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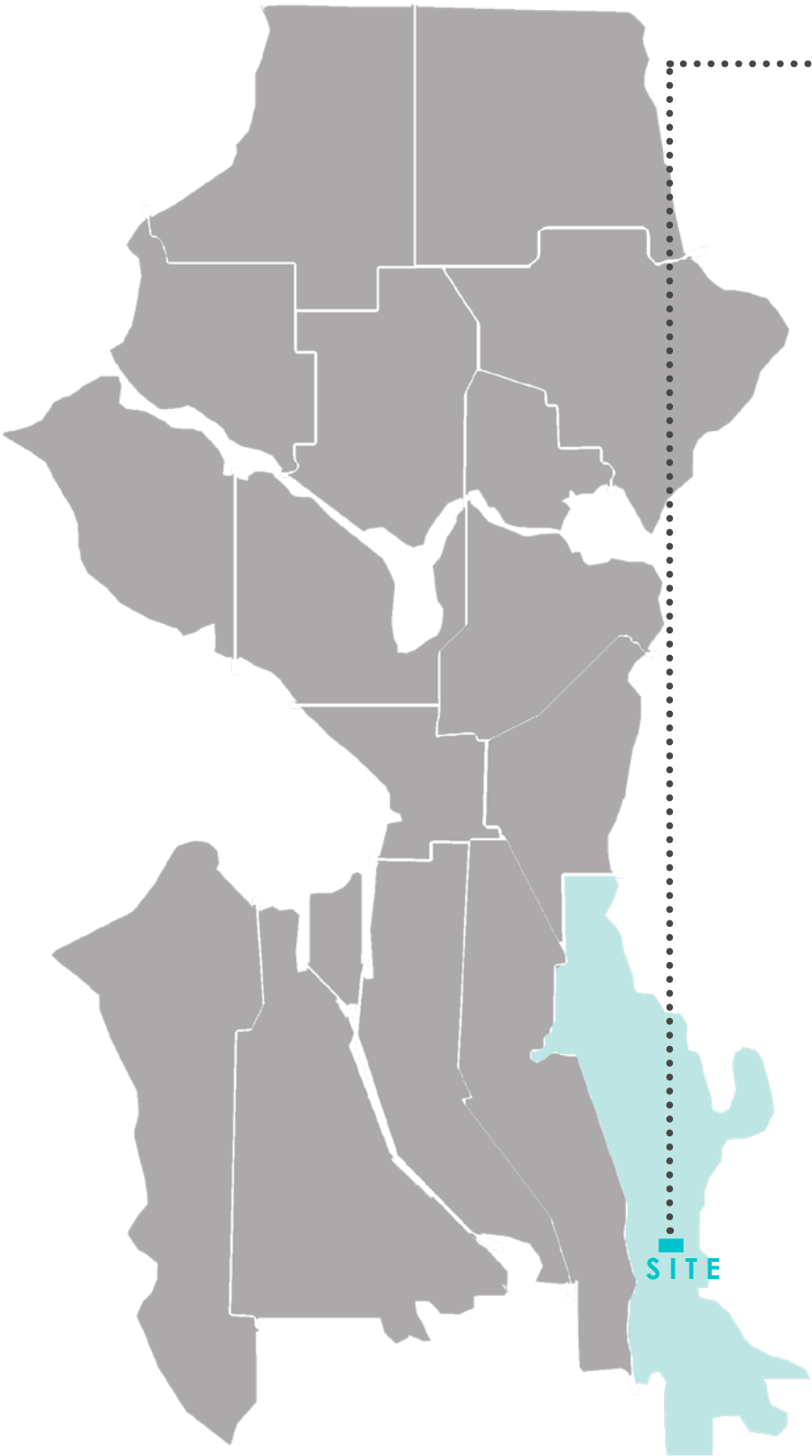
# Context

Project Information

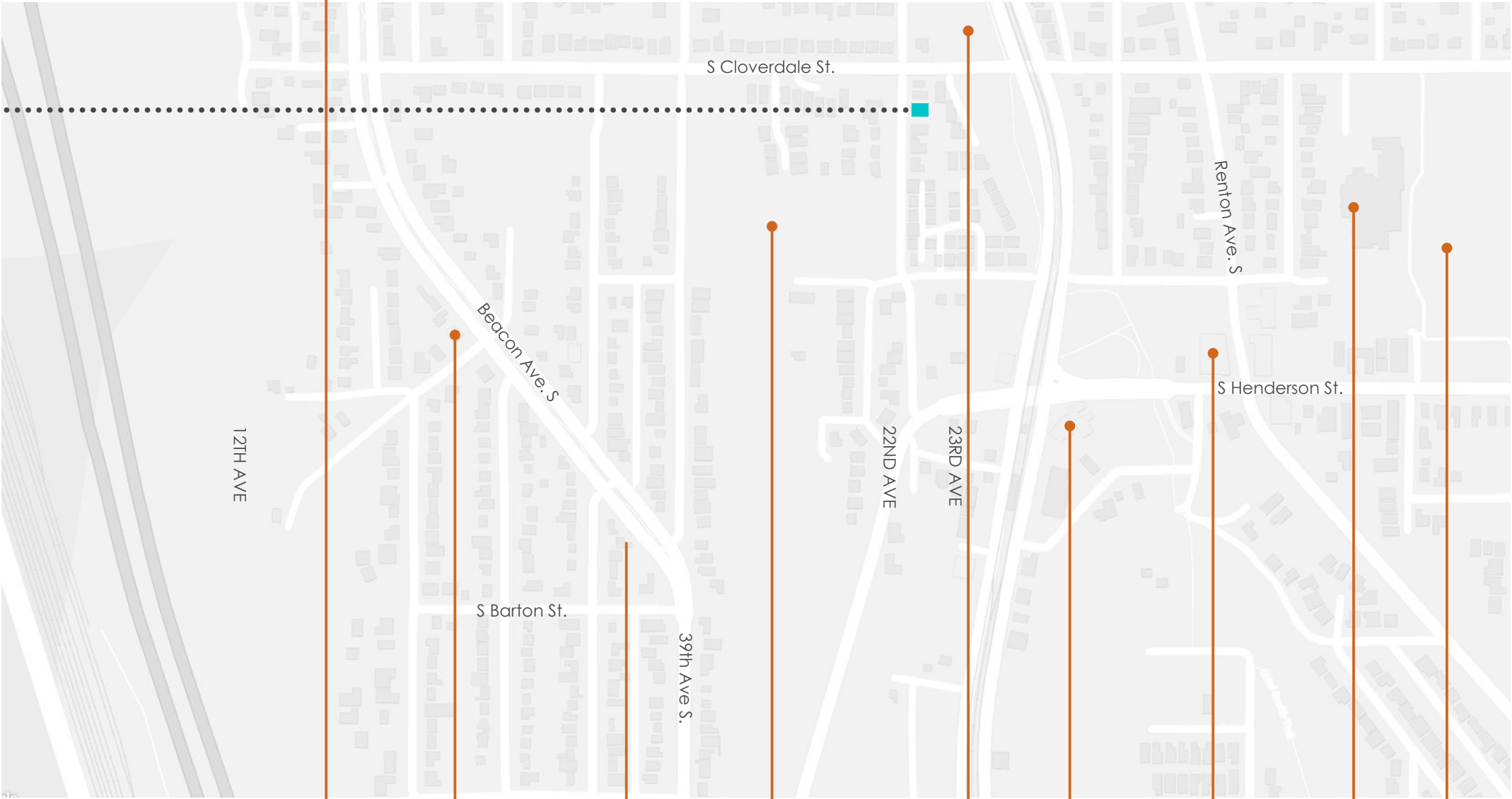
ADDRESS	8608 42ND AVE S SEATTLE, WA 98118
TAX ID NUMBER	400600-0190
SDCI PROJECT #	SDR: 3034589-EG  BUILDING: 6732327-CN
LOT SIZE	6,796
ARCHITECT	JULIAN WEBER ARCHITECTS, LTD. 1257 S KING ST SEATTLE, WA 98144
OWNER/APPLICANT	BRIGHTON HOMES, LLC 7548 43RD AVE S SEATTLE, WA 98118



# Site Analysis



VICINITY



Van Asselt  
Elementary  
School

Bumble Bee  
Boxing Club

Benefit  
Playground

East Duwamish  
Greenbelt Park

Thistle P-Patch  
Community  
Gardens

Tienda Mi  
Peublito

Oromo  
Cultural  
Center

Dunlap  
Elementary  
School

Rainier  
Beach  
Playfield

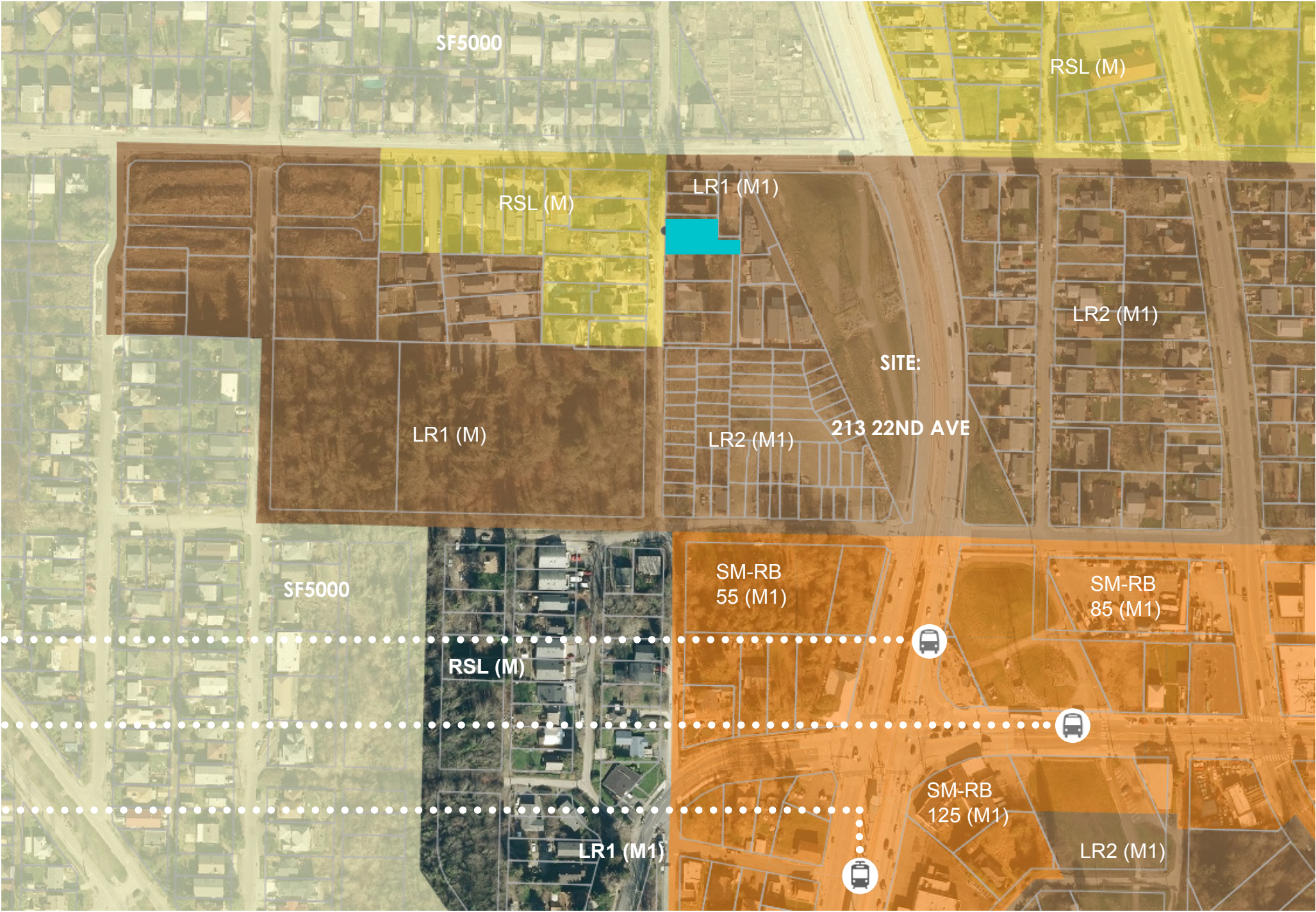
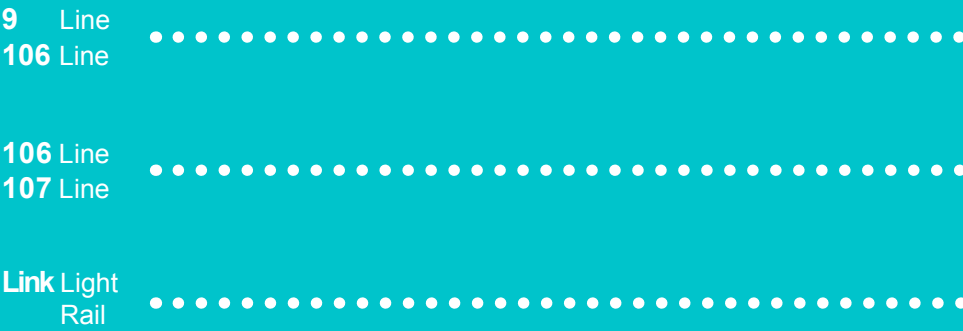


# zoning + routes

ZONE: LR1 (M1)

ADJACENT ZONES: LR2 (M1)  
RSL (M)  
SM-RB 55 (M)  
SM-RB 85 (M)  
SM-RB 125 (M)  
SF 5000

BUS ROUTES: 9 - Rainier Beach to Columbia City to Broadway  
106 - Renton TC to Downtown Seattle  
107 - Renton TC to Beacon Hill  
Link - Univ. of Washington to Airport to Angle Lake





**PROPOSAL** 8608 42nd Avenue South is currently (1) lot with (1) duplex. The applicant proposes demo SFR, construct (5) townhouses with (3) garages and (2) open parking stalls, with future unit lot division.

<b>KEY METRICS</b>	<b>Zone</b>	LR1 (M1)
	Urban Village	Yes
	Parking Flexibility	Yes
	<b>Lot size</b>	6,796 sf
	<b>FAR</b>	6,796 sf x 1.3 = 8,835 sf allowed (THs + Built green) (includes garages)
	<b>Structure Height</b>	30' + 4' parapet allowance & 10' penthouse
	<b>Units</b>	(5) townhouses
	<b>Parking</b>	(2) garages and (3) open parking stalls

**ANALYSIS OF CONTEXT** The project is located in the neighborhood of Rainier Beach. The site is located on the local street 42nd Avenue S. Directly adjacent properties to the north and south are single story SFRs with basements. Across the street are single family homes and on the south end of 42nd Ave is the Greenbelt Station Town homes developed in 2017.

**EXISTING SITE CONDITIONS** A drawing of existing site conditions, indicating topography and other physical features, location of structures, and prominent landscape elements on the site can be found on [page 9](#).

**SITE PLAN** A preliminary site plan including proposed structures and open spaces can be found on [page 15&16](#).

**ARCHITECTURAL CONCEPT** See [page 8](#) for concept statement, diagrams, and images.

**DESIGN GUIDELINES** See [pages 12 & 13](#) for Design Guideline Responses.



AERIAL VIEW WEST



AERIAL VIEW EAST

SITE ANALYSIS



S CLOVERDALE ST



SITE: 8608 42ND AVE S

## ADJACENT CHARACTER

*This neighborhood contains a blend of aging single family residences and contemporary townhomes. The new Greenbelt development on the south end of the block adds high density near the Rainier Beach lightrail station.*

continued on  
next page



## EXISTING CONDITIONS

*The existing 1,040sf single family residence was built in 1942. It has (3) bedrooms and (1.75) baths. It is a (1) story unit with a (1/2) basement with (1) open parking stall and is in average condition. The rear yard as been neglected.*

S TRENTON ST



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next page

STREET LEVEL





S TRENTON ST



ACROSS FROM SITE:  
8608 42ND AVE S

S CLOVERDALE ST

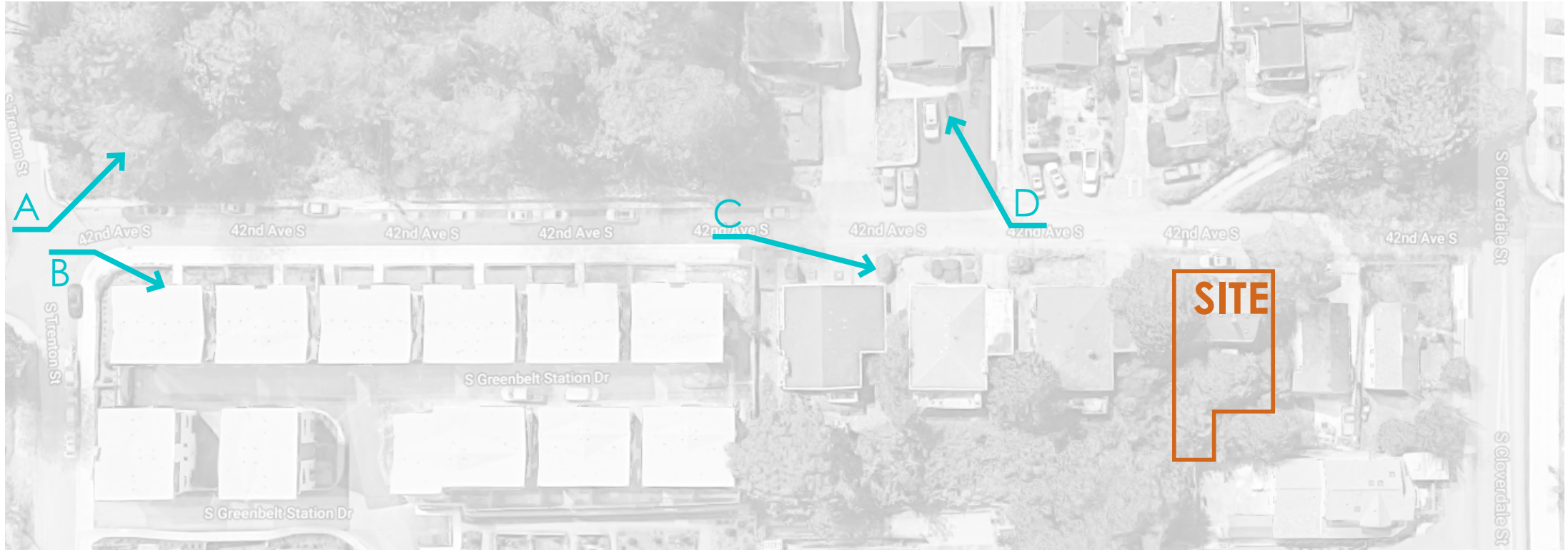
## STREET LEVEL





## A-D CON TXT

Each view presents contextual cues from the neighborhood to be implemented into the project.



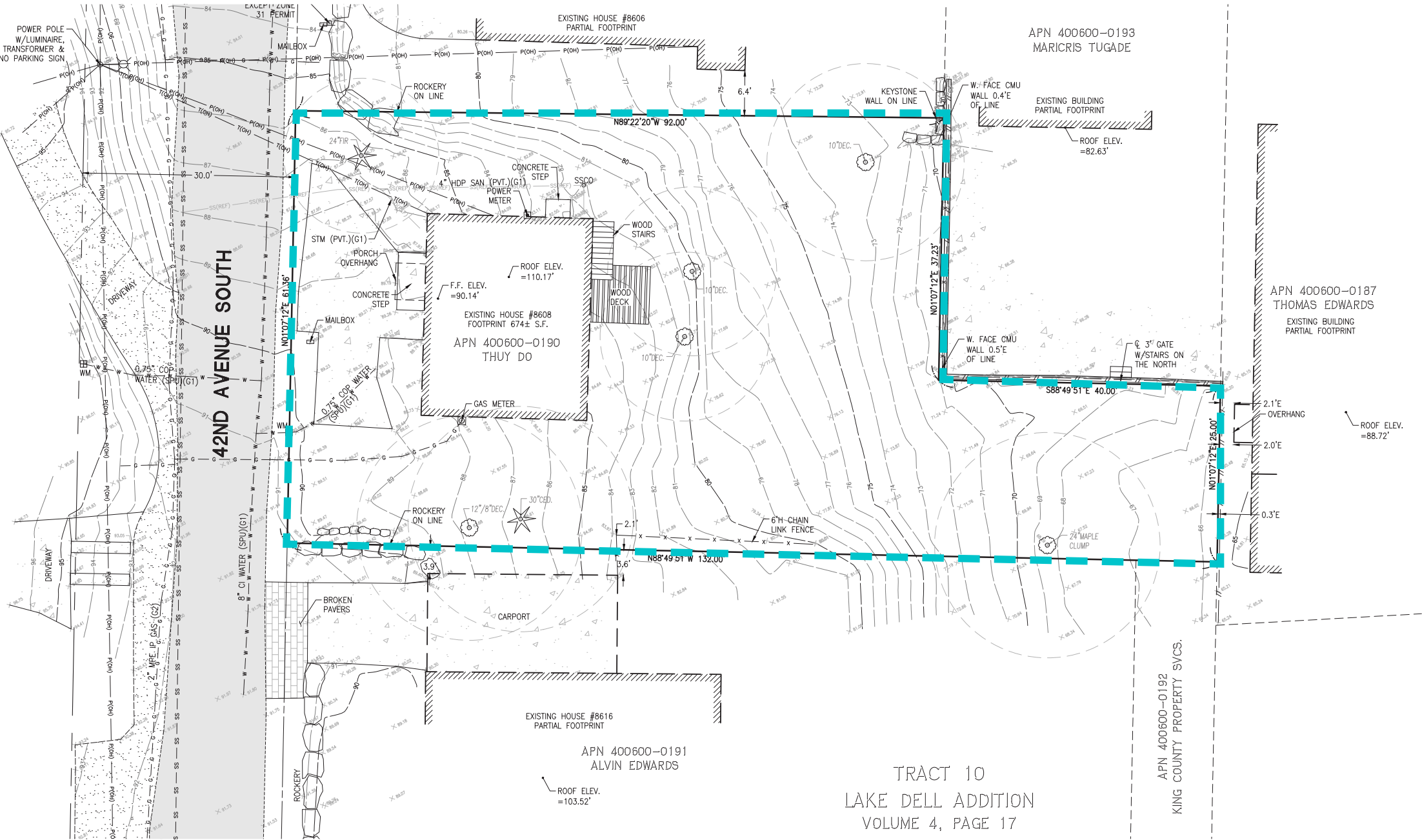


LEGAL DESCRIPTION

Lake Dell W 92 Ft. of S 38 Ft. of N 115 Ft.  
LY S of Cloverdale St. & N 25 Ft. of S 200  
Ft. of W 1 Acre.

