



704 E UNION STREET

EARLY DESIGN GUIDANCE 1 # 3033190-EG
APRIL 24, 2019





01 HISTORY & FUTURE

HISTORY - KNIGHTS OF COLUMBUS



FUTURE - PUBLIC OUTREACH / DEVELOPMENT OBJECTIVES

PROJECT ADDRESS:	704 E UNION ST, SEATTLE, WA 98122
SITE AREA:	5,806 SF (0.13 ACRES)
ZONING:	ZONING TYPE: NC3P-65; PIKE / PINE OVERLAY DISTRICT
PROJECT VISION:	PROVIDE SMALL FLEXIBLE UNITS AT THE INTERSECTION OF THE PIKE/PINE AND FIRST HILL NEIGHBORHOODS THAT SUPPORT WALKABILITY AND EASY ACCESS TO SHOPPING, NIGHTLIFE, AND ARTS.
NEW BUILD UNITS:	PROPOSED +/- 50 NEW UNITS
NEW BUILD GSF:	PROPOSED +/- 28,000 GSF
PARKING:	NO ON SITE PARKING IS PROPOSED PARKING MAY BE AVAILABLE IN NEIGHBORING PROJECT

ESTIMATED COMPLETION - SUMMER 2021

PROJECT HOT LINE:
1-206-512-3971

PROJECT POSTER:
LOCATED AT MULTIPLE
SURROUNDING SITES
(SHOWN, LEFT)

OPEN HOUSE:
HELD NOVEMBER 28,
2018 AT THE KNIGHTS OF
COLUMBUS BUILDING
(PICTURED, RIGHT)

COMMUNITY OUTREACH - FALL 2018



Join us for a community meeting to learn more about the **722 East Union St. Project**.

The proposed development includes adaptive reuse of the existing Knights of Columbus building and construction of two new buildings. The new buildings include a seven-story residential building with approximately 130 units and below grade parking to the north of the existing structure, as well as construction of a five-story residential building with approximately 30 units to the west of the existing structure.

What: Join the project team and their architects to discuss the vision and approach for this new residential project in the neighborhood. Coffee and cookies will be provided. All are welcome. No RSVP needed.
Time: Event begins promptly at 6pm and will end by 7pm
Date: Wednesday, November 28, 2018
Where: Knights of Columbus - 722 E Union St, Seattle, WA 98122

Project Address: 722 East Union St, Seattle, WA 98122
General Inquiries: 206.461.1111
Architect: Runberg Architecture
Additional Project Information: All South Union Food and the Project Address: 722 East Union St, Seattle, WA 98122
Registration: 206.461.1111
Website: 722eastunion.com
Phone: 206.461.1111
Email: info@722eastunion.com



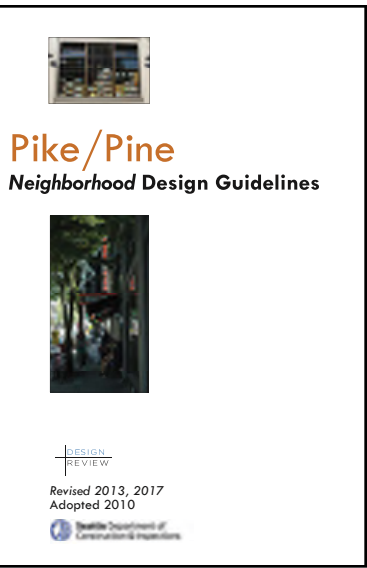
COMMUNITY OUTREACH COMMENTS

- The architects intend to renovate the Knights of Columbus building with sensitivity.
- The two apartment buildings should respect the historic context, surrounded as they will be by historic, mostly brick buildings.
- The west building should cover up the adjacent black-and-white pod building at Union & Boylston.
- Parking is a concern.

2009 - PIKE/PINE CONSERVATION DISTRICT

CITY COUNCIL
CREATES
PIKE/PINE
CONSERVATION
OVERLAY
DISTRICT WHICH
PROVIDES ZONING
INCENTIVES FOR
MAINTAINING
CHARACTER
STRUCTURES
IN THE
NEIGHBORHOOD.

DR3-2012
IDENTIFIES
THE KNIGHTS
OF COLUMBUS
BUILDING AS
A CHARACTER
STRUCTURE.



APRIL 2019 - CITY LANDMARK DESIGNATION

THE KNIGHTS
OF COLUMBUS
BUILDING WAS
NOMINATED AS A
CITY OF SEATTLE
LANDMARK ON
APRIL 3, 2019.

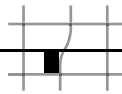
IF DESIGNATED
ON APRIL 17, 2019,
ALTERATIONS
TO THE HISTORIC
BUILDING WILL
BE APPROVED
BY THE SEATTLE
LANDMARKS
PRESERVATION
BOARD.

SRM IS PURSUING
FEDERAL
LANDMARK
DESIGNATION
FOR THE KNIGHTS
OF COLUMBUS
BUILDING AND
PLANS TO
PURSUE HISTORIC
TAX CREDITS FOR
REHABILITATION.

NATIONAL
REGISTER OF
HISTORIC PLACES
NOMINATION
MEETING:
JUNE 28, 2019

JUNE 2018 - NAT'L LANDMARK DESIGNATION

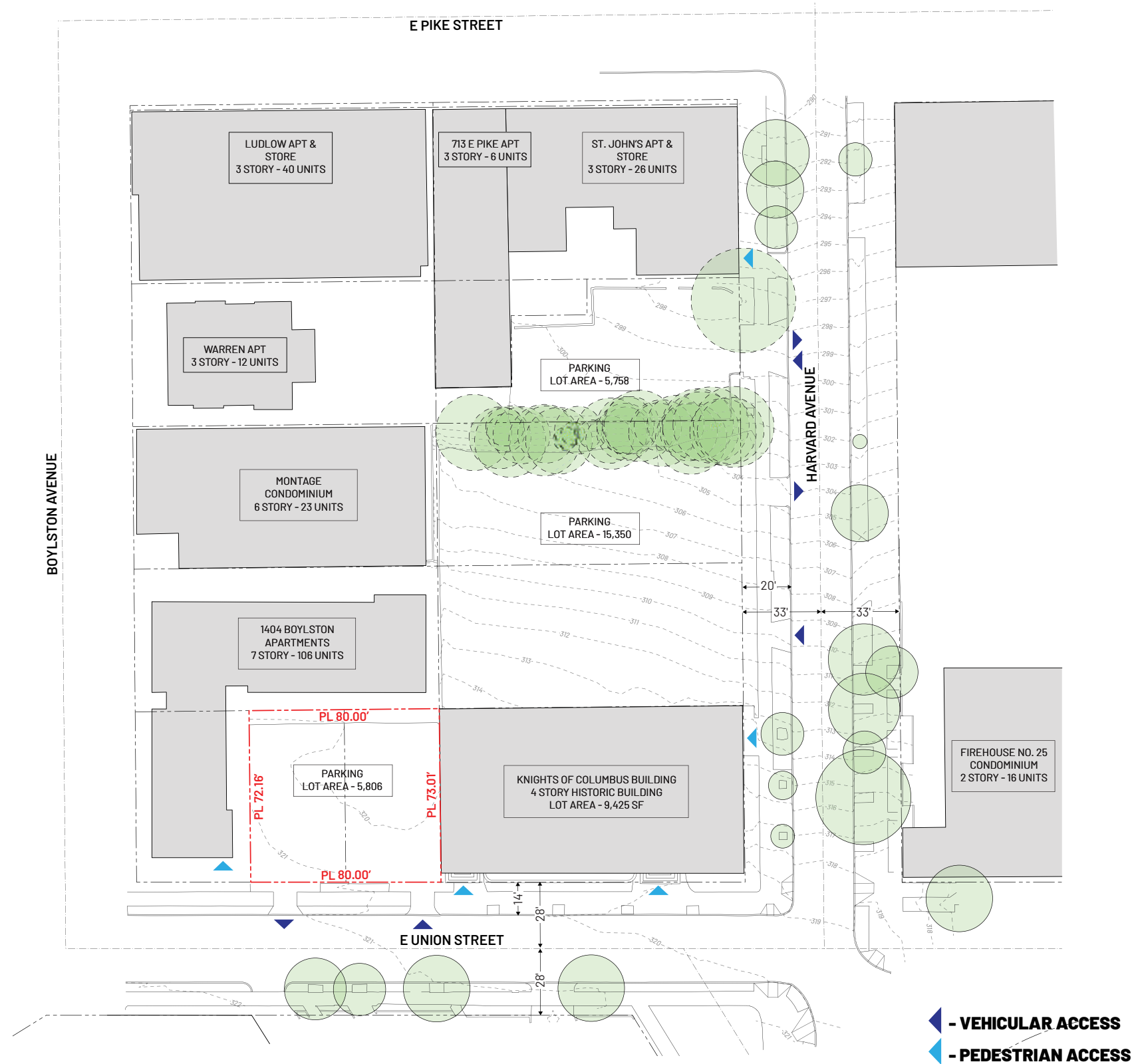
DEVELOPER:	SRM 111 N. POST ST, SUITE 200, SPOKANE, WA 99201
ARCHITECT:	RUNBERG ARCHITECTURE GROUP 1 YESLER WAY, SEATTLE, WA 98104
LANDSCAPE ARCHITECT:	BRUMBAUGH & ASSOCIATES 600 N 85TH STREET, SUITE 102, SEATTLE WA 98103
BUILDING CODE:	2015 SEATTLE BUILDING CODE
TAX ACCOUNT NUMBERS:	7502500045, 750250005006
POTENTIAL DEPARTURES:	NONE PROPOSED



02

SITE CONTEXT
URBAN DESIGN ANALYSIS

SITE PLAN - EXISTING



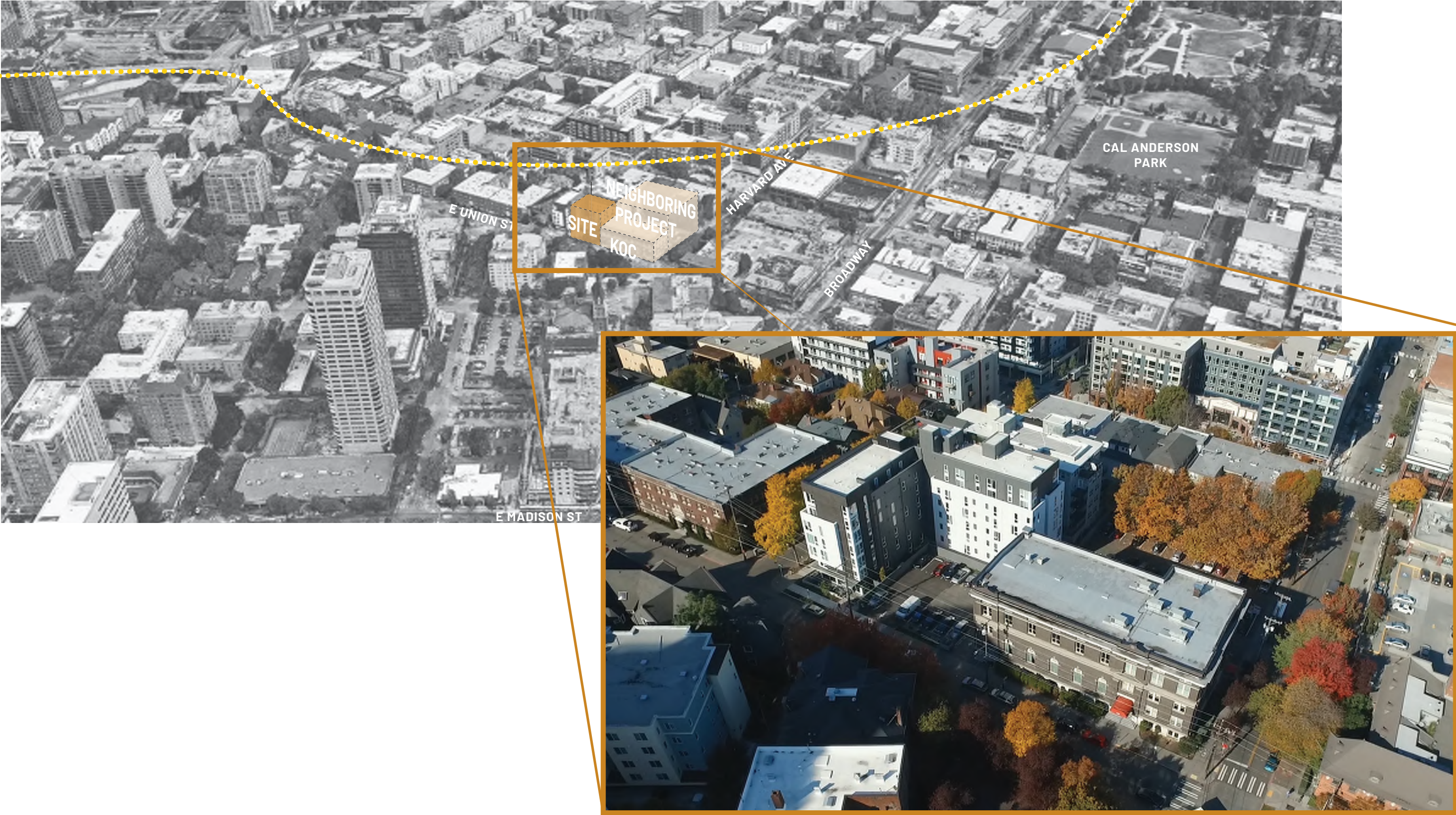
PARCEL NUMBER:

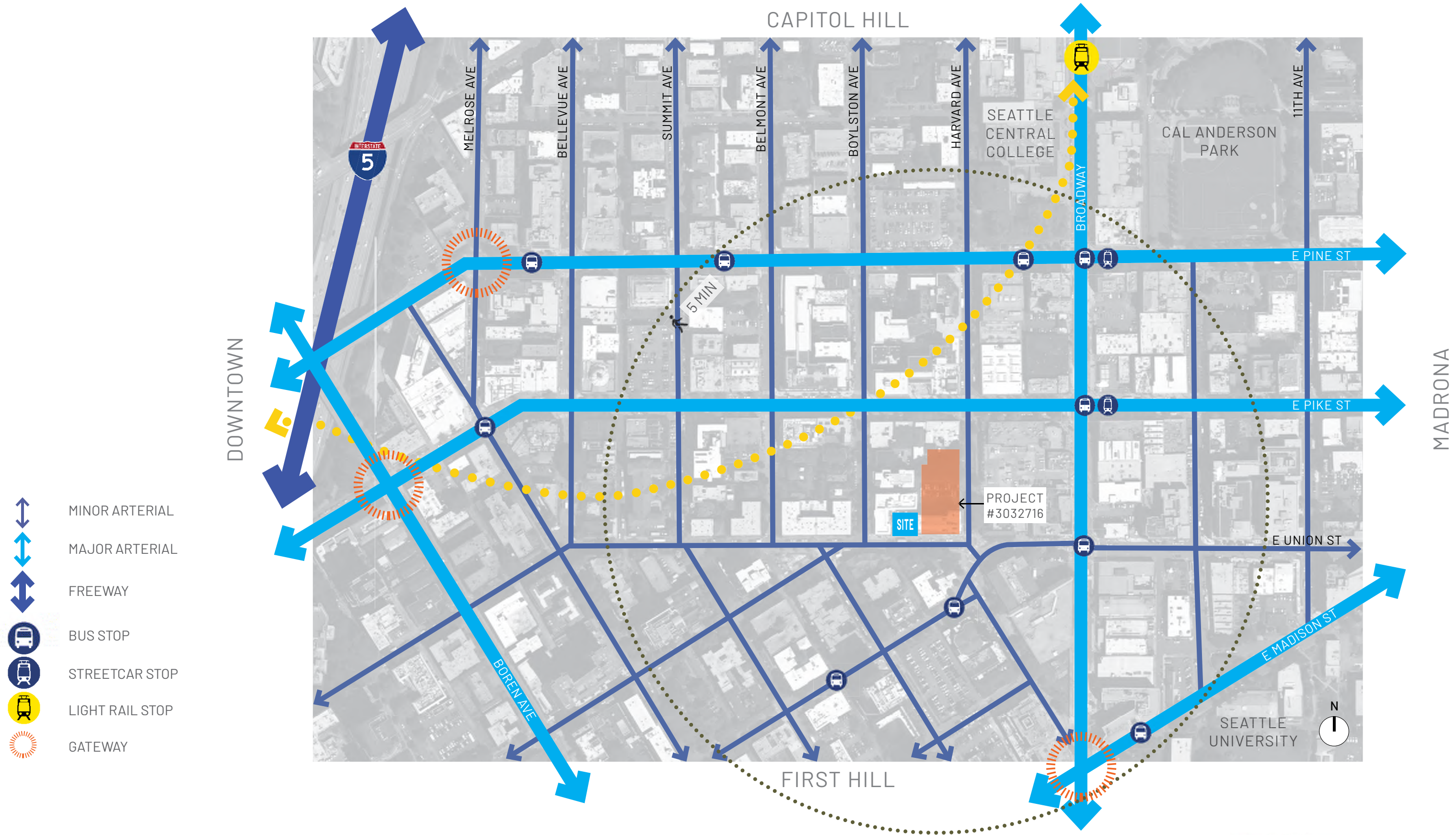
7502500040, 7502500041

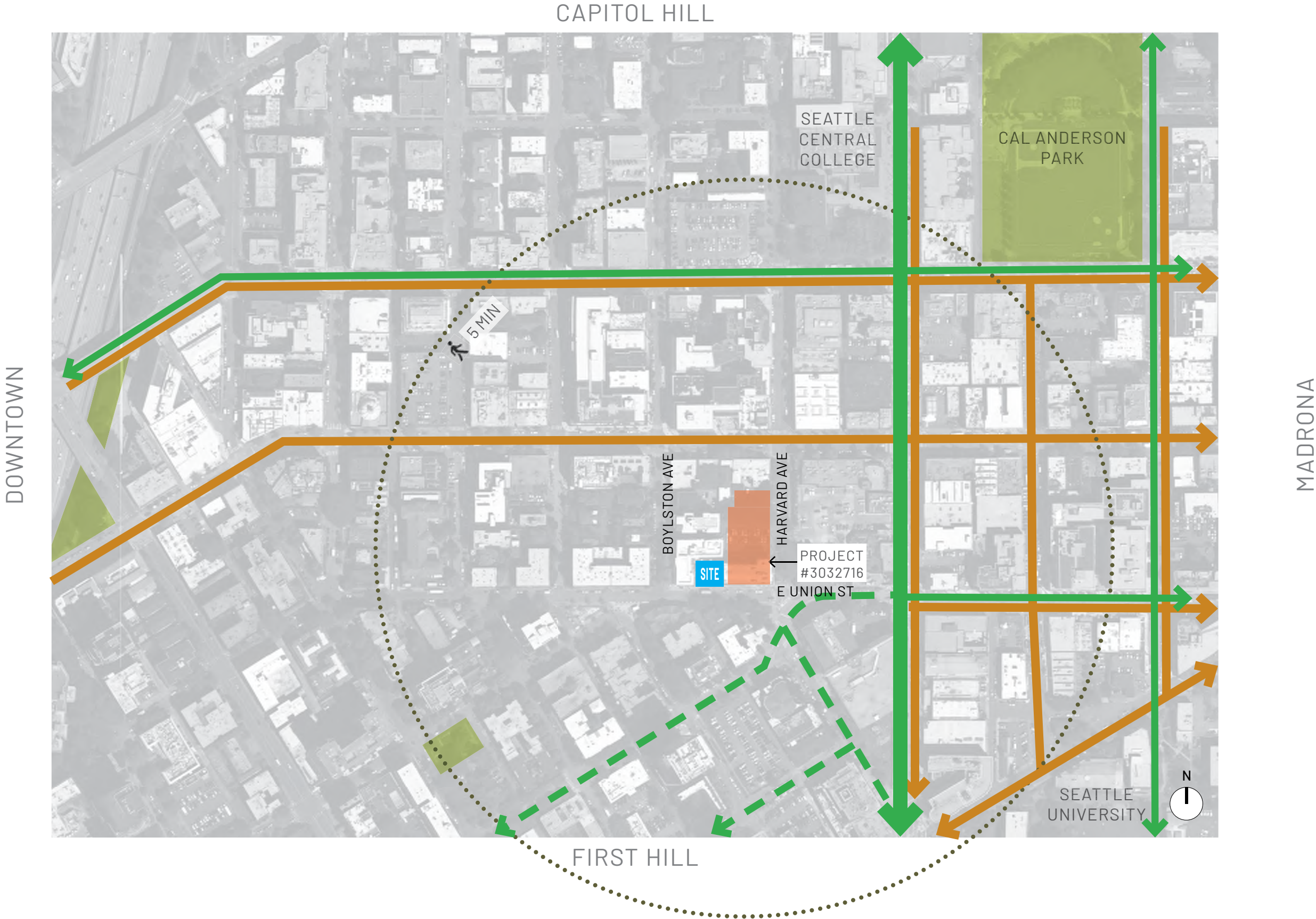
LEGAL DESCRIPTION:

THE EAST 80 FEET OF LOT 5, BLOCK 4, SACKMAN HOME ADDITION TO THE CITY OF SEATTLE, AS PER PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 80, RECORDS OF KING COUNTY, WASHINGTON;

A NON-EXCLUSIVE EASEMENT FOR SEWER AS CREATED BY THAT REPLACEMENT SEWER EASEMENT RECORDED UNDER RECORDING NO. 20160223000760.







SITE CONTEXT - PIKE/PINE CONSERVATION DISTRICT

The Pike/Pine Conservation Overlay District was created in July, 2009 to limit the size of new development and encourage projects to keep existing older structures, identified in the Code as character structures.

