlights provide lighting at building entries on the West facade while each column receives an ingrade uplight.

# **EXTERIOR LIGHTING PLAN**

Mid-Block Connector Lighting







Recessed Ceiling and Wall Diffuse LED Linears



Seating LED strip lights



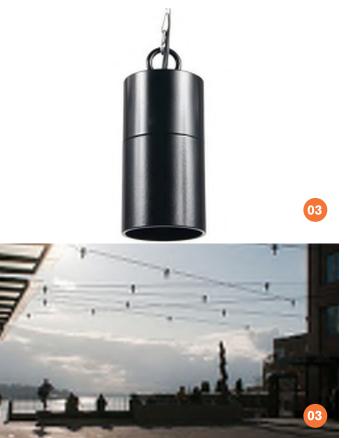
# **EXTERIOR LIGHTING PLAN**

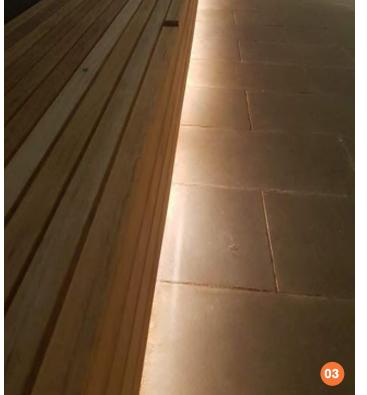
# Neighborhood Open Space Lighting





Pedestrian Pole light





Seating LED strip Light

Rendering - Neighborhood Open Space at night

# Aerial view looking North



Rendering - Neighborhood Open Space at night

# Aerial view looking South



#### Upper Levels Signage Plan



#### Street Level Signage Plan



#### Keynotes



02 Garage entry ID



Primary retail tenant with entry ID sign parallel to street - vehicular orientation



Primary retail tenant blade perpendicular to street /pedestrian orientation



05 Upper level tenant signage



Signage will be oriented for both pedestrian and vehicular orientation as viewed from 12th Avenue as well as the alley.

#### **DESIGN DEPARTURES**

Summary of Design Departures

#### **DESIGN DEPARTURE**

# 1 - Maximum Facade Length

Increase from 250' to 330'

# 2a - Maximum Floor Area

Increase from 24Ksf to 30 Ksf

# 2b - Tower Separation

Increase point at which structures are required to separate from themselves from 45' to 95' above average grade

# 3 - Required Open Space

Allow required open space to be reduced by providing a voluntary mid-block connection

# 4 - Side Lot Line Setbacks

Reduce side lot line setback above 95' from 15' to 10'

# 5 - Overhead Weather Protection

Allow for more height above the sidewalk & partially discontinuous

#### **TYPE 1 DIRECTOR DECISION**

# 1 - Garage Access Location (Granted)

Allow garage access to occur from 12th Ave NE

# 2 - Loading Berth Size

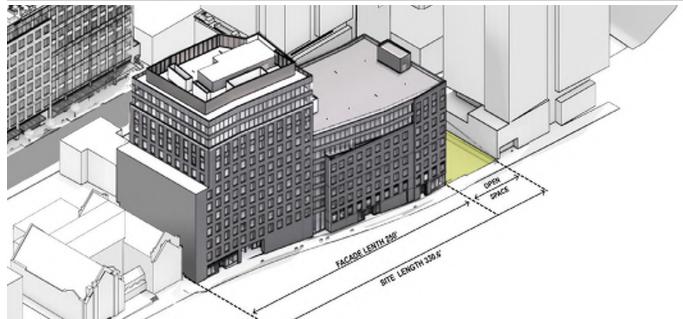
Reduce minimum loading berth size from 10'x35' to 10'x25'

DESIGN DEPARTURES

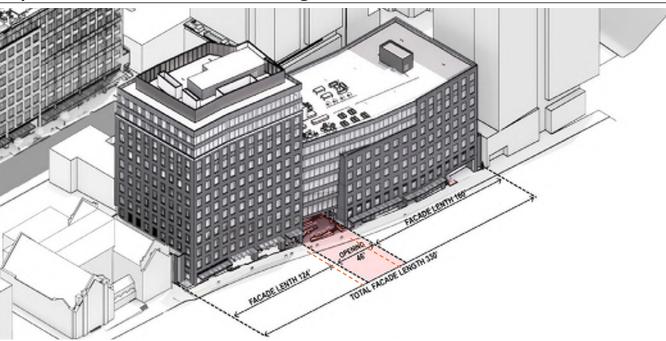
DEPARTURE IS BOARD SUPPORTED

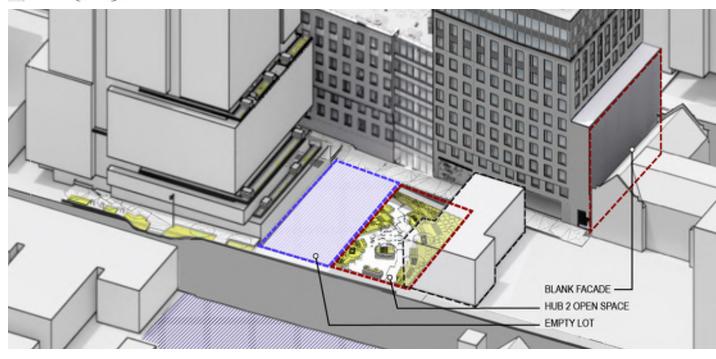
Building A: Departure #1

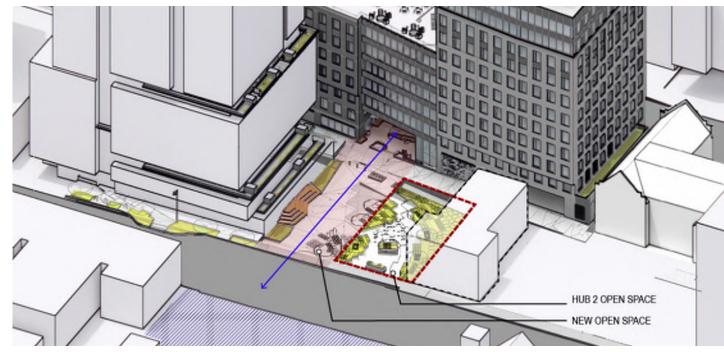
Code Compliant - Maximum Facade Length 250'











REQUIREMENT REQUEST RATIONALE RELEVANT DESIGN GUIDELINES

#### 1 23.48.040.D.1 Max Façade Width

The maximum width of a structure may not exceed 250'. Portions of the same structure that exceed 250' in length may be measured separately only if there are no internal connections between stories above grade.

The proposed design requests to have the maximum facade width increased to 330'

The proposed design not only intends to provide new neighborhood open space, but also seeks to create a **voluntary** mid-block connection along 12th Ave NE. With this departure, the project better meets the intent of the neighborhood design guidelines by promoting mid-block pedestrian connections that will also activate the HUB 2's open space. From a pedestrians point of view, this will significantly decrease the perception of the buildings mass at street level.