The following development is subject to  
streamlined design review: (1)  
development that is at least 5,000  
square feet but less than 8,000 square  
feet and (2) is proposed on a lot that  
was rezoned from a Single-family zone to  
a Lowrise 1 (LR1) zone or Lowrise 2 (LR2)  
zone, within five years after the effective  
date of the ordinance introduced as  
Council Bill 119057.

This requirement shall only apply to  
applications for new development  
submitted on or before December 31, 2023.



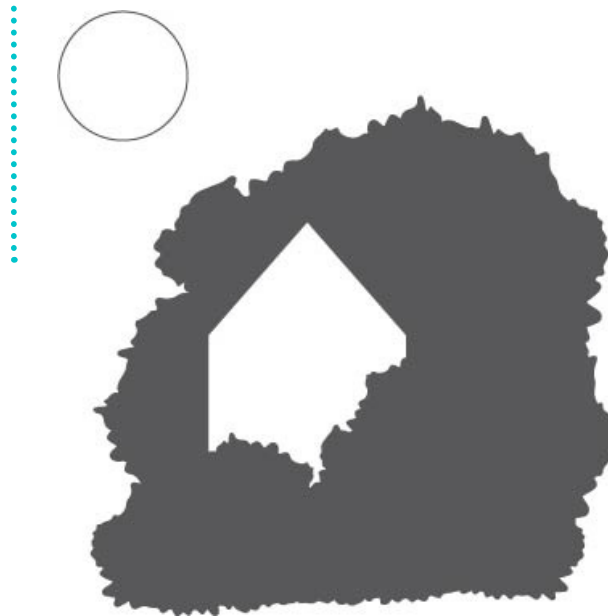
SURVEY  
SCALE: N.T.S.

SURVEY AND LEGAL DESCRIPTION

1\_NESTLE



2\_REVEAL



approach



This project prioritizes the character of the neighborhood by using the colors, textures, and forms found in the area as strong design guides. The project, is set back from the street using vegetation as a buffer ensuring a quiet street presence prevalent in the surrounding area.

The visibility of this project is intentionally designed to be camouflaged. The residences would be most prominent in the morning from the light link, and in the evening from 42nd Ave.

COLOR AND TEXTURE PRECEDENTS



FORM PRECEDENTS





CS1 Natural Systems and Site Features

B. Sunlight and Natural Ventilation

The project steps down with the topography to the east and maximizes southern exposure, allowing sunlight to reach deep into the site. Units will benefit from natural daylight throughout the day, especially in the mornings and evenings. The strategic placement of operable windows across large rooms allows for natural ventilation through the unit and a deeper penetration of light.

C. Topography

The existing natural topography slopes steeply down toward the east edge of the site. The project responds to this significant elevation change with each unit stepping further down the hill. This minimizes the perceived height of the project and nests it within the site.

D. Plants and Habitat

An existing tree located on the southwest portion of the site will be preserved and takes precedence in front of the townhomes. Further landscaping and placement of bioplanters will feature native plants and lush vegetation to enhance the pedestrian experience.

CS2 Urban Pattern and Form

A. Location in the City and Neighborhood

The neighborhood is new to development, with the location of the Rainier Beach Link Light Rail station making the neighborhood more attractive. The design responds strongly to the existing context, taking the current materials, landscaping, and scale into consideration. The two single family homes take cues from the neighboring houses by utilizing gable roof forms. Further south along 42nd Ave, there are many townhouses with butterfly roofs. Responding to these units, shed roofs are an appropriate resolution for the town homes on site. Street improvements will match the sidewalk to new improvements further down the street. This is desirable for neighbors as it creates a continuous safe pedestrian path along the street. The curb gutter and sidewalk will make parking clearer and more orderly.

B. Adjacent Sites, Streets, and Open Spaces

The arrangement of units on site responds to the unique shape of the property lines and steep topography. Street improvements, including a new sidewalk, enhance the pedestrian experience, while landscaping provides a visual buffer between public and private spaces. Units that face 42nd Ave have entries that face the street with raised stoop conditions and provide glazing along the front facade. Landscaping along the front of the site enhances the experience, while a patio contained within the site provides covered bicycle parking. While the steep slope of the site restricts available amenity space on the ground level, additional rooftop amenity spaces are included for each of the units. Much of the site is enhanced with native landscaping and lush vegetation.

C. Relationship to the Block

This project is located mid block along 42nd Avenue South, just south of the intersection with South Cloverdale Street. The single family home maintains the street edge established by the neighboring single family houses. The townhouses are set back from the street and out of line with the front single family house to create a front yard space that responds to the placement of homes across 42nd Ave.

D. Height, Bulk, and Scale

Along 42nd Ave, buildings are primarily single family homes and townhouses. While the north end of the block is primarily single family, the multifamily scale of the project will respond well to the townhouses on the south end of the block. The perceived height of the project from 42nd Ave is further minimized with how the buildings are set into the slope of the site. The gabled single family homes respond to the homes across 42nd Ave. The design of facing one single family home to the street, while a second single family home is placed deeper in the site behind it reflects the nature of the homes on the west side of 42nd Ave. The townhomes are set further back into the site, matching their bulk and scale with the townhouse development located further south.

PL2 Walkability

A. Accessibility

All ground level amenity spaces are accessible to pedestrians.

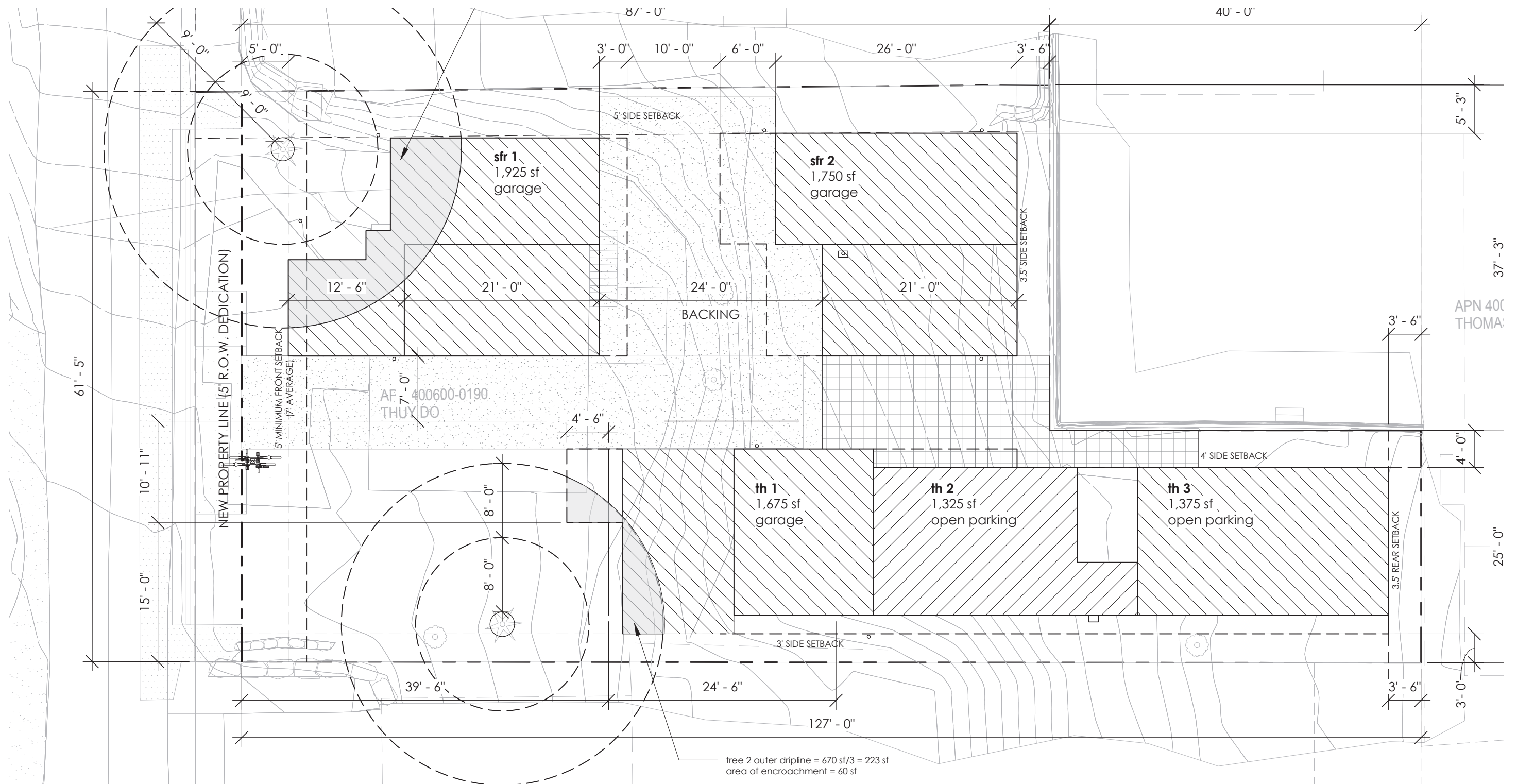
PL3 Street Level Interaction

A. Entries

All units have individual and private entries connected to the shared driveway/walkway through the center of the site. The homes fronting 42nd Ave have street-facing, raised entry porches. The single family homes have secondary access to the buildings through the garage. All entries are weather protected with awnings. Native landscaping and vegetation create a visual separation between the public street and the private entries.

PL4 Active Transit	A. Entry Locations and Relationships	The Rainier Beach Link Light Rail station is located a convenient 0.3 miles from the site. However, the area is still new to development and is not yet highly walkable. Therefore parking is provided for each unit, either as attached garages or outdoor parking stalls, as is typical in this neighborhood. Covered bicycle parking is centrally located and visible from the street. There are no steps separating the bicycle parking from the street entrance. Units facing the street have front facing entries with raised stoops. This raised entry, in addition to landscaping, creates layers of privacy between the public and private realm without introducing a fence or wall element.
DC1 Project Uses and Activities	B. Vehicular Access and Circulation	All units share access to the site with a single driveway, allowing the pedestrian to remain the priority along the sidewalk. All parking is located in the same portion of the site, with private garages provided within the single family homes and three additional outside parking stalls. Parking locations and pedestrian paths are identified with contrasting pavement.
DC2 Architectural Concept	A. Massing	The project steps down with the topography, helping it sit well in the site. Awnings and raised porches facing the street clearly identify entries. Indentations and recesses provide a stepped and dynamic massing. The gable and shed roof lines add residential variety to the site without having a box-like appearance.
	B. Architectural Facade Composition	The facades of all units are related to one another. Similar material treatments and window strategies help give a cohesive character to the project. Windows were carefully placed to reflect the program but also consider privacy. Entries are easily recognizable by the location of the awnings and the placement of raised porches in the case of street fronting units. Secondary elements such as address signage, awnings, downspouts, and roof flashing have a dark finish giving the project a clean and considered overall detailed appearance.
	C. Secondary Architectural Features	Metal awnings and raised porch conditions provide depth to the facades at the entries. Lap siding is used as a response to the residential character of the surrounding neighborhood.
	D. Scale and Texture	The metal awnings provide a sense of human scale to units and ensure weather protection for the residents. Landscaping and bioplanters are essential to maintain this scale throughout the site. Building materials were chosen with human interaction in mind. Lap siding responds to the residential character of the neighborhood.

design

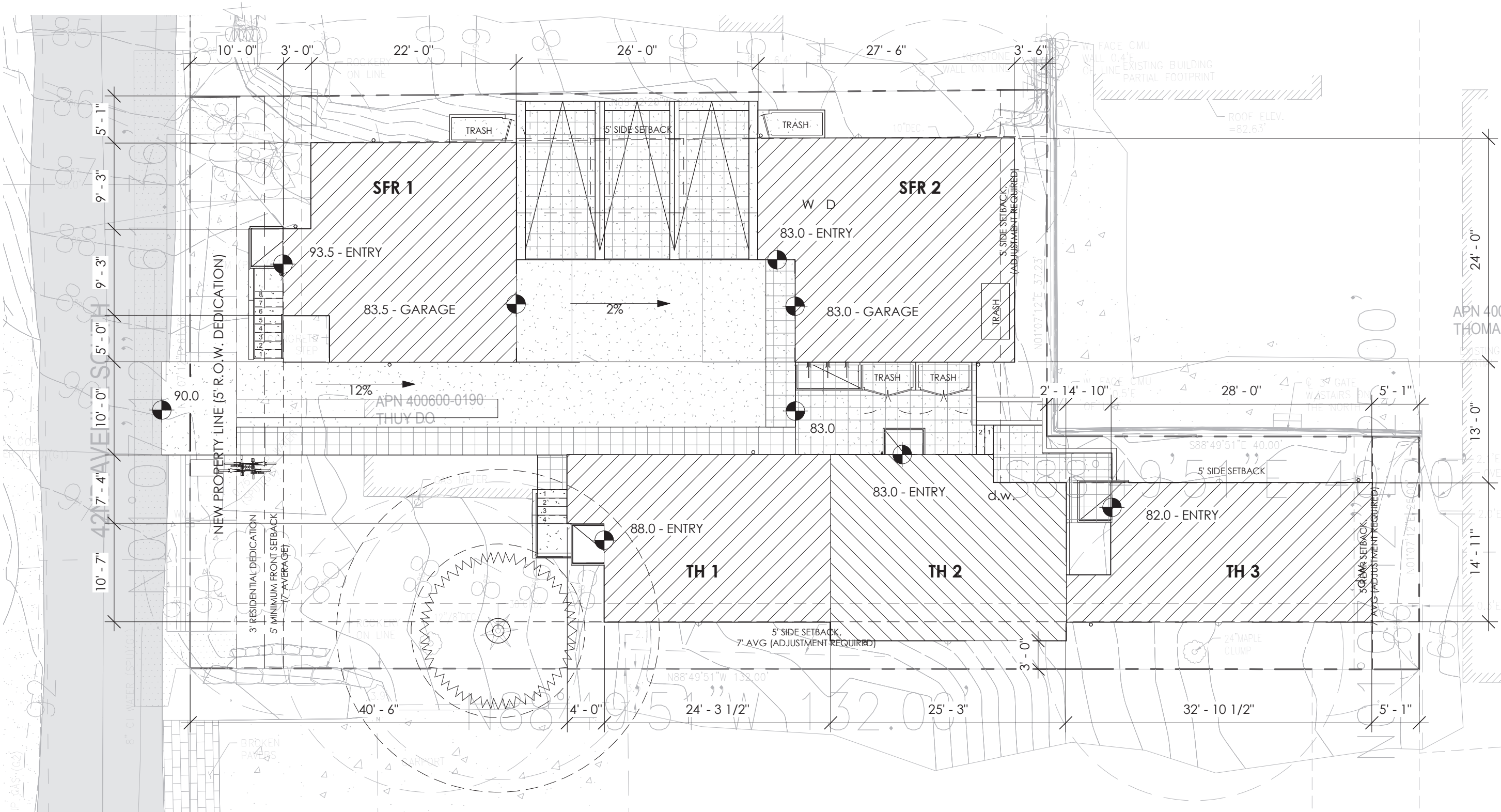


	Required	Provided
Front:	7' average, 5' minimum	30'6" average, 10' minimum
Side (north):	7' average, 5' minimum	7' 1" average, 5'1" minimum
Side (south):	7' average, 5' minimum	4'5" average, 3' minimum
Rear:	7' average, 5' minimum	7'8" average, 3'6" minimum



SITE OPTION A  
SCALE: 3/32" = 1' 0"

SITE PLAN



	Required	Provided
Front:	7' average, 5' minimum	25' 7" average, 10' minimum
Side (north):	7' average, 5' minimum	5' 10" average, 5' 1" minimum
Side (south):	7' average, 5' minimum	5' average, 3' minimum
Rear:	7' average, 5' minimum	7' average, 3' 6" minimum


**SITE OPTION B (PREFERRED)**  
 SCALE: 3/32" = 1' 0"



# adjustment request #1:

## removal of exceptional tree

**STANDARD: SMC 25.11.070**

A. Exceptional trees

2. The Director may permit the exceptional tree to be removed only if the total floor area that could be achieved within the maximum permitted FAR and height limits of the applicable Lowrise zone according to Title 23 cannot be achieved while avoiding the tree protection area through the following:

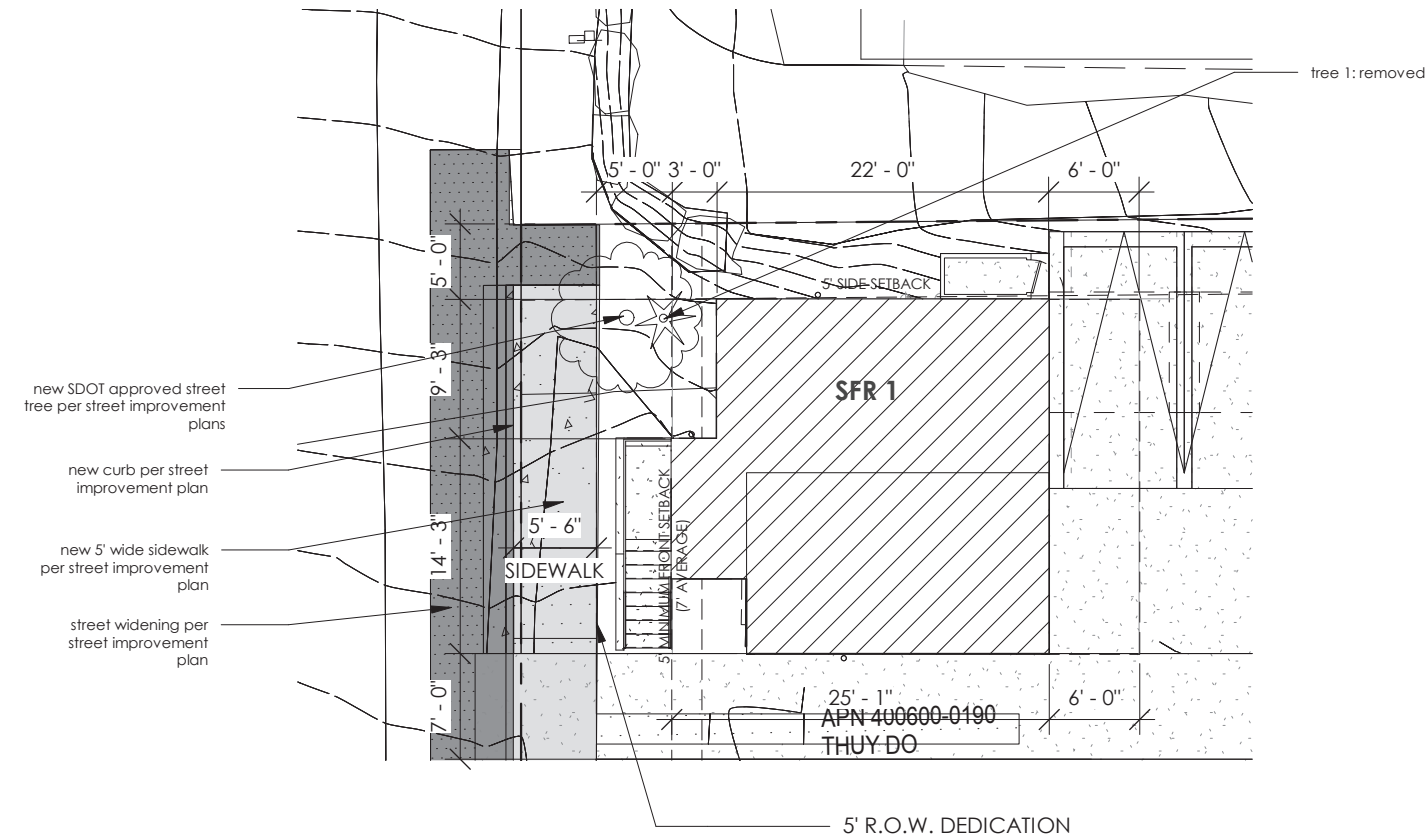
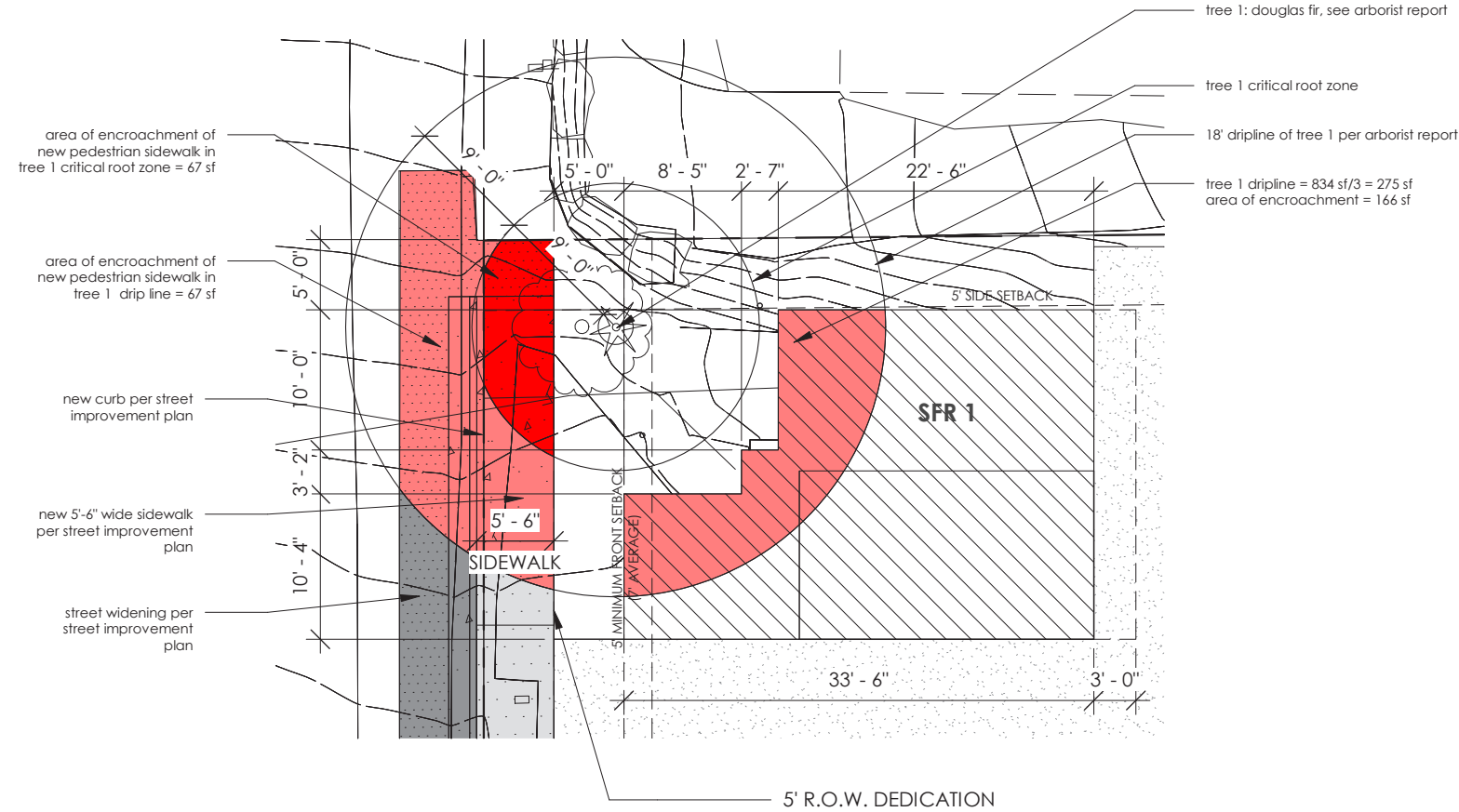
- a. Development standard adjustments permitted in Section 23.41.018 or the departures permitted in Section 23.41.012.
- b. An increase in the permitted height as follows under subsection 25.11.070.A.3.