CHARACTER STRUCTURES

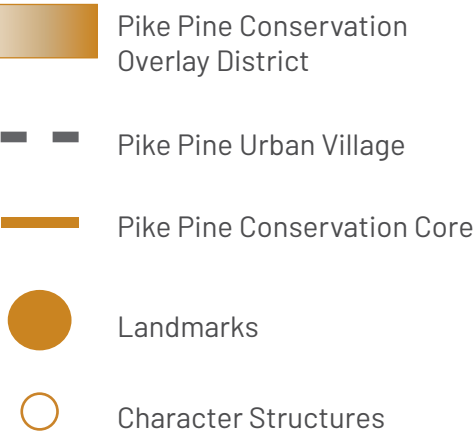
- Have been in existence prior to 1940
- Retain a high degree of architectural integrity
- Represent the Pike/Pine neighborhood's building typology
- Are compatible with the architectural scale, rhythm, and patterns of nearby structures in the Pike/Pine neighborhood

MINIMUM REQUIREMENTS FOR RETAINING A CHARACTER STRUCTURE (SMC 23.73.015)

- All street-facing facades of the character structure shall be maintained and original facade openings that provide transparency at the street-level shall remain unobstructed
- All portions of the new structure shall be set back a minimum of 15 feet from the street-facing facades of the character structure
- The original floor-to-ceiling height of the street-level story of the character structure is maintained

INCENTIVES FOR RETAINING A CHARACTER STRUCTURE

- Height exception (SMC 23.73.014.B)
 - 10' of additional height allowed above the 65' height limit if additional area is residential





1 WINTONIA HOTEL (1909)



4 OLD SEATTLE FIRE STATION #25 (1909)



7 WHITE MOTOR COMPANY BUILDING (1918)



10 SEATTLE 1ST BAPTIST CHURCH (1911)



2 FIRST COVENANT CHURCH (1911)



5 ELDRIDGE TIRE COMPANY BUILDING (1925)



8 KELLY-SPRINGFIELD MOTOR TRUCK BLDG (1913)



11 PHILLIPS HOUSE (1902)



3 SUMMIT SCHOOL/NORTHWEST SCHOOL (1905)



6 CAL ANDERSON PARK/LINCOLN RESERVOIR (1901)



9 1ST AFRICAN METHODIST EPISCOPAL CHURCH (1912)



12 STIMSON/GREEN HOUSE (1901)

SITE CONTEXT - NEW DEVELOPMENT



1 1404 BOLYSTON AVE



2 FIRST HILL APARTMENTS



3 COVE



4 DUNN MOTORS



7 PIKE FLATS



10 SUNSET ELECTRIC



13 LUMA



5 AVA CAPITOL HILL



8 INFINITY APARTMENTS



11 1111 E. PIKE



14 1001 BROADWAY



6 PIKE MOTORWORKS



9 JACK APARTMENTS

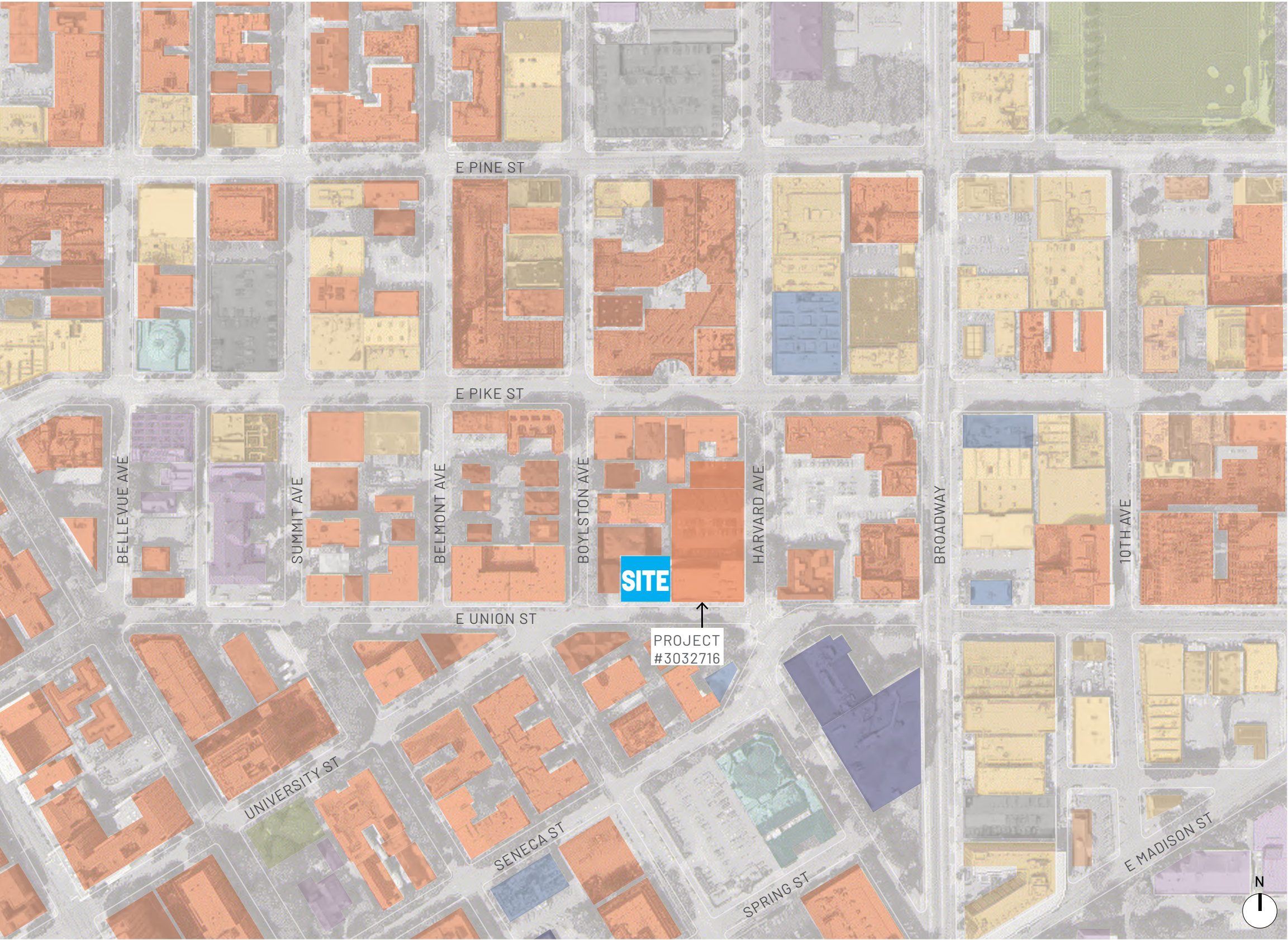


12 NORTHWEST SCHOOL



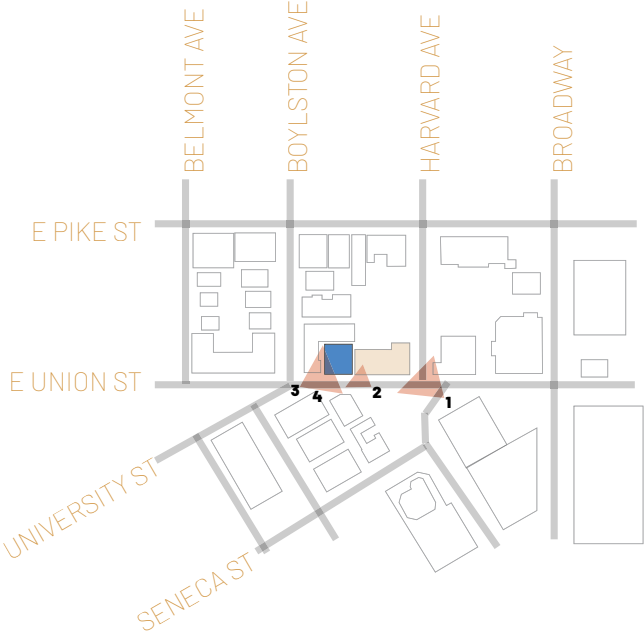
15 KELLY-SPRINGFIELD

SITE CONTEXT - NEIGHBORING USES

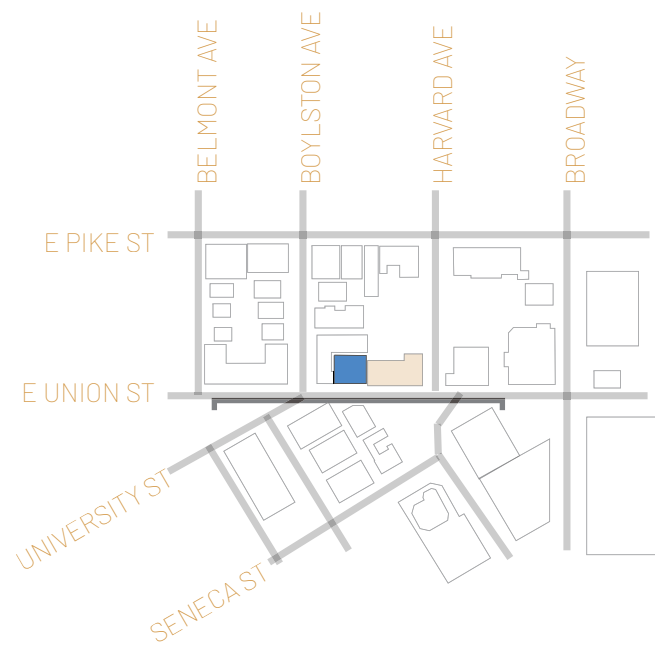


NEIGHBORHOOD USES

- MULTI-HOUSING
- INSTITUTIONAL
- RELIGIOUS
- STRUCTURED PARKING
- COMMERCIAL FOOD
- COMMERCIAL RETAIL
- SINGLE-FAMILY HOUSING
- HOSPITALITY
- OFFICE
- PARK



SITE CONTEXT - STREET ELEVATIONS

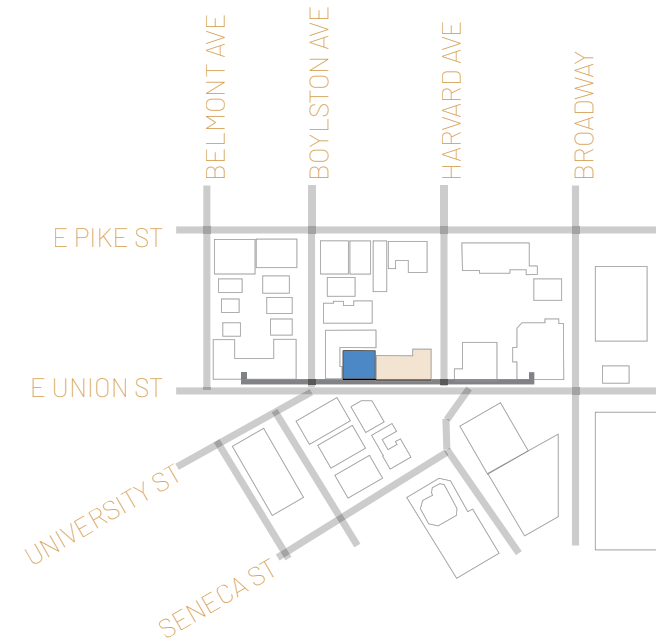


SITE CONTEXT - STREET ELEVATIONS

KNIGHTS OF COLUMBUS
4 STORY ABV GROUND

OLD SEATTLE FIRE STATION #25
16 CONDOMINIUMS

HARVARD AVE.



PHILLIPS APARTMENTS
3 STORY

SHANON APARTMENTS
4 STORY

OPPOSITE PROJECT SITE



UNIVERSITY ST.

URBAN DESIGN ANALYSIS - OPPORTUNITIES

OPPORTUNITIES

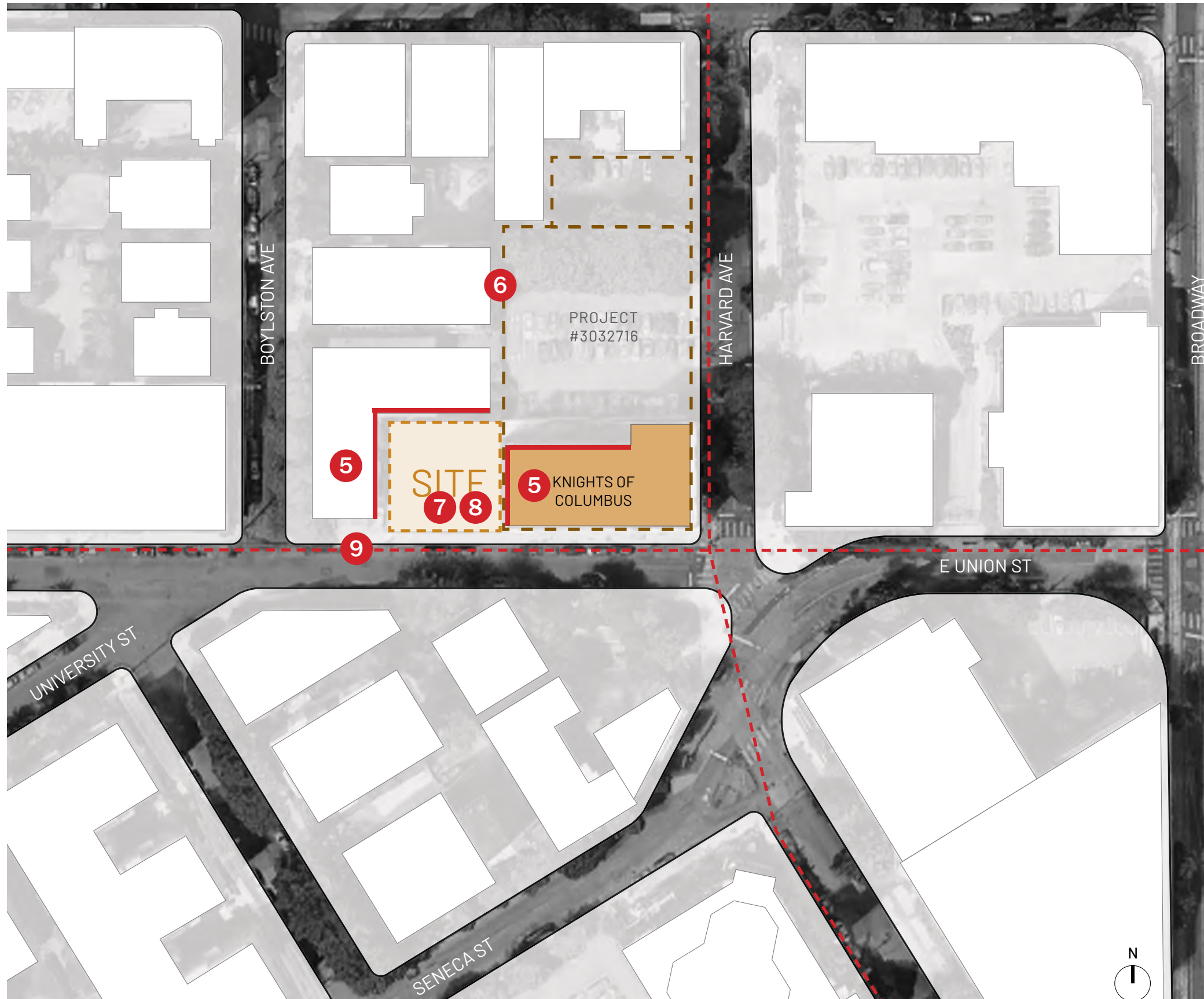
- 1 REHABILITATION OF ADJACENT HISTORIC BUILDING AND PROXIMITY TO OTHER DESIGNATED LANDMARKS
- 2 PROXIMITY TO PIKE/PINE AND FIRST HILL NEIGHBORHOODS HIGHLY WALKABLE NEIGHBORHOODS
- 3 ADJACENCY TO MAJOR TRANSIT ROUTES. BUSES, FIRST AVE STREETCAR, AND BIKE LANES
- 4 SOLAR ORIENTATION

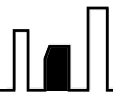


URBAN DESIGN ANALYSIS - CONSTRAINTS

CONSTRAINTS

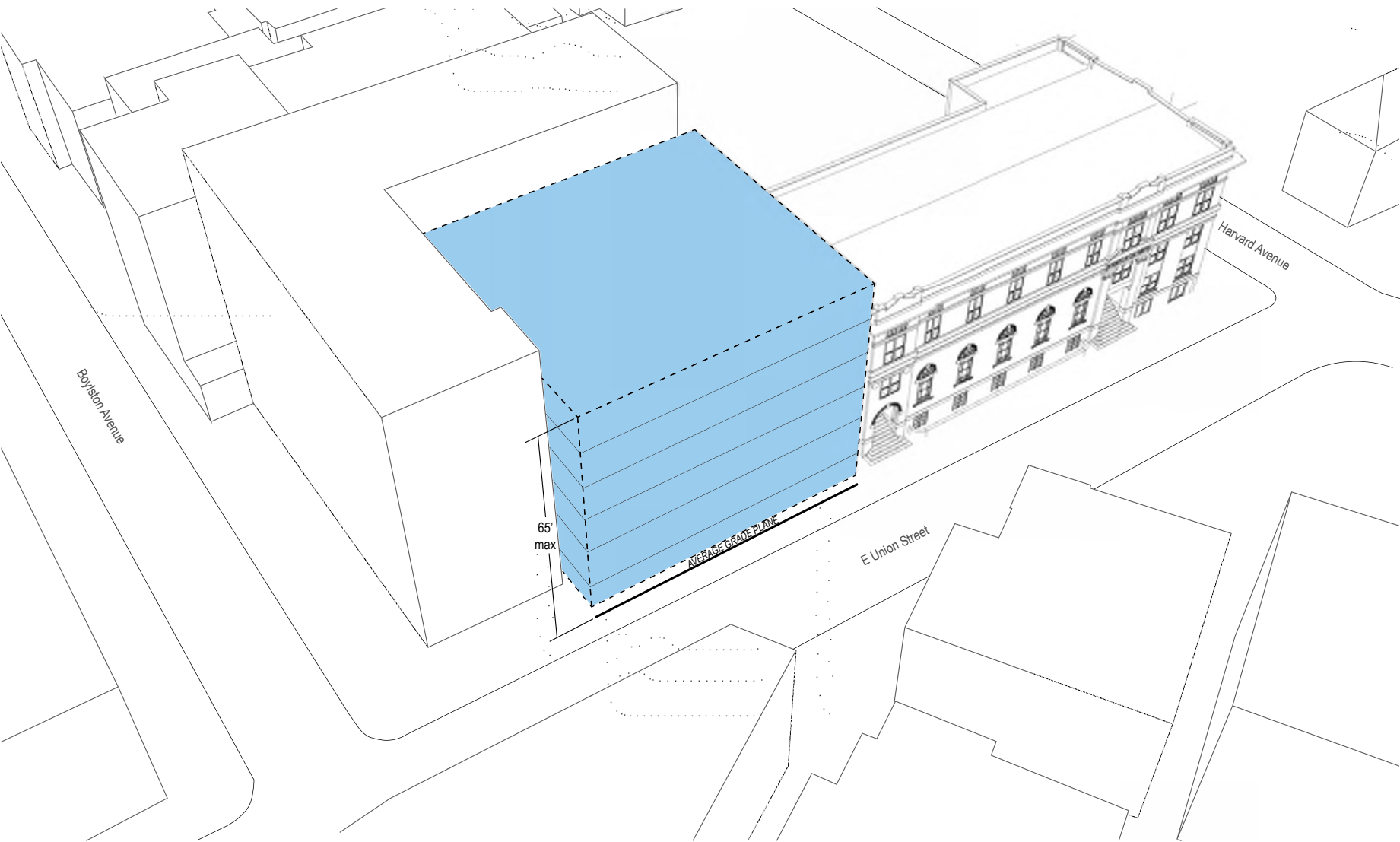
- ⑤ PROXIMITY TO NEIGHBORING PROJECTS
- ⑥ NO ALLEY ACCESS
- ⑦ SMALL SIZE OF SITE
- ⑧ ACCESSIBLE LOBBY AND REQUIRED SEPARATION OF GROUND FLOOR UNITS CREATES SIGNIFICANTLY DIFFERENT FLOOR LEVELS AT GRADE
- ⑨ HIGH VOLTAGE POWER LINES ON E UNION ST REQUIRE SETBACK





03 ZONING DATA

ZONING - ZONING MAP



ZONING MAP

- NC3P - 65
- NC3P - 160
- NC3 - 160
- MR
- HR
- MIO - 65
- MIO - 105
- MIO - 160

MAXIMUM ZONING ENVELOPE

SITE ZONING
Zone: NC3P-65
Overlay: Pedestrian-Designated Zone
Pike/Pine Conservation Overlay District, Pike/Pine Urban Village
Street Classifications: No Principal Pedestrian Street Designation

23.47A.004 PERMITTED AND PROHIBITED USES

Table A for 23.47A.004: Residential use is permitted
Live-work units, retail sales and services are permitted

23.47A.005 STREET-LEVEL USES

Residential uses are allowed and unlimited on non principal pedestrian streets
E Union is not a principal pedestrian street in this location

23.47A.006 CONDITIONAL USES

No conditional uses proposed

23.47A.008 STREET-LEVEL DEVELOPMENT STANDARDS

A. Basic Requirements

- Blank segments of street-facing façade between 2 and 8 feet above the sidewalk may not exceed 20 feet in width.
- Total of all blank façade may not exceed 40% of the width of the street façade.
- Street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks etc. are provided.

B. Non-residential street level requirements - N/A

C. In Pedestrian Designated Zones

Requirements for principal pedestrian streets - N/A

D. Residential Uses along a street-level street-facing facade require:

- 1.) A visually prominent pedestrian entry
- 2.) The floor of a dwelling unit located along the street-level street-facing facade shall be at least 4' above sidewalk grade or be set back at least 10' - N/A

E. Live-work units - N/A

F. The Director may allow exceptions to the street-level requirements

G. Existing Structures - N/A

23.47A.012 STRUCTURAL HEIGHT

- C.2. Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets, and firewalls may extend up to 4 feet above the otherwise applicable height limit. Insulation, rooftop decks, etc. May extend 2 feet above height limit if enclosed by parapets or walls.
- C.3. Solar collectors may extend up to 7 feet above the height limit in 65 foot zone.
- C.4. The following may extend up to 15 feet above height limit with a coverage of 20% or 25% if including stair and elevator penthouses and screened mechanical equipment: Solar collectors, mechanical equipment, play equipment, wind-driven power generators, minor communications utilities, stair and elevator penthouses may extend 16 feet above height limit.

C.7. The following must be located at least 10 feet from the north lot line: solar collectors, planters, clerestories, greenhouses, minor communications utilities, non-firewall parapets, play equipment

23.47A.013 – FAR

N/A - See Section 23.73.009

23.47A.014 – SETBACK REQUIREMENTS

N/A - Site does not abut nor is it across alley from any residential zone

23.47A.016 – LANDSCAPING AND SCREENING STANDARDS

- A.2 Green factor of 0.3 is required
- B.1 Street trees are required

23.47A.017 MHA SUFFIX

N/A - Application will be vested prior to forthcoming MHA Up-zone

23.47A.022 – LIGHT AND GLARE STANDARDS

A. Exterior lighting must be shielded and directed away from adjacent uses

23.47A.024 – AMENITY AREA

- A. Required in an amount equal to 5% of the total gross floor area in residential use
- B. Amenity areas shall not be enclosed,
Common area requirements: 10' min. horizontal dimension, 250 sf min. size
Private area requirements: 60 sf min. size and 6' min horizontal dimension

23.47A.032 – PARKING LOCATION AND ACCESS

N/A - No parking provided on site

23.54.015 REQUIRED PARKING AND MAXIMUM PARKING LIMITS

Table B - Residential required parking:
All residential uses within urban centers have no minimum requirement

K BICYCLE PARKING

Table D – Bicycle Parking:
Multi-family = 1 long term / dwelling unit + 1 / 20 dwelling units short term
K.3 Bicycle parking for residential uses shall be located on-site

23.54.030 PARKING SPACE STANDARDS

N/A - No parking provided on site

23.54.040 SOLID WASTE AND RECYCLABLE MATERIALS STORAGE

Table A -
16 - 25 dwelling units = 225 sf
26 - 50 dwelling units = 375 sf
Minimum horizontal dimension of required storage is 12'
Placed no more than 50' from curb, ramps 6% max.

PIKE/PINE CONSERVATION OVERLAY DISTRICT

23.73.008 – STREET-LEVEL USES

B. Small commercial use - N/A

23.73.009 – FAR

- A. Residential use only or mixed use - 23.47A.013 apply except as provided in this section and in 23.73.024
- B. Non-residential uses - N/A
- C. The following floor area is exempt:
C.4 - In areas where the underlying zoning is NC3P-65, all floor area in any use if the lot that is to be developed is 8,000 sf or less in area and has been either vacant or in parking use since February 27, 1995

23.73.010 - FLOOR AREA LIMITS OUTSIDE THE CONSERVATION CORE

A. Floor area limit: 15,000 sf for any single story above 35' - N/A

23.73.014 - HEIGHT EXCEPTIONS

N/A - No height exceptions apply

23.73.015 – RETENTION AND DEMOLITION OF CHARACTER STRUCTURES

N/A - No character structure on lot



04 DESIGN GUIDELINES

CS2 URBAN PATTERN AND FORM



Approach: Respond to datum from historic and contemporary neighbors and bridge the pedestrian experience between them

CITYWIDE GUIDELINE

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

PIKE/PINE SUPPLEMENTAL GUIDANCE:

2. Adjacent Sites, Streets, and Open Spaces

- i. Site Characteristics: Massing and articulation should respond to the established Pike Pine development pattern of street facing facade widths and mid-block depths
- ii. Connection to the Street: Integrate new development with existing street patterns to maintain a cohesive streetscape

3. Relationship to the Block

- ii. Small Site Development:
 - a. Design new developments on small lots to enhance the pedestrian environment and minimize parking and service uses along the street frontage.
 - b. Maintain a continuous street wall and discourage front setbacks
 - c. Provide rear and side setbacks to maximize access to light, air, and usable space between structures, minimize exposed blank walls, create usable open space or separate parking from the street front
 - d. Consider opportunities for unique design treatments on small sites

4. Height, Bulk, and Scale Compatibility; Pike/Pine Scale and Proportion

- i. Scale and Form: Design new structures to be compatible in scale and form with surrounding context.

CS3 ARCHITECTURAL CONTEXT AND CHARACTER



Approach: Respect historic architectural tradition of the neighborhood with complementary materials and detailing

CITYWIDE GUIDELINE

Contribute to the architectural character of the neighborhood.

PIKE/PINE SUPPLEMENTAL GUIDANCE:

1. Existing Architectural Context

- i. New buildings should respond to the architectural tradition of nearby buildings. Architectural styles and materials that complement the historic "auto-row" light-industrial vernacular are encouraged.

2. Architectural Compatibility

- i. Design new development that references architectural features and elements of existing structures on the block face to maintain block face rhythm and continuity.
- ii. Design new structures for compatibility with existing context while allowing for creative expression, response to unique conditions, and adaptability to the changing function of the area.

PL3 STREET-LEVEL INTERACTION



Approach: Highlight primary entry with canopy and create a visual connection to the street

CITYWIDE GUIDELINE:

Encourage human interaction and activity at the street level with clear connections to building entries and edges.

PIKE/PINE SUPPLEMENTAL GUIDANCE:

1. Residential Entries

- Design primary entries to provide visually prominent pedestrian access, weather protection, and to enhance the overall design concept.
- i. Design entries for residential buildings and residents' entries to mixed-use buildings to be visually prominent and feature weather protection, special lighting and architectural enhancements.
 - ii. Residential entryways that feature heavy or contrasting trim, distinctive materials and a link to the surrounding streetscape are encouraged.

