

JAZZHOUSE





PROJECT INFORMATION

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ARCHITECT

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LANDSCAPE

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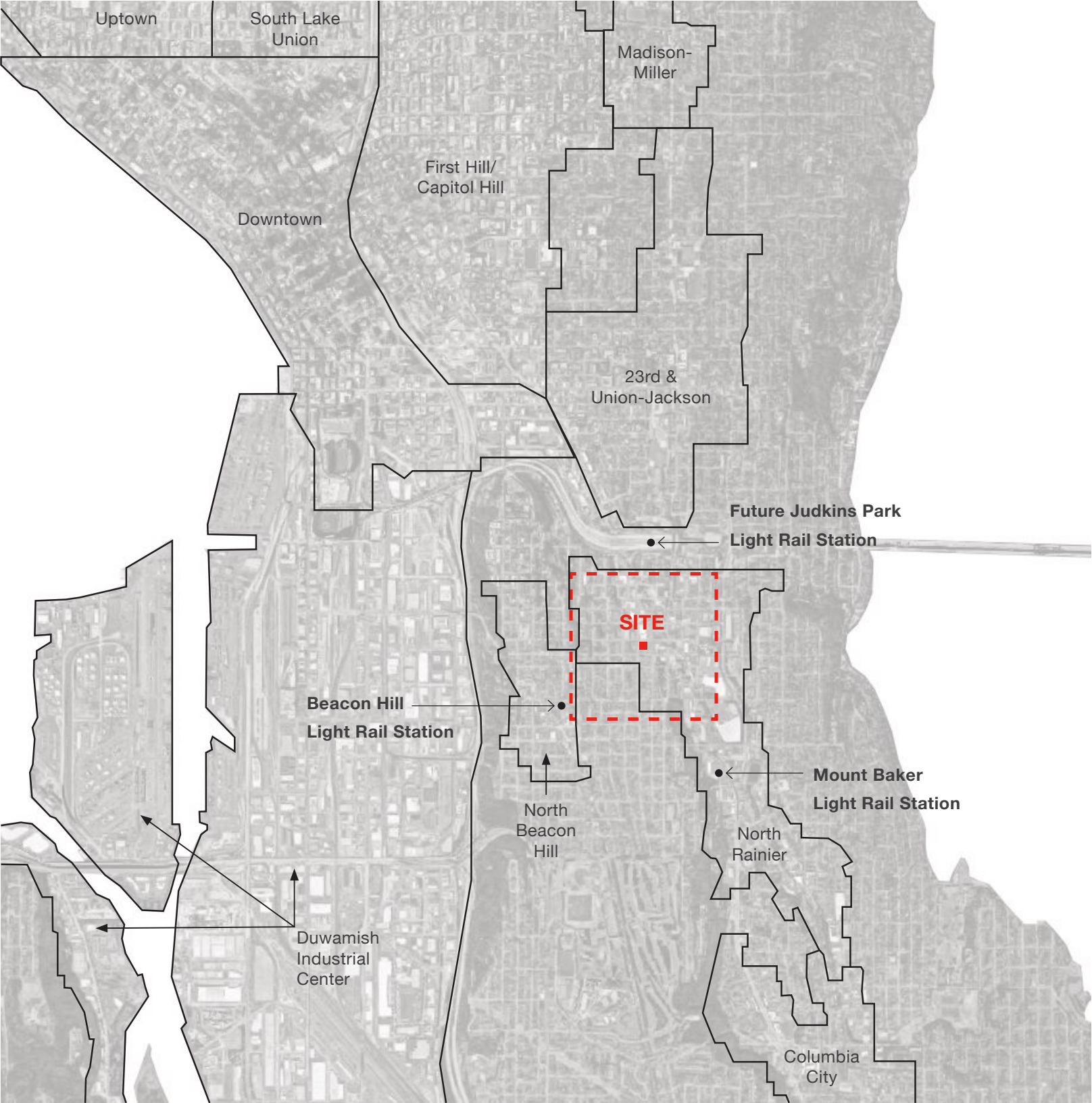
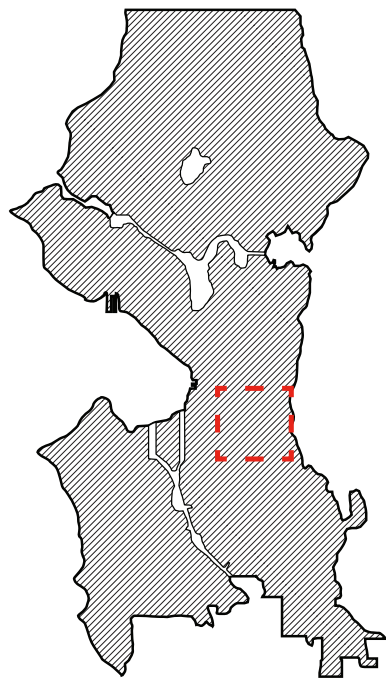


WEINSTEIN A+U

3.0 PROPOSAL

PROJECT LOCATION

The project is located in southeast Seattle in the neighborhood of Rainier Valley. The location is the nexus of regional transit corridors including I5, I90, and the Sound Transit Light Rail.



NEIGHBORHOOD CONTEXT

- 1. Lake Washington Girls Middle School
- 2. Giddens School
- 3. Smart Foodservice Warehouse Stores
- 4. Atlantic Veterinary Hospital
- 5. Rainier Farmers Market
- 6. Treehouse (Non-Profit)
- 7. Green Plate Special
- 8. International Wudang Martial Arts Academy
- 9. Rainier Dental Center
- 10. Bartell Drugs
- 11. Mutual Fish
- 12. Borracchini's Bakery (Former, now closed)
- 13. City Year Seattle/King County
- 14. 2203 23rd Ave S (8-story apartment building + retail)
- 15. 2016 23rd Ave S (6-story apartment building + retail)
- 16. 1911 22nd Ave S (2 apartment buildings, 6-story and 7-story under construction)
- 17. 1923 22nd Ave S (6 story apartment building + retail)
- 18. Lighthouse for the Blind (Non-Profit)
- 19. American Red Cross

S HOLGATE ST

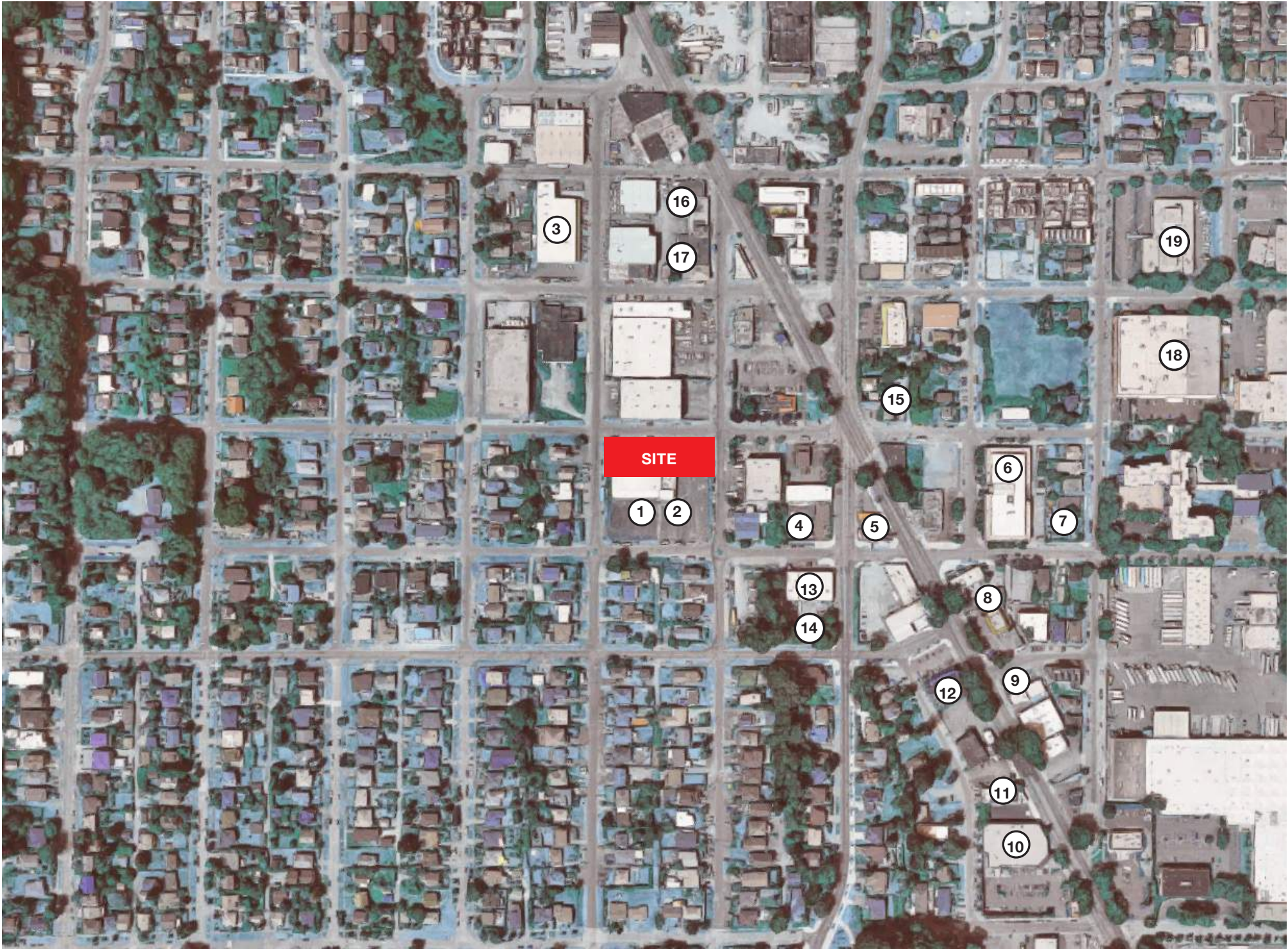
S PLUM ST

S HILL ST

S WALKER ST

S COLLEGE ST

S BAYVIEW ST



17TH AVE S

18TH AVE S

19TH AVE S

20TH AVE S

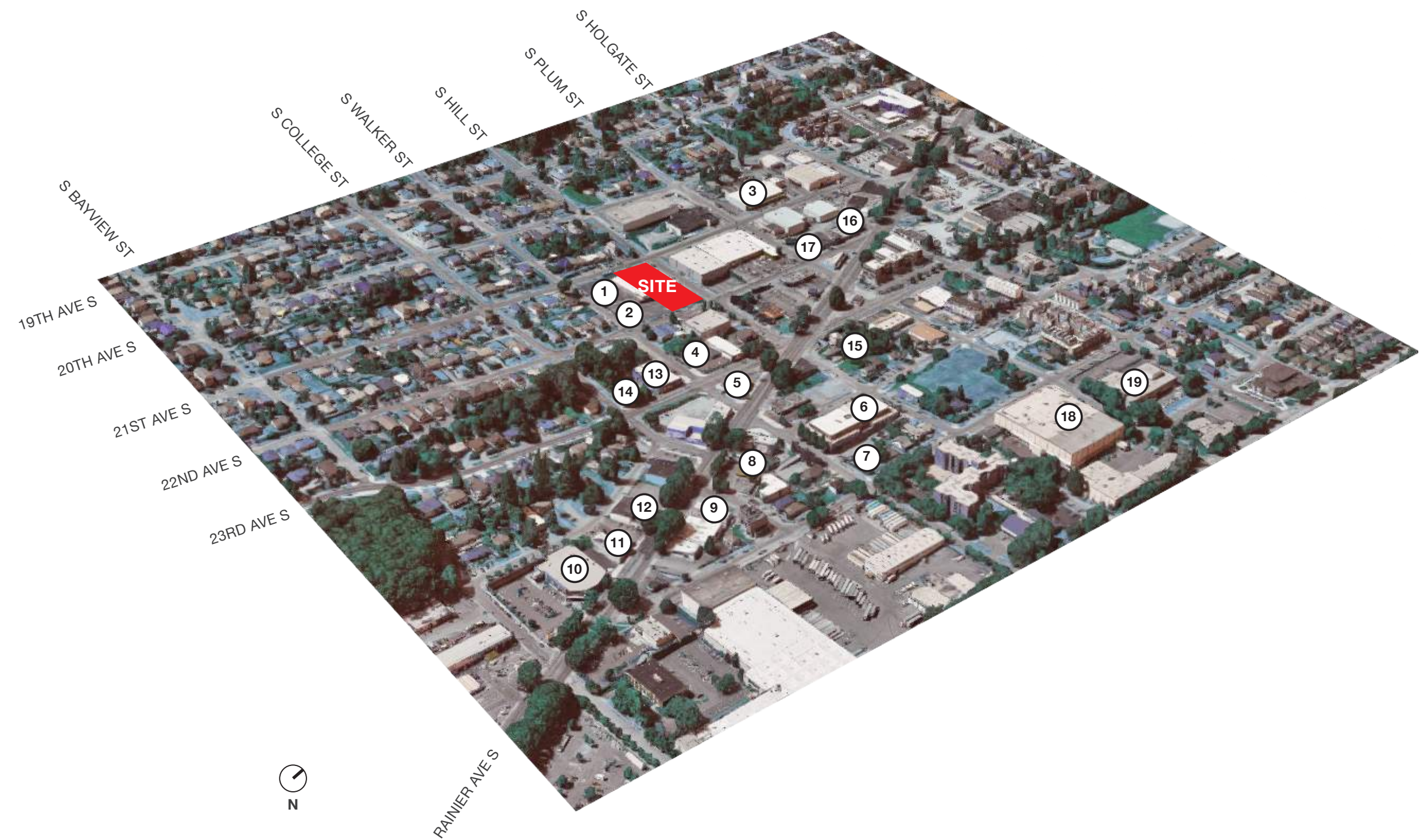
21ST AVE S

22ND AVE S

23RD AVE S

RAINIER AVE S

4.0 SUMMARY CONTEXT ANALYSIS



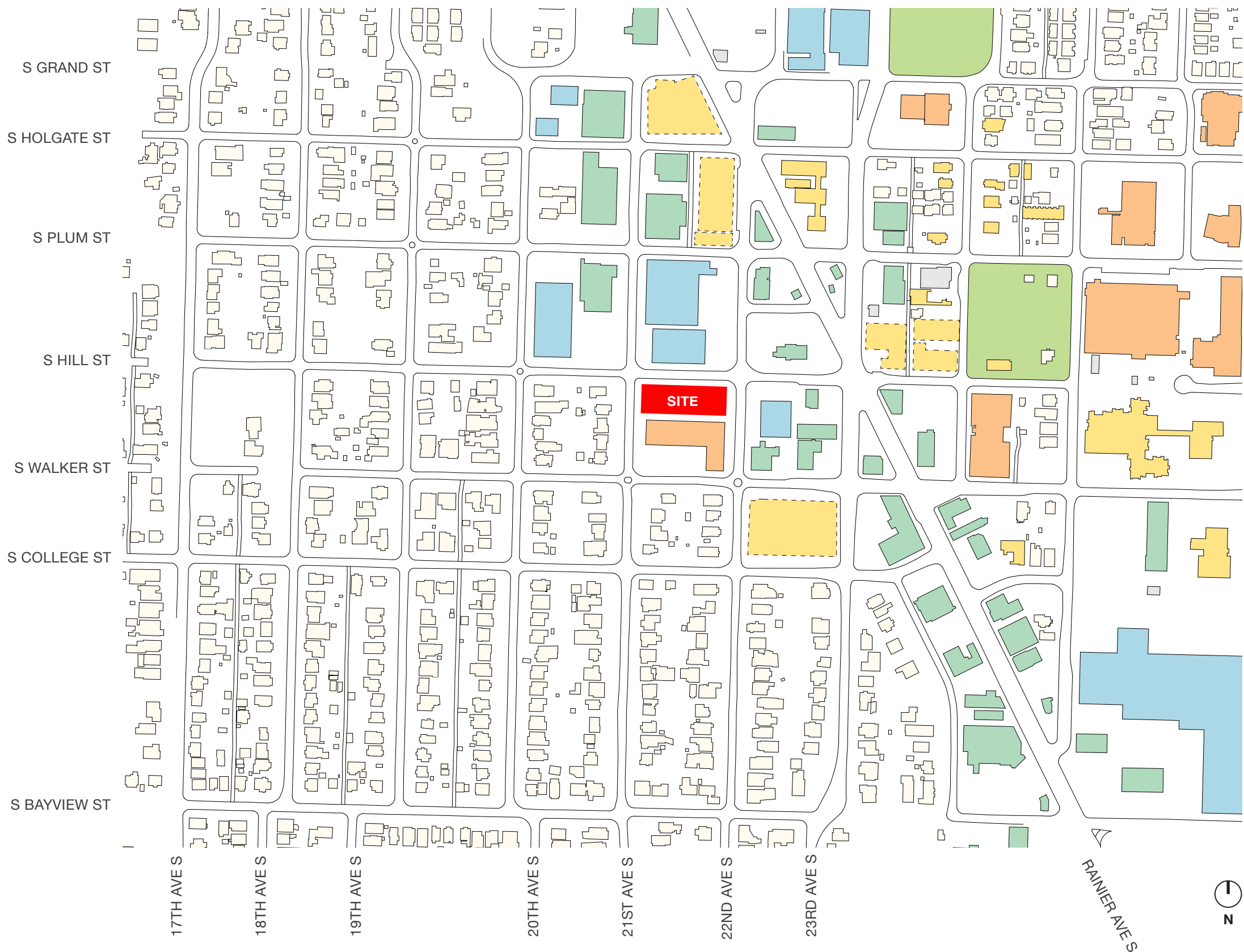
NEIGHBORHOOD DIVERSITY

Rainier Valley is one of the most ethnically and economically diverse areas of the Pacific Northwest. Its history lies in its role not only as a thoroughfare for Seattle’s suburban and urban development (Rainier Ave S), but a settling place for various ethnic groups over the decades.

The Rainier Valley is home to families and established businesses with a long history in the community. They have been in the neighborhood for generations. The businesses include many social justice, food market, and arts enterprises.

NEIGHBORHOOD CONTEXT

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PRESENT LAND USE

The JazzHouse property was purchased and subdivided into two parcels. The project site (Parcel A) was previously being used as a construction staging area for the Two Schools property to the south (Parcel B), now in operation.

The south property line is the only shared property line and abuts a three-story school (Two Schools). There is a fifteen-foot parking and access easement and no build easement in place at the south property line. Two Schools includes an exterior play area to the southwest at street level and a rooftop play area to the north east at level three.

To the west, the zoning changes to single family with most of the homes built in the early to mid 1900s. To the north and east, the zoning is C1-75 and consists of warehouses, businesses, and restaurants. Distribution warehouses nearby are: Borracchini Foods (now closed) to the northwest, MB Warehouse to the north, and HU Investment to the east. To the southeast is M & M Auto Repair and to the north east is Burger King.

Legend

- Single Family
- Multi Family
- Retail
- Warehouse/Manufacturing
- School/Institutional
- Parks/Open Space
- Future Developments
- Site

4.0 SUMMARY CONTEXT ANALYSIS

TRANSIT MODES

BUS

- Served by routes 4, 7, 9, and 106

LIGHT RAIL

- Served by Mount Baker Light Rail Station 0.7 miles to the southeast
- Served by Beacon Hill Station 0.5 miles to the southwest
- Served by Judkins Park Station 0.5 miles to the northeast to be completed in 2022.

CAR

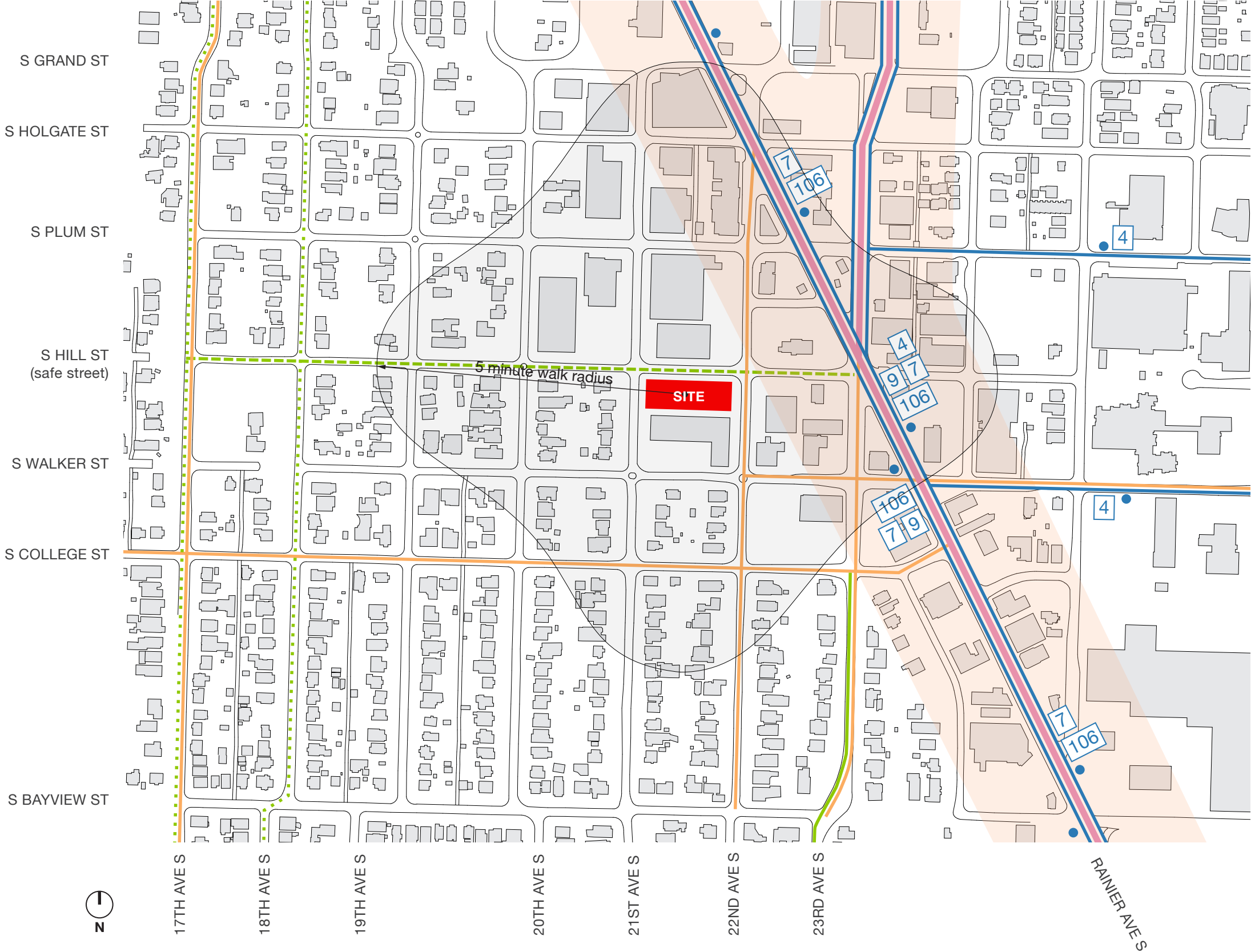
- Site is surrounded by a number of minor arterial roads
- Connection to I90 is 0.5 miles to the north

BIKE

- Dedicated bike lanes and bike friendly roads are proximate to the site
- South of the site, 23rd Ave S has a dedicated bike lane
- 18th Ave S and 17th Ave S are identified as bike friendly roads

Legend

- Principal Arterial
- Minor Arterial
- Bus Routes
- Bus Numbers
- Bicycle Dedicated Lanes
- Bicycle Friendly Roads
- Safe Street
- Frequent Transit Corridors
- 5 Minute Pedestrian Walkshed (approx.)



ZONING

The project site is zoned C1-75 (M) and is located in the north end of the North Rainier Hub Urban Village. The parcel occupies the northern end of the block at the intersections of S Hill St and 21st Ave S and 22nd Ave S and has a 15-ft no build easement for parking on the southern portion. The southern property line abuts a side lot line zoned C1-75(M).

The parcels surrounding the site to the north and south are zoned C1-75 (M), NC3-75(M) to the east, RSL (M) to the west and south, and the parcels to the south-west are zoned SF 5000.



Legend

- C1-75
- SF 5000/ RSL
- C1-40
- C2-65
- SM-NR 125
- SM-NR 85
- LR 2
- LR 3
- North Rainier HUV
- Zone Boundaries



5.0 EXISTING SITE CONDITIONS

TOPOGRAPHY

- 13' gain in elevation overall
- 3.5' gain in elevation along 22nd Ave S
- 5.2' gain in elevation along S Hill St
- 7.4' gain in elevation along 21st Ave S

NEIGHBORING BUILDINGS

- Single-family to the west (SF-5000)
- Distribution warehouses to the north and east (C1-75)
- School to the south (C1-75)

SOLAR ACCESS

- Excellent solar access to the east, north, and west due to right-of-way, underdeveloped parcels, and single family homes. Reciprocally, the proposed building design will not shade the single-family home across the street throughout the year.
- Excellent solar access from the south for levels 4-7 due to 3-story school on adjacent parcel.

VIEWS

- Currently, views to Central District, Downtown, North Beacon Hill, and Mt. Rainier may be available above the fourth floor.

STRUCTURE HEIGHT

- Zoned as C1-75 (M) with a base height of 75-ft M.