**ADJUSTMENT REQUESTED:**

Removal of Douglas Fir

**ADJUSTMENT RATIONAL:**

The required street improvements to urban village standards requires significant excavation. This compromises the root system of the Douglas Fir. We propose to remove the tree as part of development as the improvements will significantly impact the inner and outer driplines. We advocate to preserve the Western Red Cedar. Approval of this adjustment will also allow the street improvement plan to add an SDOT approved street tree. This area will provide better pedestrian infrastructure (PL1.B.1) and better urban plantings that will thrive in the future as the remainder of the street is developed and improved (DC4.D.1)



# adjustment request #2:

## decrease of setbacks

**STANDARD: SMC 23.45.518**

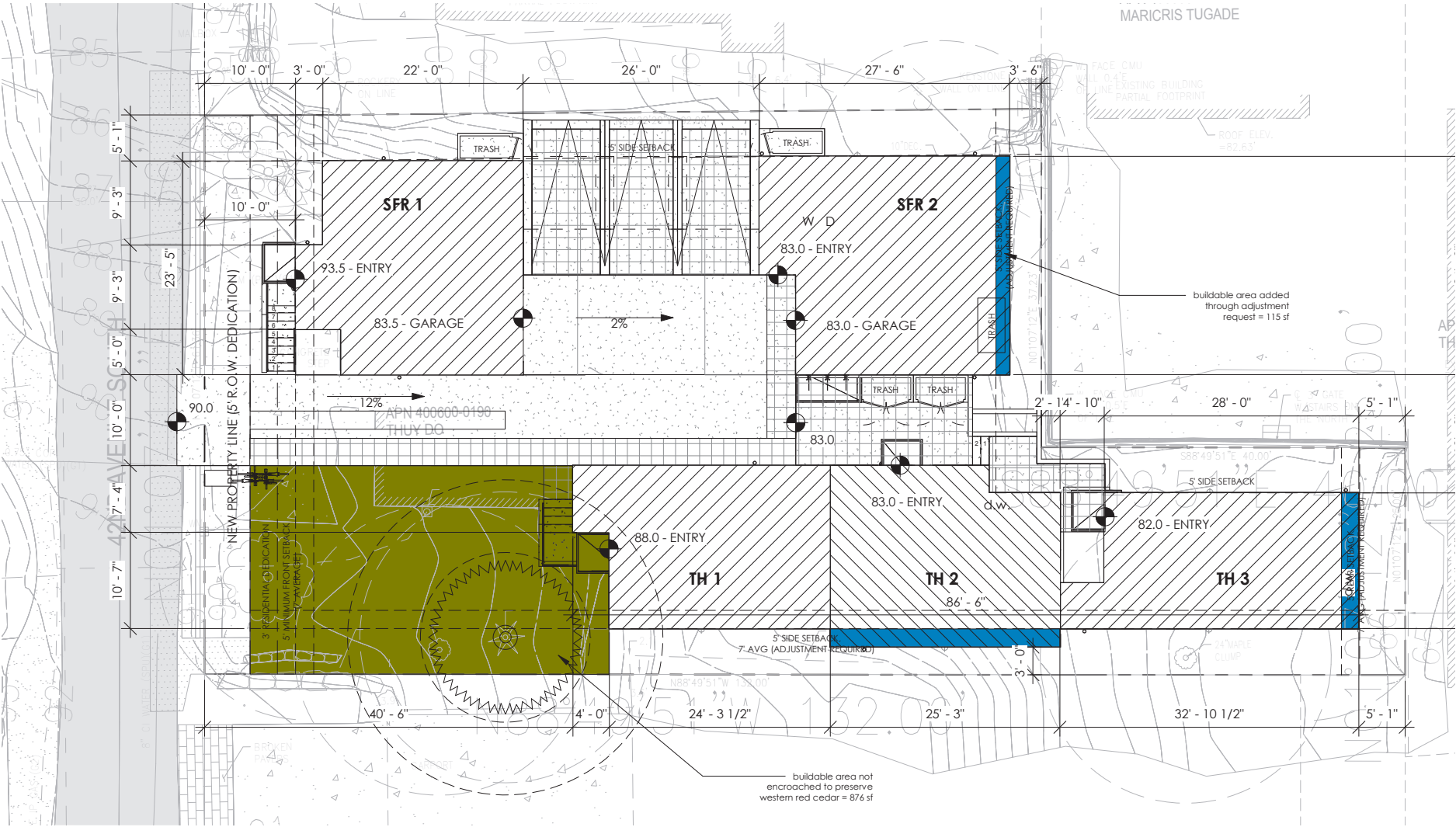
A. LR Zones

1. Required setbacks for the LR zones are shown in Table A for 23.45.518 and subsection 23.45.518.A.2.

Table A for 23.45.518 Required setbacks in LR zones measured in feet				
All LR zones	Category of residential use			
Setback	Cottage housing developments and single-family dwelling units	Rowhouse developments	Townhouse developments	Apartments
Front	7 average; 5 minimum	5 minimum	7 average; 5 minimum	5 minimum
Rear	0 with alley; 7 if no alley	0 with alley; With no alley: 7 average; 5 minimum	7 average; 5 minimum	10 minimum with alley; 15 minimum if no alley
Side setback for facades 40 feet or less in length <sup>1</sup>	5	0 where abutting another rowhouse development <sup>2</sup> , otherwise 3.5, except that on side lot lines that abut a single-family zone, the setback is 5	5	5
Side setback for facades greater than 40 feet in length <sup>3</sup>	5 minimum	0 where abutting another rowhouse development <sup>2</sup> , otherwise 3.5, except that on side lot lines that abut a single-family zone, the setback is 7 average; 5 minimum	7 average; 5 minimum	7 average; 5 minimum

**ADJUSTMENT REQUESTED:**  
Decrease south side setback from 5'-0" minimum; 7'-0" average to 3'-0" minimum; 5'-0" average. Decrease east rear setbacks from 5'-0" minimum; 7'-0" average to 5'-0" minimum. Decrease east side setback from 5'-0" to 3'-6".

**ADJUSTMENT RATIONAL:**  
To preserve the Western Red Cedar, 876 sf of buildable area has not been encroached upon and remains open and undeveloped (CS1.D.1 and DC3.C.3). To retain part of that buildable area, we request a decrease in setbacks along the south and east property lines.





# adjustment request #3:

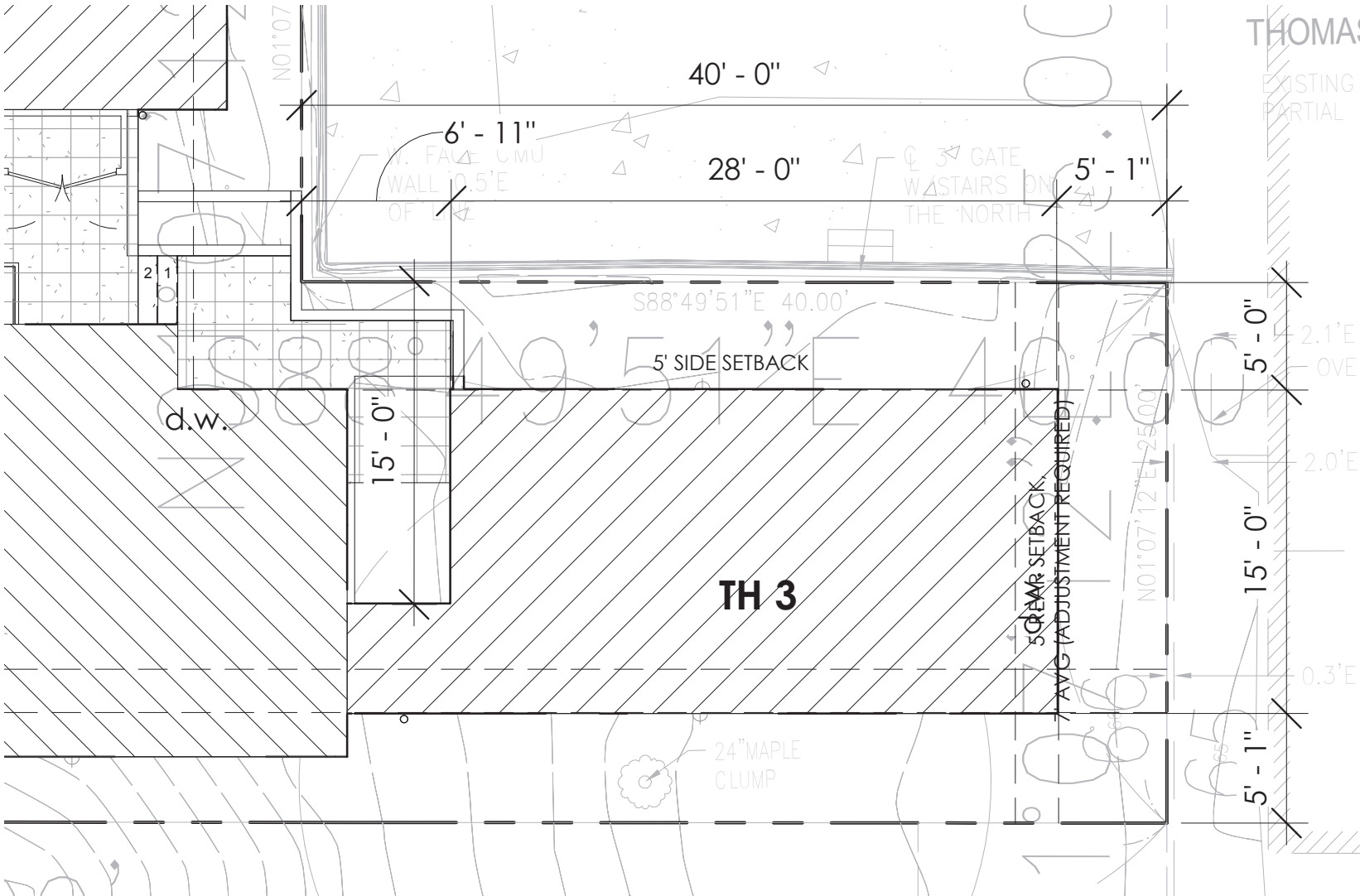
## increase in facade length

**STANDARD: SMC 2.45.518**  
B. Maximum façade length in Lowrise zones

1. The maximum combined length of all portion of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65% of the length of that lot line, except as specified in subsection 23.45.527.B.2.

**ADJUSTMENT REQUESTED:**  
Allow a combined facade length total of 70% on north lot line adjacent to TH3.  
Proposed facade length: 28'-0"/40'-0" = 0.7 = 70%

**ADJUSTMENT RATIONAL:**  
The setbacks in this area of the site restrict the buildable area to 15'-0" in width. To make this a viable and liveable unit, we request to increase the allowable facade length to 70%. This is an increase in 2' of facade length. This unit is located on a steep sloped area of the site that would not be otherwise utilized. (CS2.D.2)





LANDSCAPE PLAN

LANDSCAPE PLAN  
SCALE 1" = 10' 0"