DC2 ARCHITECTURAL CONCEPT



Approach: Respond to patterns created by surrounding buildings to create a bridging architectural concept between old and new styles

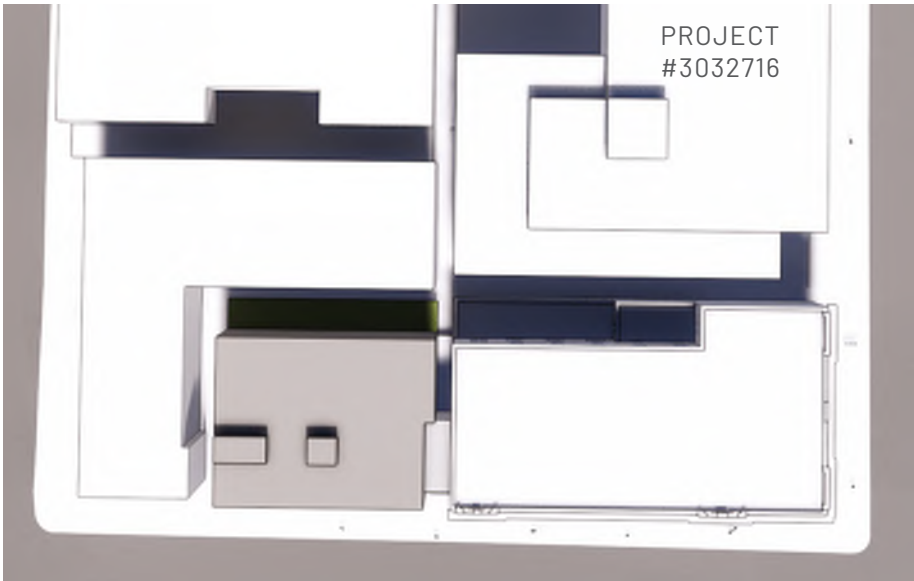
CITYWIDE GUIDELINE:

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

PIKE/PINE SUPPLEMENTAL GUIDANCE:

- The Pike/Pine architectural context is composed of buildings that represent three predominant design approaches:
1. Structural Grid or Warehouse Expression approach;
 2. Modulated Façade approach; and
 3. Traditional Residential approach.
- The design of new buildings should be based on the concept that focuses on a few well-articulated objectives rather than a less coherent variety of elements. While a straightforward, clear design approach is preferred, mixing approaches is acceptable if it achieves a better response to a particular context or special conditions. See Appendix A-1 for further explanation and examples of these three design approaches.
- 1. Concept**
- Design new buildings that reference the predominant design approaches to reinforce the existing architectural context.
- i. Design concepts should emphasize relatively simple facade character with high quality materials, modulation, and refined details to reflect the neighborhood’s architectural heritage.
 - ii. Design concepts for projects that include character structures should emphasize the character structure. A clear design concept should guide the project’s response to the character structure.

DC3 OPEN SPACE CONCEPT



Approach: Weave open space around the site to help alleviate the proximity of the neighboring project and create a pedestrian response at the lobby entry

CITYWIDE GUIDELINE:

Integrate open space design with the design of the buildings so that each complements the other.

PIKE/PINE SUPPLEMENTAL GUIDANCE:

- 1. Residential Open Space**
- Design project open space to be compatible with established development patterns and to enhance street-level activity.
- i. Locate balconies to respond to neighborhood context and enhance livability for residents.
- 2. Street Landscaping**
- Locate and design street level landscaping to complement open space areas on the development site and to soften street edges.

DC4 EXTERIOR ELEMENTS AND FINISHES



Approach: Use material and color strategically to achieve simplicity, complement the adjacent historic building, and highlight entrances

CITYWIDE GUIDELINE:

Use appropriate and high quality elements and finishes for the building and its open spaces.

PIKE/PINE SUPPLEMENTAL GUIDANCE:

- 1. Exterior Finish Materials**
- New development should complement the neighborhood's auto-row and light-industrial vernacular through type and arrangement of exterior building materials. Preferred materials and approaches include.
- i. Brick, masonry, textured or patterned concrete, true stucco, with wood and metal as secondary or accent materials.
 - ii. Other integral color high quality materials that work well with the historic materials and style of neighboring buildings
 - iii. Exterior features and details such as: entrances, fully-glazed storefront windows and expansive glazing, parapets, cornices, roofs, windows, ornamentation, signage, and color
 - iv. Limited number of exterior finish materials per building
 - v. High quality glazing and trim as a vital component of exterior finish;
 - vi. Materials and treatments that are consistent with a specific design approach



05

MASSING OPTIONS



6 Stories
Setback 6' along rear and west property lines
Single Egress - Limited to 4 units per floor

OPTION A - CODE COMPLIANT

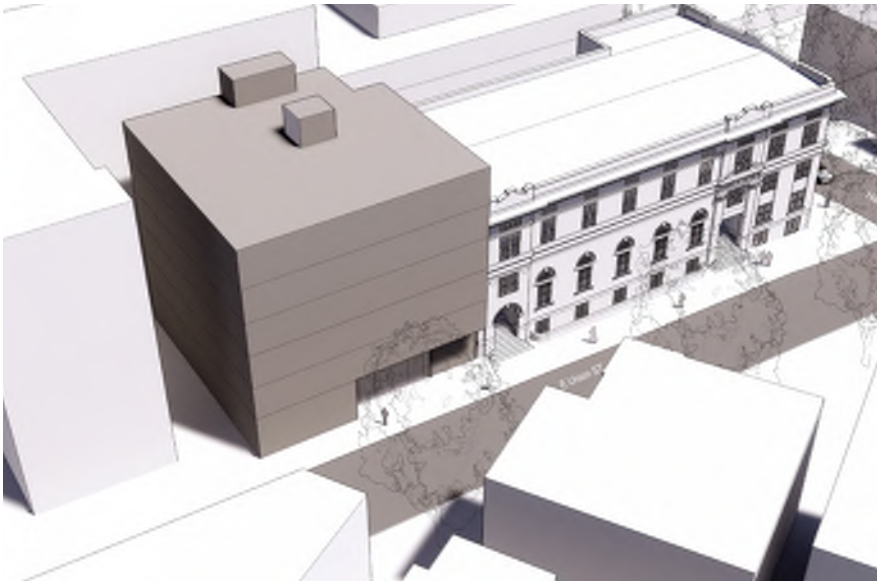
- Unit Count = 22
- 30,720 GSF total
- 1,000 SF Average Unit Size
- 6 Stories
- 65' Above Average Grade

PROS:

- Code Compliant
- Equal setbacks at north and west property lines reduce area of blank wall
- Maximizes development potential

CONS:

- Abrupt transition between new and old detracts from character structure
- Large massing adjacent to character structure is not appropriately scaled
- Equal north and west setbacks allow only ~13' separation from adjacent L-shaped residential building
- 6' setback at north and west property lines limits window openings



6 Stories
Higher Unit Count
Setback 12' along west property line

OPTION B

- Unit Count = 45
- 30,000 GSF total
- 445 SF Average Unit Size
- 6 Stories
- 65' Above Average Grade

PROS:

- Larger setback at west property line allows ~19' separation from adjacent residential building

CONS:

- Abrupt transition between new and old detracts from character structure
- Large massing adjacent to character structure is not appropriately scaled
- Minimal setback along north property line creates blank wall and allows only ~8' separation from adjacent residential building
- Departure required for residential use along street



6 Stories
Maximize Unit Count
Setback 12' along rear property line

OPTION C - PREFERRED

- Unit Count = 51
- 28,000 GSF total
- 375 SF Average Unit Size
- 6 Stories
- 65' Above Average Grade

PROS:

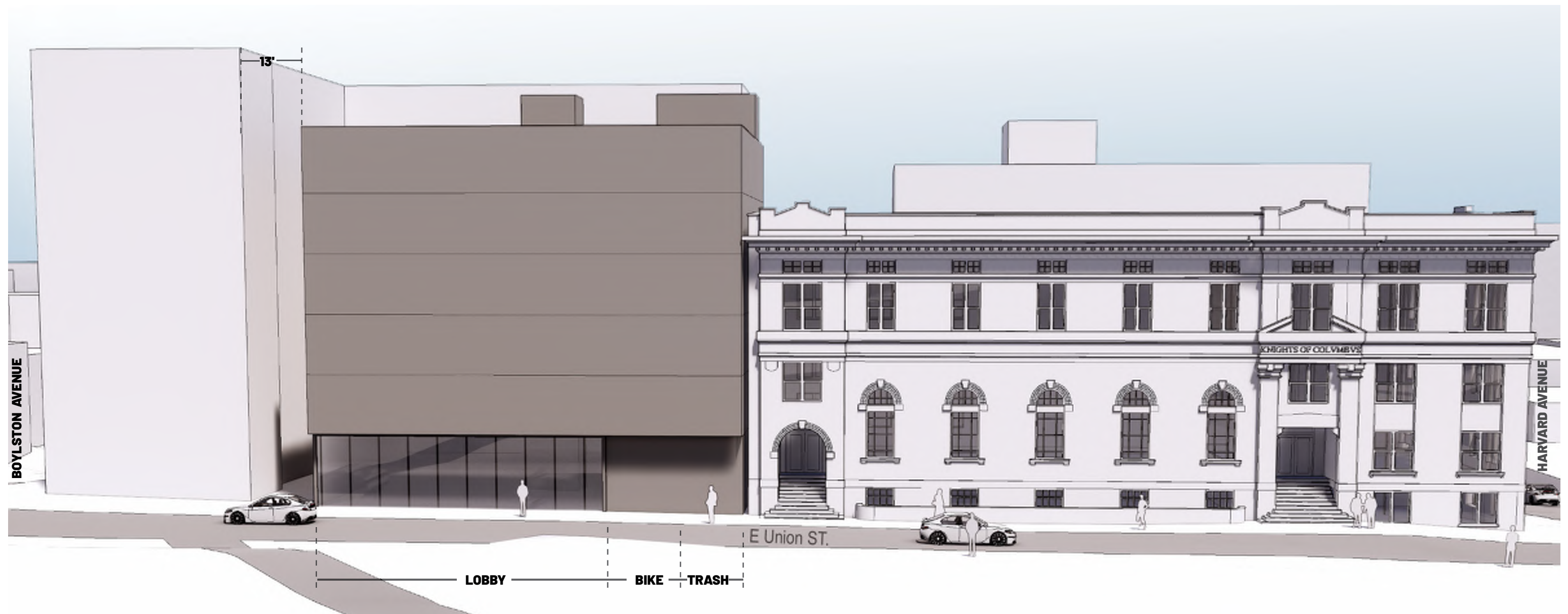
- Code Compliant
- Gasket condition highlights character structure and emphasizes main entrance
- Lower height is more appropriately scaled and stepped massing creates height transition to character structure
- Larger setback at north property line allows ~19' separation from adjacent residential building

CONS:

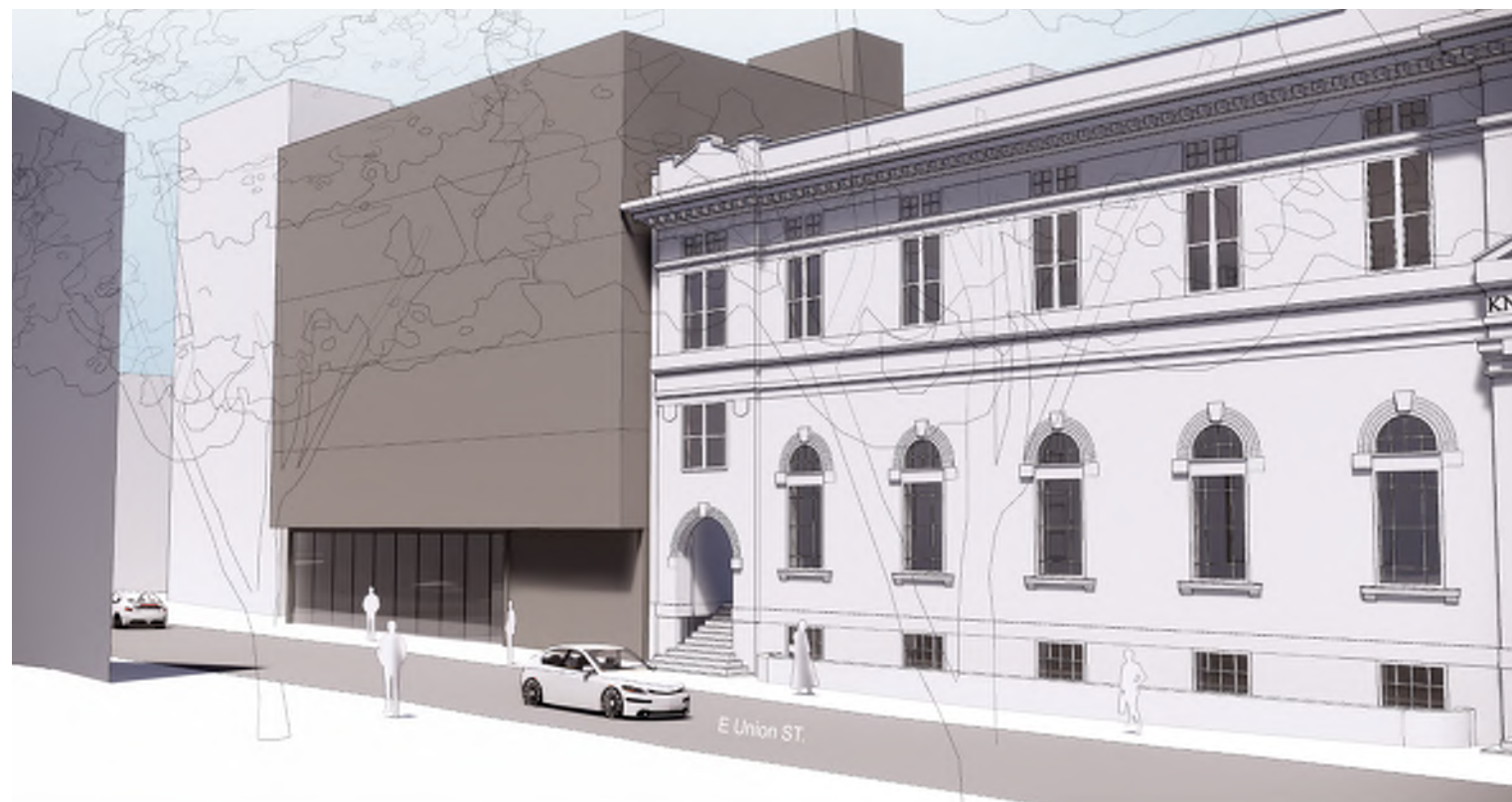
- Minimal setback along west property line creates blank wall and allows only ~8' separation from adjacent residential building

OPTION A

CODE COMPLIANT



E UNION ST ELEVATION



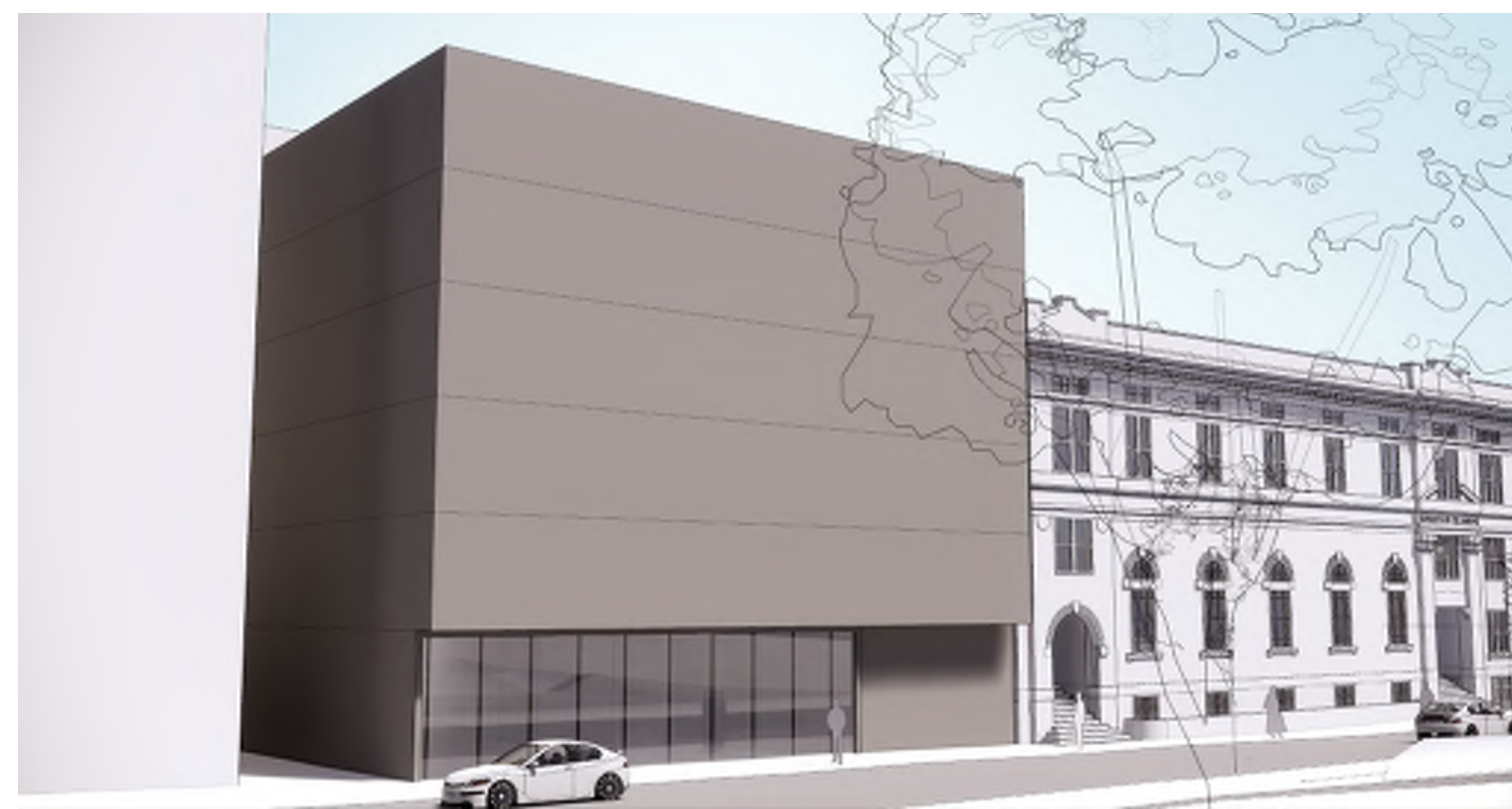
STREET VIEW FROM THE INTERSECTION OF E UNION ST. & HARVARD AVE.



BIRD'S EYE VIEW FROM THE INTERSECTION OF E UNION ST. & HARVARD AVE.

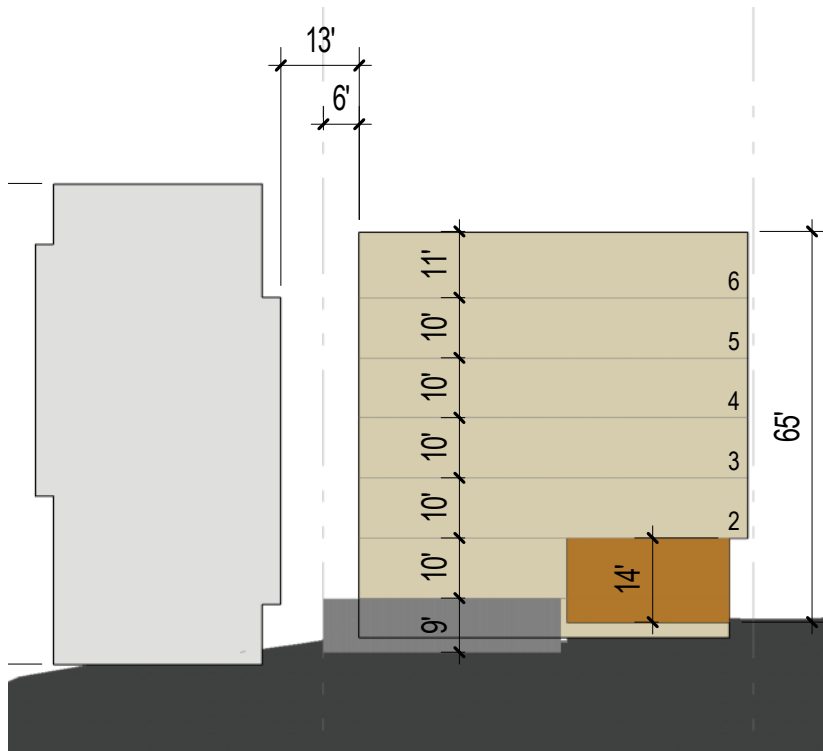


VIEW LOOKING NORTH EAST

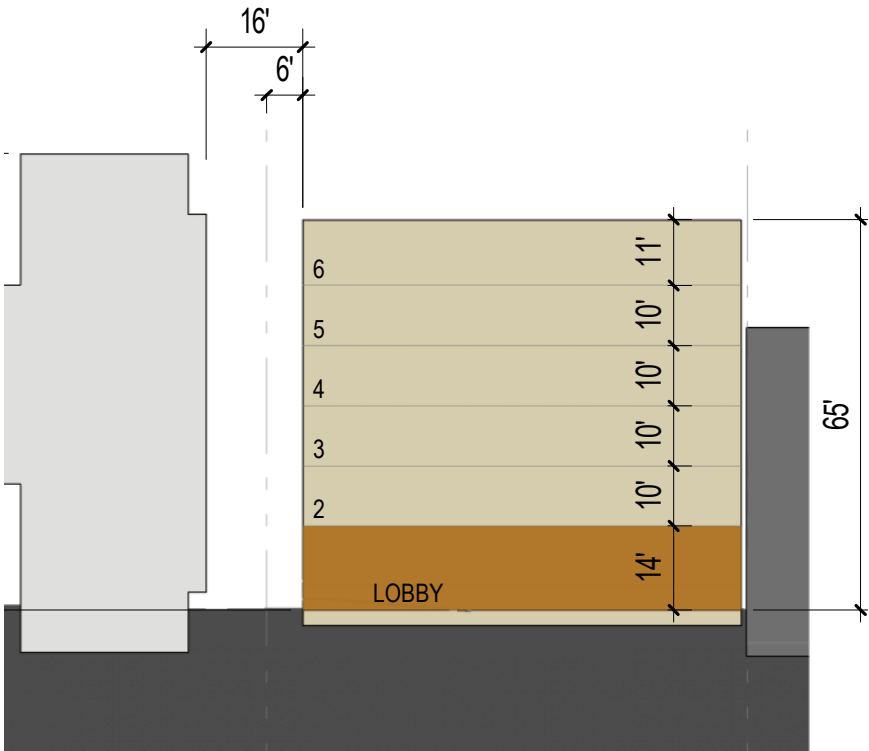


STREET VIEW FROM THE INTERSECTION OF E UNION ST. & BOYLSTON AVE.

