



2224 2ND AVE

DESIGN REVIEW BOARD | JUNE 16 2020 | SDCI #3033991-LU



WELCOME





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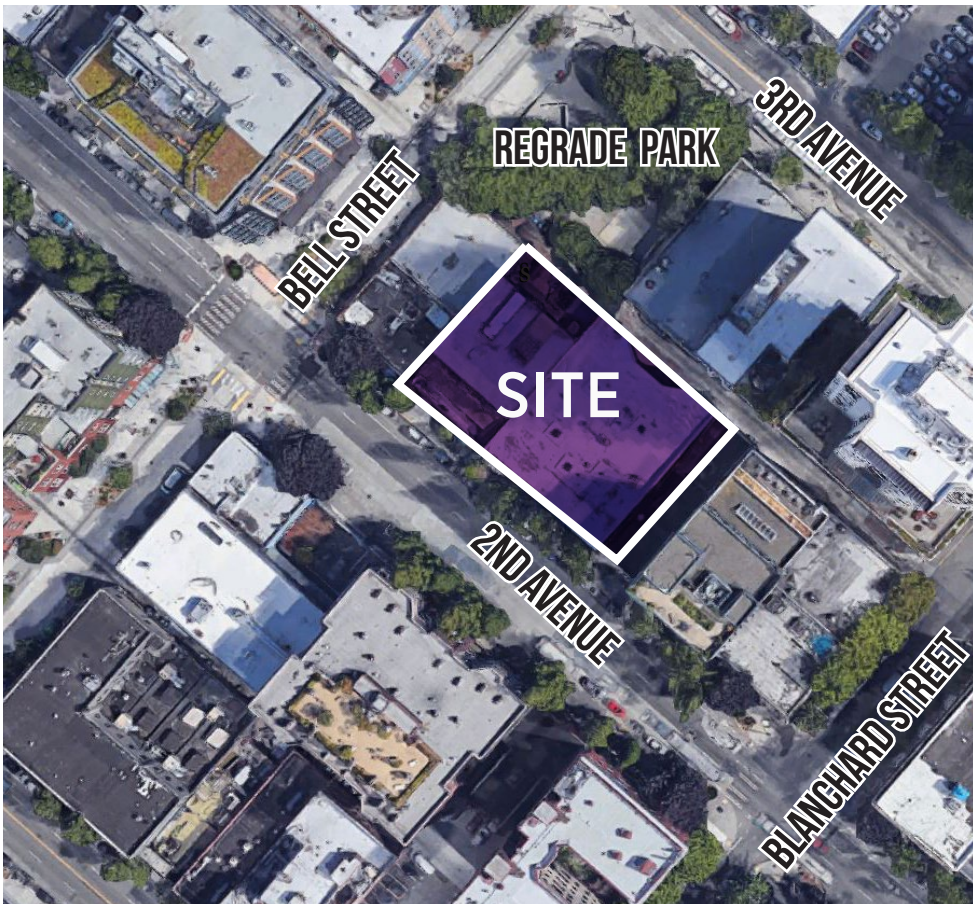
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PROJECT INFORMATION

ADDRESS: 2224 2nd AVENUE SEATTLE, WA 98121
DPD #: 3033991

OWNER:

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DEVELOPMENT OBJECTIVES

The basic program includes:

- 7 STORIES OF APARTMENTS OVER 1 STORY OF RETAIL
- 175 RESIDENTIAL UNITS
- 92 RESIDENTIAL BELOW-GRADE PARKING STALLS
- 9,000 SF COMMERCIAL AREA AT STREET LEVEL

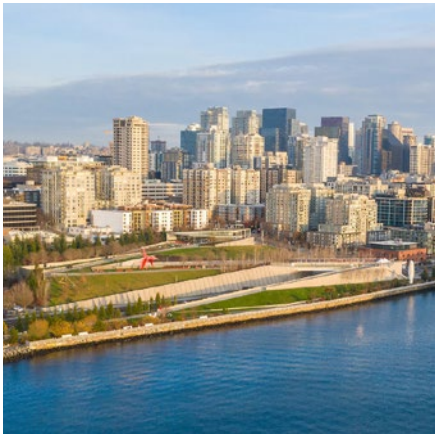
LANDSCAPE ARCHITECT

KAREN KIEST LANDSCAPE ARCHITECTS
111 WEST JOHN STREET, SUITE 306
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PROJECT DESCRIPTION

The project will feature seven stories of apartments above one story of retail. Parking will be provided in two below-grade levels accessed via a ramp from the alley. The ground level, 2nd Ave street frontage will be equipped to serve restaurant, bar, and retail functions, some of which, will extend to alley behind the property. The project features generous amenity spaces for building residents. At the ground level a lounge and double height coworking space overlook the adjacent park. On the eighth floor, a generous deck and event space will offer expansive views of Elliott Bay and Olympic Mountains. At the roof penthouse level, a city viewing deck will offer sweeping views over the downtown skyline.

PROJECT GOALS



1. CULTIVATE A SENSE OF COMMUNITY AND ATTRACTIVE APARTMENT LIVING IN BELLTOWN

The project provides much needed housing and thoughtfully scaled density that supports a pedestrian oriented lifestyle and fosters experiences at the scale of the Belltown urban village. Generously sized amenity spaces, many with sweeping views of Elliot Bay and the adjacent skyline, provide residents with places to congregate, socialize, and entertain.



2. PROVIDE COMPELLING COMMERCIAL SPACES ALONG 2ND AVENUE

Programming choices and design elements along 2nd Avenue honor the block's reputation as a hip nightlife destination and provide tools to preserve that character. Long, deep, commercial bays recall the bar and restaurant spaces currently on the site. Their short street fronts encourage a varied and interesting sidewalk experience. Customizable signage, overhead weather protection, and a variety of architectural elements provide future tenants the ability to tailor their curb presence and contribute to the funky, eclectic character that distinguishes the neighborhood.



3. ACTIVATE THE ADJACENT ALLEY WITH THOUGHTFUL PROGRAMMING AND DESIGN

The project recognizes the heavily trafficked nature of the adjoining alley and strives to support its role as a secondary pedestrian thoroughway to Regrade Park. Ground level retail spaces designed to serve bars, restaurants, and cafes extend through the building from 2nd Avenue to the alley, activating the park edge with opportunities for social spaces. Amenity spaces within the building feature expansive glazing along the alley to foster strong visual connections. Utilitarian functions like trash staging and garage entry have been located as far to the south as possible away from the activities of the park. Murals inspired by neighborhood street art enliven the alley facade.



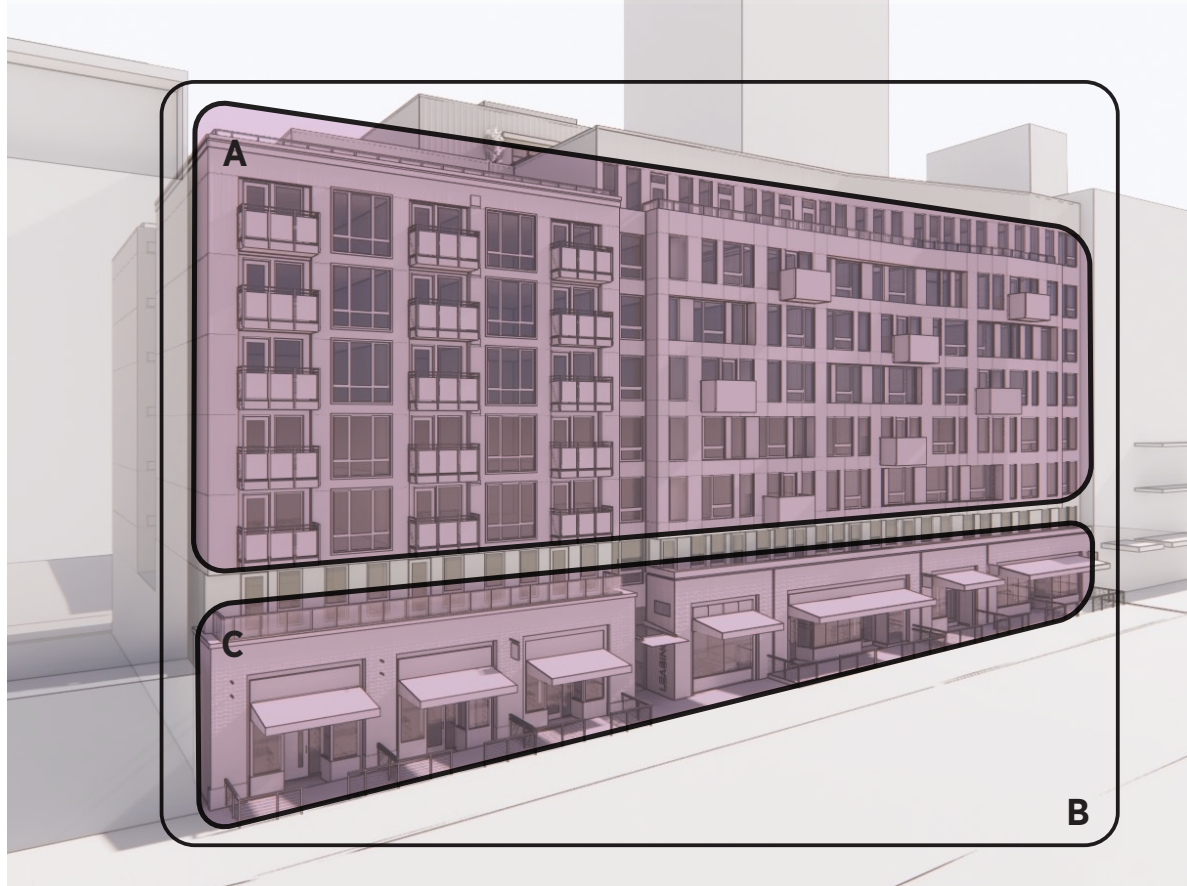


RESPONSE TO BOARD GUIDANCE

EDG RESPONSE SUMMARY

GUIDANCE THEME	BOARD GUIDANCE	DESIGN RESPONSE	APPLICABLE DESIGN GUIDELINE
A: MASSING	At EDG #1, The Board supported the applicant’s preferred scheme, agreeing that the “Funky Base” street edge was a context-appropriate response to the eclectic character of the Belltown neighborhood. At EDG #2, The Board supported the revised Option 3 scheme, agreeing that the layered elements could result in a dynamic composition.	- A classically inspired tripartite arrangement with base, middle, and top, serves to reduce the perceived scale of the new development. - A one-story masonry base recalls the neighborhood’s historical street pattern. - A second story setback provides a visual break between the ground level retail storefronts and upper level dwelling units in order to accentuate the base. - At the residential levels, a two-part north (A) /south (B) organization of the 2nd Ave facade, pays homage to the proportions of the previous Wayne Apartments. - At the eighth story, an upper level setback creates a cornice line that reduces the visual weight of the mass. - Balconies arranged across the 2nd Ave frontage, provide an additional layer of depth and visual interest.	A-1 Respond to the Physical Environment, B-1 Respond to the Neighborhood Context, B-2 Create a Transition in Bulk and Scale,
	The Board expressed concern about the potential prominence of the mechanical screening elements along 2nd Ave.	- Tapered parapet elements provide a playful roofline profile, while providing the minimal amount of screening necessary.	B-1.I Compatible Design, B- 3.1 Building Orientation,
	The Board agreed that the parapet height at the south need not match the adjacent building.	- Tapered parapet elements reference but do not match the exact elevation of neighboring development.	B-4 Design a Well-Proportioned & Unified Building, D-3 Provide Elements That Define the Place, C-6 Develop the Alley Façade,
	The Board agreed that a legible design concept or “story” should emerge from the choice of materials, their colors, and articulation.	- The layered design concept evokes the notion of a rough and tumble outer garment sheltering a more playful, personal underlayer.	B-1 Respond to the Neighborhood Context, B-4 Design a Well-Proportioned & Unified Building. A-1 Respond to the Physical Environment,
B: MATERIALITY	The Board agreed that detail, color and texture will be critically important in the development of the layered 2nd Avenue facade.	- The exterior materials palette has been carefully coordinated with the massing to provide an animated visual experience from the street as well as erode the perceived scale of the new development. - At the ground level, materials selections for the retail podium convey a sense of heft, honor the spirit of the neighborhood, and provide opportunities for flexibility and customization by future commercial tenants. - At the upper levels, material selections have been chosen to accentuate the layered massing strategy recalling an outer garment and underlayer.	B-1.I Compatible Design, B-1.V Reinforce Neighborhood Qualities B-2 Create a Transition in Bulk and Scale, B- 3 Reinforce the Positive Urban Form & Architectural Attributes of the Immediate Area, B-4 Design a Well-Proportioned & Unified Building,
	The Board supported the more neutral dark-grey brick shown in the renderings but recognizing public comment, agreed that exploration of a range of colors as part of the larger composition would be merited.	- At the ground level, both the northern “A” and southern “B” bays features dark, brick in a modern interpretation of masonry storefronts found throughout Belltown.	B- 3 Reinforce the Positive Urban Form & Architectural Attributes of the Immediate Area,
C: BASE AND STREETSCAPE	At EDG #1The Board acknowledged public comment about the eclectic character of this block. The Board encouraged the design team to look for opportunities to allow future tenants to customize their storefronts.	- At the ground level 2nd Ave street frontage, customizable metal canopies, paintable storefront surrounds, wall mounted blade signage, and sitting area fencing provide a flexible framework for future businesses to cultivate a signature	B-1.d Adjacent Features and Networks, B-2.a Compatibility with Nearby Buildings, B-3.I Respond to Nearby Design Features,
	At EDG #1 the Board supported the minimization of the residential lobby along 2nd Avenue and encouraged the design team to program the street edge of this area with active uses.	- The majority of the 2nd Ave street frontage in the proposed development is equipped to serve commercial functions. The residential entry has been minimized, and is quietly denoted with a narrow canopy.	B-1 Respond to the Neighborhood Context, B-3 Reinforce the Positive Urban Form & Architectural Attributes of the Immediate Area, C-1 Promote Pedestrian Interaction, D-3 Provide Elements That Define the Place,
	At EDG #2 the Board continued to support the development of multiple retail storefronts, and the proposal to use paintable surfaces and canopies that are easily customizable.	-Storefront entries organized to permit up to eight long, deep retail spaces with short street fronts encourage a varied and interesting sidewalk experience. -At the ground level street frontage, customizable metal canopies, paintable storefront surrounds, wall mounted blade signage, and sitting area fencing provide a flexible framework for future businesses to cultivate a signature aesthetic.	B-1 Respond to the Neighborhood Context, B-1.III Visual Interest, B-3 Reinforce the Positive Urban Form & Architectural Attributes of the Immediate Area,
	The Board tentatively supported a variation in the depth of code-required overhead weather protection as part of the eclectic design concept.	Intermittent overhead weather protection emphasizes retail entries and permit individual businesses to present independent identities along the street face while making room for existing street trees.	D-3 Provide Elements That Define the Place,
	The Board agreed that exterior lighting will be critical on both the street and the alley.	Exterior lighting along 2nd Ave provides pools of downlit illumination for sidewalk seating and spot lighting for commercial signage. Exterior lighting along the alley emphasizes a sense of security and visibility.	D-1 Provide Inviting & Usable Open Space, D-5 Provide Adequate Lighting,

GUIDANCE THEME	BOARD GUIDANCE	DESIGN RESPONSE	APPLICABLE DESIGN GUIDELINE
D: ALLEY	The Board continued to support the applicant's intent to activate the alley edge.	<ul style="list-style-type: none">- Required service functions such as garage entry and trash staging are located to the south of the site as far away from park as possible.- A below grade retail space concept presented at EDG with a "speakeasy" theme has been scrapped. In its place, a second retail bay has been extended through the building to connect from 2nd Ave with the alley.- A lower level of alley facing units presented at EDG has been deleted and replaced with shared coworking and lounge spaces that look directly over the alley and park. This visual connection will enhance safety with additional eyes on the street.	C-6 Develop the Alley Façade, D-3 Provide Elements That Define the Place,
	At EDG #1 The Board encouraged the applicant to activate this edge of the project by creating a secondary residential entry point.	<ul style="list-style-type: none">- A residential entry point has been added to the alley frontage offering a direct connection to the main lobby off 2nd Ave.	C6.II Pedestrian Environment, D6 Design for Personal Safety & Security
	The Board supported the pushing and pulling of the building edges at the alley but questioned whether the screening elements were diminishing this effect.	<ul style="list-style-type: none">- Screening elements discussed at EDG have been scaled back to provide no more than the most essential protection from passing vehicle traffic. Large, upper level windows in resident dwelling units foster strong visual connections with the park and plaza below.	B-1 Respond to the Neighborhood Context, B- 3 Reinforce the Positive Urban Form & Architectural Attributes of the Immediate Area, B- 3.1 Building Orientation, C-6 Develop the Alley Façade,
	The Board agreed that the studies showing alternate screening elements had promise and directed the design team to continue studying this condition.	<ul style="list-style-type: none">- The team investigated various screening options including staggered, standing steel panels, perforated metal screens and a concrete retaining wall adorned with themed graphics inspired by street art spotted in the neighborhood. The street art option was felt to be most in keeping with the spirit of the place.	C-1 Promote Pedestrian Interaction, C6.II Pedestrian Environment, D-1.1 Pedestrian Enhancements,
	The Board directed the design team to provide complete details of the alley condition and the proposed design response.	<ul style="list-style-type: none">- Sectional studies of the various alley conditions have been provided with the response.	C-6 Develop the Alley Façade, C6.II Pedestrian Environment, D-3 Provide Elements That Define the Place,



BOARD GUIDANCE

At EDG #1 the Board supported the applicant’s preferred scheme, agreeing that the “Funky Base” street edge was a context-appropriate response to the eclectic character of the Belltown neighborhood, but had concerns about the massing of the upper levels. At EDG #2 the Board supported the revised scheme, agreeing that the layered elements could result in a dynamic composition that mitigated building scale and was connected to the neighborhood context.

RESPONSE

Massing strategies presented at EDG have been refined. A classically inspired tripartite arrangement with base, middle, and top, serves to reduce the perceived scale of the new development. A one-story masonry base recalls the neighborhood’s historic development patterns. A second story setback or “gasket,” provides a visual break between the ground level retail storefronts and upper level dwelling units in order to accentuate the base. At the residential levels, a two-part north (A) /south (B) organization of the 2nd Ave facade, pays homage to the proportions of the previously developed Wayne Apartments. At the eighth story, an upper level setback creates a cornice line that reduces the visual weight of the mass. Balconies arranged across the 2nd Ave frontage, provide an additional layer of depth and visual interest to the street wall.

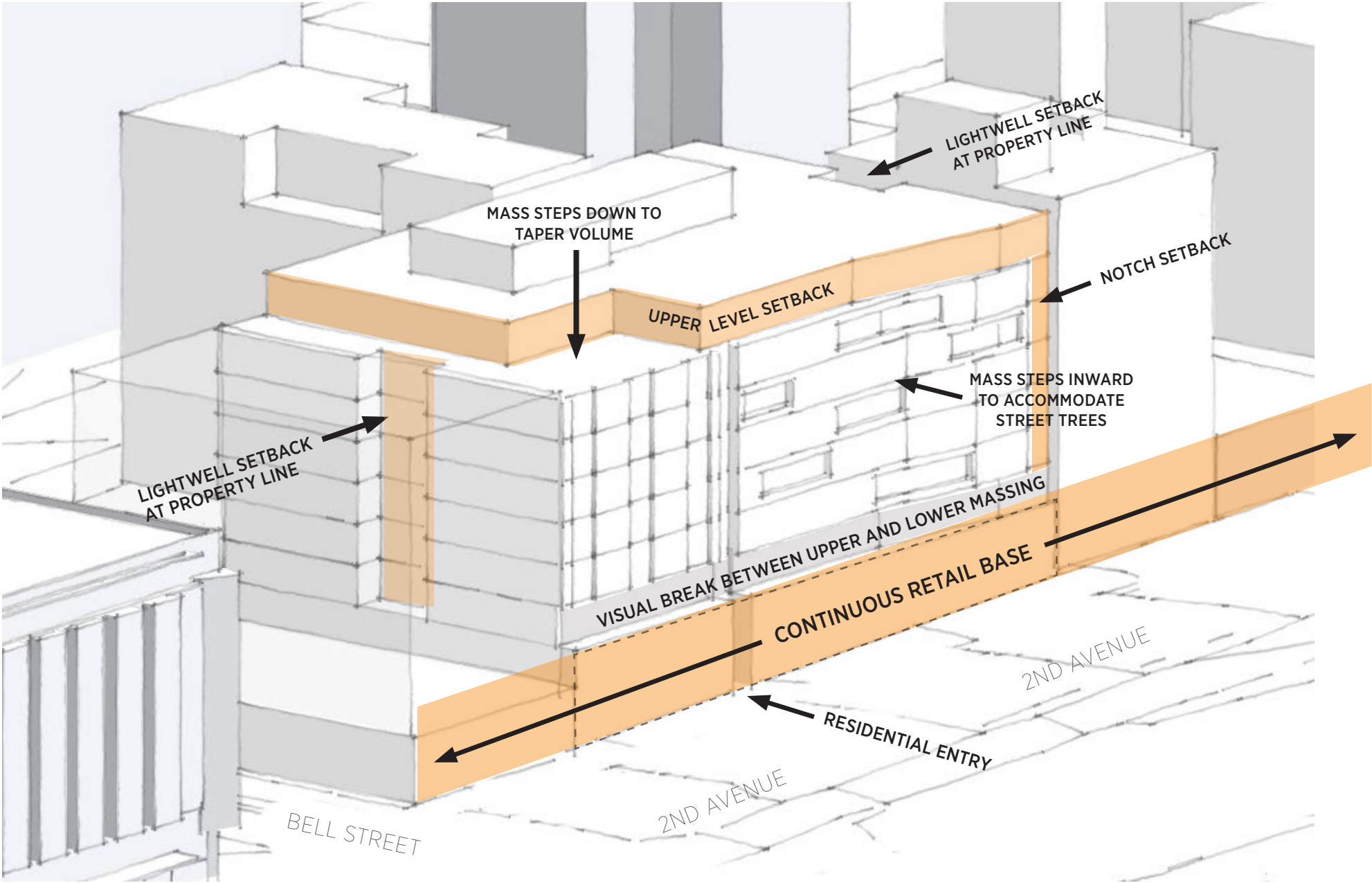
RELEVANT DESIGN GUIDELINES

A-1 Respond to the Physical Environment
Each building site lies within a larger physical context having various and distinct features and characteristics to which the building design should respond.