GOLDEN ROD



PACIFIC RHODODENDRON



BLUE FESCUE



TUSCAN BLUE ROSEMARY



HIDCOTE BLUE LAVENDER



SHORE PINE



HORSETAIL REED GRASS



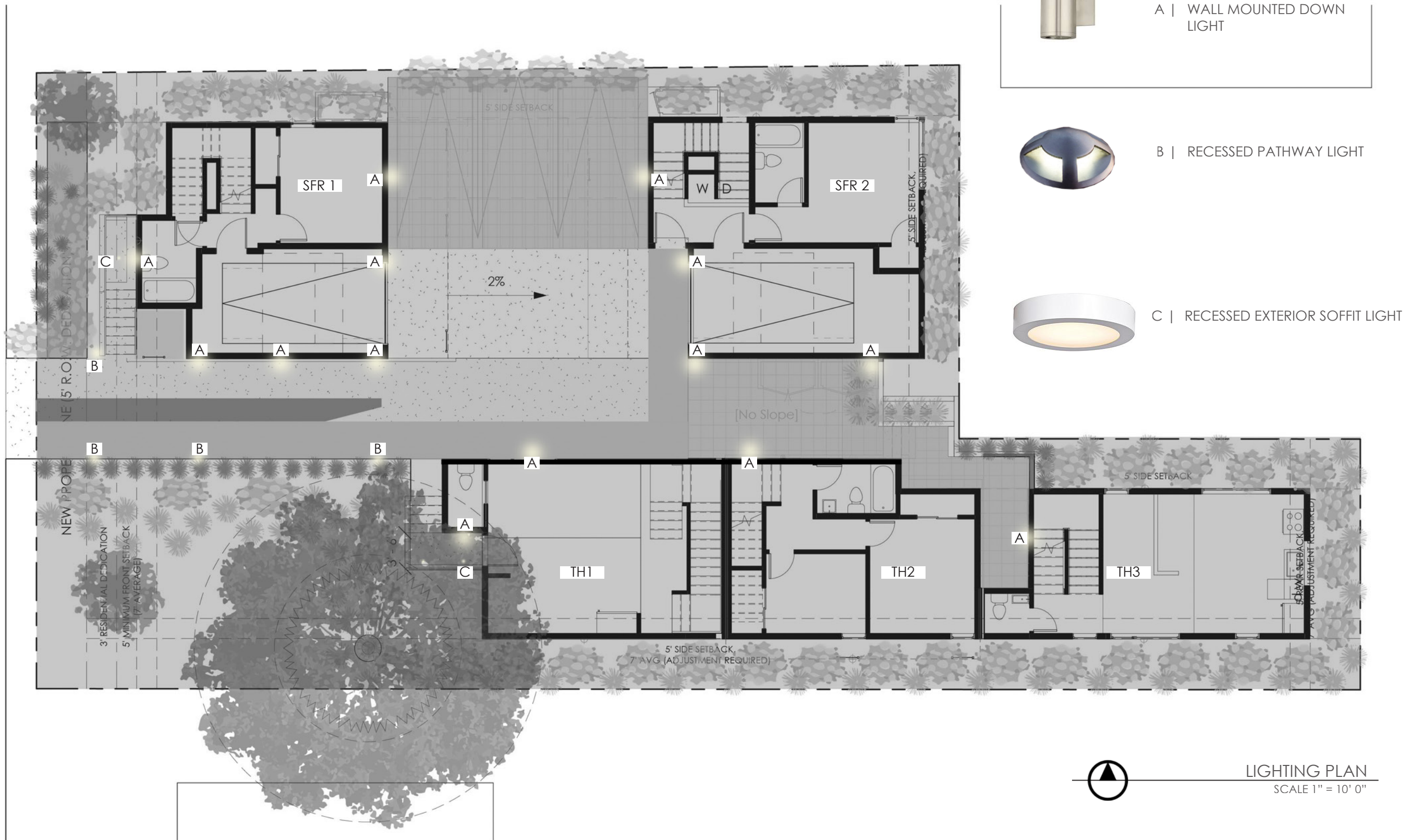
MAHONIA SOFT CARESS



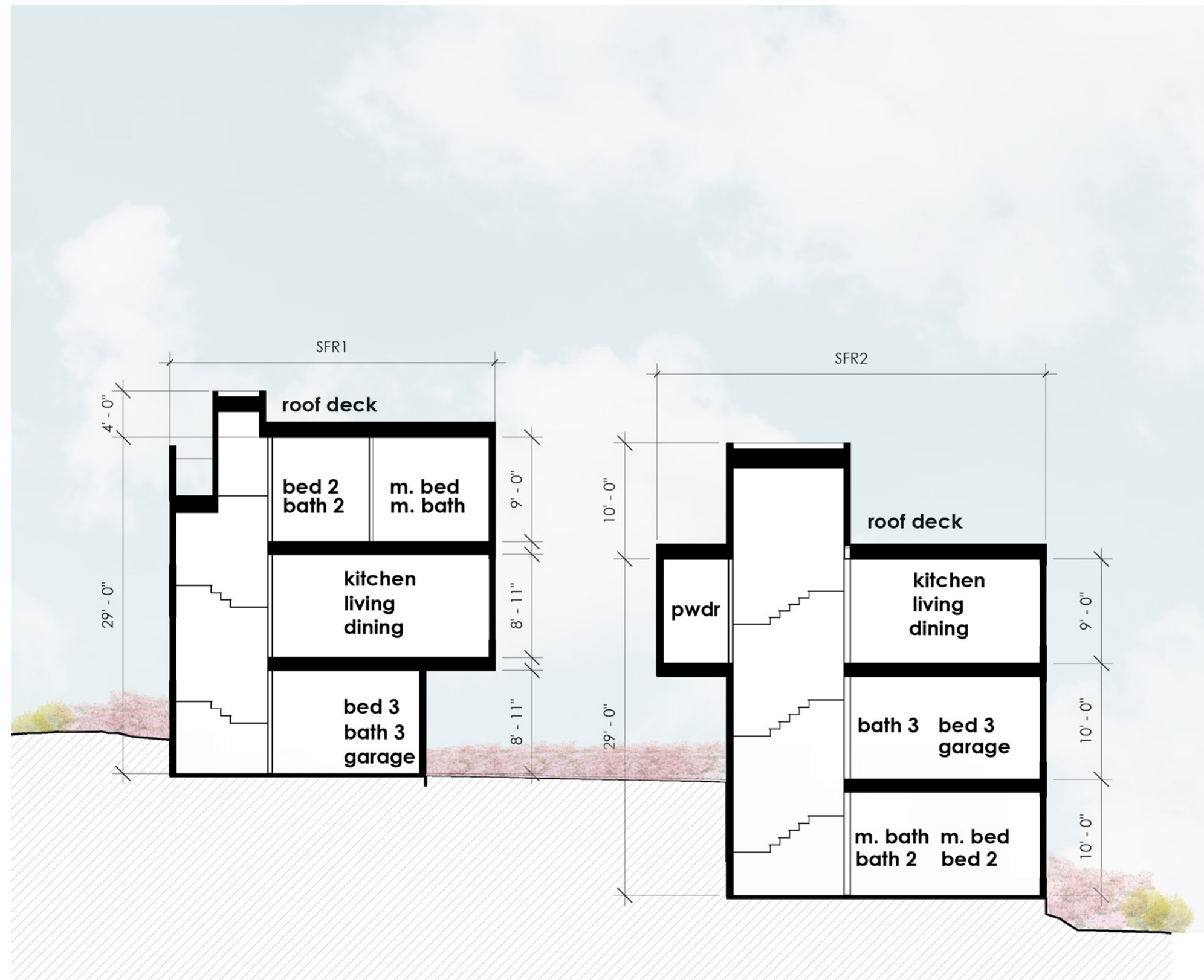
MEXICAN FEATHER GRASS

## EXAMPLE PLANTINGS



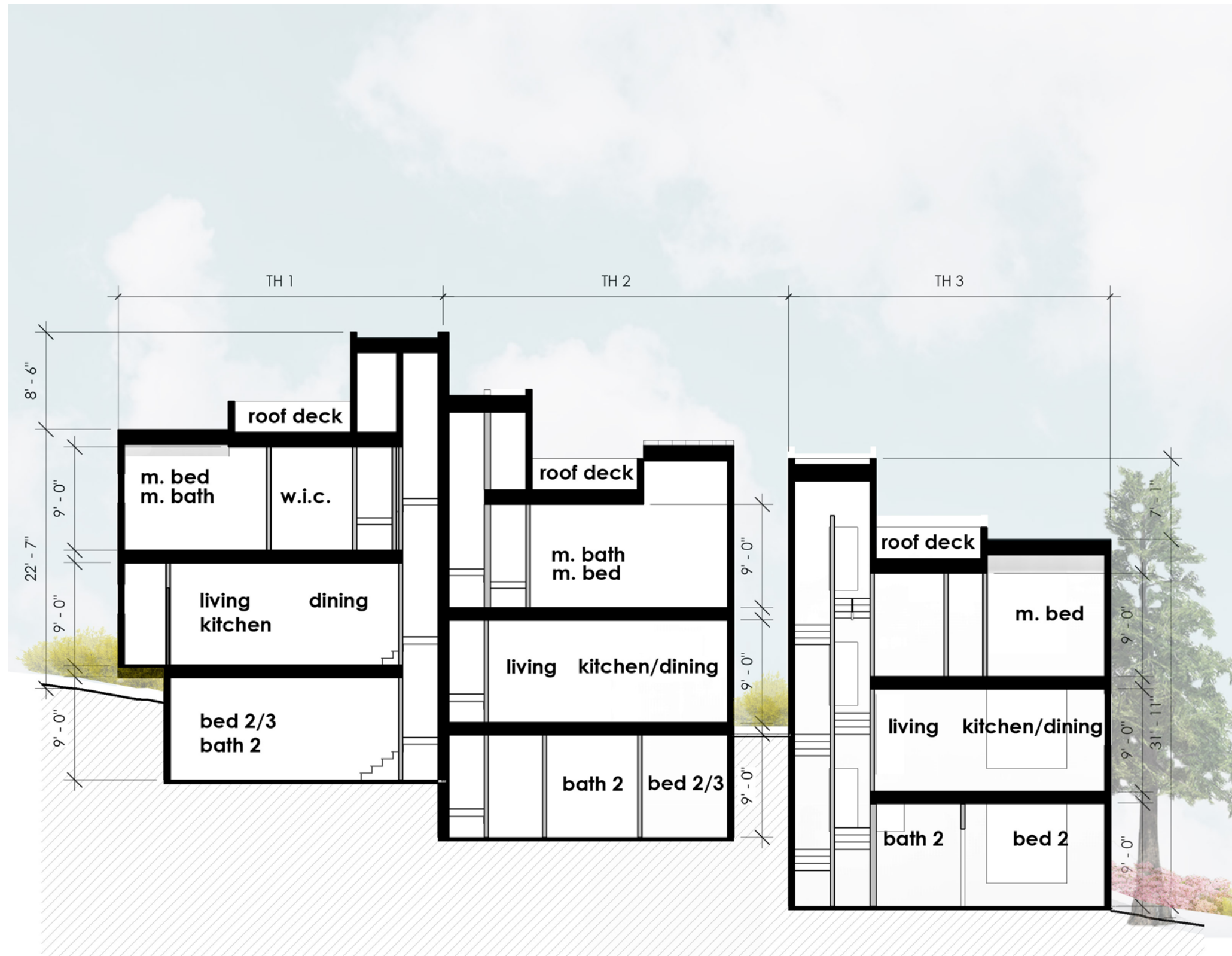


42ND AVE SOUTH

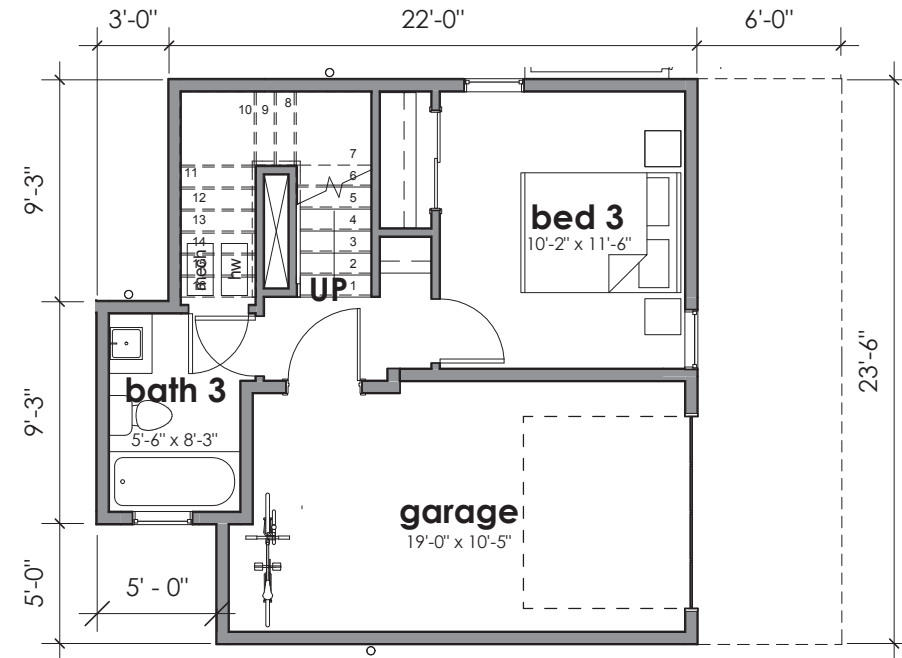


SITE SECTION

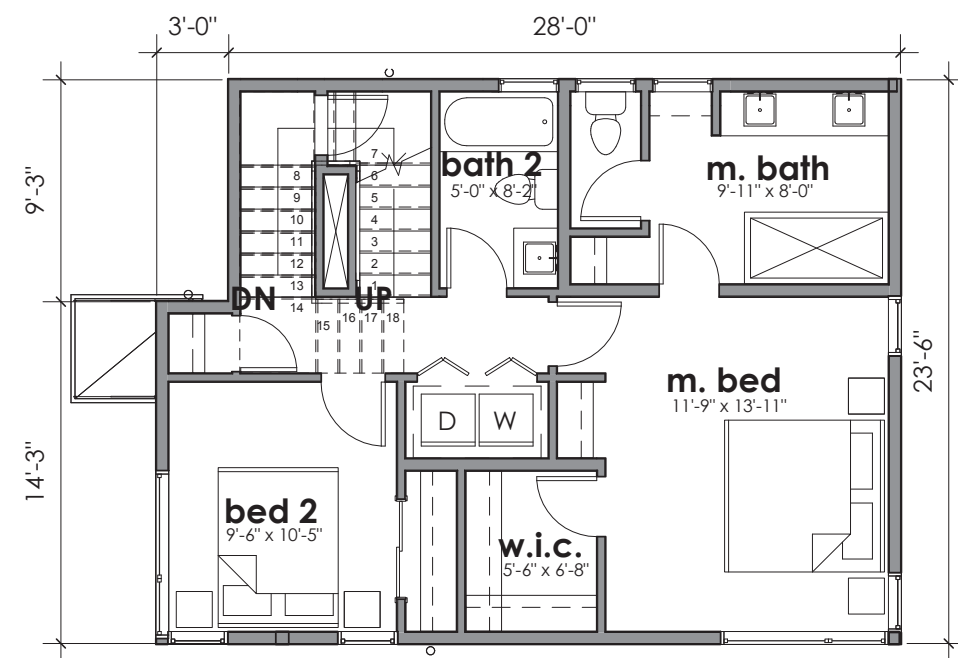
42ND AVE SOUTH



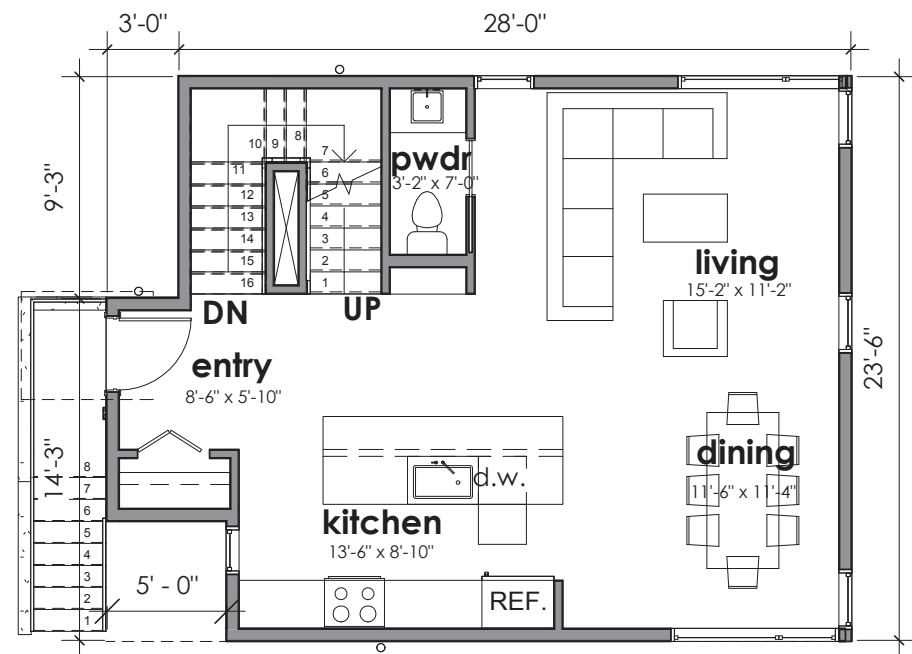




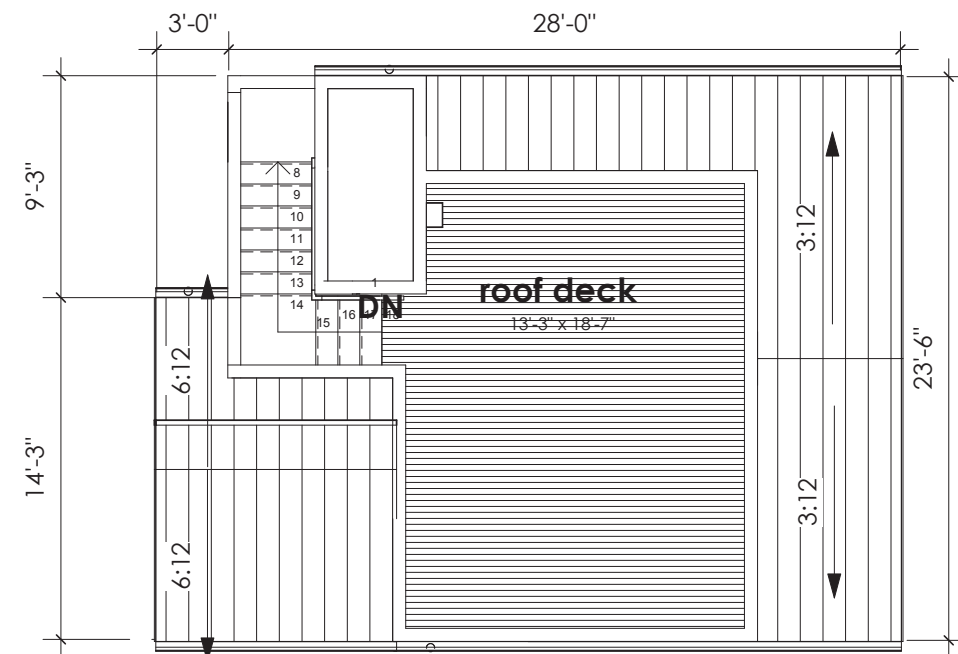
SFR 1 - LEVEL 1



SFR 1 - LEVEL 3



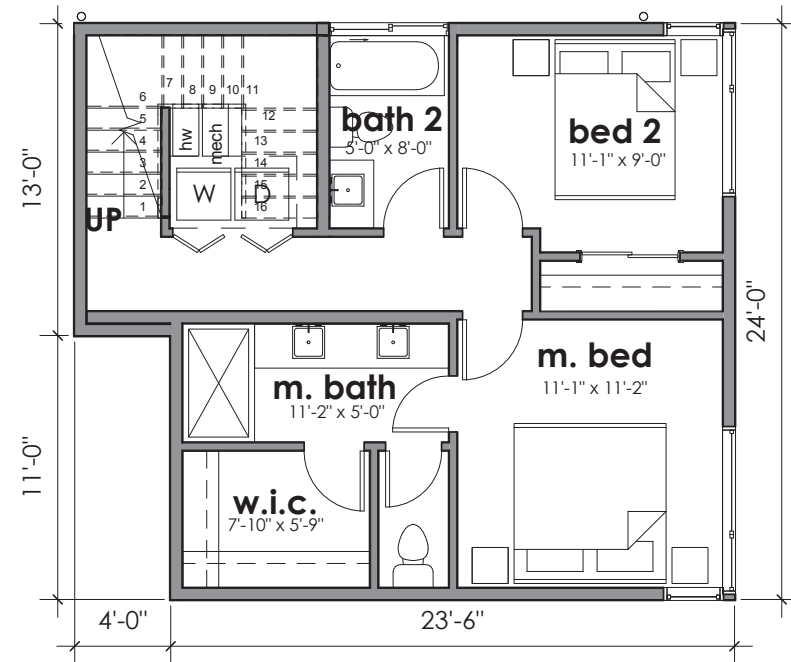
SFR 1 - LEVEL 2



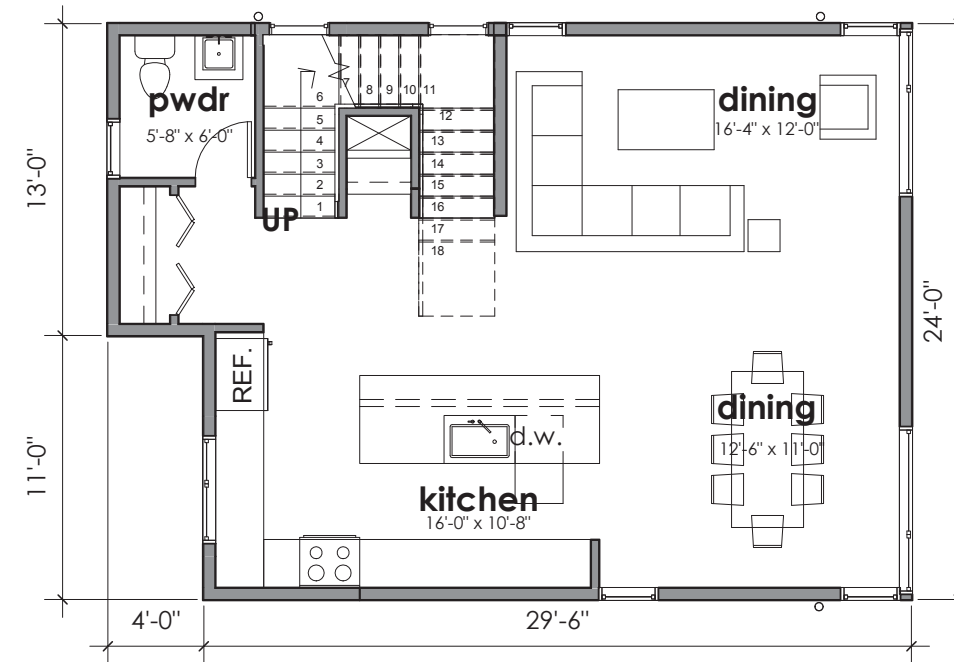
SFR 1 - ROOF



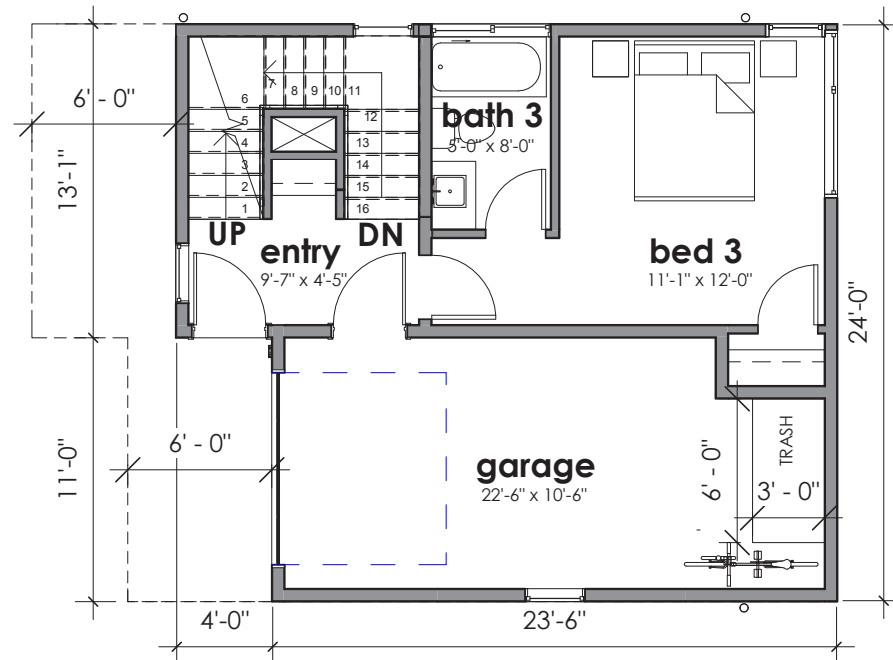
FLOOR PLANS SFR1  
SCALE: 1/8" = 1'0"



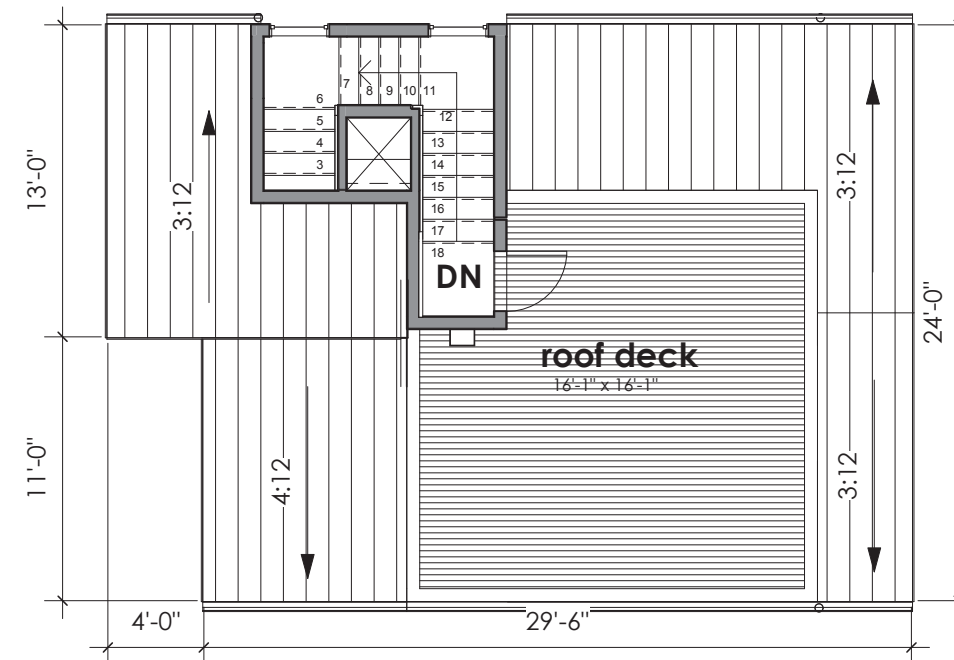
SFR 2 - LEVEL 1



SFR 2 - LEVEL 3



SFR 2 - LEVEL 2

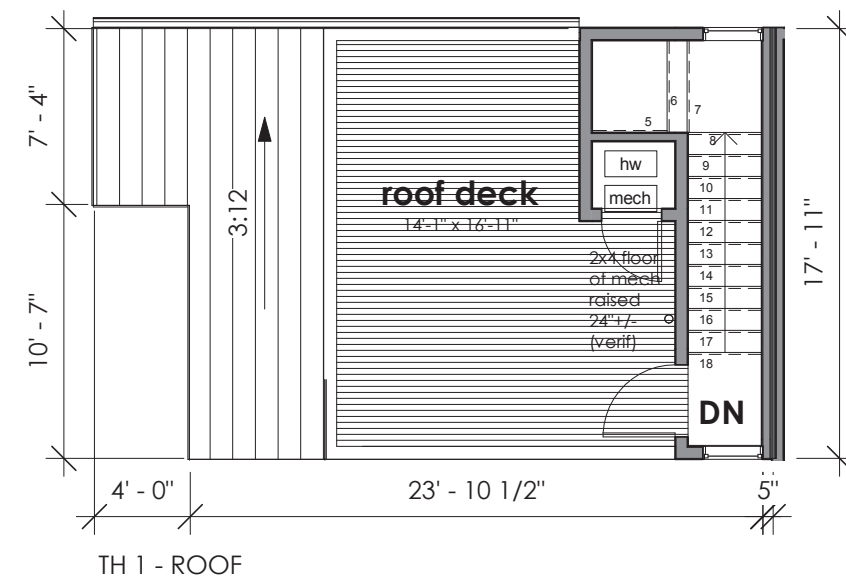
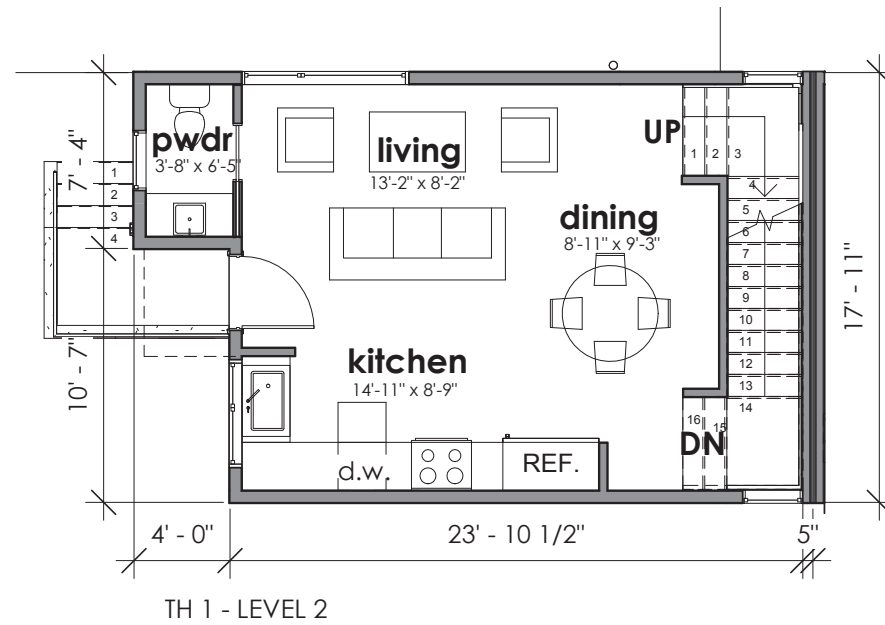
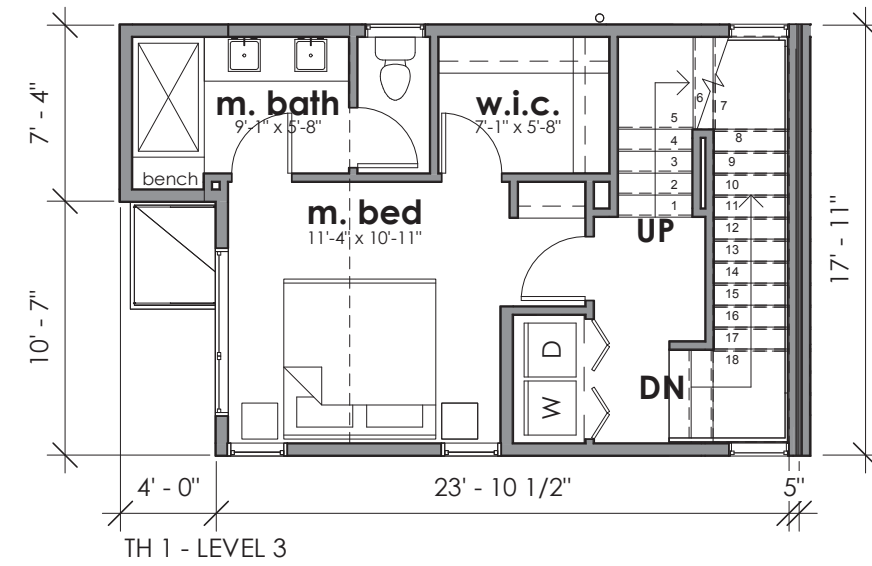
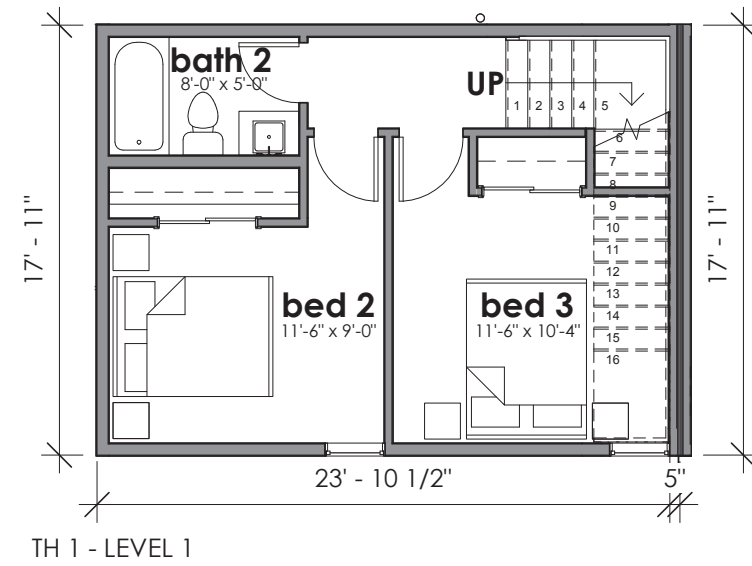