ALLOWABLE BUILDING AREA

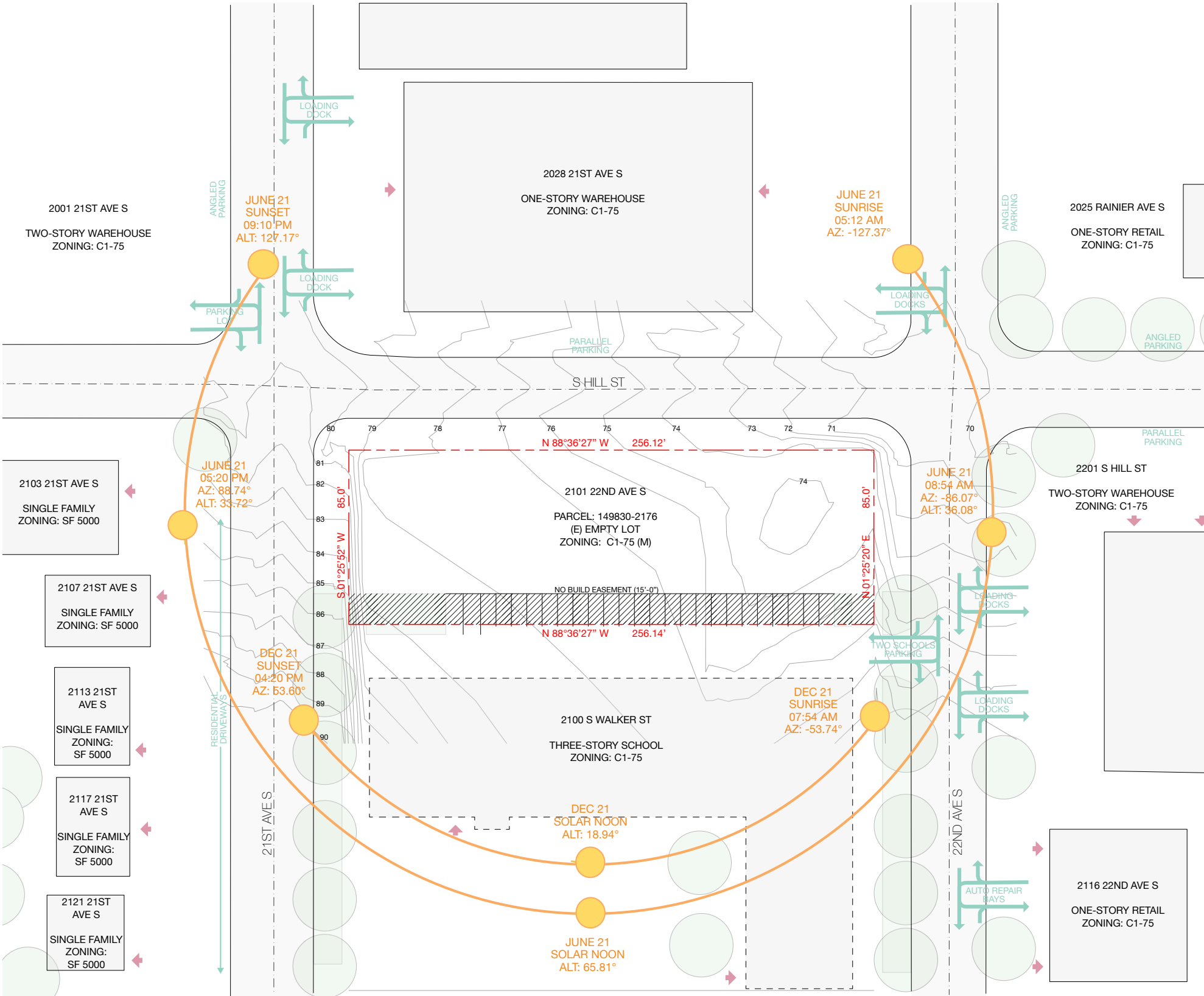
- The maximum FAR for the building site's parcel are:
 - 5.5 Max Mixed-Use FAR
 - 21,771-sf lot area
 - Maximum allowable area: 119,740-sf

EASEMENT

- A 15'-0" no-build easement put in place by the neighboring parcel exists along the southern property line.
 - Within this easement, the neighboring parcel utilizes the space as parking for Two Schools
 - Maximum allowable area: 119,740-sf

Legend

- Pedestrian Access →
- Vehicular Access →



5.0 EXISTING SITE CONDITIONS & PROPOSED SITE PLAN

The proposed project includes site improvements for a 7-story mixed-use apartment building containing approximately 108 residential units, associated amenity areas, approximately 16,500-sf of institutional space, and a 400-sf neighborhood coffee shop.

TRAFFIC AND CIRCULATION

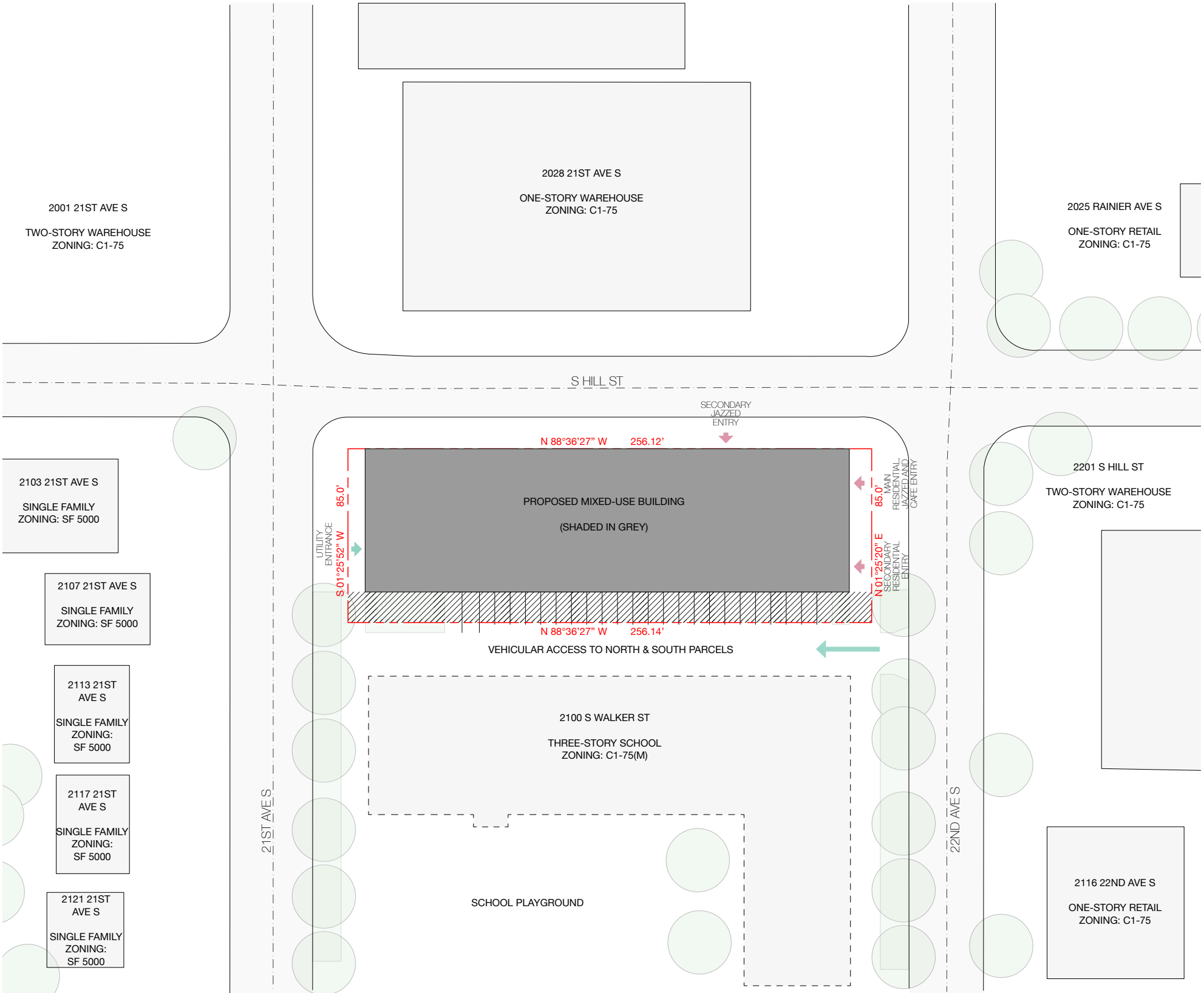
- 22nd Ave S, and S Hill St are both neighborhood streets with informal street parking along the edges and parking lot and loading dock entries
- 21st Ave S is single-family with driveway access for each parcel
- The parcel to the south has a parking lot entry off 22nd Ave S and school pick-up/drop-off zone on 21st Ave S

STREETSCAPE

- 22nd Ave S and S Hill St have commercial, warehouse characteristics and scale
- 21st Ave S is a zoning transition point between commercial and single-family

NEIGHBORHOOD INFLUENCES

- Commercial zone upzone for affordable housing with new apartment buildings being built in the broader neighborhood to the north and east
- A school to the south on the abutting parcel
- Residential character to the west
- Warehouse character to the immediate north and east



Legend

Pedestrian Access →

Vehicular Access →

6.0 ZONING DATA

PRELIMINARY SEATTLE ZONING CODE ANALYSIS

PARCEL NO	149830-2176
LOT AREA	21,771-SF (0.50-acres)
ZONING	C1-75 (M)
OVERLAY	North Rainier Hub Urban Village, ECA5 - Critical Area
PERMITTED USES	<div><div></div><div>Eating and drinking permitted outright.</div><div>Restaurants permitted outright.</div><div>Retail sales and services, general permitted outright.</div><div>Institutions not listed below permitted outright.</div><div>Schools, elementary or secondary permitted outright.</div><div>Residential uses permitted outright.</div></div>
STREET LEVEL STANDARDS	<div><div></div><div>Blank segments of street-facing facade between 2 ft and 8 ft above sidewalk may not exceed 20 ft in width.</div><div>Blank facade segments not to exceed 40% of facade width</div><div>Street-level street facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.</div><div>Transparency (at non-residential uses)<div><div></div><div>60% of facade 2'-8' above grade to be transparent</div><div>Width of driveway at street level, not to exceed 22 feet, may be subtracted from width of street facing facade</div><div>Allow unobstructed views in from outside</div><div>Except for institutional uses, no permanent signage, window tinting or treatments, shelving, other furnishings, equipment, or storage items shall completely block views into and out of the structure between 4 feet and 7 feet above adjacent grade</div></div></div><div></div><div>Non-residential uses to have average depth of 30-feet with a minimum depth of 15-feet</div><div>Non-residential uses at street level to have minimum floor-to-floor height of 13-feet.</div><div>Overhead Weather Protection:<div><div></div><div>Continuous overhead weather protection required along at least 60 percent of street frontage of a structure on a principal pedestrian street</div><div>Covered area shall have a minimum width of 6-ft, unless there is a conflict with existing or proposed street trees or utility poles</div><div>Lower edge of overhead weather protection shall be a minimum of 8-ft and a maximum of 12-ft above the sidewalk for projections extending a maximum of 6-ft. For projections extending more than 6-ft from the structure, the lower edge of the weather protection shall be a minimum of 10-ft and a maximum of 15-ft above the sidewalk</div></div></div><div>Visually prominent pedestrian entry for residents</div><div>The floor of a dwelling unit located along the street-level street-facing façade shall be at least 4 feet above or 4 feet below sidewalk grade or be set back at least 10 feet from the sidewalk.</div></div>
STRUCTURE HEIGHT	<div><div></div><div>A maximum structure height as zoned: 75 ft</div><div>Rooftop features: open railings, planters, clerestories, parapets, firewalls permitted to extend 4-ft above applicable height limit</div><div>Mechanical equipment, stair and elevator penthouses, etc., permitted to extend 15-ft above applicable height limit—as long as total does not exceed 20% of the roof area—or 25% if the total includes stair or elevator penthouses or screen mechanical equipment.</div><div>Stair and elevator penthouses may extend up to 16-feet above height limit.</div><div>Greenhouses dedicated to food production are permitted to extend 15-feet above the height limit, if the total coverage of features (rooftop) <50% roof area.</div><div>Rooftop features shall be located at least 10-feet from north lot line, unless a shadow diagram demonstrates that such features would not shade property to the north on January 21st at noon more than without these features: solar collectors, planters, clerestories, greenhouses and solariums, minor comm utilities and devices, non-firewall parapets, play equipment</div></div>



FAR	<ul style="list-style-type: none">■ Applies to all structures in C zones■ Allowable FAR for in sites zoned with a 75' height limit located outside a Station Area Overlay District: 5.5■ Gross floor area not counted against FAR:<ul style="list-style-type: none">○ All underground stories or portion of stories○ Portions of a story extending no more than 4-ft above grade (lower existing or finished grade)■ Minimum required FAR for new construction: 2.0
SETBACKS	<ul style="list-style-type: none">■ A minimum 5-foot landscaped setback may be required under certain conditions and for certain uses according to Section 23.47A.016, screening and landscaping standards.■ Structures in required setbacks as follows:<ul style="list-style-type: none">○ Decks with open railings may extend into the required setback, but are not permitted within 5 feet of a lot in a residential zone, except as provided in subsection 23.47A.014.E.1.b.○ Decks that are accessory to residential uses and are no more than 18 inches above existing or finished grade, whichever is lower, are permitted within 5 feet of a lot in a residential zone.○ Ramps or other devices necessary for access for the disabled and elderly, which meet Seattle Building Code, Chapter 11, are permitted in required setbacks.○ Fences, freestanding walls, and other similar structures 6 feet or less in height above existing or finished grade, whichever is lower, are permitted in required setbacks. The 6 foot height may be averaged along sloping grade for each 6 foot long segment of the fence, but in no case may any portion of the fence exceed 8 feet.○ Bulkheads and retaining walls used to raise grade may be placed in any required setback when limited to 6 feet in height, measured above existing grade. A guardrail no higher than 42 inches may be placed on top of a bulkhead or retaining wall existing as of September 30, 1994. If a fence is placed on top of a new bulkhead or retaining wall, the maximum combined height is limited to 9 1/2 feet.○ Bulkheads and retaining walls used to protect a cut into existing grade may not exceed the minimum height necessary to support the cut or 6 feet, whichever is greater. When the bulkhead is measured from the low side and it exceeds 6 feet, an open guardrail of no more than 42 inches meeting Building Code requirements may be placed on top of the bulkhead or retaining wall. A fence must be set back a minimum of 3 feet from such a bulkhead or retaining wall.■ Setback requirements do not limit underground structures.■ Dumpsters and other trash receptacles, except for trash compactors, located outside of structures are not permitted within 10 feet of any lot line that abuts a residential zone and must be screened per the provisions of Section 23.47A.016.■ Green stormwater infrastructure (GSI) features are allowed without setback restrictions if:<ul style="list-style-type: none">○ Each above-grade GSI feature is less than 4.5 feet tall, excluding piping○ Each above-grade GSI feature is less than 4 feet wide, and○ The total storage capacity of all above-grade GSI features is no greater than 600 gallons.■ A setback may be required in order to meet the provisions of Section 23.53.015, Improvement requirements for existing streets in residential and commercial zones, and Section 23.53.030, Alley improvements in all zones.
AMENITY AREA	<ul style="list-style-type: none">■ Residential amenity area equal to 5% of residential gfa. GFA excludes areas used for mechanical equipment and accessory parking. Bioretention area counts.■ All residents have access to at least an amenity or private area■ Amenity areas to be unenclosed■ Common residential amenity areas shall have a dimension of at least 10-ft and a minimum area of 250-sf■ Private balconies and decks to have a dimension of at least 6-ft and an minimum area of 60-sf■ Rooftop areas near minor communication utilities and accessory communication devices do not qualify as amenity areas
PARKING	<ul style="list-style-type: none">■ No parking is required in Urban Centers or in Urban Villages with light rail station area overlay districts.■ No parking is required in Urban Villages as long as frequent transit service is available within 1/4 mile.■ Street-level parking must be separated from the facade by another permitted use.■ Bike parking:<ul style="list-style-type: none">○ Residential: Long Term: 1 space per dwelling unit; Short Term: 1 space per 20 dwelling units○ Institutional: Long Term: 1 space per 4,000 SF; Short Term: 1 space per 10,000 SF○ Eating and drinking establishments: Long Term: 1 per 5,000 SF; Short Term: 1 per 1,000 SF

7.0 COMPOSITE SITE PLAN

Street Characteristics

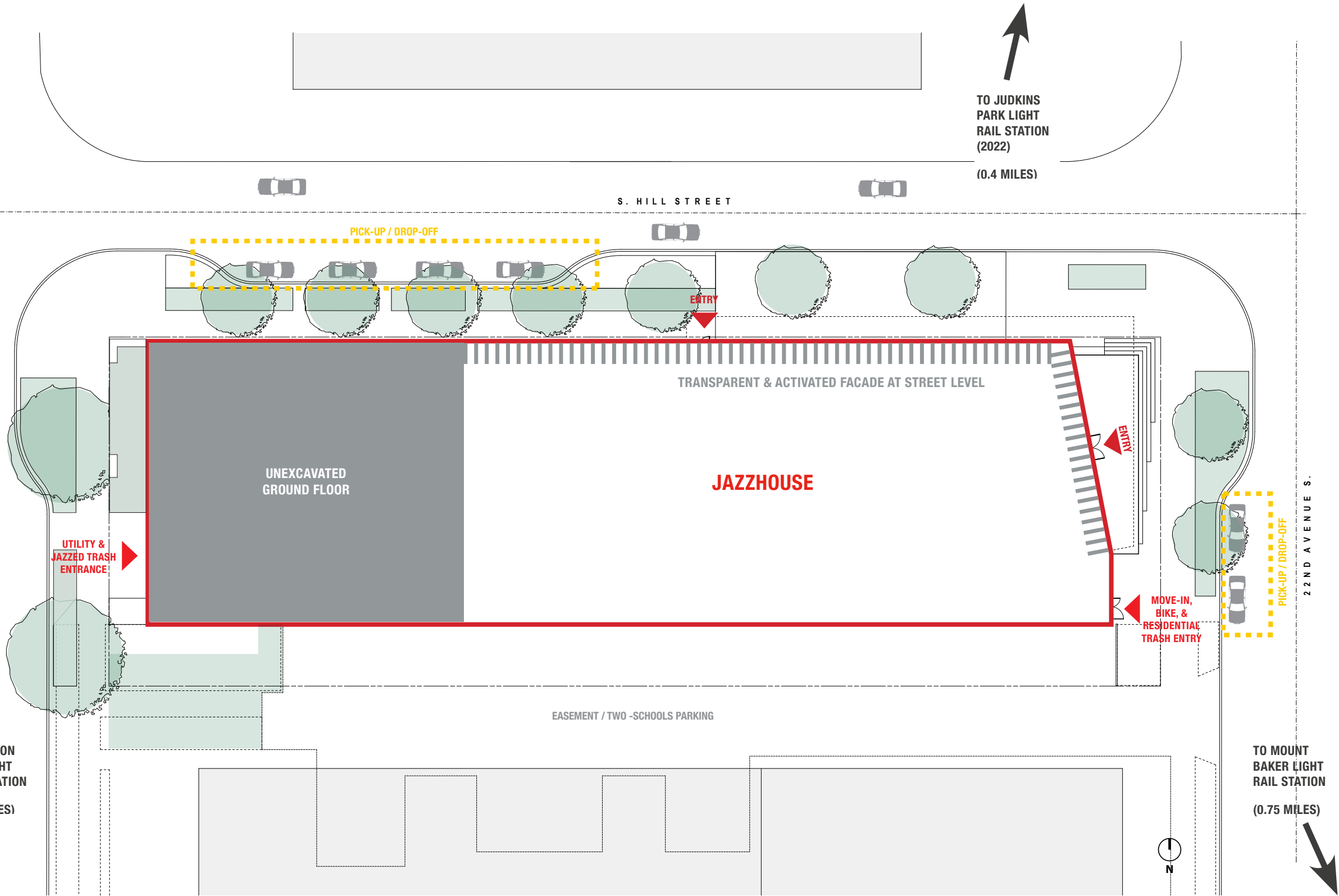
S Hill Street
This street connects to Rainier Ave S, heavily trafficked principal arterial and serves as a major thoroughfare that connects the downtown core to south Seattle. There is a gradual grade change which slopes northwest to southwest. The majority of S Hill Street is single-family housing, punctuated by industrial and commercial buildings heading east towards Rainier Ave S.

Existing sidewalks and public right of ways along this street are either non-existent or very narrow depending on the location. The street can be hazardous to pedestrians on certain blocks and offers very little protection against moving vehicles.

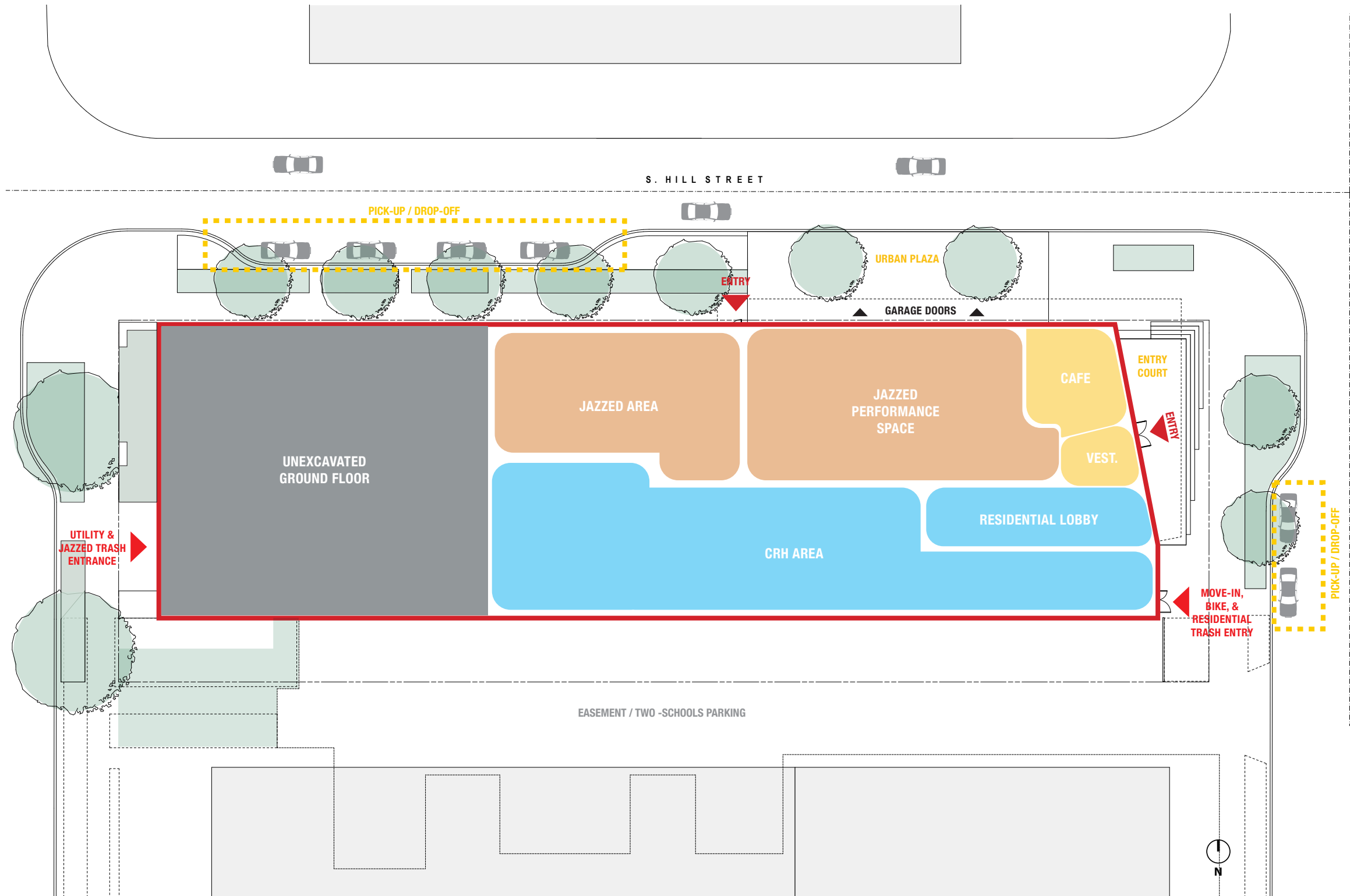
21st Ave S & 22nd Ave S
These avenues connect to existing and future light rail stations and are relatively quiet in nature, sloping up from north to south. Very similar in nature to S. Hill Street; primarily single-family homes with no or very narrow sidewalks, aside from those running alongside the Two Schools development south of the site. Traffic light, but car speed tends to accelerate coming downhill.

Design Approach

- Glazing will be introduced along S Hill Street and 22nd Ave S to provide a sense of transparency at street level and promote street activation.
- Leave west portion of ground floor unexcavated to mitigate the sloped site. Team commissioning **Urban Artworks** to provide pedestrian interest along the street elevation of the unexcavated area.
- The residential entry will be placed on the corner of S Hill Street and 22nd Ave S to engage traffic from the more active Rainier Avenue S.
- A secondary entry will be placed along S Hill Street to provide additional access for the JazzEd program, along with a utility entrance on 21st Ave S.
- The building will be undercut at a diagonal parallel to Rainier Ave S. to accommodate a wider and more protected sidewalk, while linking the north urban plaza to the east entry plaza.
- Landscaped strips, street trees, and bioretention planters will be added for added screening and protection from traffic along the building.



7.0 COMPOSITE SITE PLAN



Removal of existing site elements and excavation are required for the proposed project : a 7-story, mixed-use apartment building approximately 75-feet in height and 21,000-sf (exclusive of mechanical areas). The building will contain 2 levels of JazzEd educational and office spaces, and 108 residential apartment units served by a resident lobby. There will be a neighborhood retail cafe space and shared vestibule at street level. Residents will have access to an outdoor terraced at the 3rd level, and a roof deck. No parking will be provided at this location. Storage and mechanical will be located at street level and level 2 along with building services.

Traffic and Circulation

- S Hill Street, 21st Ave S, and 22nd Ave S are residential streets with street parking on both sides. 22nd Ave S is a minor arterial.