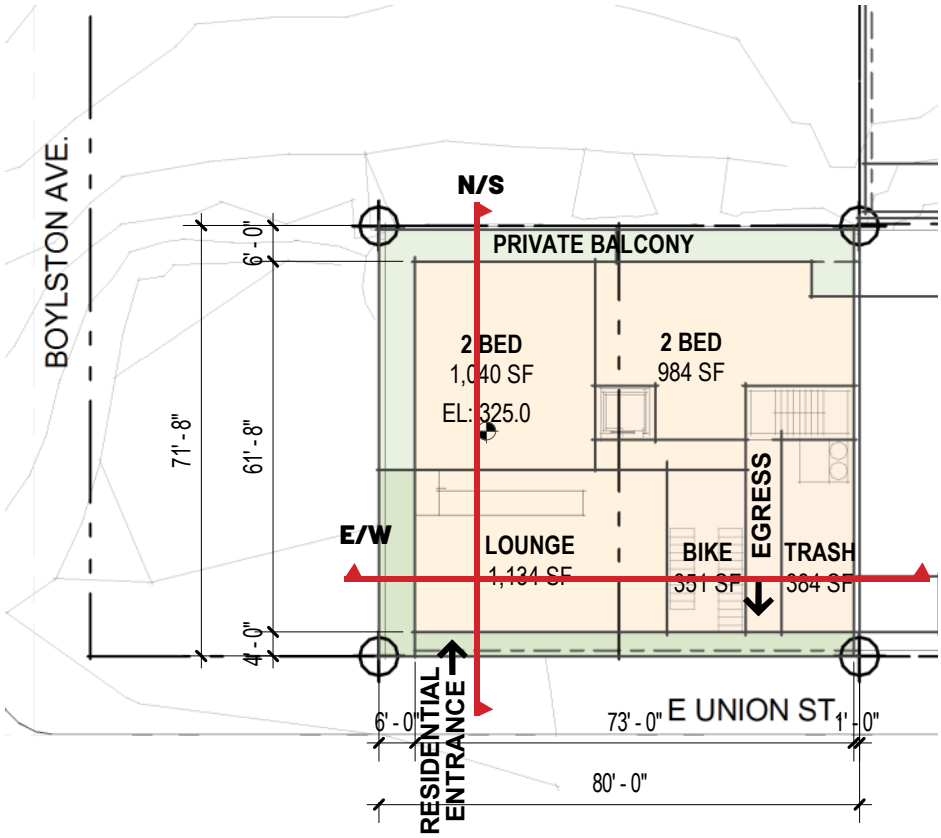
MASSING OPTIONS - OPTION A



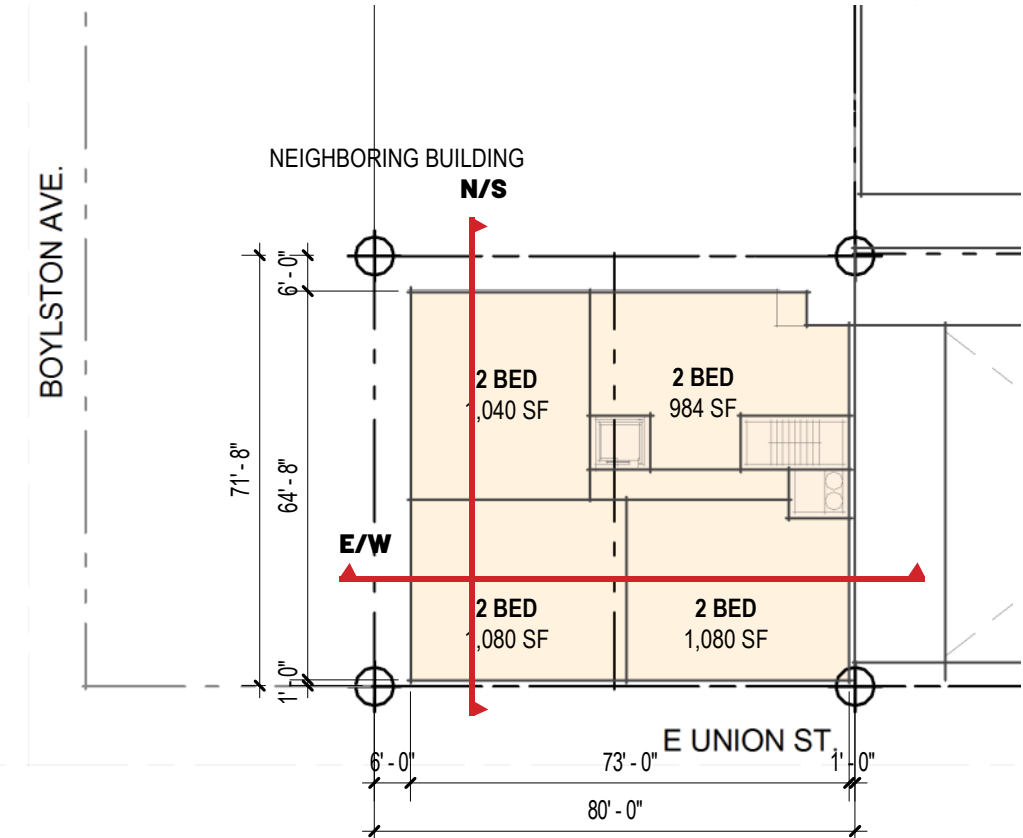
N/S BUILDING SECTION



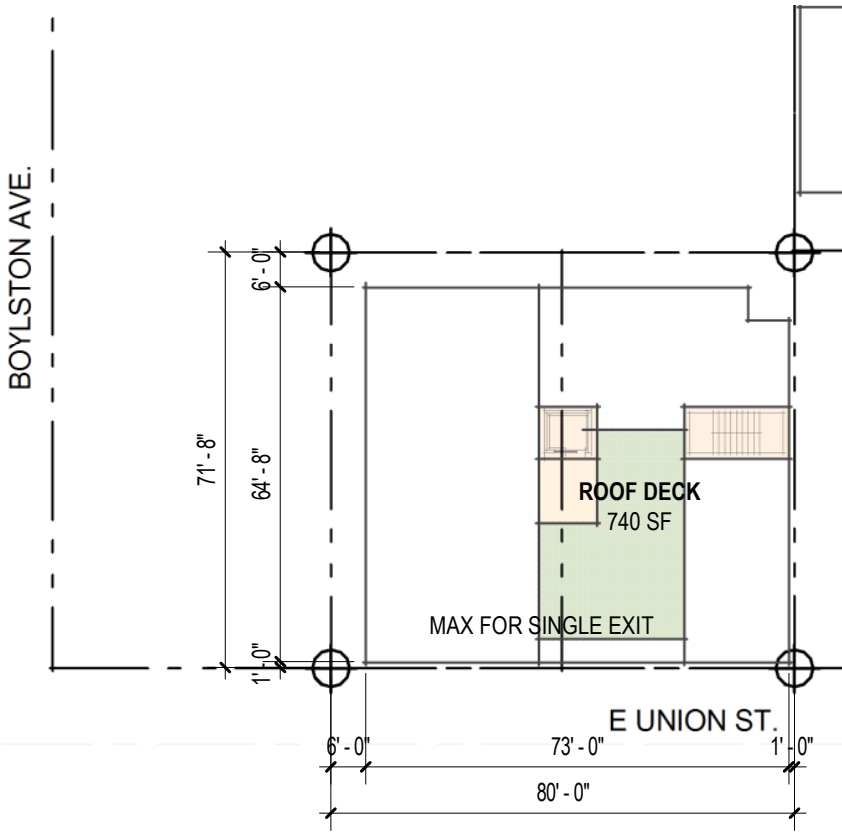
E/W BUILDING SECTION



LEVEL 1 FLOOR PLAN



TYPICAL FLOOR PLAN



ROOF PLAN

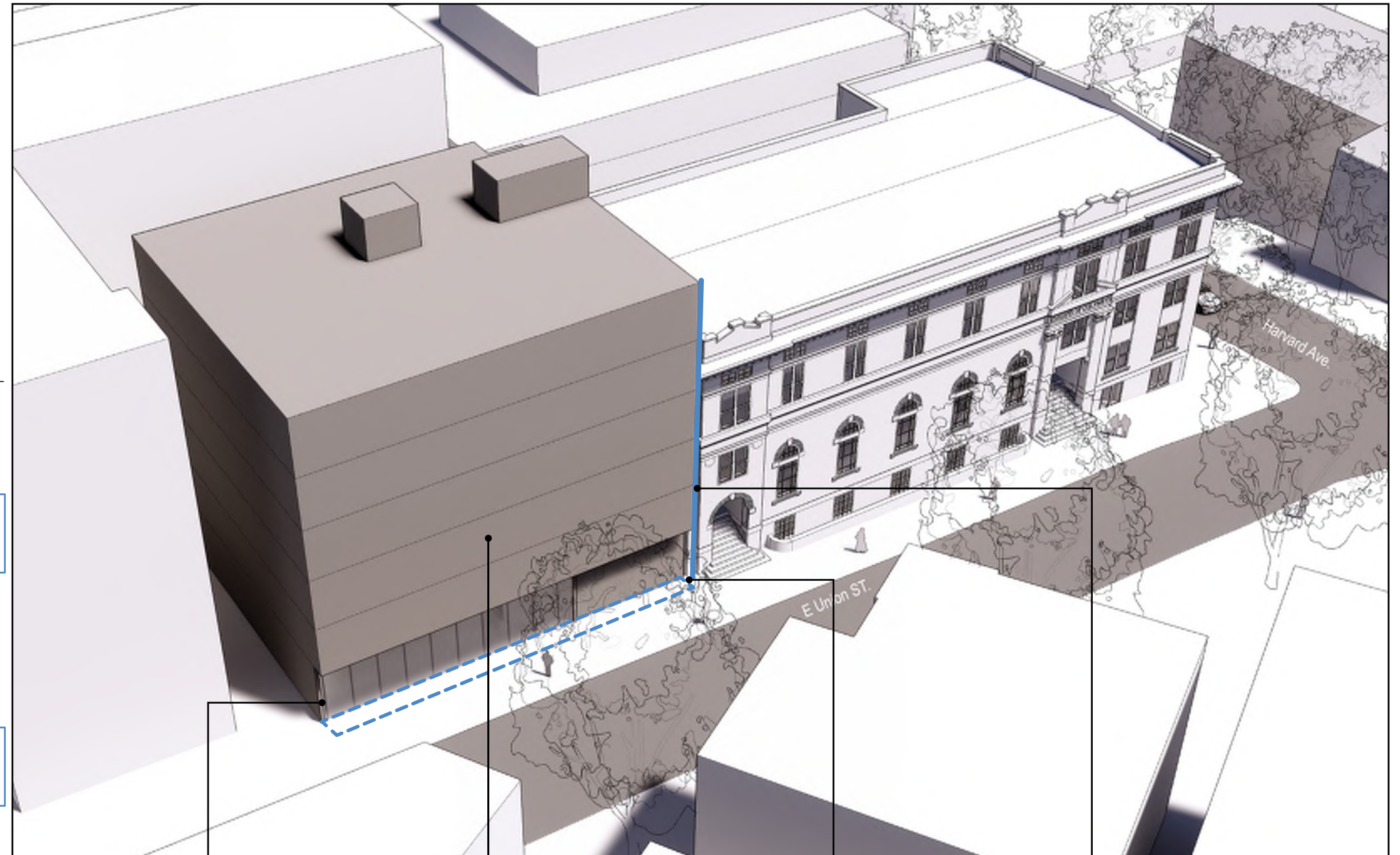
RELEVANT DESIGN GUIDELINES

PROS:

- CS2.2** Massing should respond to the established Pike/Pine development pattern of street facing facade widths to maintain a cohesive streetscape.
- CS2.3** Maintain a continuous street wall.
- CS3.1** Architectural styles and material that complement the historic "auto-row" light industrial vernacular style are encouraged.
- DC3.1** Design open space to enhance street-level activity.
- DC4.1** Exterior finish materials should complement the neighborhood's auto-row and light-industrial vernacular.

CONS:

- ~~**CS2.4**~~ Design new structures to be compatible in scale and form with surrounding context.
- ~~**CS3.2**~~ Design new development that references architectural features and elements of existing structures on the block face to maintain block face rhythm and continuity.
- ~~**PL3.1**~~ Entryways that feature heavy or contrasting trim, distinctive materials and a link to the surrounding streetscape are encouraged.
- ~~**DC2.1**~~ Design concepts for projects that include character structures should emphasize the character structure.
- ~~**DC3.2**~~ Design street level landscaping to complement open space areas.



CS2.2 CS2.3
Street level facade setback maintains continuous street wall to maintain a cohesive streetscape.

CS3.1 DC4.1
Brick facade complements the character structure and neighborhood.

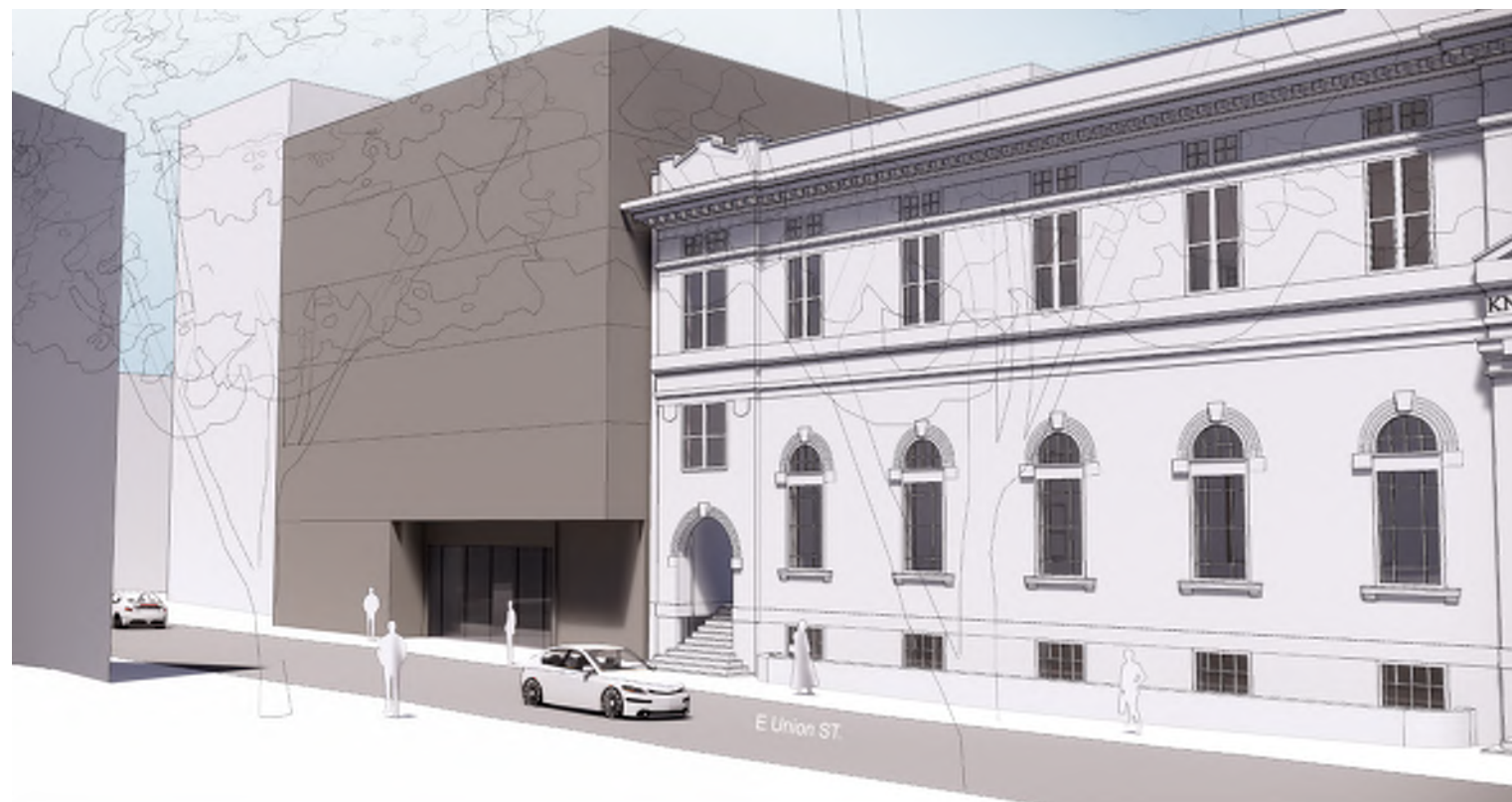
~~**DC3.2**~~
Minimum street level setback.

~~**CS2.4 DC2.1**~~
The scale of the massing adjacent to the character structure does not maintain continuity and rhythm.

OPTION B



E UNION ST ELEVATION



STREET VIEW FROM THE INTERSECTION OF E UNION ST. & HARVARD AVE.



BIRD'S EYE VIEW FROM THE INTERSECTION OF E UNION ST. & HARVARD AVE.

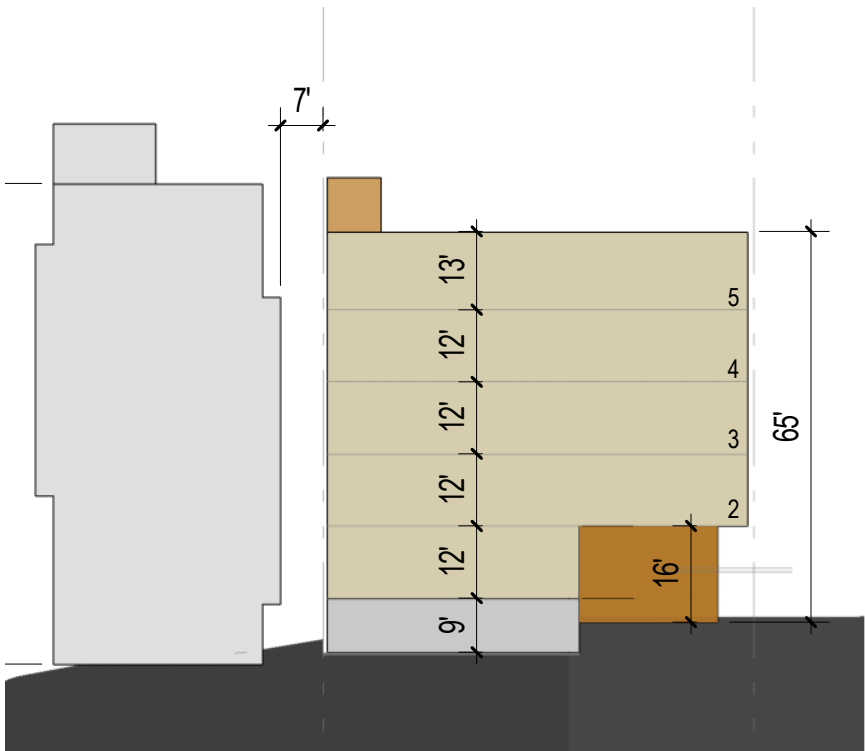


VIEW LOOKING NORTH EAST

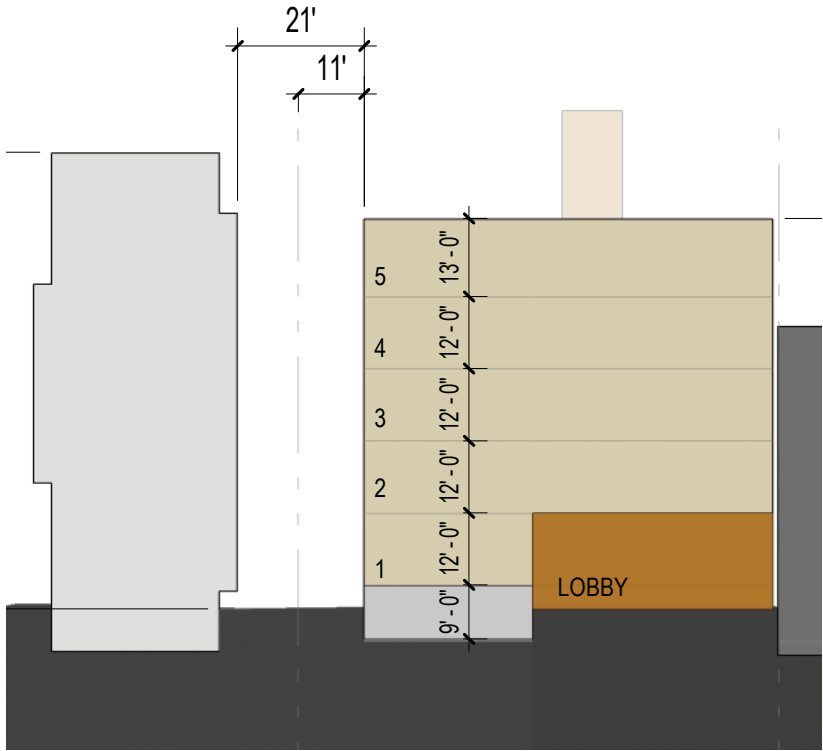


STREET VIEW FROM THE INTERSECTION OF E UNION ST. & BOYLSTON AVE.

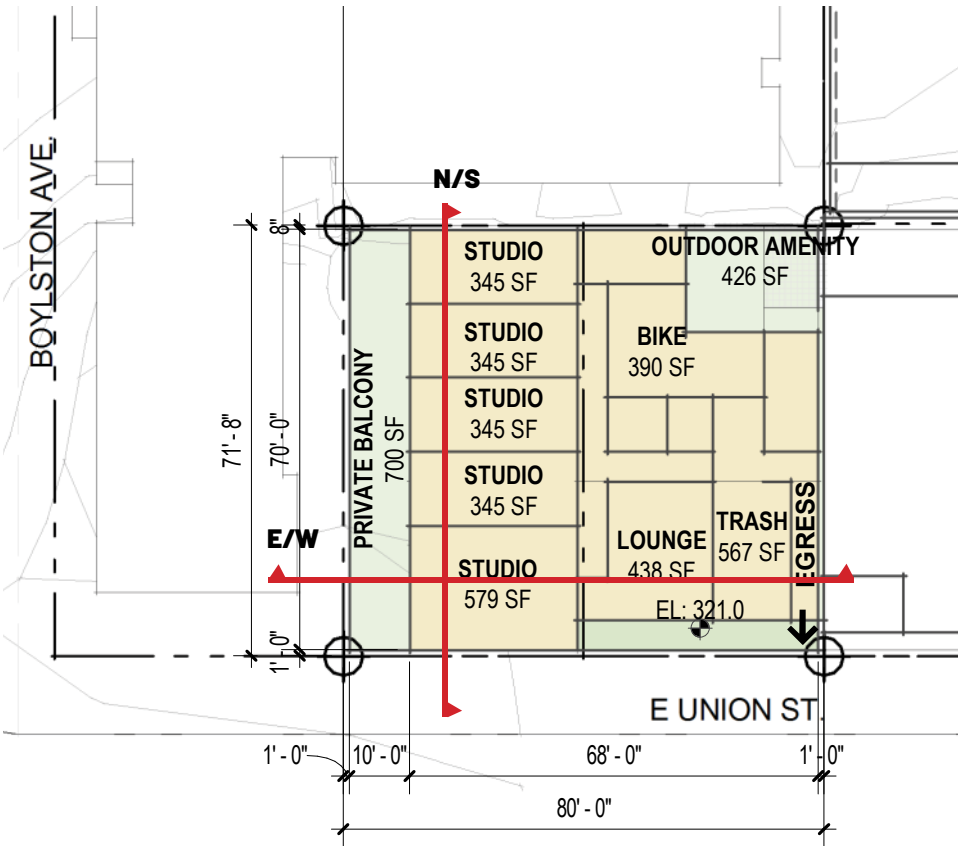
MASSING OPTIONS - OPTION B



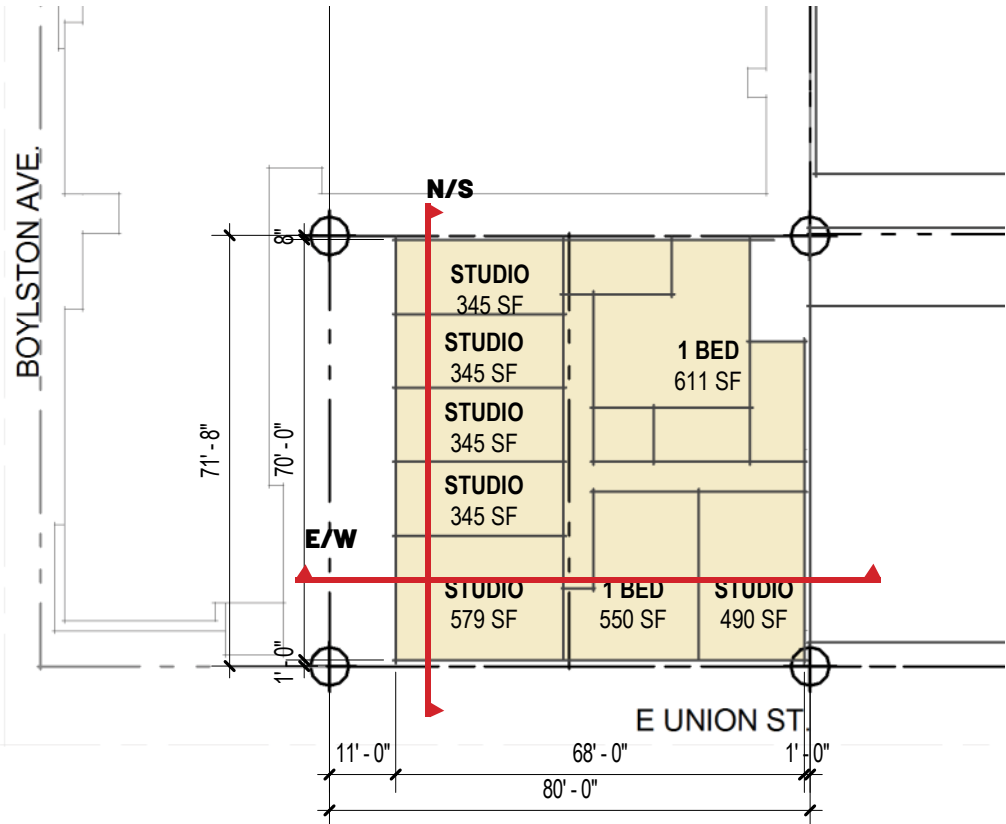
N/S BUILDING SECTION



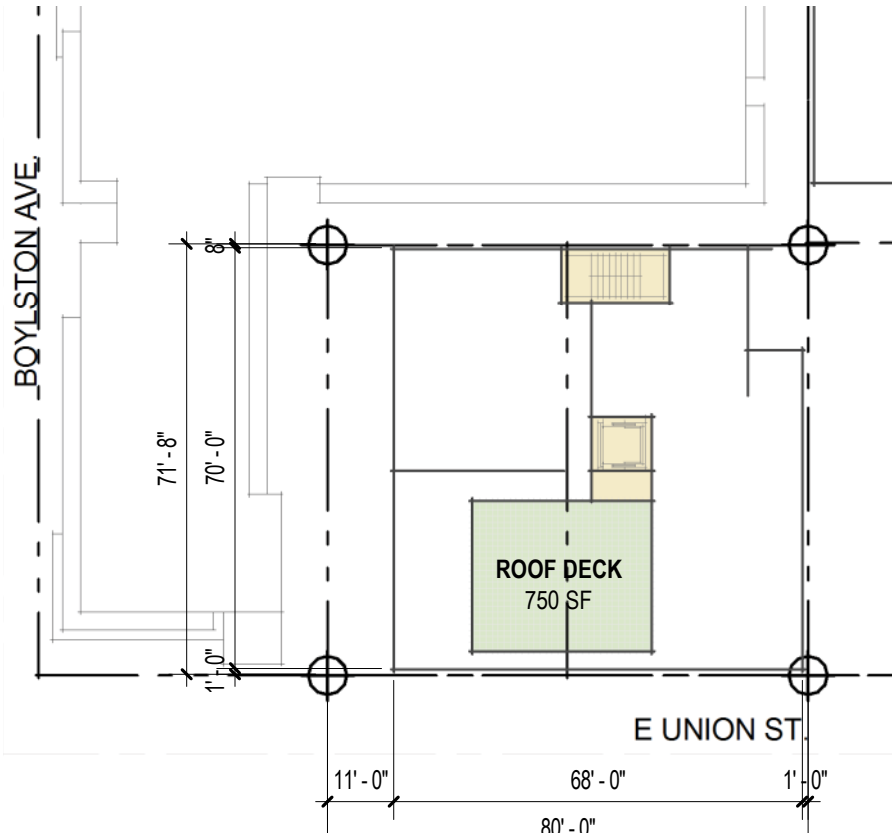
E/W BUILDING SECTION



LEVEL 1 FLOOR PLAN



TYPICAL FLOOR PLAN



ROOF PLAN

RELEVANT DESIGN GUIDELINES

PROS:

CS3.1

Architectural styles and material that complement the historic "auto-row" light industrial vernacular are encouraged.