SFR 2 - ROOF

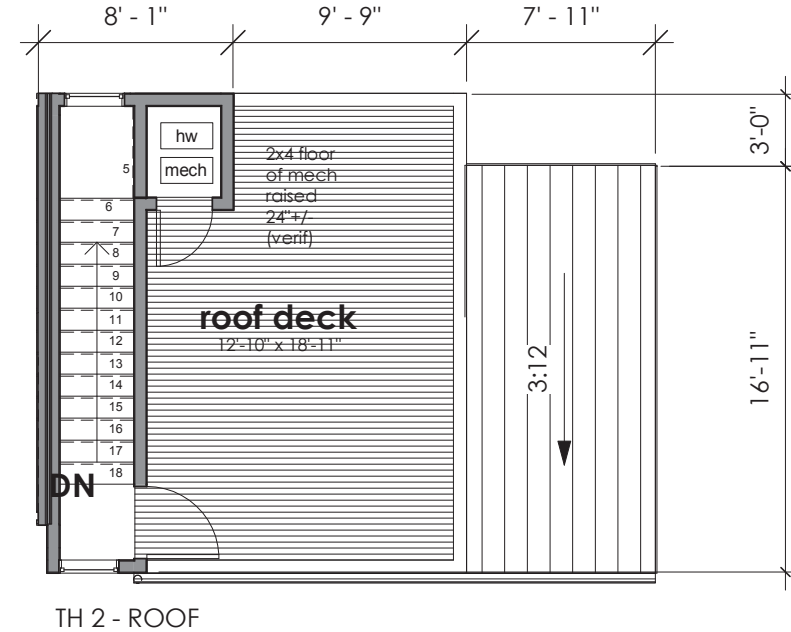
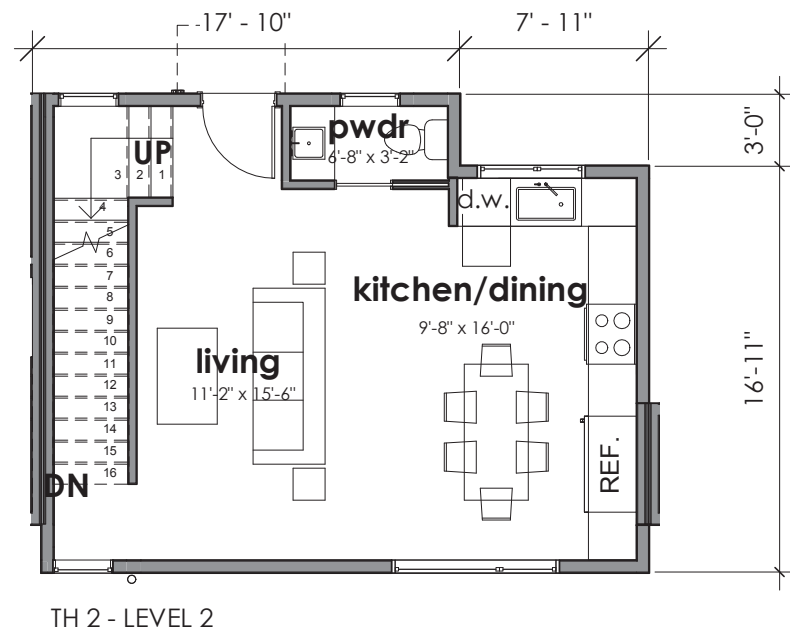
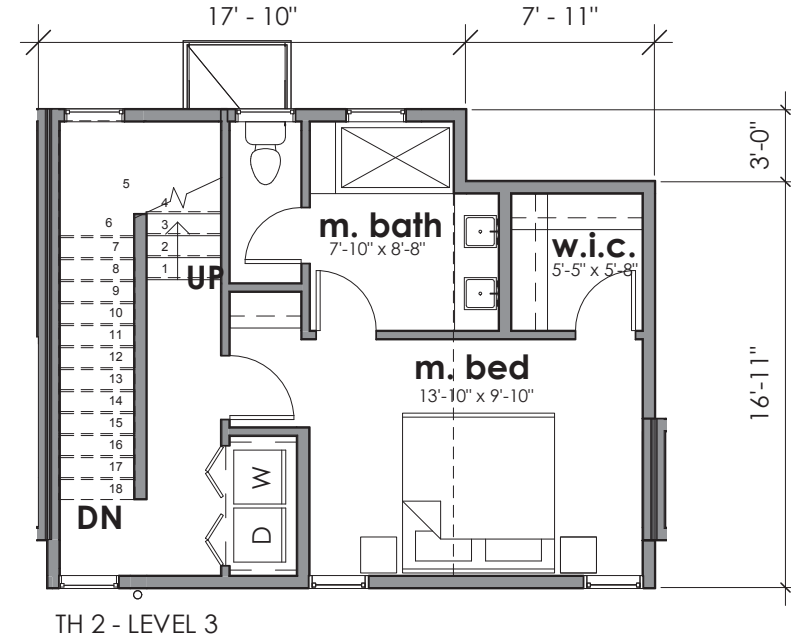
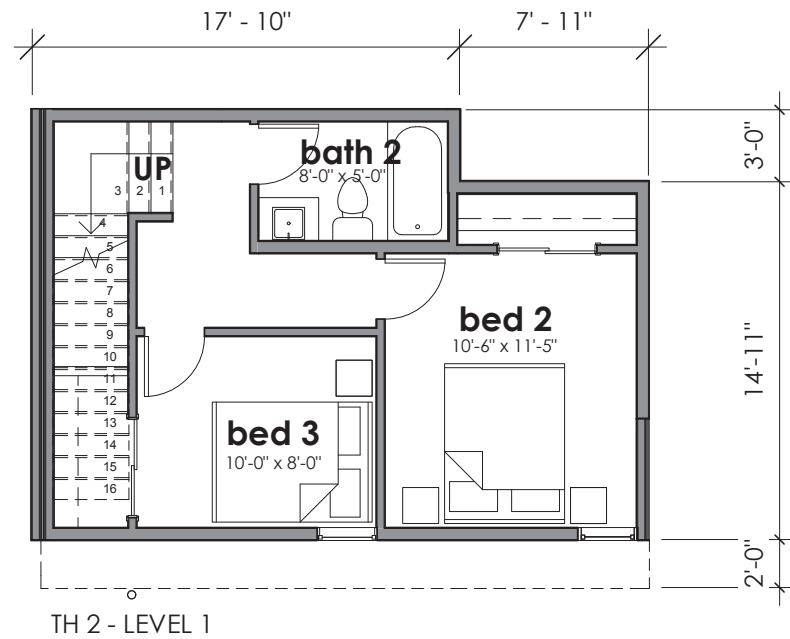


FLOOR PLANS SFR2  
SCALE: 1/8" = 1'0"

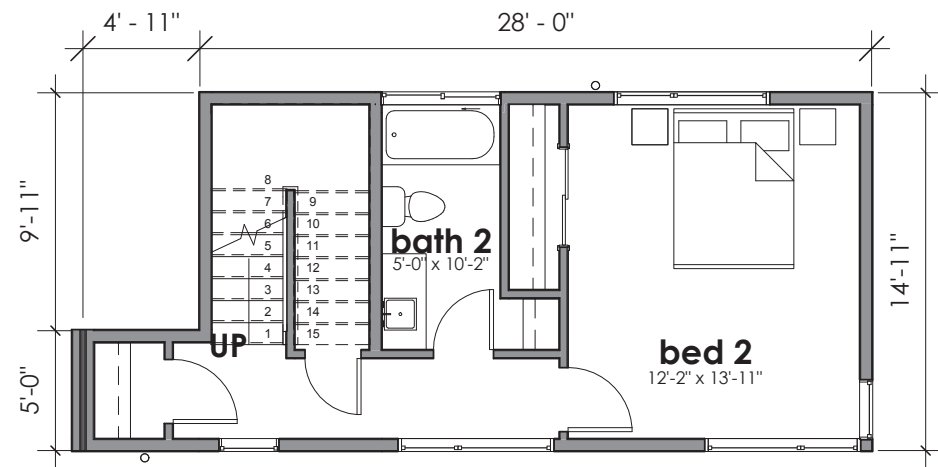




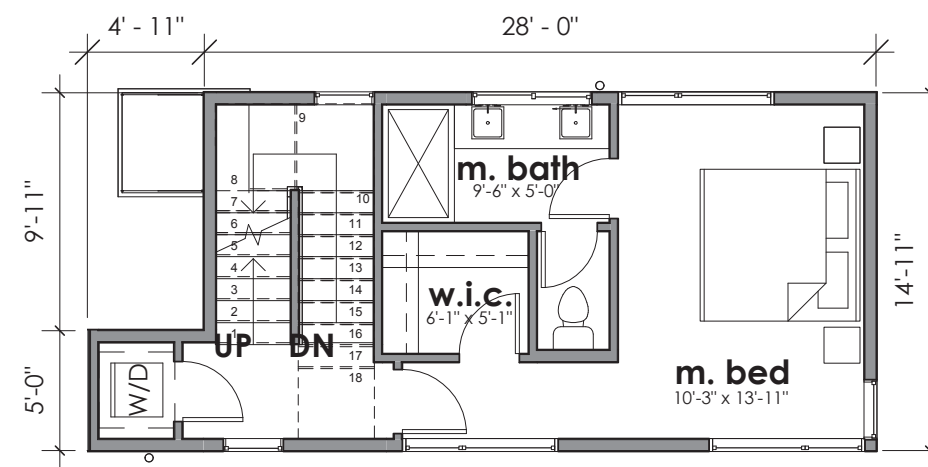
FLOOR PLANS TH1  
SCALE: 1/8" = 1'0"



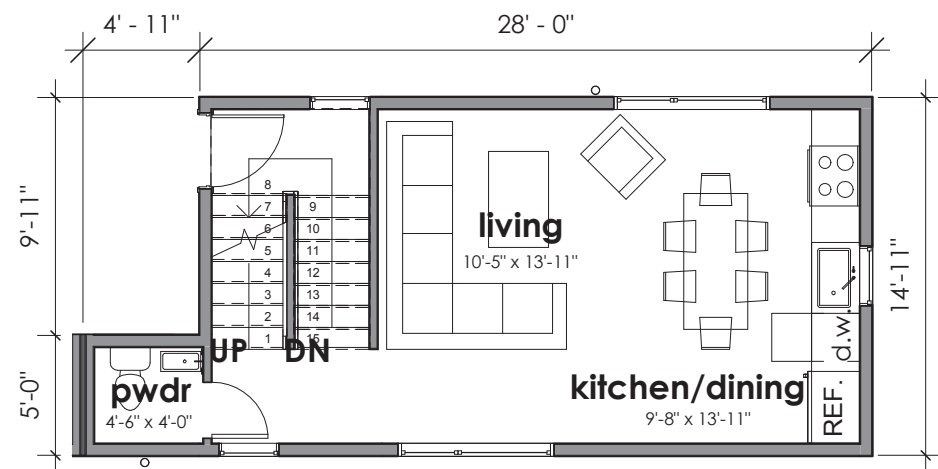
FLOOR PLANS TH2  
SCALE: 1/8" = 1'0"



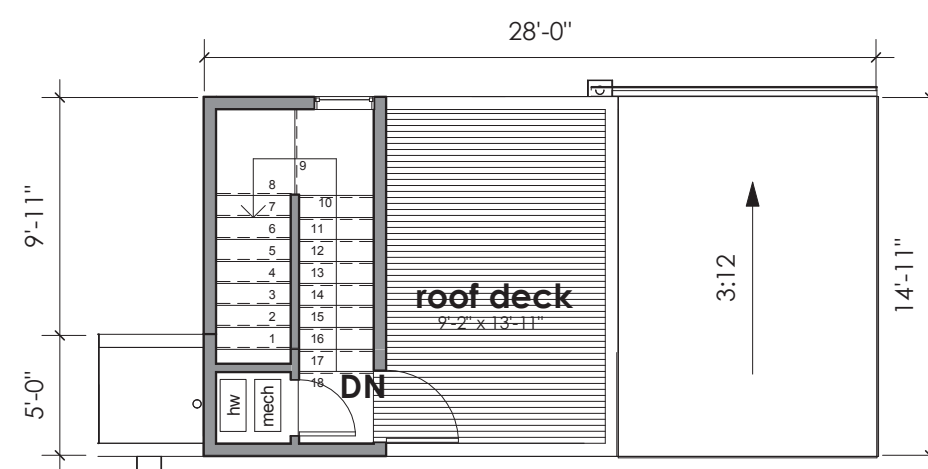
TH 3 - LEVEL 1



TH 3 - LEVEL 3



TH 3 - LEVEL 2

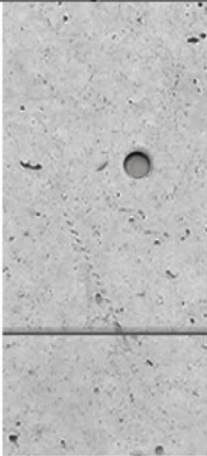
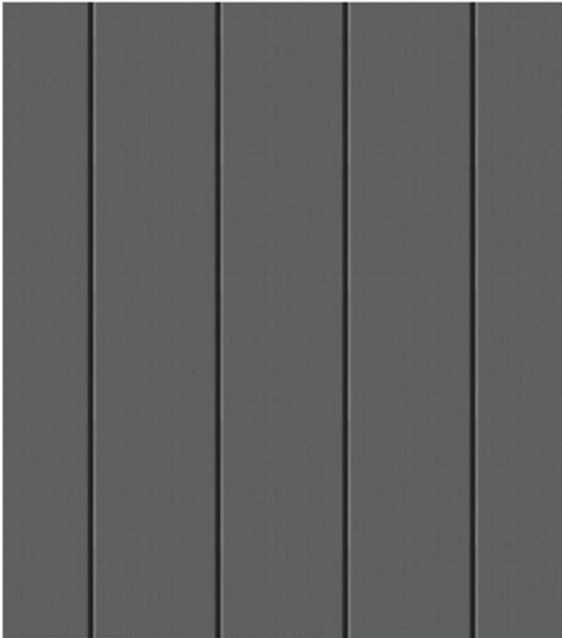


TH 3 - ROOF

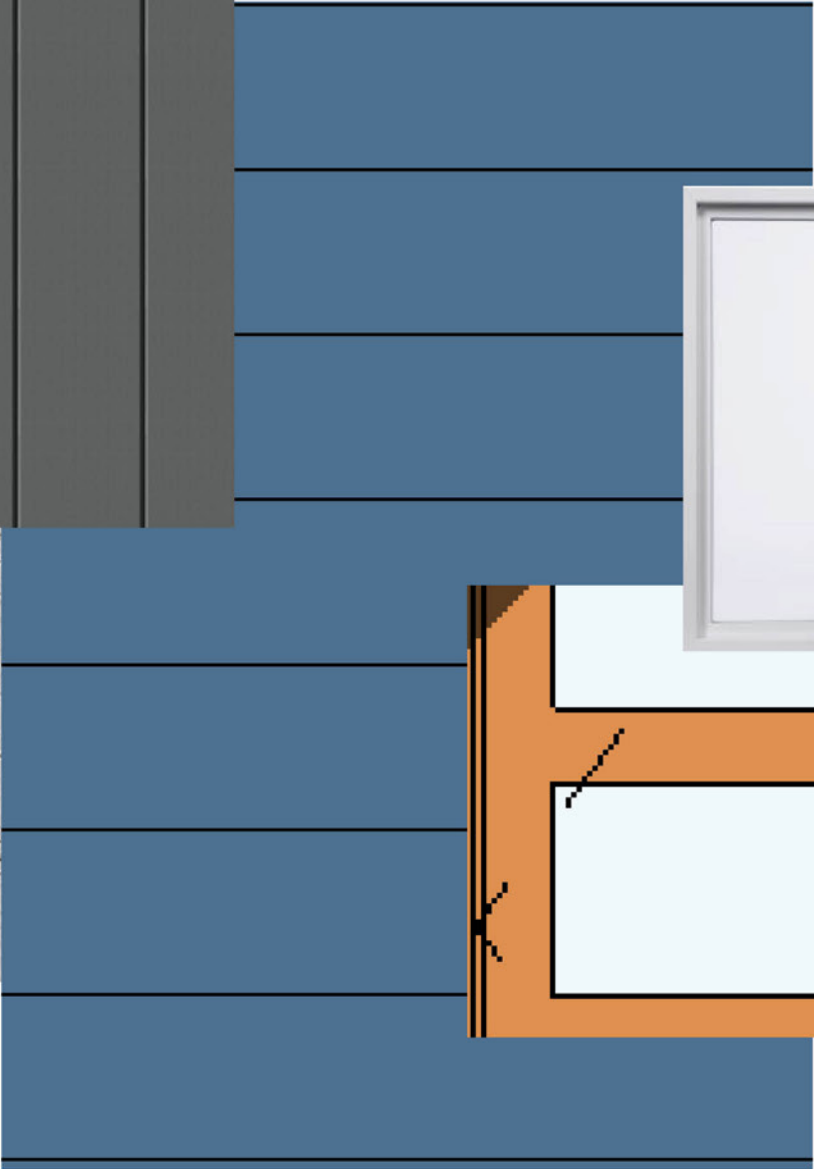


FLOOR PLANS TH3  
SCALE: 1/8" = 1'0"