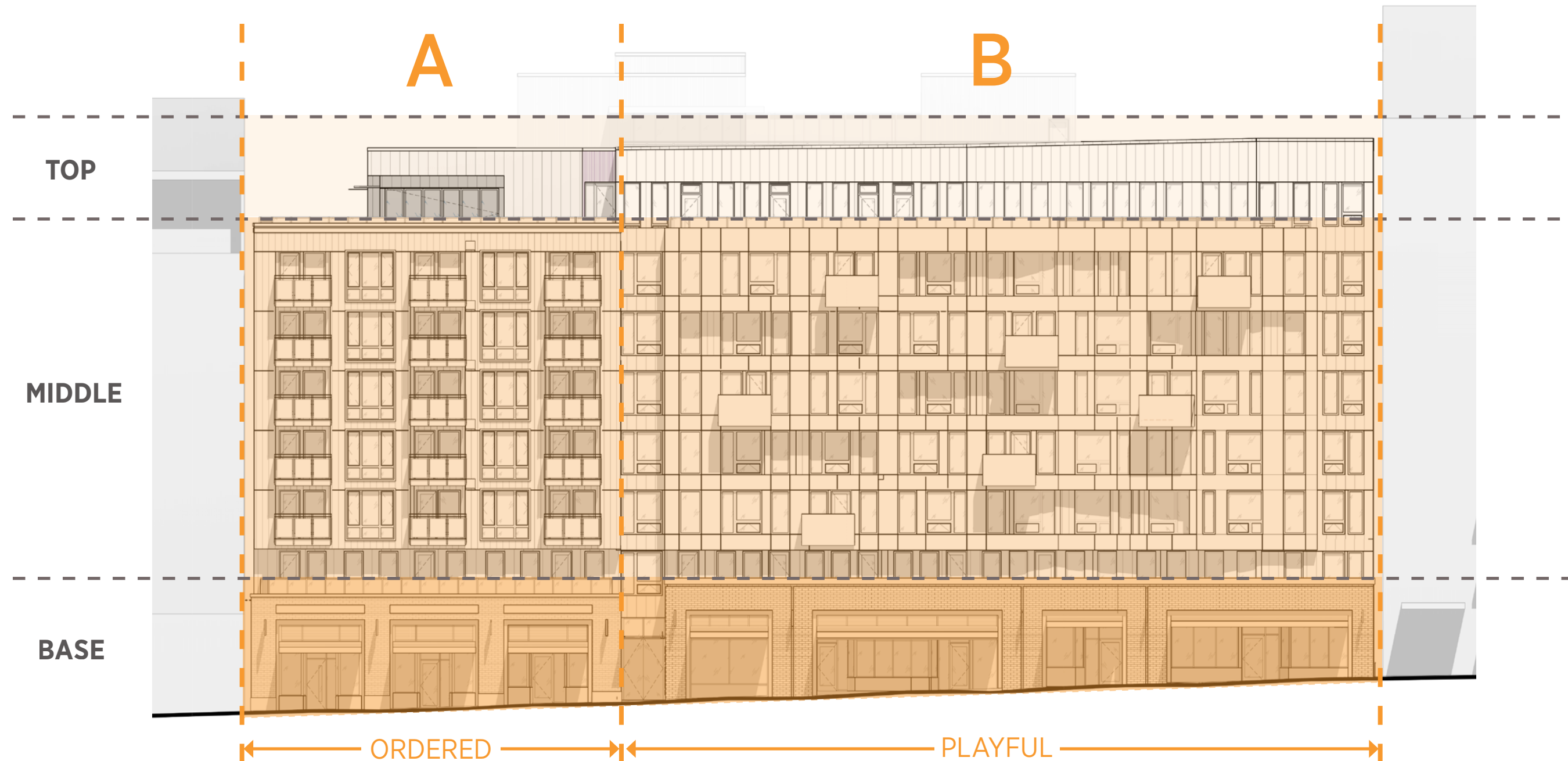
B-1 Respond to the Neighborhood Context
Develop an architectural concept and compose the major building elements to reinforce desirable urban features existing in the surrounding neighborhood.

B-2 Create a Transition in Bulk and Scale
Compose the massing of the building to create a transition to the height, bulk, and scale of development in nearby less-intensive zones.

B-4 Design a Well-Proportioned & Unified Building
Compose the massing and organize the interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept



CONCEPTUAL MASSING DIAGRAM: SETBACKS SERVE TO ANIMATE THE FAÇADE AND REDUCE PERCEIVED SCALE.



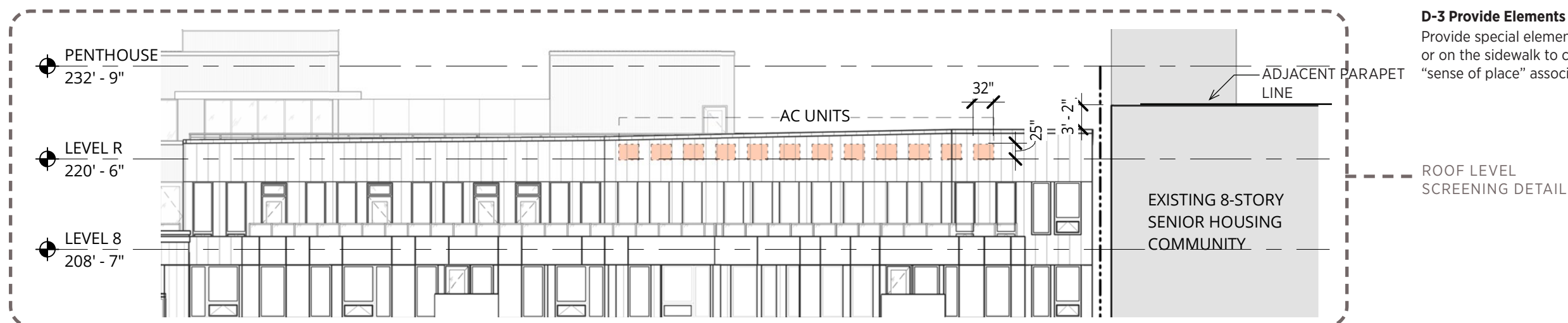
2ND AVENUE FACADE ORGANIZATION DIAGRAM:

- THE PROJECT'S PRIMARY, STREET FACING ELEVATION FOLLOWS A CLASSICALLY INSPIRED TRIPARTITE ORGANIZATION DEFINED BY A BASE MIDDLE AND TOP.
- THE FACADE IS SPLIT IN A ROUGHLY 1/3 TO 2/3 RATIO ECHOING THE PROPORTIONS OF PRIOR DEVELOPMENTS ON THE SITE.
- THE NORTHERN "A" SIDE OF THE ELEVATION FEATURES A MORE ORDERED, REGULAR ORGANIZATION OF FACADE FEATURES SUCH AND BALCONIES.
- THE SOUTHERN "B" SIDE OF THE ELEVATION PRESENTS A MORE PLAYFUL, LOOSELY ARRANGED COMPOSITION OF WINDOWS AND BALCONIES





MECHANICAL SCREENING DIAGRAM: THE PARAPET HEIGHT ALONG 2ND AVE HAS BEEN REVISED TO THE MINIMUM NEEDED TO CONCEAL ROOFTOP COOLING EQUIPMENT. THE TAPERED PROFILE RECALLS THE ELEVATION OF THE ADJACENT STRUCTURE TO THE SOUTH WHILE NOT MATCHING IT.



BOARD GUIDANCE

The Board expressed concern about the potential prominence of the mechanical screening elements and provided guidance to minimize their visibility.

The Board agreed that the parapet height at the south need not match the adjacent building and that a non-homogenous approach could be successful.

RESPONSE

Required rooftop mechanical equipment has been thoughtfully consolidated to minimize the extents of screening elements needed along 2nd Ave. Tapered parapet elements provide a playful roofline profile, while screening mechanical equipment and referencing the scale of neighboring development.

RELEVANT DESIGN GUIDELINES

B-1.I Compatible Design

Establish a harmonious transition between newer and older buildings. Compatible design should respect the scale, massing and materials of adjacent buildings and landscape.

B-3 Reinforce the Positive Urban Form

Consider the predominant attributes of the immediate neighborhood and reinforce desirable siting patterns, massing arrangements, and streetscape characteristics of nearby development.

B-4 Design a Well-Proportioned & Unified Building

Compose the massing and organize the interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept.

D-3 Provide Elements That Define the Place

Provide special elements on the facades, within public open spaces, or on the sidewalk to create a distinct, attractive, and memorable "sense of place" associated with the building.

BOARD GUIDANCE

The Board agreed that a legible design concept (a “story”) should emerge from the choice of materials and colors and their articulation. (B-1, B-4, A-1)

RESPONSE

The massing and materiality concept for the 2nd Ave facade draws inspiration from outfits seen around the Belltown neighborhood and evokes the concept of layered garments with a rough and tumble overcoat sheltering a more playful, personal underlayer. The exterior frames of the “A” and “B” bays extend outward projecting a brusque stance to the hustle of the street. The colorful inner layer reflects the warm sense community earned by those in the know.

RELEVANT DESIGN GUIDELINES

A-1 Respond to the Physical Environment

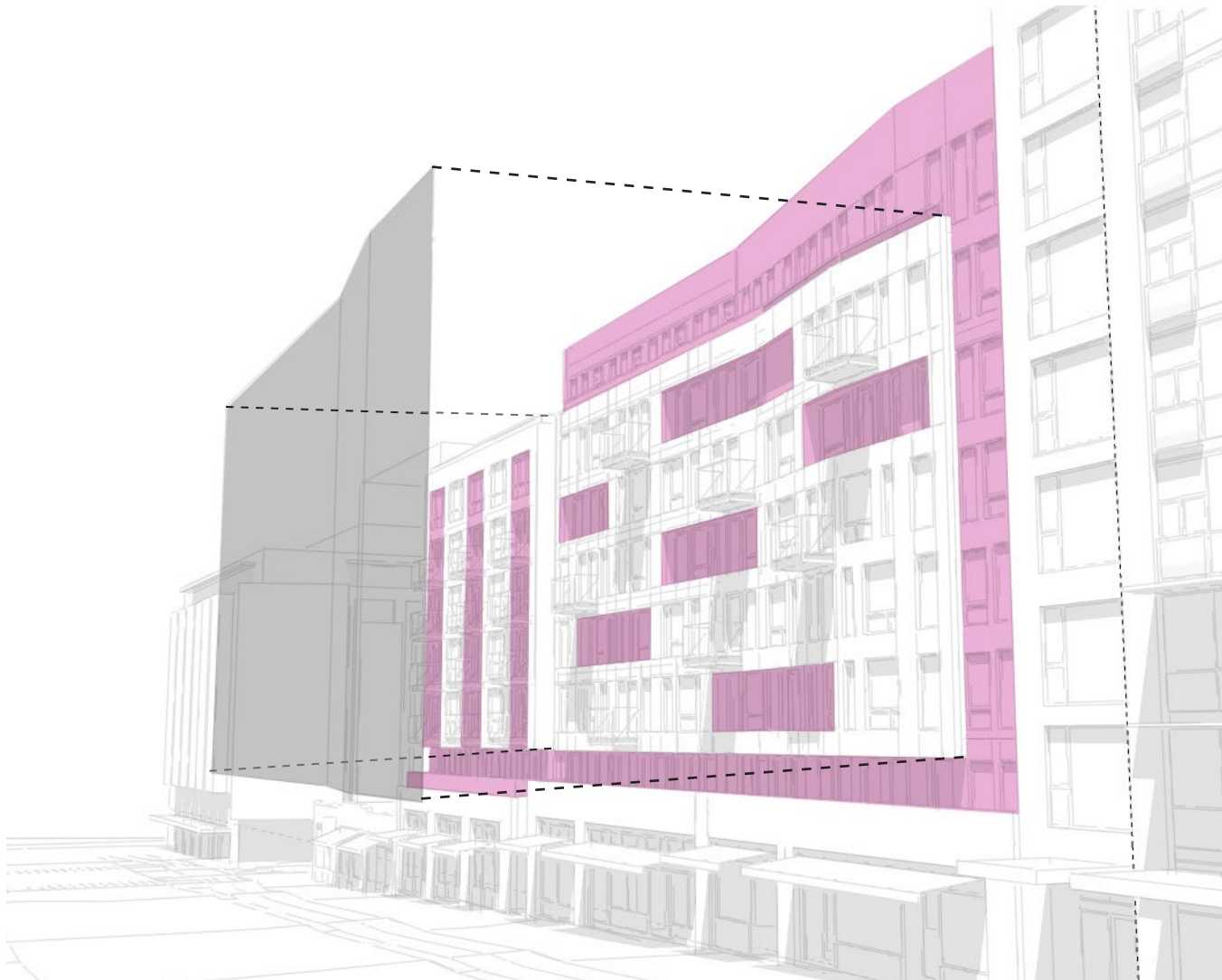
Develop an architectural concept and compose the building’s massing in response to geographic conditions and patterns of urban form found nearby or beyond the immediate context of the building site.

B-1 Respond to the neighborhood context

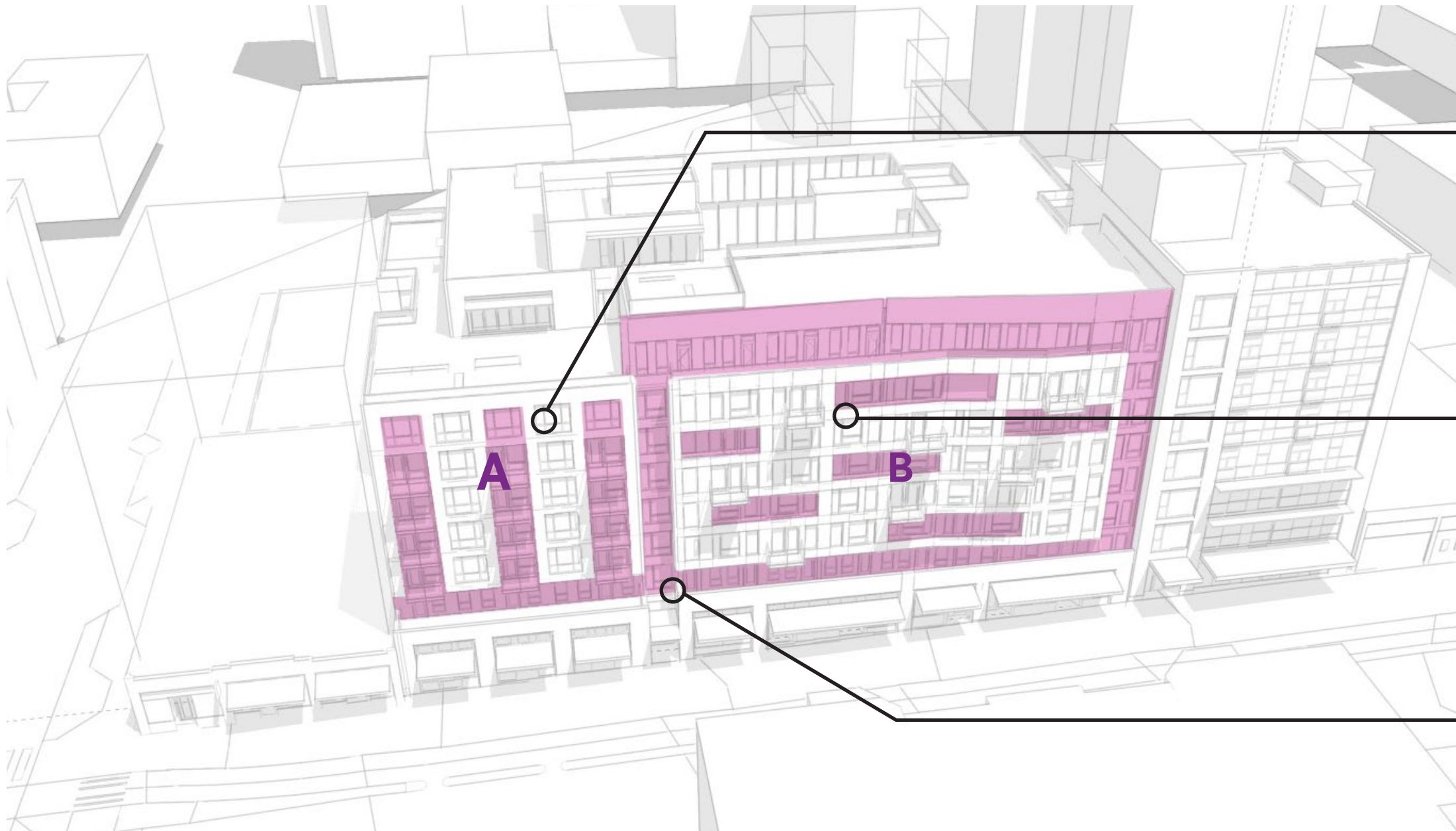
Develop an architectural concept and compose the major building elements to reinforce desirable urban features existing in the surrounding neighborhood.

B-4 Design a Well-Proportioned & Unified Building

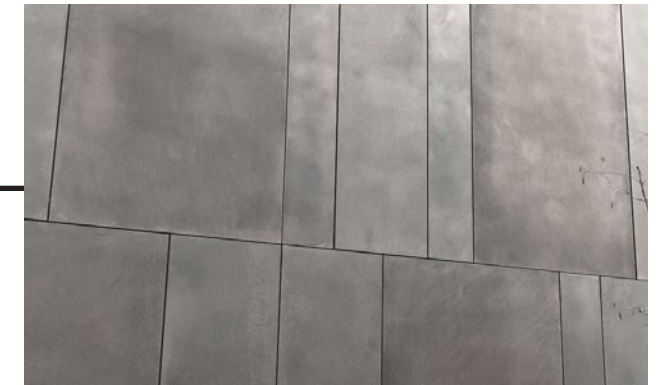
Compose the massing and organize the interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept. Design the architectural elements and finish details to create a unified building, so that all components appear



MASSING CONCEPT DIAGRAM: OUR ARCHETYPE - TOUGH OUTWARD PRESENTATION BUT PLAYFUL, PERSONAL, AND WARM WITHIN.



① METAL WALL PANELS



② HEAVY GAUGE METAL PANELS



③ CERAMIC-COATED SIDING

MASSING CONCEPT DIAGRAM:

- MASSING AND MATERIALITY WORK HAND IN HAND TO CREATE A DYNAMIC MULTILAYERED FACADE THAT REFLECTS THE MANY LAYERS OF THE BELLTOWN COMMUNITY.
- WITHIN THE "A" SEGMENT OF THE FACADE, METAL WALL PANELS (1) REPRESENTS THE OUTER LAYER.
- WITHIN THE "B" SEGMENT OF THE FACADE, HEAVY GAUGE METAL PANELS (2) TAKE ON THE ROLE OF THE OVERCOAT.
- WITHIN THE RECESSED FRAME, CERAMIC COATED SIDING (3) REPRESENTS THE MORE PLAYFUL UNDERLAYER ACROSS THE EXTENTS OF THE ELEVATION.

BOARD GUIDANCE

The Board agreed that detail, color, and texture will be critically important in the development of the layered 2nd Avenue facade and noted that the eclectic and funky base expression could be supported by a simpler composition of the upper levels.

The Board supported the more neutral dark-grey brick shown in the renderings but recognizing public comment, agreed that exploration of a range of colors, as part of the larger composition, would be merited.

RESPONSE

The exterior materials palette has been carefully selected to provide an animated visual experience from the street and to help erode the perceived scale of the new development.

At the ground level, materials selections for the retail podium convey a sense of heft, honor the spirit of the neighborhood, and provide opportunities for flexibility and customization by future commercial tenants. Masonry materials convey a sense of heaviness and root the new structure firmly in the ground. Both bays features dark, brick in a modern interpretation of turn-of-the-century masonry storefronts found throughout Belltown, but vary slightly in color.

At the upper levels, material selections follow a similar two bay organization and have been selected to accentuate the layered massing strategy recalling an outer garment and underlayer. In the more rigorously composed, northern “A” bay, vertically oriented metal panels symbolize the durable outer attire. In the more playfully composed southern bay, the outer shell is symbolized with a trabeated frame of heavy gauge metal panel. Within the recesses ceramic coated panels provide a color contrast.

RELEVANT DESIGN GUIDELINES

B-1.I Compatible Design

Establish a harmonious transition between newer and older buildings. Compatible design should respect the scale, massing and materials of adjacent buildings and landscape.

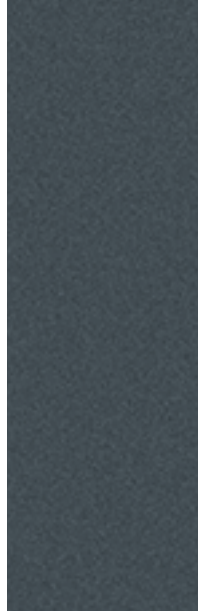
B-1.IV Reinforce Neighborhood Qualities

Employ design strategies and incorporate architectural elements that reinforce Belltown’s unique qualities. In particular, the neighborhood’s best buildings tend to support an active street life.



① CERAMIC-COATED SIDING

A GRAY



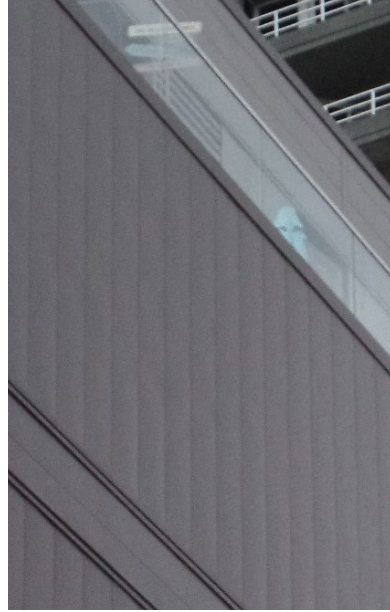
② LIGHT GAUGE FLUSH METAL WALL PANELS WITH REVEAL

A RUST



③ LIGHT GAUGE FLUSH METAL WALL PANELS SMOOTH

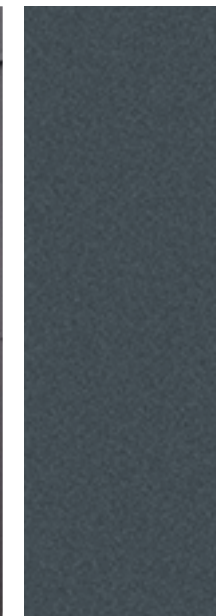
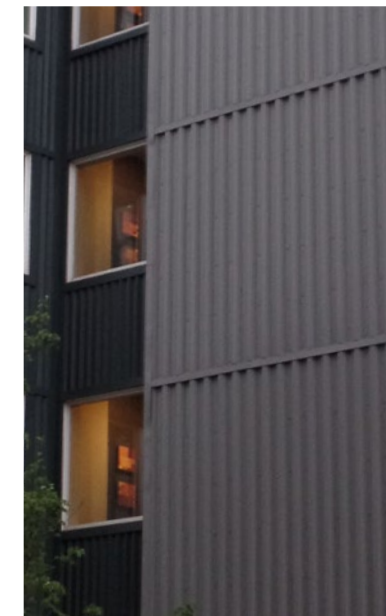
A SILVER



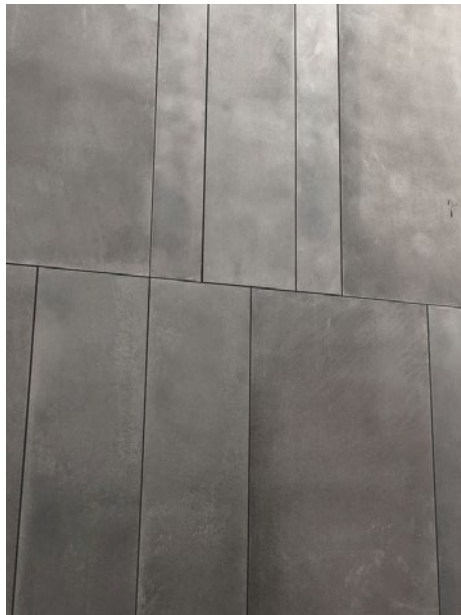
B BLACK



④ LIGHT GAUGE RIBBED METAL WALL PANEL **A** GRAY



⑤ HEAVY GAUGE METAL PANELS



⑥ PRECAST CONCRETE BASE & COPING



⑦ BRICK



A CHARCOAL



B MANGANESE



⑧ GLASS RAILING



⑨ ALUMINUM STOREFRONT



⑩ VINYL WINDOW



⑪ BOLT ON ALUMINUM BALCONIES PERFORATED METAL SCREEN



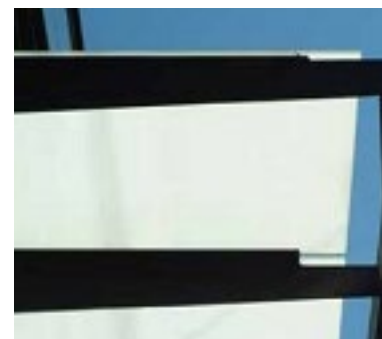
⑫ BOLT ON ALUMINUM BALCONIES WIRE MESH SCREEN



⑬ PAINTABLE METAL CANOPY



⑭ GLASS CANOPY



⑮ FIBER CEMENT PANEL **A** YELLOW



BOARD GUIDANCE

The Board acknowledged public comment about the eclectic character of this block and the applicant's intent to recreate that spirit, but noted that the existing condition is one that developed over time. The Board encouraged the design team to look for opportunities to allow future tenants to customize their storefronts.