DC4.1

Exterior finish materials should complement the neighborhood's auto-row and light-industrial vernacular.

CONS:

CS2.2

Massing should respond to the established Pike/Pine development pattern of street facing facade widths to maintain a cohesive streetscape.

CS2.3

Maintain a continuous street wall.

CS2.4

Design new structures to be compatible in scale and form with surrounding context.

CS3.2

Design new development that references architectural features and elements of existing structures on the block face to maintain block face rhythm and continuity.

PL3.1

Entryways that feature heavy or contrasting trim, distinctive materials and a link to the surrounding streetscape are encouraged.

PL3.2

Street level residences should be designed with physical and visual transitions for resident livability and privacy.

DC2.1

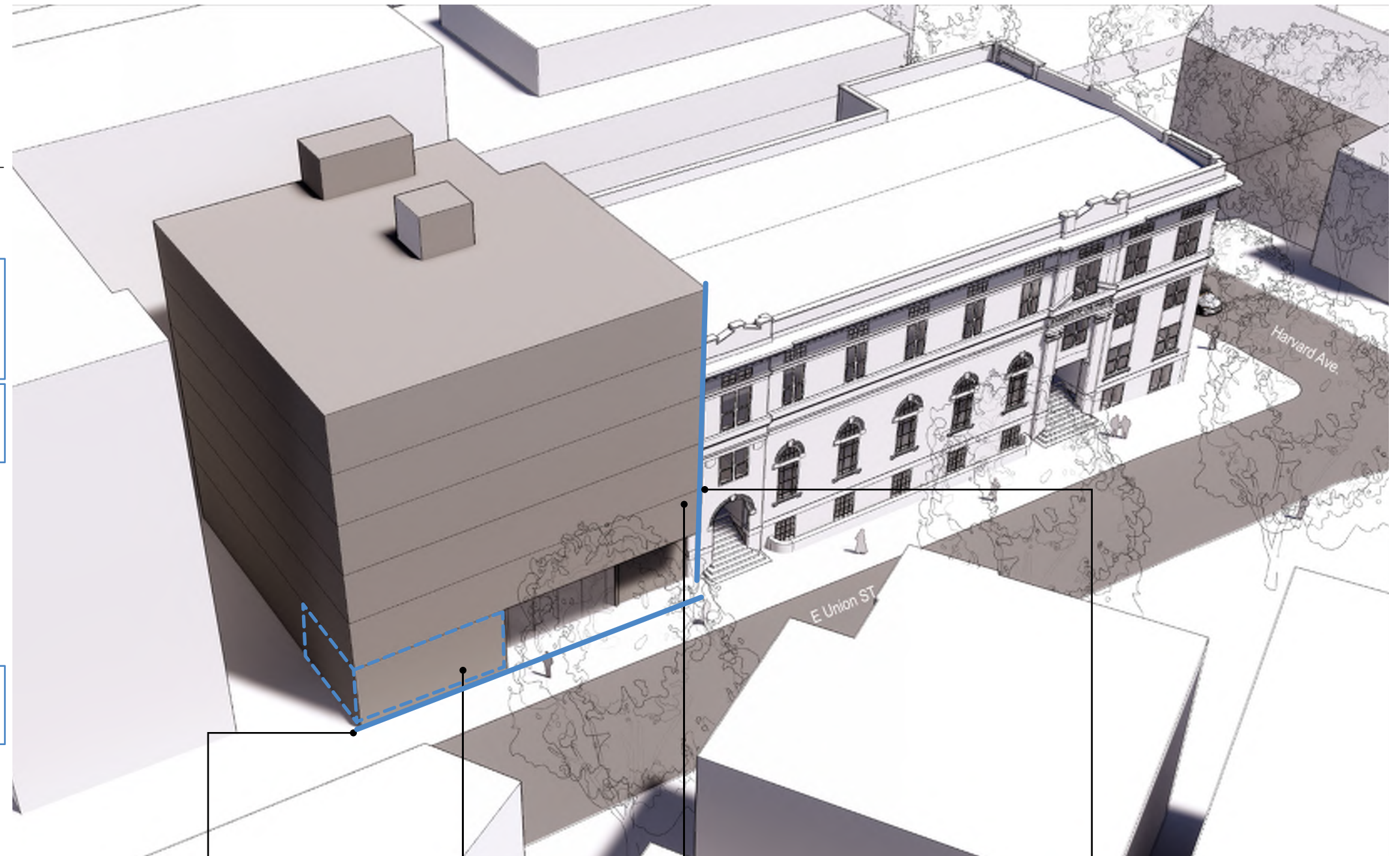
Design concepts for projects that include character structures should emphasize the character structure.

DC3.1

Design open space to enhance street-level activity.

DC3.2

Design street level landscaping to complement open space areas.



CS2.2

CS2.3

Street level facade setback does not maintain continuous street wall.

PL3.2

Street level units lack privacy.

CS3.1

DC4.1

Brick facade complements the character structure and neighborhood.

CS2.4

DC2.1

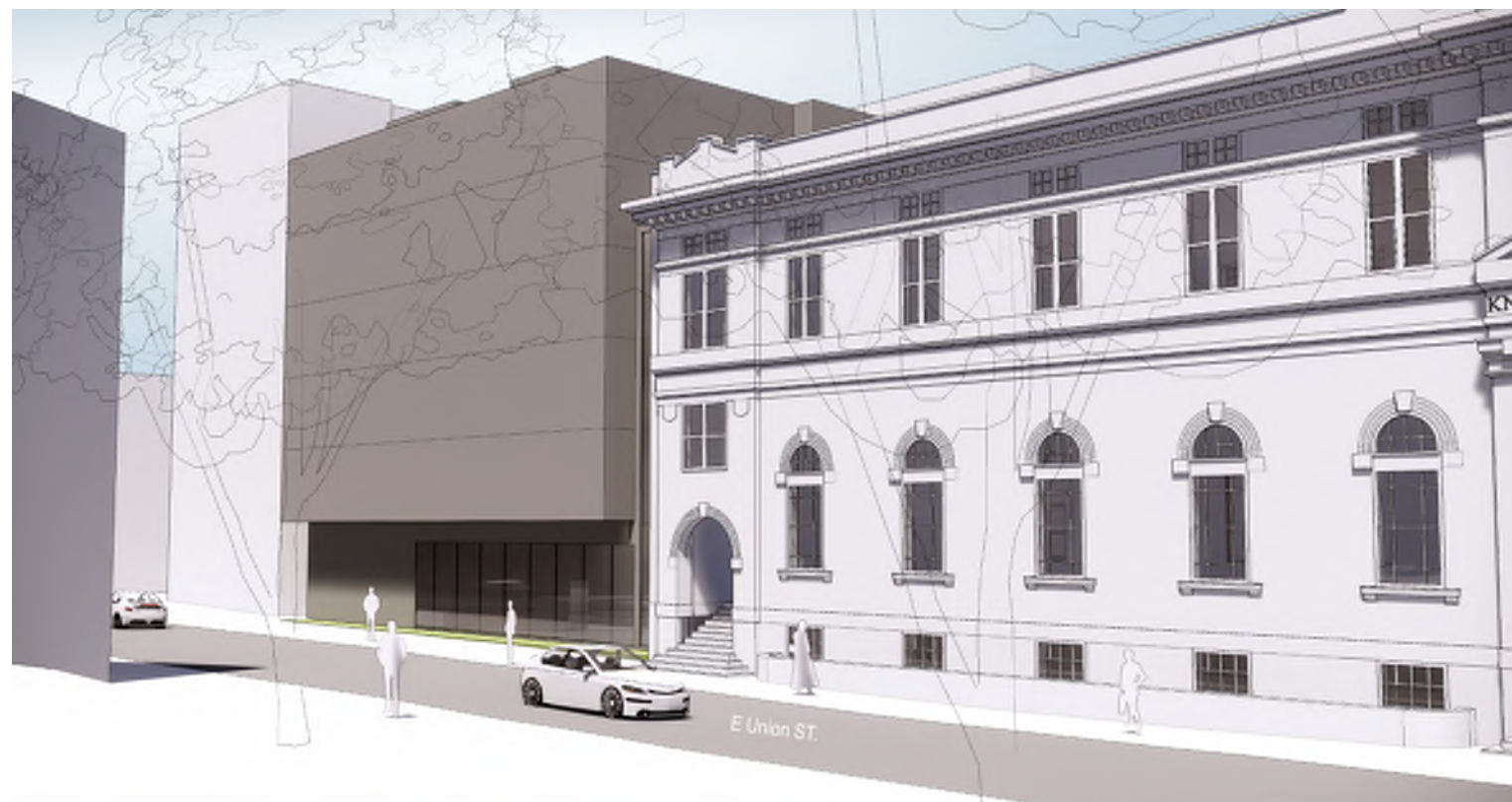
The scale of the massing adjacent to the character structure does not maintain continuity and rhythm.

OPTION C

PREFERRED



E UNION ST ELEVATION



STREET VIEW FROM THE INTERSECTION OF E UNION ST. & HARVARD AVE.



BIRD'S EYE VIEW FROM THE INTERSECTION OF E UNION ST. & HARVARD AVE.

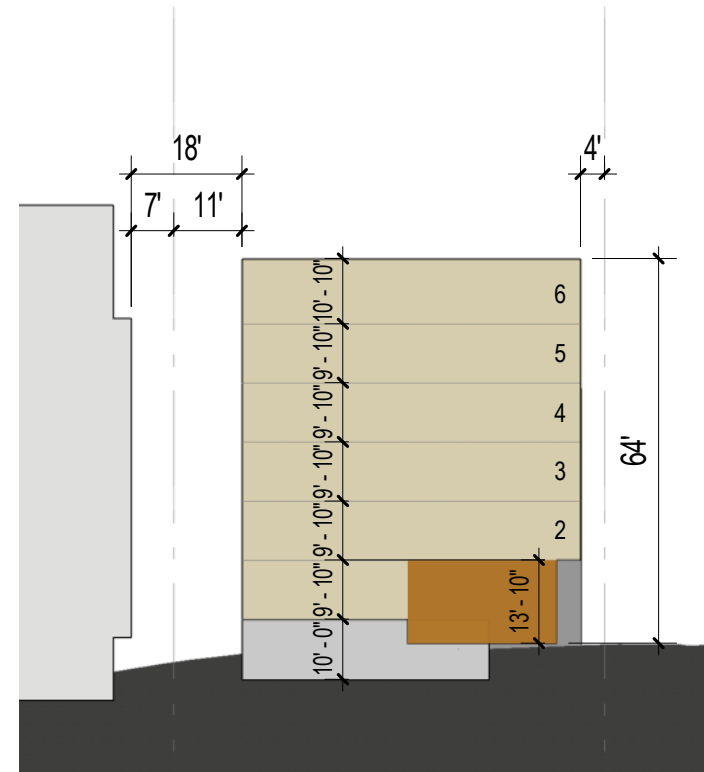


VIEW LOOKING NORTH EAST

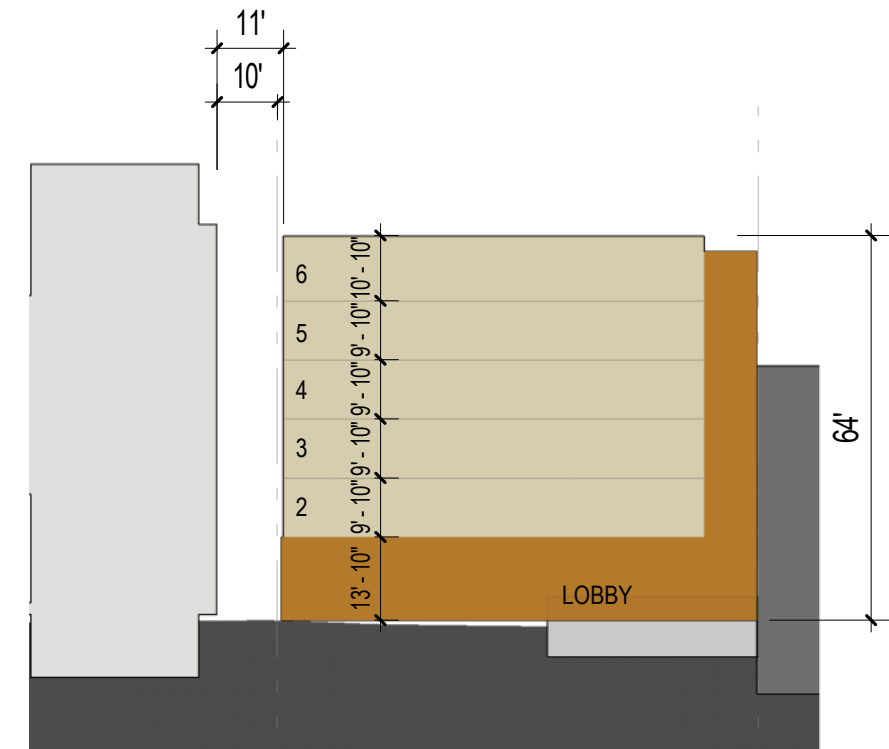


STREET VIEW FROM THE INTERSECTION OF E UNION ST. & BOYLSTON AVE.

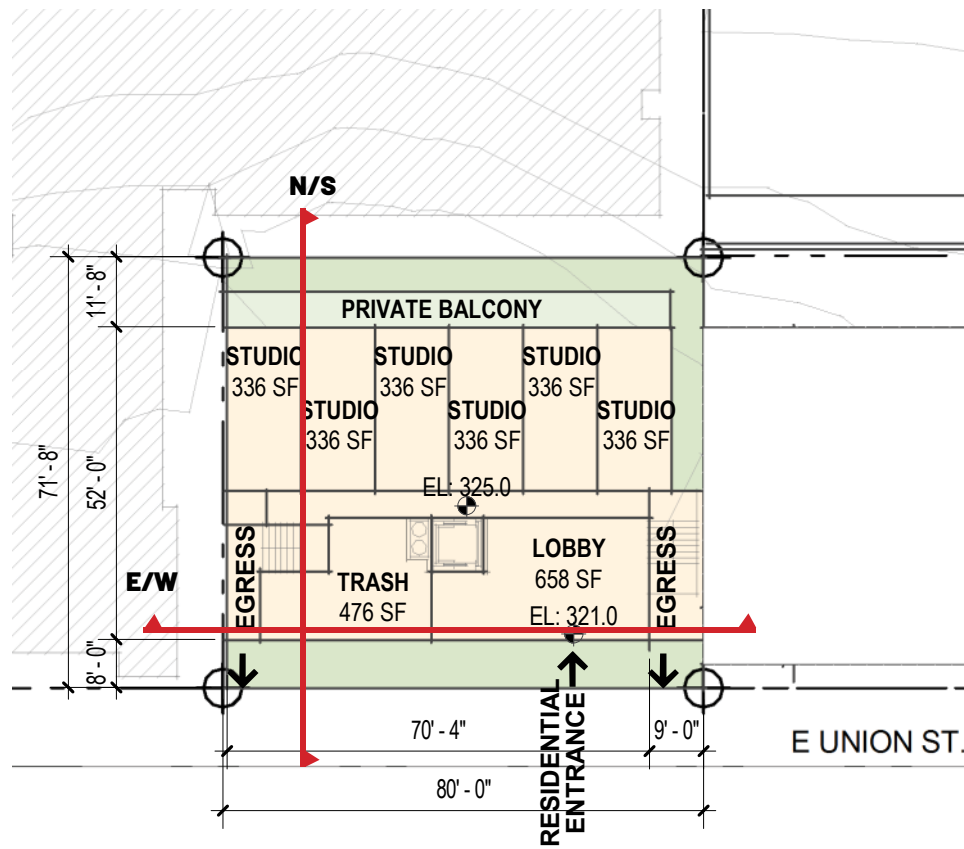
MASSING OPTIONS - OPTION C



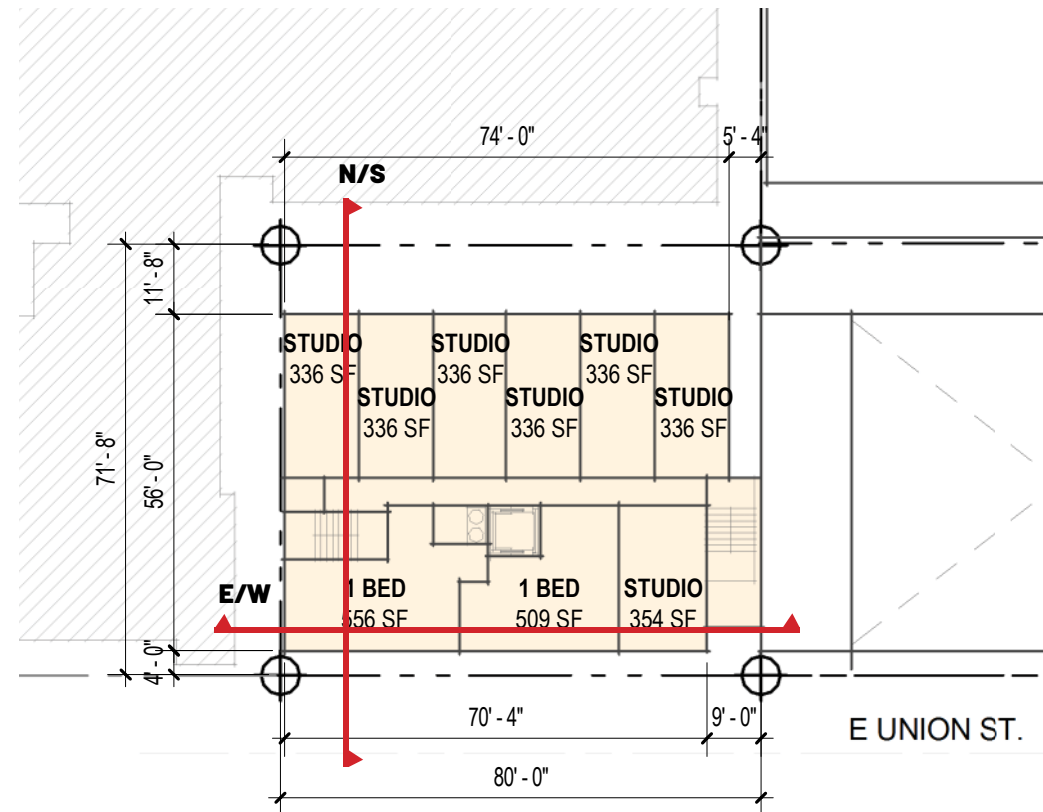
N/S BUILDING SECTION



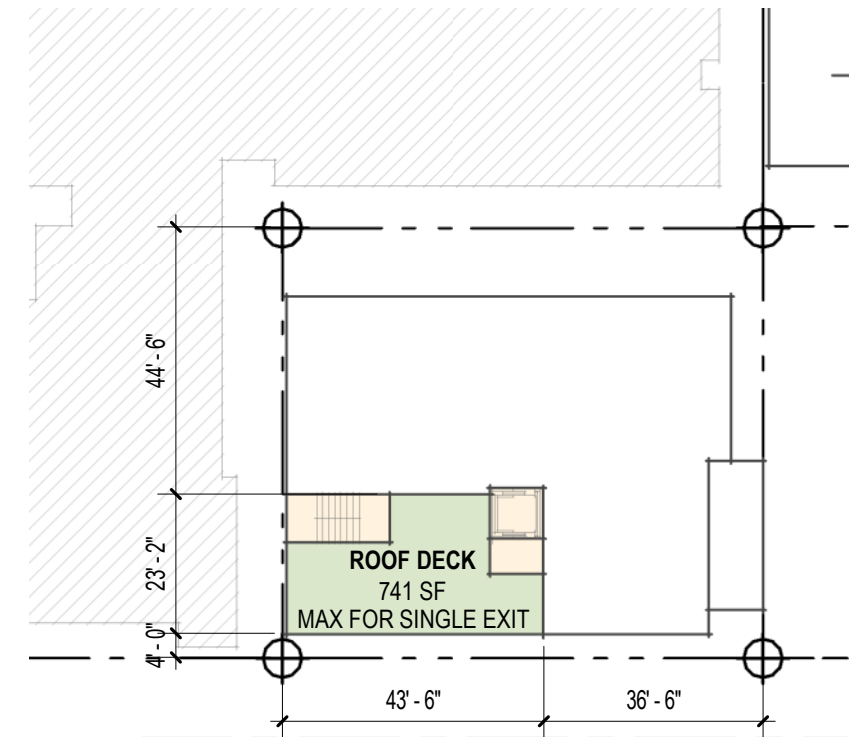
E/W BUILDING SECTION



LEVEL 1 FLOOR PLAN



TYPICAL FLOOR PLAN



ROOF PLAN

RELEVANT DESIGN GUIDELINES

PROS:

CS2.2

Massing should respond to the established Pike/Pine development pattern of street facing facade widths to maintain a cohesive streetscape.

CS2.3

Maintain a continuous street wall.

CS2.4

Design new structures to be compatible in scale and form with surrounding context.

CS3.1

Architectural styles and material that complement the historic "auto-row" light industrial vernacular are encouraged.

CS3.2

Design new development that references architectural features and elements of existing structures on the block face to maintain block face rhythm and continuity.

PL3.1

Entryways that feature heavy or contrasting trim, distinctive materials and a link to the surrounding streetscape are encouraged.

PL3.2

Street level residences should be designed with physical and visual transitions for resident livability and privacy.

DC2.1

Design concepts for projects that include character structures should emphasize the character structure.

DC3.1

Design open space to enhance street-level activity.

DC3.2

Design street level landscaping to complement open space areas.

DC4.1

Exterior finish materials should complement the neighborhood's auto-row and light-industrial vernacular.



CS2.2

CS2.3

Street level facade setback maintains continuous street wall to maintain a cohesive streetscape.

CS3.1

DC4.1

Brick facades complement the character structure and neighborhood.