STANDING SEAM METAL ROOFING  
*Dark Grey*



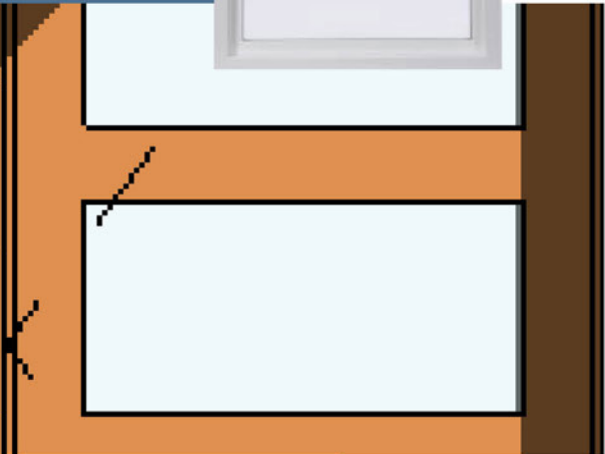
CONCRETE



CEMENTITIOUS PANEL SIDING  
8" REVEAL  
*SW 6517 Regatta*



VINYL TRIM WINDOWS  
*White*



PAINTED METAL DOOR  
*SW 6656 Serape*

STANDING SEAM METAL ROOFING  
*Dark Grey*

CEMENTITIOUS PANEL SIDING  
*SW 6517 Regatta*

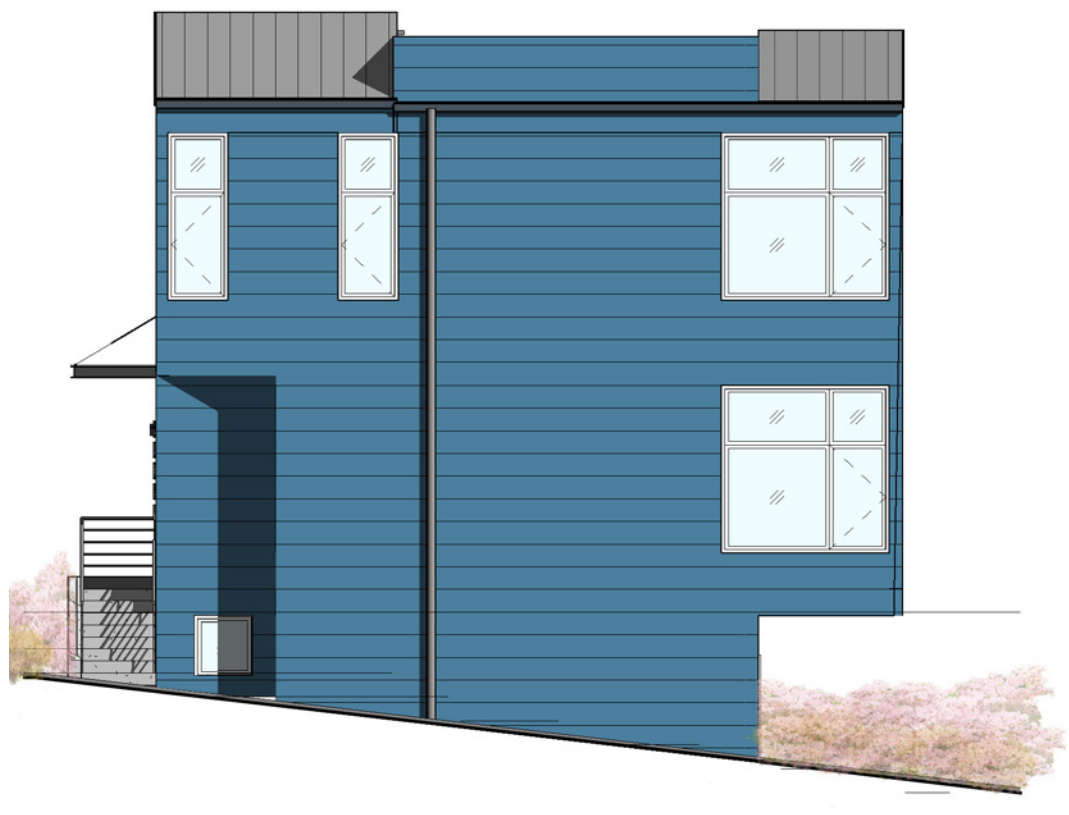
VINYL TRIM WINDOWS  
*White*

STEEL AWNING  
*Black*

PAINTED METAL DOOR  
*SW 6656 Serape*

TUBE STEEL GUARDRAIL  
*Black*



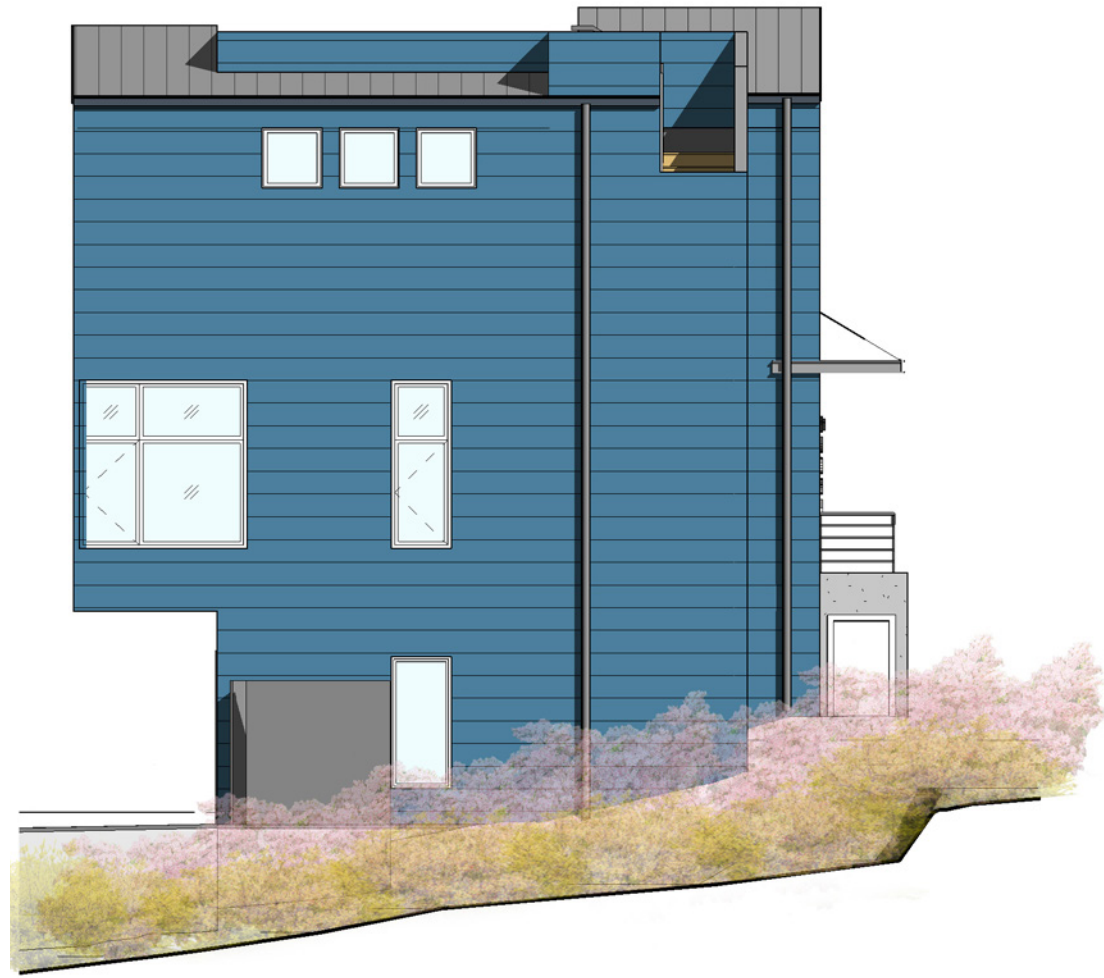


SOUTH ELEVATION: SFR 1



WEST ELEVATION: SFR 1

SOUTH & WEST ELEVATIONS | SFR 1



NORTH ELEVATION : SFR1



EAST ELEVATION : SFR1

NORTH & EAST ELEVATIONS | SFR1



NORTH ELEVATION : SFR2



EAST ELEVATION: SFR 2

NORTH & EAST ELEVATIONS | SFR 2





SOUTH ELEVATION: SFR 2



WEST ELEVATION: SFR 2

SOUTH & WEST ELEVATION | SFR 2





EAST ELEVATION: TH1



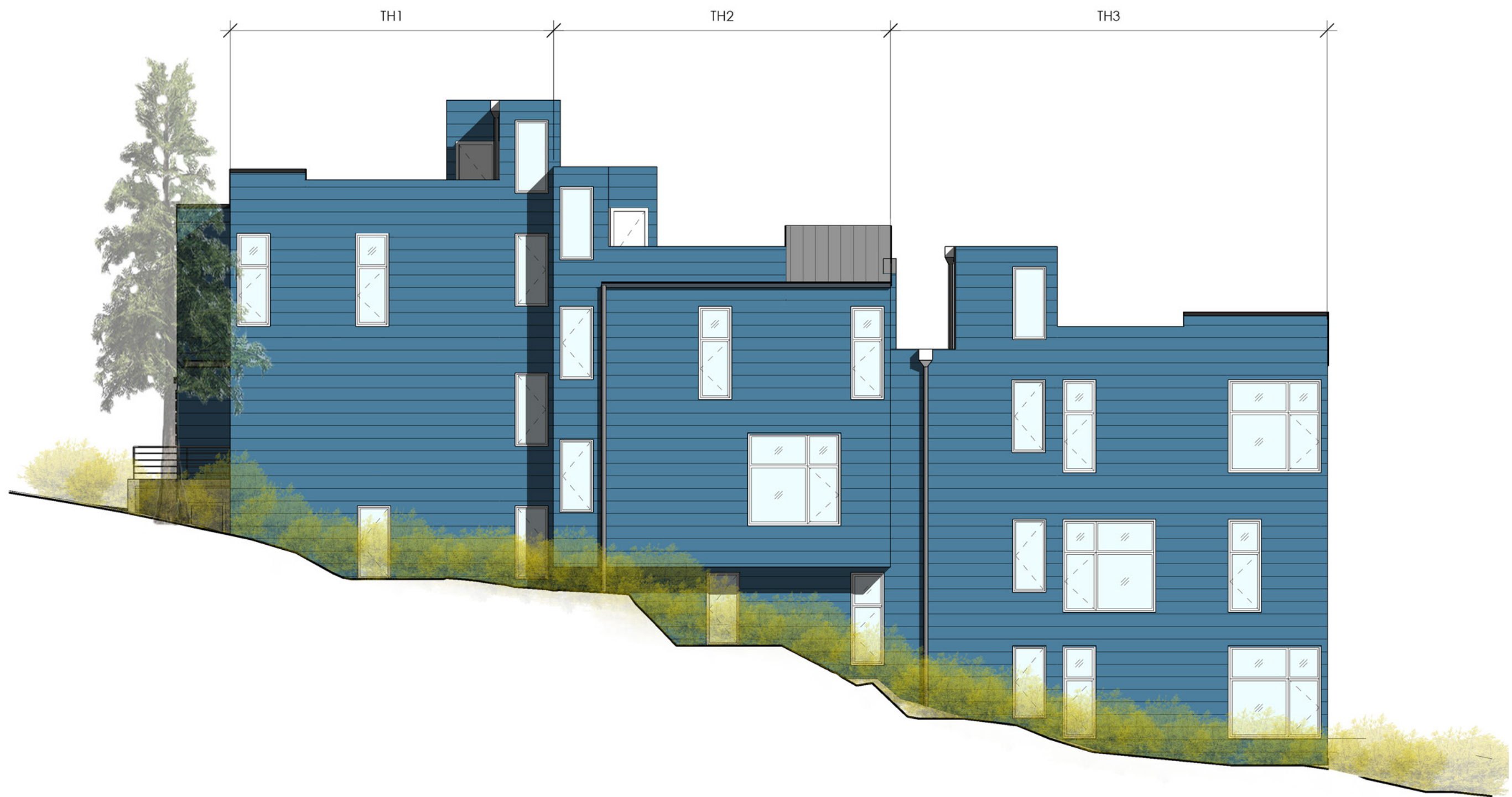
WEST ELEVATION: TH 1

EAST & WEST ELEVATION | SFR 2



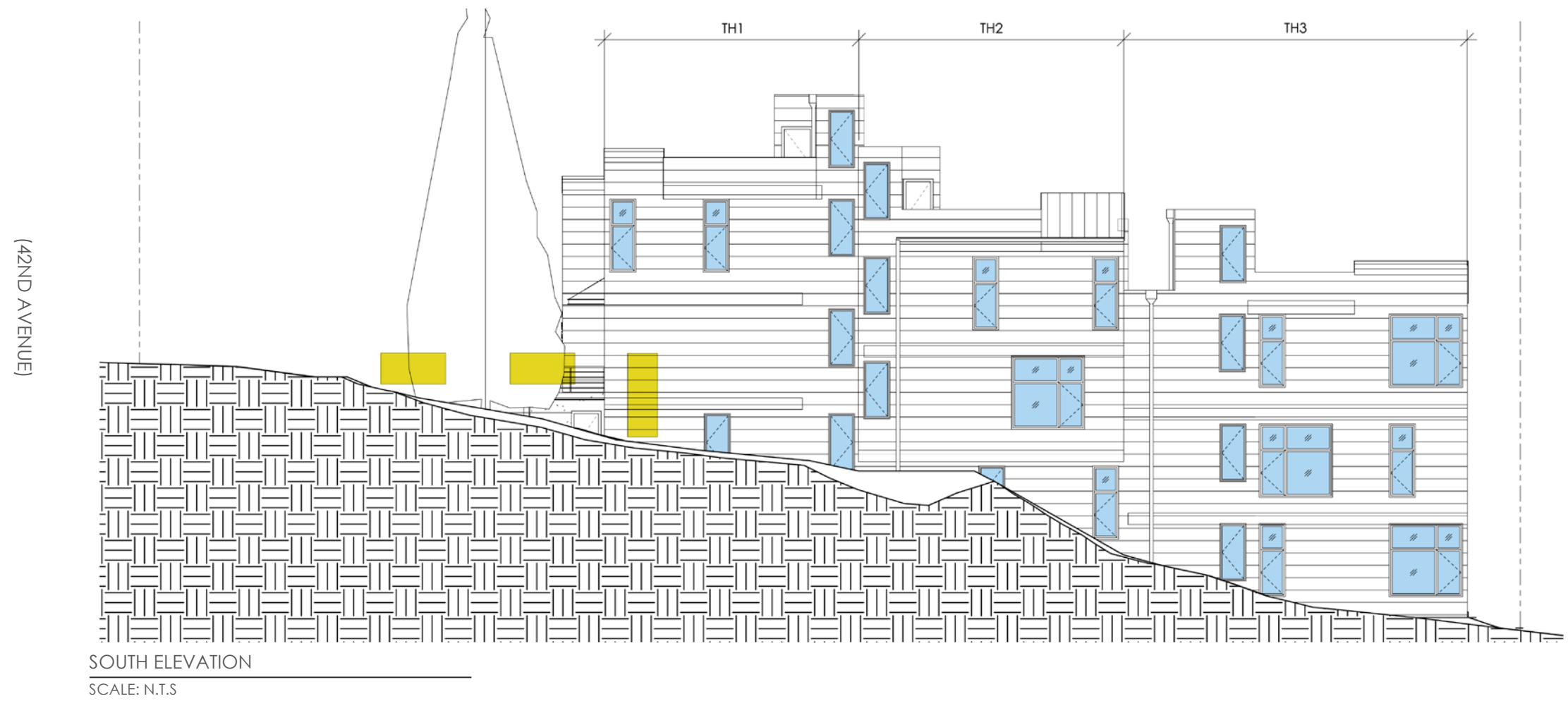
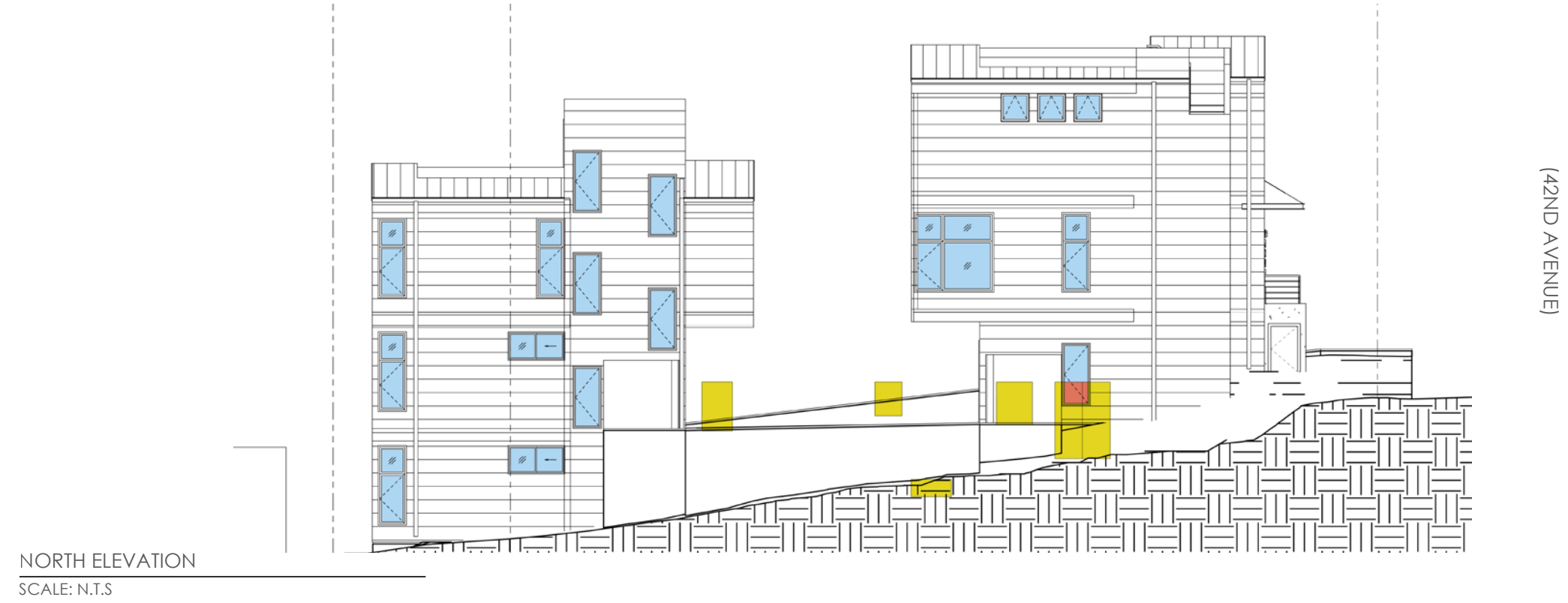
NORTH ELEVATION: TH1

NORTH ELEVATION | TH1



SOUTH ELEVATION: TH1

SOUTH ELEVATION | TH1



- Transparency at 8608 42nd (site)
- Transparency at neighboring units
- Overlap

## WINDOW STUDY





APPROACH FROM NORTHEAST (22ND AVE)

## RENDERINGS





APPROACH FROM SOUTHWEST (ALLEY)

## RENDERINGS

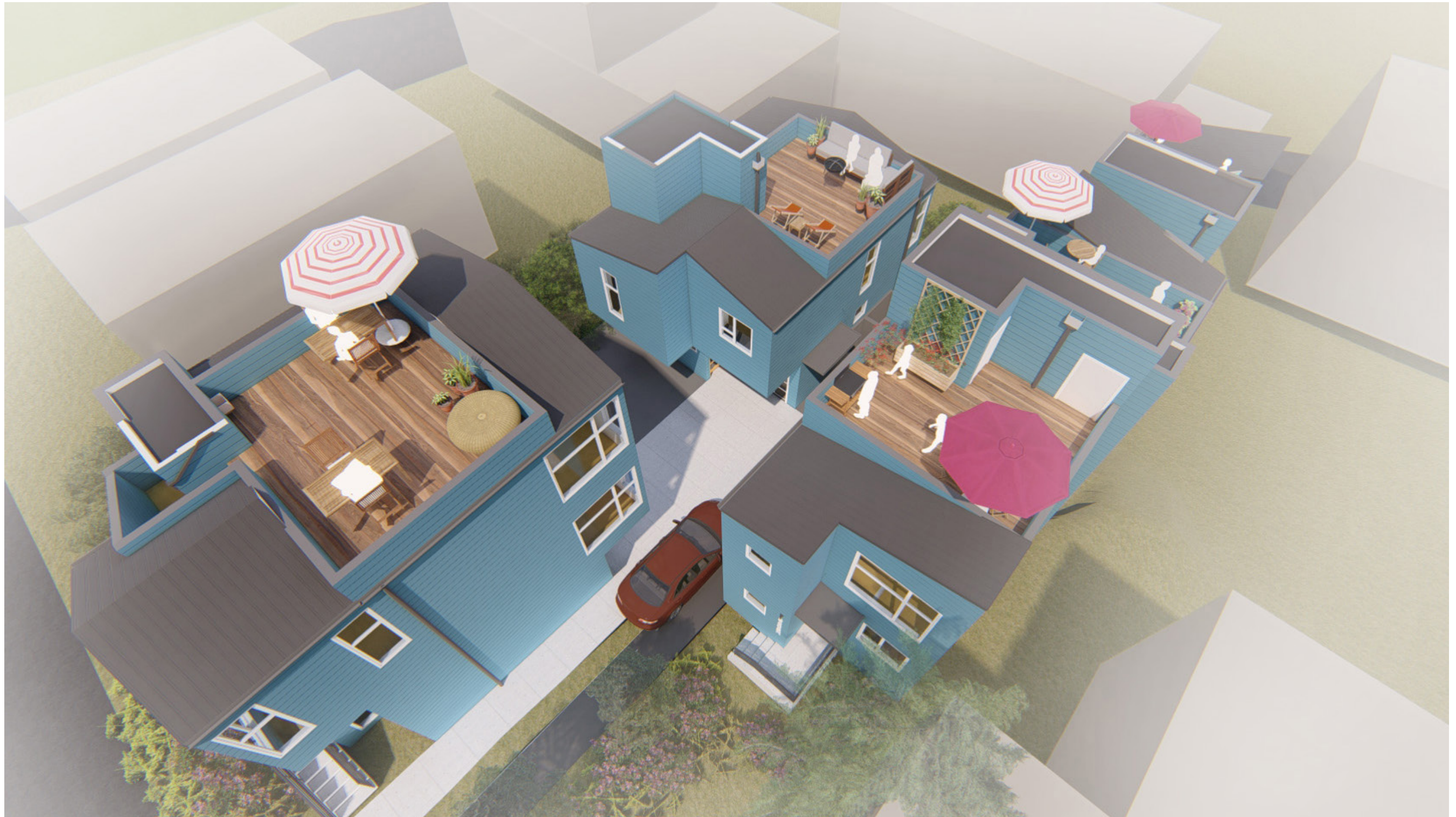




APPROACH FROM NORTH WEST (ALLEY)

## RENDERINGS





ENTRY APPROACH (SIDEWALK OFF 22ND AVE)