Streetscape

- The building will have a deep canopy along the S Hill Street sidewalk that wraps the 22nd Ave S corner to improve the pedestrian experience and safety.
- An urban plaza and a raised entry court offset from the main entrance will provide outdoor connections to the performance and the cafe spaces respectively, with generous spaces for seating and gathering.

Neighborhood Influences

- The proximity of numerous bus routes and bike paths is conducive to a transit-oriented development and neighborhood.

8.0 EDG SUMMARY

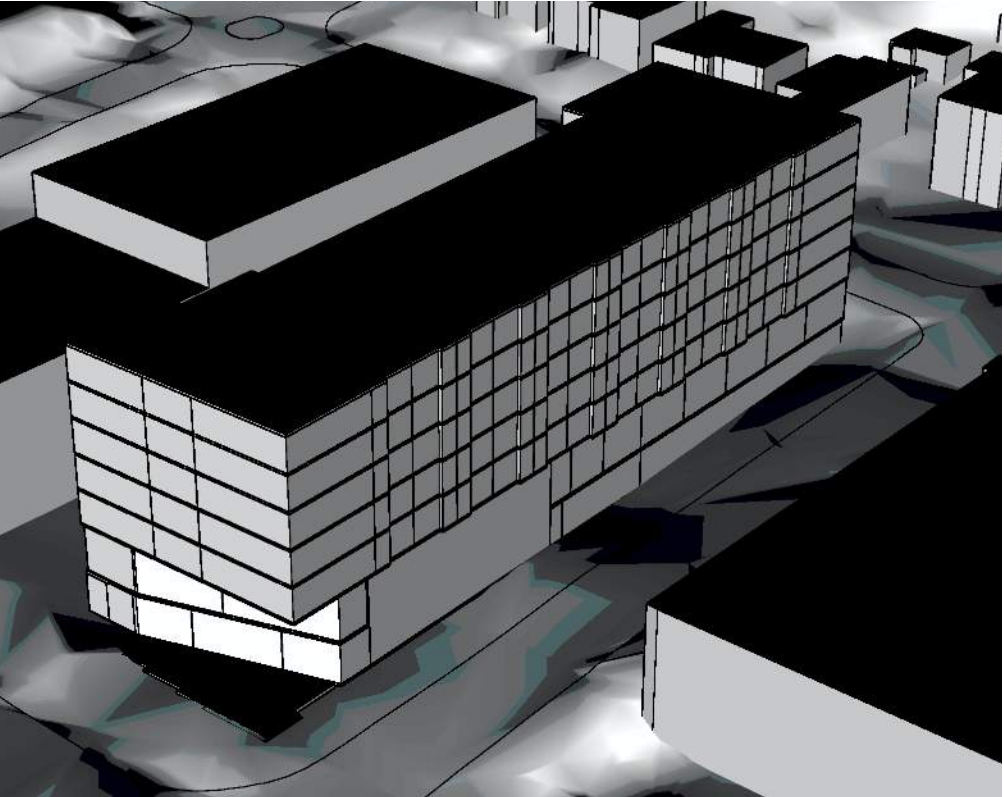
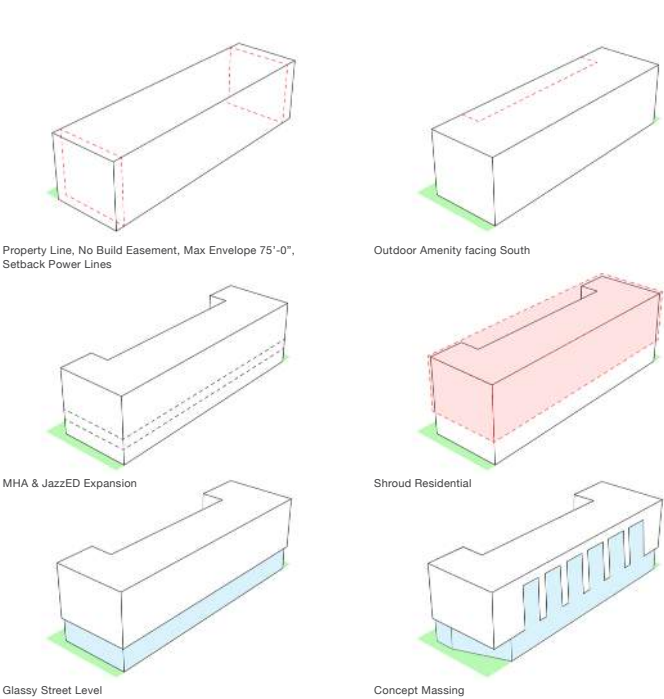
APPROVED EDG CONCEPT

DESCRIPTION

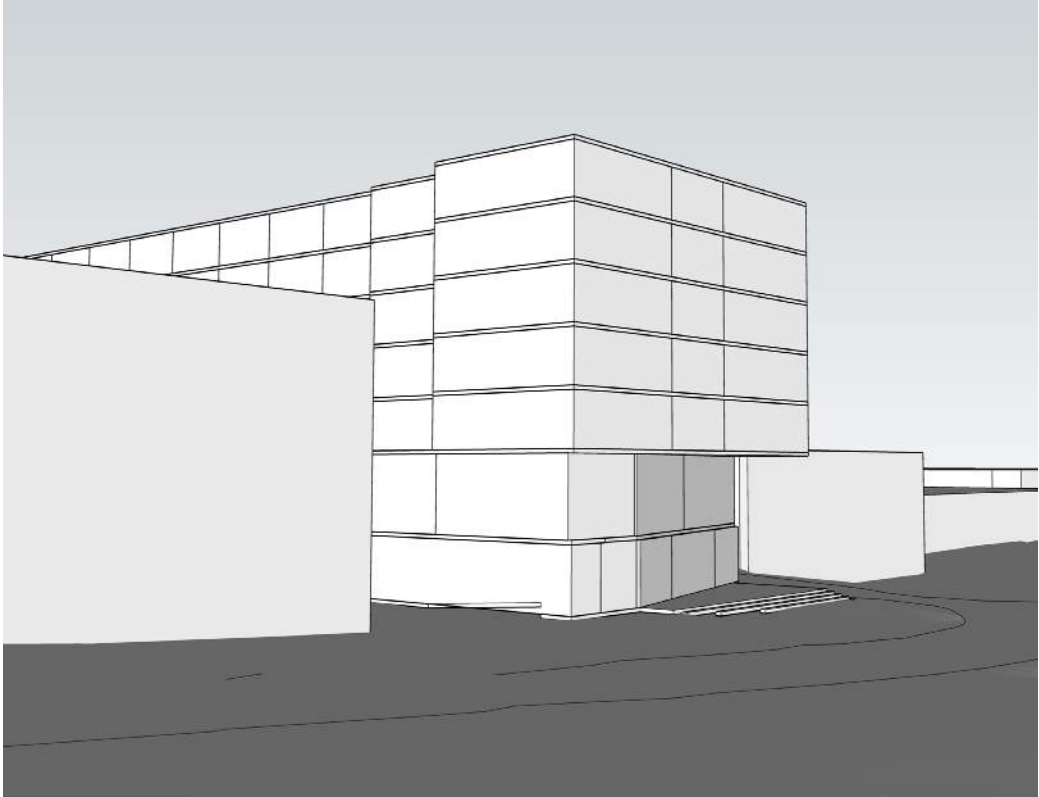
Concept #3 is a refined massing expression of the programmatic elements as they respond to the site circumstances. The lower two level occupied primarily by JazzEd is expressed with a slight shift differentiate it from the mass of housing above. Additionally, the entrance is dynamically cut to provide both way finding and an enhanced entrance plaza. The upper mass is an integral expression of the apartment units, articulating the long northern facade. Additionally, the southern facade is further carved back away from the school to better provide privacy and outdoor amenity to the residents. This design strategy will only be further enhanced by the exterior material expression and fenestration.

SUMMARY

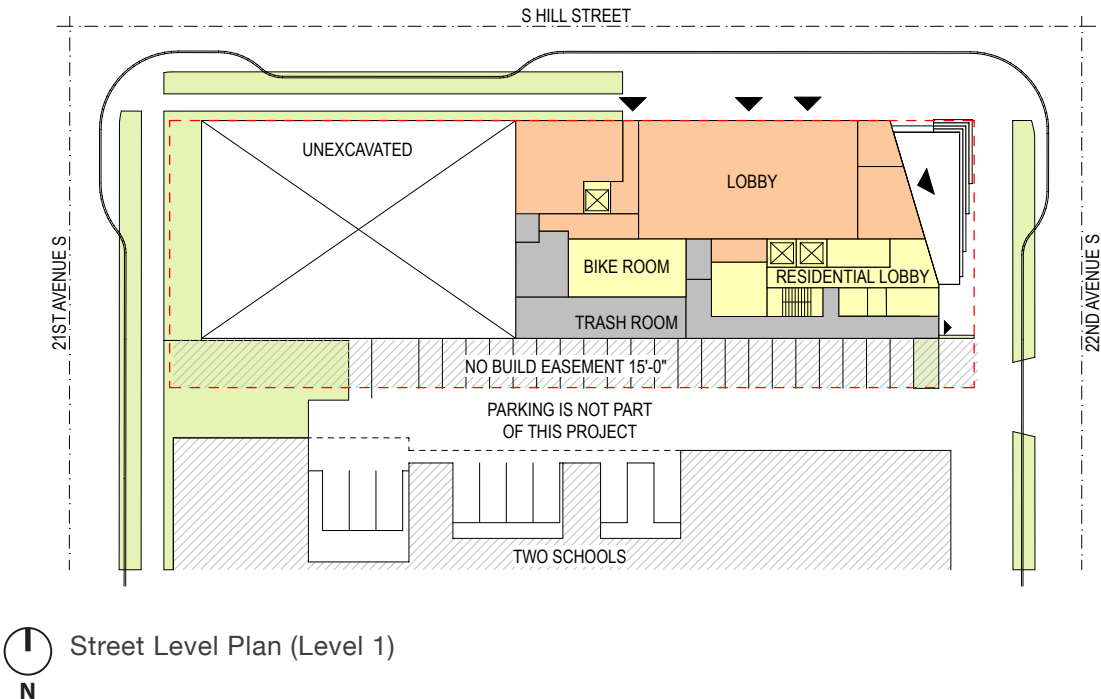
Stories:	7 above grade
Unit Count:	128
Floor Area:	95,156-sf total FAR chargeable
	76,852-sf residential
	18,303.5-sf non-residential
Parking:	1 Loading Dock



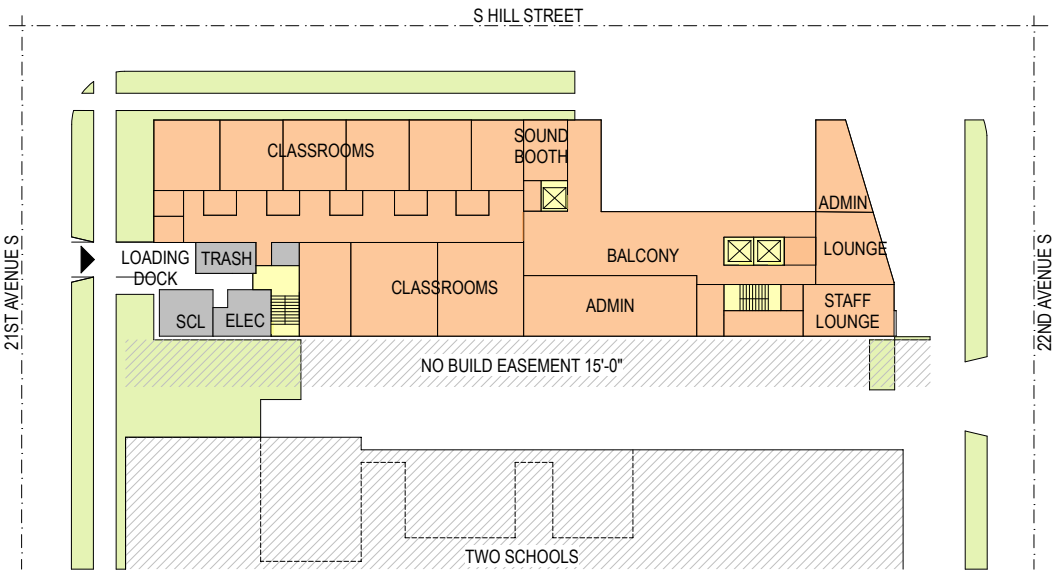
Northeast Aerial



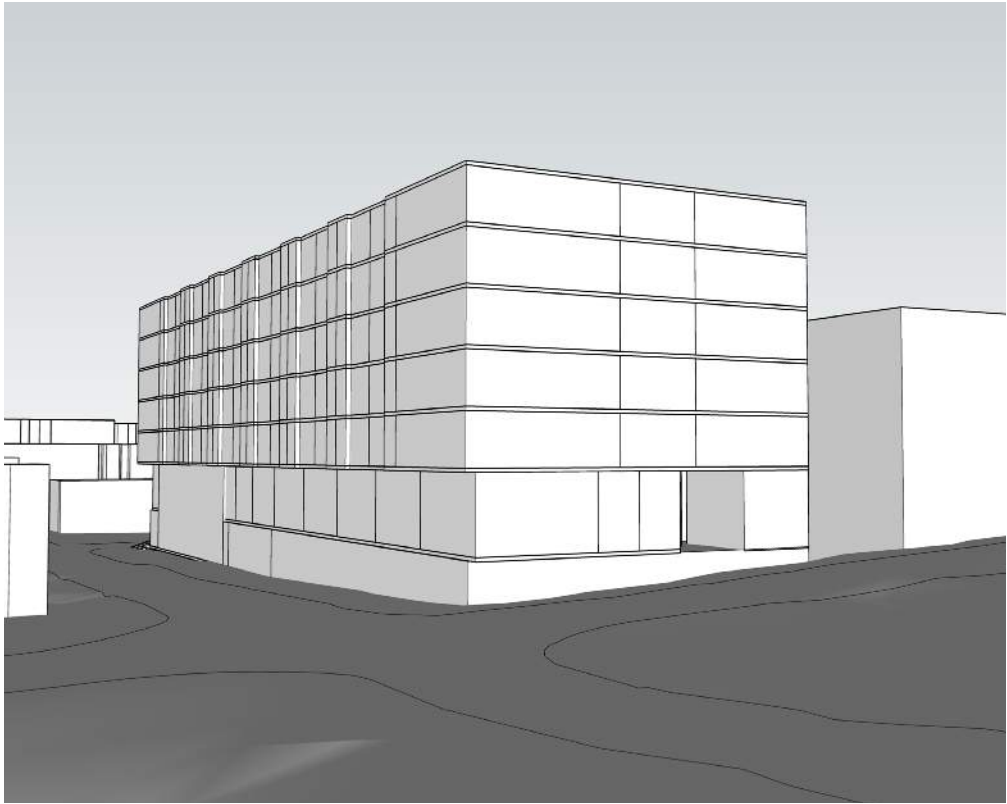
Southeast Corner



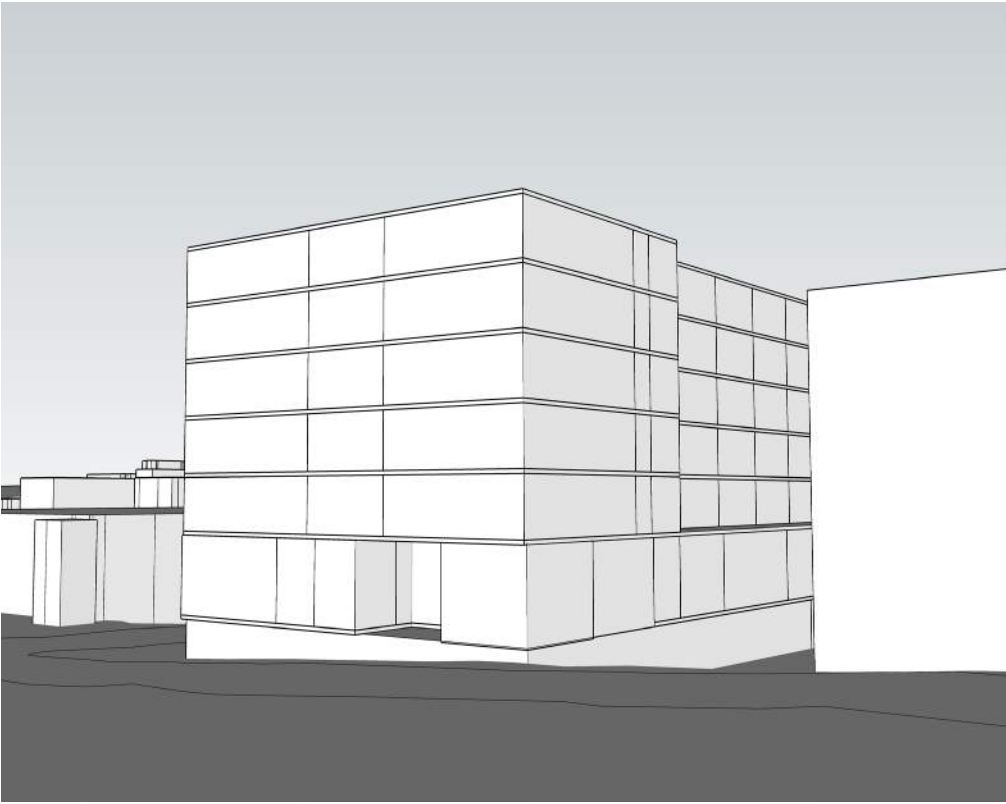
Street Level Plan (Level 1)



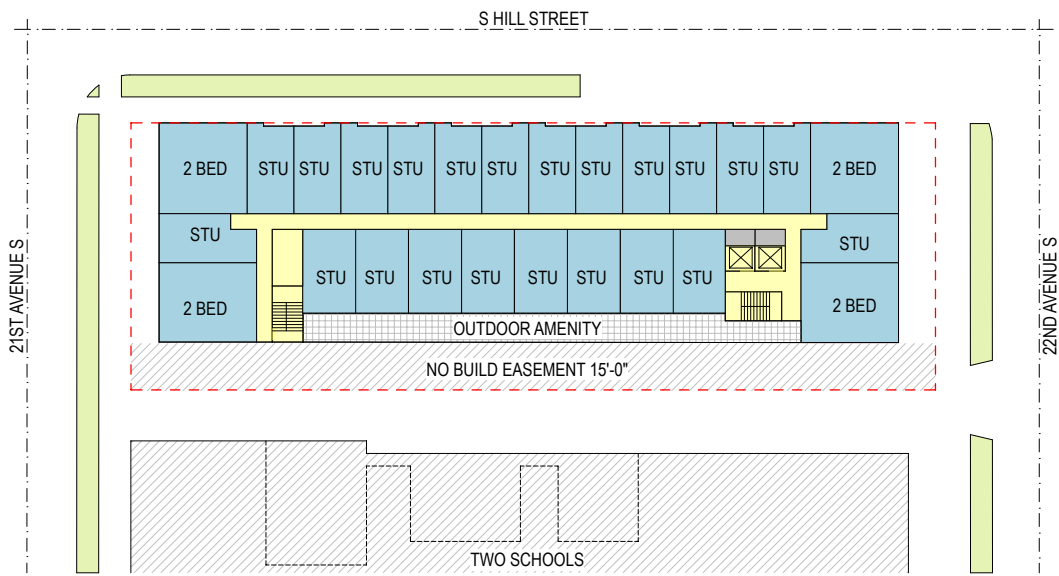
JazzED Upper Floor (Level 2)



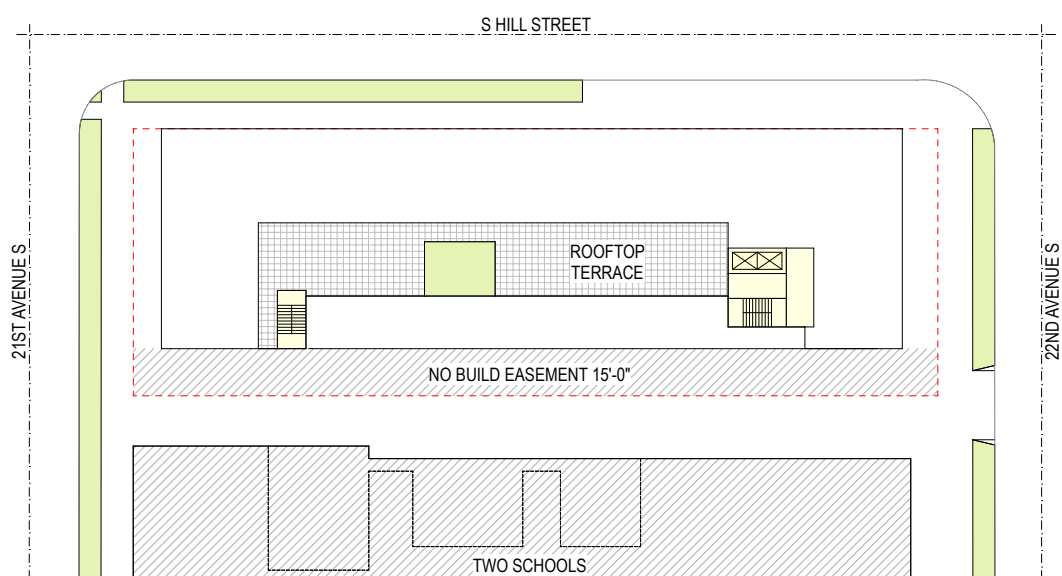
Northwest Corner



Southwest Corner



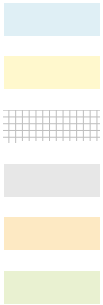
Typical Floor Plan (Level 3-7)



Roof Plan

LEGEND

- Residential
- Circulation
- Amenity
- Utility
- JazzED
- Green



8.0 DESIGN UPDATE SUMMARY

MASSING CONCEPT UPDATES

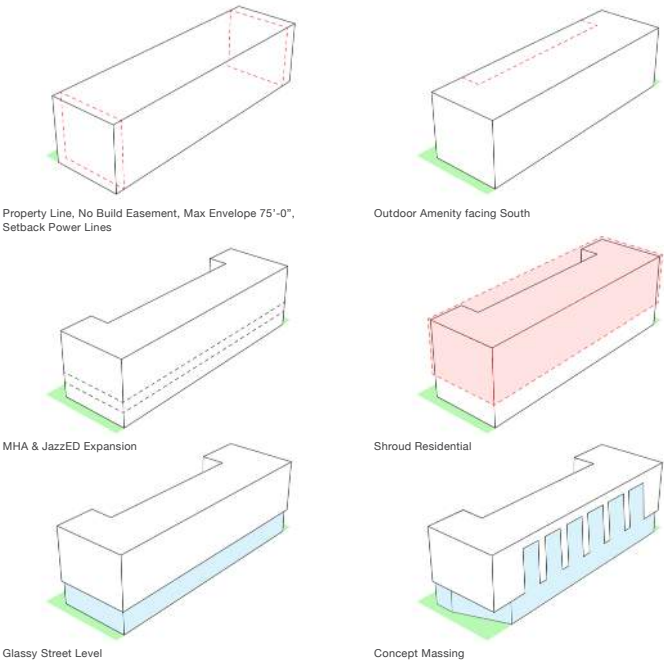
DESCRIPTION

Massing Concept #3 proposed at EDG has been maintained and further developed. The lower level expression of JazzEd through a slight shift has been further enhanced by the materials and colors. The dynamic shift in massing at the entrance has been complimented by a heroic canopy and building signage. Similar to lower levels, the upper level massing expression has been further enhanced with material and color treatments to compliment and contrast the design moves.

The subsequent responses to the Early Design Guidance comments and priorities will elaborate on how the design has evolved to continue to support the massing strategy and recommendations of the staff.

SUMMARY

Stories:	7 above grade
Unit Count:	108
Floor Area:	98,679-sf total FAR chargeable
	79,964-sf residential
	18,015-sf non-residential
Parking:	None



Northwest Aerial

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8.0 ITEMIZED RESPONSE TO EDG

- 1a

1. MASSING

a) Staff supports the continued exploration of the preferred option, Concept 3, which shifts the upper residential floors eastward, cantilevering over the bottom floors as well as the carving away the bottom portion of the northeast corner of the building, to create a gateway or focal point for the main building entry. (CS1-C-1, CS1-C-2, CS2-A, CS2-B, CS2-D)

Response: Comment upheld.
- 1b

b) Staff supports the placement of the building footprint away from the adjacent Two Schools building located immediately to the south, and out of the existing no build easement located 15 feet inside of the southern property line. (CS2-B, CS2-C, DC2-A, DC2-E)

Response: Comment upheld.
- 1c

c) Staff supports the general layout of the upper floors and how the central portion of the south facing façade has been eroded away to create an opportunity for the placement of a south facing outdoor amenity space. (CS2-A-1, PL3-A-4, DC2-B-1, DC2-D-1)

Response: Comment upheld.





2. ARCHITECTURAL CONCEPT

2a a) Staff supports the overall architectural concept which emphasizes strong rectilinear forms with minimal building relief and reported minimal material changes. (CS3-A2, DC2-B, DC2-E)

Response: Comment upheld.

2b b) Staff supports the double floor height along the east side of the building and overhead protection which aids in identifying primary entry points into the building. (CS2-1-c, DC2-B1, DC4-D-4, PL2-D-1, PL3-2-c, PL3-2-d)

Response: Comment upheld.

2c c) Staff generally supports the concept for the open courtyard concept located at the northeast corner of the building as well as the proposed urban plaza located along S. Hill St, designed to allow music and other activities spill out into the public domain. (CS2-D-5, DC1-A-2, DC3-A, DC3-B, DC3-C-2, DC4-C, DC4-D-2)

Response: Comment upheld.