RESPONSE

At the ground level retail podium, customizable metal canopies, paintable storefront surrounds, wall mounted blade signage, and sitting area fencing provide a flexible framework for future businesses to tailor their curb presence and cultivate a signature aesthetic.

RELEVANT DESIGN GUIDELINES

B-1.1 Adjacent Features and Networks

Each building site lies within an urban neighborhood context having distinct features and characteristics to which the building design should respond. Arrange the building mass in response to neighboring buildings that have employed distinctive and effective massing compositions

B-3.1 Respond to Nearby Design Features

The principal objective of this guideline is to promote scale and character compatibility through reinforcement of the desirable patterns of massing and facade composition found in the surrounding area. Pay particular attention to designated landmarks and other noteworthy buildings.

Respond to the regulating lines and rhythms of adjacent buildings that also support a street-level environment; regulating lines and rhythms include vertical and horizontal patterns as expressed by cornice lines, belt lines, doors, windows, structural bays and modulation.

Use regulating lines to promote contextual harmony, solidify the relationship between new and old buildings, and lead the eye down the street. Pay attention to excellent fenestration patterns and detailing in the vicinity. The use of recessed windows that create shadow lines, and suggest solidity, is encouraged.



CUSTOMIZABLE METAL CANOPIES, PAINTABLE STOREFRONT SURROUNDS, WALL MOUNTED BLADE SIGNAGE, AND SITTING AREA FENCING PROVIDE A FLEXIBLE FRAMEWORK FOR FUTURE BUSINESSES TO TAILOR THEIR CURB PRESENCE ALONG 2ND AVE



④ BLADE SIGNAGE



③ PAINTABLE AWNINGS



② PAINTABLE SURROUNDS



① LEAN RAILS



CUSTOMIZABLE METAL CANOPIES, PAINTABLE STOREFRONT SURROUNDS, WALL MOUNTED BLADE SIGNAGE, AND SITTING AREA FENCING PROVIDE A FLEXIBLE FRAMEWORK FOR FUTURE BUSINESSES TO TAILOR THEIR CURB PRESENCE ALONG 2ND AVE

BOARD GUIDANCE

The Board continued to support the development of multiple retail storefronts, and the proposal to use paintable surfaces and canopies that are easily customizable for future tenants. The Board supported the minimization of the residential lobby along 3rd Avenue and encouraged the design team to program the street edge of this area with active uses.

The Board tentatively supported a variation in the depth of code-required overhead weather protection as part of the eclectic design concept and to minimize negative impacts on existing street trees.

RESPONSE

Recognizing and recalling the vibrant commercial activity that currently characterizes the block, the bulk of the street frontage in the proposed development is equipped to serve bar, restaurant, and café functions with some bays extending all the way back to the rear alley. Storefront entries organized to permit up to eight long, deep retail spaces with short street fronts encourage a varied and interesting sidewalk experience. The scaled down, residential entry is quietly denoted with a narrow glass canopy and cross mounted sign. Intermittent overhead weather protection emphasizes retail entries and permit individual businesses to present independent identities along the street face.

RELEVANT DESIGN GUIDELINES

B-1 Respond to the Neighborhood Context

Develop an architectural concept and compose the major building elements to reinforce desirable urban features existing in the surrounding neighborhood.

B-1.III Visual Interest

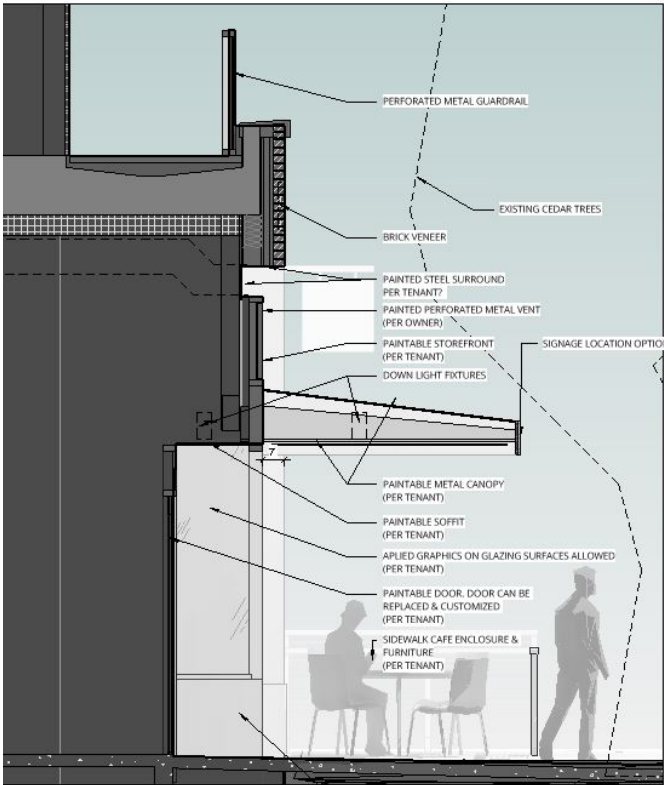
Design visually attractive buildings that add richness and variety to Belltown, including creative contemporary architectural solutions..

B-3 Reinforce the Positive Urban Form & Architectural Attributes of the Immediate Area

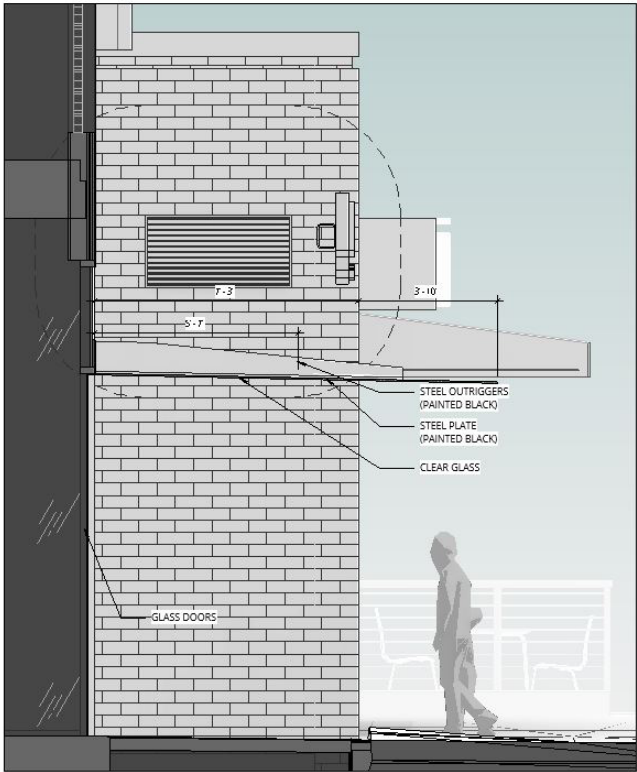
Consider the predominant attributes of the immediate neighborhood and reinforce desirable siting patterns, massing arrangements, and streetscape characteristics of nearby development.



Opportunities for outdoor seating activate the block.



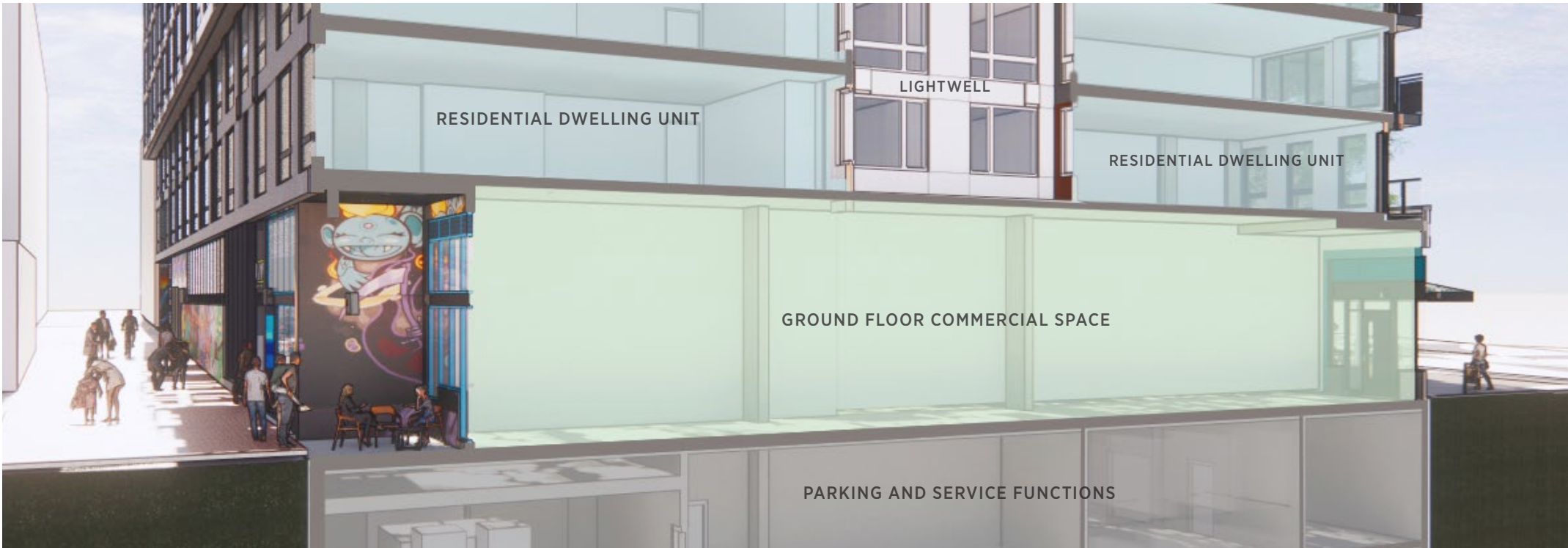
OPAQUE, PAINTABLE METAL CANOPIES DEFINE OUTDOOR SITTING AREAS ALONG 2ND AVE.



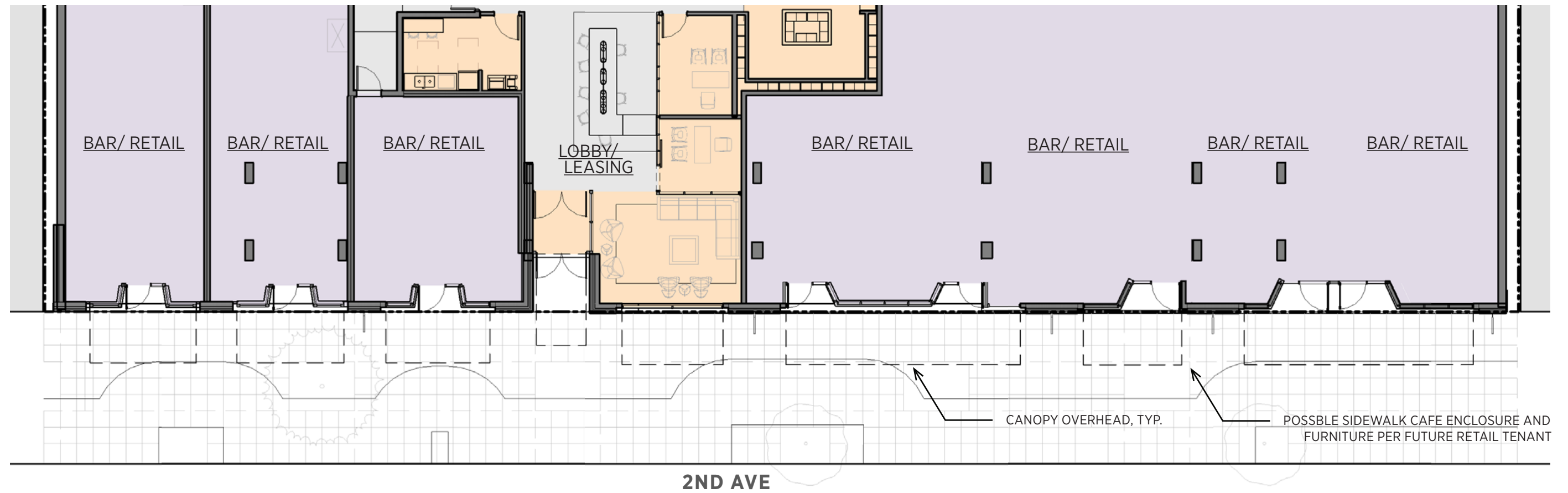
A GLASS CANOPY QUIETLY DENOTES THE RESIDENTIAL ENTRY.



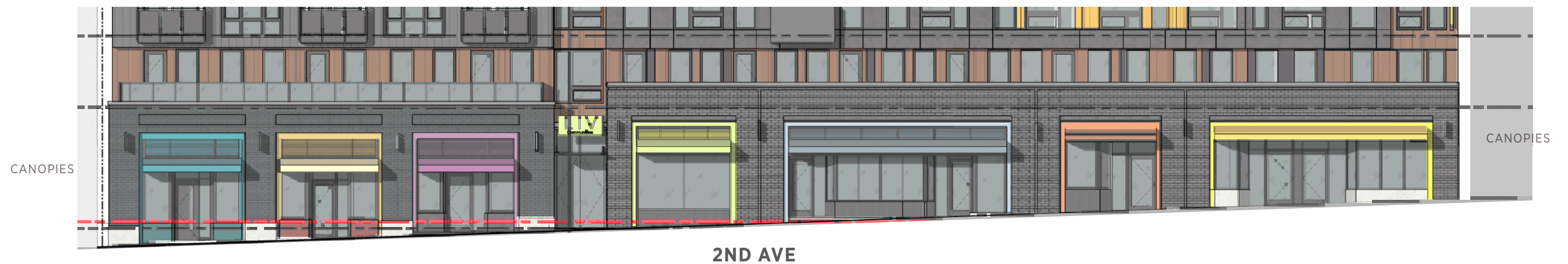
GLASS CANOPY PRECEDENT



TWO BAYS OF RETAIL SPACE EXTEND THROUGH THE BUILDING FROM 2ND AVE TO THE ALLEY, ACTIVATING THE ALLEYWAY EDGE ADJACENT TO THE PARK AND CREATING OPPORTUNITIES FOR CROSS BLOCK CIRCULATION DURING BUSINESS HOURS.



INTERMITTENT OVERHEAD WEATHER PROTECTION EMPHASIZES RETAIL ENTRIES AND PERMIT INDIVIDUAL BUSINESSES TO PRESENT INDEPENDENT IDENTITIES ALONG THE STREET FACE.



THE OVERHEAD WEATHER PROTECTION ALONG 2ND AVE STEPS WITH THE SLOPING TERRAIN OF THE SITE.



A: BLADE SIGNS

B: PAINTED GLASS SIGN

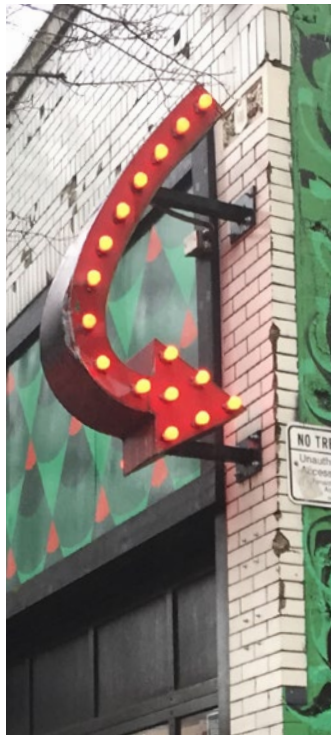
C: BACK LIT CUT METAL SIGN

D: STOREFRONT AWNING

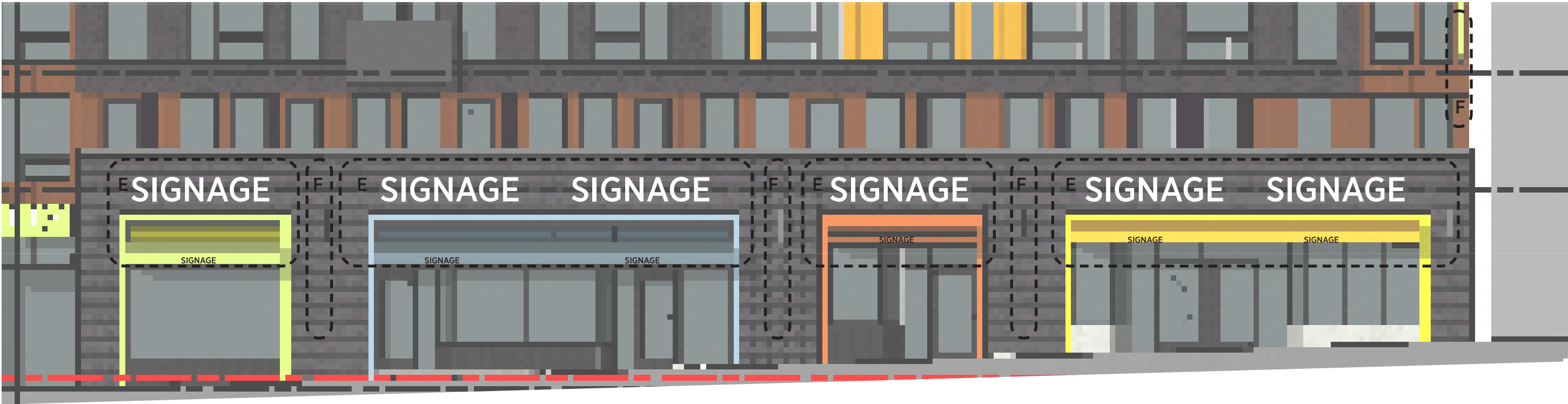




E: ILLUMINATED WALL MOUNTED SIGNAGE



F: ILLUMINATED MARQUEES



TO THE SOUTH OF THE SITE, A PROMINENT CORNICE LINE PROVIDES OPPORTUNITIES FOR MARQUEES AND SIGNAGE THAT RECALL THE FUN AN FUNKY ATMOSPHERE OF THE BLOCK.

BOARD GUIDANCE

The Board agreed that exterior lighting will be critical on both the street and the alley and asked that complete details be provided at the next meeting. (D-1, D-5)

RESPONSE

Exterior lighting along 2nd Ave provides pools of illumination for outdoor, sidewalk seating and opportunities for street animating blade signage. Exterior lighting along the alley emphasizes a sense of security at utilitarian functions to the south of the structure and strong indoor / outdoor visual connections between interior amenity spaces and Regrade Park to the north of the structure.

RELEVANT DESIGN GUIDELINES

D-1 Provide Inviting & Usable Open Space
Design public open spaces to promote a visually pleasing, safe, and active environment for workers, residents, and visitors. Views and solar access from the principal area of the open space should be especially emphasized.

D-5 Provide Adequate Lighting
To promote a sense of security for people downtown during night-time hours, provide appropriate levels of lighting on the building facade, on the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and on signage.



Illuminated Signage Precedents - Belltown



GROUND LEVEL LIGHTING PLAN DIAGRAM



EXTERIOR LIGHTING ALONG THE ALLEY EMPHASIZES A SENSE OF SECURITY AND STRONG VISUAL CONNECTIONS WITH INTERIOR AMENITY SPACES.

A RECESSED CAN LIGHT
FINAL SELECTION TO BE COORDINATED WITH LIGHTING DESIGNER



B: ILLUMINATED BLADE SIGNAGE AND MARQUEES



C: WALL SCONCE
FINAL SELECTION TO BE COORDINATED WITH LIGHTING DESIGNER



EXTERIOR LIGHTING ALONG 2ND AVE PROVIDES POOLS OF ILLUMINATION FOR OUTDOOR, SIDEWALK SEATING AND OPPORTUNITIES FOR STREET ANIMATING BLADE SIGNAGE.

EDG RESPONSE - ALLEY

BOARD GUIDANCE

The Board continued to support the applicant's intent to activate the alley edge of the project but agreed that further work would be required to achieve this result.

The Board encouraged the applicant to activate this edge of the project by creating a secondary residential entry point.

RESPONSE

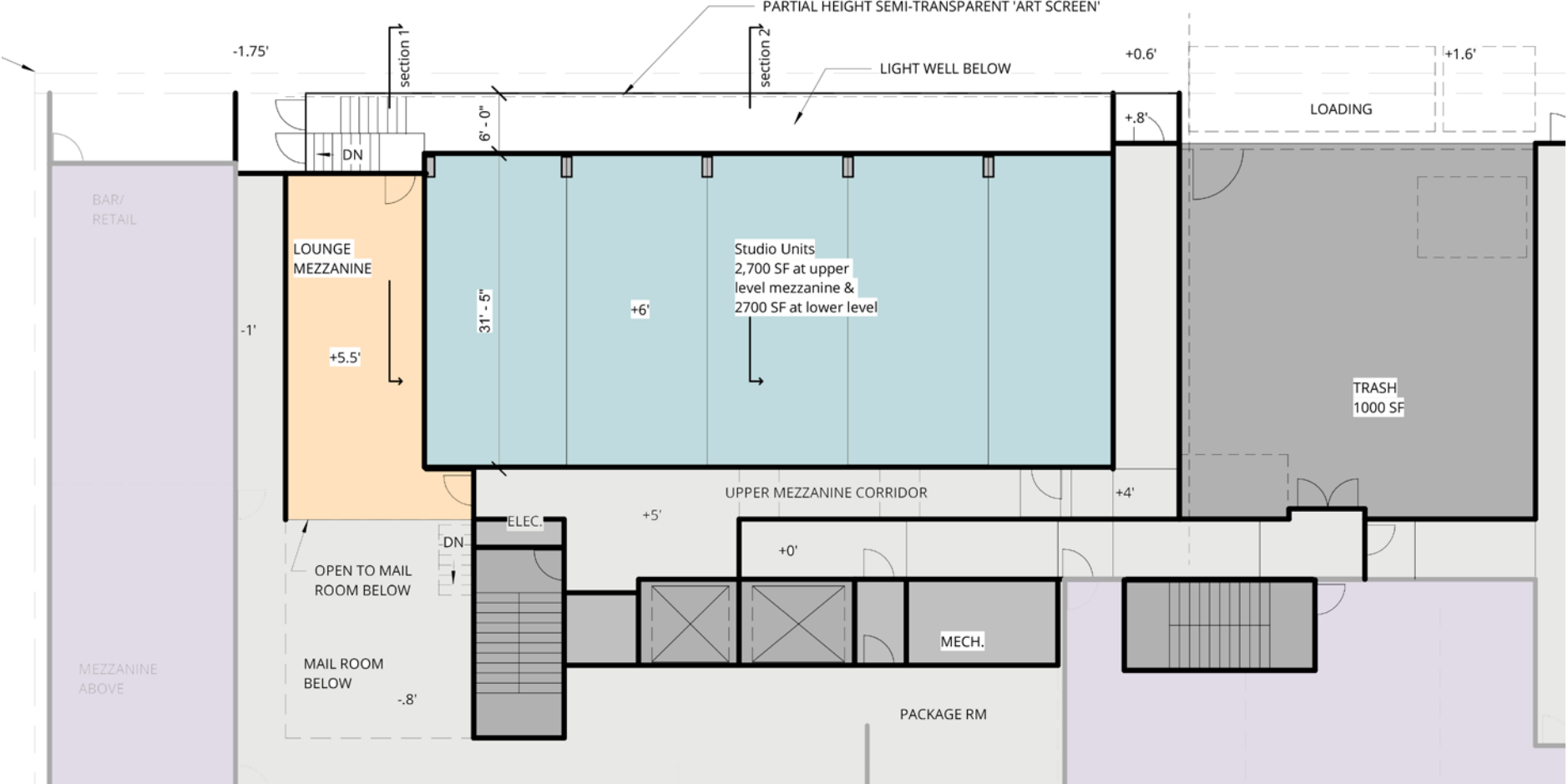
The project recognizes the heavily trafficked character of the alley and strives to support its role as a secondary pedestrian through-way and connector to Regrade Park. Required service functions such as garage entry and trash staging are located to the south of the site as far away from park as possible. A residential entry point has been added to the alley frontage offering a direct connection to the main lobby off 2nd Ave. Two bays of retail space extend through the building from 2nd Ave to the alley, activating the alleyway edge adjacent to the park and creating opportunities for cross block circulation during business hours. Internal programmatic organization has been revised, replacing the lowest level of alley facing units with shared amenity spaces that look over the alley and park.