DC3.1

DC3.2

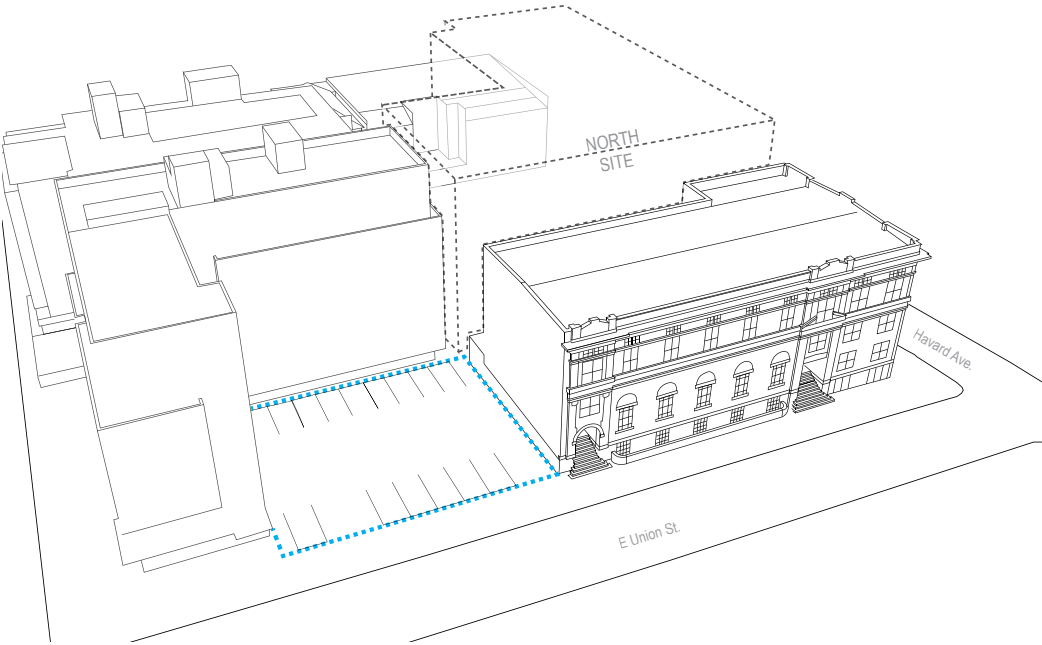
Open space enhances street level activity.

CS2.4

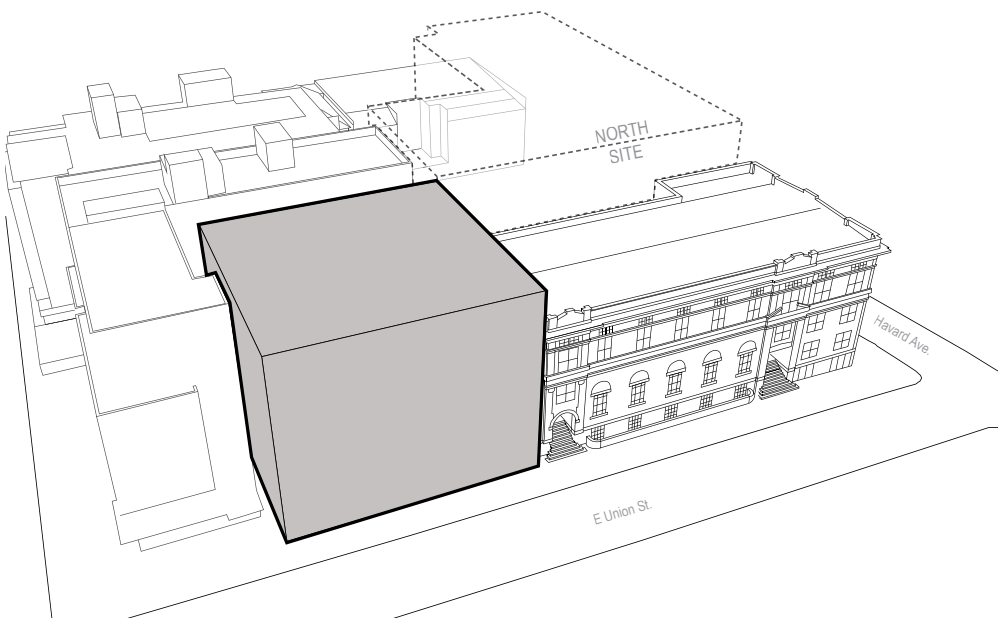
DC2.1

Transparent gasket breaks the scale of the new development to maintain continuity and rhythm.

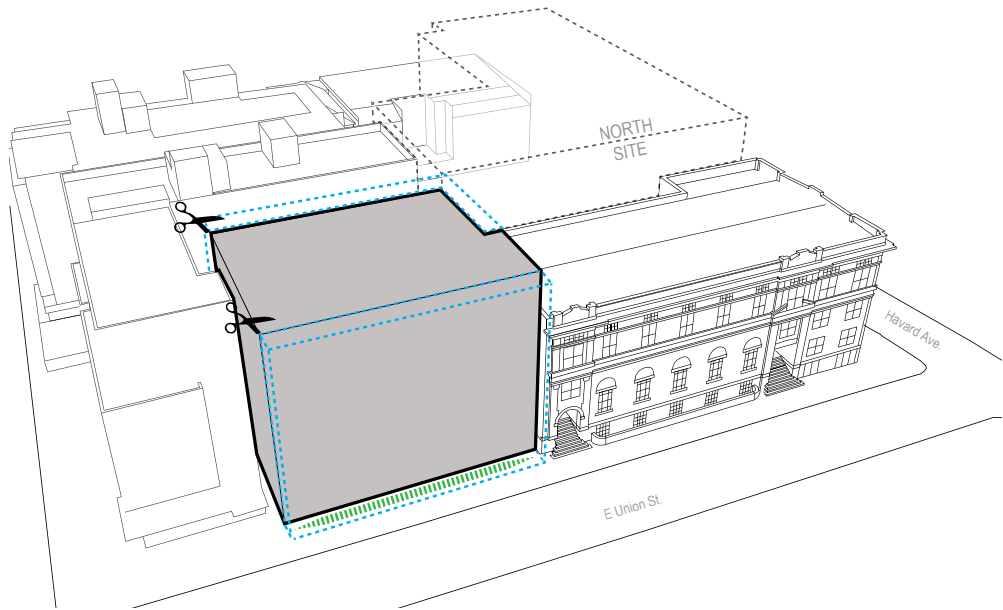
PREFERRED MASSING OPTION C
MASSING DEVELOPMENT



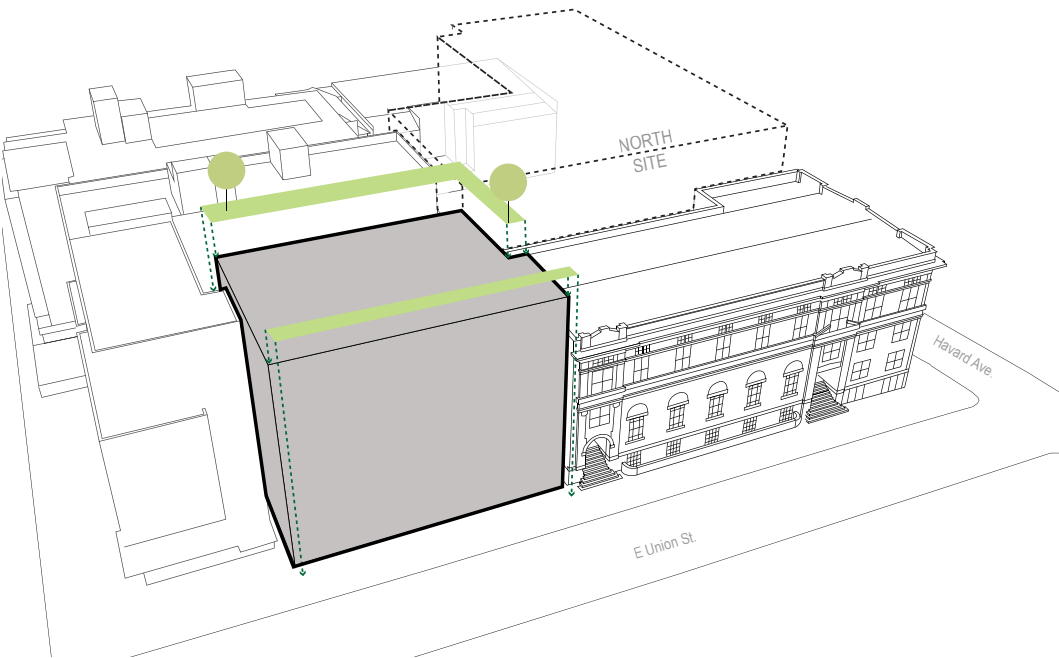
1 Existing site use



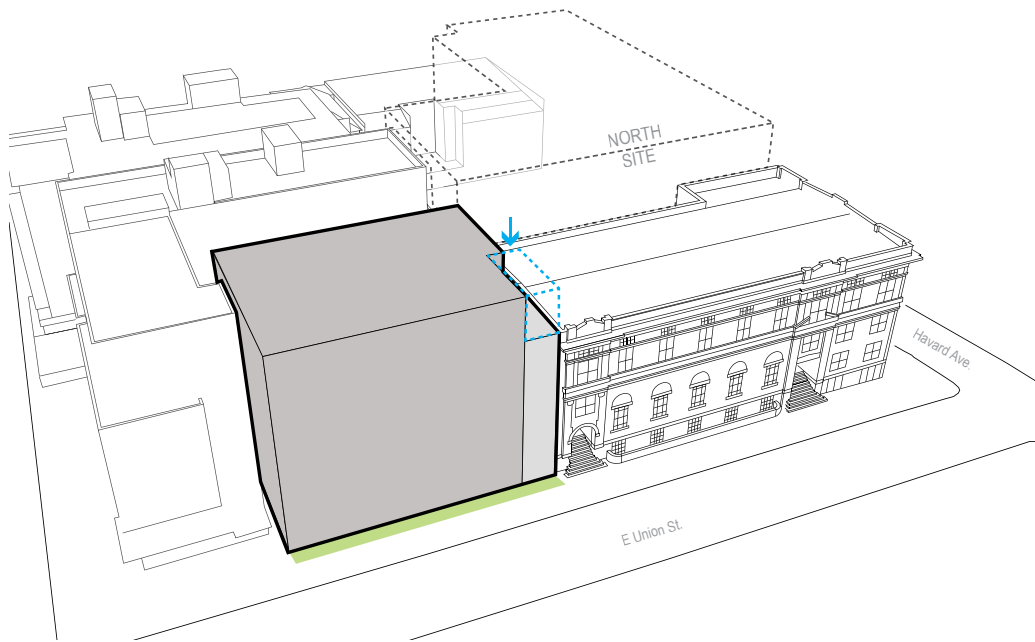
2 Maximum Zoning Envelope



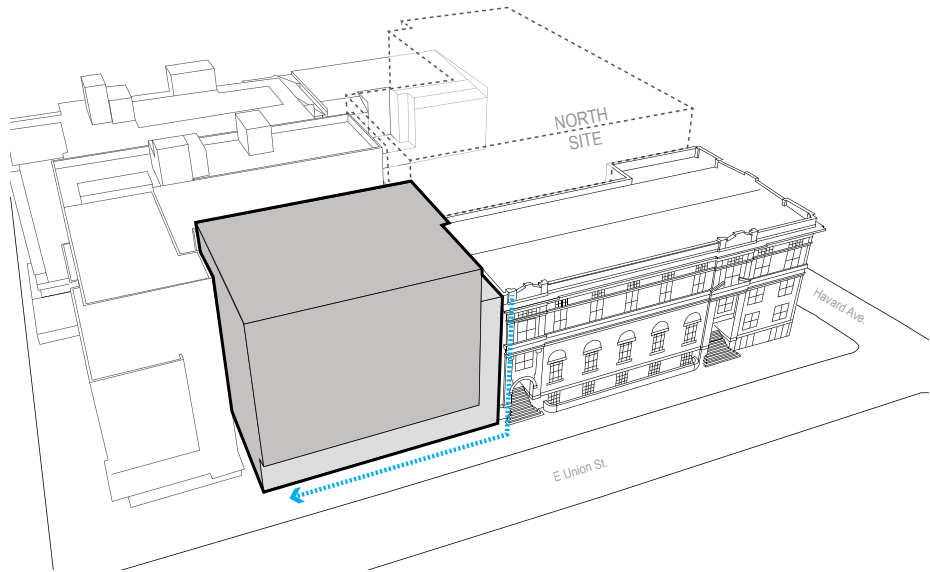
3 Setback 4' from the street to enhance streetscape on E Union St.
Setback 12' from the north property line to provide livable spaces
(-7,000 sf)



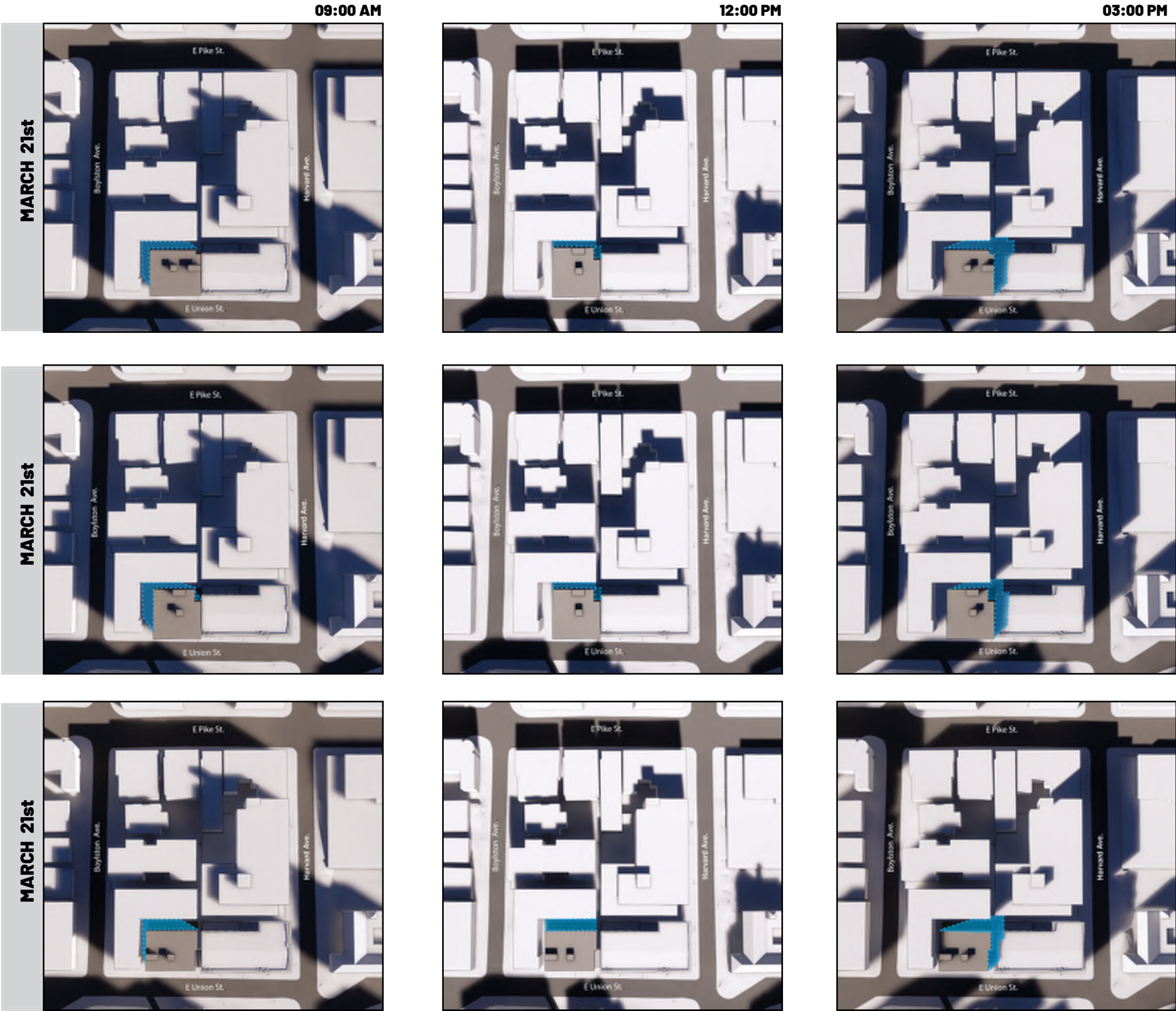
4 Introduce landscape to enhance these pockets of spaces.



5 Introduce transparent gasket element as a transition between
the historic building and new development



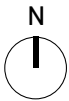
6 Wrap the transparent element to the street facade to provide
continuity and activate the streetscape, and also reduce the
impact on the historic structure
(-425 sf)



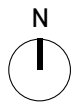
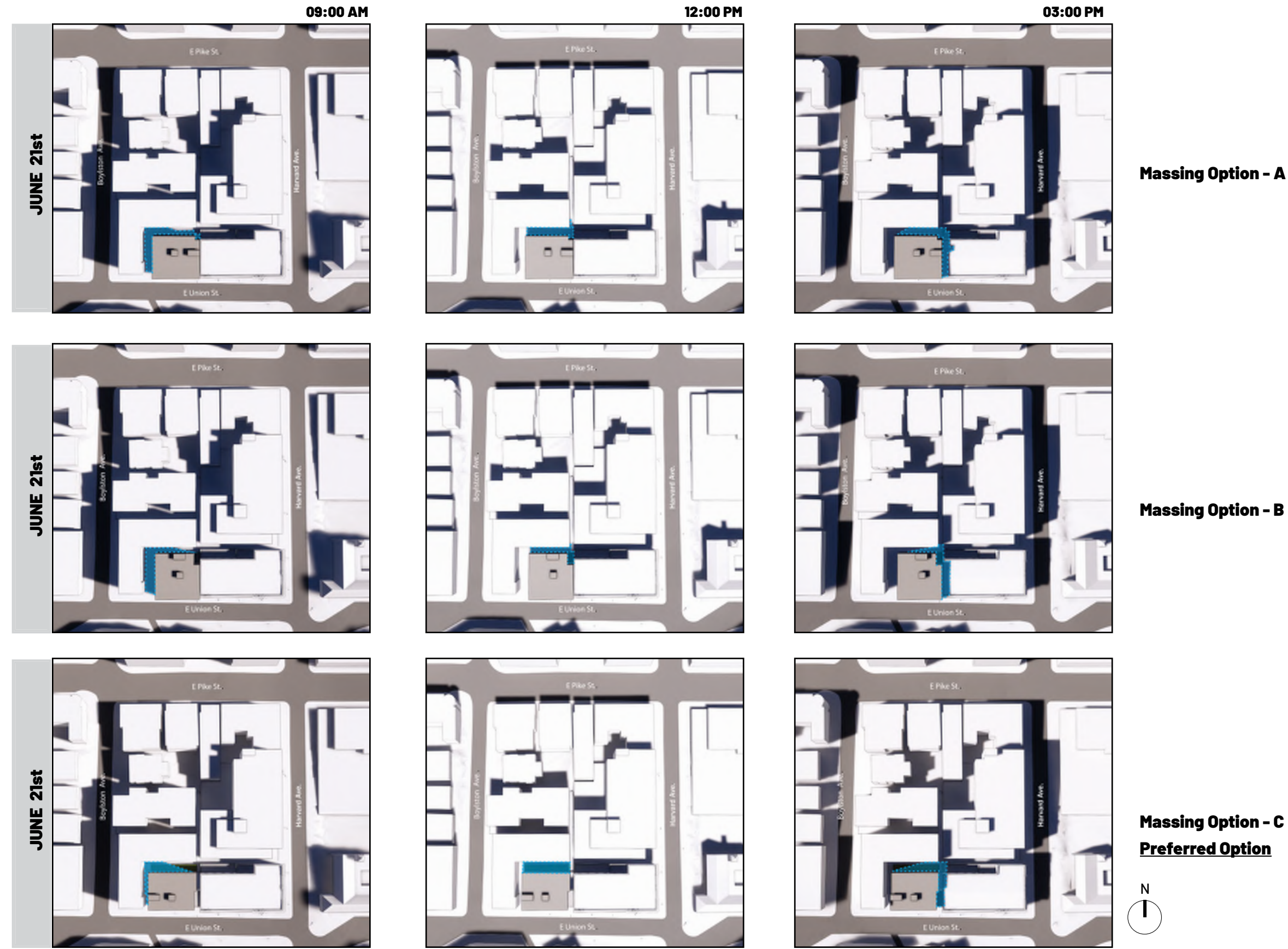
Massing Option - A

Massing Option - B

Massing Option - C
Preferred Option



DESIGN DEVELOPMENT - SOLAR STUDIES

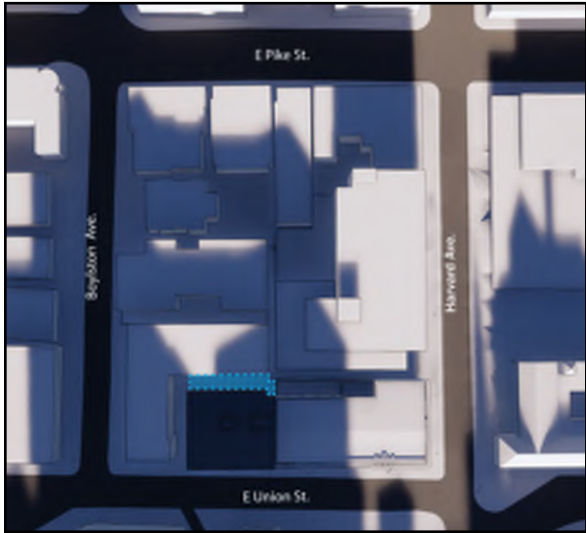


DECEMBER 21st

09:00 AM



12:00 PM

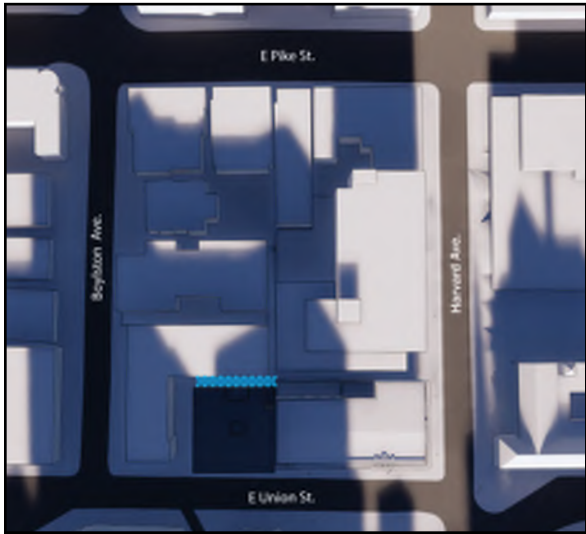


03:00 PM



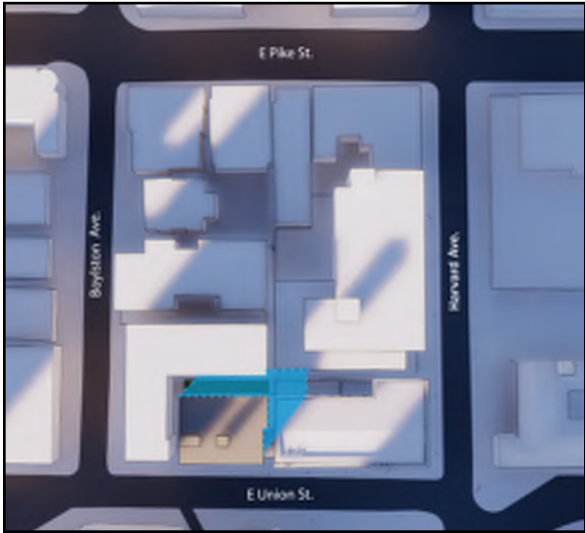
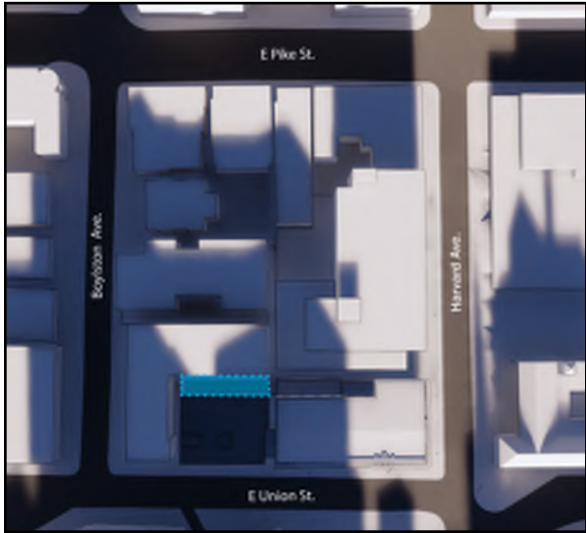
Massing Option - A