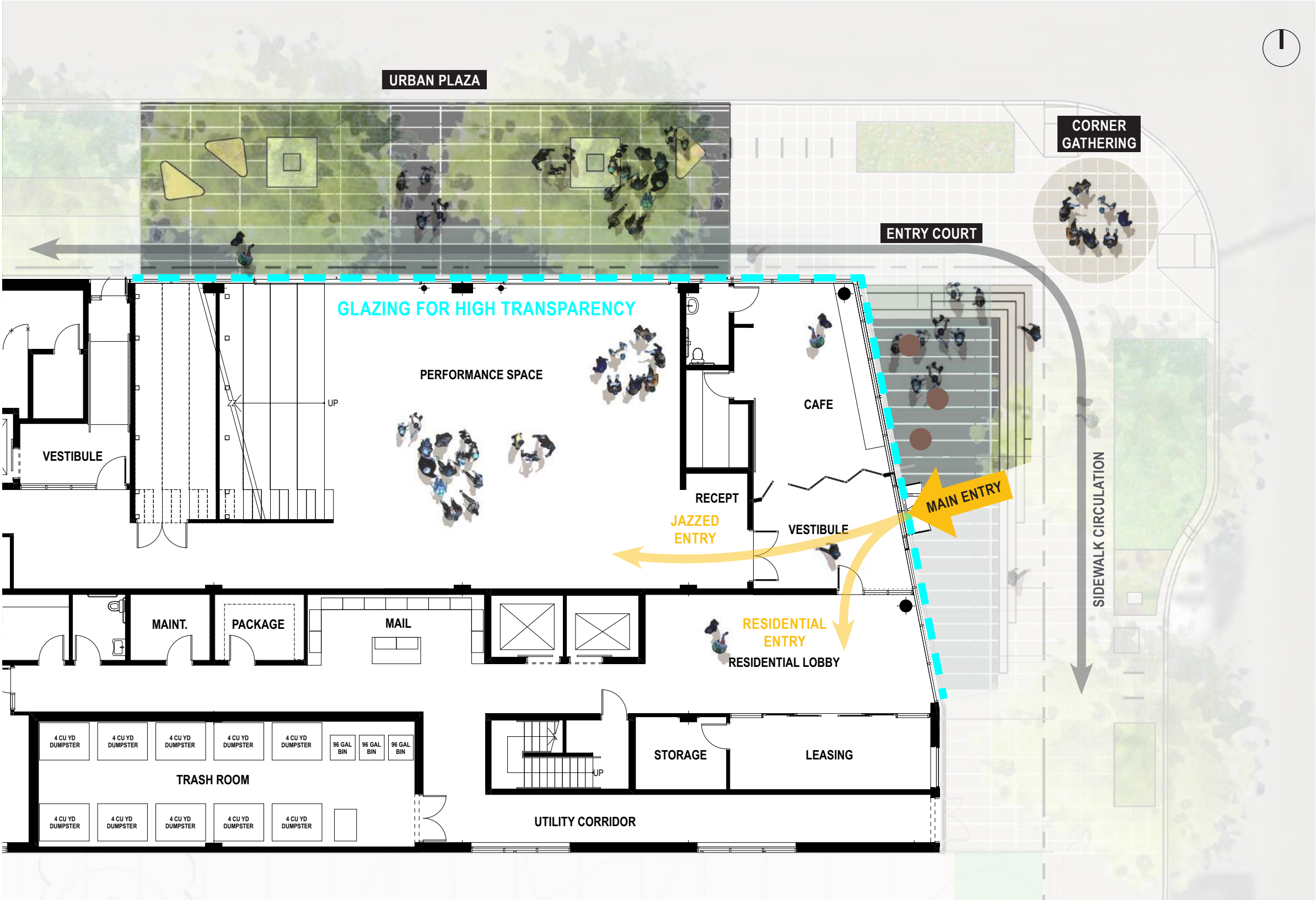
8.0 ITEMIZED RESPONSE TO EDG

2. ARCHITECTURAL CONCEPT

2d d) Staff supports the design of the northeast corner that has been carved away to accommodate a focal point for the main building entry and an entry plaza that is connected to a commercial retail space proposed as a café. Staff sees this as a gateway opportunity that will require careful detailing due to its high visibility from the street. Staff requests additional studies demonstrating how the plaza, the retail space, and their relationship to both the residential and school entries will function. (CS2-B, CS2-C-1, PL3-A-2, DC2-C)

Response: The collaboration between Community Roots Housing and Seattle JazzEd and the future building community is celebrated through one primary entrance identified by carving away the building massing, providing a grand canopy, and elevating an entry court. As such, all community members are equally welcomed into the space through the single front door before diverging into the respective destination. The actual entry door is offset from the entry court to provide equitable accessibility to the entrance and optimize the usable, outdoor space of the elevated court – primary circulation occurs central to the east façade while the court may be occupied to the northeast of the main entrance.

Additionally, the material details are carefully considered. A blackened metal canopy with a warm wood ceiling is designed with rhythmic coffers to reduce the scale. Integral soffit lighting and blade signs will be provided.

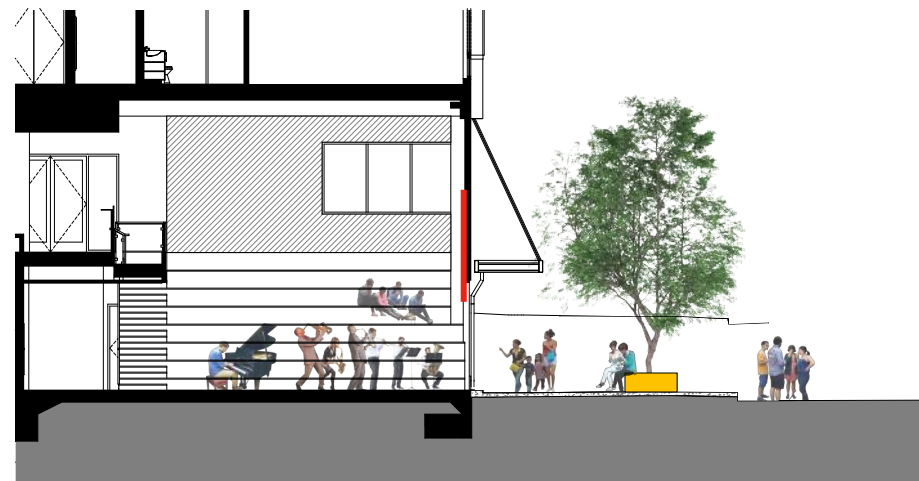
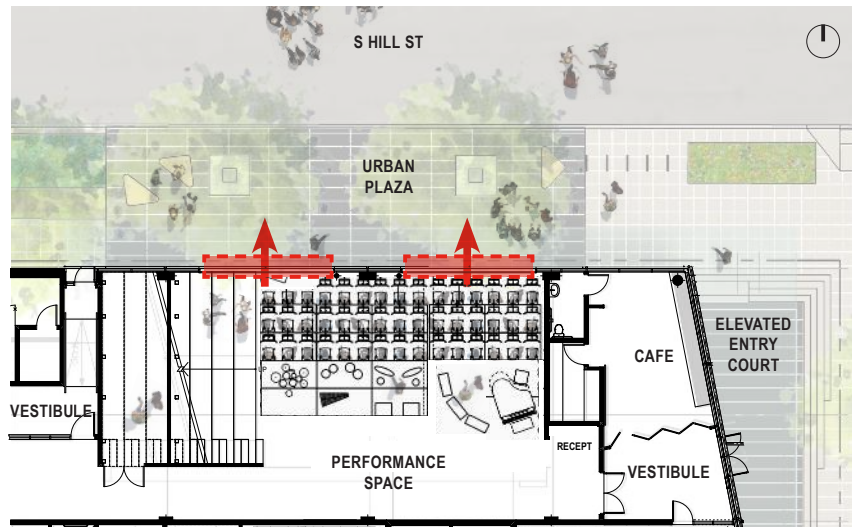


8.0 ITEMIZED RESPONSE TO EDG

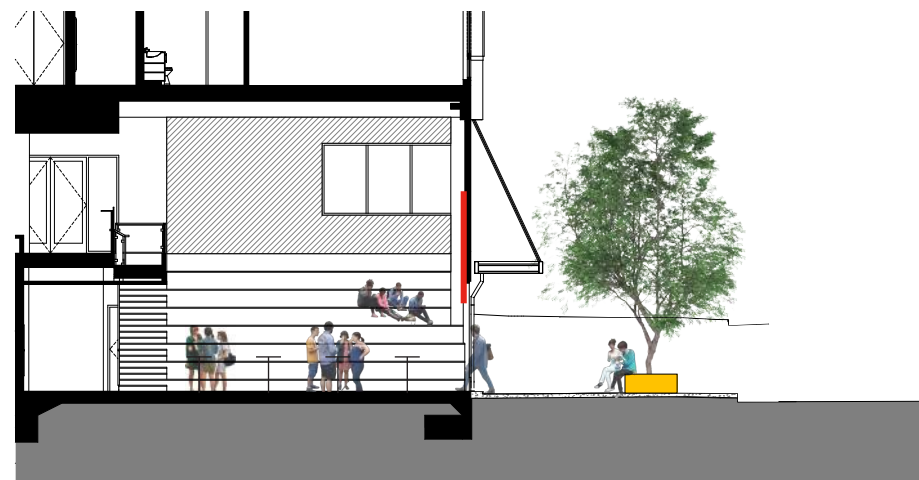
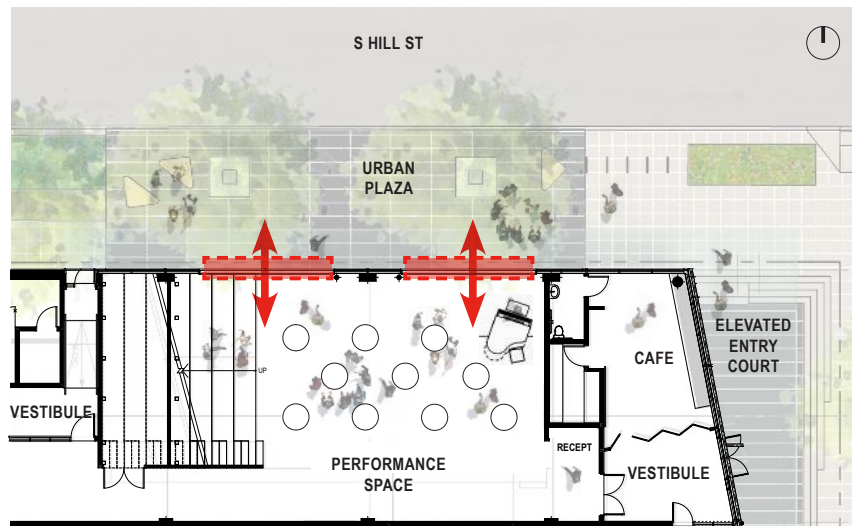
- 2e** e) Staff supports the concept for the urban plaza and its use as a spill out area during musical performances and other activity. The design team shall provide additional vignettes with the MUP application, depicting how indoor activities will spill out into the 'public plaza area. As an advisory note, the design team will need to obtain the necessary approvals from all City agencies. (CS2-B-2, CS2-C-1, CS3-A2, PL3-A-1, DC2-E)

Response: Seattle JazzEd has secured street use permits to host block parties on S Hill St in the past and will continue to do so with the next one planned for late-summer 2021. The multifunctional performance space is designed with garage doors allowing for the space to function as a stage to the block, a circulation route during events, or operable fenestration to provide visual and audible connection with the public realm.

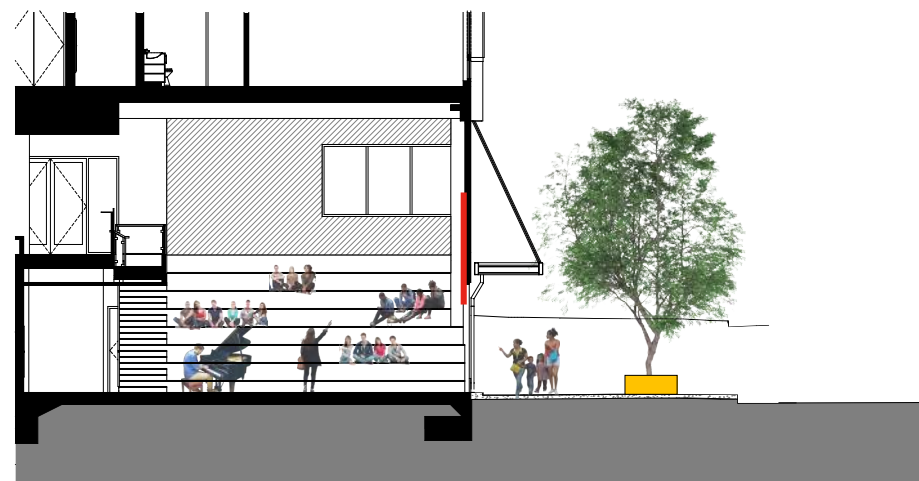
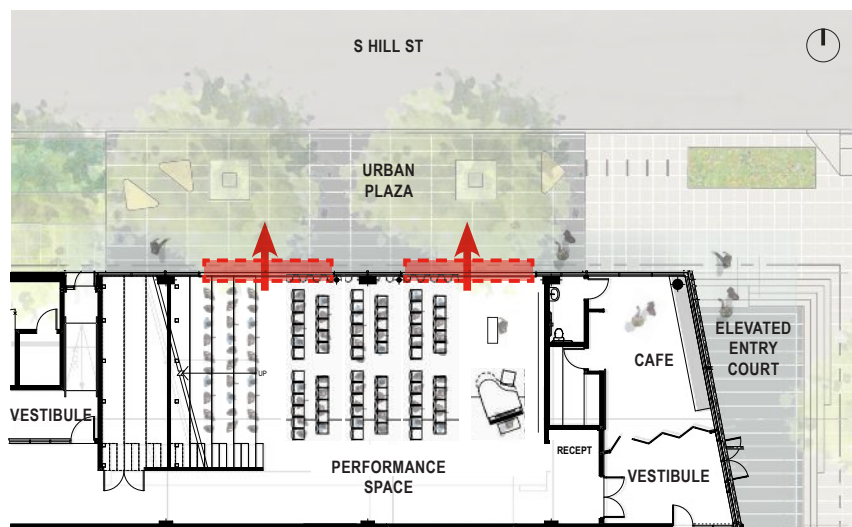
BLOCK PARTY



GALA



CLASSROOM
(OPEN GARAGE DOORS)

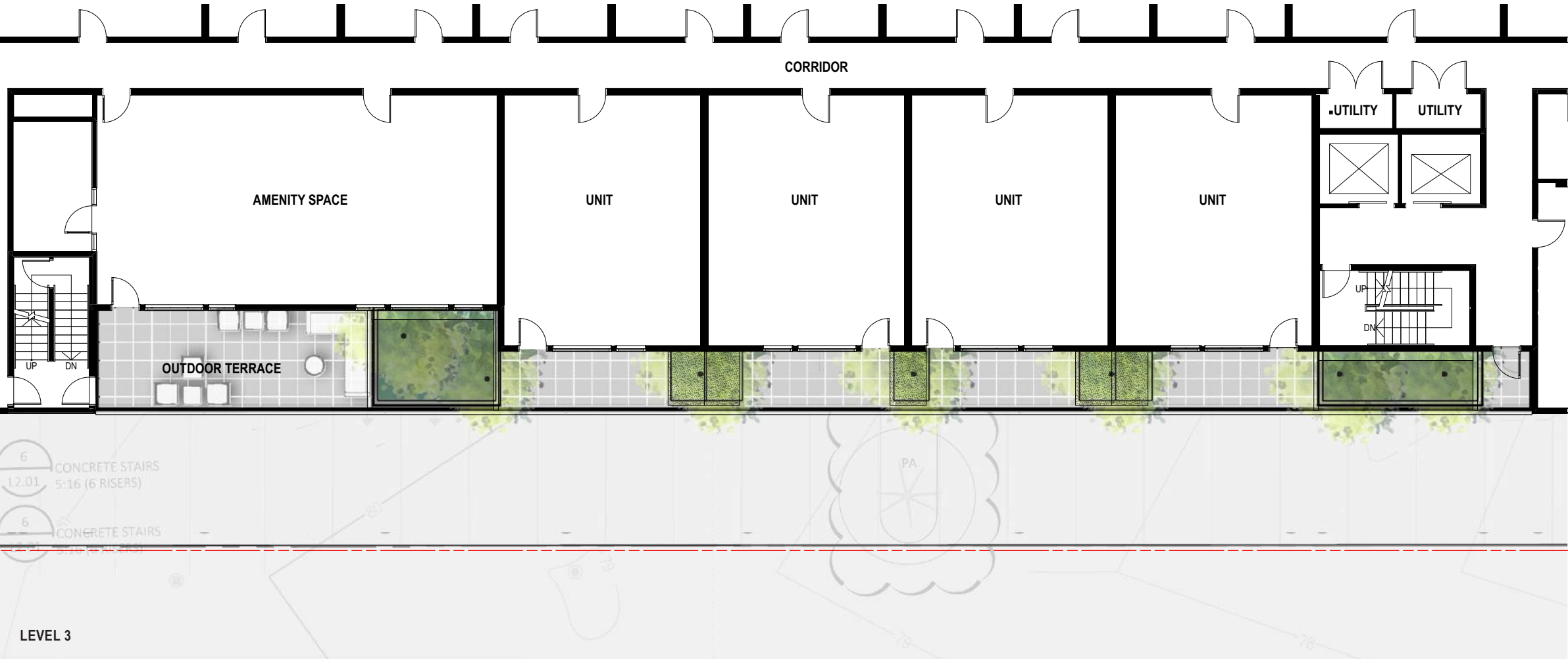
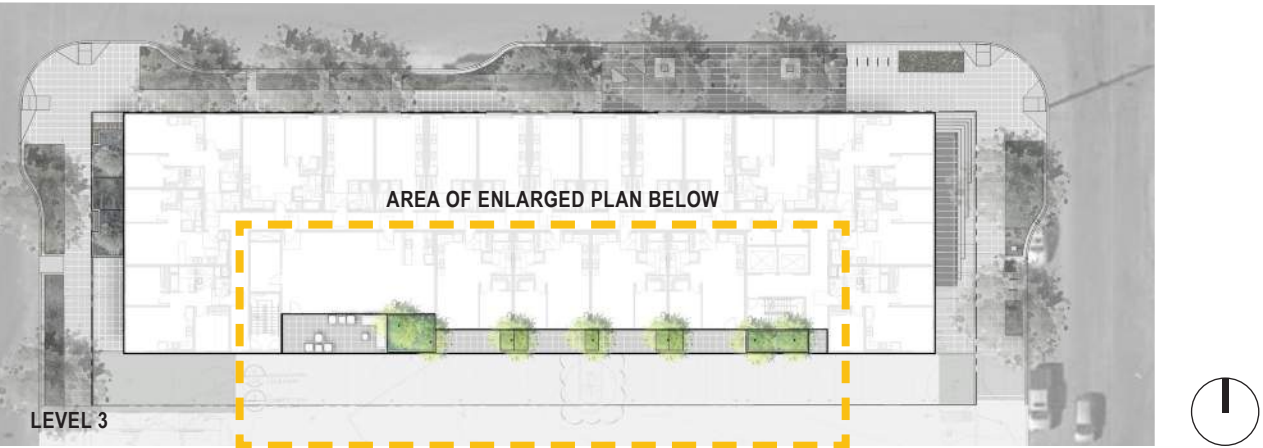


8.0 ITEMIZED RESPONSE TO EDG

2. ARCHITECTURAL CONCEPT

2f f) Staff supports the creation of the south facing outdoor amenity space but requests additional information on how the space will be used and whether it's intended for individual or public use. (CS2-B, CS2-C-1, PL3-A-2, DC2-C)

Response: The third-floor terrace is intended for residential use only. Raised, movable planters with plantings separate the southern unit private patios, while a bioretention planter screens the shared outdoor residential amenity space (adjacent to the residential amenity room) from the units. The shared outdoor residential amenity space is intended to be used as an extension to the indoor space.





3. RESIDENTIAL ENTRY

- 3a** a) The design team shall provide additional information on how the residential entry will be designed to create an architectural statement and visual cue that announces the entry location. (PL2-A, PL2-B, PL2-D-1, PL3-A-4, PL3-A-1, PL3-C-2, PL4-A)

Response: Similar to marquees of historic theaters, the grand entrance canopy will provide visual prominence through it's scale, material, and signage. Providing illuminated building signage will not only visually activate the entrance but will make a gesture to historic theater canopies with their illuminated lighting. The collaboration between Community Roots Housing and Seattle JazzEd and the future building community is celebrated through one primary entrance for the community, including residents and visitors to JazzEd alike.

8.0 ITEMIZED RESPONSE TO EDG

3. RESIDENTIAL ENTRY

3b *b) Staff supports the design of the streetscape at the corner of 22nd Avenue S and S Hill Street, the related elevated front entry, and proposed café retail space. The design team shall provide additional detailed studies/ vignettes depicting the materiality and the indoor/outdoor relationship of the courtyard and the commercial retail space. (PL2-A, PL2-B, PL2-D-1, PL3-A-4, PL3-A-1, PL3-C-2, PL4-A)*

Response: The hardscape directly adjacent to both the front entrance, café retail space, and performance hall are being designed to differentiate and highlight the relationship between indoor and outdoor spaces. The surfaces are designed with a different color and scoring pattern that relates to the material selection and finish on the interior.





3. RESIDENTIAL LOBBY

3c c) The design team shall provide additional details for where mail and packages will be delivered and/or picked up. (DC3-C-2, DC4-D-4)

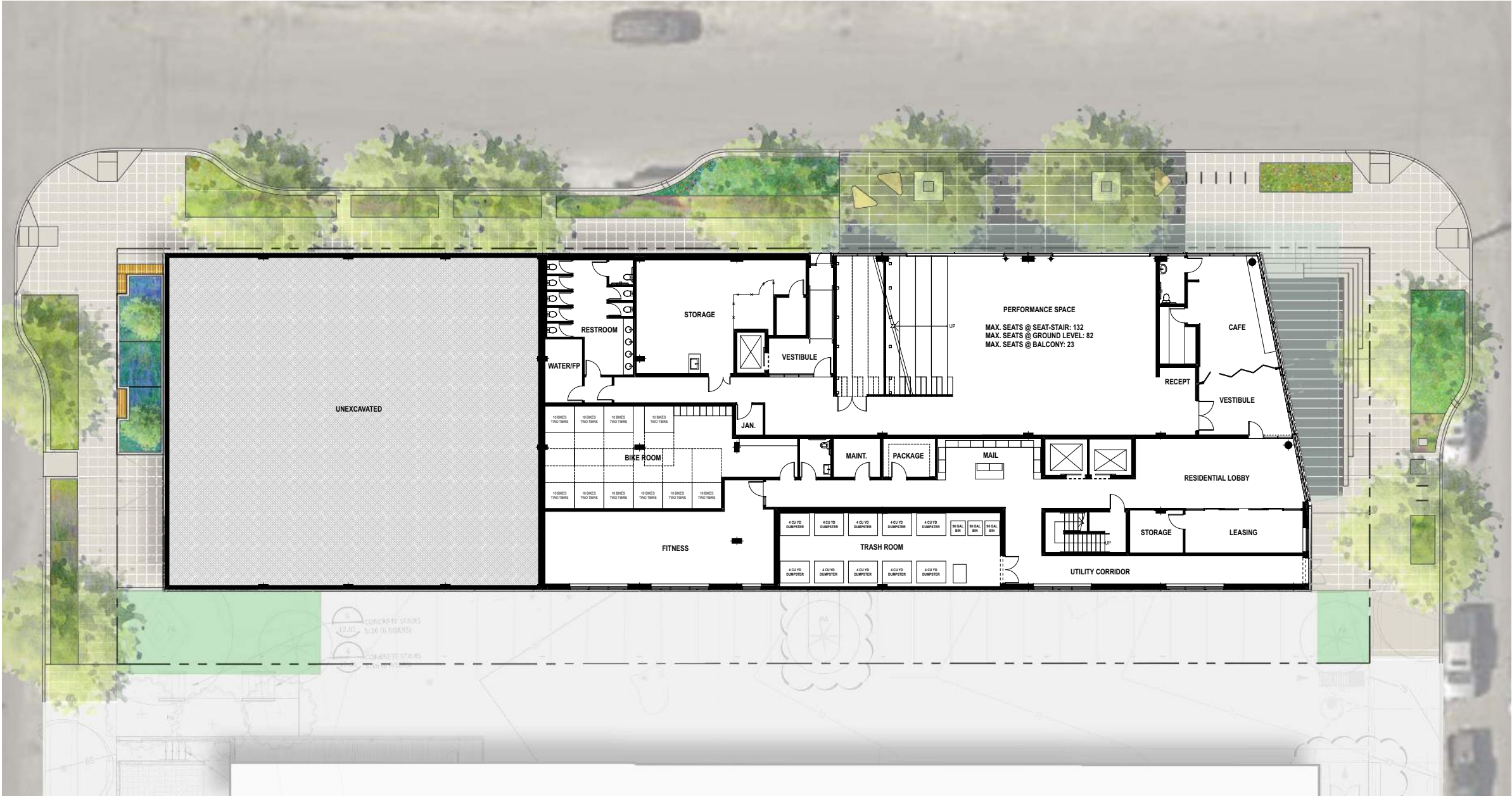
Response: Residential mailbox stacks will be provided for residents within the residential lobby, on the east side of the building. JazzEd will receive mail and packages at the reception desk adjacent to the entry.

8.0 ITEMIZED RESPONSE TO EDG

4. LANDSCAPE

4a a) Staff supports the general concept for the landscaping elements designed to enhance the pedestrian realm as well as calm traffic by using curb bulbs at the intersections, in addition to the provision of outdoor public seating, bike racks and paving elements. (CS2-D-5, PL1-B-3, PL2-D, PL3-A-4, DC3-C-2)

Response: Comment upheld.