**PL1:** Connectivity

**PL3:** Street-Level Interaction

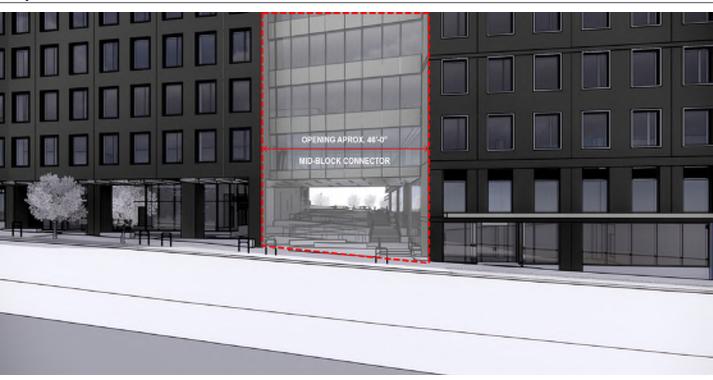
DC2: Architectural Concept

DC3: Open Space Concept

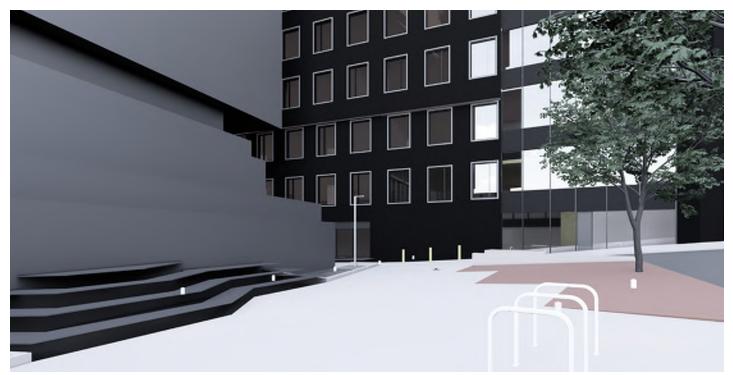
**Code Compliant - View From 12th Ave** 



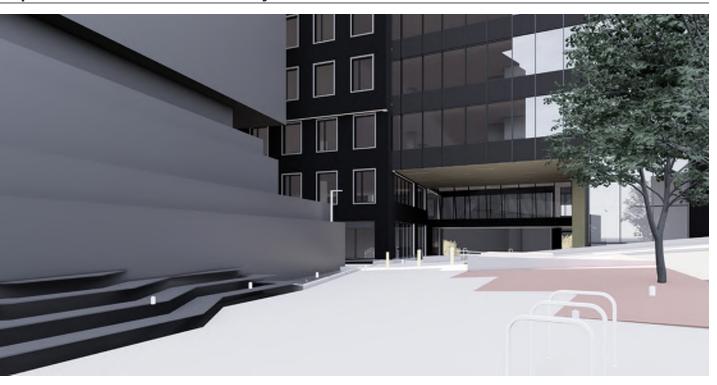
**Departure - View From 12th Ave** 



**Code Compliant - View From Brooklyn Ave** 



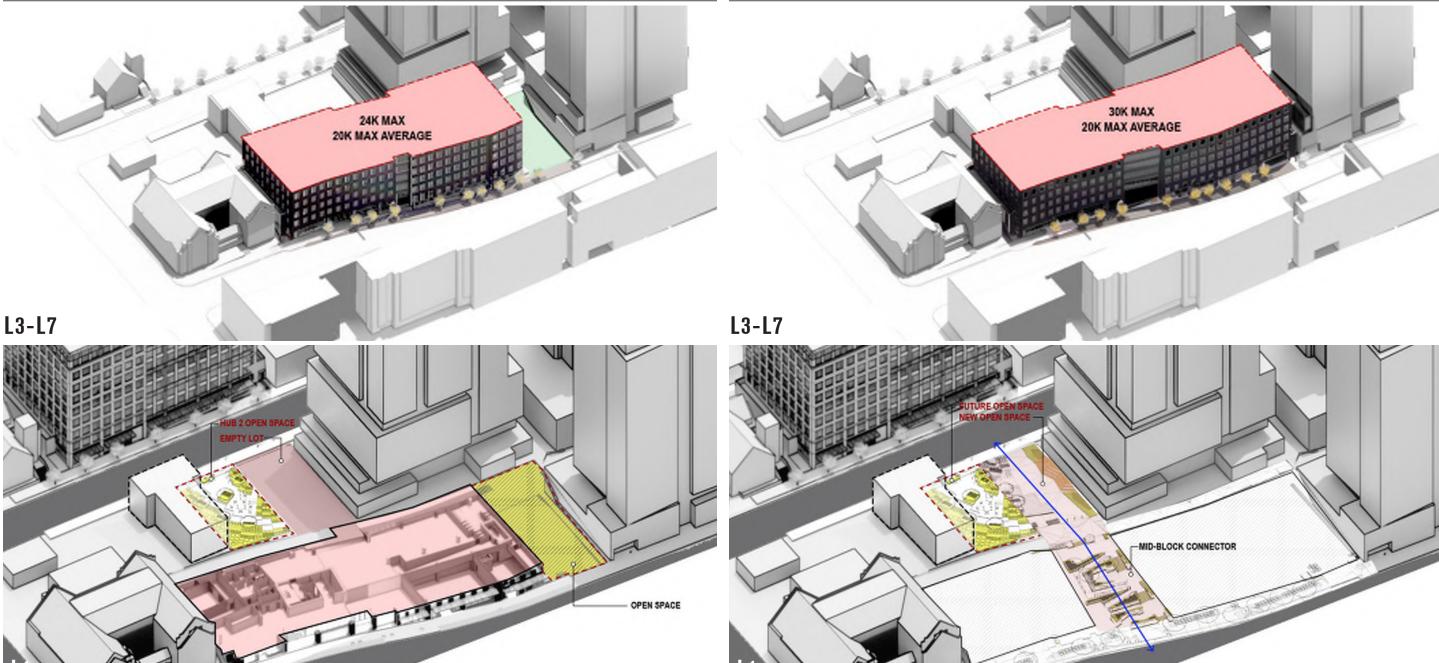
**Departure - View From Brooklyn Ave** 



Building A: Departure #2a

#### Code Compliant - Maximum Gross Floor Area (any Level) 24,000 SF

#### Departure - Maximum Gross Floor Area (L3-L7) 29,200 SF



REQUIREMENT REQUEST RATIONALE RELEVANT DESIGN GUIDELINES

#### 2 23.48.645.A.2 High-rise Floor Area Limits

Any single story in a non-residential structure between 45 feet and 160 feet in height may not exceed 24,000 SF. All stories in a structure between 45 feet and 160 feet in height may not exceed an average of 20,000 SF.

The proposed project requests to exceed the maximum allowable gross floor area for levels 3-7 to be 29,200 SF. The average of all stories will not exceed the code required 20,000 SF

The proposed design has placed a high priority on enhancing pedestrian connectivity while still being able to maximize the allowable development area of the building. The project will provide a **voluntary** mid-block connection along 12th Ave NE which will effectively split the block and the proposed building in half to better correspond to new and existing neighborhood open space.

**PL1:** Connectivity

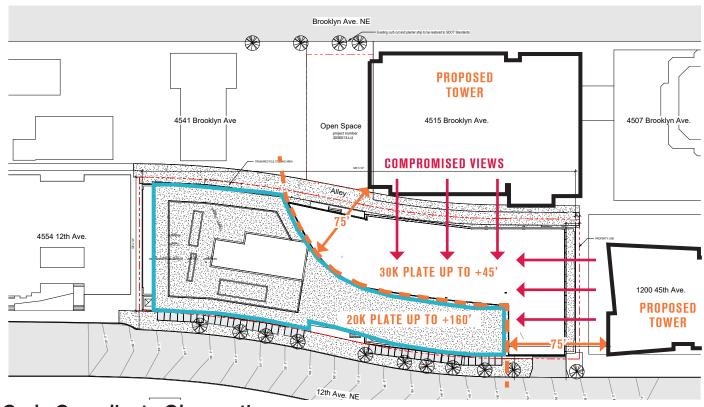
**PL3:** Street-Level Interaction **DC1:** Project Uses & Activities

DC3: Open Space Concept

#### **DESIGN DEPARTURES**

Departure #2b - Tower Separation

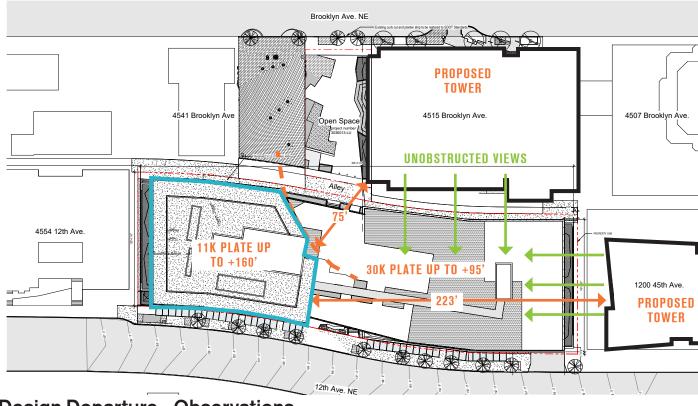
#### Code Compliant - Tower Setback: Site Plan



#### **Code Compliant - Observations**

- Mid to upper levels of adjacent apartment buildings would not have access to views to the west
- Additional tower floor plate area above 95' creates more shadow on open spaces along Brooklyn
- The tower massing is more bulky and does not conform to the goals of creating transitional Architecture

#### Design Departure - Tower Setback: Site Plan



#### **Design Departure - Observations**

- Adjacent apartment buildings mid to upper levels will have views to the west
- Neighborhood open space receives less shadow from the SW
- Tower massing is transitional in nature and is a much more suitable scale for the neighborhood

#### REQUIREMENT REQUEST RATIONALE RELEVANT DESIGN GUIDELINES

#### 2B 23.48.645.E.2 Separation

On lots with structures that exceed 95' height limit, separation between structures or portions of the same structure is required as follows: Within a lot. A minimum separation of 75 feet is required between any highrise portion of a structure and all other portions of the same structure that exceed 45 feet in height

The proposed design requests that the requirement to separate any highrise structure from other portions of the same structure be removed due to the odd zoning envelope created by multiple tower setbacks.

The proposed design accomplishes the goals of separation better than a code compliant scenario, by creating more light, air, and views for the adjacent residential towers to the south and the east. In the code compliant scenario, the code allows for the building to have an oddly shaped leg of the building up to 160', with other portions needing to be dropped to 45' in height. While the drop in height to 45' for the southern and eastern portions of the building create more space between buildings at lower levels, it does not allow for the other buildings to take advantage of views to the west above 95'. Additionally, the neighborhood open spaces will experience more access to sunlight during the afternoon.

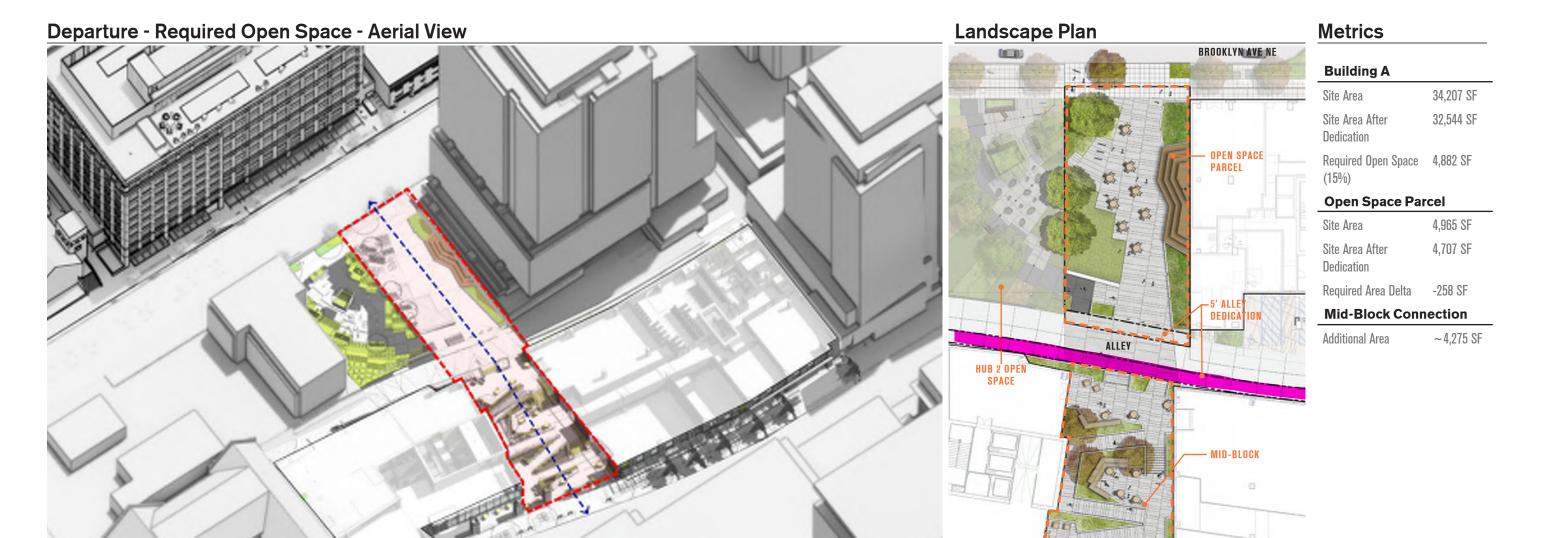
DC2-1.b: Reduce Bulk & Scale

DC2-6.b: Tall Form Placement/Spacing

DC2-1.c: Tall Form Design DC2-1.d: Intermediate Scales

#### **DESIGN DEPARTURES**

Building A: Departure #3



**REQUEST REQUIREMENT RATIONALE RELEVANT DESIGN GUIDELINES** 

#### 3 23.48.650.B Required Open Space

Any lot exceeding 30,000 SF in size must provide 15% of the lot area as open space

The proposed project requests that the required usable area for off-site open space be reduced from 15% to 14.5%

The proposed project determined that the building and landscape design would better meet the neighborhood design guidelines by providing new neighborhood open space in a location that would further enhance and expand a future planned pocket park. Additionally, the project will provide a voluntary mid-block connection to these new open spaces to ensure additional pedestrian activity.