RELEVANT DESIGN GUIDELINES

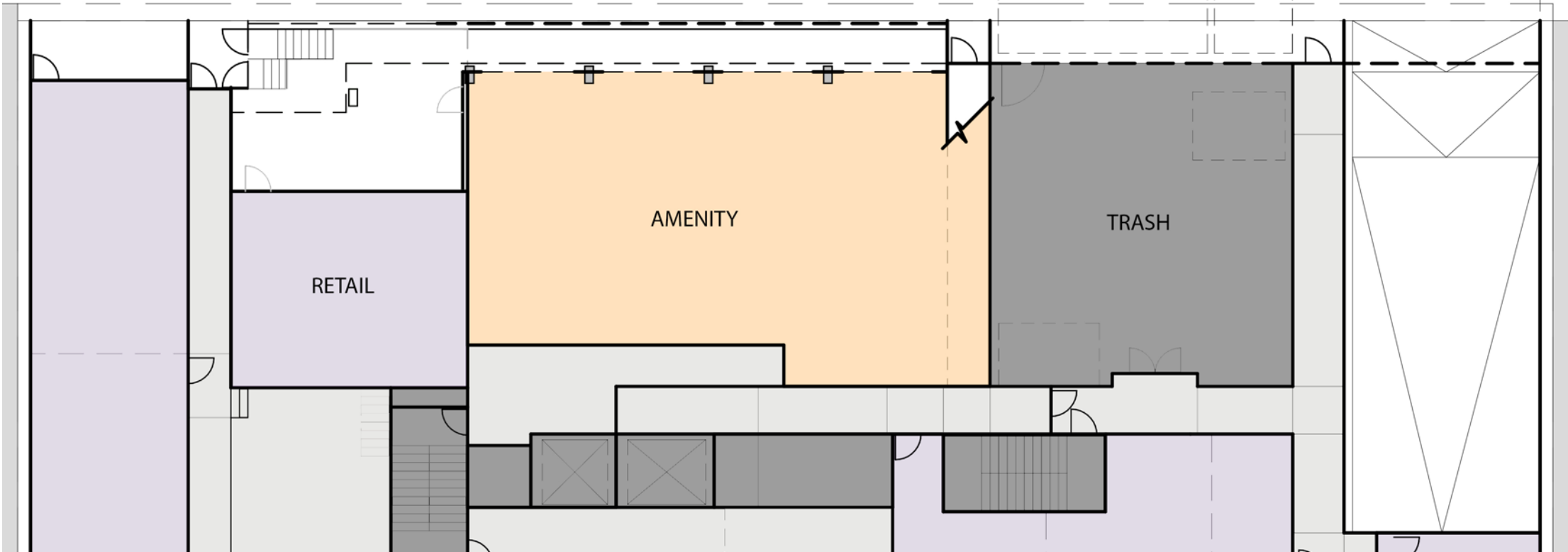
- C-6 Develop the Alley Facade**
To increase pedestrian safety, comfort, and interest, develop portions of the alley facade in response to the unique conditions of the site or project.
- C-6.II Pedestrian Environment**
reate a comfortably scaled and thoughtfully detailed urban environment in the alley through the use of well-designed architectural forms and detailsand scale of elements.



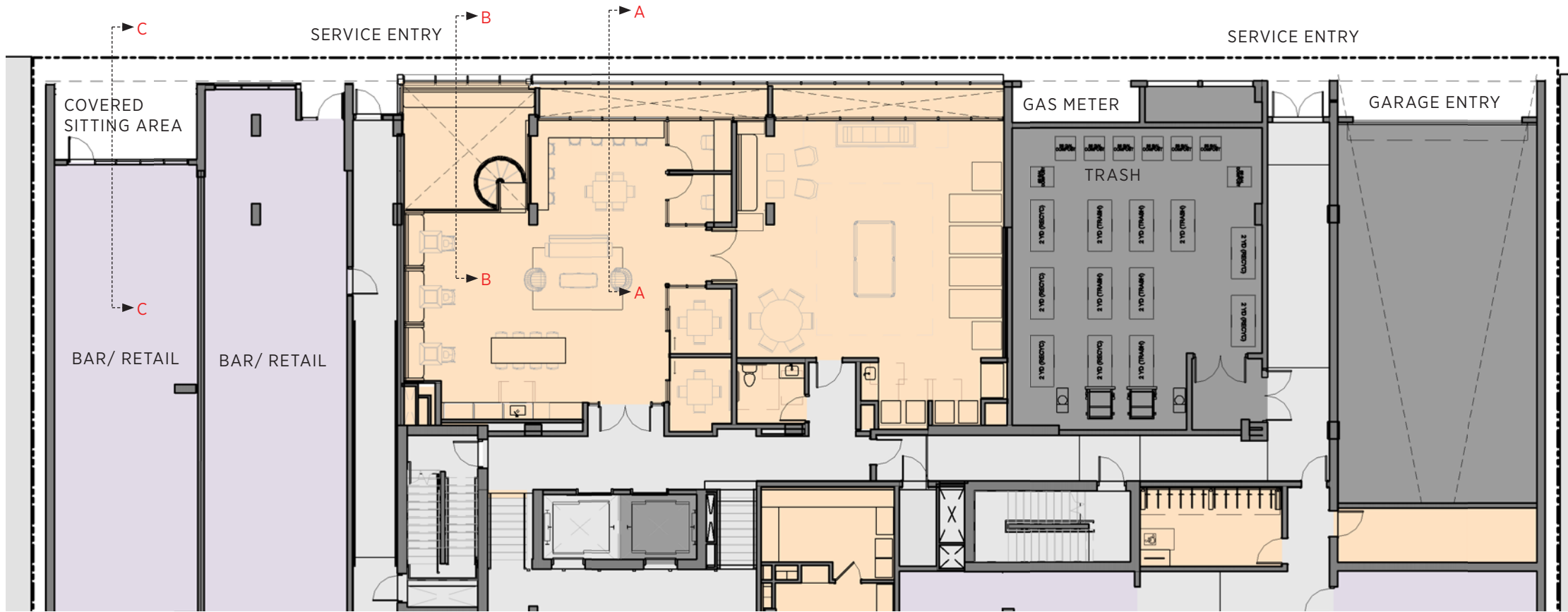
Active Alley Precedent – International District Seattle



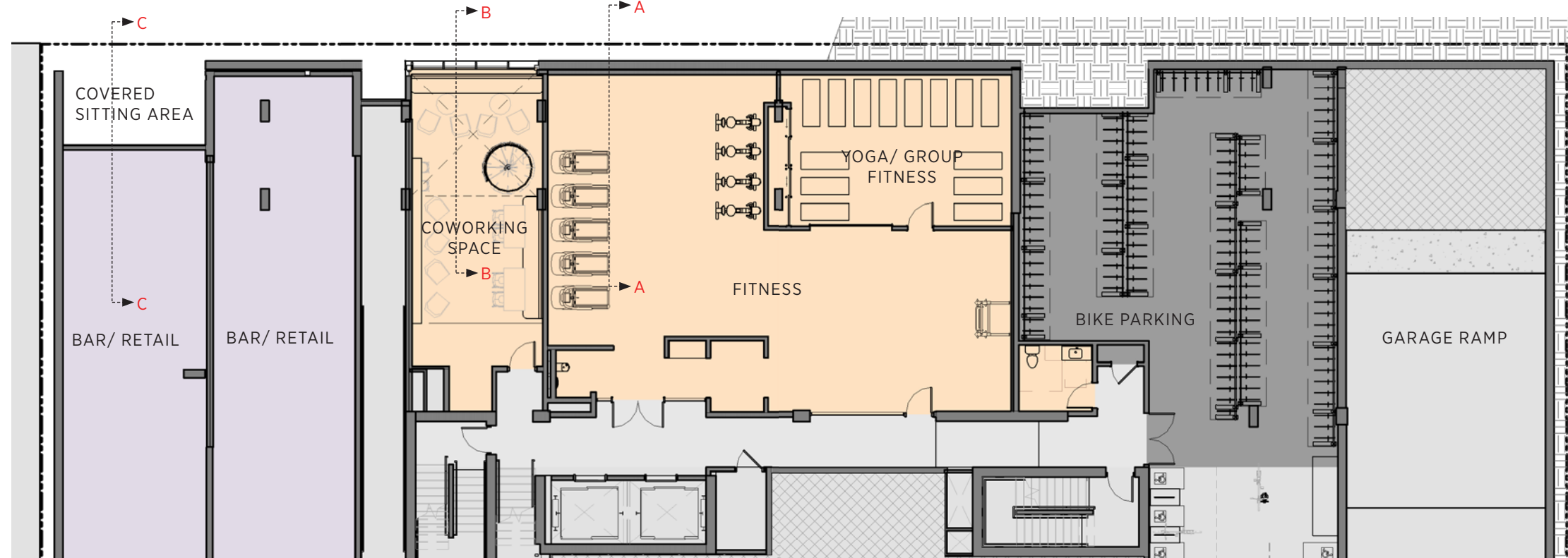
UPPER ALLEY MEZZANINE PLAN AT EDG II



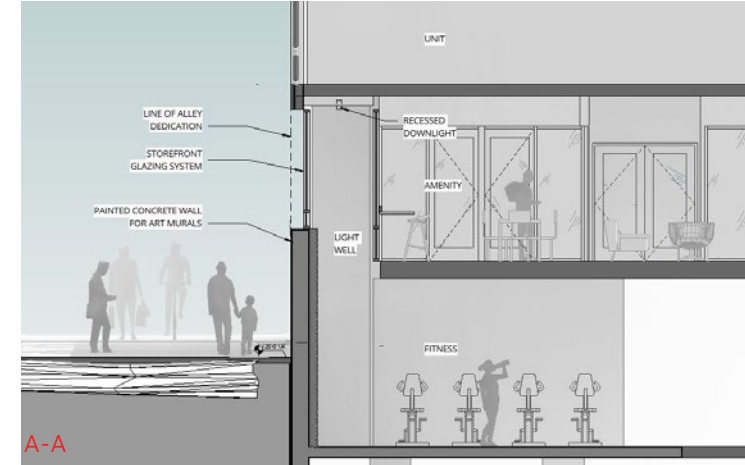
LOWER ALLEY MEZZANINE PLAN AT EDG II



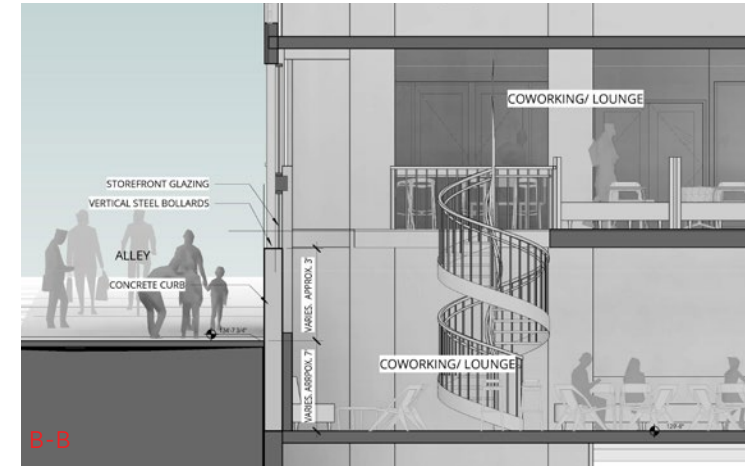
REVISED UPPER ALLEY MEZZANINE PLAN



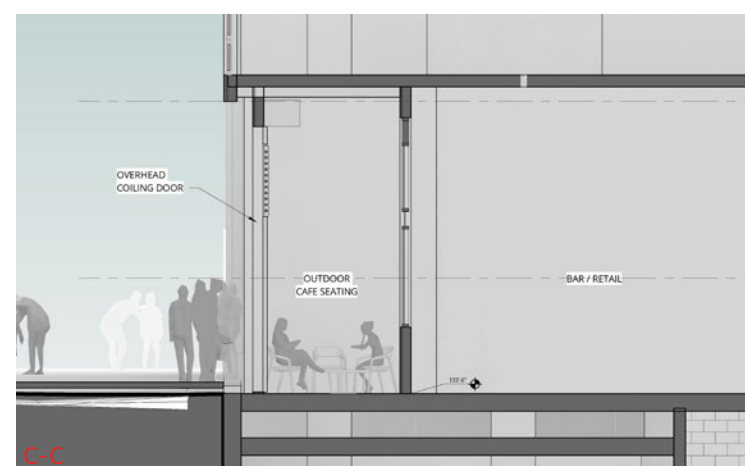
REVISED LOWER ALLEY MEZZANINE PLAN



ALLEY SECTION AT RESIDENT AMENITY LOUNGE



ALLEY SECTION AT DOUBLE HEIGHT COWORKING SPACE



ALLEY SECTION AT PARK FACING RETAIL SPACE

EDG RESPONSE - ALLEY

BOARD GUIDANCE

The Board supported the pushing and pulling of the building edges at the alley, but questioned whether the screening elements were diminishing this effect and provided direction to explore creating additional recesses at entrances.

RESPONSE

Alley facing retail spaces step inward creating alcoves and opportunities for sheltered outdoor seating. Double height, interior amenity spaces adjacent to the alley accentuate a perception of depth and layers visible from the alley. Screening elements discussed at EDG have been scaled back to provide no more than the most essential protection from passing vehicle traffic. Large, upper level windows in resident dwelling units foster strong visual connections with the park and plaza below.

RELEVANT DESIGN GUIDELINES

B-1 Respond to the Neighborhood Context

Develop an architectural concept and compose the major building elements to reinforce desirable urban features existing in the surrounding neighborhood.

B-3.1 Building Orientation

Locate parking and vehicle access away from entries, open space, and street intersections considerations.

C-6 Develop the Alley Facade

To increase pedestrian safety, comfort, and interest, develop portions of the alley facade in response to the unique conditions of the site or project.



Active Alley Precedent – Melbourne, Australia



ALLEY PERSPECTIVE FROM REGRADE PARK AT EDG



UPDATED ALLEY PERSPECTIVE FROM REGRADE PARK - SCALES BACK PREVIOUSLY PROPOSED SCREENING AND EMPHASIZES EYE LEVEL VISUAL CONNECTIONS BETWEEN INTERIOR AND EXTERIOR SPACES.



ALLEY FRONTAGE OF PROPOSED DEVELOPMENT AS SEEN FROM THE EAST EMPHASIZES EXTENSIVE GLAZING FOR STRONG VISUAL CONNECTIONS REGRADE PARK

BOARD GUIDANCE

The Board agreed that the studies showing alternate screening elements had promise and directed the design team to continue studying this condition using successful precedents from other cities to support their proposed choices.

RESPONSE

The team investigated various screening options including staggered, standing steel panels, a highly textured board-formed concrete retaining wall, and smooth concrete wall painted with themed graphics inspired by local street art. The street art option was felt to be most in keeping with the spirit of the place. Expansive, store-front glazing along alley facing amenity spaces encourages visual connections between alley and building residents.

RELEVANT DESIGN GUIDELINES

C-1 Promote Pedestrian Interaction

Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalk-related spaces should appear safe, welcoming, and open to the general public.

C6.II Pedestrian Environment

Create a comfortably scaled and thoughtfully detailed urban environment in the alley through the use of well-designed architectural forms and details, particularly at street level.

D-1.I Pedestrian Enhancements

Where a commercial or mixed-use building is set back from the sidewalk, pedestrian enhancements should be considered in the resulting street frontage.



Mural Precedent – Neon Boots Bar - Belltown



ALLEY VEHICLE BARRIER STUDY - STAGGERED STEEL PLATE



ALLEY VEHICLE BARRIER STUDY - TEXTURED BOARD FORMED CONCRETE



PROPOSED ALLEY VEHICLE BARRIER STRATEGY - SMOOTH CONCRETE WITH STREET ART MURAL TO BE DEVELOPED BY LOCAL ARTIST



Street Art Precedent - Belltown Seattle



Street Art Precedent - Belltown Seattle



Alley Mural Precedent Belltown - Belltown Seattle



Alley Mural Precedent Belltown - Belltown Seattle

PROPOSED MATERIAL ARTICULATION STRATEGY - CONSISTENT COLOR ACROSS “B” PODIUM



Ground floor commercial space within the “B” podium is equipped to be divided into as many as five independent retail bays. The number of future tenants is unknown at this time. It has been determined that a uniform brick background color, that relies on tenant customization of paintable canopy and frame elements, provides the most flexible vehicle for businesses to express their identity at the street level.

MATERIAL ARTICULATION STUDY – ACCENT COLOR AT LOBBY LEASING



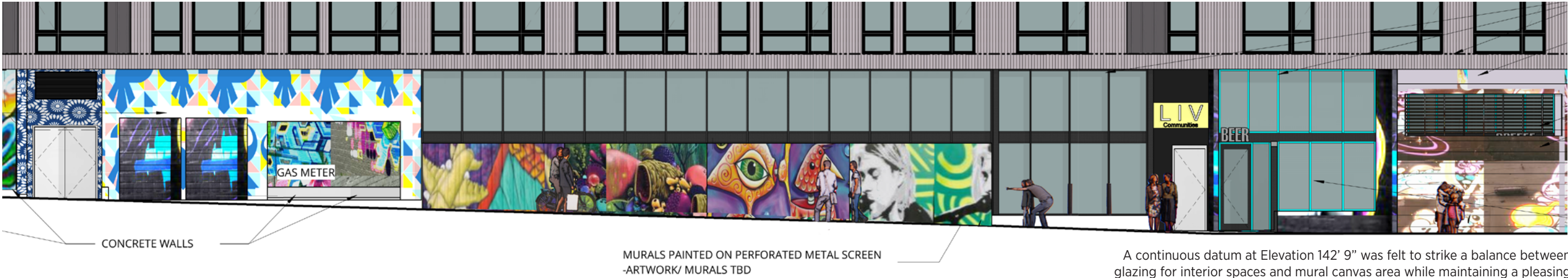
An accent color corresponding with the extents of the interior Lobby/Leasing bay provides some variation at the “B” podium, but was felt to create an awkward proportion within the overall building composition.

MATERIAL ARTICULATION STUDY - MULTIPLE COLORS AT “B” PODIUM

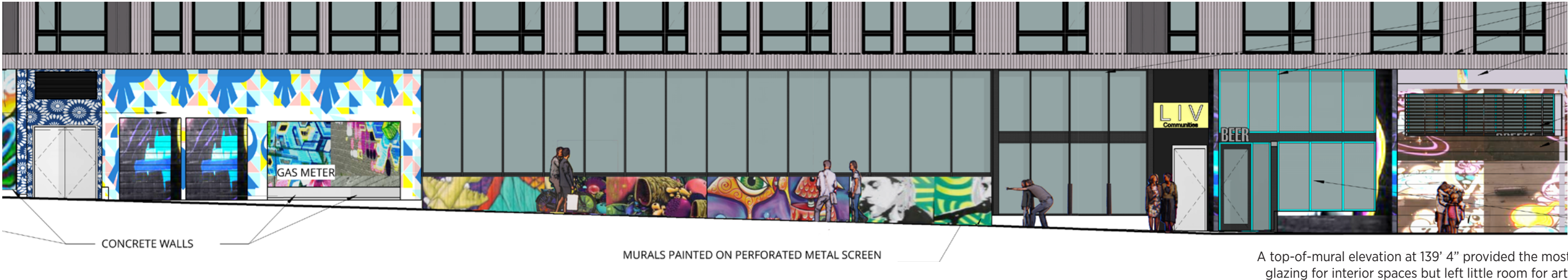


A variety of brick colors across the “B” podium has the potential to create visual interest at street level, but creates divisions in the facade that may not correspond to the limits of future tenant bays.

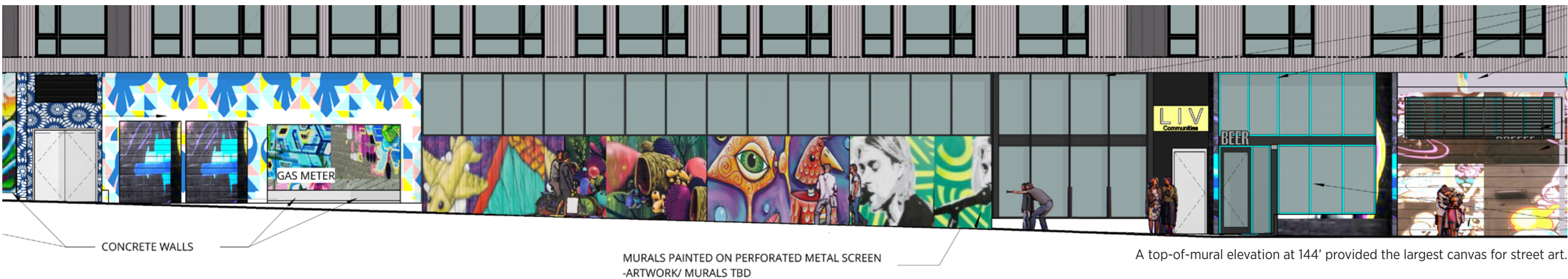
PROPOSED ALLEY VEHICLE BARRIER STRATEGY – CONTINUOUS DATUM



ALLEY VEHICLE BARRIER STUDY – MAX GLAZING



ALLEY VEHICLE BARRIER STUDY – MAX MURAL



DEPARTURE 1 - OVERHEAD WEATHER PROTECTION

REQUIREMENT

- SMC 23.49.018
- 1. Continuous overhead weather protetion is required along entire street frontage, except if interrupted by a landscaped area at least two feet in width
 - 2. Overhead weather protetion must extend horizontally a minimum of 8 feet from building face.
 - 3. Lower edge of overhead weather protetion must be a minimum of 10 feet and a maximum of 15 feet above sidewalk elevation.