## RENDERINGS





# Outreach & Impact

8608 42ND AVE S

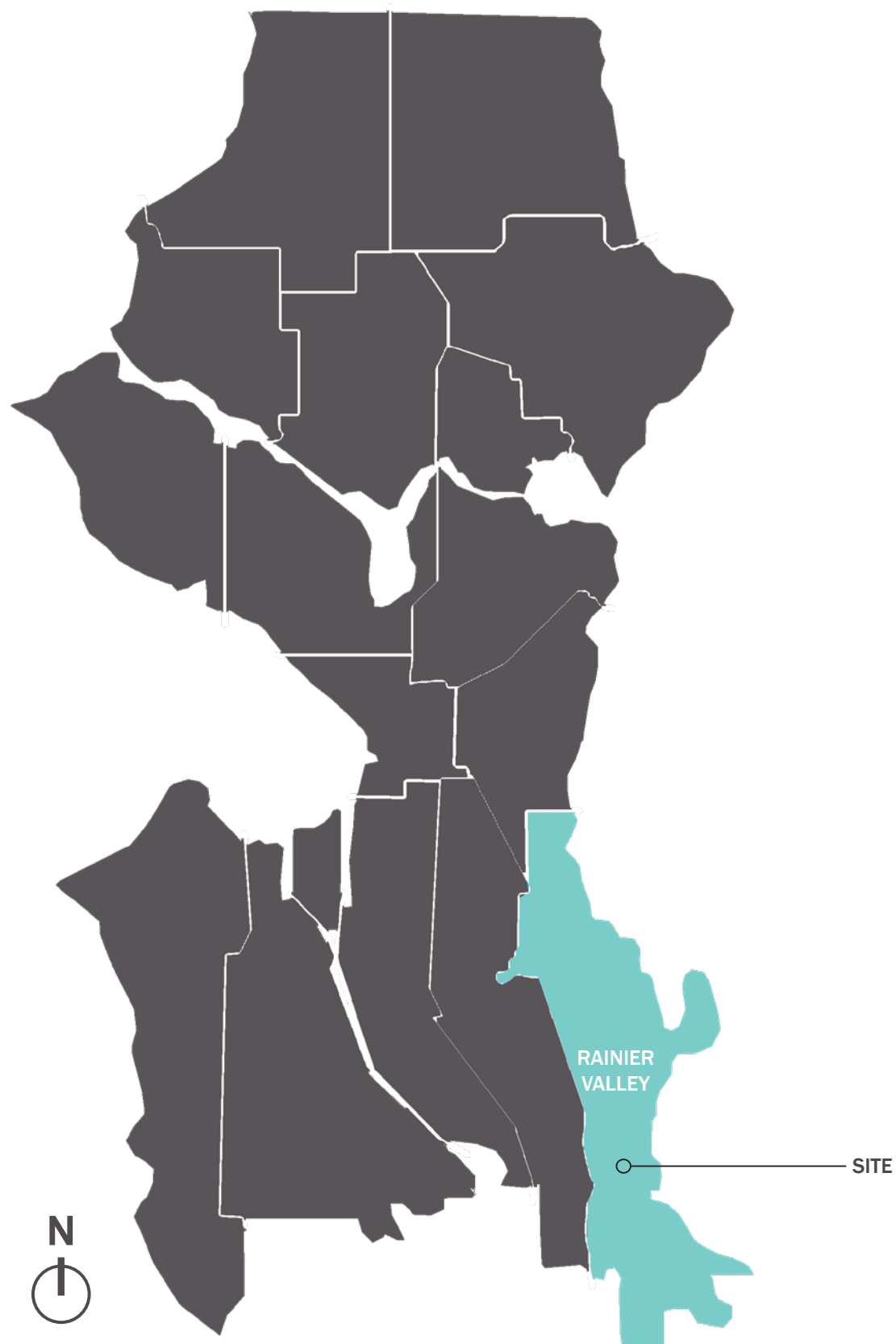
# 3031510

 ARCHITECTS

EARLY COMMUNITY OUTREACH

SENT TO DEPARTMENT OF NEIGHBORHOODS: AUGUST 30TH, 2019





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OUTREACH PLAN WITH OVERALL SUMMARY | p.34

PRINTED OUTREACH | p.35-37

ELECTRIC/DIGITAL OUTREACH | p.38-39

IN-PERSON OUTREACH | p.40-42

OUTREACH PLAN:

**Early Community Outreach Plan:**  
**8608 42nd Ave S, Seattle, WA 98118**

**Neighborhood: Rainier Beach**  
**Equity Area: Yes, Equity Zone #117**

Project Description: This proposal for (2) single family residences and (3) 3-story townhouses of Type VA construction with (5) parking stalls. The site is in a Frequent Transit and Urban Village area and is close to public parks and transit.

**Printed**

- Outreach: Mailer distributed to residences and businesses within approximately 500 ft radius of the proposed site (high impact). Contains project information, link to online survey, link to DON’s Early Outreach Blog and Calendar, and date/time/location of in-person outreach.
- Additional: Translation required – Simplified and Traditional Chinese, Vietnamese, and Somali
- Documentation: Presentation of mailer to DON, map of distribution/number of locations/building typology, photo documentation

**Digital/Electronic**

- Outreach: Basic project website (multi-pronged method) with online survey (high impact) and public commenting function (high impact). Project information and contact information provided. Survey and informational mailer emailed to organizations listed on neighborhood snapshot.
- Additional: Translation required – Simplified and Traditional Chinese, Vietnamese, and Somali
- Documentation: Link to website, survey prepared, number of surveys completed, demographic break down, coded surveys (qualitative and quantitative)

**In-Person**

- Outreach: Drop-in hours at project site (multi-pronged method) and guided community site walk (high impact). Open to the public.
- Additional: Not to fall on cultural holiday or event. Interpretor available upon request.
- Documentation: Sign in sheet, design game method, coded data from event (qualitative and quantitative), photo documentation.

OVERALL SUMMARY:

In our closing reflection, the project team was able to reach multiple people through this outreach.

On Wednesday, July 10th, we mailed out mailers to residence in a 500 foot radius from the site. The mailer notified people of the in-person event which was held on July 24th. The mailer also provided links to the online survey.

The website along with the survey was created on July 10th and ran until July 31st. The website for the project will permanently stay online to document our outreach work while the survey was kept online for 3 weeks.

In addition, the project event was posted on the DON calendar and blog. As a result of these types of outreach, we were able to gather information from the public about what they value in a future townhouse building and, popular, iconic and dangerous/ needing-improvement buildings and spaces were located in the area. There were also comments which touched on broader city concerns, such as crime, parking, and pedestrian safety (sidewalks/cars speeding).

Overall, this design review outreach created an opportunity for us to gather information about the neighborhood and allowed us to provide information on the proposed site and the design process.

# HIGH-IMPACT METHOD

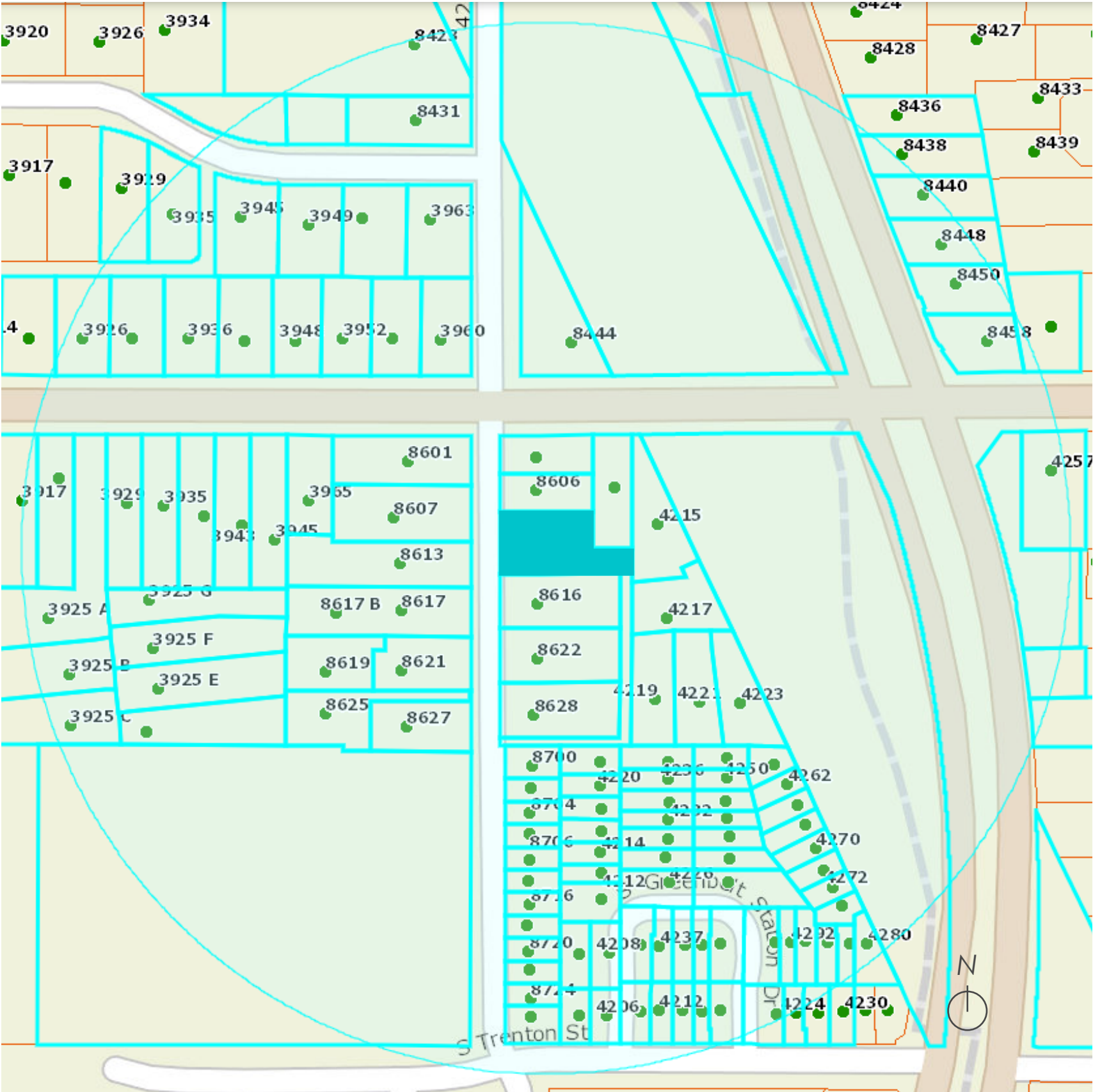
USPS distributed mailers were sent to residences within a 500 ft radius of the proposed site. All information was distributed in English, Chinese Simplified, Chinese Traditional, Somali, and Vietnamese all key languages for the area, identified by the Department of Neighborhoods.

## Mailer List

- 8801 41ST AVE S  
4107 S TRENTON ST  
8804 41ST AVE S  
4215 S TRENTON ST  
8700 42ND AVE S  
8702 42ND AVE S  
8704 42ND AVE S  
8706 42ND AVE S  
8710 42ND AVE S  
8712 42ND AVE S  
8716 42ND AVE S  
8718 42ND AVE S  
8720 42ND AVE S  
8722 42ND AVE S  
8724 42ND AVE S  
8726 42ND AVE S  
4204 S TRENTON ST  
4206 S TRENTON ST  
4206 S GREENBELT STATION DR  
4208 S GREENBELT STATION DR  
4210 S GREENBELT STATION DR  
4212 S GREENBELT STATION DR  
4214 S GREENBELT STATION DR  
4216 S GREENBELT STATION DR  
4218 S GREENBELT STATION DR  
4220 S GREENBELT STATION DR  
4222 S GREENBELT STATION DR  
4238 S GREENBELT STATION DR  
4236 S GREENBELT STATION DR  
4234 S GREENBELT STATION DR  
4232 S GREENBELT STATION DR  
4230 S GREENBELT STATION DR  
4228 S GREENBELT STATION DR  
4226 S GREENBELT STATION DR  
4235 S GREENBELT STATION DR  
4237 S GREENBELT STATION DR  
4210 S TRENTON ST  
4212 S TRENTON ST  
4214 S TRENTON ST  
4216 S TRENTON ST  
4218 S TRENTON ST  
4241 S GREENBELT STATION DR  
4243 S GREENBELT STATION DR  
4245 S GREENBELT STATION DR  
4240 S GREENBELT STATION DR  
4242 S GREENBELT STATION DR  
4244 S GREENBELT STATION DR  
4246 S GREENBELT STATION DR  
4248 S GREENBELT STATION DR  
4250 S GREENBELT STATION DR  
4252 S GREENBELT STATION DR  
4260 S GREENBELT STATION DR  
4262 S GREENBELT STATION DR  
4264 S GREENBELT STATION DR  
4268 S GREENBELT STATION DR  
4270 S GREENBELT STATION DR  
4272 S GREENBELT STATION DR  
4274 S GREENBELT STATION DR  
4276 S GREENBELT STATION DR  
4294 S GREENBELT STATION DR  
4292 S GREENBELT STATION DR  
4290 S GREENBELT STATION DR  
4284 S GREENBELT STATION DR  
4282 S GREENBELT STATION DR  
4280 S GREENBELT STATION DR  
4220 S TRENTON ST  
4222 S TRENTON ST  
4224 S TRENTON ST  
4230 S TRENTON ST  
4232 S TRENTON ST  
4234 S TRENTON ST  
8633 44TH AVE S  
8639 44TH AVE S  
8645 44TH AVE S  
4201 S CLOVERDALE ST  
8617 44TH AVE S  
4257 S CLOVERDALE ST  
8623 44TH AVE S  
4263 S CLOVERDALE ST  
8611 44TH AVE S

4215 S CLOVERDALE ST  
8606 42ND AVE S  
8608 42ND AVE S  
8616 42ND AVE S  
4211 S CLOVERDALE ST  
8628 42ND AVE S  
8625 44TH AVE S  
8622 42ND AVE S  
4217 S CLOVERDALE ST  
4219 S CLOVERDALE ST  
4221 S CLOVERDALE ST  
4223 S CLOVERDALE ST  
4264 S CLOVERDALE ST  
8458 MARTIN LUTHER KING JR WAY S  
8445 44TH AVE S  
8441 44TH AVE S  
8444 42ND AVE S  
4268 S CLOVERDALE ST  
8439 44TH AVE S  
8433 44TH AVE S  
8418 MARTIN LUTHER KING JR WAY S  
8424 MARTIN LUTHER KING JR WAY S  
8428 MARTIN LUTHER KING JR WAY S  
8420 42ND AVE S  
8427 44TH AVE S  
8303 42ND AVE S  
8415 42ND AVE S  
8423 42ND AVE S  
3934 S SULLIVAN ST  
3926 S SULLIVAN ST  
3929 S SULLIVAN ST  
3908 S CLOVERDALE ST  
3956 S CLOVERDALE ST  
3940 S CLOVERDALE ST  
3962 S CLOVERDALE ST  
3942 S CLOVERDALE ST  
3948 S CLOVERDALE ST  
3936 S CLOVERDALE ST  
3932 S CLOVERDALE ST  
3943 S SULLIVAN ST  
3957 S SULLIVAN ST  
3945 S SULLIVAN ST  
3926 S CLOVERDALE ST  
3920 S CLOVERDALE ST  
3949 S SULLIVAN ST  
3935 S SULLIVAN ST  
3914 S CLOVERDALE ST  
3917 S SULLIVAN ST  
3923 S SULLIVAN ST  
3921 S CLOVERDALE ST  
3939 S CLOVERDALE ST  
8625 42ND AVE S  
8621 42ND AVE S  
8617 B 42ND AVE S  
3917 S CLOVERDALE ST  
3925 D S CLOVERDALE ST  
3945 S CLOVERDALE ST  
8627 42ND AVE S  
8613 42ND AVE S  
8601 42ND AVE S  
8607 42ND AVE S  
3911 S SULLIVAN ST  
8431 42ND AVE S  
3935 S CLOVERDALE ST  
3943 S CLOVERDALE ST  
3945 S CLOVERDALE ST  
3929 S CLOVERDALE ST  
3925 E S CLOVERDALE ST  
8619 42ND AVE S  
3925 F S CLOVERDALE ST  
3925 G S CLOVERDALE ST  
3925 A S CLOVERDALE ST  
3925 B S CLOVERDALE ST  
3925 C S CLOVERDALE ST  
8450 MARTIN LUTHER KING JR WAY S  
8448 MARTIN LUTHER KING JR WAY S  
8440 MARTIN LUTHER KING JR WAY S  
8436 MARTIN LUTHER KING JR WAY S  
8409 42ND AVE S

173 Total



Site Location with 500ft radius

PRINTED OUTREACH



FLYERS CHINESE SIMPLIFIED

亲爱的居民，这很荣幸能让您参与一项

### 接受设计审查的项目

位于 8608 42nd Avenue South

Brighton Homes和JW Architects正在合作设计位于8608 42nd Avenue South的重建项目



**项目信息:**  
该项目将位于42nd Avenue South东侧的中间街区。竣工后，新房屋高三层，包括五座带两个开放式停车位和三个车位的联排别墅。未来也可能进行地块划分。我们计划在明年开始规划，预计2020年冬季开始动工。

**项目联系人:**  
Julian Weber, JW Architects 事务所创始人兼负责人  
outreach@jwseattle.com

我们希望通过以下方式征求您的意见:

在线调查 2019年7月10日至2019年7月31日 调查链接: <a href="http://www.jwseattle.com/8608-chinese-simplified/">www.jwseattle.com/8608-chinese-simplified/</a>	来站时间 2019年7月24日 下午5:00 - 6:00 现场: 8608 42nd Avenue S, Seattle
--	--

\* 更多的回来

**JW ARCHITECTS**

Front

请亲自前来与我们一起讨论项目构想，以及如何使其成为Rainier Beach社区的成功开发项目。

**来站时间**  
2019年7月24日  
下午5:00 - 6:00  
现场: 8608 42nd Avenue S

**Buson Ave S - 107号公交车**  
S Henderson St. - 9, 106, 107号公交车  
Martin Luther King Jr Way S - 106号公交车或Link轻轨

想了解更多有关项目的信息并分享您对本项目未来的看法。请访问JW Architects网站 ([www.jwseattle.com](http://www.jwseattle.com))，并在上述来站时间参加我们的活动。

有关设计审查早期推广的更多信息，请访问西雅图社区网页 (<http://www.seattle.gov/neighborhoods>)。

所有信息都来自JW Architects收集，我们可能会提交给西雅图市。因此，根据《华盛顿公共记录法》，输入的个人数据可能会向第三方请求者披露。

**设计审查需要什么样的反馈?**

- 参考您的社区特征和特色。
- 建筑设计。
- 建筑材料和材料。
- 街道的人行道。
- 邻里安全。

**JW ARCHITECTS**

Back

FLYERS CHINESE TRADITIONAL

親愛的居民，這很榮幸能邀您在項目參與一項

### 接受設計審查的專案

位於8608 42nd Ave S

Brighton Homes和JW Architects正在合作設計8608 42nd Avenue South的重建專案。



**專案資訊:**  
本專案將位於42nd Avenue South東側的中间街區。竣工後，新住宅將有三層，包括五座帶兩個開放式停車位和三個車位的聯排別墅。未來也可能進行地塊劃分。我們現在開始開始規劃，預計2020年冬季開始動工。

**專案聯絡人:**  
Julian Weber, JW Architects事務所創始負責人  
outreach@jwseattle.com

我們透過以下方式徵求您的意見:

線上調查 2019年7月10日至2019年7月31日 調查連結: <a href="http://www.jwseattle.com/8608-chinese-traditional/">www.jwseattle.com/8608-chinese-traditional/</a>	來站時間 2019年7月24日 下午5:00 - 6:00 現場: 西雅圖8608 42nd Avenue South
--	--

\* 更多新案了

**JW ARCHITECTS**

Front

請親自來與我們一起討論專案構思，以及如何使它成為Rainier Beach社區的成功開發構思。

**來站時間**  
2019年7月24日  
下午5:00 - 6:00  
現場: 西雅圖8608 42nd Avenue S

**公共交通選擇:**  
Buson Ave S - 107號公車  
S Henderson St. - 9, 106, 107號公車  
Martin Luther King Jr Way S - 106號公車或Link輕軌

有關有關本專案的更多資訊並分享您對本專案未來的看法。請瀏覽JW Architects網站 ([www.jwseattle.com](http://www.jwseattle.com))，並在上述來站時間參加我們的活動。

有關設計審查早期推廣的更多資訊，請瀏覽西雅圖社區網頁 (<http://www.seattle.gov/neighborhoods>)。

所有資訊都來自JW Architects收集，但可能會提交給西雅圖市。因此，根據《華盛頓公共記錄法》，輸入的個人資訊可能會向第三方請求者披露。

**設計審查需要什麼樣的回饋?**

- 參考您的社區特徵和特色。
- 建築設計。
- 建築形式和材料。
- 街道的人行道。
- 鄰里安全。

**JW ARCHITECTS**

Back

FLYERS SOMALI

Degamaha Gaalga ahaaw, wargayslan ayaa laguugu dary

### Mashruuca Hoos Yimaada Casriyeenta Dib u Eegida Ee 8608 42nd Avenue South

Brighton Homes iyo JW Architects ayaa ka wada shaqaynaya naqshada dib u casriyeenta ee 8608 42nd Avenue South.



**Warbixinta mashruuca:**  
Mashruucan waxa uu ku aadan yahay barfama balooka dhinaca bar ee 42nd Avenue South. Marka la dhameeyo, gurigaha cusubi waday ka koobnaanayaan sedex dabaq, kuwaasoo ay ku jiraan shan guri oo laba dabaqiga ah, 2 baariin oo furan, iyo 3 maqsiin (grages). Waxaa kaalo mustaqbalka suurtagal ah qaybinta barxadada. Waxaan hadda bilaabaynaa qorsheynta - dhismahuna wuxuu bilaaban karaa jilqaska (winter) 2020.

**Xiriirka Mashruuca:**  
Julian Weber, Founding Principal, JW Architects  
outreach@jwseattle.com

**Waxaan laag codsanaynaa hoos oo la wadaagto fikradahaada oo ku maraya:**

<b>ONLINE SURVEY (Qadka Bearta)</b> July 10 - July 31, 2019 Qadka warbixinta: <a href="http://www.jwseattle.com/8608-somali/">www.jwseattle.com/8608-somali/</a>	<b>Waqtiga la iman karo</b> 07/24/2019 5:00 pm - 6:00 pm Meesha: 8608 42nd Avenue South, Seattle
---	---

**Fadlan inoo imow, kana hadal fikradahaada iyo sida aan uga dhigi karno horumar guul u leh xaafada Rainier Beach.**

**Waqtiga la iman karo**  
07/24/2019  
5:00 pm - 6:00 pm  
Meesha: 8608 42nd Avenue South, Seattle

**Doorbidka Gaadidka Balaadha:**  
Off Beacon Ave S - Bus 107  
Off S Henderson St. - Buses 9, 106, 107  
Off Martin Luther King Jr Way S - Bus 106 or Tareenka Furad (The Link Light Rail)

Sidaa u hesho aqbaarta mashruucan aadna ula wadaagto fikradahaaga mashruucyada mustaqbalka. Fadlan booqo JW Architects khadgaada ([www.jwseattle.com](http://www.jwseattle.com)) ama ka soo qayb galo xaafada furan ee kor ku xusan.