4. LANDSCAPE

4b b) Staff generally supports the design of the streetscape along 21st Ave S, which includes bench seating, street trees and bio-retention. Staff requests additional explanation and vignettes demonstrating how and why these spaces will be used. In addition, the design team shall provide additional design details for the green triangular areas located at the building's southwest and southeast corners, identified as vegetation as seen on page 44 of the EDG packet. (CS2-D-5, PL1-B-3, PL3-A-4, DC3-C-2, DC4-C)

Response: Landscaping is used to enhance both the building and its pedestrian realm at street level. Street trees, a landscaping buffer, and curb bulbs at S Hill St and 22nd Ave are provided to aid in shading the pedestrian street and enhance pedestrian safety from the moving cars.

Street level bioretention planters engage the public with the stormwater management process and natural seating opportunities. The paved urban plaza extends the width of the sidewalk to capture a gathering space adjacent to the performance space, punctuated by wood-top benches for additional seating and bike racks for visitors and commuters.

Pages 38-41 further elaborate on the street level landscape design and details.

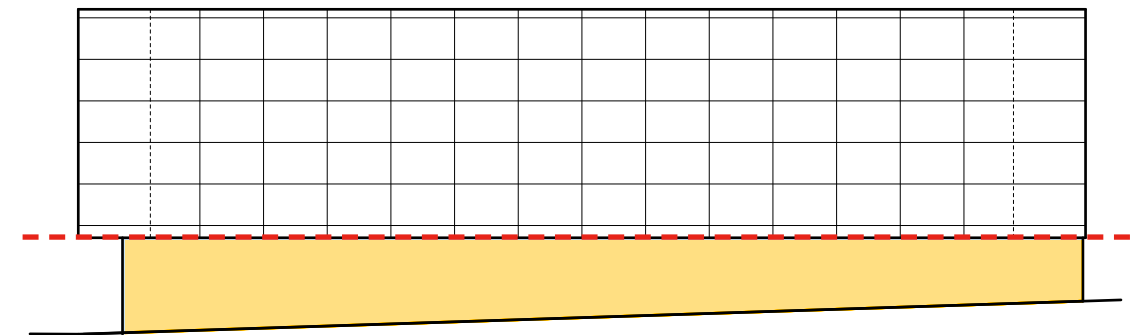
*Artwork shown is only a placeholder. The project team will engage a lead artist and **Urban Artworks** to create pedestrian interest on street elevation, refer to Art RFQ on pages 64-69.

8.0 ITEMIZED RESPONSE TO EDG

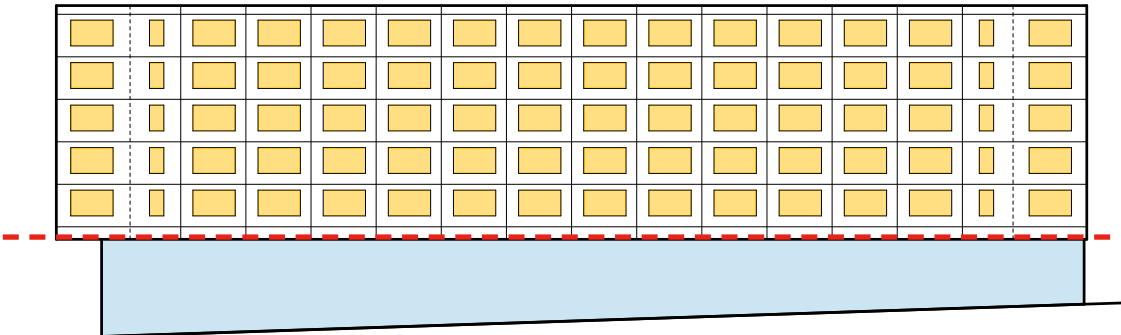
5. MATERIALS

5a a) *Materials and façade treatments will be critical to the success of the massing. As such the design team shall explore different ways of applying material and textures to create greater visual interest along all building facades (DC4-A-1, DC4-C, DC4-D-2,)*

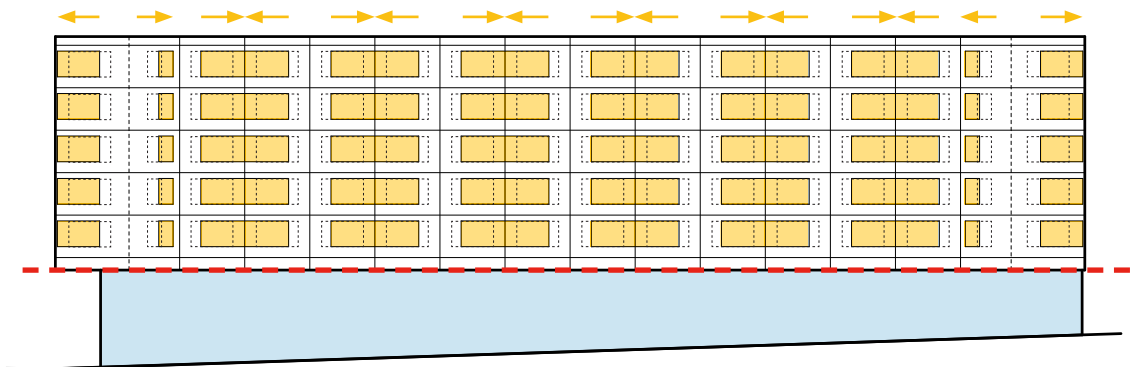
Response: The exterior building materials have continued to be developed with scale, texture, and visual interest in mind. At the lower floors, a blackened metal and wood canopy has been refined with rhythmic structural bays to add visual interest and better relate to the human scale. The concrete foundation walls will integrate a community artist's design. The upper mass has been designed with a preformed, metallic finish metal panel of varying widths in a alternating pattern to provide a holistic visual texture across the façade. These is broken up by windows with extruded trim for depth and shadow lines while the transparent bays are offset for further depth. Colors have been selected for the complimenting tones, textures, and reflectance.



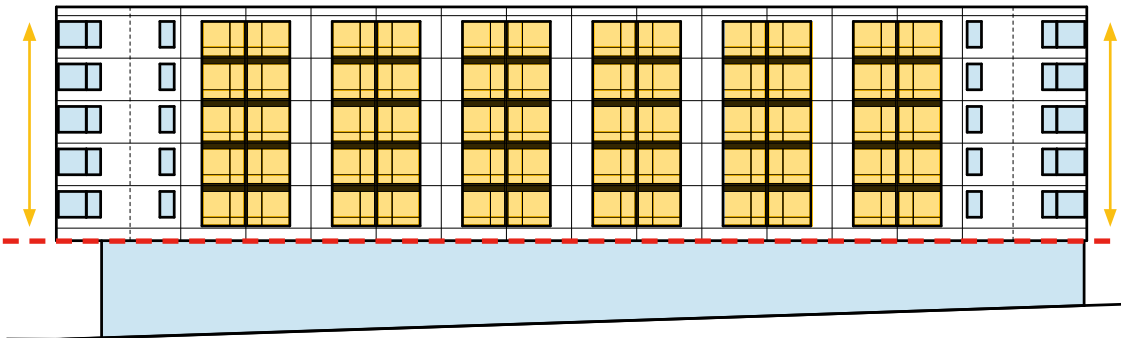
1. Overall Building Massing + Glaze JazzED



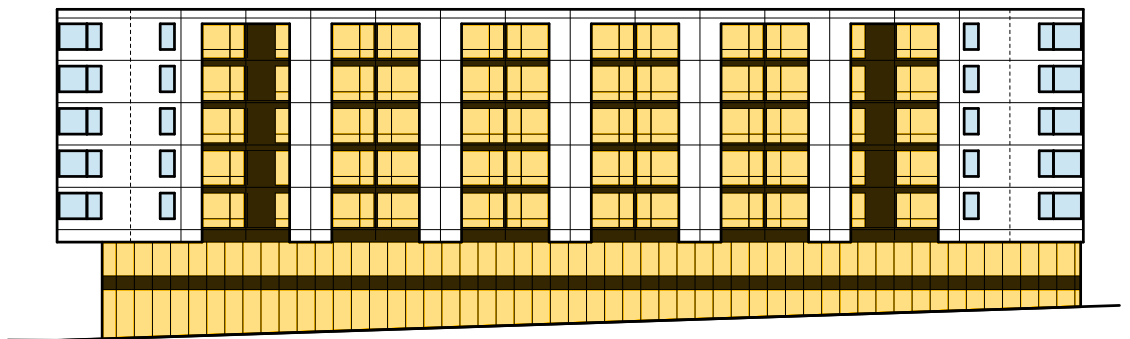
2. Add Unit Windows



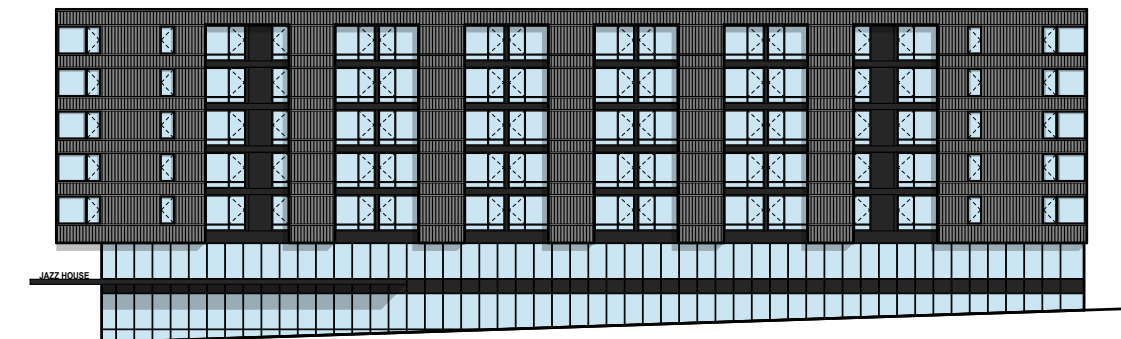
3. Group Units Vertically



4. Floor to Ceiling Studio Windows



5. Glazing runs from Jazz Ed to Encompass Studio Windows



6. Distinguish Housing and JazzEd



5. MATERIALS

5b b) For the next packet submission, the design team shall include fully rendered elevations showing the proposed materials and clearly depict the character of the building from a variety of viewpoints. (DC2-B-1, DC2-C, DC2-D-1)

Response: Rendered elevations in the “11.0 Elevations” section of this packet.

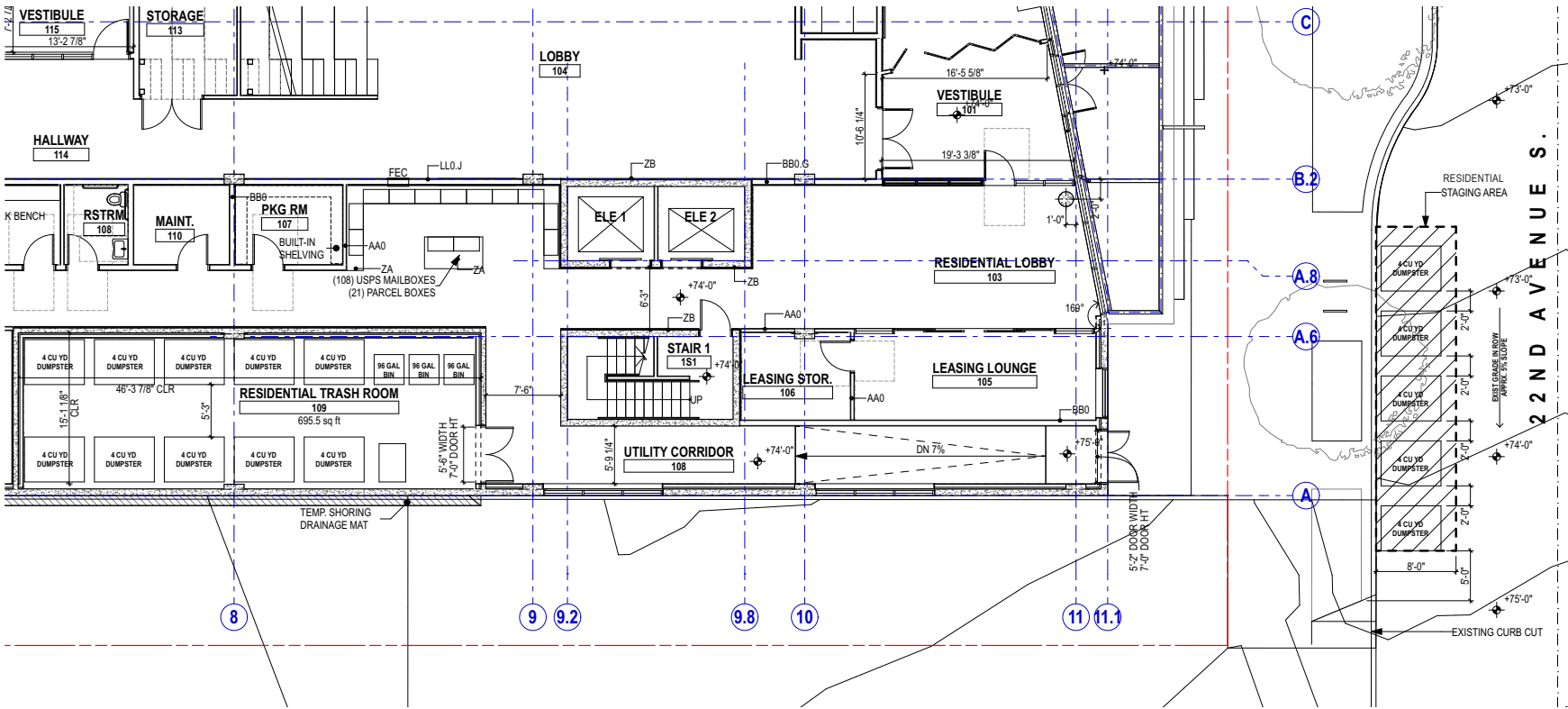
8.0 ITEMIZED RESPONSE TO EDG

6. TRASH

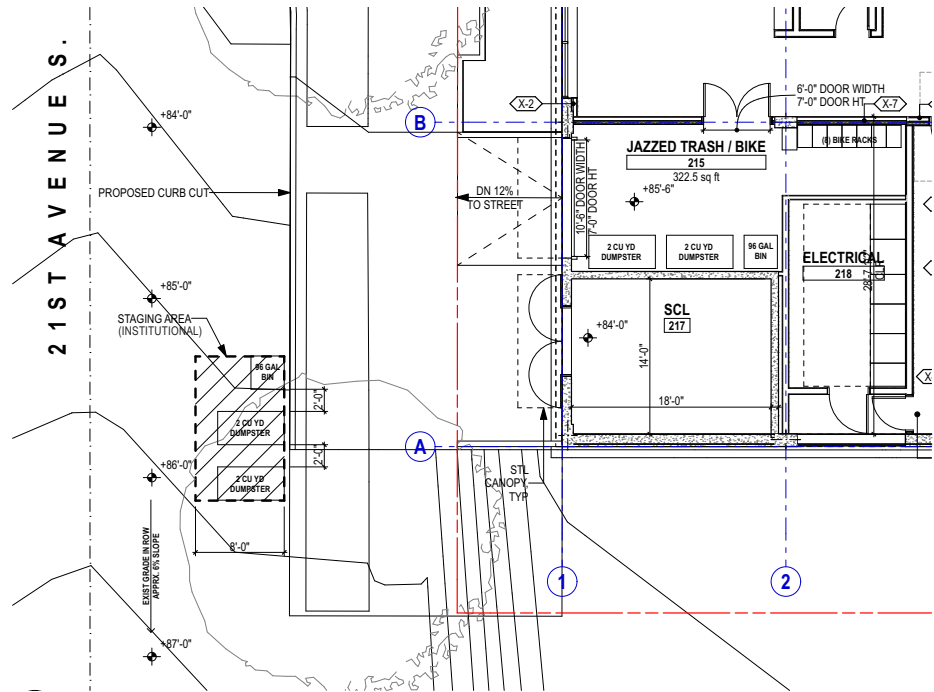
6a a) The design team shall provide the methodology and location for all trash staging on pick up days. (DC2-B-1, DC1-C-4)

Response: Separate trash rooms are provided for JazzEd and the residents, located to best correspond to internal accessibility. Trash staging areas for pick up will be located in two areas corresponding to the trash room locations, coordinated with SPU, and positioned as far from building entrances & street intersections as possible. The JazzEd trash staging will occur on 21st Ave S at the southwest corner of the site. The residential trash staging will occur on 22nd Ave S at the southeast corner.

Pickup day(s) will be coordinated with SPU. The building operators will move containers out for pickup on the morning of and return them to the trash rooms once picked up.



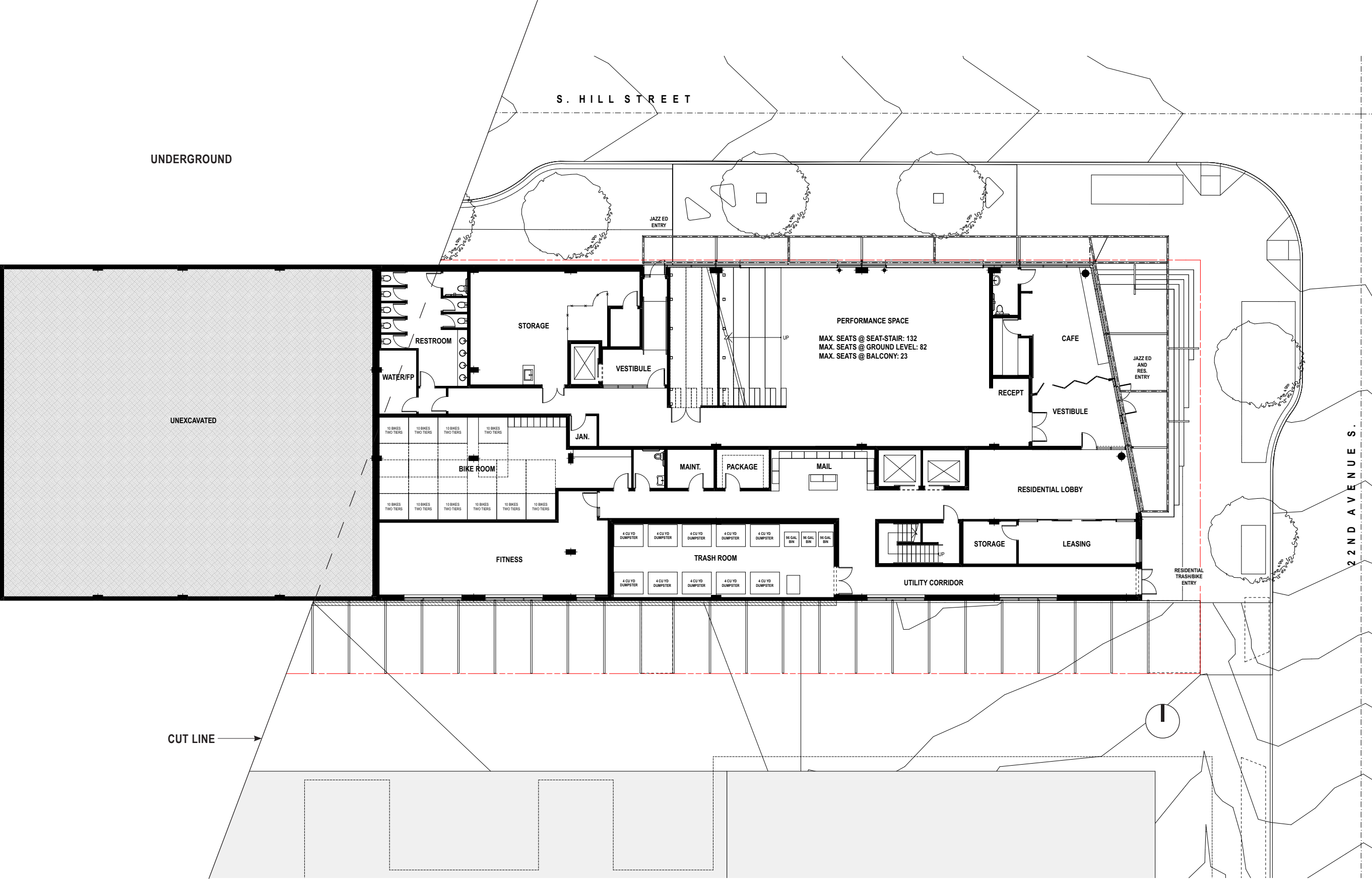
Residential Trash Staging



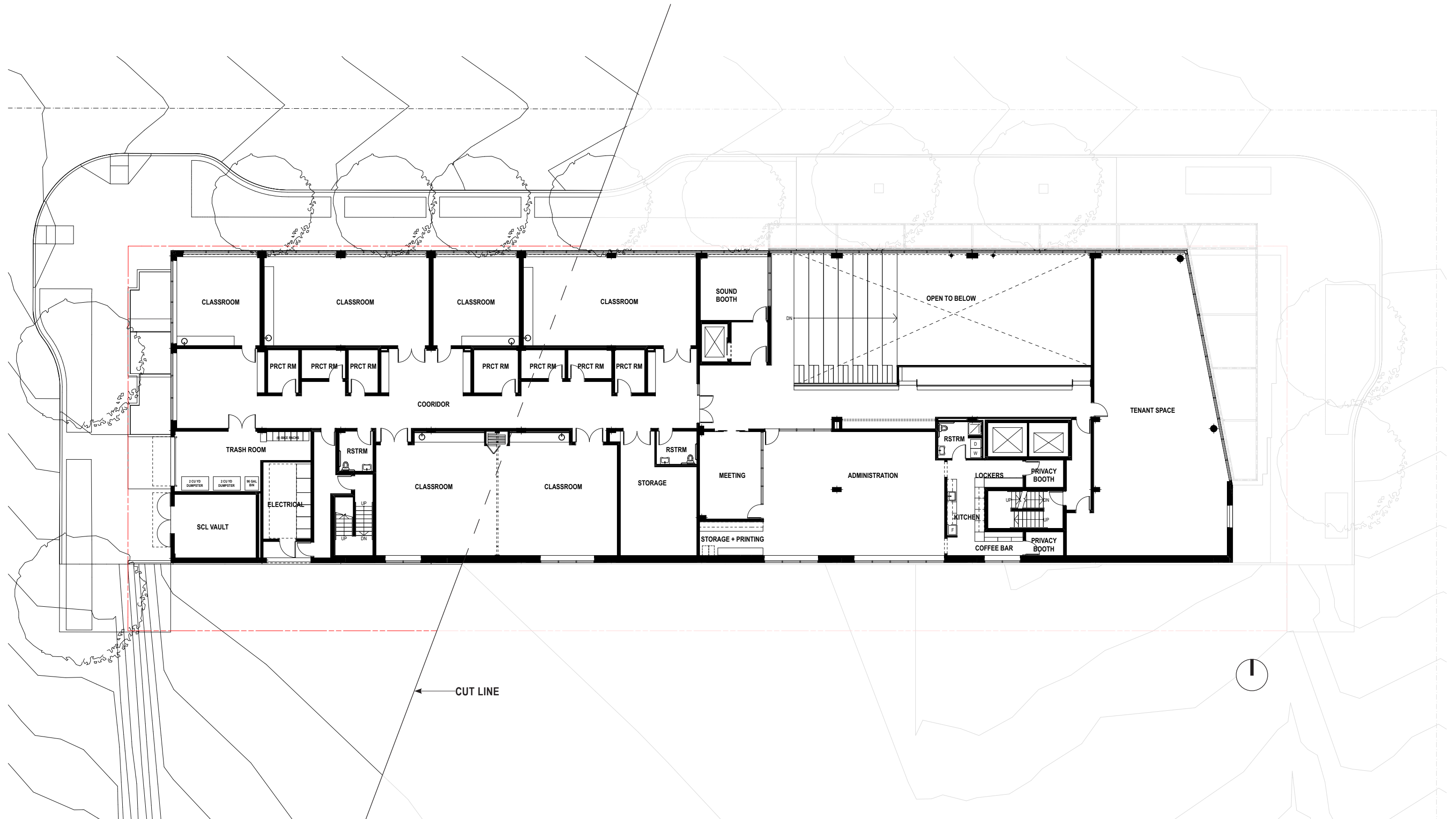
Institutional Trash Staging

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9.0 FLOOR PLANS: GROUND LEVEL