12TH AVE NE

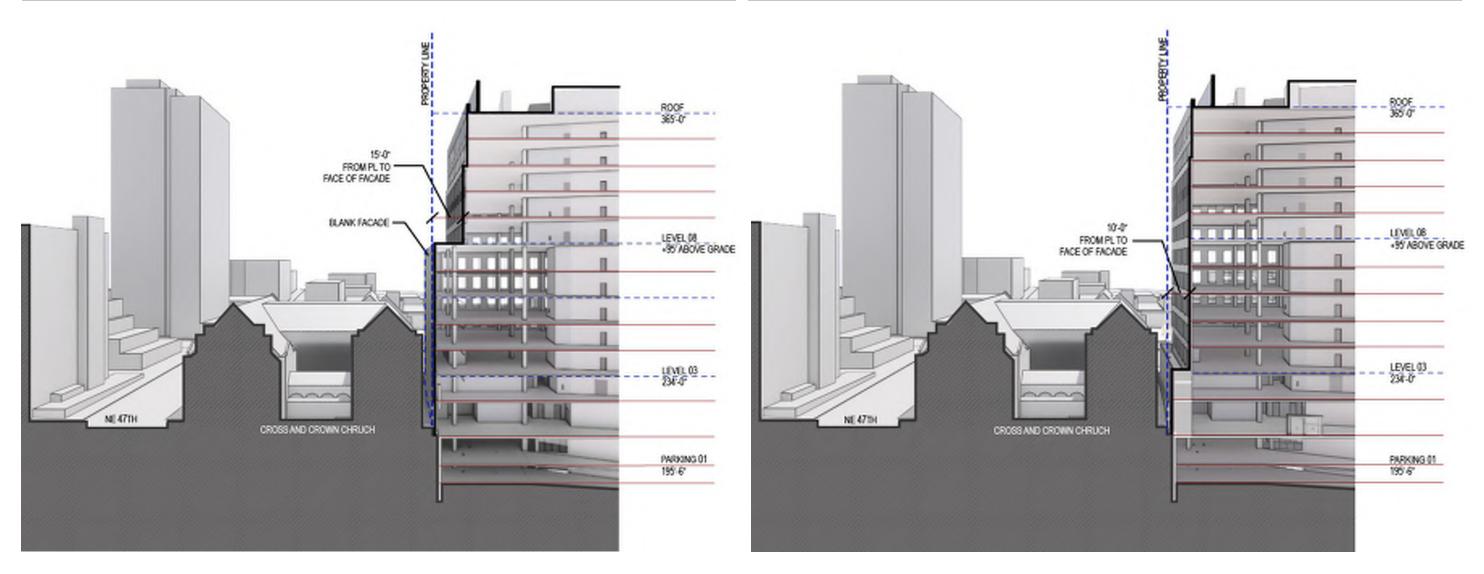
**PL1:** Connectivity

**PL3:** Street-Level Interaction **DC1:** Project Uses & Activities

DC3: Open Space Concept

### Code Compliant - 15' setback above 95'

### Departure - 10' Setback From Level 2 to Roof Level



### REQUIREMENT REQUEST RATIONALE RELEVANT DESIGN GUIDELINES

### 4 23.48.645.D Side Lot Line Setbacks

A minimum setback of 15' is required from any side lot line that is not a street or an alley for all portions of a high rise structure exceeding 95 feet in height The proposed project requests to reduce the minimum setback above 95' from 15' to 10' on the north lot line only

By code, any high-rise structure can be built right on the property line all the way up to 95' above grade. The proposed design intends to provide a better environment for adjacent lots to the north by adding a **voluntary** setback along the north facade equaling a minimum of 10' all the way down to Level 3. An additional **voluntary** setback is also created along the sidewalk. This allows the massing of the building along 12th Ave to better relate to the scale of the church and also provides more light and air for adjacent properties.

CS2: Urban Pattern & Form

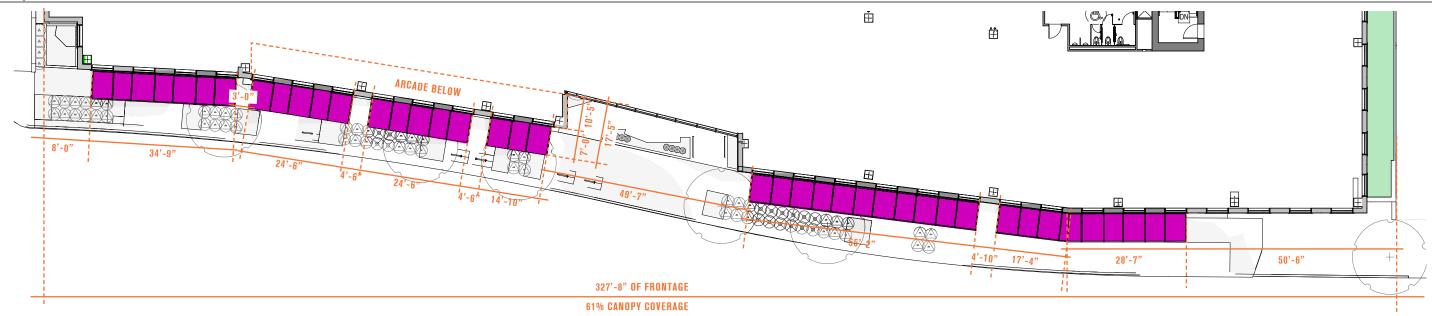
**CS3:** Architectural Concept & Character

DC2: Architectural Concept

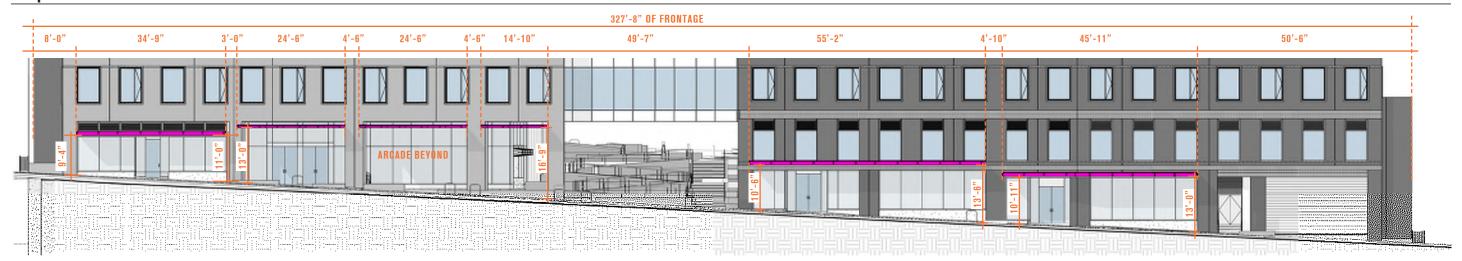
### **DESIGN DEPARTURES**

Building A: Departure #5 - Overhead Weather Protection

### **Departure - Overhead Weather Protection Standards - Plan View**



### **Departure - Overhead Weather Protection Standards - Elevation View**



### **REQUIREMENT REQUEST RATIONALE RELEVANT DESIGN GUIDELINES**

### 5 23.48.640.F Overhead Weather Protection

Overhead weather protection 60% of Frontage:

- 1 Extending 6' from structure: 8' Min & 13' Max above sidewalk
- 2 Extending greater than 6' from structure: 10' Min Extending more than 6' from structure:
- & 15' Max above sidewalk

The proposed project requests: Extending 6' from structure: Increase Max to 13'-6" above sidewalk

The proposed project is on a site that slopes a significant amount along the 12th Ave frontage, which necessitates the canopies step in height across the frontage. Additionally, in an effort to ensure the canopies maintain visual hierarchy between types & sync up with the massing moves of the building, the proposed design Increase Max to 16'-9" above sidewalk requests adjusting the maximum allowable height of canopies along the frontage. In addition, the proposed design also introduced an arcade at the highest canopy to ensure there is ample protected area below the canopy.