REQUEST

- 1. We are requesting a departure to reduce the canopy cover provided cover by 41' or 23%. The project provides 136' of non-contiguous non-standard canopies, which is 77% of the required 177'-5" required length.
- 2. We are requesting a departure to reduce the canopy depth provided by 1'6" or 19%. The provided canopies extend horizontally 6'-6", compared to the 8'-0" required.
- 3. Canopies would also range in height from 7'-9" to 9'-3" above the sidewalk, which is 2'-3" to 9" below the standard canopy height.

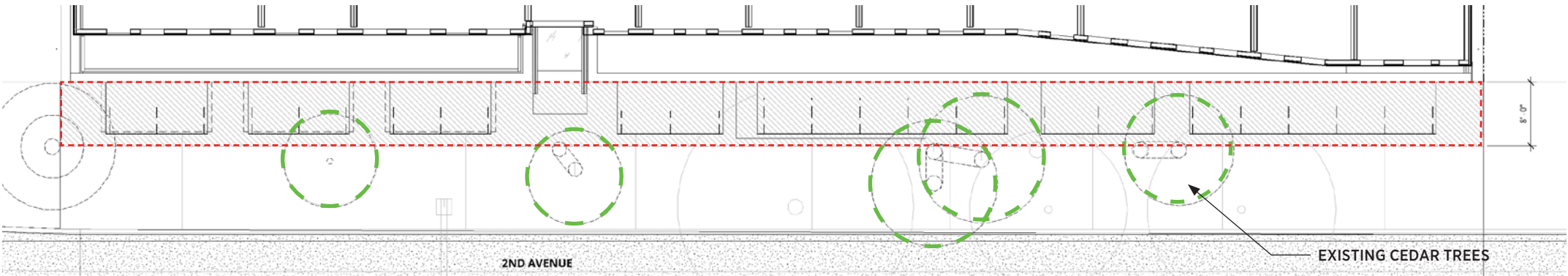
JUSTIFICATION & RELEVANT GUIDELINES

The existing street trees in the sidewalk/right of way are required to stay per SDOT direction, and would interrupt continuous weather protection.

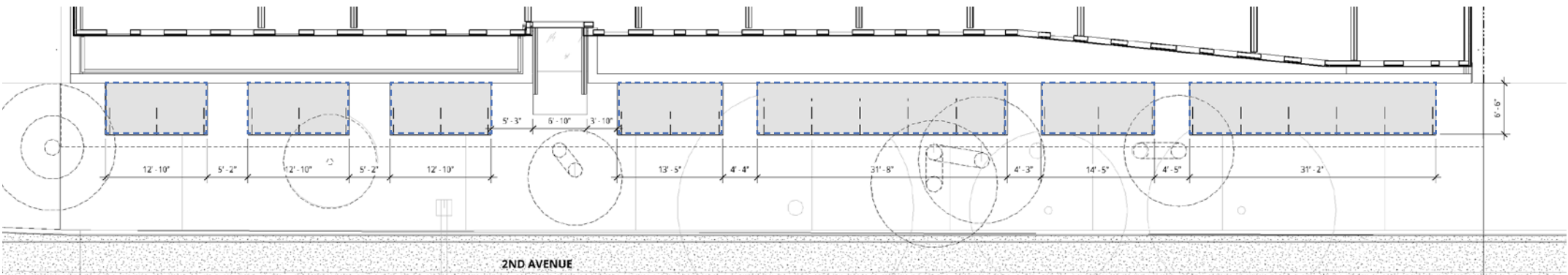
Existing businessescurrently on site each have individual articulated custom retractable awnings and storefronts, 7'-0" to 8'-0" above the sidewalk. The proposed canopies follows a similar pattern in plan and elevation and will better follow the design guidelines and character of this retail frontage along Second Avenue.

A-1 Site Planning & Massing: Respond to the physical environment
Develop an architectural concept and compose the building's massing in response to geographic conditions and pattern of urban form found nearby or beyond the immediate context of the buiding site

B-1 Respond to Neighborhood Context
Belltown has a rich architectural context,with a wide variety of architectural styles represented within the neighborhood. Contemporary methods of building can potentially create visual conflicts with older buildings due to differences in scale, massing, and degrees of articulation. Sometimes new buildings add exteriors that mimic past architectural styles, creating a sense of unauthentic design. These guidelines emphasize the concept of historical continuity, or in other words, the relationship of structures over time. This relationship encourages diversity within a coherent whole, reinforcing the unique and evolving character of Belltown.



AREA REQUIRED TO HAVE CONTINUOUS OVERHEAD WEATHER PROTECTION OUTLINED IN RED



PROPOSED NON-CONTIGUOUS OVERHEAD WEATHER PROTECTION OUTLINED IN BLUE



PROPOSED NON-CONTIGUOUS OVERHEAD WEATHER PROTECTION OUTLINED IN BLUE STEPS BELOW THE REQUIRED 10' ELEVATION TO PROVIDE A MORE INTIMATE SEATING EXPERIENCE



MANDATED 8' PROJECTION OF OVERHEAD COVER FROM BUILDING FACE WOULD ENCROACH ON EXISTING STREET TREES.

DEPARTURE 2 - GENERAL SETBACK LIMITS

REQUIREMENT

SMC 23.49.162.B.2.a

A maximum area of the facade between 15 and 25 feet above the street frontage is allowed to be setback a total amount of 5 times the length of the building.

5 = averaging factor on Class I Pedestrian streets

Max area of facade allowed to be setback = 177'-9" x 5 = 889 sqft

REQUEST

The project proposes a setback area of approximately 1500 sqft and is requesting for a departure to increase the setback area by 471 sqft or 53%.

JUSTIFICATION & RELEVANT GUIDELINES

The Design Review Board during EDG has requested a setback to the rest of the building from the ground level facade on Second Avenue to better pronounce the base from the upper massing.

Downtown zoning limits the amount of setback area on lower stories allowed between 15 and 25 feet above the sidewalk to 889 square feet. The applicant proposes to set back 1,777 square feet at the request of the DRB at EDG. The building break created by the setback highlights the ground-level retail spaces and creates relief between the ground-level and upper-level building mass to reduce the appearance and feeling of bulk.

A-1 Site Planning and Massing: respond to the physical environment
Develop an architectural concept and compose the building's massing in response to geographic conditions and pattern of urban form found nearby or beyond the immediate context of the building site

B-2.1 Analysing height, bulk & scale
Compose the massing of the building to create a transition to the height, bulk, and scale of development in nearby lessintensive zones. New buildings should be compatible with the scale of development surrounding the project site.

B-2.3: Reduction of bulk.
Reducing the bulk of the buildings upper floors Buildings should meet the street with human-scale proportions and detailing that is responsive to patterns of urban form.



DEPARTURE 3 - SIDE SETBACK

REQUIREMENT

SMC 23.49.166

In DMR zones outside South Downtown, except in DMR/R 85/65, setbacks are required from side lot lines that area not street lot lines to all portions of the structure above a height of 65 feet.

REQUEST

- 1. South: Request to allow a portion of the 7th and 8th story of the building to encroach within the 20' setback to the south. The encroachment ranges between 18'-6" and 9'-11" for about 19'-1" in height. The remainder 4'-0" is parapet at the perimeter only
- 2. North: Request to allow a portion of the 7th story of the building to encroach within the 20' setback to the north. The encroachment ranges between 18'-6" and 9'-11" for about 7'-2" in height. The remainder 3'-8" is parapet at the perimeter only. A portion of the 8th floor amenity wall also encroaches about 6" x 14'-5" within the setback.

JUSTIFICATION & RELEVANT GUIDELINES

The proposed project is mid-block between an existing eight story senior housing and an one-story commercial structure (future 8 story building). The proposed departure will allow the project to bridge the massing with its neighbors and provide visual continuity to the streetscape of Belltown.

The proposed encroachment is partially offset by the area of the setback from 2nd Avenue, the increased area of the setback on the 8th floor and the full area of the light wells.

A-1 Site Planning & Massing: Respond to the physical environment

Develop an architectural concept and compose the building's massing in response to geographic conditions and pattern of urban form found nearby or beyond the immediate context of the buiding site

B-1 Respond to Neighborhood Context

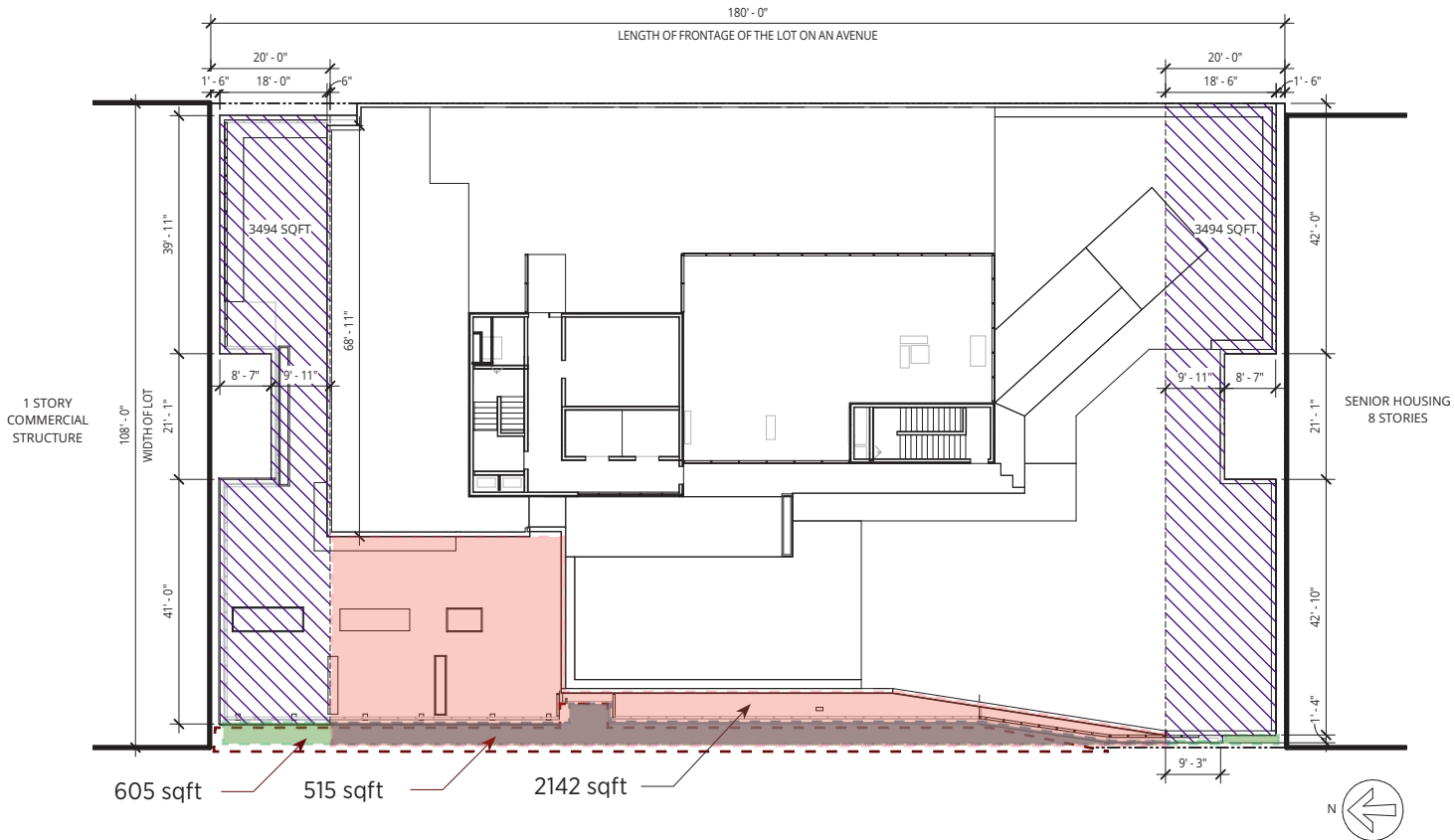
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B-2.1 Analysing height, bulk & scale

Compose the massing of the building to create a transition to the height, bulk, and scale of development in nearby lessintensive zones. New buildings should be compatible with the scale of development surrounding the project site.

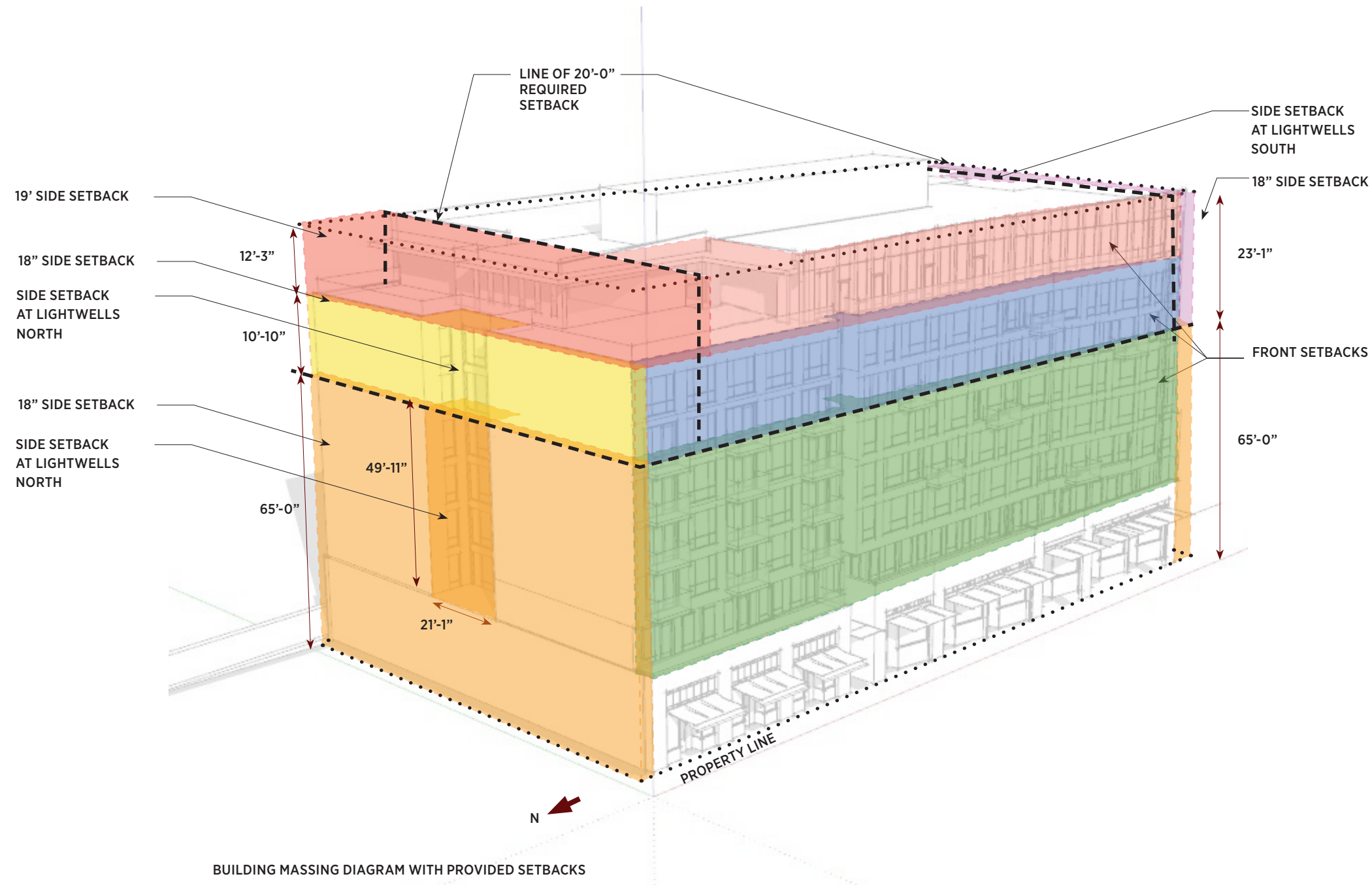


BUILDING ELEVATION DIAGRAM WITH REQUESTED ENCROACHMENT



BUILDING PLAN DIAGRAM WITH REQUESTED ENCROACHMENT AND OUTLINE OF PROVIDED SETBACKS

DEPARTURE 3 - SIDE SETBACK



SETBACKS PROVIDED

- 18" Side setback provided from level 1 up to 65' line on the North and South
 $2 \times (65'-0" \times 1'-6" \times 108'-0") = 21,060 \text{ cuft}$
 - Side setback provided by lightwell from level 2 up to 65' line on the North and South
 $2 \times (49'-11" \times 8'-7" \times 21'-1") = 18,066 \text{ cuft}$
 - Side setback provided from 65' line up to parapet North
 $10'-10" \times 1'-6" \times 108'-0" = 1,755 \text{ cuft}$
 - Side setback provided from 65' line up to parapet at North lightwell
 $10'-10" \times 8'-7" \times 21'-1" = 1,960 \text{ cuft}$
 - Side setback provided from parapet to sky North
 $12'-3" \times 19'-0" \times 108'-0" = 25,137 \text{ cuft}$
 - Side setback provided from 65' line up to parapet South
 $23'-1" \times 1'-6" \times 108'-0" = 3,740 \text{ cuft}$
 - Side setback provided from 65' line up to parapet at South lightwell
 $23'-1" \times 8'-7" \times 21'-1" = 4,177 \text{ cuft}$
 - Front setback provided from level 2 up to 65' line
 $605 \text{ sqft} \times 49'-11" = 30,200 \text{ cuft}$
 - Front setback provided from 65' line to parapet
 $515 \text{ sqft} \times 10'-10" = 5,579 \text{ cuft}$
 - Front setback provided from parapet to sky
 $2142 \text{ sqft} \times 12'-3" = 26,240 \text{ cuft}$
- TOTAL SETBACK PROVIDED = 137,914 CUFT

ENCROACHMENT REQUESTED

- North massing encroachment
 $3494 \text{ sqft} \times 10'-10" = 37,851 \text{ cuft}$
- South massing encroachment
 $3494 \text{ sqft} \times 23'-1" = 80,653 \text{ cuft}$

TOTAL ENCROACHMENT REQUESTED = 118,504 CUFT

The project is seeking to provide 19,410 cuft more setbacks than volume requested in encroachment.





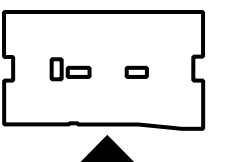
BUILDING DOCUMENTATION

BUILDING ELEVATIONS



WEST ELEVATION
Scale: 1/16" = 1'-0"

2ND AVE

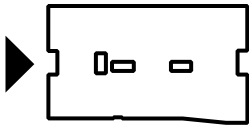


ALLEY

2ND AVE



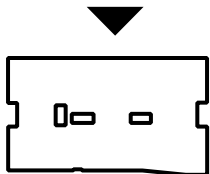
NORTH ELEVATION
Scale: 1/16" = 1'-0"

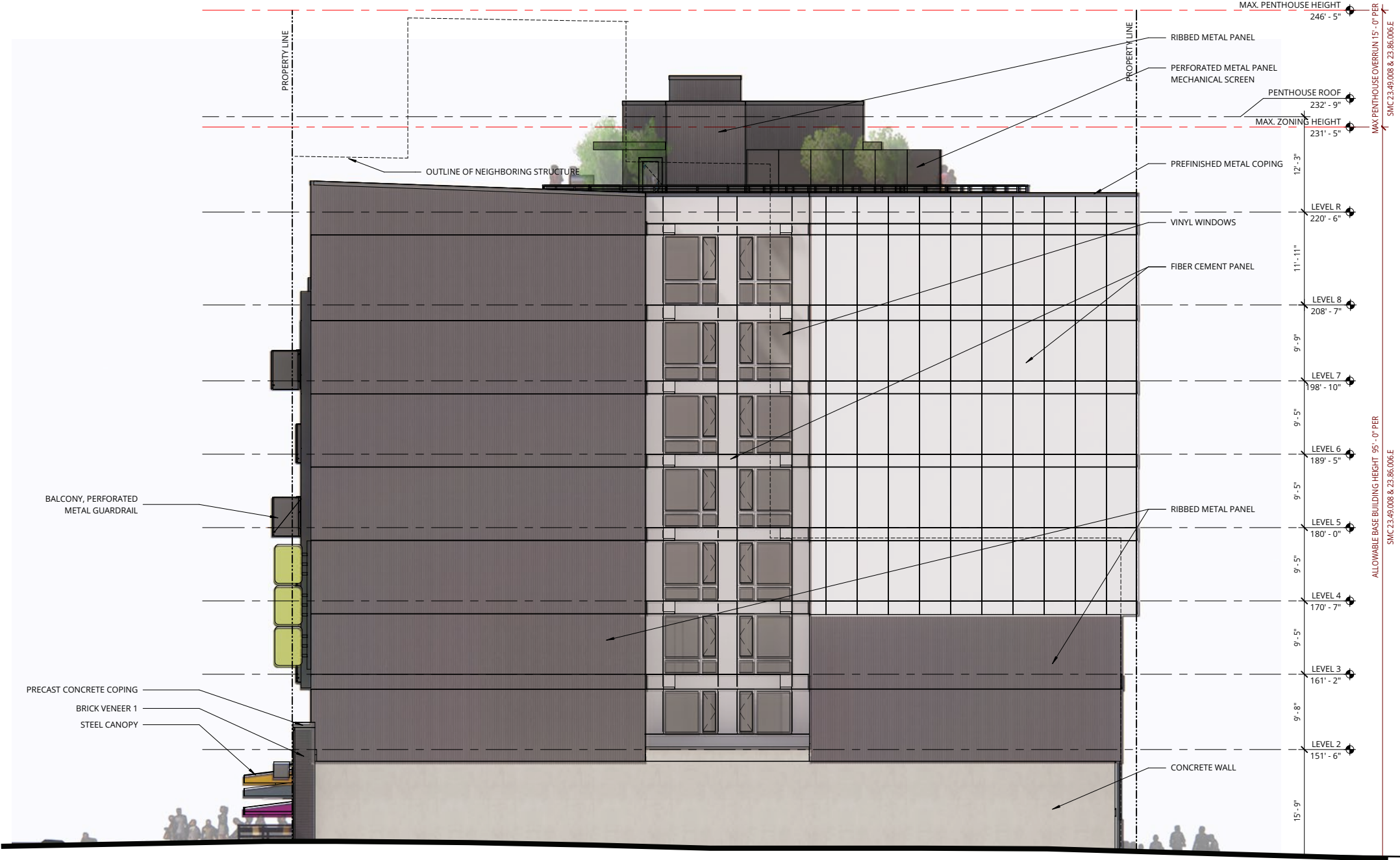


BUILDING ELEVATIONS

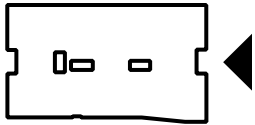


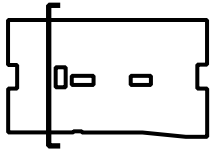
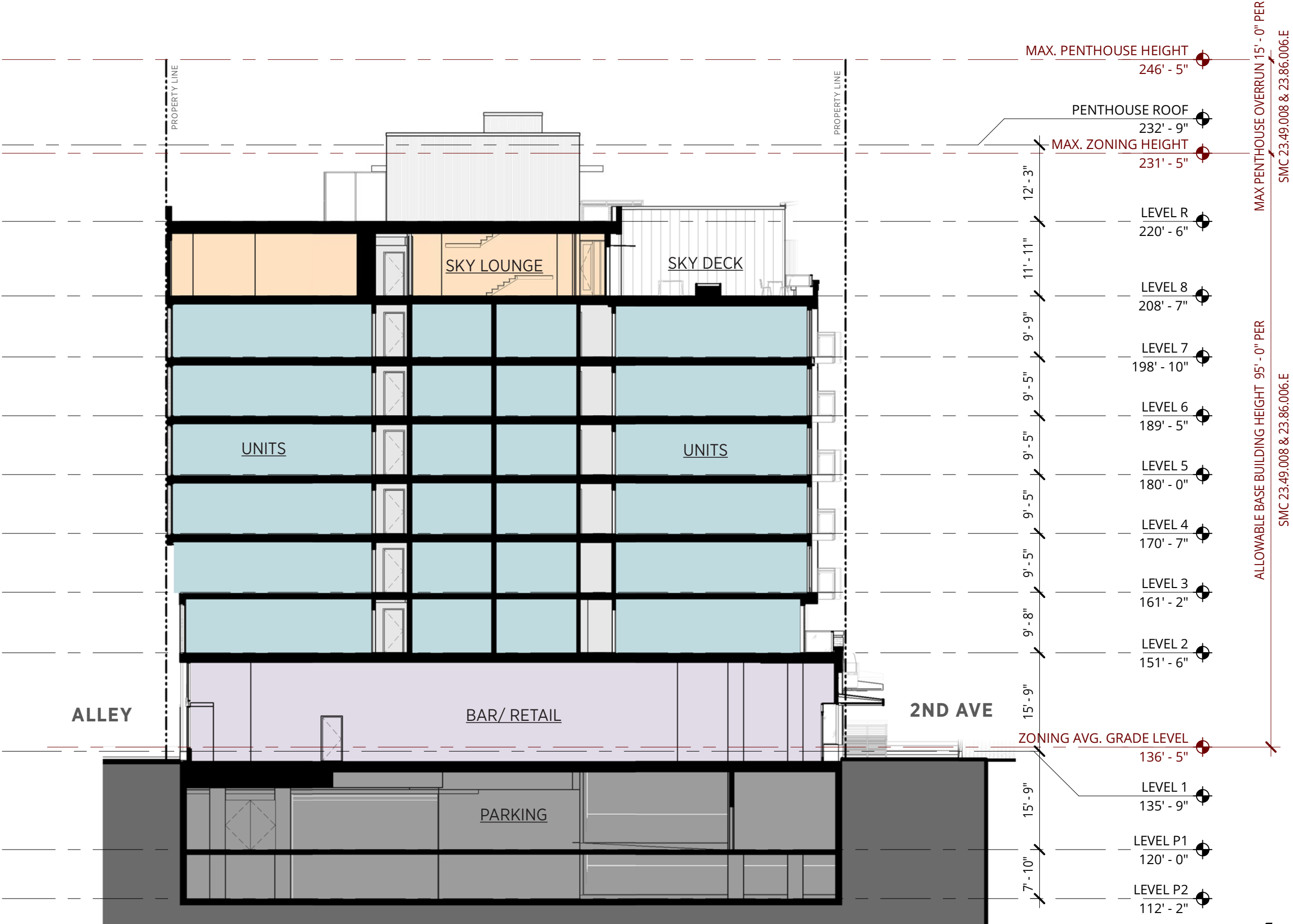
EAST ELEVATION
Scale: 1/16" = 1'-0"