DECEMBER 21st

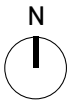


Massing Option - B

DECEMBER 21st

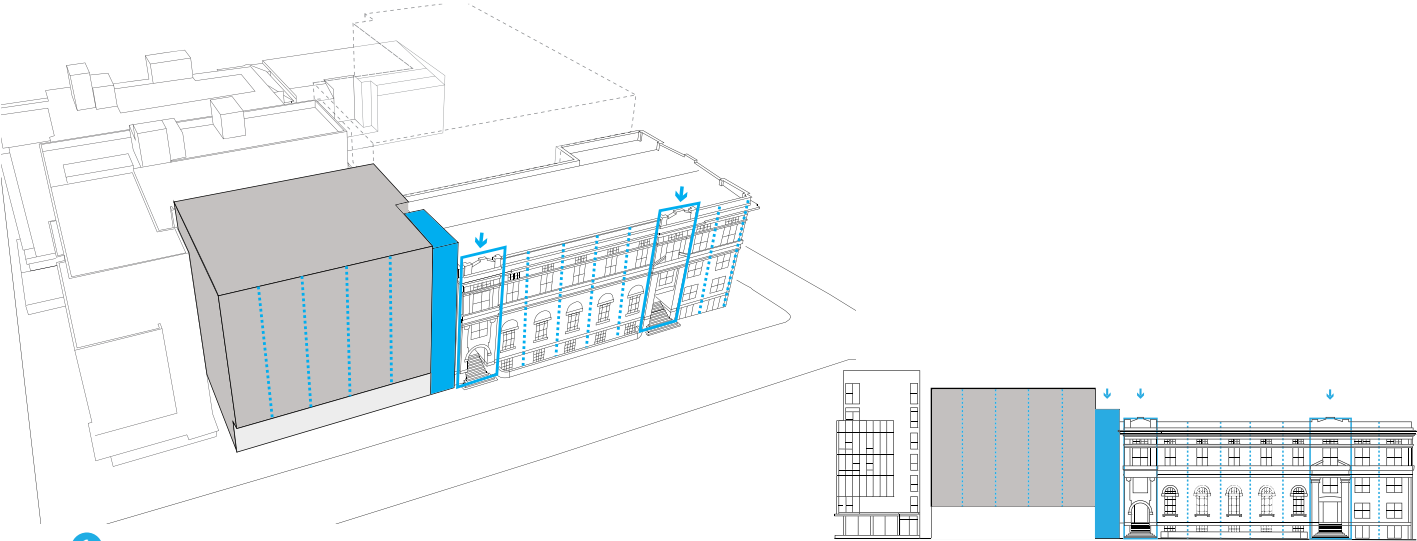


Massing Option - C
Preferred Option

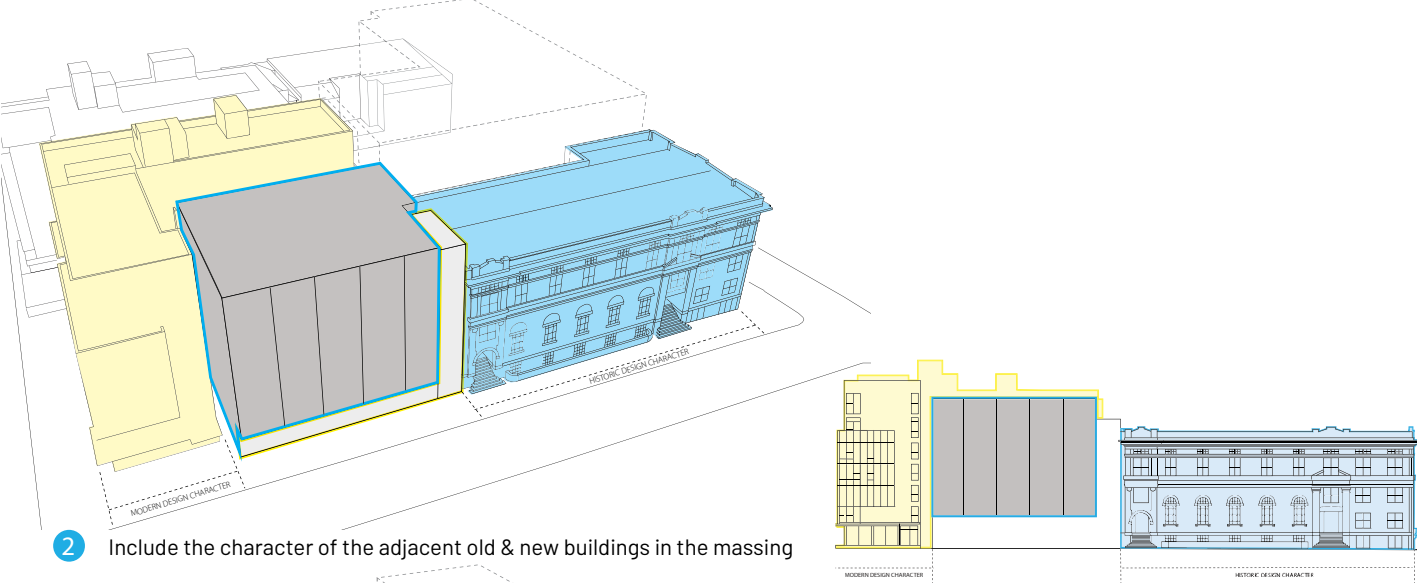


MASSING DEVELOPMENT

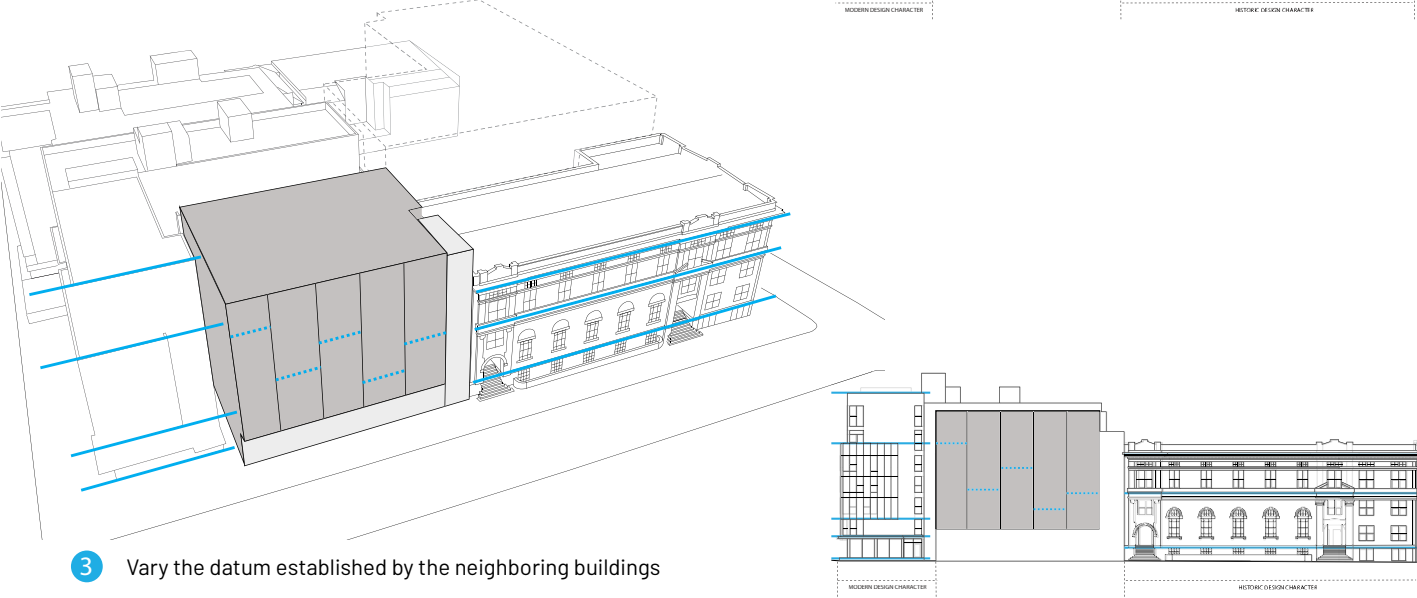
CONCEPT DESIGN 1 - PREFERRED MASSING OPTION C



1 Identify vertical elements of the KOC building



2 Include the character of the adjacent old & new buildings in the massing



3 Vary the datum established by the neighboring buildings



BIRD'S EYE VIEW LOOKING NORTH EAST



STREET VIEW LOOKING NORTH EAST



BIRD'S EYE VIEW LOOKING NORTH WEST



1 Irregular horizontal bands relate to the neighboring historic structure and new development while creating visual interest



2 Vertical brick detail



3 Accent panel highlights the verticality of the massing

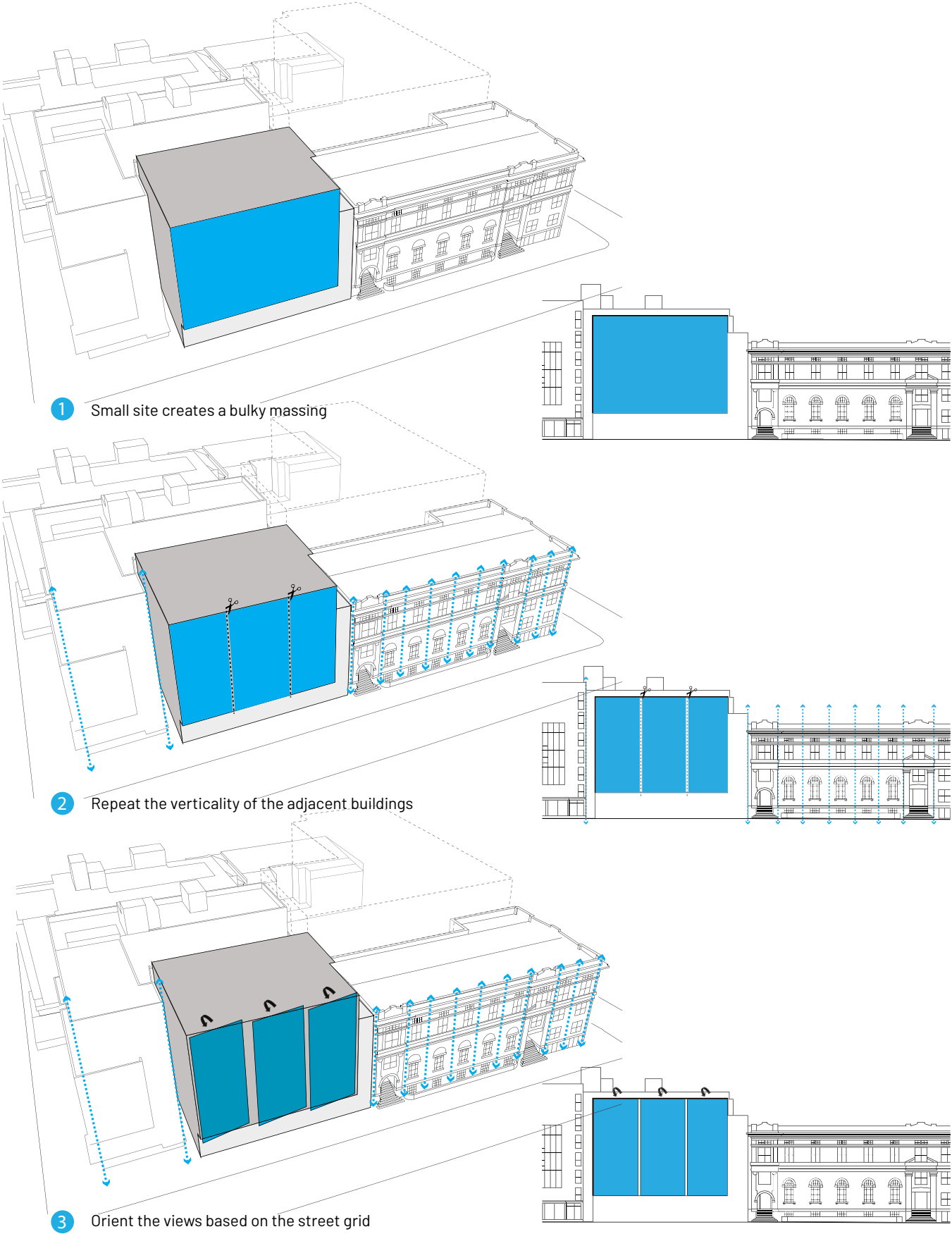


STREET VIEW LOOKING NORTH WEST



STREET VIEW LOOKING NORTH

CONCEPT DESIGN 2- PREFERRED MASSING OPTION C



RD'S EYE VIEW LOOKING NORTH EAST



FREET VIEW LOOKING NORTH EAST

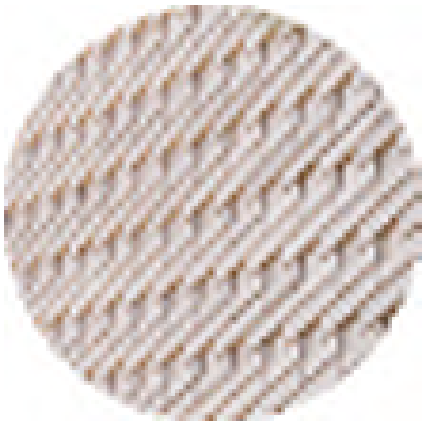
CONCEPT DESIGN 2- PREFERRED MASSING OPTION C



BIRD'S EYE VIEW LOOKING NORTH WEST



1 Brick to infill transition detail



2 Brick detail



3 Transparent gasket creates separation between the historic and new development

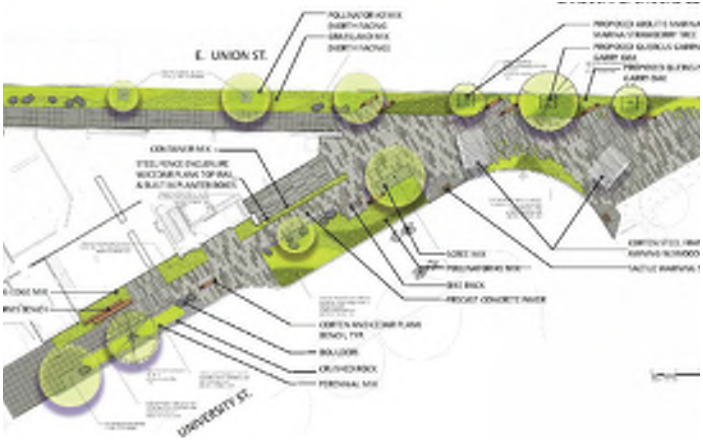


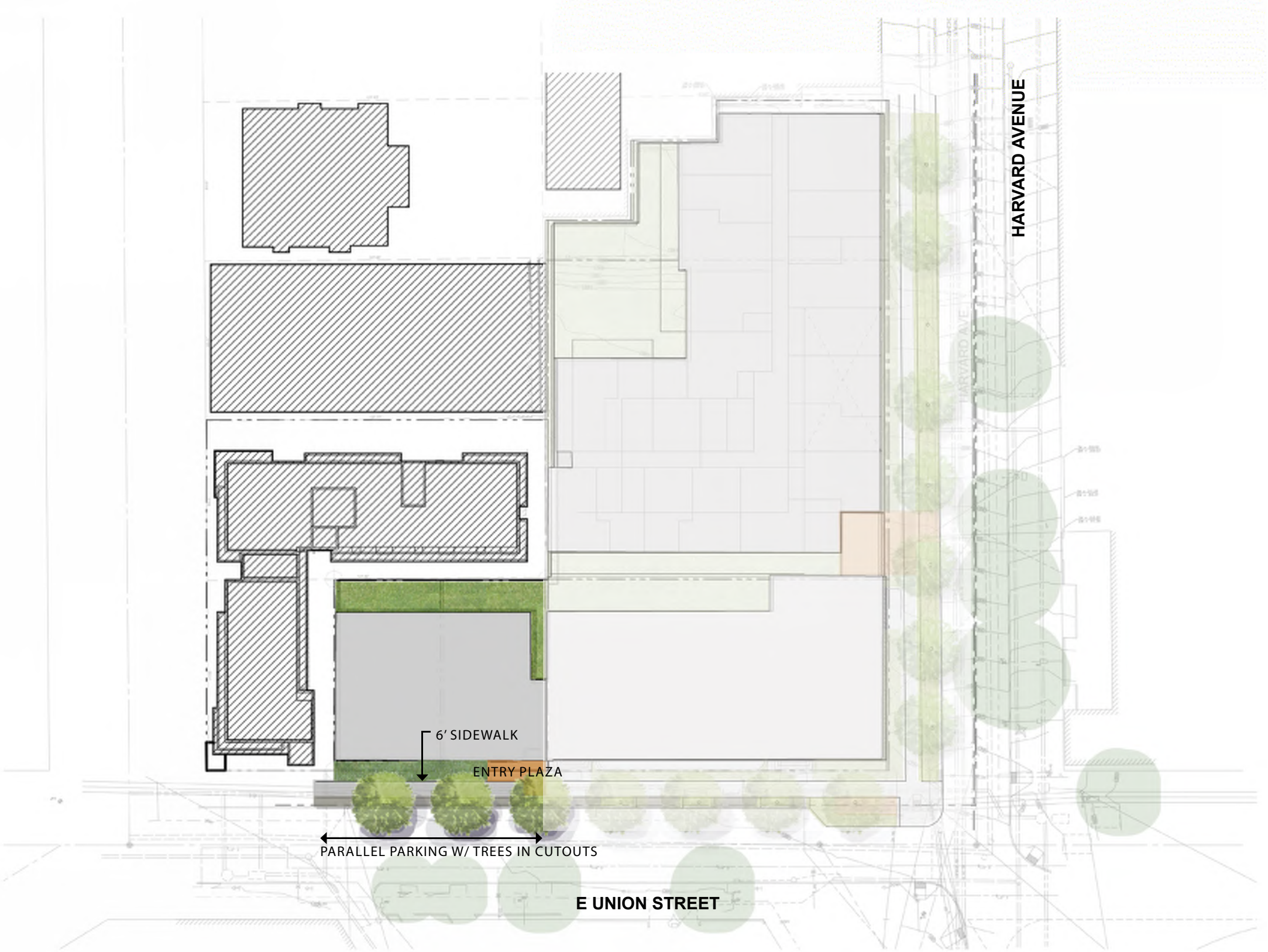
STREET VIEW LOOKING NORTH WEST



STREET VIEW LOOKING NORTH

ARCHITECTURAL EXPRESSION - NEIGHBORHOOD PATTERNS

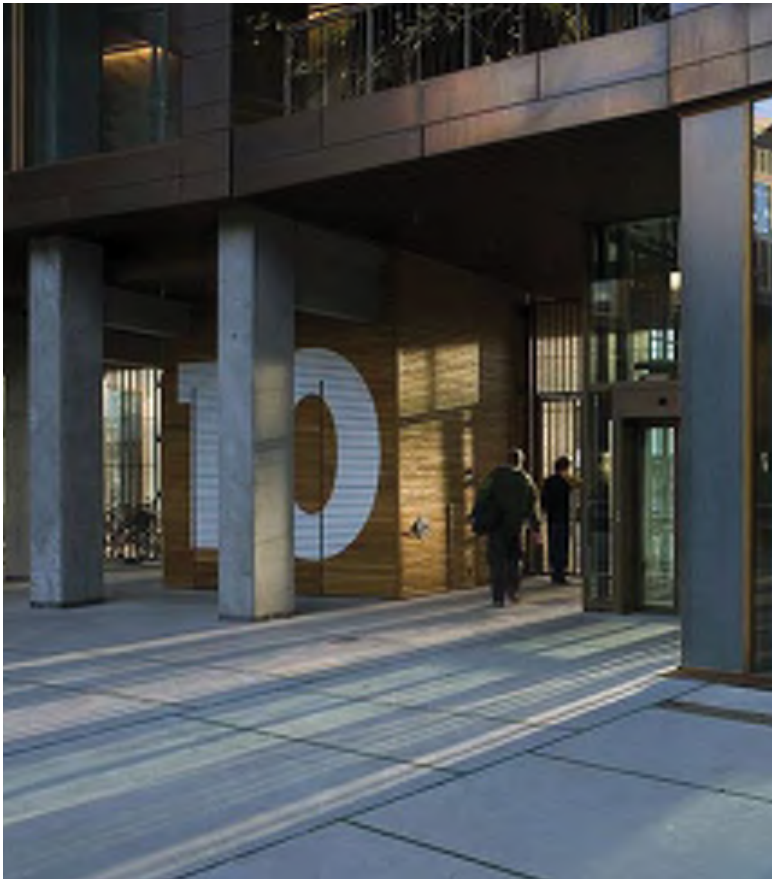




ARCHITECTURAL EXPRESSION - LANDSCAPE CONCEPT INSPIRATION



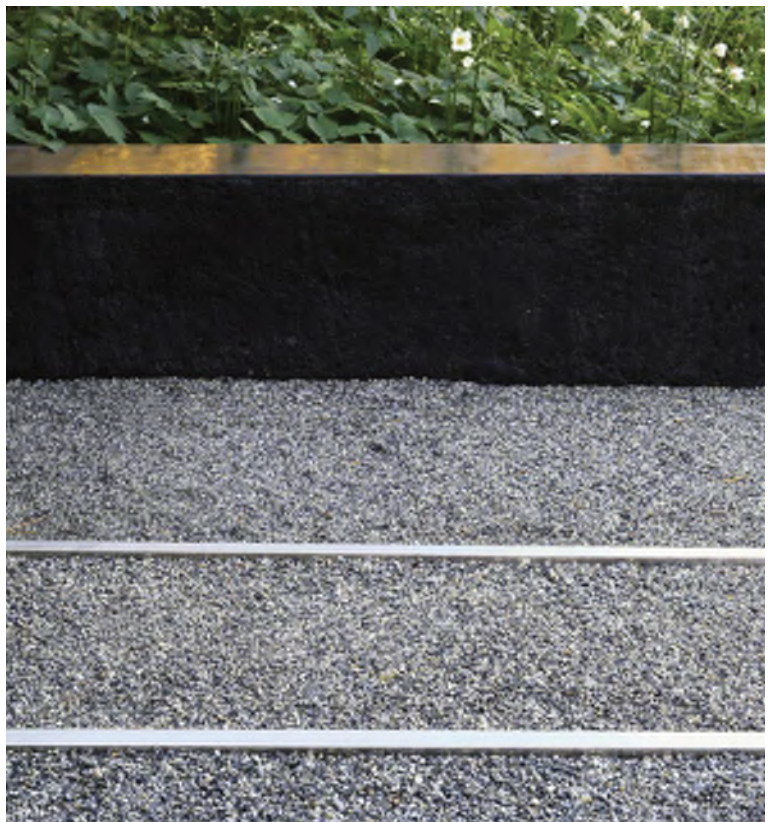
gaps green spaces



light patterns as floor and ceiling



private and public - emerging views - transparency

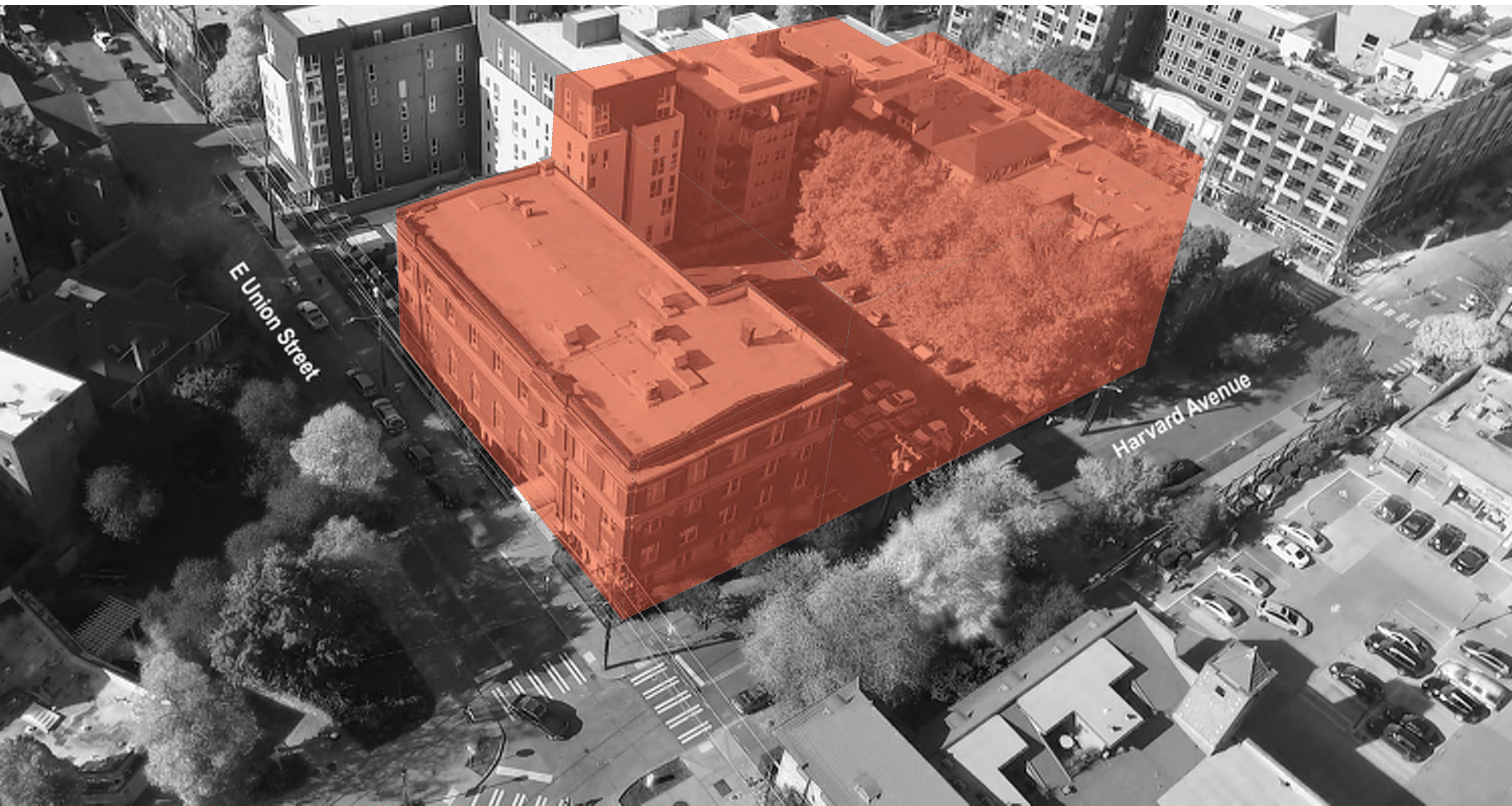




722 E UNION STREET

EARLY DESIGN GUIDANCE 1 # 3032716-EG

APRIL 24, 2019





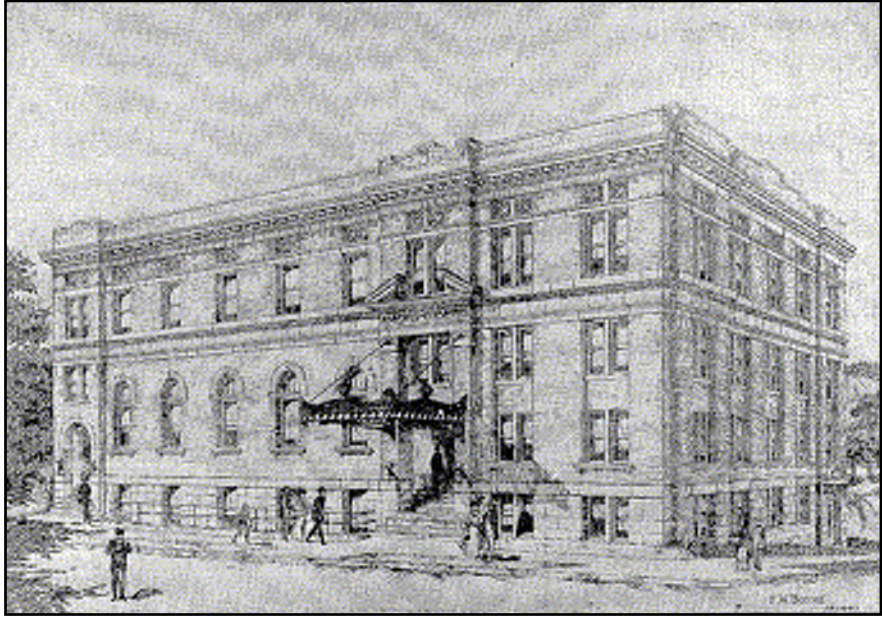
01 HISTORY & FUTURE

HISTORY - KNIGHTS OF COLUMBUS

SACKMAN HOME ADD'N PLATTED 1893



BIRD'S EYE VIEW OF SEATTLE, 1891



KNIGHTS OF COLUMBUS BUILDING

KNIGHTS OF COLUMBUS BUILT - 1913

THE SEATTLE COUNCIL OF THE KNIGHTS OF COLUMBUS, ONE OF THE WORLD'S LARGEST CATHOLIC FRATERNAL ORGANIZATIONS, WAS ESTABLISHED IN 1902.