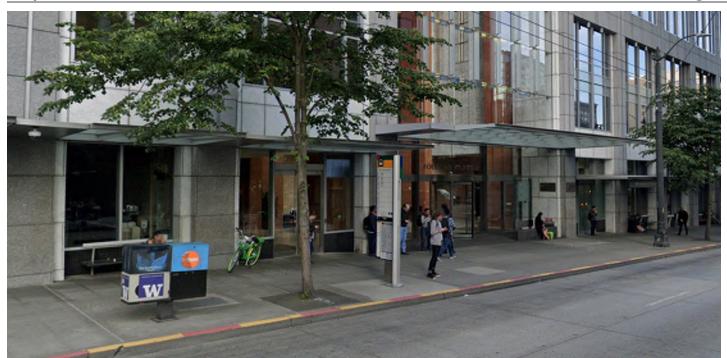
DC2-1.c: Solid & Grounded Form DC2-3.a: Human-scaled Rhythm

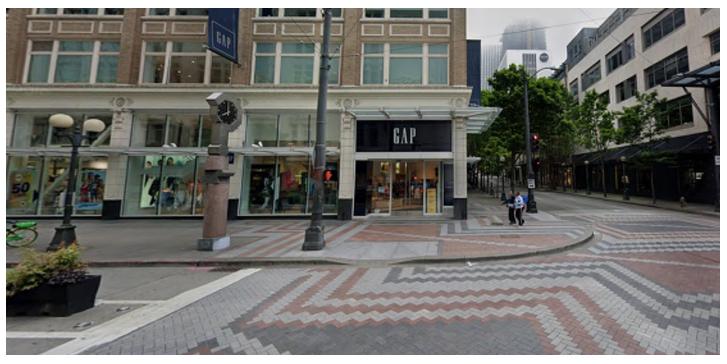
**PL2-C.1:** Canopy Locations & Coverage

### **DESIGN DEPARTURES**

Building A: Departure #5 - Overhead Weather Protection

**Departure - Overhead Weather Protection Standards - Seattle Precedent Images** 









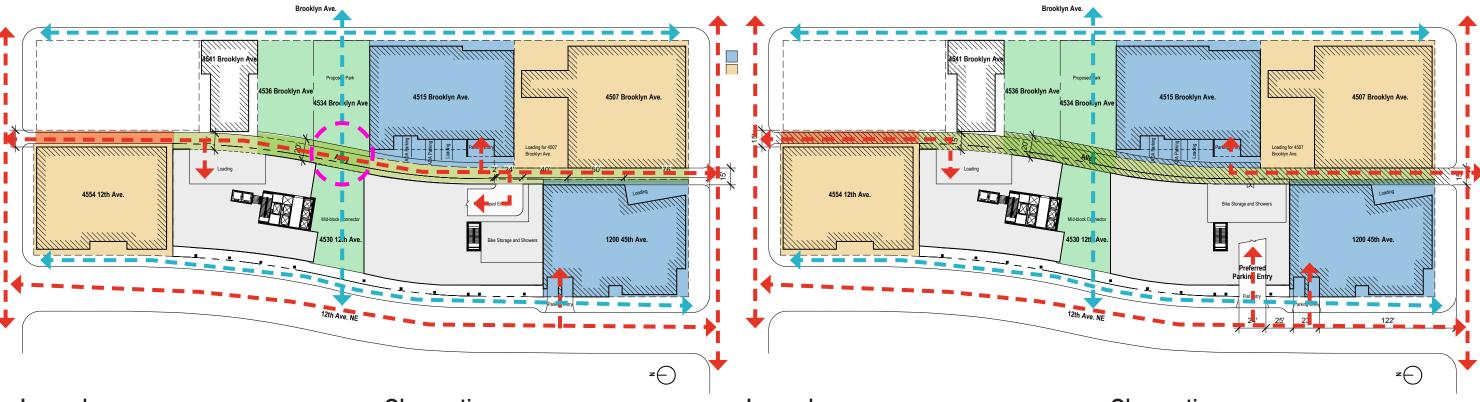
### **DESIGN DEPARTURES**

Building A: Type 1 Decision #1

**Code Compliant - Garage Access At Alley** 

# SEPTEMBER 2,

### Departure - Garage Access On 12th Ave NE



**RATIONALE** 

# Legend

Proposed/Permitted Projects
Buildings to Remain

Open Space

Unimproved Alley (10')

Partially Improved Alley (15')

Improved Alley (20')

Vehicle Route

**REQUIREMENT** 

Pedestrian Route

Vehicle & Pedestrian Conflict

### **Observations**

**REQUEST** 

- The alley will only have certain portions improved to code standards widths due to existing buildings to remain and will make vehicle access to the garage from the alley congested
- The mid-block connection and neighborhood open space will create an influx of pedestrian movement in the east/west direction, and will directly conflict with the large percentage of vehicles that will be required to access the garage to the proposed office building

### Legend

Proposed/Permitted Projects
Buildings to Remain

Open Space

Unimproved Alley (10')

Partially Improved Alley (15')

Improved Alley (20')

Vehicle RoutePedestrian Route

Vehicle & Pedestrian Conflict

### **Observations**

- 12th Ave NE is a large ROW width with ample 12-14' sidewalks being proposed. In addition, the residential tower to south has garage access proposed from 12th Ave. The proposed design believes consolidating garage access to 12th Ave will limit pedestrian & vehicle conflicts to a more forgiving area.
- Moving the garage access to 12th Ave, reduces vehicle congestion in the alley and makes for a better mid-block connection and open space.

### 6 23.48.085.D.1 Access

Access to parking and loading shall be from the alley when the lot abuts an alley improved to current development the standards.

The proposed project requests that this development be allowed to have the garage access located along 12th Ave NE to reduce the number of potential pedestrian and vehicle conflicts.

This site is providing a very important and **voluntary** mid-block connection to further enhance connectivity in the University District. There is a significant amount of grade change across the development, and the design has gone to great lengths to ensure that pedestrians can easily access the Mid-Block connection as well as neighborhood open space from both Brooklyn and 12th Ave NE. Relocating the garage entry allows for a much safer environment for pedestrians to connect to this site in the east/west direction.

# RELEVANT DESIGN GUIDELINES

**PL1-1.d:** Treat Alleys as Pedestrian Routes

**PL1-2.b:** East-west Mid-Block Connections

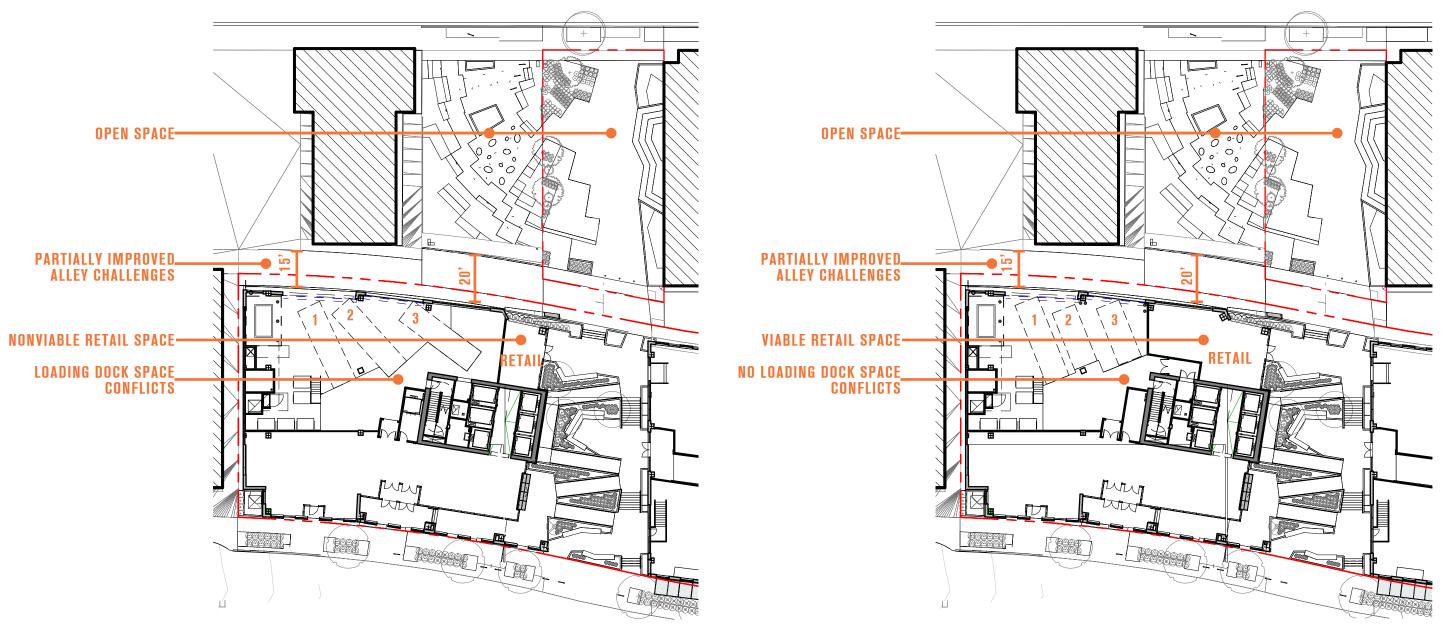
**PL1-2.d:** Usable, Safe, People Friendly Spaces

### **TYPE 1 DIRECTOR DECISION**

Building A: Type 1 Decision #2

### **Code Compliant - Loading Berth Length - Plan Vlew**

### Departure - Loading Berth Length - Plan Vlew



REQUIREMENT REQUEST RATIONALE RELEVANT DESIGN GUIDELINES

### 6 23.54.035.C.2 Loading Berth Length

Minimum loading berth length for medium demand uses shall not be less than 35' in length. Exceptions are allowed per the Director and lengths may be reduced to no less than 25' in length.

The proposed project requests that this development be allowed to reduce the minimum length for two of the three required loading berths to be 25'.