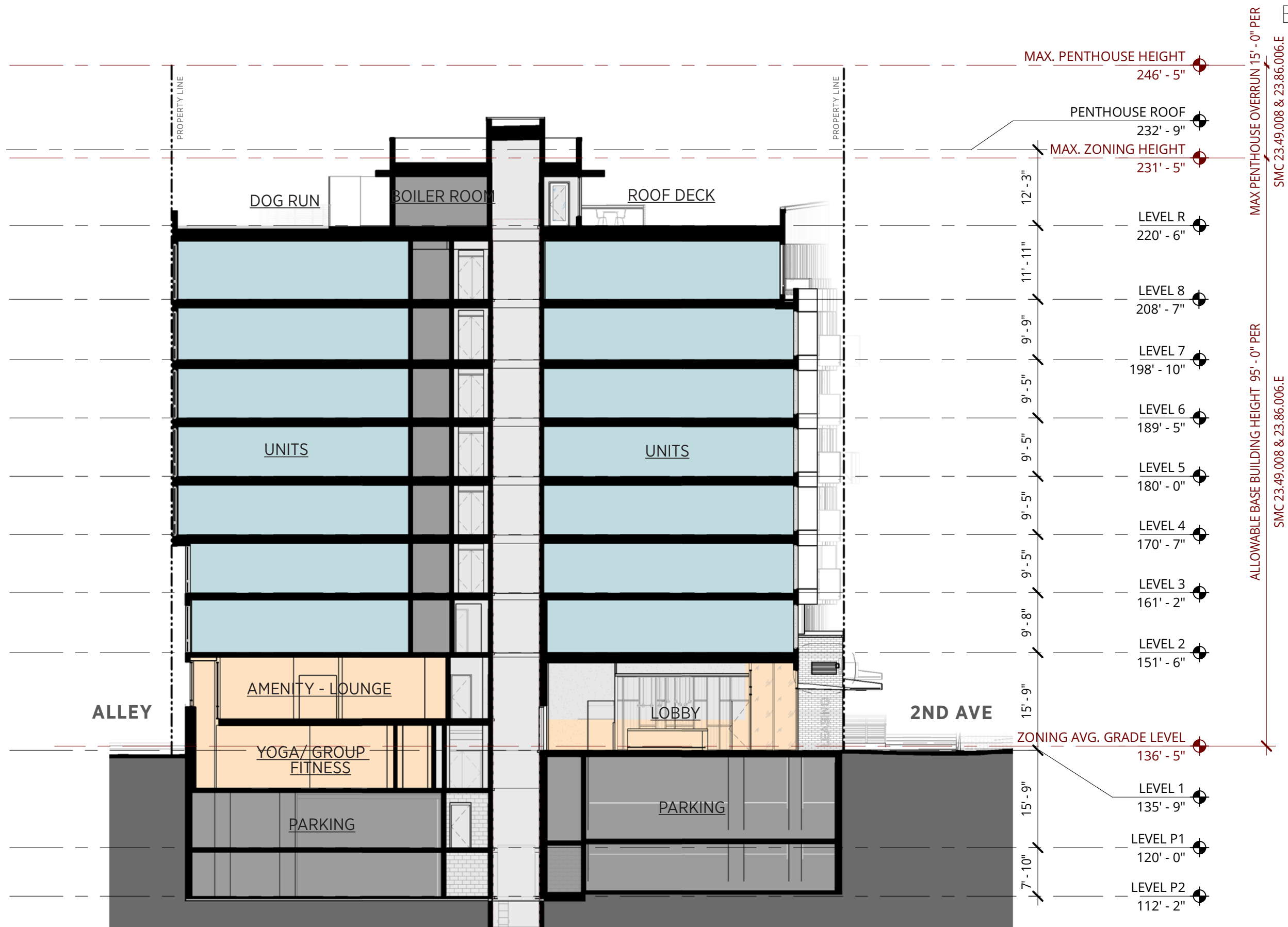




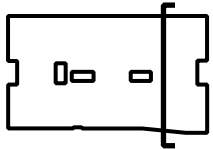
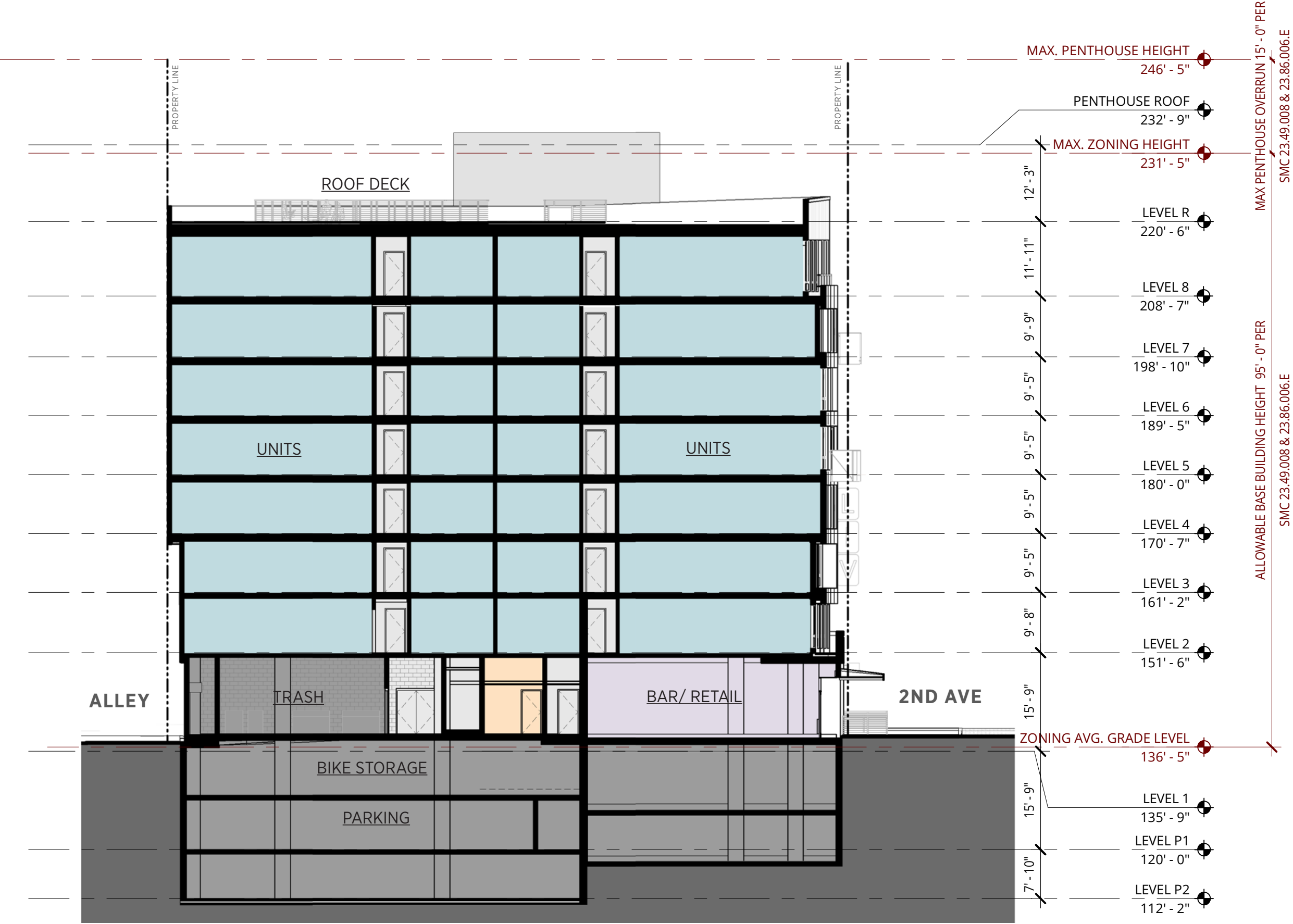
SOUTH ELEVATION
Scale: 1/16" = 1'-0"

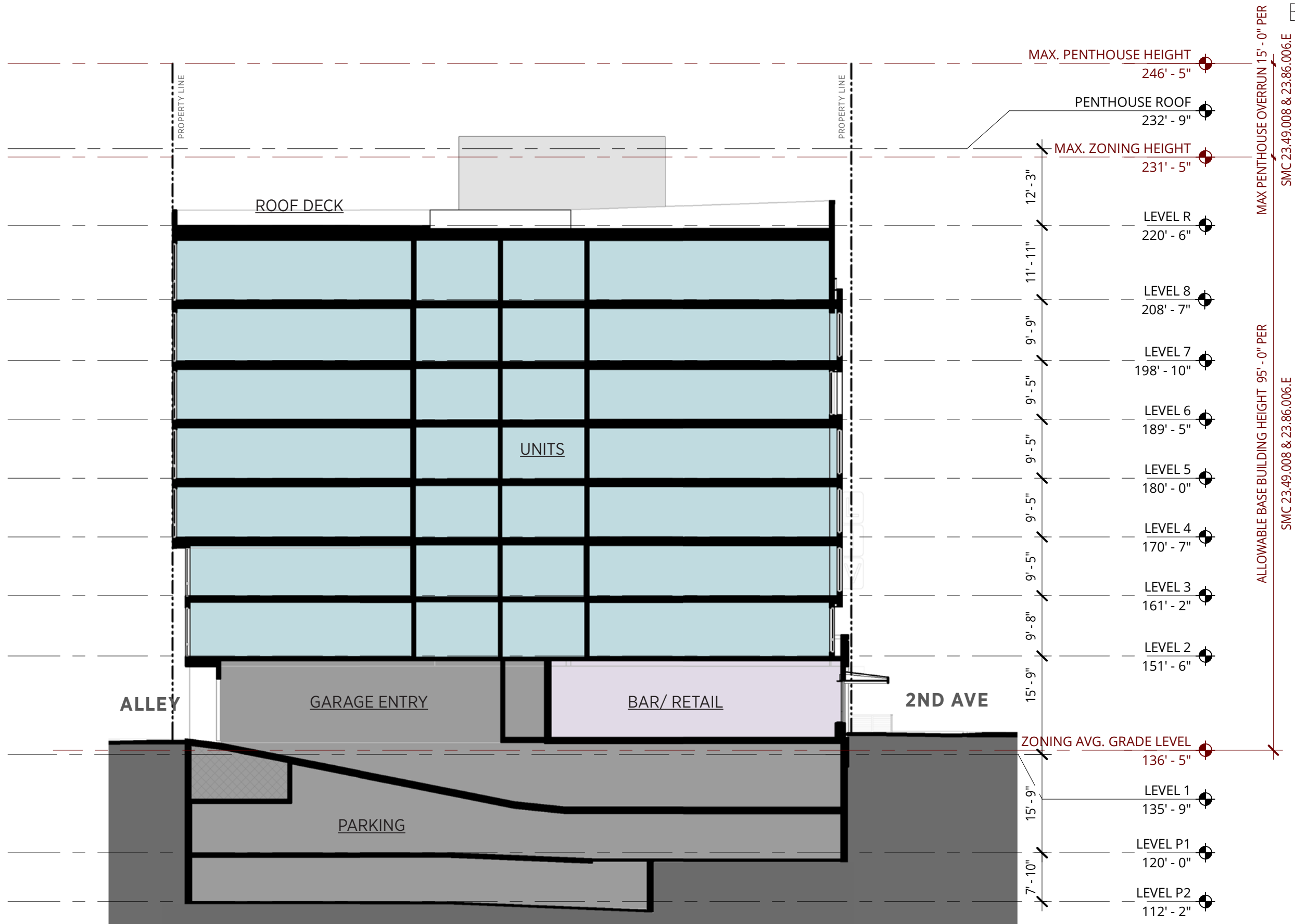




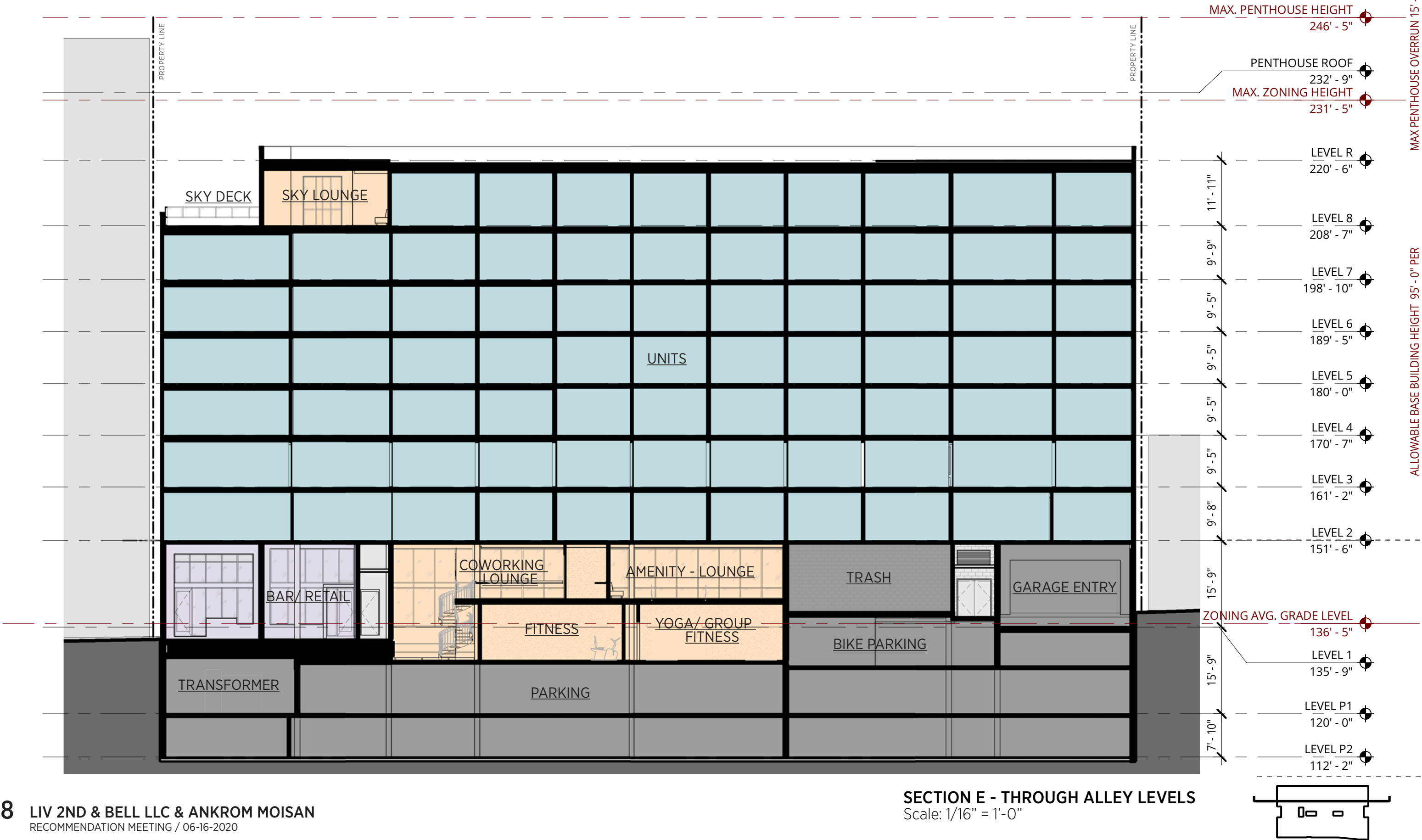


SECTION B - THROUGH ALLEY LEVELS
Scale: 1/16" = 1'-0"

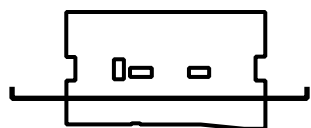
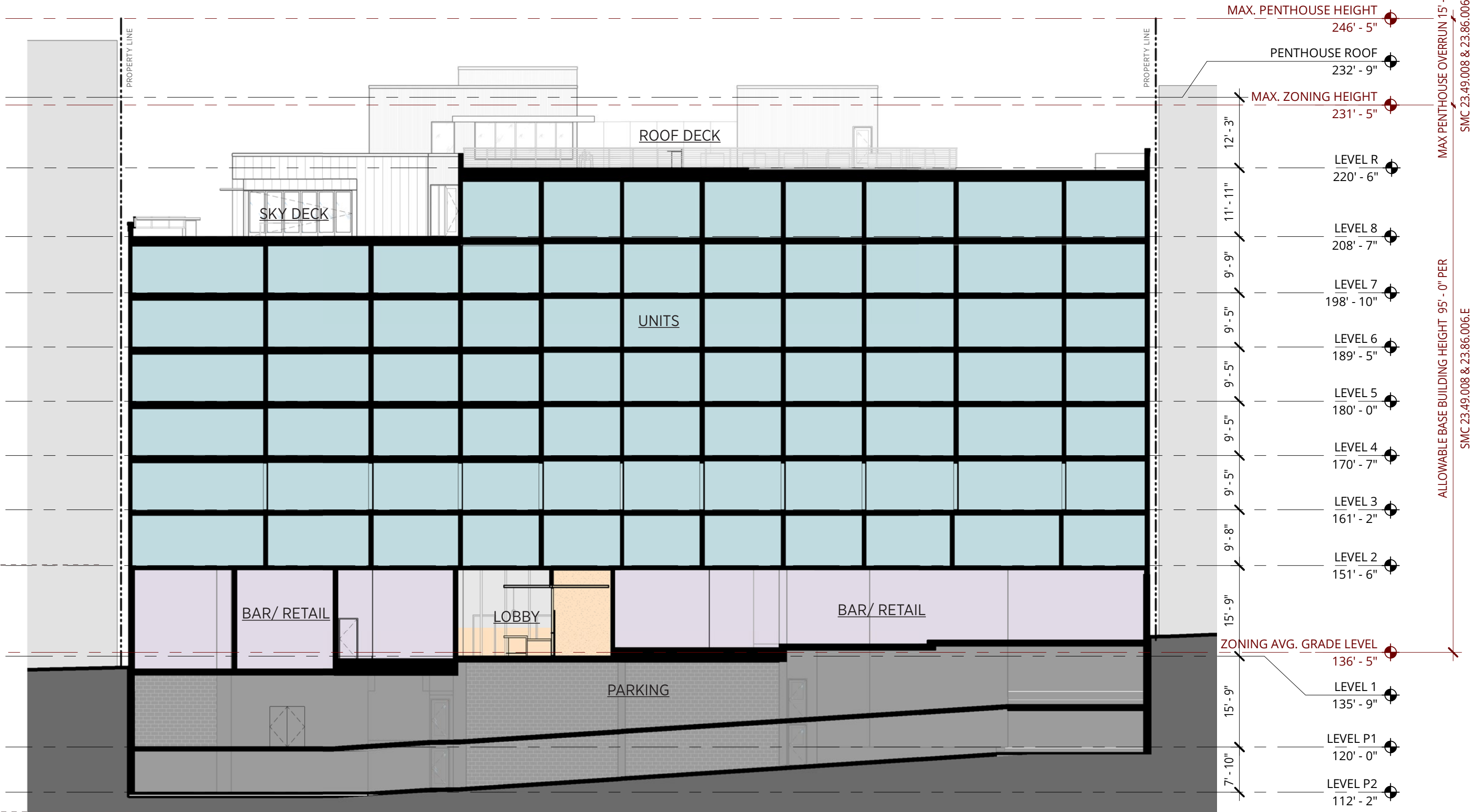