9.0 FLOOR PLANS: 2ND LEVEL

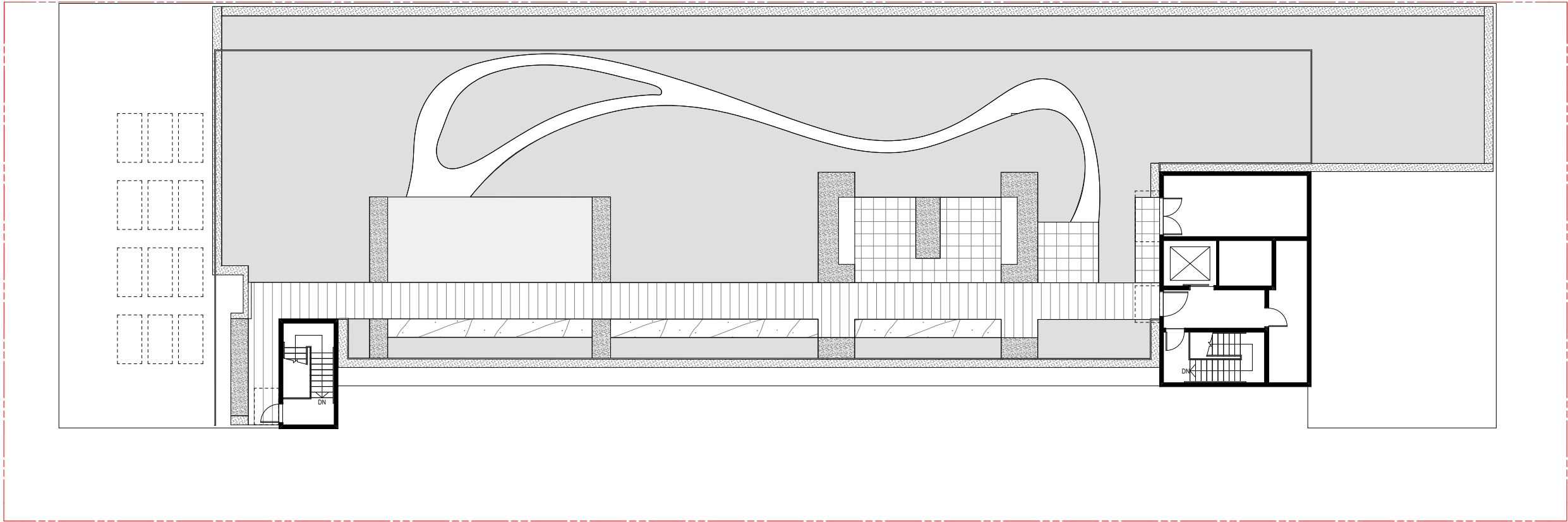


9.0 FLOOR PLANS: 3RD LEVEL





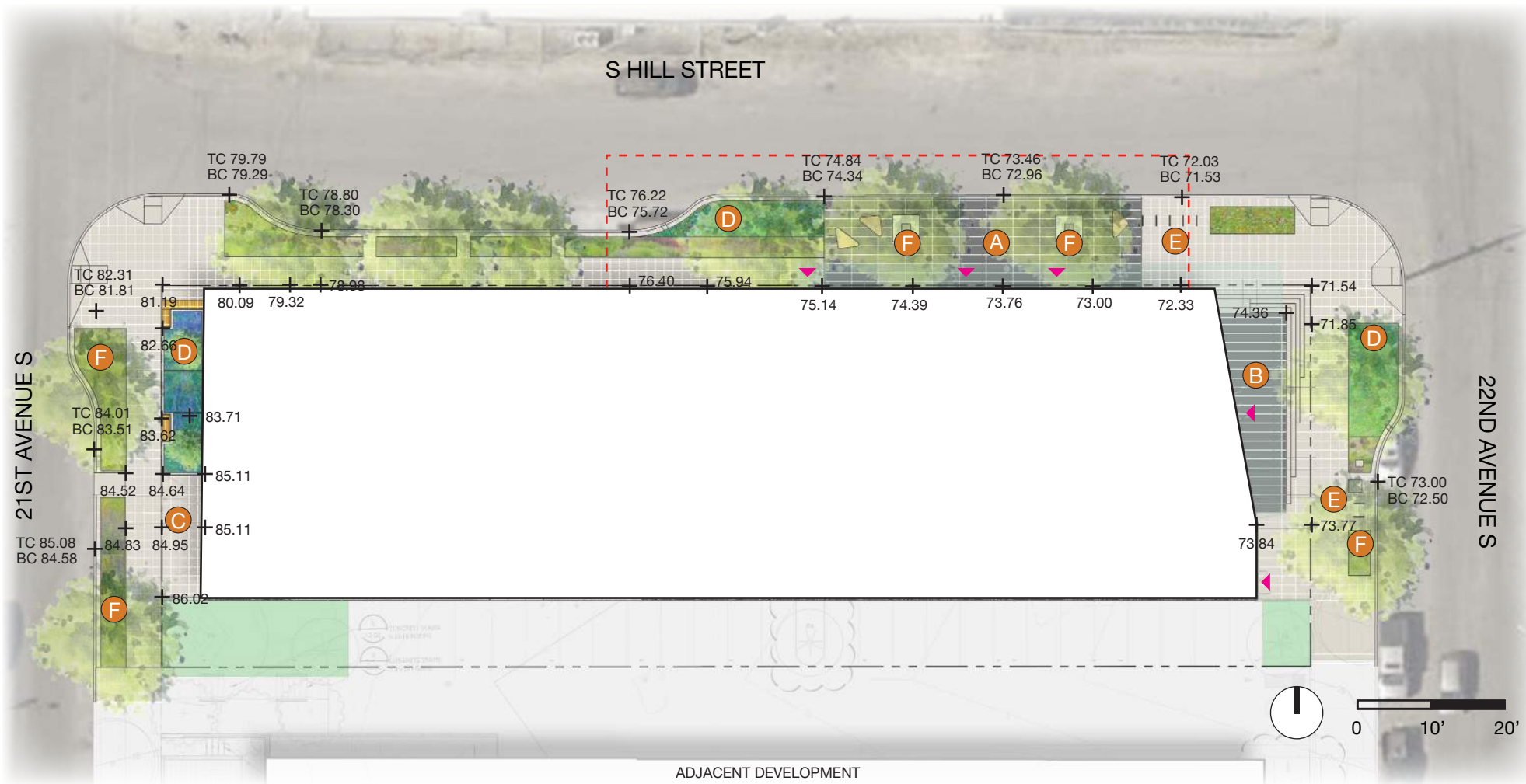
9.0 FLOOR PLANS: ROOF LEVEL










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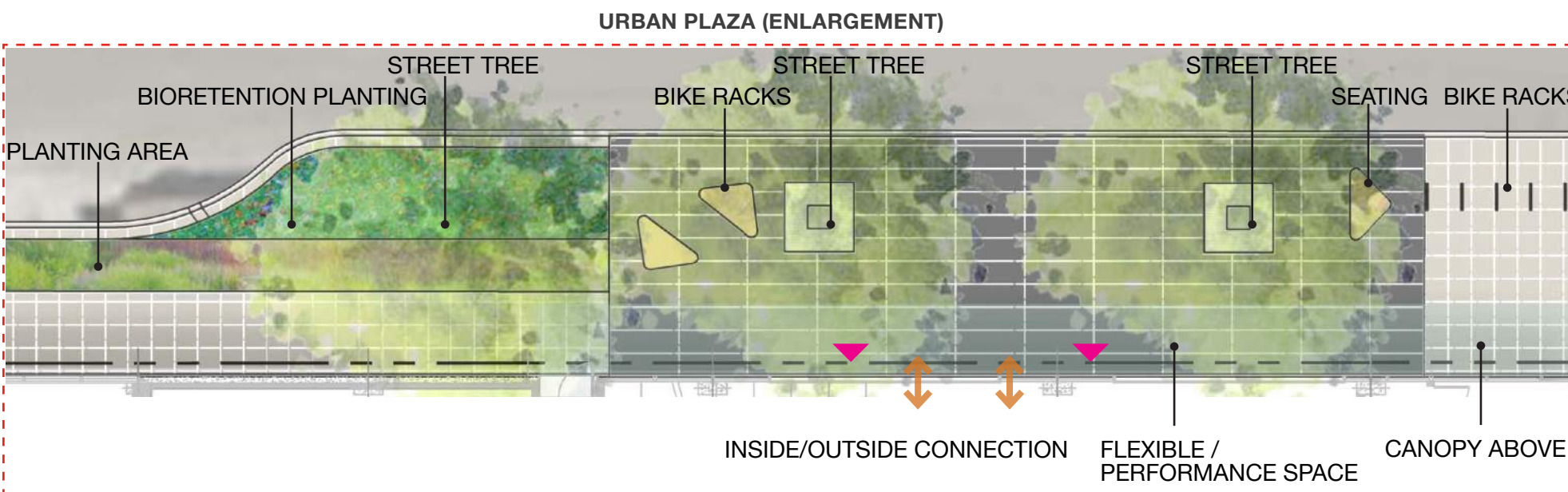


10.0 COMPOSITE LANDSCAPE / HARDSCAPE PLAN: LEVEL 1

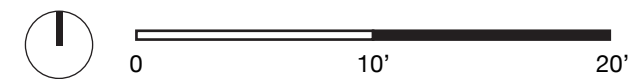


GROUND FLOOR PLAN NOTES

-  **URBAN PLAZA**
(FLEXIBLE GATHERING | SEATING | COMMUNITY ARTWORK)
-  **ENTRY COURT**
-  **21ST AVENUE LOADING / UNLOADING**
-  **BIORETENTION PLANTING AREA**
-  **BIKE RACK**
-  **STREET TREE**
-  **ENTRY**



URBAN PLAZA (ENLARGEMENT PLAN)



10.0 COMPOSITE LANDSCAPE / HARDSCAPE PRECEDENTS: LEVEL 1

HARDSCAPE



PAVING - 2'X2' CONCRETE



PAVING - CUSTOM PATTERN AND FINISH



PAVING METAL DETAIL INSPIRATION



PAVING METAL DETAIL INSPIRATION



SITE STAIR

FURNISHING



BENCH



BIKE RACKS

10.0 TREES: LEVEL 1



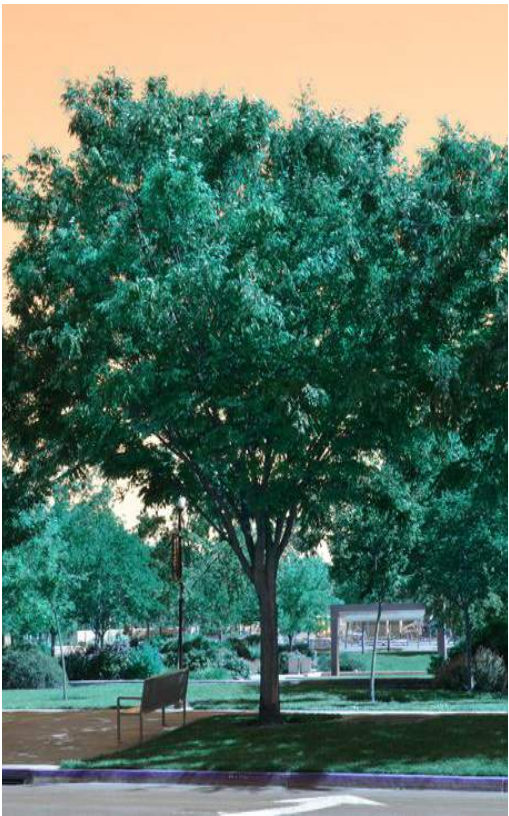
CARPINUS CAROLINIANA
(22ND AVE S)
AMERICAN HORNBEAM



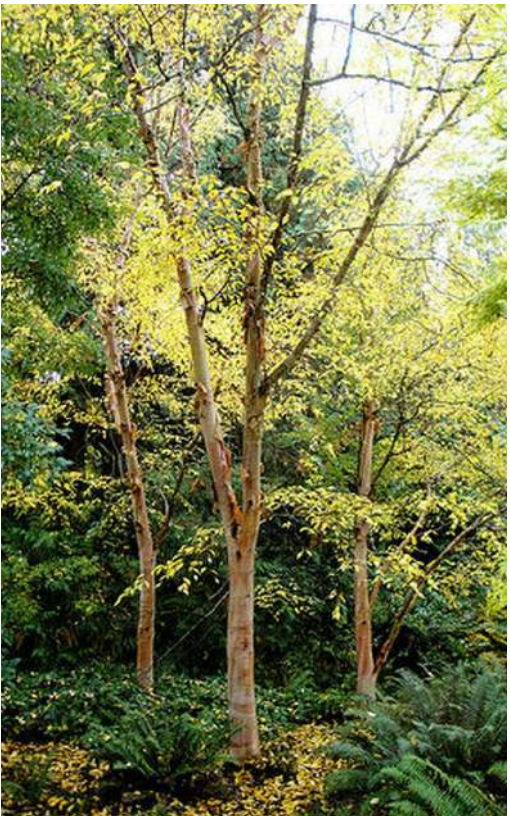
GYMNOCLADUS DIOICA 'ESPRESSO'
(S HILL ST)
KENTUCKY COFFEE TREE



NYSSA SYLVATICA
(S HILL ST)
SOUR GUM



ZELKOVA SERRATA 'WIRELESS'
(21ST AVE S)
WIRELESS ZELKOVA



BETULA ALBOSINENSIS 'SEPTENTRIONALIS'
(21ST AVE S / S HILL ST / 22ND AVE S)
CHINESE RED BIRCH

UNDERSTORY



ANEMONE X HYBRIDA 'SEPTEMBER CHARM'



CAREX DIVULSA



HEBE X WESTERN HILLS



CAMASSIA QUAMASH



IRIS DOUGLASIANA 'CANYON SNOW'

BIORETENTION



JUNCUS EFFUSUS



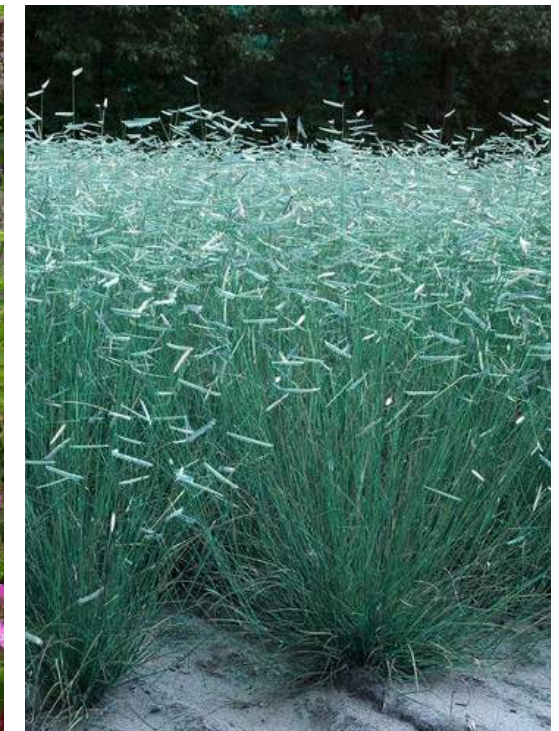
ASCLEPIAS INCARNATA



CAREX STIPATA

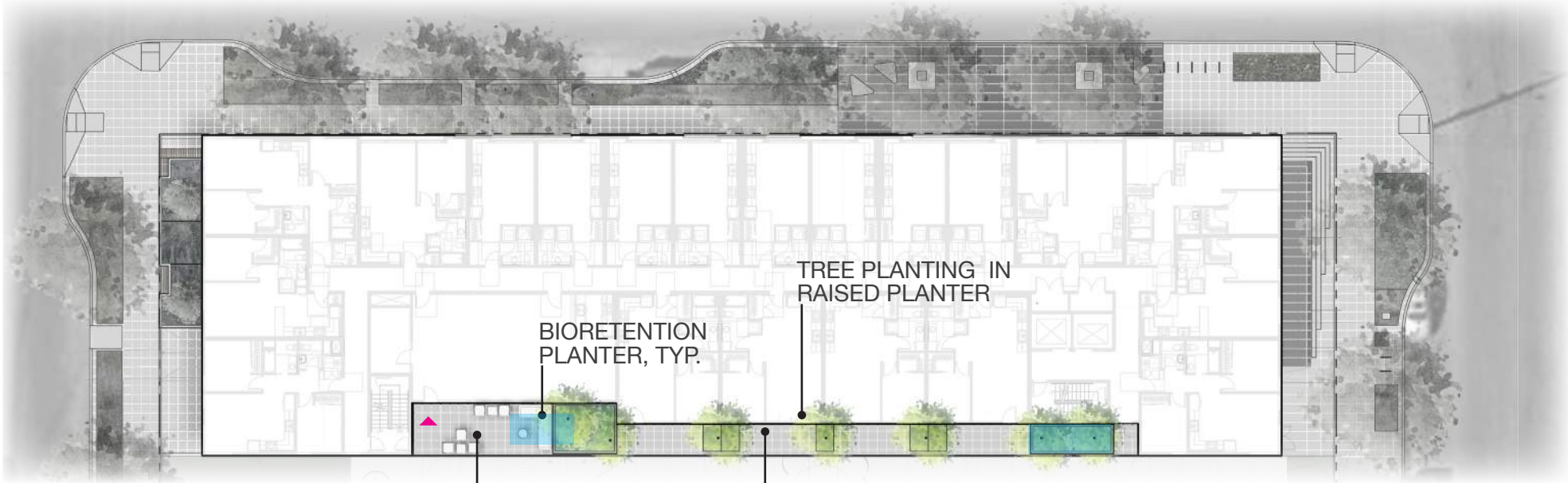


SIDALCEA HENDERSONII



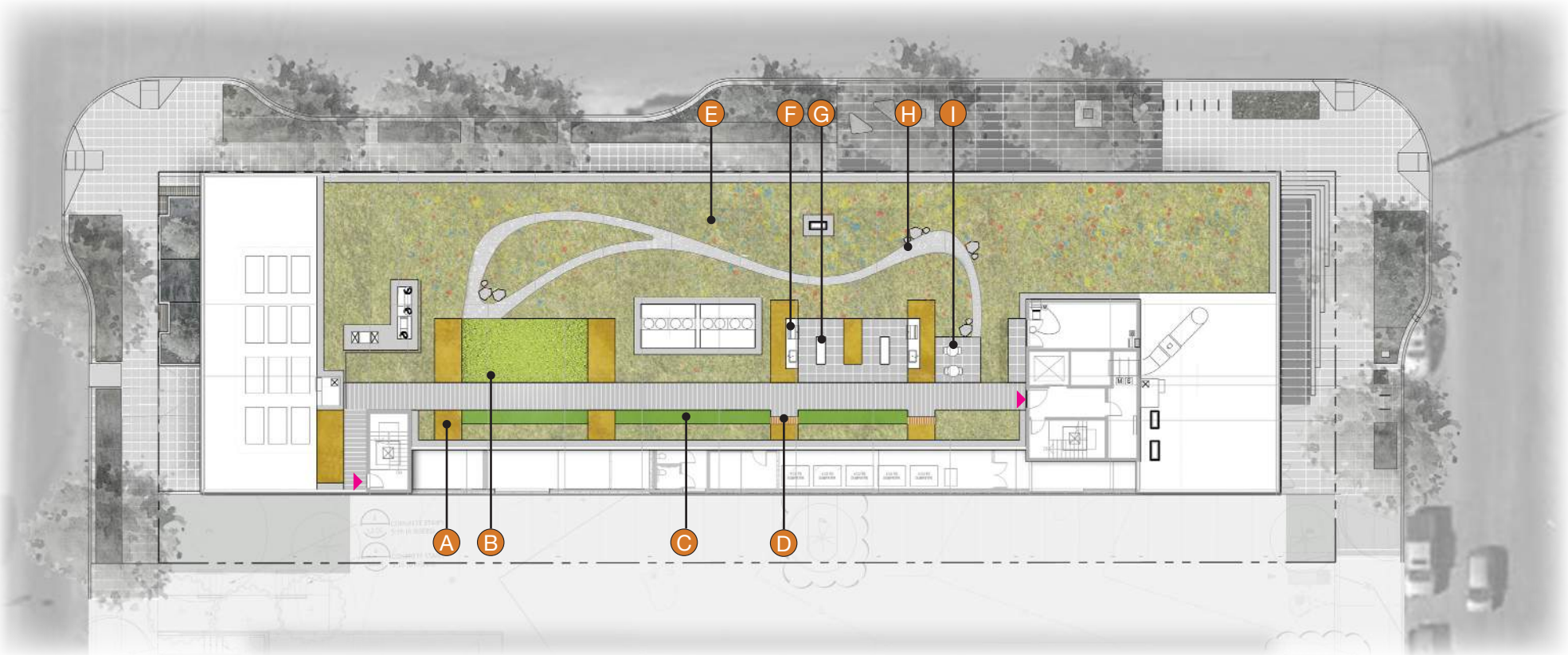
BOUTELOUA GRACILIS

10.0 COMPOSITE LANDSCAPE / HARDSCAPE PLAN: LEVEL 3 & ROOF



LEVEL 3 NOTES

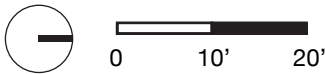
▲ ENTRY



ROOFTOP PLAN NOTES

- A RAISED PLANTERS
- B TURF
- C COMMUNITY GRADEN PLANTERS
- D BENCH
- E GREEN ROOF
- F BARBECUE
- G OUTDOOR DINING - COMMUNAL TABLE
- H LANDSCAPE PATH
- I OUTDOOR DINING - CAFE TABLE

▲ ENTRY



10.0 COMPOSITE LANDSCAPE / HARDSCAPE PRECEDENTS: LEVEL 3 & ROOF

LEVEL 3



PEDESTAL PAVING



MOVEABLE FURNITURE



MOVEABLE FURNITURE



RAISED PLANTERS

ROOF LEVEL



PEDESTAL PAVING



OUTDOOR BBQS



RAISED PLANTERS



SYNTHETIC TURF



COMMUNAL SEATING

10.0 TREES & PLANTINGS: LEVEL 3 & ROOF

LEVEL 3: TREE / SHRUB



HAMAMELIS VIRGINIANA
(LEVEL 3)
COMMON WITCH HAZEL



ACER CIRCINATUM
(LEVEL 3)
VINE MAPLE

LEVEL 3: UNDERSTORY



ALLIUM GIGANTEUM



PLURIFLORUM 'VARIEGATUM'

LEVEL 3: BIORETENTION



GERANIUM MACRORRHIZUM



POLYSTICHUM MUNITUM

ROOF LEVEL



SEDUM MIX



LAVANDULA SPP.



LIATRIS SPICATA

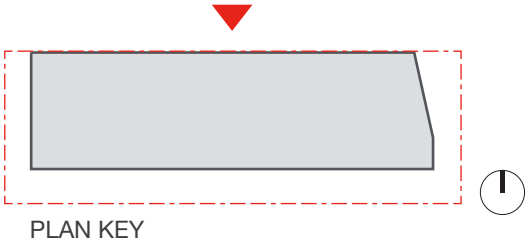
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11.0 ELEVATIONS

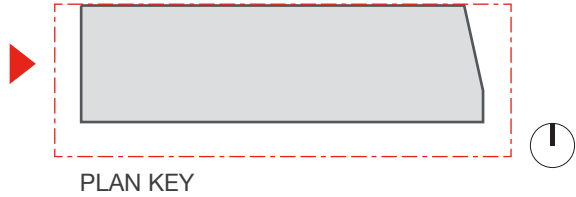
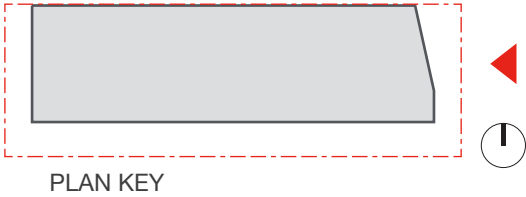


*PLACEHOLDER ARTWORK, ART
WILL BE SELECTED THROUGH
AN ART RFQ PROCESS. REFER
TO PAGES 64-69





11.0 ELEVATIONS

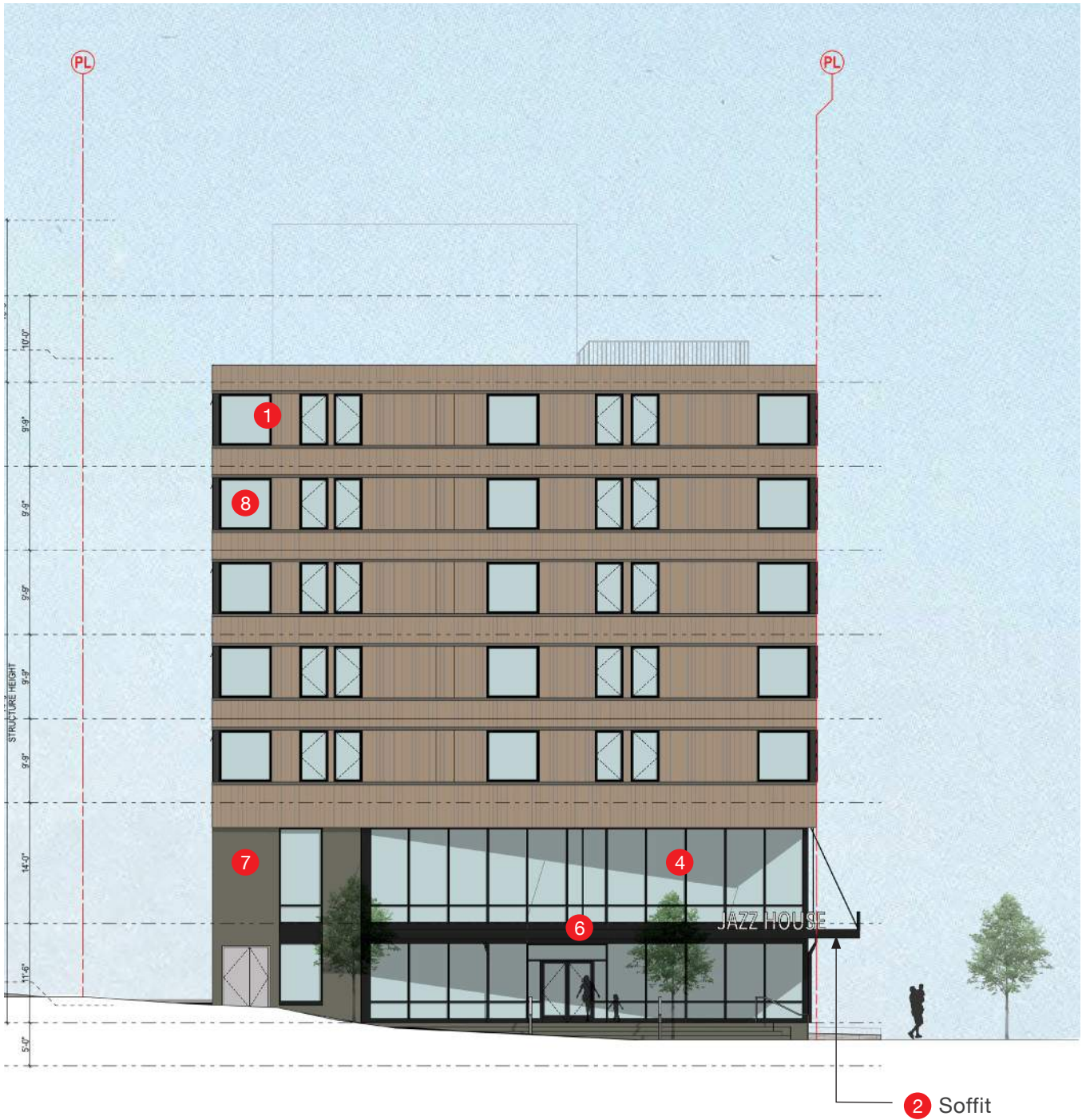


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12.0 MATERIAL AND COLOR PALETTE