This site located in an area where only certain portions of the alley can be improved to be 20' wide. The design has carefully pushed loading services to be as far north as possible to mitigate visual access to these services as seen from the neighborhood open space and to minimize the impact internally to allow for more retail space flanking the alley and mid-block connection. The design team believes that it is better to have more retail to promote alley activation, which a code compliant loading berth length would negatively impact

PL1-1.d: Treat Alleys as Pedestrian Routes

**PL1-2.d:** Usable, Safe, People Friendly Spaces

**PL1-2.c:** Shared Alleys as a Second Front



ARCHITECTURE PLANNING INTERIORS STAINABILITY

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EDG Guidance

BOARD PRIORITY	BOARD COMMENTARY / GUIDANCE	DESIGN RESPONSE	DESIGN GUIDELINES
1. RESPONSE	COMMENTARY:		
TO CONTEXT	a. The Board appreciated the high-level analysis of the neighborhood, specifically acknowledging the transitional nature of the site from highrise to midrise scale, as well as identifying opportunities for creating improved east/west connectivity.	a. (See page 20)	a. CS2-EARLY A, CS2-B- 2.,CS2-C-2., CS2-D
	b. However, the Board noted greater analysis of street-level interaction and street wall conditions (types of opening, scale of retail, base heights and datums etc.) would have been helpful to better understand what cues the design team will take from the neighborhood in terms of adding to street life and integrating the building into the neighborhood at street level.	b. (See page 20)	b. CS2-B-2., CS2-1-e.
	GUIDANCE:		
	a. As the project evolves the Board provided guidance to continue analysis of important street level cues and refinement of the project in response to these observations. This information should be illustrated clearly at the next meeting.		
2. MASSING	COMMENTARY:		
CONCEPTS	a. The Board discussed the massing options, stating Option 1 was less successful in response to the immediate context to the north and placement of the open space; and Option 2 lacked connection and relationship with the open space.	a.	a. PL1-A, CS2-D
	b. The Board strongly supported Option 3. The Board acknowledged the development's campus-like quality (including Building site A, B, and the neighborhood open space) in terms of broader urban planning, open space, and connectivity. The Board echoed public support and was strongly supportive of the proposed mid-block connection from 12th Avenue NE to the alley, and placement of the neighborhood open space to further improve and complete the east/west connectivity from 12th to Brooklyn Ave.	b.	b. PL1, PL1-2
	c. The Board strongly supported the arrangement of uses at ground level, which were successful in programming active uses along 12th Avenue NE, as well as along the mid-block connection and alley. In addition, the Board echoed public support for a diversity of retail sizes. The Board noted retail making its way into the throughblock, especially at the alley, was a thoughtful response to neighborhood goals related to alley activation.	c.	c. CS2-2-c. PL1-2-c., DC1-1
	d. The Board supported the overall massing and subtle shifts, noting the faceted façade was intriguing. However, the architectural language needed to be further pushed and clarified. Moving forward the Board provided the following guidance:		
	GUIDANCE:		
	d-i. Improve the continuity and wholeness of the overall building expression, as currently the pieces (brick "fabric" expression and glass curtain wall) appear to be conflicting and independent of one another. The Board expanded on this topic, commenting the starkness of the glass curtain wall language was conflicting with the fabric or punched, eroded quality of the brick and the void of the mid-block connection. The Board noted one way to achieve EARLY DESIGN GUIDANCE #3034808-EG and 3035323-EG Page 6 of 28 greater continuity would be to use the idea of the portal or mid-block void to inform the façade systems by manipulating the scale of openings to be more responsive to program, exposure, and massing moves. This refinement should address the starkness between the two expressions and provide greater depth at transitions.	d-i. (See page 11)	d-i. DC2-B-1., DC2-1-b., DC2-2-c., DC2-2-i.
	d-ii. Further consider contextual cues and horizontal datums at street level, especially south of the mid-block connection. The Board noted there are strong contextual historical horizontal datums that could be picked up to lift the building up and make the base more porous, or pulled back to relate to both neighborhood cues and relate back to the base expression north of the mid-block connection.	d-ii. (See page 15)	d-ii DC2-1-a., DC2-2-a.
	d-iii. Related to the above guidance, the Board would like to see studies of the base height at the next meeting.	d-iii. (See page 15)	d-iii. CS3-1., CS3-1-d.
	d-iv. Further consider the roofscape as it will be highly visible from the surrounding towers.	d-iv. (See page 19)	d-iv. DC4-D-1., DC2-4-a.
	d-v. Remove or revise the circulation bridge spanning the mid-block connection as currently it seems to interrupt and diminish the grand gesture of the void. The Board noted the bridge could be there but only if it becomes a unique element of the mid-block more so than the façade, perhaps seeing over or through it, maybe becoming diagonal, or by another means of integrating the bridge into the overall mid-block vocabulary. Currently the bridge creates too much compression at the void entry.	d-v. (See page 13)	d-v. DC2-B-1.
	d-vi. Overall: consider what makes this project unique to the U-District? What are the fun whimsical elements that further animate and relate this project back to this specific neighborhood? Develop these ideas and demonstrate the unique or whimsical aspects of the design at the next meeting.	d-vi. (See page 16)	d-vi. DC2-1-a.
	d-vii. Provide more detail on how the lobby will be programmed to be active.	d-vii. (See page 17)	d-vii. CS2-2-c., PL1-2-c., DC1-1

# EDG Guidance

BOARD PRIORITY	BOARD COMMENTARY / GUIDANCE	DESIGN RESPONSE	DESIGN GUIDELINES
3. MID-BLOCK	COMMENTARY: The Board strongly supported both the mid-block connection and neighborhood open space concepts and placement.		
CONNECTION & NEIGHBORHOOD OPEN SPACE	a. Regarding the relationship and connection between the two spaces the Board strongly supported working with SDOT to create a pavement treatment across the alley. In addition, the Board would like more information at the next meeting clarifying how plantings, hardscape materials, vertical markers and other elements would reinforce the connection across the two spaces.	a. (See page 23)	a. PL1, PL1-2.
	b. Mid-block Connection:		
	GUIDANCE:		
	b-i. The Board echoed public comment and strongly supported the mid-block connection, placement on the site across from the associated neighborhood open space, and width of the mid-block connection.	b-i. (See page 25)	b-i. PL, PL1-2.
	b-ii. As noted above, the Board was concerned with the pinch point created by the circulation bridge. Moving forward this should be resolved to create a grander gesture and stronger sight lines through the mid-block.	b-ii. (See page 25)	b-ii. PL1, PL1-2.
	b-iii. In addition, a section through the space with accurate height dimension should be provided at the next meeting.	b-iii. (See page 25)	b-iii. PL, PL1-2.
	b-iv. The Board had some concern for lack of spill out opportunities along the mid-block connection, commenting it would be beneficial to provide flexibility for spill out. The Board noted currently the mid-block connection looked a bit constrained by ramps and steps. The Board acknowledged the challenging grades and strongly encouraged consideration of spill out spaces or larger operable windows to create more porous edge conditions. Overall the Board wanted to ensure the mid-block connection was an active space rather than just a pass through.		b-iv. PL1-2-c.
4. VEHICULAR	COMMENTARY:		
ACCESS & SERVICES	a. The Board provided preliminary support for access off 12th Avenue NE as the location of access responded to this project's unique site conditions and allows the design to focus on furthering broader neighborhood open space, connectivity, and alley activation goals.	a.	a. DC1-A.
	GUIDANCE:		
	b. However, moving forward the garage entry design needs to address and fully mitigate visual impacts to the public realm.	b. (See page 27)	b. DC1-C-2
	c. In addition, at the next meeting the Board would like to see service use diagrams for both circulation and staging.	c. (See page 27)	c. DC1-C-4.
5. MATERIALS	COMMENTARY:		
	a. The Board supported the simple palette and quality of materials, specifically the punched brick expression.	a.	a. DC2-2-c., DC4-1
	GUIDANCE:		
	b. The Board noted greater dimensional change should be used between material changes.	b. (See page 28)	b. DC2-C-1.
	c. Treatment of the walls and soffits of the mid-block connection will be critical to reinforcing this expression of the void. Consider how the material application will enhance the purity of the void expression.	c. (See page 29)	c. DC2-B-1., DC2-2-c.
	d. Continue to refine and consider how any blank wall conditions will be treated to support alley activation and the success of the open spaces.	d. (See page 30)	d. DC2-B-2.
	e. At the next meeting the Board requested more information regarding canopy types and heights.	e. (See page 31)	e. DC2-C., DC2-1-c.

### Zoning + Overlay Designations

### **Zoning + Overlay Designations**



### Map Key

### LR1,2,3

Lowrise

**MIO-105** 

Major Institution Overlay

NC2-55

Neighborhood Commercial

NC2-65

Neighborhood Commercial

NC2-75

Neighborhood Commercial

NC3-65

Neighborhood Commercial

NC3P-65

Neighborhood Commercial

NC3-75

Neighborhood Commercial

**SM-U** 85

Seattle Mixed

**SM-U 75-240** 

Seattle Mixed

SM-U/R 75-240

Seattle Mixed

**SM-U 95-320** 

Seattle Mixed

### **Observations**

- Zoning allows for the highest height limits and development density
- University Way represents a transition in zoning where city planning has reduced height and density of proposed developments along a heavy pedestrian
- **Upzoning** intends to reduce height and density one block north towards a more residential area