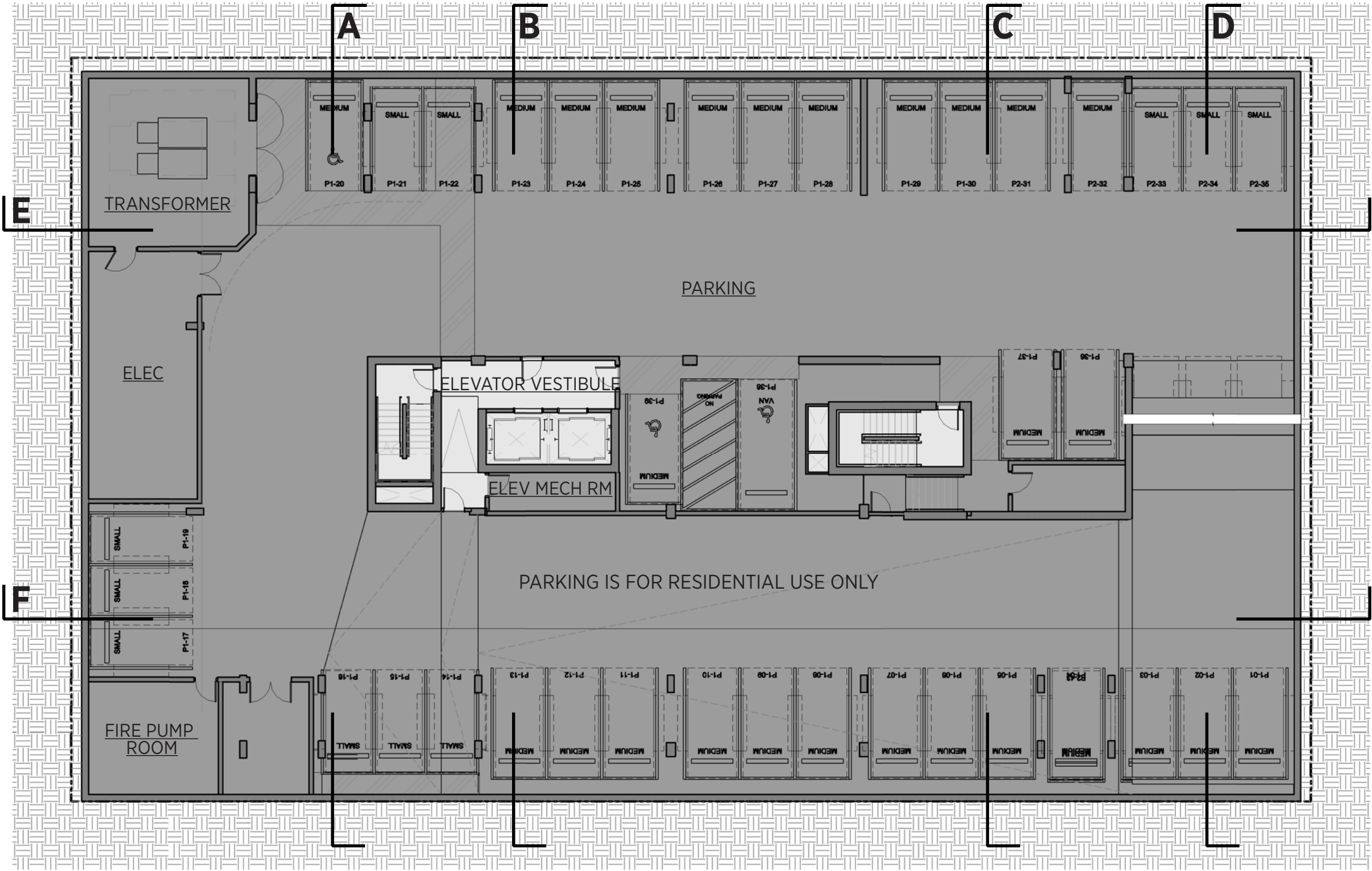
SECTION D - THROUGH PARKING RAMP
Scale: 1/16" = 1'-0"



BUILDING SECTIONS

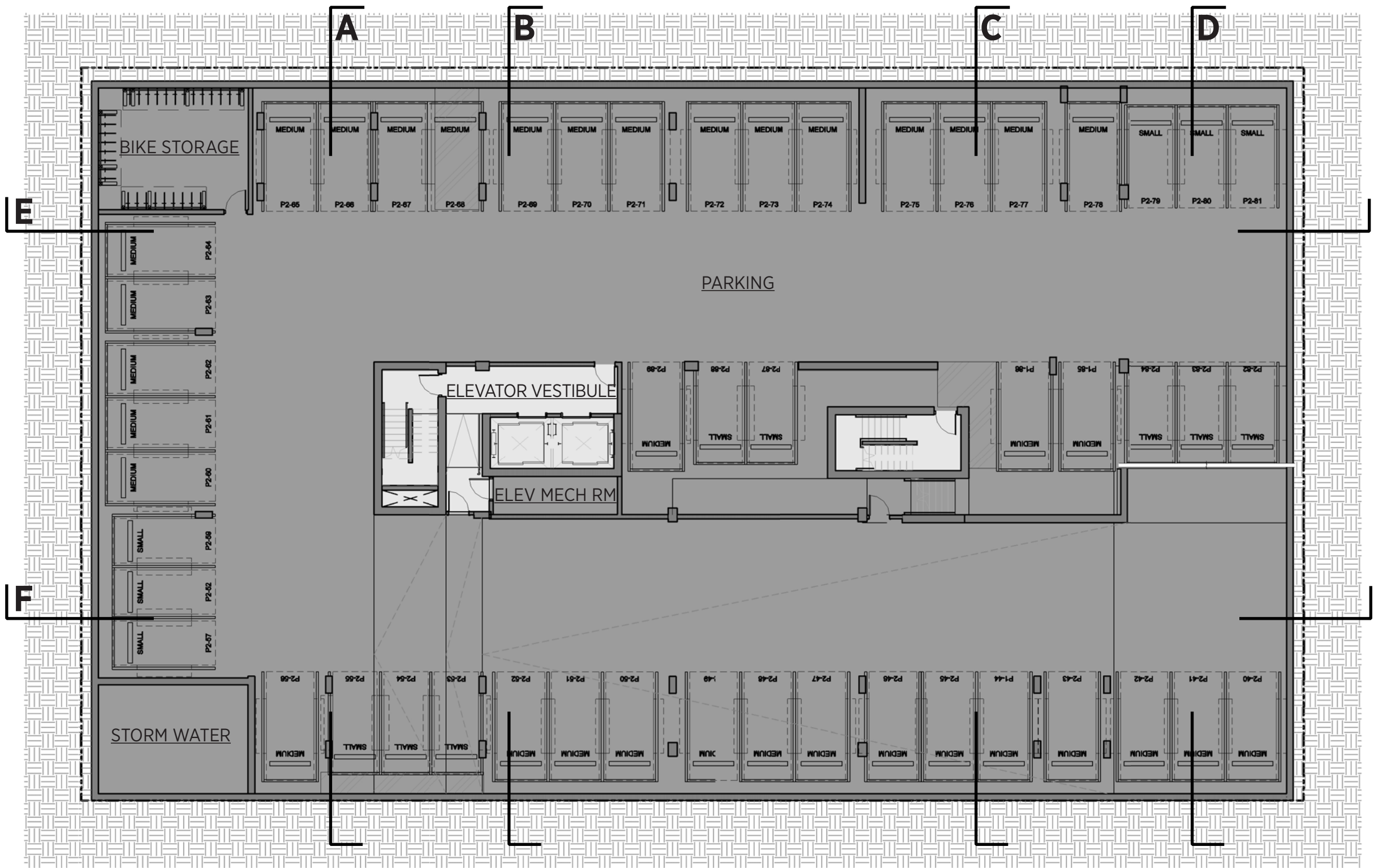


SECTION F - THROUGH WEST BARS
Scale: 1/16" = 1'-0"



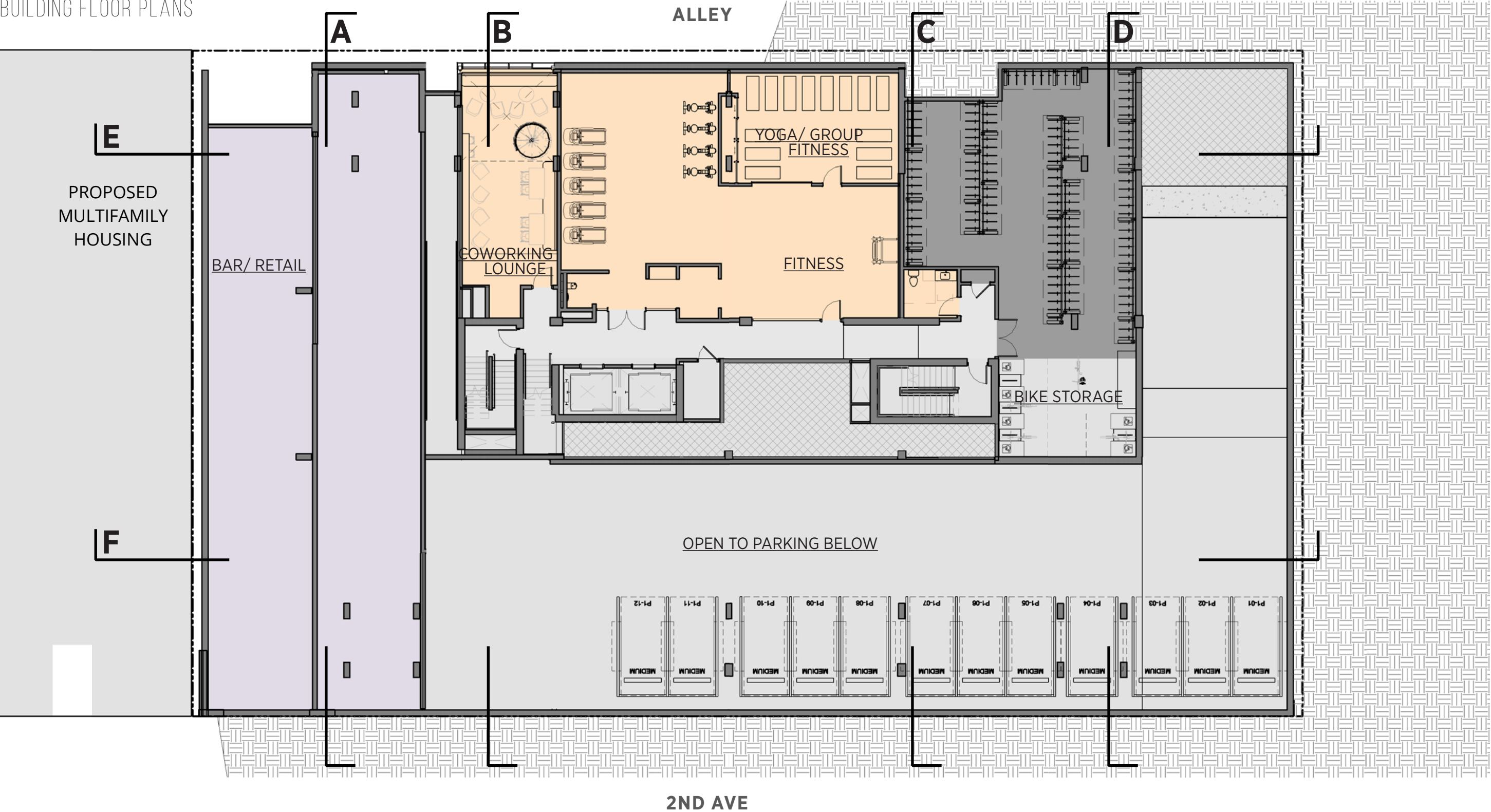
LEVEL P1 FLOOR PLAN
Scale: 1/16" = 1'-0"





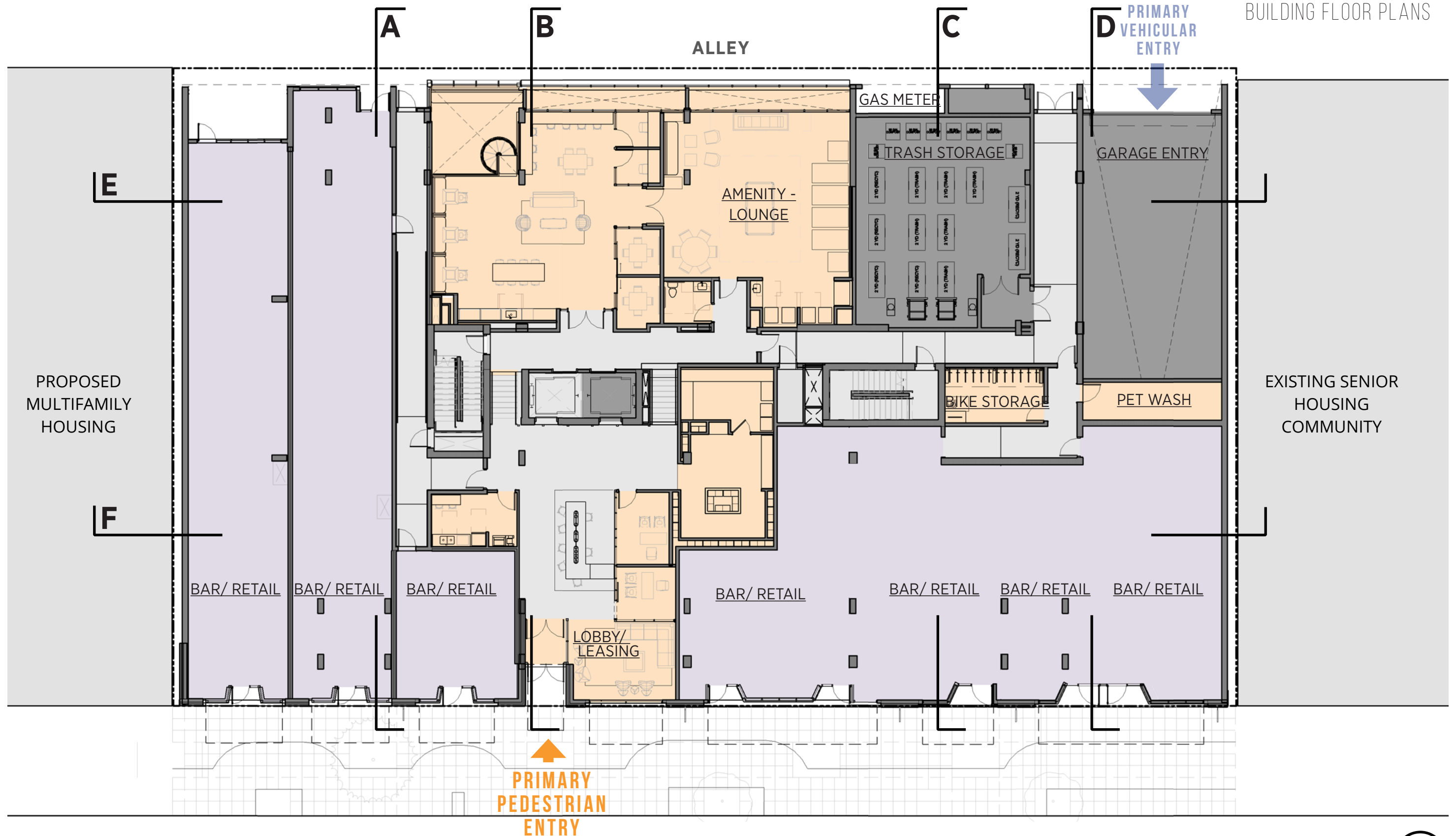
LEVEL P2 FLOOR PLAN
Scale: 1/16" = 1'-0"





LOWER ALLEY MEZZANINE FLOOR PLAN
Scale: 1/16" = 1'-0"

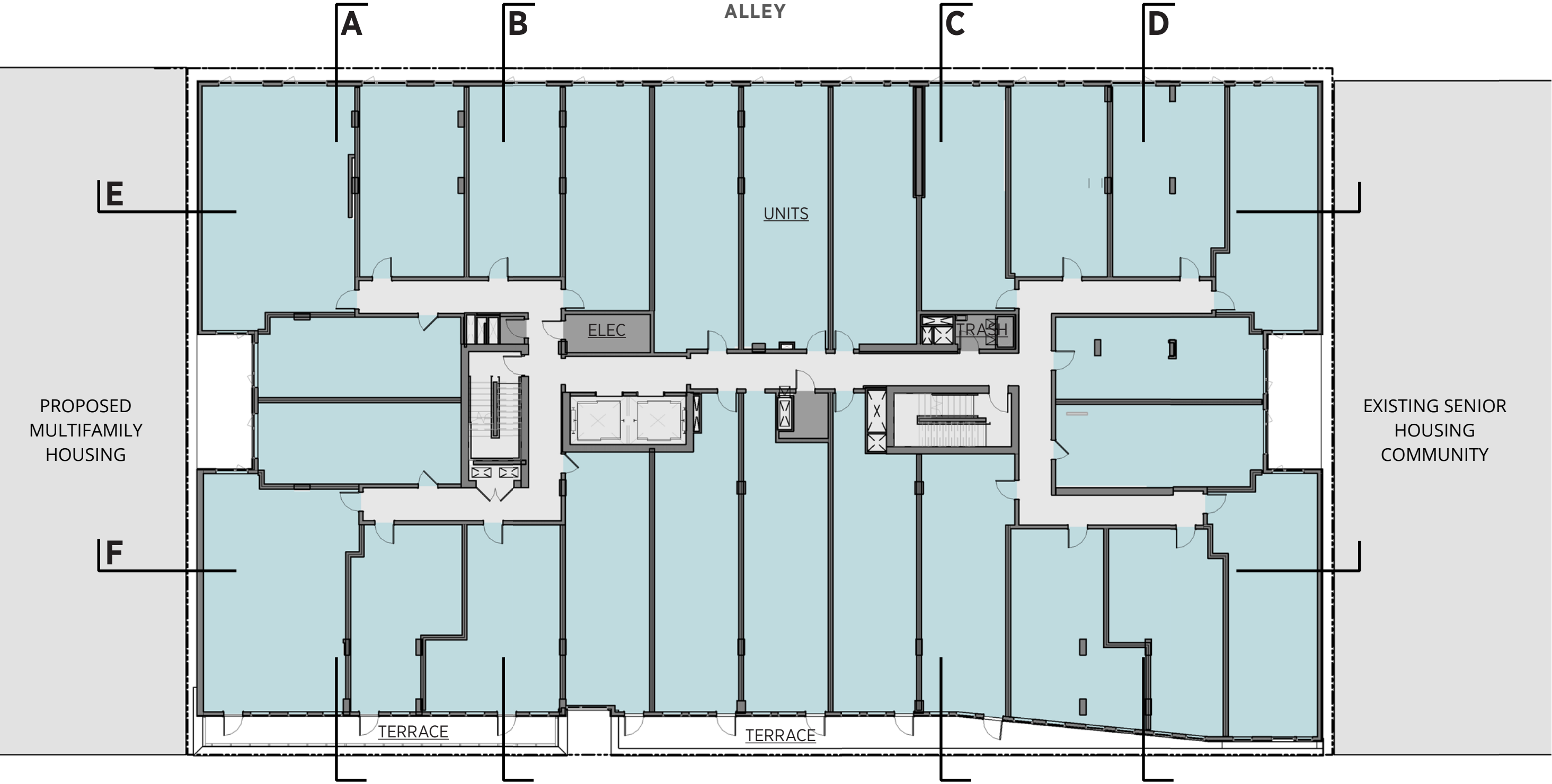




LEVEL 1 FLOOR PLAN
Scale: 1/16" = 1'-0"

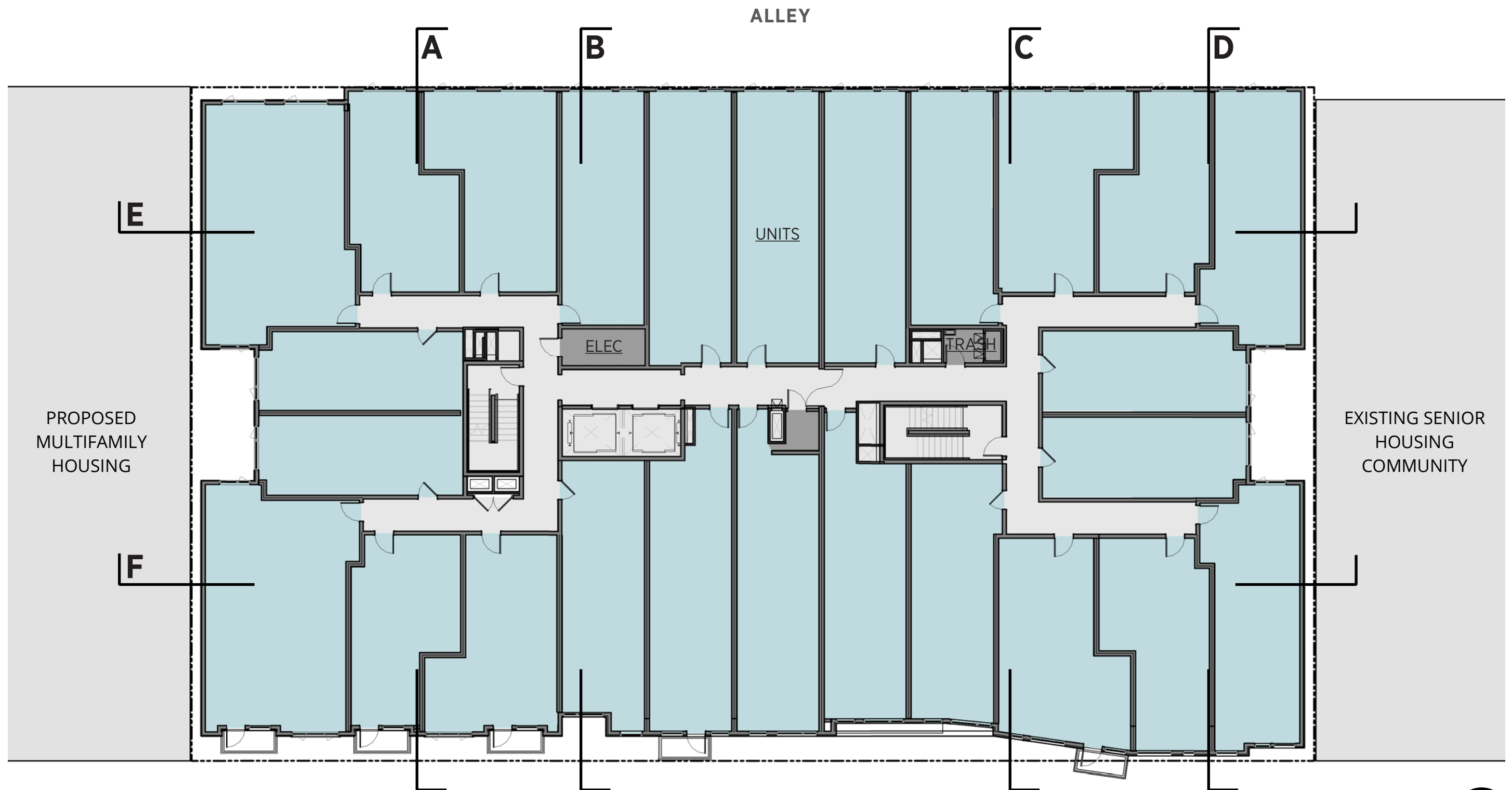
2ND AVE



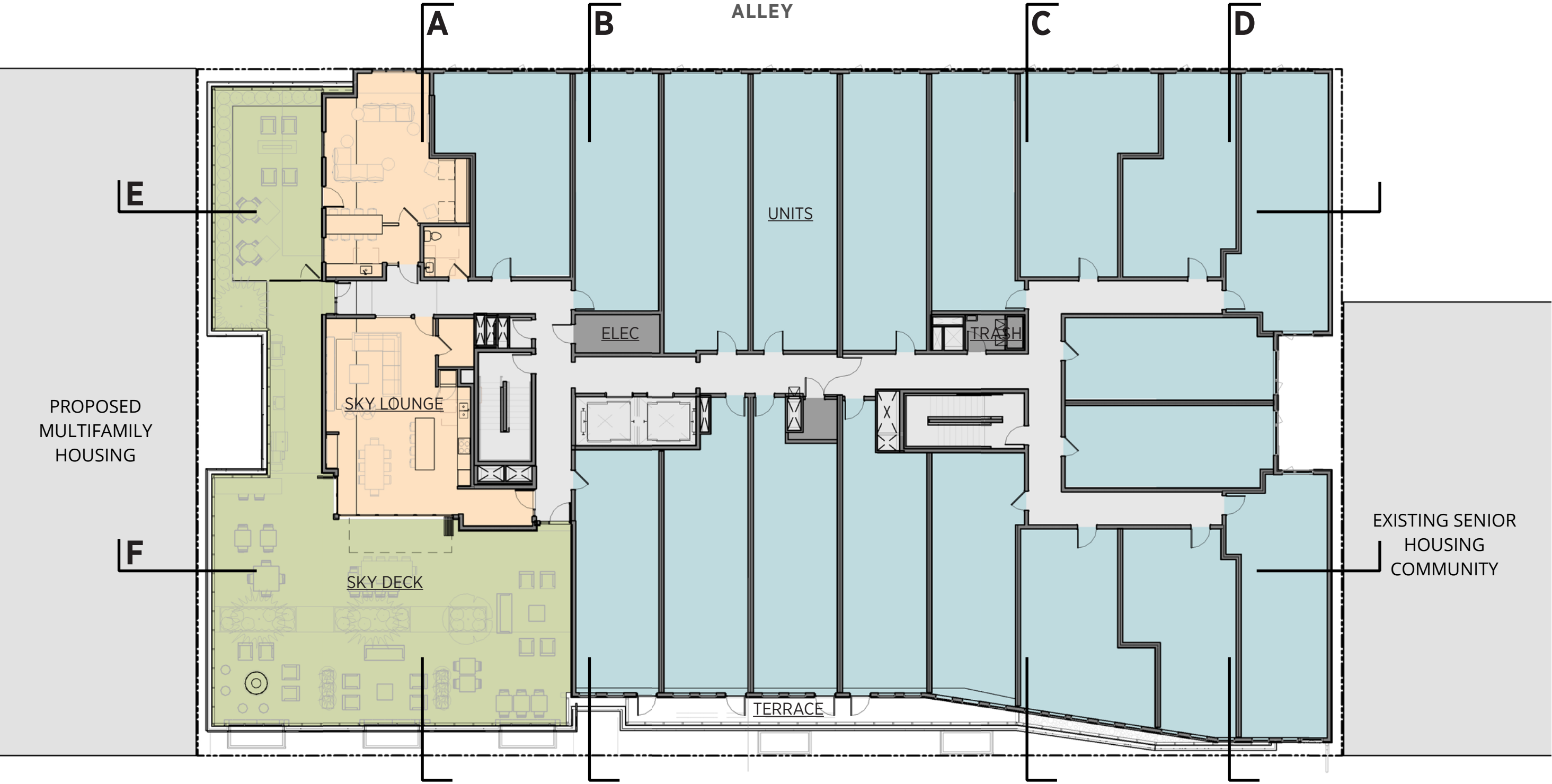


LEVEL 2 FLOOR PLAN
Scale: 1/16" = 1'-0"