Warbixin kale oo ku saabsan baarista hore ee dib u eegida naqshadaynta waxaa laga heli karaa waxaada daryada ee Seattle websidekooda. (<http://www.seattle.gov/neighborhoods>)

JW Architects ayaa u suuraynaya warbixinta ahan, kaakin waxaa loo gudbin karaa City of Seattle. Sidaa awooddeed macluumaadka shaqiyadeed waxaa laga yaabaa in loo baahdo loona soo bandhigo aqaybadeeda oo codadka kuna saabsan fikrka diwaanka bulshada ee Washington.

**Fikrado noocood ah ayay dib u eegida naqshadeynta naqshadeynta:**

- Tiraacda illooyinka gaaska ee darsiga iyo aalaamaha
- Naqshada dhismaha
- Qalabka iyo qaababka dhismaha
- Baaritaanka ariyaha gaarka ah

**JW ARCHITECTS**

Front

Fadlan inoo imow, kana hadal fikradahaada iyo sida aan uga dhigi karno horumar guul u leh xaafada Rainier Beach.

**Waqtiga la iman karo**  
07/24/2019  
5:00 pm - 6:00 pm  
Meesha: 8608 42nd Avenue South, Seattle

**Doorbidka Gaadidka Balaadha:**  
Off Beacon Ave S - Bus 107  
Off S Henderson St. - Buses 9, 106, 107  
Off Martin Luther King Jr Way S - Bus 106 or Tareenka Furad (The Link Light Rail)

Sidaa u hesho aqbaarta mashruucan aadna ula wadaagto fikradahaaga mashruucyada mustaqbalka. Fadlan booqo JW Architects khadgaada ([www.jwseattle.com](http://www.jwseattle.com)) ama ka soo qayb galo xaafada furan ee kor ku xusan.

Warbixin kale oo ku saabsan baarista hore ee dib u eegida naqshadaynta waxaa laga heli karaa waxaada daryada ee Seattle websidekooda. (<http://www.seattle.gov/neighborhoods>)

JW Architects ayaa u suuraynaya warbixinta ahan, kaakin waxaa loo gudbin karaa City of Seattle. Sidaa awooddeed macluumaadka shaqiyadeed waxaa laga yaabaa in loo baahdo loona soo bandhigo aqaybadeeda oo codadka kuna saabsan fikrka diwaanka bulshada ee Washington.

**Fikrado noocood ah ayay dib u eegida naqshadeynta naqshadeynta:**

- Tiraacda illooyinka gaaska ee darsiga iyo aalaamaha
- Naqshada dhismaha
- Qalabka iyo qaababka dhismaha
- Baaritaanka ariyaha gaarka ah

**JW ARCHITECTS**

Back

FLYERS VIETNAMESE

Kính gửi quý cư dân, đây là phiếu mời bạn tham gia vào

### THỦ TỤC XÉT DUYỆT THIẾT KẾ DỰ ÁN tại đại chỉ 8608 42nd Ave S

Brighton Homes và JW Architects đang công tác trong việc thiết kế dự án tái phát triển khu nhà tại 8608 42nd Avenue South.



**Thông tin về dự án:**  
Dự án này sẽ nằm ở giữa trục đường bên phía đông đường 42nd Avenue South. Khi được hoàn thành, khu nhà này sẽ bao gồm 5 căn nhà 3 tầng liên vách với 2 chỗ đậu xe ngoài trời và 3 nhà để xe. Lô đất này cũng có thể được phân chia thêm trong tương lai. Hiện tại chúng tôi chỉ mới bắt đầu quá trình lập kế hoạch - dự án có thể khởi công vào mùa đông năm 2020.

**Người Liên Lạc của Dự Án:**  
Ông Julian Weber, Chủ Sáng Lập Công Ty JW Architects  
outreach@jwseattle.com

Xin yêu cầu bạn đóng góp ý kiến phản hồi qua:

Xin yêu cầu bạn đóng góp ý kiến phản hồi qua: <b>BẢN KHẢO SÁT TRỰC TUYẾN</b> Từ ngày 10/07/2019 đến 31/07/2019 Liên kết đến bản khảo sát: <a href="http://www.jwseattle.com/8608-vietnamese/">www.jwseattle.com/8608-vietnamese/</a>	<b>GIỜ GẶP THAM</b> Ngày 24/07/2019 5:00 - 6:00 chiều Tại địa điểm: 8608 42nd Avenue S
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\*Thông tin bổ sung ở mặt sau của tờ rơi

**JW ARCHITECTS**

Front

Xin mời bạn ghé thăm chúng tôi để trao đổi trực tiếp về các ý tưởng của dự án và những gì cần làm để đảm bảo sự thành công của khu nhà này ở cộng đồng Rainier Beach.

**GIỜ GẶP THAM**  
Ngày 24/07/2019  
5:00 - 6:00 chiều  
Tại địa điểm: 8608 42nd Avenue S

**Các tuyến xe có thể chọn để đến nơi**  
Từ Beacon Ave S - Xe buýt số 107  
Từ S Henderson St. - Các xe buýt số 9, 106, 107  
Từ Martin Luther King Jr Way S - Xe buýt số 106 hay xe điện Link

Để biết thêm thông tin về dự án này hoặc để chia sẻ ý kiến của bạn về tương lai của dự án, vui lòng truy cập trang web của JW Architects ([www.jwseattle.com](http://www.jwseattle.com)) và đến gặp chúng tôi vào giờ ghé thăm ở trên.

Có thêm thông tin về quá trình tham khảo ý kiến sớm trong thủ tục xét duyệt thiết kế trên trang web của Sở Phụ Trách các Khu Dân Cư Seattle (<http://www.seattle.gov/neighborhoods>).

Tất cả thông tin được thu thập bởi JW Architects nhưng có thể được chuyển đến Thành Phố Seattle. Vì thế, các thông tin cá nhân được điền vào bản khảo sát có thể bị tiết lộ nếu có yêu cầu từ một bên thứ ba theo theo Đạo Luật Hồ Sơ Công Khai của Washington.

Một số ví dụ về các loại phản hồi mà thủ tục Xét Duyệt Thiết Kế cần thu thập:

- Nơi và các đặc điểm và bản sắc độc nhất của khu phố
- Thiết kế kiến trúc
- Hình dáng và vật liệu xây dựng tòa nhà
- Cảm thấy về chủ khu nhìn thấy từ vỉa hè
- Có các cấu trúc che kín để tạo không gian năng từ

**JW ARCHITECTS**

Back

HIGH-IMPACT METHOD

We distributed mailers within a 500 foot radius of the site. All mailers were shipped via The Postman a local family run postal service center within the central district.



Back page of Mailer

Dear Resident, this flyer is to include you in a

# PROJECT UNDER DESIGN REVIEW

at 8608 42nd Ave S

Brighton Homes and JW Architects are collaborating to design the redevelopment of 8608 42nd Avenue South.



**Project information:**  
This project will be located midblock on the East side of 42nd Avenue S. Upon completion, the new homes will be 3 stories tall and will include 5 townhomes with 2 open parking stalls and 3 garages. There is also potential for future lot divisions. We are just getting started with planning now – construction could start in Winter 2020.

**Project Contact:**  
Julian Weber, Founding Principal, JW Architects  
outreach@jwaseattle.com

We request your input through:

**ONLINE SURVEY**  
July 10 - July 31, 2019  
Link to survey:  
[www.jwaseattle.com/8608-english](http://www.jwaseattle.com/8608-english)

**DROP-IN HOURS**  
07/24/19  
5:00 pm - 6:00 pm  
On site: 8608 42nd Avenue S, Seattle

\*additional info on back of flyer

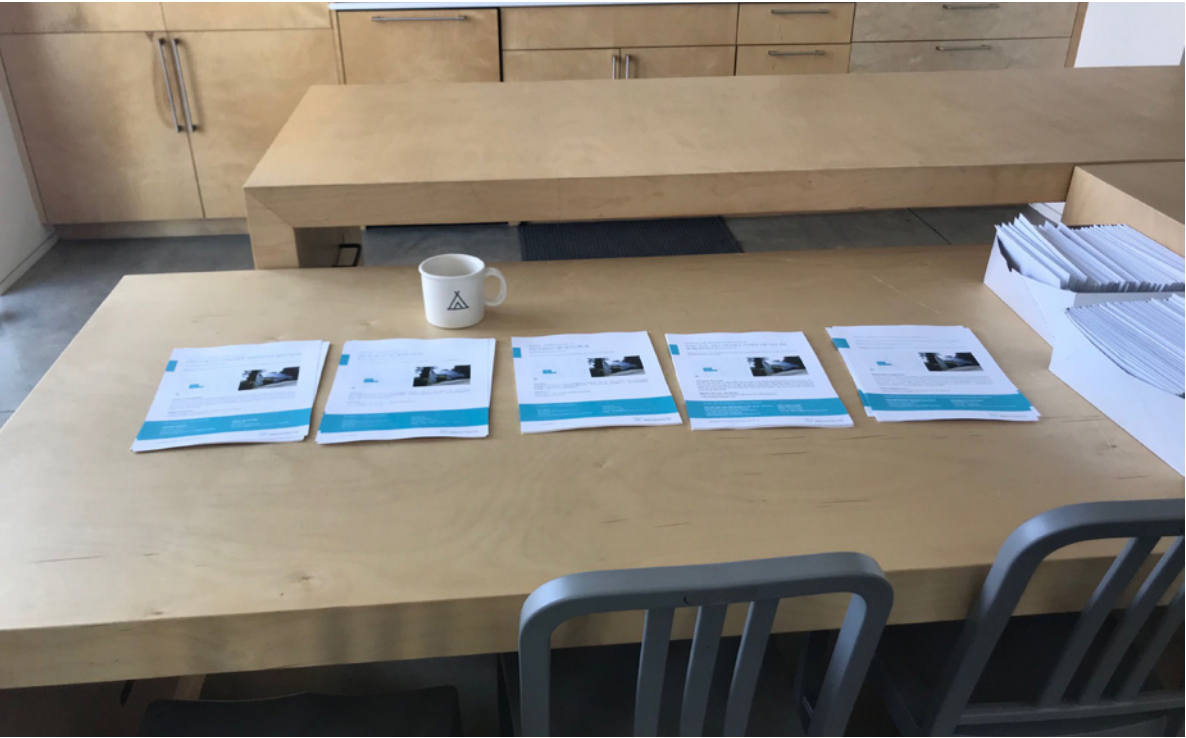


Front page of Mailer

Contact information

Link to project website and survey.

Details about In-Person Event



We provided flyers in five different languages.



Each flyer was mailed out to residence within a 500 foot radius of the site.

PRINTED OUTREACH





Project address and additional information.

### Details about In-Person Event

Links to Seattle Services Portal as well as the Department of Neighborhood's website.

[Download printed outreach flyer.](#)

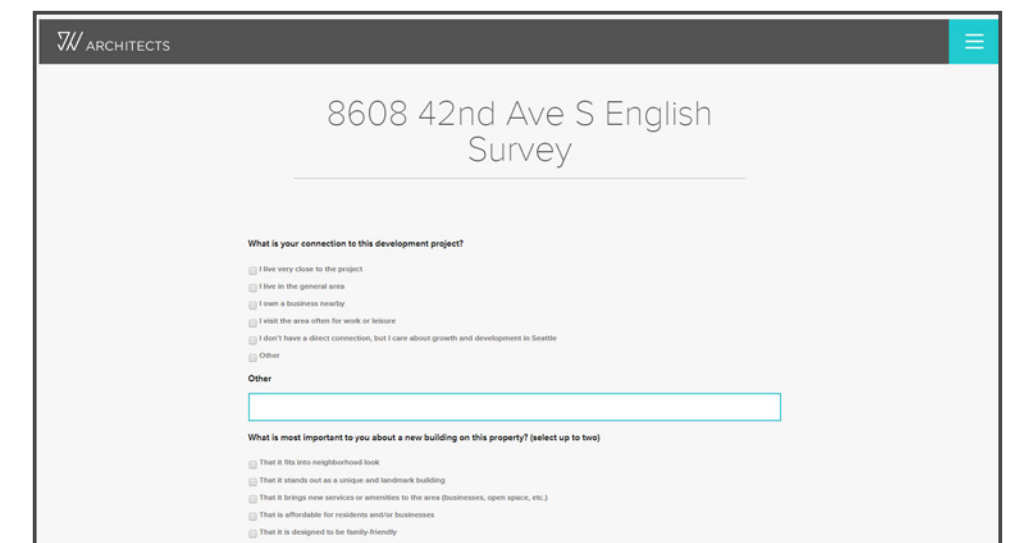
## Contact information.

## HIGH-IMPACT METHOD:

An online survey with write-in function, as well as a project website, were added to the Design Review tab on JW Architects website. Additionally, the website has been made secure and a privacy policy link appears at the bottom of each web page.

Though the survey will no longer be available after 3 weeks, you can find the Design Review page on JW Architects website here:

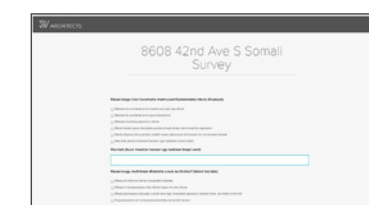
[https://jwaseattle.com/project\\_category/design-review/](https://jwaseattle.com/project_category/design-review/)



Simplified Chinese Online Survey.



Traditional Chinese Online Survey.



Somali Online Survey.



## Vietnamese Online Survey.

## ELECTRONIC/DIGITAL OUTREACH



DESIGN REVIEW OUTREACH SURVEY

Brighton Homes and JW Architects are collaborating to design the redevelopment of 8608 42<sup>nd</sup> Avenue South. When it’s complete, the new homes will be 3 stories tall and will include 5 townhomes with 5 parking stalls. We’re just getting started planning now – construction could start in Winter 2020.

Please join us in person to talk about project ideas and how to make this a successful development in the Rainier Beach neighborhood. Drop-in hours will be held on site, 8608 42<sup>nd</sup> Ave S, on Wednesday, July 24, from 5:00pm – 6:00pm.

This survey will be open from 07/10/19 – 07/31/19. After that, we’ll start preparing for the City’s Design Review process and other permitting steps.

To find out more about this project and track our progress through the design review and permitting process, search the project address (8608 42<sup>nd</sup> Avenue South) or project number (3031510) in the Design Review Calendar and the [Seattle Services Portal](#). To find out more about early outreach for design review, visit the [Department of Neighborhood’s webpage](#).

This survey is anonymous, though information you share could be made public. Please do not share any personal/sensitive information. All information is being collected by JW Architects, but may be submitted to the City of Seattle. Therefore, personal information entered may be subject to disclosure to a third-party requestor pursuant to the Washington Public Records Act.

- Questions:
1.

What is your connection to this development project? (select all that apply)
  - I live very close to the project
  - I live in the general area
  - I own a business nearby
  - I visit the area often for work or leisure
  - I don’t have a direct connection, but I care about growth and development in Seattle
  - Other [fill in blank, 100 character maximum]

2.

What is most important to you about a new building on this property? (select up to two)
  - That it fits into neighborhood look
  - That it stands out as a unique and landmark building
  - That it brings new services or amenities to the area (businesses, open space, etc.)
  - That is affordable for residents and/or businesses
  - That it is designed to be family-friendly
  - That it is designed with environmental sustainability in mind
  - Other [fill in blank, 100 character maximum]
- We will be improving the sidewalks and landscaping at the street-level. What design features do you prefer? (select up to two)
- Lots of plants/greenery
  - Additional designs for safety (street lighting, gates, fences, etc)
  - Quality building materials at street-level (brick, large windows,
  - Seating/places to congregate (sidewalk cafes, benches, etc)
  - Pet friendly areas
  - Off-street bicycle parking
  - Other [fill in blank, 100 character maximum]
- What concerns do you have about the project? (select any/all that apply)
- Construction noise/impacts
  - The existing residence is going away
  - That I will not like the way it looks
  - That it will not be affordable
  - That it may feel out of scale with other buildings nearby
  - I don’t really have any specific concerns
  - Other [fill in blank, 100 character maximum]
- Is there anything specific about this property or neighborhood that would be important for us to know? [fill in blank, 300 character maximum]
6.

What are some landmarks/spaces that help to identify your neighborhood? [fill in blank, 300 character maximum]

7.

What do you like most about living or working in your neighborhood? [fill in blank, 300 character maximum]

8.

What do you like least about living/working in your neighborhood? [fill in blank, 300 character maximum]
- SURVEY
- We received 7 surveys. All were completed through our online survey via the link provided on our printed outreach flyer. Data is based on the information completed. Not all surveys had all questions answered.
- PRIMARY RESULTS
- Question 1

100% of participants live very close to the project.

Question 2

46% of participants want new services or amenities in the area.  
23% of participants want an environmentally sustainable design.

Question 3

35% of participants want lots of plants/greenery.  
21% of participants want quality building material at street level.  
14% of participants want seating and places to congregate.  
14% of participants want off-street bicycle parking.
- Question 4

38% of participants are concerned it will feel out of scale.  
23% of participants are concerned with construction noise/impacts.

Question 5

This street lacks proper sidewalks.  
A street curb would be useful, unorganized street parking is an issue.

Question 6

LightRail Station; Vegetable Bin building

Question 7

Affordability; Proximity to lightrail station; Topography , views, and Greenery.
- Question 8

Lack of local business; Poorly maintained properties; improperly parked cars/ Lack of parking; Safety.
- Additional questions to help us analyze the survey results:
1.

What is your age?
  - Under 12 years old
  - 12-17 years old
  - 18-24 years old
  - 25-34 years old
  - 35-44 years old
  - 45-54 years old
  - 55-64 years old
  - 65-74 years old
  - 75 years or older

2.

What are the languages spoken in your home? (select any/all that apply)
  - English
  - Spanish
  - Amharic
  - Oromo
  - Tigrinya
  - Other [please specify]

3.

How long have you lived in this neighborhood?
  - 1-2 years
  - 3-5 years
  - 5-10 years
  - 10-15 years
  - More than 15 years
  - I do not live in this neighborhood
- Thank you for sharing feedback about our project! Your input is helpful for us to hear as we start to plan for the new building.
- To find out more about this project and track our progress through the design review and permitting process, search the project address (8608 42<sup>nd</sup> Avenue South) or project number (3031510) in the [Design Review Calendar](#) and the [Seattle Services Portal](#).
- If you don’t want to respond to the survey but do want to share your thoughts, or you have any other project-related thoughts or ideas to share, the contact person for the project is Julian Weber at [outreach@jwaseattle.com](mailto:outreach@jwaseattle.com)
- ADDITIONAL RESULTS
- Question 1

50% of participants were 25-34 years old  
50% of participants were 35-44 years old

Question 2

100% of participants spoke primarily English

Question 3

66% of participants lived in the neighborhood 0-5 years  
33% of participants lived in the neighborhood 5-10 years
- ELECTRONIC/DIGITAL OUTREACH
- 8608 42nd Avenue South: Streamlined Design Review 51



# HIGH-IMPACT METHOD

For in-person outreach, we opted for the guided site walk, and staffed “pop-up” event on site. With permission from the applicant and current resident, we held drop-in hours where residents could stop by, ask questions, learn about the project and provide insight about the neighborhood. We provided a map, surveys and take away flyers. We reached out to Colombia City Bakery a local shop for refreshments.



Hosting the event on site helped give context to concerns.



Adding the firm's banner helped provide a strong sidewalk presence.



A map of neighborhood was a useful tool. Cookies from Colombia City Bakery and water were provided for the community.

## IN-PERSON OUTREACH



MAPPING EXERCISE:

We developed a map of the neighborhood in relation to the site and asked those who stopped by the event three questions (below) to give us a better understanding of the area.

This was a useful tool as it helped ignite meaningful conversation and gave a location reference for both residents and architects.

Residents placed pins in areas on the map that corresponded to questions about the neighborhood.

This provided great insight to concerns of safety and privacy as well as teaching us about the important concerns and character of the Rainier Beach neighborhood.

Places of interest included Thistle P-Patch Community Gardens, the Light Rail Station, and the Vegetable Bin.

Some residents have a feeling of being unsafe/uncomfortable in their immediate neighborhood. This is most prominent at the intersection of Martin Luther King Jr Way, and S Cloverdale St.

RAINIER BEACH

WHERE ARE YOUR FAVORITE PLACES IN THE NEIGHBORHOOD?

WHICH PLACES FEEL UNSAFE/UNCOMFORTABLE?

WHICH PLACES BEST REPRESENT YOUR NEIGHBORHOOD?





8608 42nd Ave S Community Outreach Event  
0/24/19, 5:00 pm - 6:00 pm

ZIPCODE

Ethena & Anin E.

98118

# THANK YOU

We value your time and feedback as we work on the project proposed for 8608 42nd Avenue South.

**To share** your thoughts please fill out a survey here: [www.jwaseattle.com/8608-english](http://www.jwaseattle.com/8608-english). You can also reach Julian Weber at this email address: [outreach@jwaseattle.com](mailto:outreach@jwaseattle.com).

<http://www.seattle.gov/dpd/aboutus/news/events/DesignReview/upcomingreviews/>

<https://cosaccela.seattle.gov/portal/welcome.aspx>



We provided a sign-in sheet which was signed by 2 visitors. After visiting with each person, we offered a take-away information flyer as a way to say thank you and to give them more ways to learn more about the project.

We had 2 people stop by the in-person event. All visitors spoke English. Hosting the event on the project site, helped us reach those who were closest and most interested in the project. Everyone who stopped by were directly adjacent neighbors to the site.

The main concerns that were raised were regarding the sidewalk that was being added. The street has had more traffic since the addition of the greenbelt townhouse complex at the end of the street. The speed limit is not considered much and it feels unsafe for children.

Overall, we were glad for the opportunity to connect with the community and gather helpful information about the neighborhood to help better inform our design.

## IN-PERSON OUTREACH