Vicinity Map & Surrounding Uses

### **Surrounding Uses**



### Map Key

Surface + Garage Parking

Residential/Mixed Use

Office/Commercial/Retail

Hotel/Hospitality

Public Park

Civic/Cultural/Arts/Entertainment

University/Education

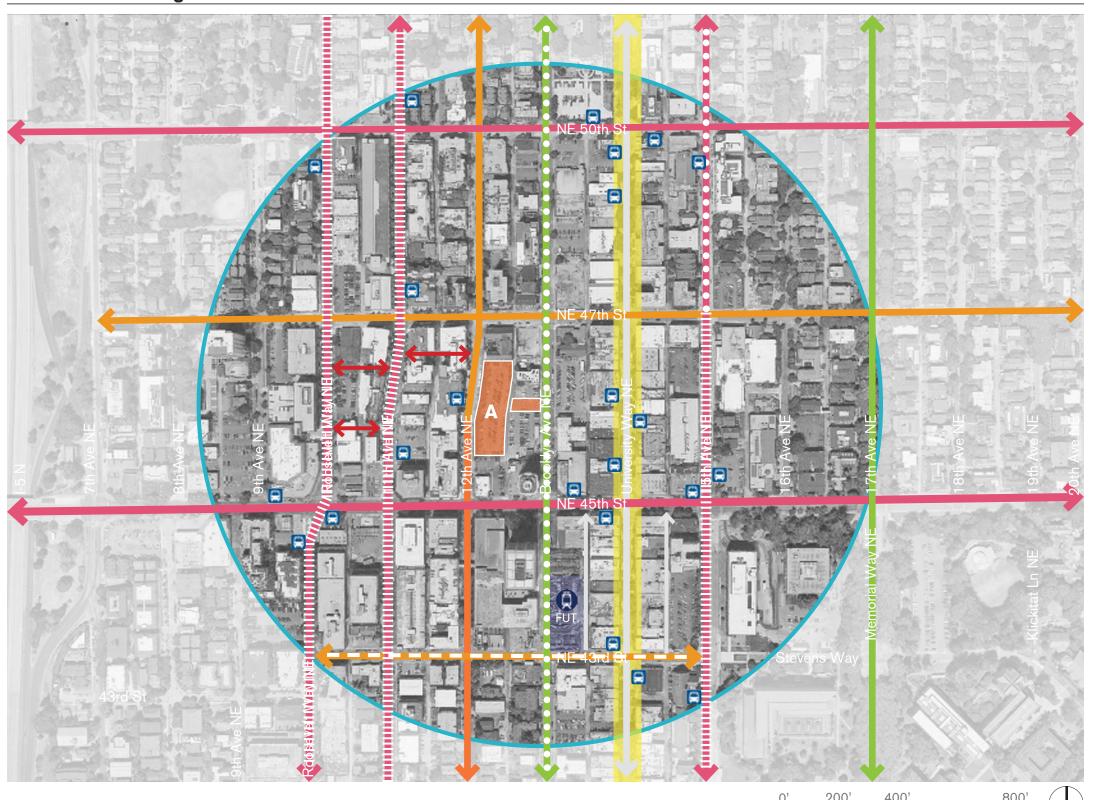
Retail Core

### **Observations**

- **Surface Parking** currently occupies the site area for all 3 parcels
- Mid-rise Buildings predominantly surround the proposed site locations
- Mixed-Use Residential buildings that include ground level retail surround the site on multiple sides within the immediate area
- Churches are located immediately north of each proposed
- Existing High-rise buildings in the area are very limited and include mostly residential, hotel, and some UW administrative offices
- University Way is a retail and restaurant core of small scale buildings that provide active ground level uses and promote pedestrian activity

### Traffic Flow + Siting Patterns

### **Traffic Flow + Siting Patterns**



### Map Key

Principal Arterial

Minor/Collector Arterial

Green Street

Bus Stop / Light Rail Stop

IIIIIIII Protected Bike Lane

In-Street Bike Lane

Sharrows with Uphill Bicycle Lane

5-Minute Walk Radius

Open Space

Pedestrian Designated Zone

Existing Mid-block Connections

### **Adjacent Street Classifications**

**NE 47th Street** 

**Brooklyn Ave NE** Class II Pedestrian Street Green Street

**NE 45th Street** 

12th Ave NE

Class II Pedestrian Street Class II Pedestrian Street

### **Observations**

- Brooklyn Ave is a designated as a Green Street that will provide new ROW improvements including bike lanes
- Future Light Rail station is located one block south along Brooklyn Ave and is expected to generate a significant amount of new pedestrian activity
- University Way is a Class I Pedestrian street and pedestrian designated zone that provides ample ground level activity which promotes significant pedestrian circulation within the neighborhood
- Mid-Block Connections exist nearby to the east as part of more recent mixed-use residential developments

Prominent Surrounding Buildings

### **Important Locations**



### Map Key

### **PROMINENT BUILDINGS**

- 1 Cross & Crown Church
- 2 Burke Museum
- 3 UW Tower
- 4 WSECU
- 5 Residence Inn by Marriott
- 6 Forty Five Forty Five
- 7 4541 Brooklyn Avenue NE
- B DECA Building (Graduate Hotel)
- 9 4520 Brooklyn Avenue NE
- University Regency
- 11 Christ Episcopal Church
- 12 Neptune Theater

### **FUTURE PROMINENT BUILDINGS**

- 1 HUB 2
- 2 The M
- 3 1200 NE 45TH ST
- 4 4510 11th Avenue NE
- 5 The Standard Towers
- 6 U-District Station
- 7 University Safeway Redevelopment
- 8 Theory U District
- 9 UTUMC Redevelopment

### **Existing Prominent Surrounding Buildings**

**1** Cross & Crown Church



3 Story | Church

2 Burke Museum



1 Story | Restaurant / Retail

**3** UW Tower



22 Stories | Office / Education

4 WSECU



7 Stories | Bank and Office

# 5 Residence Inn by Marriott



7 Stories | Hotel

**6** Forty Five Forty Five



4 Stories | Office



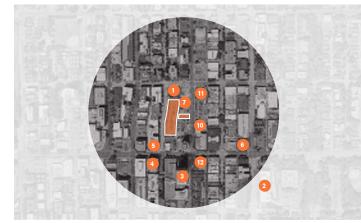


3 Stories | Apartments



15 Stories | Hotel





9 4520 Brooklyn Avenue NE



2 Stories | Bank

# **10** University Regency



4 Stories | Apartments

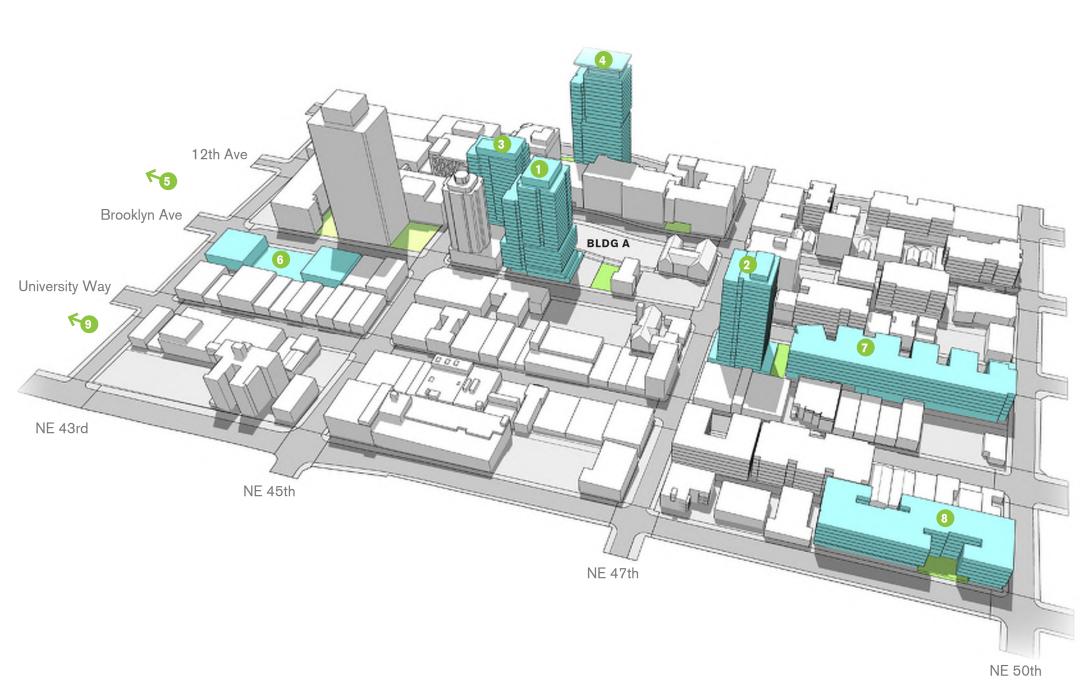




2 Stories | Church

Future Prominent Surrounding Buildings

### **Aerial View Facing Southwest**



### Legend

- 1 The HUB 2
- 2 The M
- 3 1200 NE 45TH ST
- 4 Nuovo Tower
- 5 The Standard Towers
- 6 U-District Station
- 7 University Safeway Redevelopment
- 8 Theory U District
- 9 UTUMC Redevelopment

### **Observations**

- **Significant Growth** in the University District is occurring with the addition of a new light rail stop and several new high rise residential projects
- Activity and Vibrancy from new office uses will be added to the community by bringing visitors and occupants to the neighborhood throughout the day
- Open Space is planned as a pocket park immediately adjacent to a 200+ unit student housing tower called the HUB 2

### Keymap





### Future Prominent Surrounding Buildings

1 The HUB 2



24 Stories | Apartments

2 The M



24 Stories | Apartments

**3** 1200 NE 45TH ST



19 Stories | Apartments



**4** Nuovo Tower

32 Stories | Hotel & Apartments



24 Stories (x2 Towers) | Apartments

**8** UTUMC

### 6 U-District Station



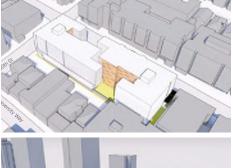
1 Story | Light Rail Station

# 7 Safeway Redevelopment



7 Stories | Apartments







6 Stories | Apartments



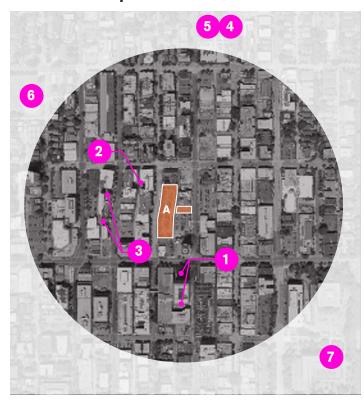
120'/240' | Apartments

### Existing Neighborhood Public and Active Spaces

### **Observations**

- **Open Space** in this portion of the neighborhood is scarce and is desperately needed.
- **Diversity** of community members in the area need more opportunities to experience a myriad of activities.
- Mid-block Connectors are located within 1-2 blocks for three different residential mixed-use projects immediately to the east. They don't represent great examples because the space is very passive and does not provide an exciting destination.
- Block Lengths within the University District near 500 to 600 feet long and new open spaces and mid-block connections can provide a great way to break them up.