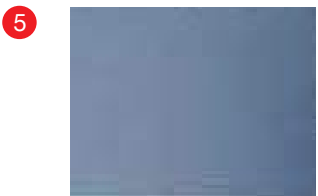




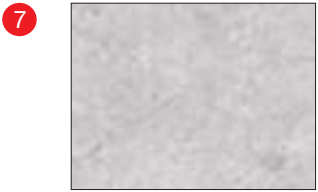
Black Vinyl Windows



Black Painted Hardie Panel



Metal Wall Panel -
Sungold
AEP Flex Series



Concrete

* SEE MATERIAL
BOARD FOR ACTUAL
MATERIALS AND
COLORS



Warm Wood Canopy
Ceiling



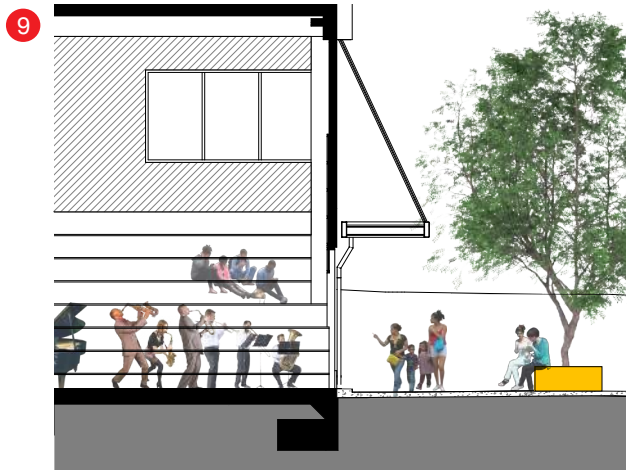
Black Anodized
Aluminum Storefront



Blackened Metal



Low-e Vision Glass



Garage Doors open from Performance to Plaza
Finish to match the Aluminum Storefront

13.0 RENDERINGS





14.0 EXTERIOR LIGHTING PLAN



SITE LEVEL

E1 Surface Mounted Landscape Uplights



E2 Recessed Downlights at Soffit



E3 Wall Pack Light



E4 Flexible Rope Light at Ledge of Courtyard Stage and Deck



E5 Recessed Step Lights



E6 Surface Mount Channel with LED Tape Light at Benches



E7 Overhead Weather Protection Downlight



E8 BBQ Light Fixture



E9 Bollard Light



E10 Mounted wall sconce



3RD LEVEL TERRACE + ROOF LEVEL

15.0 SIGNAGE CONCEPT PLAN



1 CANOPY-MOUNTED SIGN



2 BUSINESS BLADE SIGN

Maximum of 1 sign per facade per business



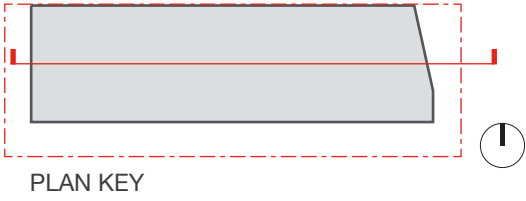
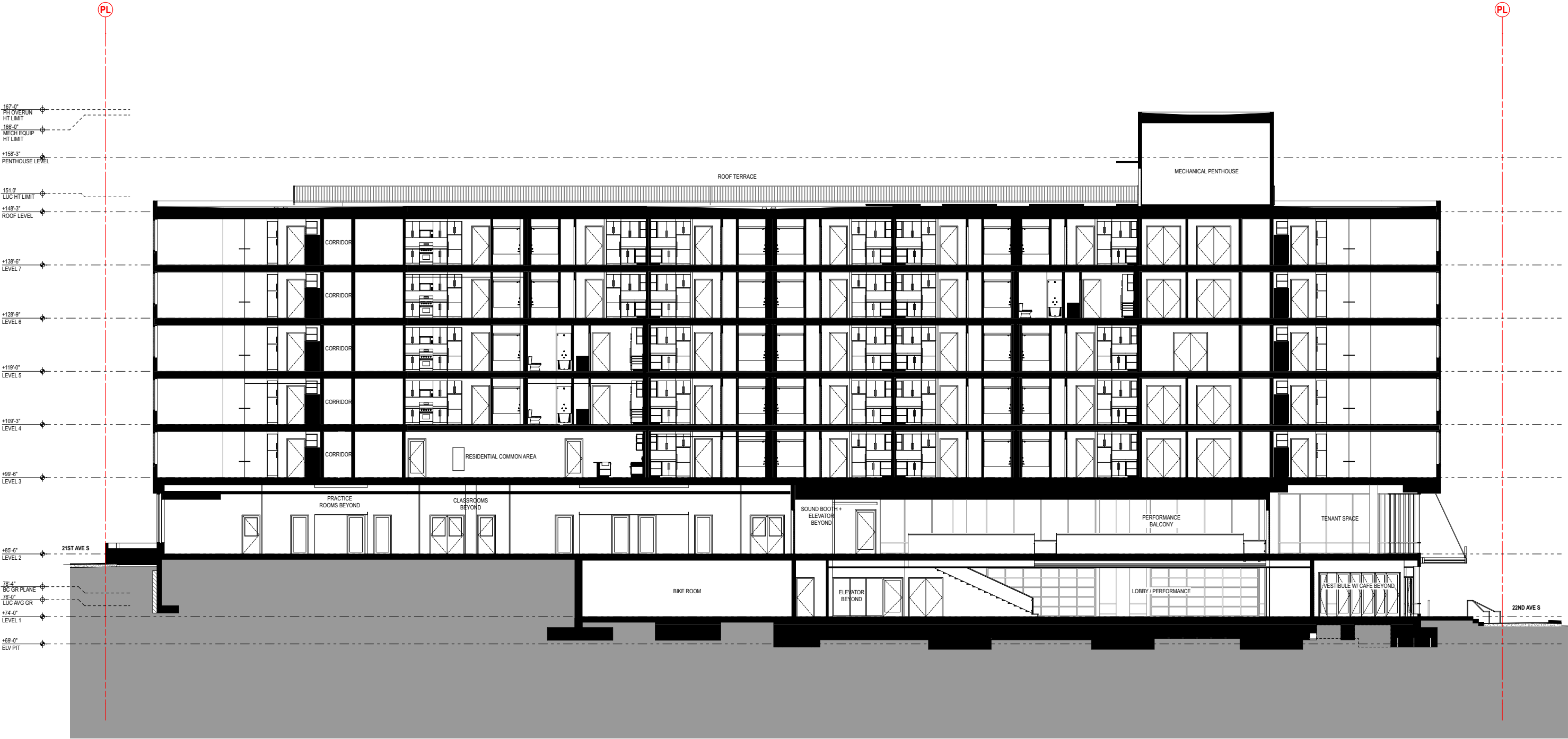


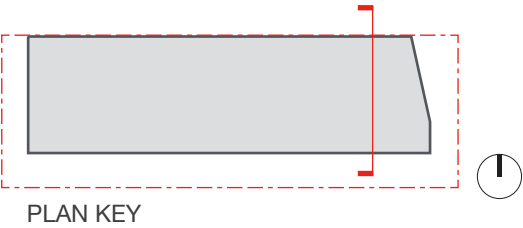
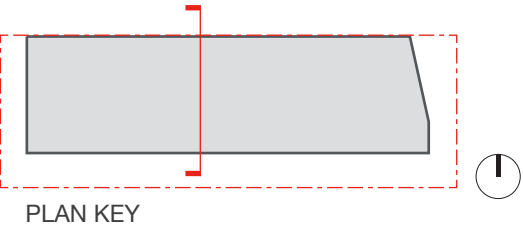
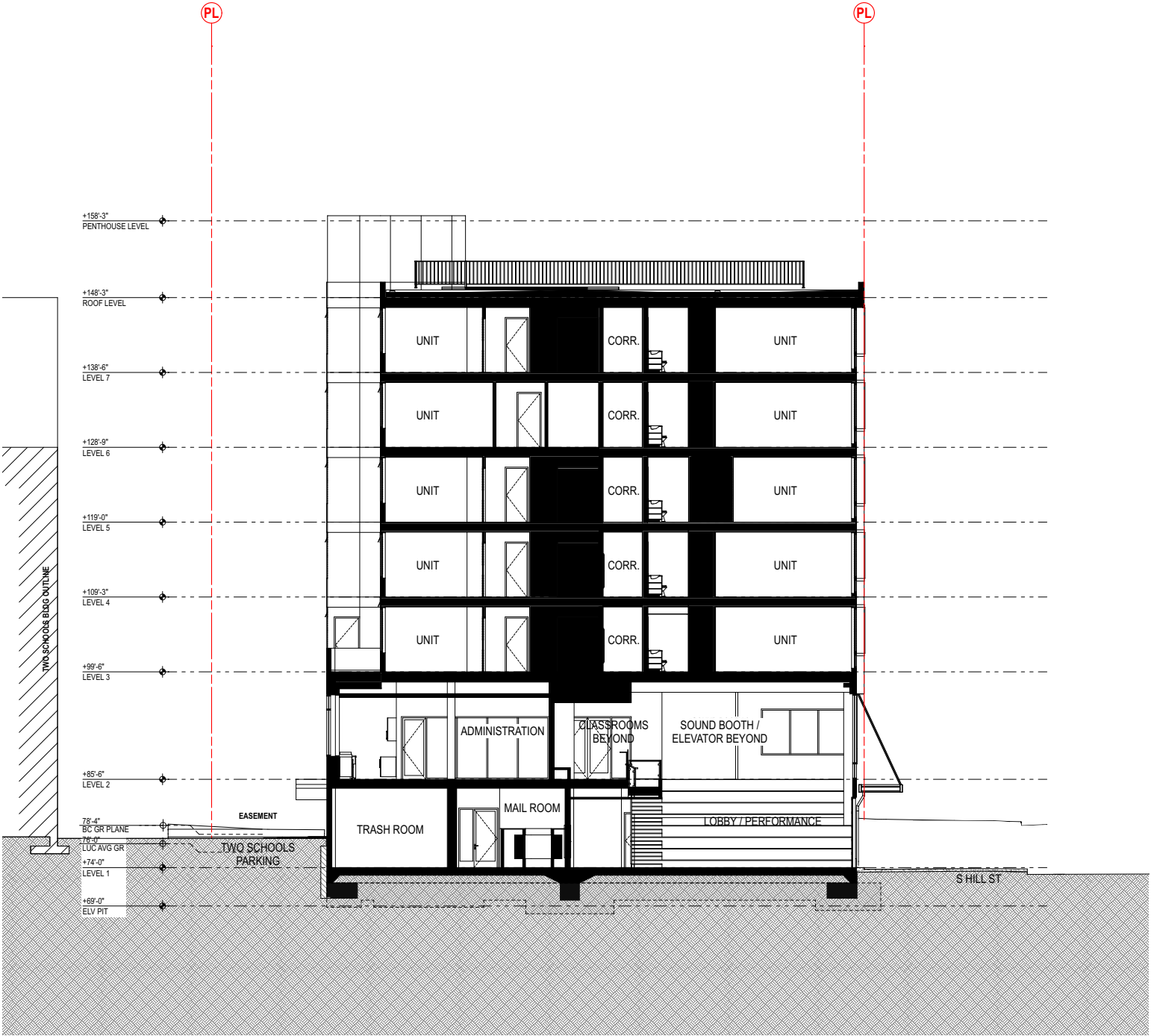
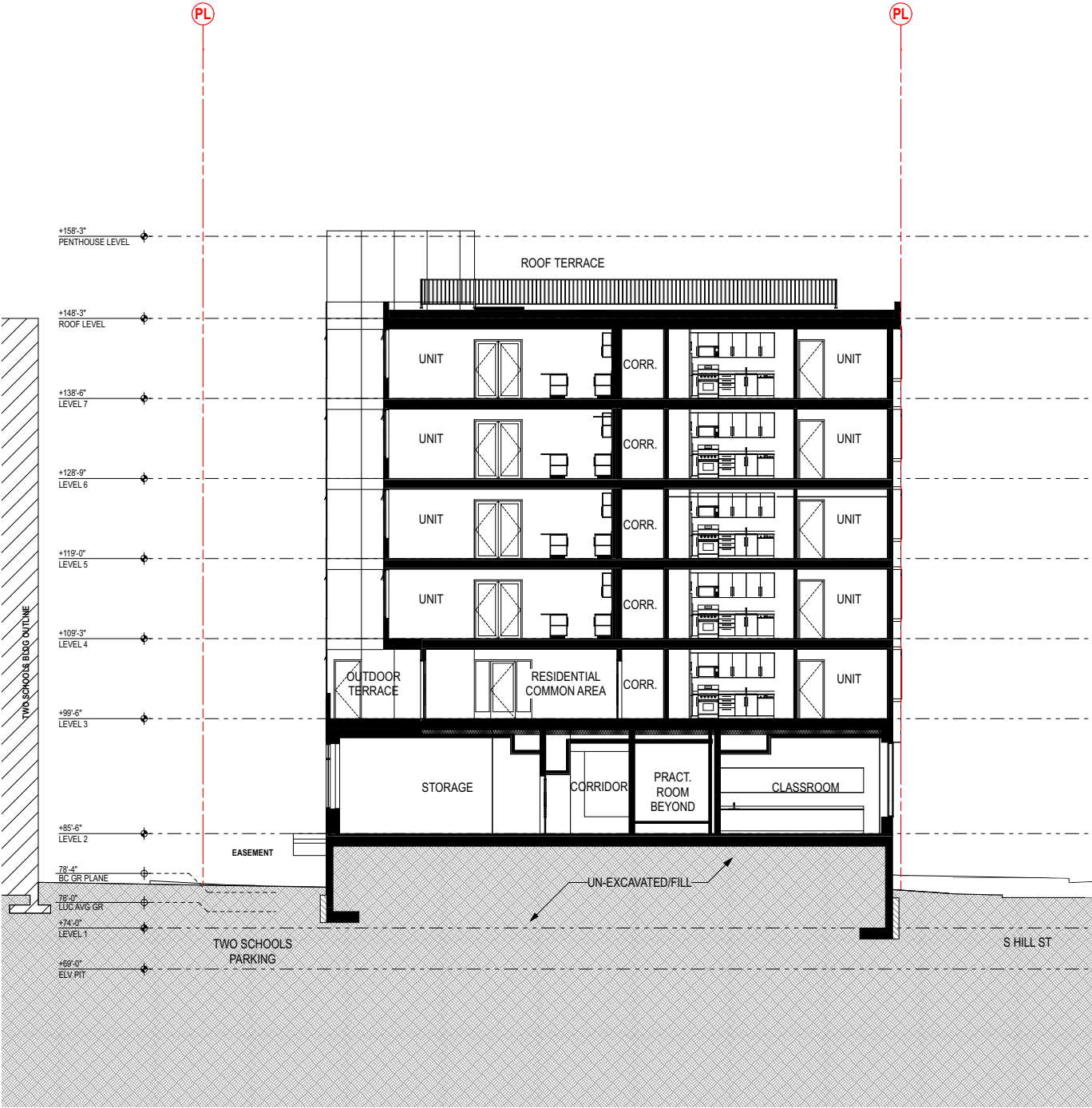
Business Blade Sign
72-sf max. per sign

Canopy-Mounted Sign
72-sf max. per sign

Business Blade Sign
72-sf max. per sign

16.0 BUILDING SECTIONS





17.0 DEPARTURES

DESIGN DEPARTURE #3

Street Level Development Standards (SMC 23.47A.008.B.4)

Development Standard

Non-residential uses at street level shall have a minimum floor-to-floor height of 13’.

Departure Request

Allow the shared residential and JazzEd entrance lobby and cafe space at street-level to have a height of 11’-6” floor-to-floor.

Rationale

Due to the grade rising to the west, our level 2 floor level is on average 3’ above grade along the west facade. This level is 14’ tall, and is for all intents and purposes the street level of the west facade, although it is higher than grade at some locations.

The L1 floor elevation has been calibrated to allow for the performance space to open directly on to the right-of-way off S Hill St. If the L1 floor elevation were to lower, it would preclude the performance space to right-of-way connection. Similarly, we are constrained against raising the L2 elevation by functional height requirements of the classrooms and the overall building height as allowed by both the Land Use Code and Fire Department Access.

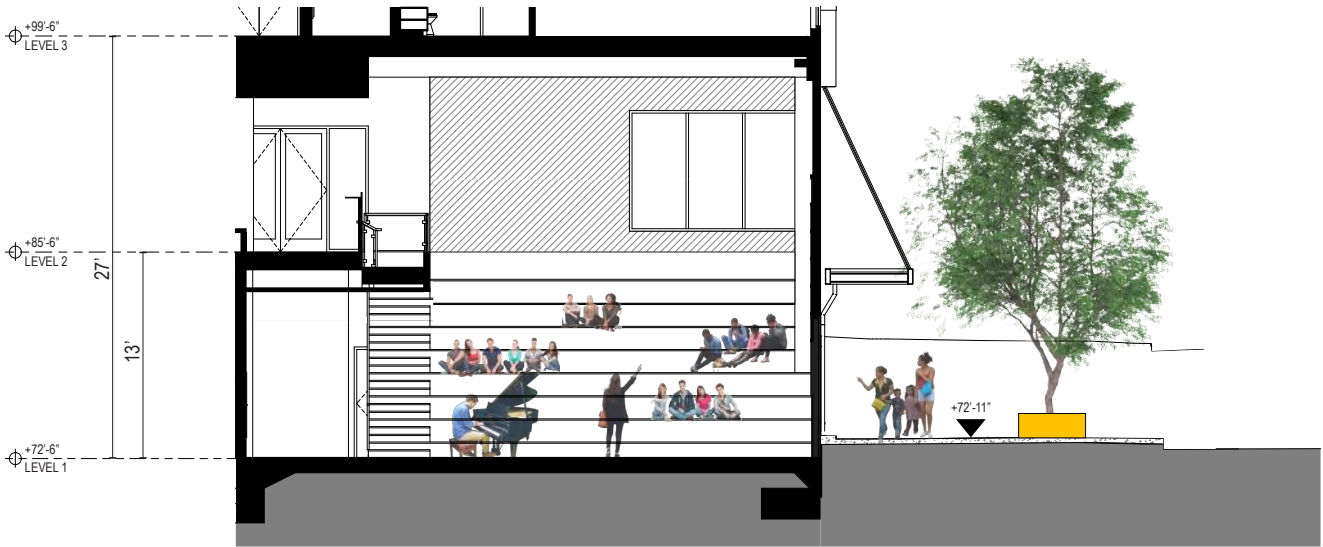
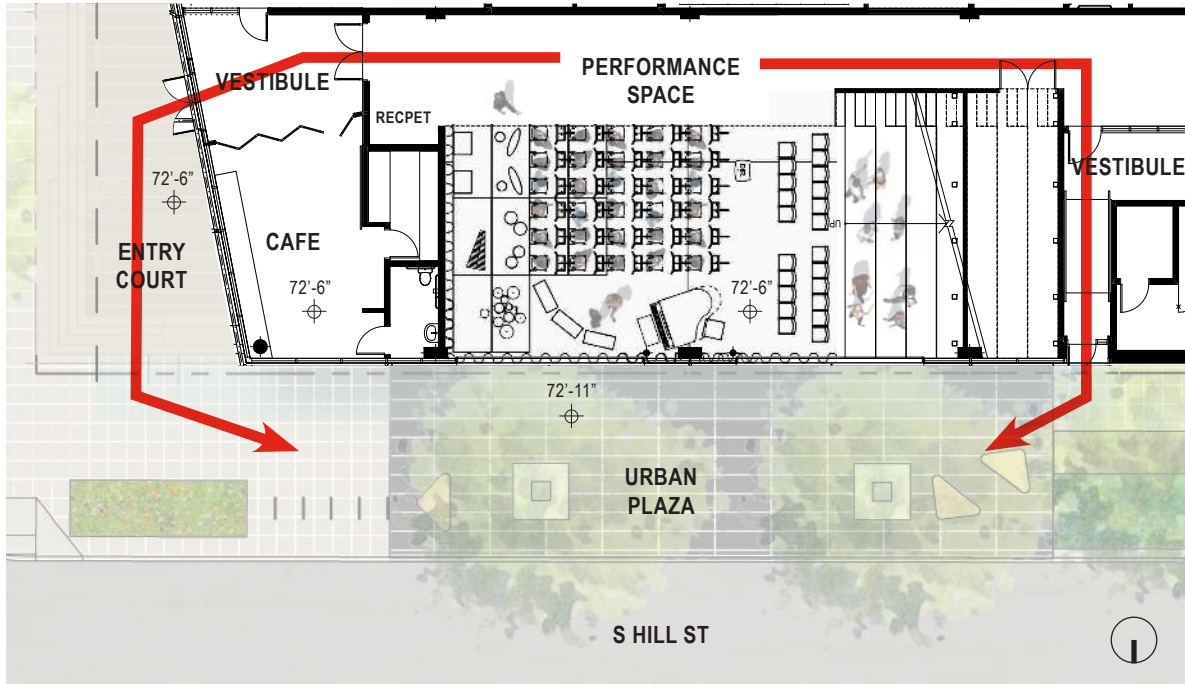
Activating the street-level facade and celebrating the performance space at S Hill St provides an exciting interaction between the pedestrians and the building program.

Design Guidelines

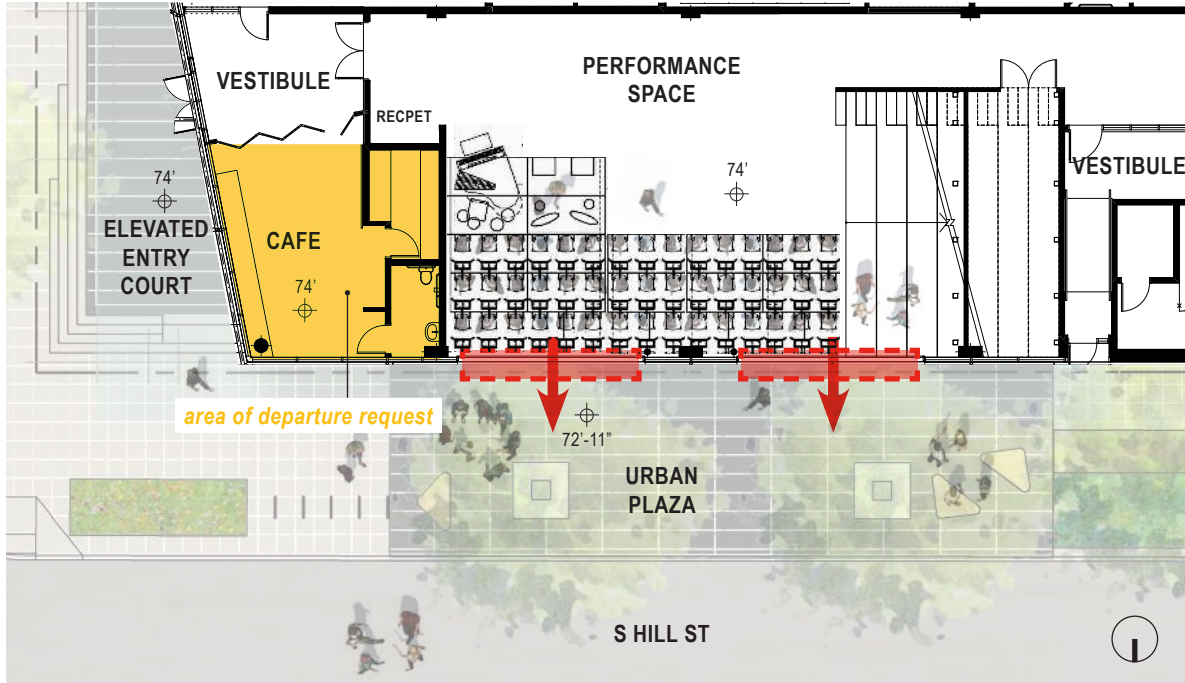
- PL1-I/II Publicly Accessible Open Space/ Connection Back to the Community
- CS2-iv Add Pedestrian Streets/ DC1-B1 Pedestrian Activity
- CS2-B2 Strong Connection to the Street



CONTINUOUS STOREFRONT
L1 Sunken Below Grade



GARAGE DOORS
L1 Elevated 1'-6"



17.0 DEPARTURES

DESIGN DEPARTURE #1

Street Level Development Standards (SMC 23.47A.008.A.2.B)

Development Standard

Blank segments of street-facing facade between 2’ and 8’ above the sidewalk may not exceed 20’ in width.

Departure Request

Allow blank segments of the north facade between 2’ and 8’ above the sidewalk to exceed the maximum length of 20’ by 112’-2” and allow blank segments of the west facade between 2’ and 8’ above the sidewalk to exceed the maximum length of 20’ by 21’-6”.

DESIGN DEPARTURE #2

Street Level Development Standards (SMC 23.47A.008.A.2.C)

Development Standard

The total of all blank facade segments may not exceed 40% of the width of the facade of the structure along the street.

Departure Request

Allow blank segments to exceed 40% of the width of the L1 facade by an additional 16% on the north facade and 34% on the west facade.

DESIGN DEPARTURE #4

Street Level Development Standards (SMC 23.47A.008.B.2.A)

Development Standard

Non-residential uses at street level shall have a minimum 60% transparency at street level between 2’ and 8’ above the sidewalk.

Departure Request

Allow non-transparent facade at the north facade between 2’ and 8’ above the sidewalk to be 16% less than the 60% minimum and at the west facade between 2’ and 8’ above the sidewalk to be 43% less than the 60% minimum.