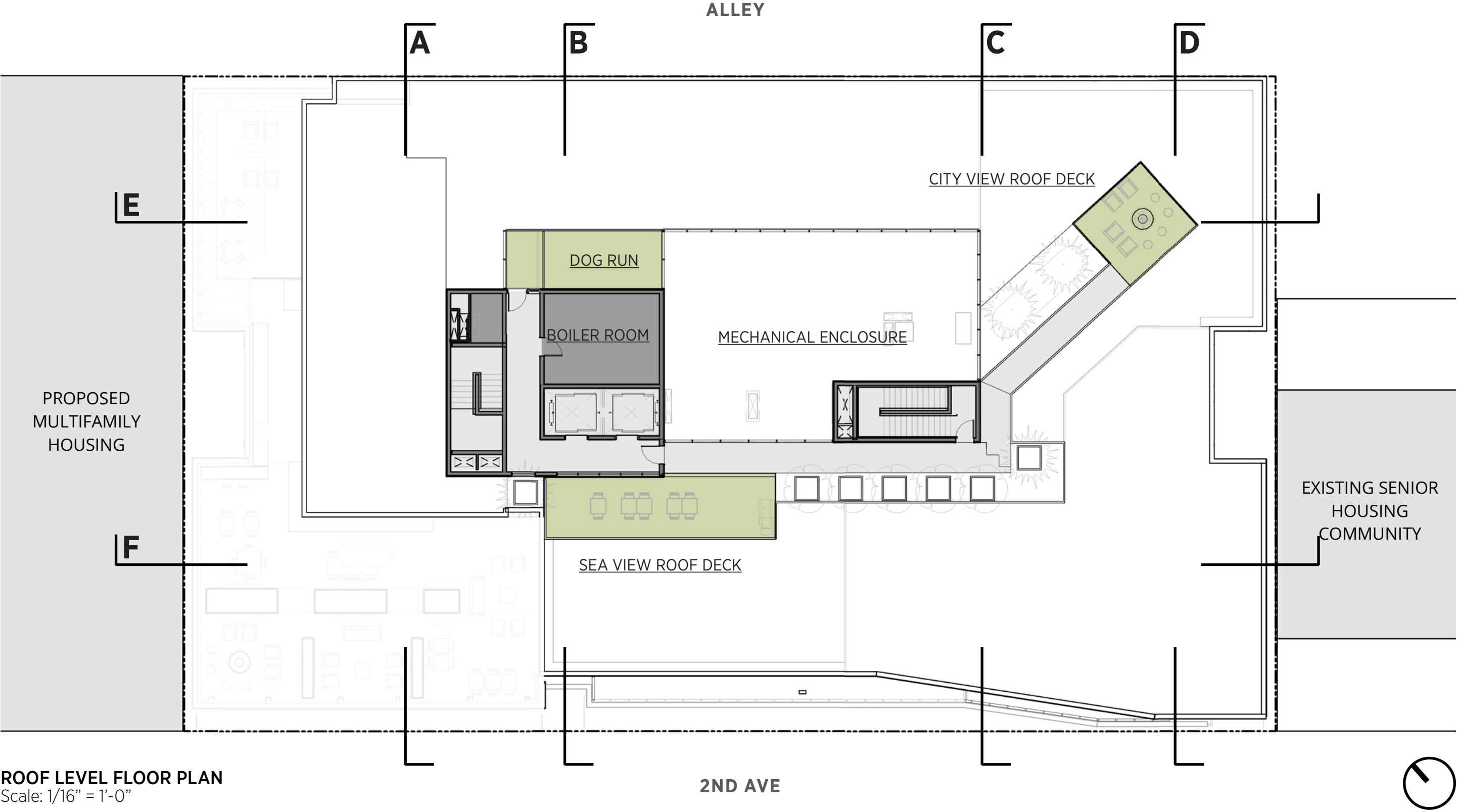


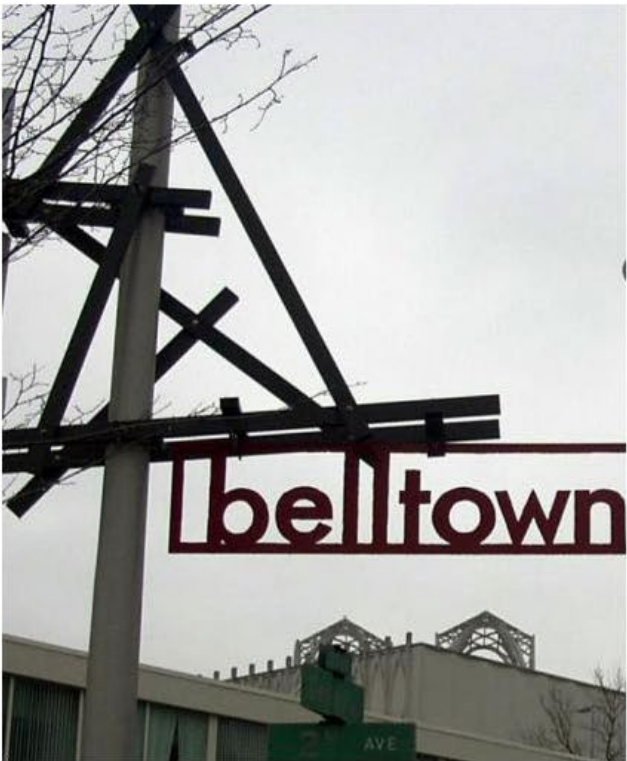
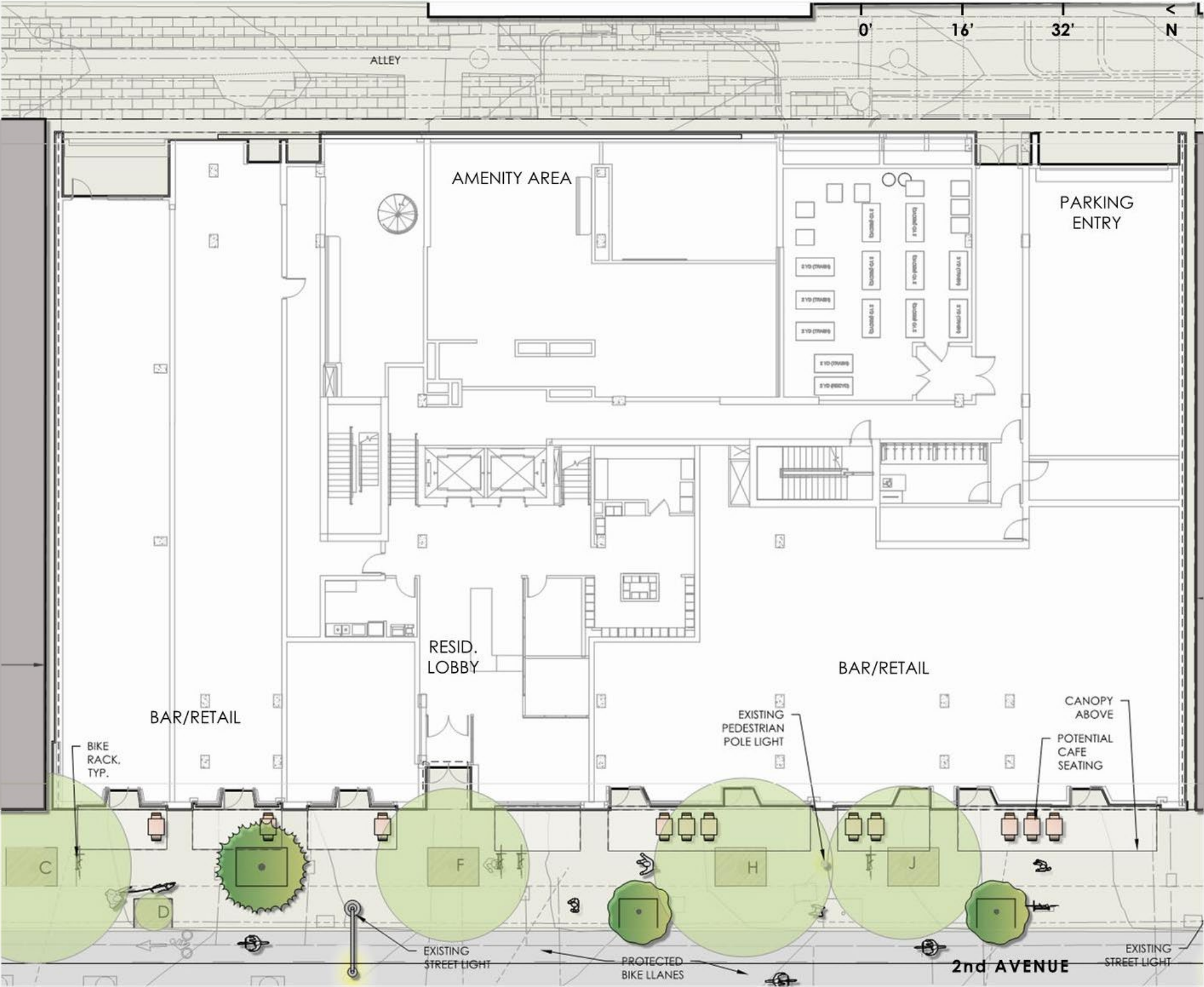


LEVEL 3-7 FLOOR PLAN
Scale: 1/16" = 1'-0"



LEVEL 8 FLOOR PLAN
Scale: 1/16" = 1'-0"

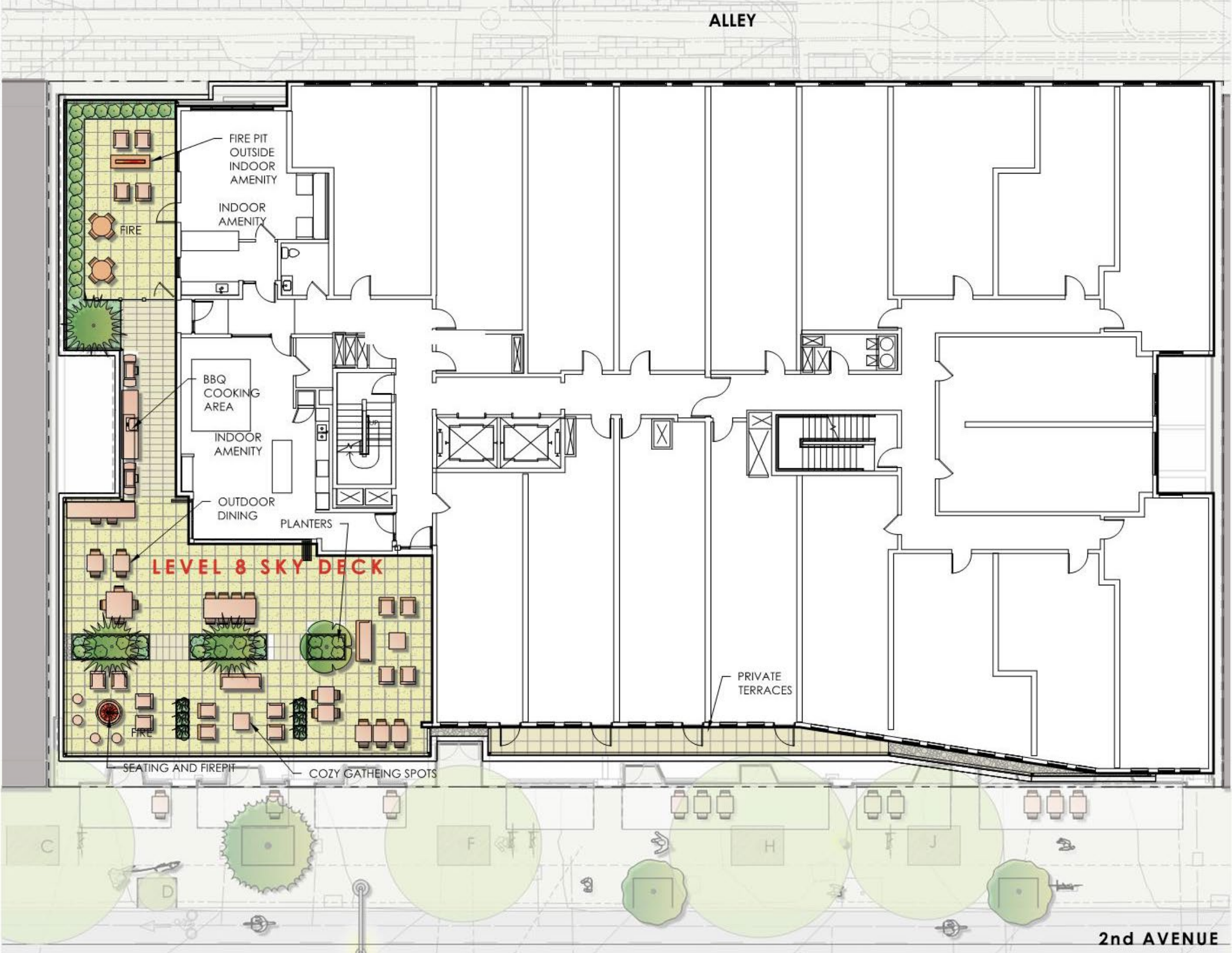




support a funky streetscape



support a busy sidewalk beer/bar garden



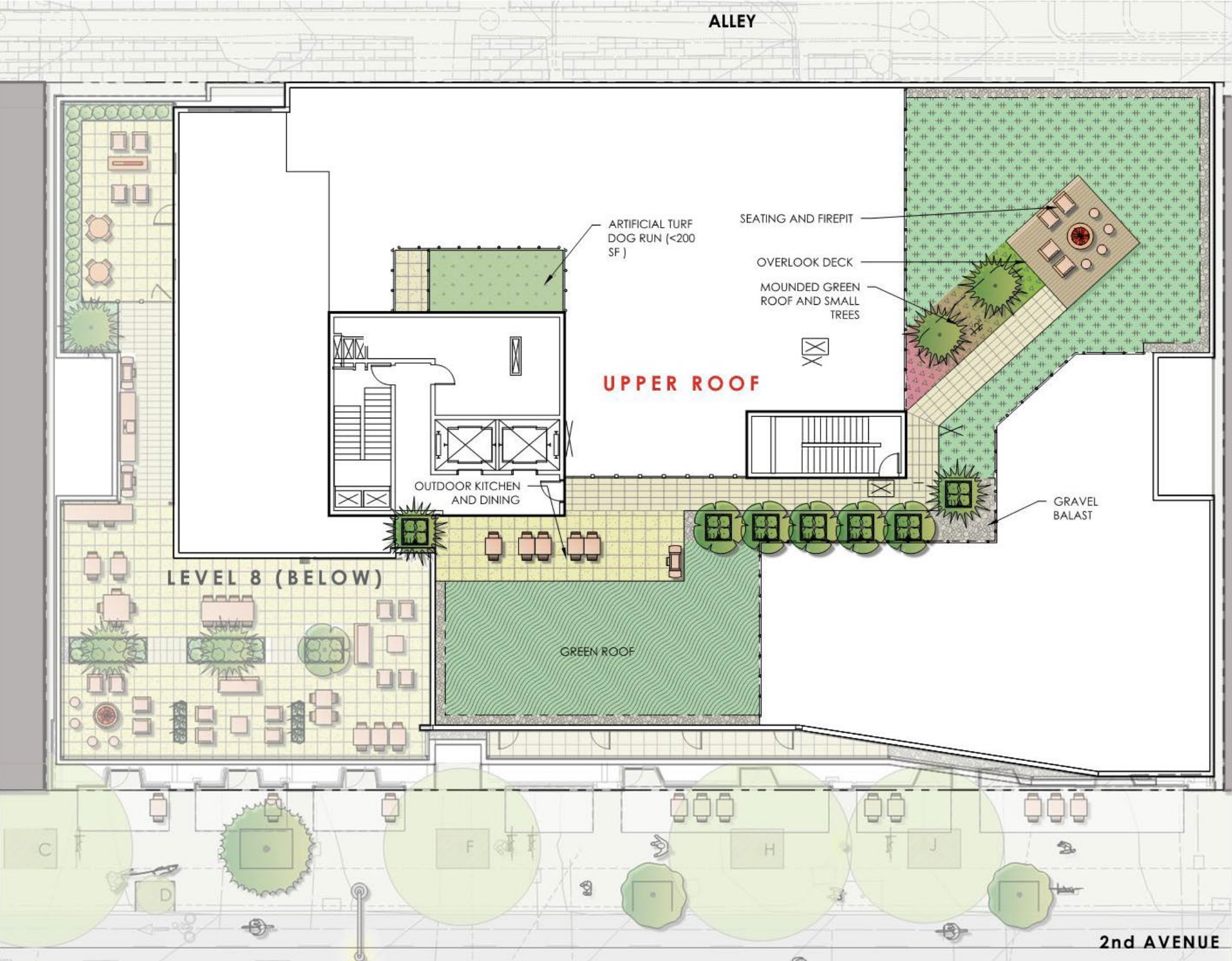
nice tree in metal planter



cozy corner



outdoor kitchen



overlook deck



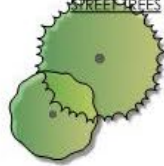
relaxed landscapes










treelets

PLANTS

RIGHT-OF-WAY PLANT SCHEDULE

STREET TREES	BOTANICAL NAME	COMMON NAME
	CALOCEDRUS DECURRENS	INCENSE CEDAR
	PARROTIA PERSICA 'VANESSA'	PERSIAN PARROTIA

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME
	LAGERSTROEMIA X 'TUSCARORA'	RED CRAPE MYRTLE MULTI-TRUNK
	PINUS CONTORTA 'CONTORTA'	SHORE PINE
SHRUBS	BOTANICAL NAME	COMMON NAME
	CONTAINER SHRUBS RHODODENDRON IMPEDITUM SEDUM X 'AUTUMN JOY' SPIRAEA X BUMALDA 'ANTHONY WATERER'	IMPEDITUM DWARF RHODODENDRON AUTUMN JOY SEDUM ANTHONY WATERER SPIRAEA
	PHYLLOSTACHYS NIGRA	BLACK BAMBOO
SHRUB AREAS	BOTANICAL NAME	COMMON NAME
	GREEN ROOF WITH GRASSES 4" DEPTH NARCISSUS JONQUILLA 'SAILBOAT' NASSELLA TENUISSIMA SEDUM TILE	SAILBOAT MINIATURE DAFFODIL TEXAS NEEDLE GRASS PREPLANTED SEDUM MAT
	GREEN ROOF WITH PERENNIALS 12" DEPTH SOIL TRANSITION FROM EDGE TO MAX DEPTH PER LINES ON PLAN; PLANT IN GROUPS OF 3-5; PLANT STRAWBERRY THROUGHOUT ACHILLEA MILLEFOLIUM 'SUMMER PASTELS' AGAPANTHUS PRAECOX ORIENTALIS 'BENFRAN' TM ASTER DOUGLASII FRAGARIA CHILOENSIS MONARDA DIDYMA 'FIREBALL' SEDUM TILE	SUMMER PASTELS YARROW BABY PETE LILY OF THE NILE DOUGLAS ASTER BEACH STRAWBERRY FIREBALL BEE BALM PREPLANTED SEDUM MAT
GROUND COVERS	BOTANICAL NAME	COMMON NAME
	CONTAINER MIX OPHIPOGON PLANISCAPUS 'NIGRESCENS' PACHYSANDRA TERMINALIS	BLACK MONDO GRASS JAPANESE SPURGE
	GREEN ROOF MIX 4" DEPTH DROUGHT TOLERANT SEDUM MIX & PLANTED WITH STRAWBERRY AND BULBS FRAGARIA CHILOENSIS NARCISSUS JONQUILLA 'SAILBOAT' SEDUM TILE	BEACH STRAWBERRY SAILBOAT MINIATURE DAFFODIL PREPLANTED SEDUM MAT

STREET

TREES



Parrotia persica 'Vanessa'
Persian Parrotia



Calocedrus decurrens
Incense Cedar

ROOF



Lagerstroemia 'Tuscarora'
Tuscarora Crape Myrtle



Pinus contorta 'Contorta'
Shore Pine

LEVEL 8



Phyllostachys nigra
Black Bamboo



Rhododendron impeditum
Impeditum Dwarf Rhododendron



Ophiopogon planiscapus
'Nigrescens' / Black Mondo Grass



Pachysandra terminalis
Japanese Spurge

ROOF



Narcissus jonquilla 'Sailboat'
Sailboat Miniature Daffodil



Agapanthus praecox ssp. orientalis
'Benfran' / Lily of the Nile



Aster douglasii
Douglas Aster



Monarda didyma 'Fireball'
Fireball Bee balm



Nassella tenuissima
Mexican Feather Grass



Achillea
Yarrow



Fragaria chiloensis
Beach Strawberry



Sedum Mat

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