### **Location Map**







1 The UW Tower - Plaza



2 12 @ U District - Mid-Block



University of Washington



6 University Playground



**5** University Heights



3 Bridges @ 11th - Mid-Block



### Future Neighborhood Public and Active Spaces

### **Aerial View Facing East**



### **Observations**

- Neighborhood Open Space has become a high priority for new developments within the immediate area
- Outdoor Plazas have been planned at the Safeway redevelopment and "The M" tower, which will become combined and accessible to pedestrians from Brooklyn Ave
- Pocket Parks are being planned in multiple locations with the most notable being the HUB 2, which is immediately adjacent to the proposed projects. This site provides an opportunity for the new developments to combine their open spaces
- Pedestrian Connections will be enhanced on this block by the addition of a public open space along the alley of 1200 NE 45th, which will promote new movement in the North/South direction

### 1200 NE 45th St - Open Space



# 2 The HUB 2 - Pocket Park Open Space



### 4 Safeway - Open Space







Site Photography / Views to the Site

01 Street view - 12th Ave Facing South 04 Aerial View Facing Northwest



O2 Street view - 12th Ave Facing North



03 Alley view - Facing North







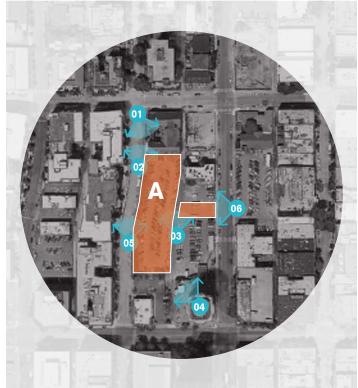
05 Street view - 12th Ave Facing North 06 Street View - Brooklyn Facing West



### **Observations**

- Grade Change is significant across this site totaling in almost 30' from one corner to the opposite corner
- Retaining walls currently occupy the existing street frontage along 12th Ave NE to provide a level surface for cars to park on
- Vehicular Access to this site currently occurs only from a 10' wide alley and from Brooklyn Ave
- Pedestrian Access is very limited across this site due to the significant grade change and only one access point with a stairway leading to 12th Ave
- **Existing Church** to the North of the site shares an interior property line with this project and is setback from the property line approximately 5' with windows facing the proposed project
- **Street Frontage** for this project occurs along 12th Ave and Brooklyn Ave, which provides opportunities to connect these two streets with pedestrian access

### **Key Map**



### Relevant Development Standards

### **Land Use Code Summary**

### 1. ROW Setback

a. 12th Ave NE = 0'-0"

### 2. Alley Dedication Requirements

a. 5'-0" dedication required on either side of the Alley

### 3. 23.48.645 - High-rise Floor Area Limits

- a. Non-residential buildings between 45' to 160' in height
  - Max GFA = 24.000 SF
  - Average GFA = 20,000 SF

### 4. 23.48.645.E - Tower Separation

- a. Min tower spacing on a different lot on the same block
  - 75' Minimum for all structures exceeding 95' in height
- b. Min tower spacing on the same lot
  - 75' Minimum between all structures exceeding 45' in height

### 5. 23.48.635 - Maximum Width & Depth Limits

- a. Maximum width and depth limit = 250'
  - Structure may exceed 250' in length if no internal connections above grade exist

### 6. 23.46.640.E.1 - Mid-Block Corridor

- a. Mid-block corridors are required for any development that intends to build a combined lot development with street facing lots that are separated by an alley and if they exceed 30,000 SF.
  - Minimum width is 15'-0"; Average width of 25'-0"
  - Must include usable open space
  - Must be open to the sky, except that 35% of the length of the corridor may be covered and enclosed if located on private property
  - Can be counted towards required residential amenity space or required usable open space

### 7. 23.48.624 - FAR

- a. Any structure that does not exceed 95'
  - Base FAR = 4.75
  - Max FAR = 6.0
- b. Any structure that exceeds 95'
  - Base FAR = 4.75
  - Max Non-Residential = 7
  - Max Mixed-Use = 12

### 8. 23.58A.040 - Open Space Amenities

- a. 35% of any extra floor area above the base FAR must provide Open Space Amenities in the neighborhood that may include the following:
- 1. Green Street Improvements at a rate of 5:1 required on Brooklyn Ave Ne
- 2. Green Street Setbacks at a rate of 5:1 allowed on Brooklyn Ave
- 3. Mid-Block Corridor at a rate of 7:1
- 4. Neighborhood Open Space at a rate of 7:1
- "Payment-in-lieu" option is available for neighborhood open space only, and is equal to the land value per square foot multiplied by the square footage of the required open space

### 9. 23.48.650 - Required Usable Open Space

- a. On lots that exceed 30,000 SF
  - 15% Open Space Required
- b. Development Standards
- 1. Open to sky: Minimum 60%
- 2. Covered by structure: Maximum 20%
- B. Enclosed space: Maximum 35%
- 4. Can be provided as separate areas, each a minimum of 2,000 SF
- 5. Can be located on another site as long as requirements are met
  - Any mid-block corridor provided may count towards this requirement

### 10. 23.48.646 - Façade Modulation

- a. If the proposed development is located within 10' of the street lot line, modulation is required if the facade meets or exceeds the maximum lengths allowed:
- 1. Stories up to 45'
  - Every 160'
- 2. Stories 45' to 95':
- Every 120'
- 3. Stories above 95':
- Every 80'

\*Façade length can only be increased beyond the maximum by providing a minimum 10' setback for a minimum of 20' in length

### 11. 23.54.035 Table A - Loading

a. Office - 160,000-264,000 SF = 3 Berths

### 12. 23.54.015 Table A - Parking

- a. Urban villages
  - No parking required

### Keynotes

- Required open space 15% of site area May be located off-site but on the same block
- Additional tower area allowed above 160' with reduced floor plates extending down to 45'
- 03 Adjacent Tower(s)
- 10' Setback required between 65' to 95' for mid-rise structures not exceeding 95' in height
- 05 250' Maximum facade length
- Of Additional structure exceeding 250' in length are allowed on the same lot as long as they are not internally connected
- 07 15' side lot line setback above 95'
- 75' tower spacing required when located on the same block as other towers; and 75' spacing required for any other structure on the lot exceeding 45' in height
- Maximum facade length for required modulation at varying heights above average grade (20' W x 10' D)

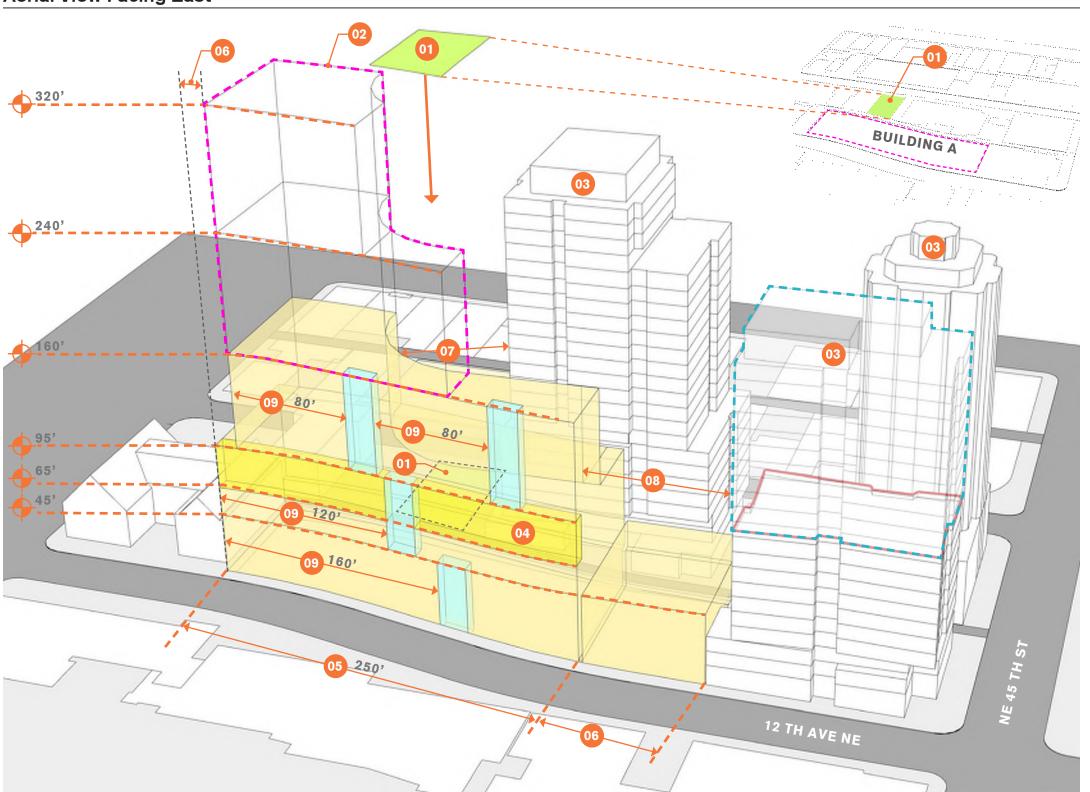
### MAXIMUM FAR - SM-U 95-320

Structure Height	Commercial	Mixed-Use
Below 95'	4.75	4.75
Exceeds 95'	7	12

### **MAXIMUM FLOOR PLATE SIZES**

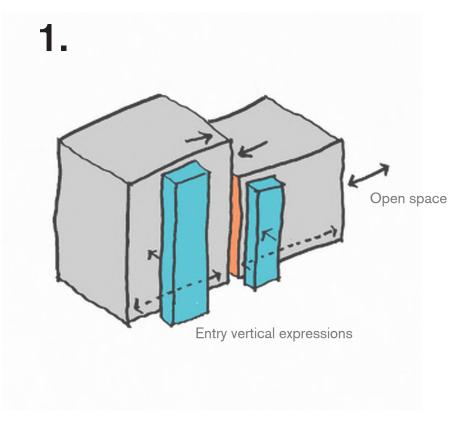
	Structure Height	Avg GFA	Max GFA
	Below 95'	Unlimited	Unlimited
	45'-160' (if building exceeds 95')	20,000 SF	24,000 SF
	160'-240'	10,500 SF	11,500 SF
	240' +	9,500 SF	10,500 SF