Rationale

To activate the street level, street facing blank wall, we are incorporating artwork into the architecture of the project. We believe this is within the spirit of the Land Use Code, providing the kind of visual interest and activity at street level that transparency provides. We will be releasing a public request for qualifications to engage with a local, community artist to collaborate with the owners and design team. The artwork will be integrated into the blank facade activating the streetscape with visual interest.

When evaluating the entire facade, we are providing a significant amount of transparency and activity near the street-level. Combined with the expected activity of both Seattle JazzEd and the residents we expect to create a safe environment with plenty of eyes on the street.

The classrooms, while located 8’ above the sidewalk at the most extreme, will still keep eyes on the street and have operable windows. Not only is there a visual connection but an audible one too. The design is thoughtfully considering pedestrian safety while balancing it with the acoustical, ventilation, and natural light needs of the music classrooms.

Broadly speaking, the project has prioritized the primary orientation towards Rainier Ave S. Following that directive the internal programs are organize to support that orientation and mitigate the site topography.

As a function of the site topography rising to the west, the design is limited in its ability to provide occupied area with transparency - particularly at the western half of the site.

Based on careful planning and analysis the entrance lobby, residential lobby, and performance space have been located on the east embracing the strong, active connection to Rainier Ave S. The remainder of the JazzEd program occupies the rest of Levels 1 and 2.

In lieu of providing partially subterranean classrooms the design opts to elevate the classrooms to Level 2. This provides access to light, view, and air - all significant benefits to the students. However, this design move results in a concrete foundation wall along a portion of the sidewalk.

Design Guidelines

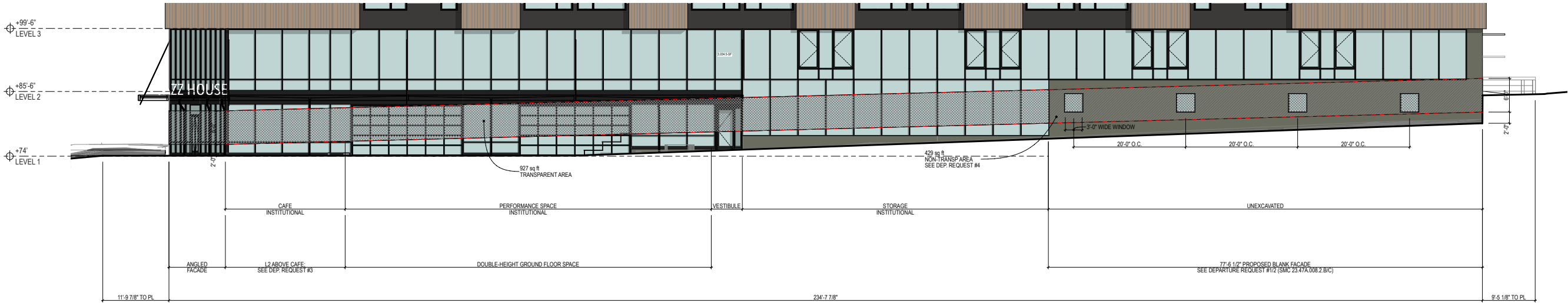
- PL1-I/II Publicly Accessible Open Space/ Connection Back to the Community
- CS2-iv Add Pedestrian Streets/ DC1-B1 Pedestrian Activity
- CS2-B2 Strong Connection to the Street

NORTH ELEVATION
TRANSPARENCY DIAGRAMS

PROPOSED: ART WALL (46% Transparency)



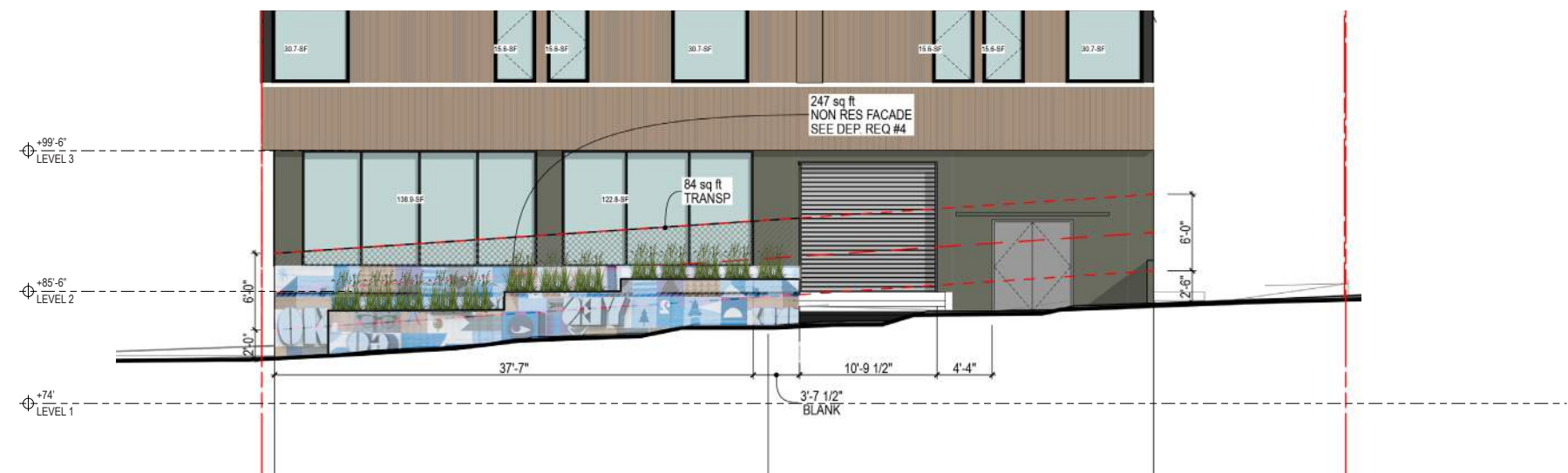
EXPLORED: ADDITIONAL GLAZING (68% Transparency)



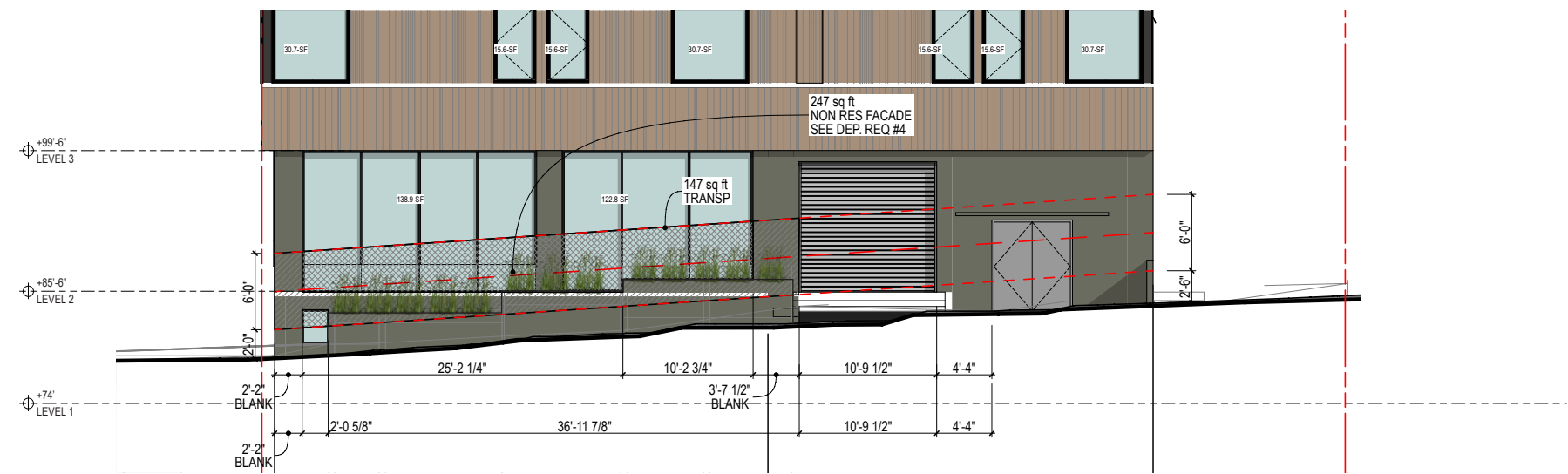
17.0 DEPARTURES

WEST ELEVATION
TRANSPARENCY DIAGRAMS

PROPOSED: ART WALL (35% Transparency)



EXPLORED: ADDITIONAL GLAZING (60% Transparency)



ART WALL RFQ

Jazz House Request for Qualifications

About the Project

Opportunity

Jazz House is a new multi-story building in Seattle’s Rainier Valley, which, when completed in 2022, will be the result of a unique and fertile partnership. Seattle JazzED and Community Roots Housing have joined forces to develop a community-forward building establishing a home for a non-profit jazz school and 100+ units of affordable, family-focused housing. As co-owners of the building, JazzED will relocate their decade-old music program for students pre-K through 12th and Community Roots Housing, a long-time Seattle affordable housing non-profit, will own and operate 100+ apartments.

Located on the original site of Imperial Lanes Bowling, the property enjoys rich history as a community gathering place. JazzED and CRH strive to celebrate and build upon this legacy while deepening and reinforcing their own organization’s commitment to social and racial equity. JazzHouse aims to be a resource for the Rainier Valley, Seattle and the region for decades to come.

Seattle JazzED & CRH are seeking an artist interested in designing and creating work(s) of public art in partnership with the JazzHouse team and in collaboration with Urban Artworks, a vibrant Seattle arts non-profit specializing in engaging youth and communities in the creation of public art. (www.urbanartworks.org). The “canvas” for the piece is a 130’ long and 12’ tall triangle of the concrete building foundation along South Hill Street and 21st Ave. South.

The artist selected for this project will work directly with the JazzED and CRH building development teams, their architects from Weinstein A+U / Mahlum and directly with the program coordinators from Urban Artworks, in the design and execution of the final piece. Budgeting for the project has been established at \$80,000 which should cover the cost of creation, fabrication and installation.

The final artwork should be visually distinctive, compelling and joyful. It should soundly resonate a welcoming and inclusive message for the neighboring community and further enhance and fortify the roots of the place, the building and its owners.

We look forward to seeing your work and considering artists and artist teams of all backgrounds and experience levels for this project.

Jazz House Request for Qualifications

Project Background

JazzHouse, 2101 22nd Avenue South, represents many years of collaboration and partnership between Seattle JazzED and Community Roots Housing. The allowable mixed-use zoning of the site provided an opportunity for each organization to meet its own unique mission of community building in a way neither could have quite accomplished on its own.

Now in its 10th year, Seattle JazzED is a nonprofit focused on dismantling systemic inequality in music education. Our teaching artists use jazz – a quintessential Black American art form - as the means to cultivate excellence in musical performance while nurturing life skills such as focus, commitment, teamwork and confidence. Having grown from 56 students in its first year to over 1,300 students today JazzED has outgrown its physical space and is only just beginning to realize its fullest potential as an arts organization. With a new and permanent home, JazzED will fortify its commitment to the heritage, legacy and belonging that the art of jazz offers, empowering ALL students with exceptional music education.

Community Roots Housing (CRH) was founded in 1976 as an outgrowth of community action, and is a public corporation that is dedicated to building vibrant and engaged communities. CRH owns and manages 47 buildings in Capitol Hill and nine other Seattle neighborhoods, providing safe and affordable housing to low- and moderate-income individuals and families. Like JazzED, CRH has a fundamental commitment to creating equitable and sustainable communities.

Important Themes

There are several themes which have provided guidance throughout the course of designing JazzHouse. It is our belief that they may hold some key to inspiration for the creation of the public art component of the project.

Heritage is about the materials and methods passed down within a community over time. Jazz heritage includes unique instruments, tunes, tempos and musical meaning rooted in ways of seeing the world, telling the story and celebrating and respecting the craft at its source. Through tangible & tactile engagement with instruments and other musicians, jazz connects us to our past and to those we are yet to know. Quality and integrity are the heritage of all community stewards who carry the mantle and belief that every person deserves the opportunity to live safely, comfortably and affordably in their community. To be recognized and valued. Heritage is where the materials of building mix with the culture and history of a community.

Legacy is an expression of an organization’s history. It also brings responsibility to bear for work in the present. It is the foundation upon which we build, evolve, reflect and grow that which we will be remembered for and that which we will pay forward. The CRH of today, inspired by its legacy of community activism and commitment to equality and justice in housing for marginalized people, continues to take responsibility via the development and stewardship of affordable housing in our city. JazzED holds dear its legacy founded in the belief that music, particularly jazz, is the one true and great Black American artform and the descendants deserve to inherit the legacy with all of its richness. Removing barriers to access for excellent music education is one motivation inspired by the legacy.

Jazz House Request for Qualifications

Belonging compels these organizations who are both fueled by a radical sense of hospitality. JazzED was founded to remove barriers that prevent kids from accessing quality music education. Community Roots Housing is motivated by the belief that everyone has a right to a safe, affordable, quality home. Jazz House will be a success if our building welcomes everyone to feel at home and free to be themselves while connecting with others. A place where sense of belonging is the operative phrase.

Site History

The project site is in Seattle’s Rainier Valley neighborhood. Defined by a glacial valley that runs southeast from central Seattle, the main thoroughfare (currently Rainier Avenue South) has been a busy route in and out of the city since Seattle’s earliest settlement, and once hosted one of the city’s main trolley lines. As a “south-end” neighborhood, Rainier Valley was not covered by the racially exclusionary covenants that were common as many areas of Seattle grew in the 20th century. This allowed numerous immigrant groups to settle in the area. In the early decades of the 1900s it was known as “Garlic Gulch” for its many Italian farms and businesses. During the middle of the century, Seattle’s Black community, historically focused on the nearby Central District, grew into the Rainier Valley neighborhood. The nearby neighborhood of Beacon Hill (immediately east of the project site) also hosted thriving Japanese-American, Chinese-American, Phillipino-American and Latino-American communities. Recent decades have brought new immigrant groups from Vietnam and East Africa. In the 21st century, Beacon Hill and the Rainier Valley have both been marked by Seattle’s skyrocketing property values and pervasive gentrification.

The project site was formerly the location of the Imperial Lanes bowling alley, which opened in 1959 and occupied the whole block. It was a popular gathering place for generations of neighborhood residents, offering affordable entertainment for all ages. Originally operated by Fred Takagi, it was an important part of Beacon Hill and Rainier Valley’s Japanese-American community in the postwar area. Taken over by AMC in 1992, it continued to serve the diverse communities in the neighborhood until it closed in 2015. Virtually everyone who grew up in the neighborhood or attended nearby Franklin High School has fond memories of time spent at Imperial Lanes.

Technical Information

The location for the artwork is a cast-in-place concrete wall. It is immediately adjacent to the project’s sidewalk on S Hill Street and adjacent to and above a bioretention planter on 21st Ave S. There is approximately 1 foot of depth between the face of the wall and the property line, and all elements of the final artwork must remain within the 1-foot depth of property owned by Jazz House. Durability and maintenance will be a consideration for works in this very public location. The attached appendices provide more information about the site.

If proposed prior to construction start, embeds and modifications to the concrete surface are possible, as is the provision of electrical power. Cost premiums for this work from the project contractor would be charged to the artwork’s project budget.

Further information

- Seattle JazzED: <https://www.seattlejazzed.org/>

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Jazz House Request for Qualifications

- Community Roots Housing: <https://communityrootshousing.org/>
- “Farewell to Imperial Lanes,” Northwest Asian Weekly (<http://nwasianweekly.com/2015/05/blog-farewell-to-imperial-lanes-finishing-with-a-strike/>)

Timeline

- RFQ distributed: End of July, 2021
- Submissions due: 9/17/21
- Shortlist announced 10/1/21
- Zoom meetings with shortlisted artists: 1st 2 weeks of October, 2021
- Final selection announced: 10/22/21
- Design contract issued: 11/5/21
(Jazz House wishes to use the Americans for the Arts model contract as the basis of the owner-artist agreement)
- Conceptual development: November & December, 2021
- Presentation of conceptual proposal: January, 2022
- Design development: January-February, 2022
- Final proposal presentation: Early March, 2022
- Building construction starts: 1st Quarter 2022
- Approx. installation window: February – April 2023
- Building completion: 2nd Quarter 2023

Eligibility & Selection

Eligibility

This project is open to professional artists and artist-led teams based anywhere in the United States.

Artists are ineligible to apply if they or their family members are current or former employees of Seattle JazzED, Community Roots Housing, or any of the firms engaged as project design consultants. The Jazz House partnership reserves the right to decline to review any application that may cause the fairness of the selection process to be jeopardized.

Selection Criteria

The selection committee will review submissions against the following criteria:

- Artist’s proposed concept and previously completed artworks reflect Jazz House’s goal of creating a welcoming, inclusive and culturally diverse community resource
- Artist’s proposed concept and previously completed artworks engage meaningfully with their sites’ histories and cultural legacies
- Overall strength of work presented
- Artist’s past experience collaborating with clients and communities
- Demonstrated ability successfully to complete projects of a similar scope and scale

Selection process

A five-person committee will review all applications and select a short list of no more than 3 applicants. Short-listed artists will be interviewed over Zoom, and a selection made. The same committee will represent Jazz House through the development, review and final acceptance of the commissioned work.

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ART WALL RFQ

Jazz House Request for Qualifications

The committee consists of representatives of Seattle JazzED, Community Roots Housing and the local community. One member will be a working public artist or curator.

Artwork development

The selected artist will be asked to develop the project proposal in two stages – a conceptual development phase and a final proposal phase. Both phases will end with presentations to the Jazz House project steering committee, in order to receive owner approval for the developed artwork. City of Seattle planning staff approval will also be required before any production or installation work can commence. Once a final proposal has received all required approvals, the artist and owner will coordinate installation with Jazz House’s general contractor. Any modifications to the concrete wall surface must be coordinated by the end of 2021. Final installation is anticipated to occur near the end of building construction, after the project’s sidewalks have been installed by the General Contractor.

How to Apply

Applications should be delivered by email address to Jazz House’s 2 project managers:

- Jason McLin (JMcLin@communityrootshousing.org) for Community Roots Housing
- Mike Weller (mweller@point32.com) for JazzED

Complete applications will be acknowledged by Jazz House via email within 1 business day of receipt. Please include the following information:

- Artist / team name
- Contact information (email, mailing address and telephone number for applicants, website if available)
- Statement of interest, explaining your reason for applying for this opportunity, and how you would approach the development and execution of the work. The statement should be no longer than 1 single-spaced page.
- Professional resume(s)
- Work samples – submit no more than 10 work samples that you feel could be relevant to the Jazz House project. Include a brief description (75 words or less) of each work sample. Each sample should be no longer than 1 page in the application PDF. If still images are insufficient to document a work, URLs to Vimeo or YouTube videos may be provided instead of still images. Any online work sample video and/or audio clips should be no longer than 2 minutes each.

Help

For questions about the application process or the project, please contact mweller@point32.com.

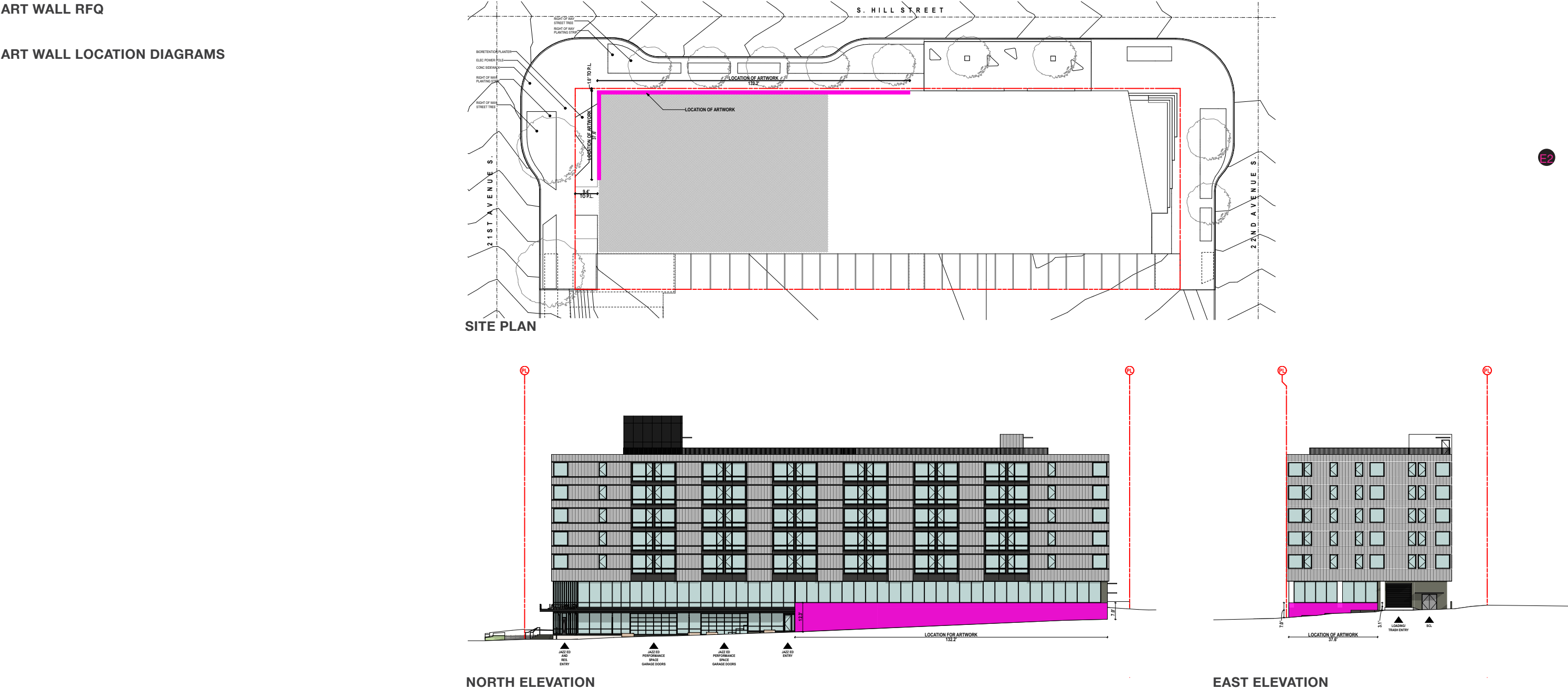
Attachments

- Site map
- Elevations
- Art location detail elevation(s) & plan(s)

17.0 DEPARTURES

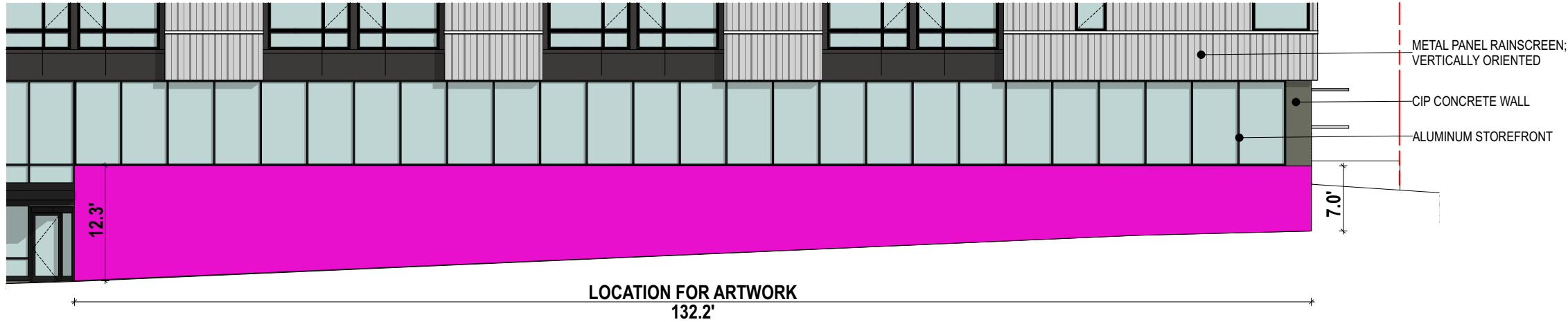
ART WALL RFQ

ART WALL LOCATION DIAGRAMS

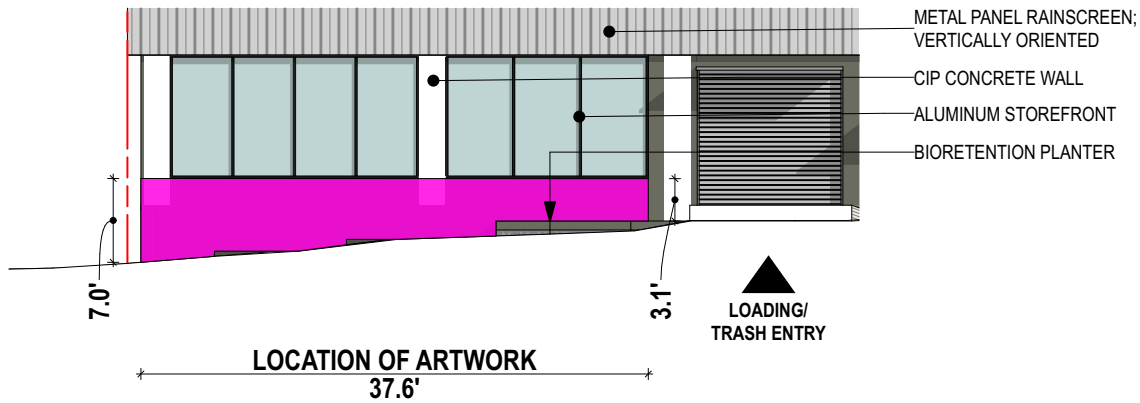


ART WALL RFQ

ART WALL LOCATION DIAGRAMS



JAZZ ED ENTRY
PARTIAL NORTH ELEVATION



PARTIAL EAST ELEVATION