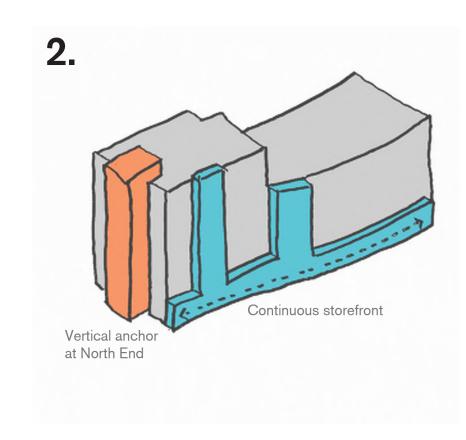
### **Aerial View Facing East**

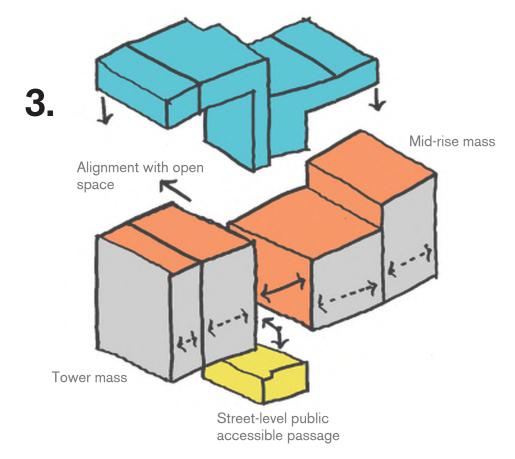


# PORTMAN HOLDINGS & TOUCHSTONE

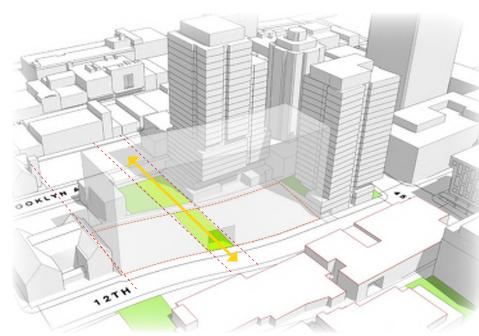
# Building A: Concept Development







## Massing Evolution



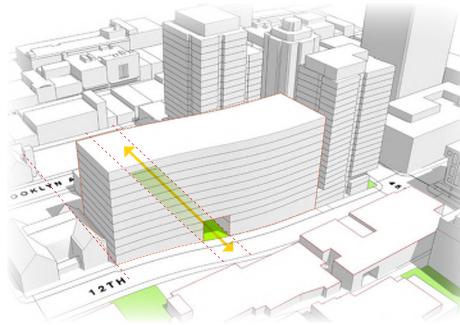
1. Cultivate Community

Provide a pathway to active alley and new front yard



4. Reduce Scale

Maintain human scale and respond to historic datums



2. Basic Mass

Determine the development potential



5. Relate Proportions

Modulate to appear as multiple buildings that relate in scale

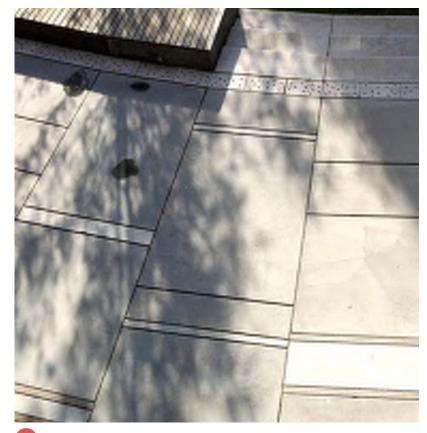


**3. Respect Setbacks**Provide light and air for adjacent buildings and streets



### 6. Refine Mass

Express a simple and sophisticated design with visual interest



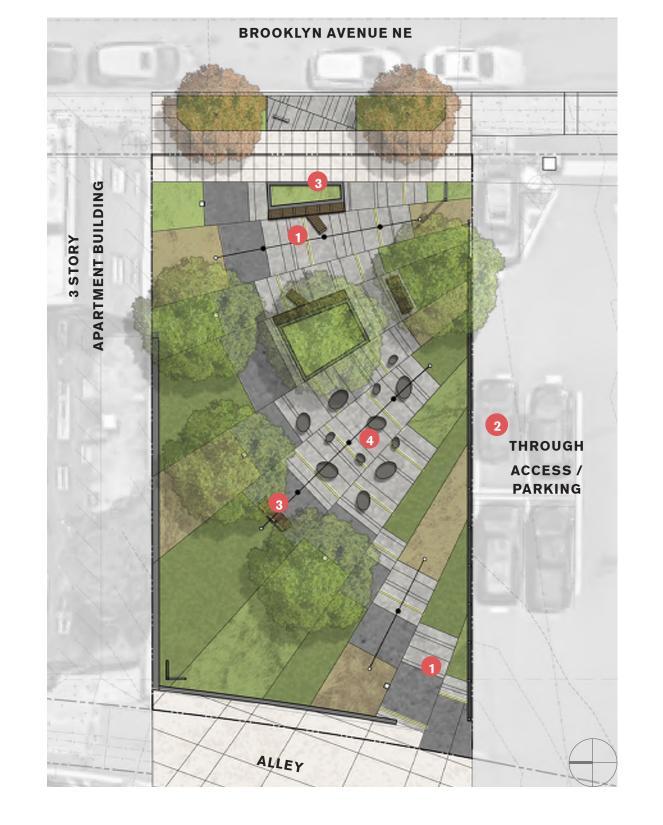




2 Metal Screen at Parking Edge



4 Pebble Seating



### **What We Heard from the Community**

### **Design-Related Comments**

- Several attendees inquired about potential for public space noting a softscape is preferred (given the lack of green space in the U-District) and that the public space be accessible and invites people to the space in a welcoming manner
- One attendee noted that an east-west pedestrian connection at 4530 12th Avenue NE would help to break up the block between NE 45th St and NE 47th St
- One attendee noted that the projects hopefully won't include design choices used on the properties just to the west of the 4530 12th Avenue NE site; the attendee noted the design should age well
- One attendee asked what the roof would look like
- Another attendee suggested that the roof be used to keep bees or grow food
- One attendee noted the LIHI building on Roosevelt Way NE north of the University branch of the Seattle Public Library is looking to other spaces to lease to grow food
- One attendee inquired how the frontage at 4530 12th Ave NE would interface with 12th Avenue NE

### **Non-Design Related Comments**

- One attendee asked why the projects would not reach the full height permitted by zoning
- One attendee asked how much parking would be provided at each project
- One attendee asked if people parking at the future developments would be permitted to park at either location or whether the lots would be independent from one another
- One attended asked if a lot of material would need to be hauled out
- One attendee asked whether tenants would be associated with the University of Washington

### **Miscellaneous Comments**

- One attendee noted that the U-District has a strong identity, calling it "funky," and hopefully the projects will be in accordance with this heritage
- One attendee noted that it's important that the neighborhood remain affordable, especially given the increase in residential supply in the U-District
- One attendee, from a nearby church, noted that it's important that the neighborhood be welcoming to the unhoused population

### **Conclusions**

- Open Space was clearly an important topic that community members felt was necessary to bring to this part of the neighborhood
- Connectivity for pedestrians in an east-west direction was also a priority to provide new pathways and visually reduce the length of the block
- Unique characteristics of the University District seemed very important to community members and they hope that these projects will respect that
- Honest architectural styles that are not contrived or in poor taste were highly encouraged by community members

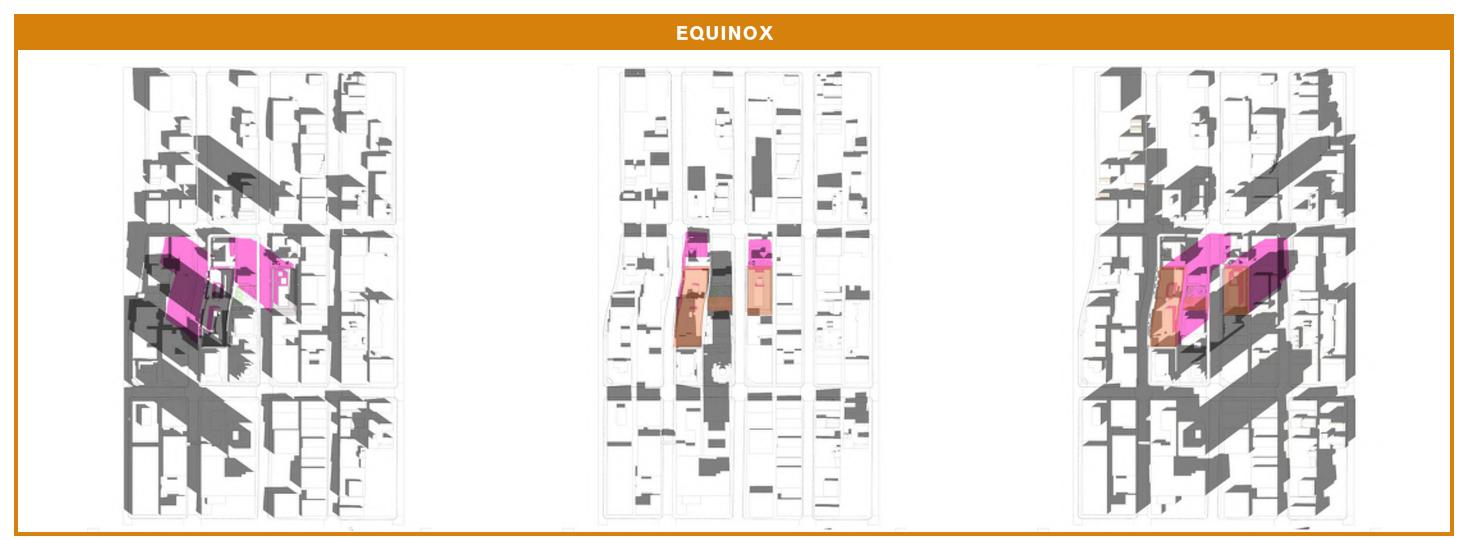








Building A & B: Shadow Conditions



9:00 AM 12:00 PM 3:00 PM







### Potential Views

### **Potential Outward View Apertures**









# View Anlaysis

- 01 140feet facing North
  - Territorial views of Ravenna
- 02 140 feet facing East
  - Lake Washington
  - University of Washington
  - University Way
- 03 140 feet facing South
  - South Lake Union
  - Downtown
- 04 140 feet facing West
  - Wallingford
  - Interstate 5

### Key Map