THE CLUBHOUSE AT 722 E UNION STREET OPENED IN APRIL 1913.

THE BUILDING HOUSED A BALLROOM, MEN'S SMOKING ROOM, LADIES' PARLOR, AS WELL AS A GYM AND SWIMMING POOL IN THE BASEMENT. IT HAS HOSTED DANCES, WEDDINGS, FUNERALS, BANQUETS, HIGH SCHOOL BASKETBALL PRACTICES, AND NIGHT-CLASSES.



1853 STREET GRID ESTABLISHED

ARTHUR DENNY, CARSON BOREN AND DOC MAYNARD FILED THE FIRST PLATS FOR THE CITY OF SEATTLE, BUT COULD NOT AGREE STREET GRID ORIENTATION.

DENNY AND BOREN LAID THEIR STREET GRIDS PARALLEL TO THE SHORE OF ELLIOTT BAY. THIS ORIENTATION PREVAILED IN THE CENTRAL BUSINESS DISTRICT, INCLUDING WHAT IS NOW FIRST HILL.

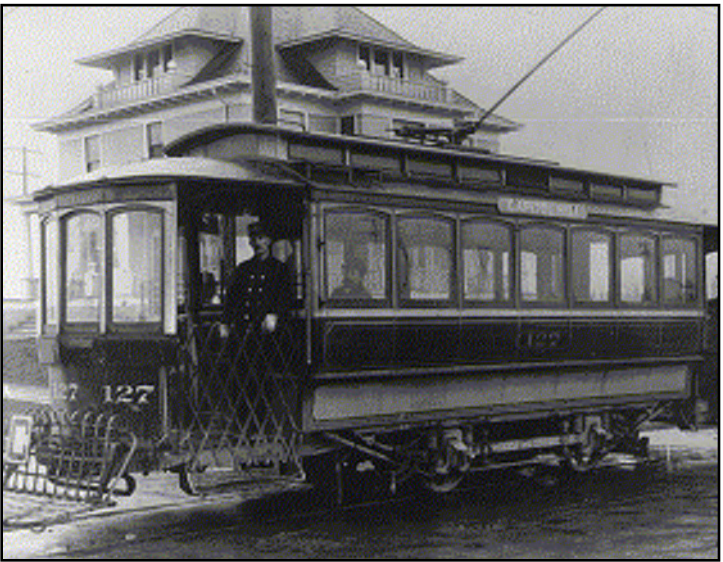
MAYNARD ALIGNED HIS STREET GRIDS WITH DUE NORTH. THIS GRID WAS EXTENDED THROUGHOUT THE CITY, INCLUDING WHAT IS NOW THE PIKE/PINE NEIGHBORHOOD.

1880s FIRST HILL DEVELOPMENT

FIRST HILL INITIALLY DEVELOPED AS A RESIDENTIAL AREA, BECOMING HOME TO THE MANSIONS OF THE CITY'S "FIRST FAMILIES" IN THE 1880S, AND CONTINUED TO GROW AFTER THE FIRST STREETCAR LINE WAS EXTENDED FROM BEACON HILL ALONG BROADWAY IN 1891.

1901-1909 PIKE/PINE DEVELOPMENT

THE EXTENSION OF STREET CAR LINES TO CAPITOL HILL RIDGE IN 1901-1909 INCREASED ACCESS, RESULTING IN A RESIDENTIAL BUILDING BOOM. CAPITOL HILL QUICKLY BECAME A "STREETCAR SUBURB" WITH A MIX OF LARGE AND MODEST HOUSES, AS WELL AS APARTMENT HOUSES, EAST AND WEST OF THE COMMERCIAL AND TRANSPORTATION SPINES OF BROADWAY, 15TH AND 19TH.



CAPITOL HILL ELECTRIC TROLLEY, 1903

FUTURE - PUBLIC OUTREACH / DEVELOPMENT OBJECTIVES

PROJECT ADDRESS:	722 E UNION ST, SEATTLE, WA 98122 1409 HARVARD AVE, SEATTLE, WA 98122 1407 HARVARD AVE, SEATTLE, WA 98122
SITE AREA:	9,425 SF (0.22 ACRES) 15,350 SF (0.35 ACRES) 5,758 SF (0.13 ACRES)
ZONING:	ZONING TYPE: NC3P-65; PIKE / PINE OVERLAY DISTRICT
PROJECT VISION:	PROVIDE A VARIETY OF UNIT TYPES AT THE INTERSECTION OF THE PIKE/PINE AND FIRST HILL NEIGHBORHOODS THAT SUPPORT WALKABILITY AND EASY ACCESS TO SHOPPING, NIGHTLIFE, AND ARTS. PRESERVE AND REUSE THE KNIGHTS OF COLUMBUS BUILDING AND DESIGN NEW CONSTRUCTION TO BE COMPATIBLE WITH THE HISTORIC CHARACTER.
NEW BUILD UNITS:	PROPOSED +/-125 NEW UNITS
NEW BUILD GSF:	PROPOSED +/- 186,000 GSF
PARKING:	PROPOSED +/- 140 STALLS PROPOSED +/- 47,800 GSF

ESTIMATED COMPLETION - SUMMER 2021

DEVELOPER:	SRM 111 N. POST ST, SUITE 200, SPOKANE, WA 99201
ARCHITECT:	RUNBERG ARCHITECTURE GROUP 1 YESLER WAY, SEATTLE, WA 98104
LANDSCAPE ARCHITECT:	BRUMBAUGH & ASSOCIATES 600 N 85TH STREET, SUITE 102, SEATTLE WA 98103
BUILDING CODE:	2015 SEATTLE BUILDING CODE
TAX ACCOUNT NUMBERS:	7502500045, 7502500050, 7502500060
POTENTIAL DEPARTURES:	NONE PROPOSED

COMMUNITY OUTREACH - FALL 2018

PROJECT HOT LINE:
1-206-512-3971

PROJECT POSTER:
LOCATED AT MULTIPLE
SURROUNDING SITES
(SHOWN, LEFT)

OPEN HOUSE:
HELD NOVEMBER 28,
2018 AT THE KNIGHTS OF
COLUMBUS BUILDING
(PICTURED, RIGHT)



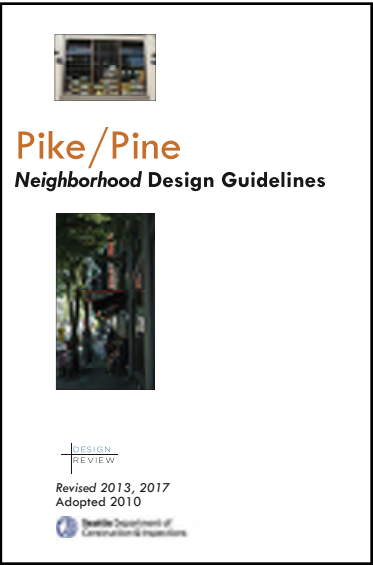
COMMUNITY OUTREACH COMMENTS

- The architects intend to renovate the Knights of Columbus building with sensitivity.
- The two apartment buildings should respect the historic context, surrounded as they will be by historic, mostly brick buildings.
- The west building should cover up the adjacent black-and-white pod building at Union & Boylston.
- Parking is a concern.

2009 - PIKE/PINE CONSERVATION DISTRICT

CITY COUNCIL
CREATES
PIKE/PINE
CONSERVATION
OVERLAY
DISTRICT WHICH
PROVIDES ZONING
INCENTIVES FOR
MAINTAINING
CHARACTER
STRUCTURES
IN THE
NEIGHBORHOOD.

DR3-2012
IDENTIFIES
THE KNIGHTS
OF COLUMBUS
BUILDING AS
A CHARACTER
STRUCTURE.



APRIL 2019 - CITY LANDMARK DESIGNATION

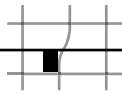
THE KNIGHTS
OF COLUMBUS
BUILDING WAS
NOMINATED AS A
CITY OF SEATTLE
LANDMARK ON
APRIL 3, 2019.

IF DESIGNATED
ON APRIL 17, 2019,
ALTERATIONS
TO THE HISTORIC
BUILDING WILL
BE APPROVED
BY THE SEATTLE
LANDMARKS
PRESERVATION
BOARD.

SRM IS PURSUING
FEDERAL
LANDMARK
DESIGNATION
FOR THE KNIGHTS
OF COLUMBUS
BUILDING AND
PLANS TO
PURSUE HISTORIC
TAX CREDITS FOR
REHABILITATION.

NATIONAL
REGISTER OF
HISTORIC PLACES
NOMINATION
MEETING:
JUNE 28, 2019

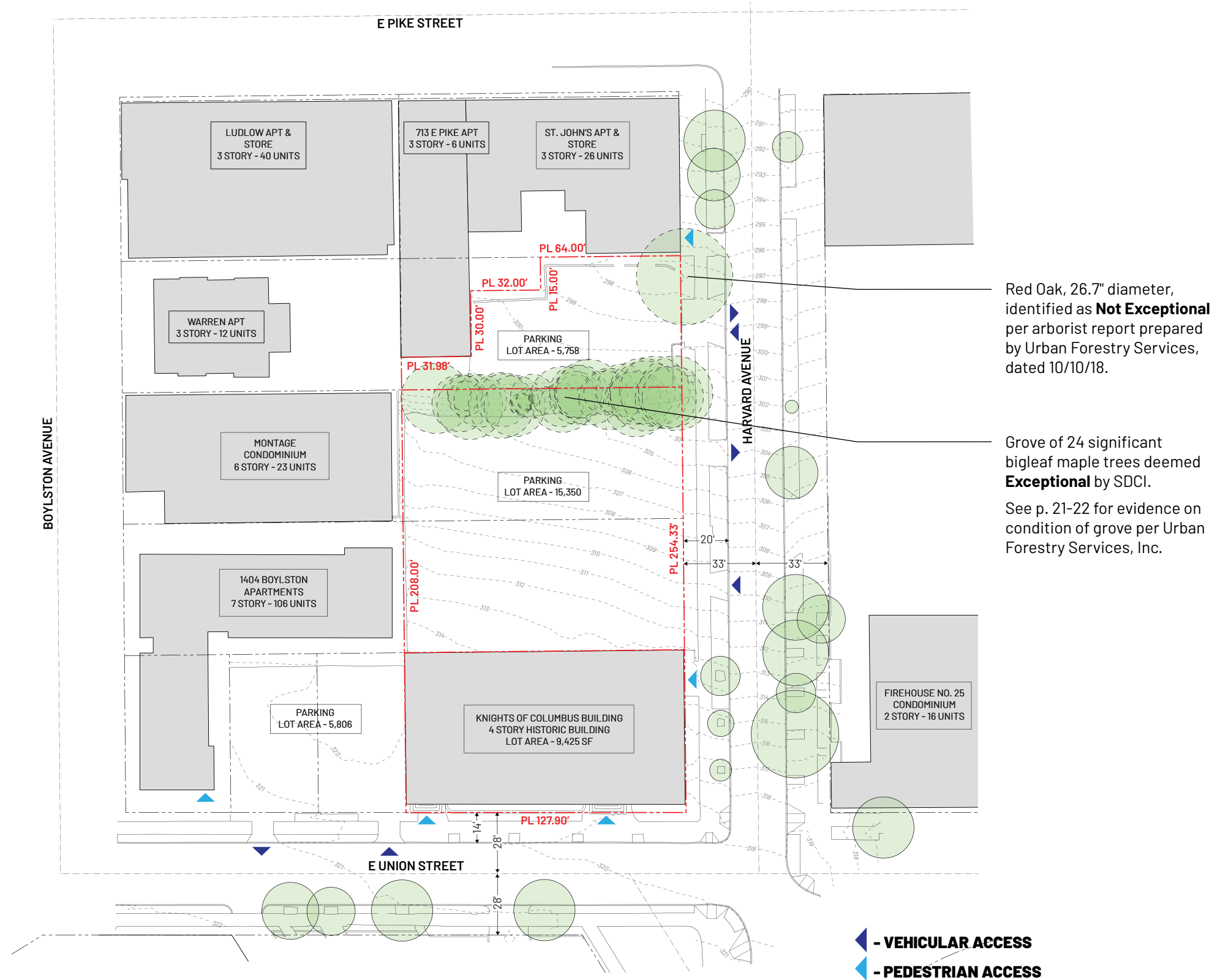
JUNE 2018 - NAT'L LANDMARK DESIGNATION



02

SITE CONTEXT
URBAN DESIGN ANALYSIS

SITE PLAN - EXISTING



PARCEL NUMBER:

7502500045, 7502500050, 7502500060

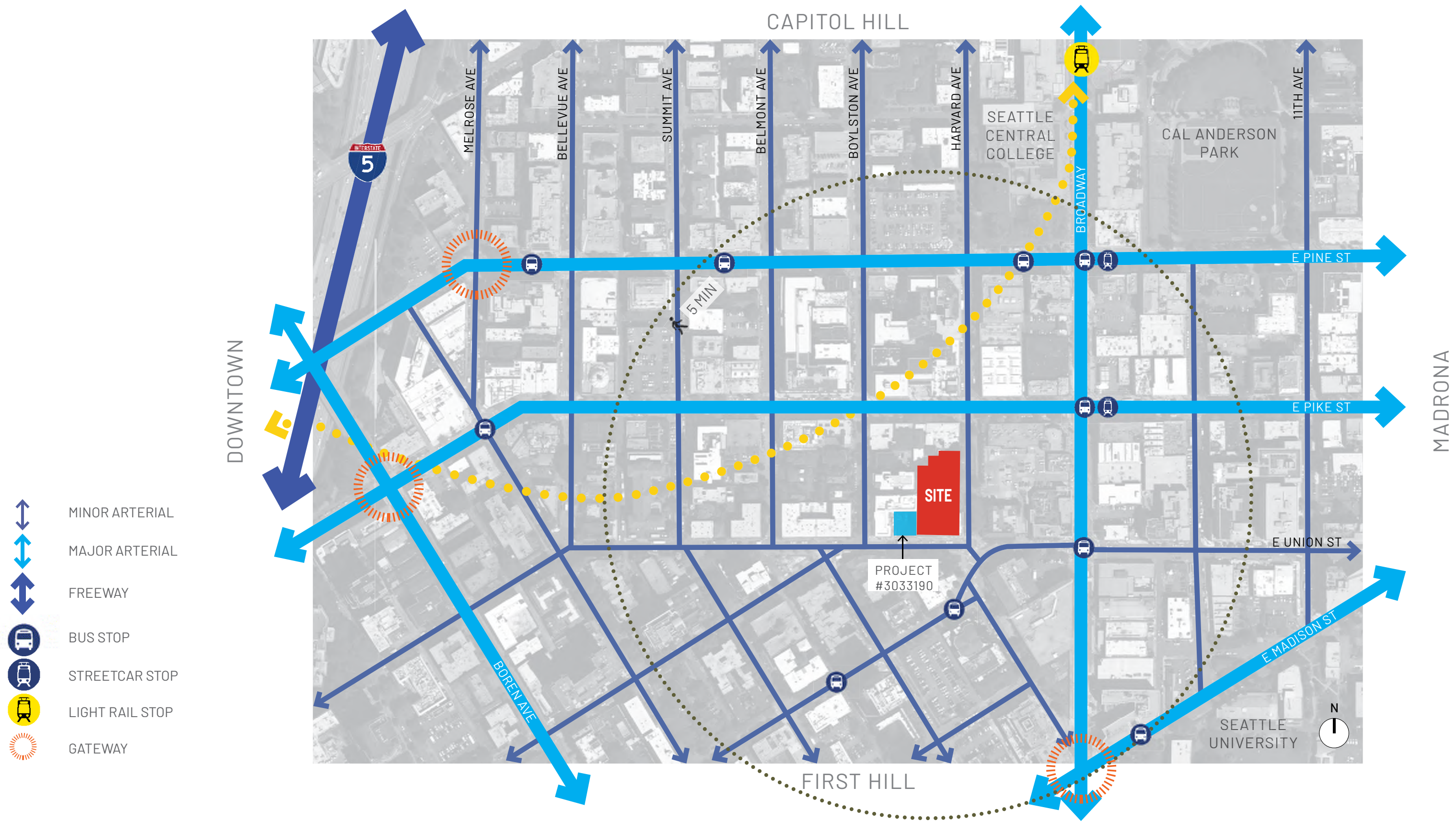
LEGAL DESCRIPTION:

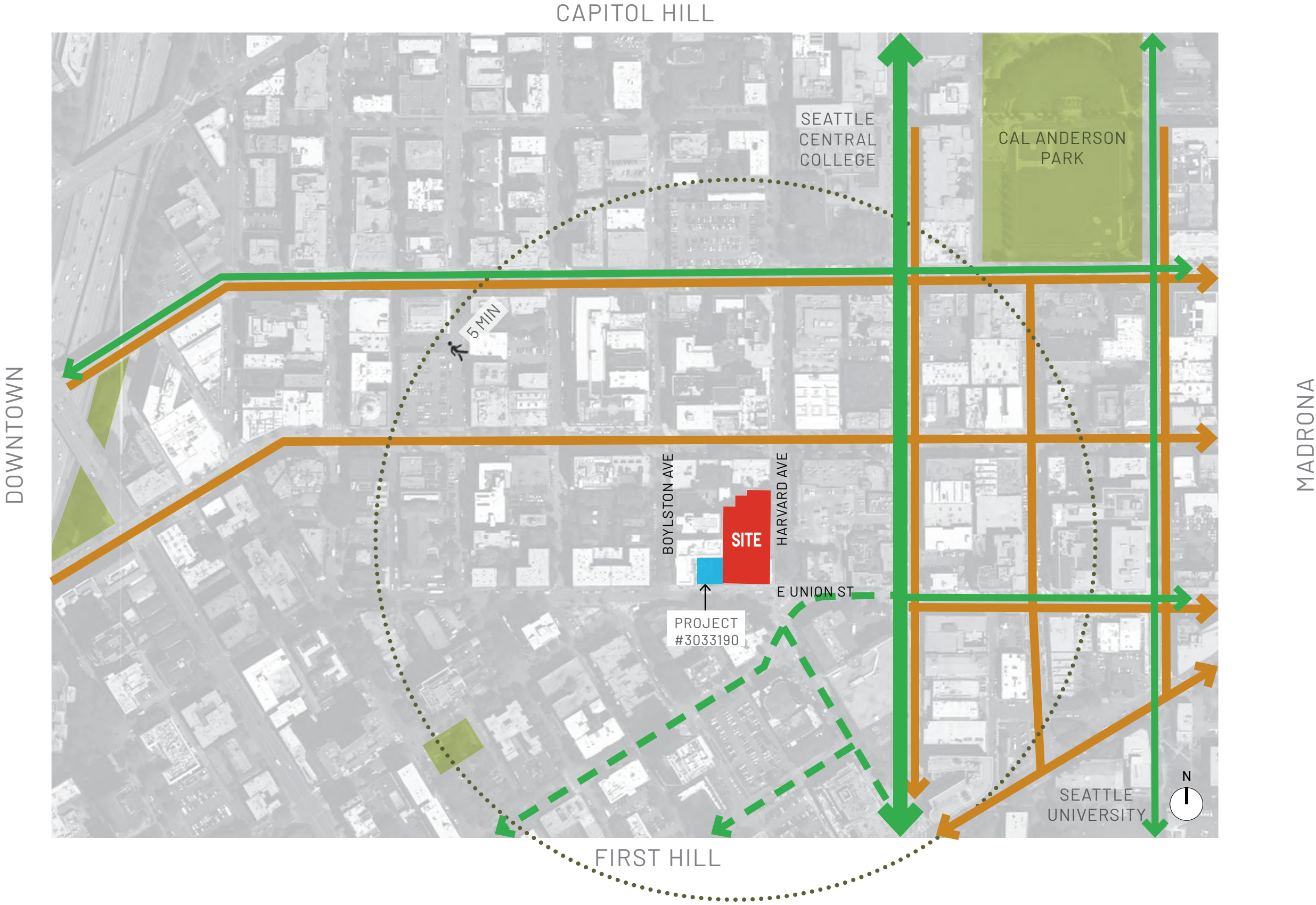
PARCEL 1(TPN 7502500045)
LOT 6, BLOCK 4, SACKMAN HOME ADDITION T
THE CITY OF SEATTLE,AS PER PLAT RECORDED
IN VOLUME 8 OF PLATS, PAGE 80, RECORDS OF
KING COUNTY, WASHINGTON.

PARCEL 2(TPN 7502500050)
LOTS 7 AND 8, BLOCK 4,SACKMAN HOME
ADDITION TO THE CITY OF SEATTLE, AS PER
PLATS, PAGE 80, RECORDS OF KING COUNTY,
WASHINGTON.

PARCEL 3(TPN 7502500060)
THE NORTH 30 FEET OF SOUTH 45 FEET OF
EAST 96 FEET AND NORTH 15 FEET OF EAST
64 FEET AND SOUTH 15 FEET OF LOT 9, BLOCK
4,SACKMAN HOME ADDITION TO THE CITY OF
SEATTLE, AS PER PLATS, PAGE 80, RECORDS OF
KING COUNTY, WASHINGTON.







SITE CONTEXT - PIKE/PINE CONSERVATION DISTRICT

The Pike/Pine Conservation Overlay District was created in July, 2009 to limit the size of new development and encourage projects to keep existing older structures, identified in the Code as character structures.

CHARACTER STRUCTURES

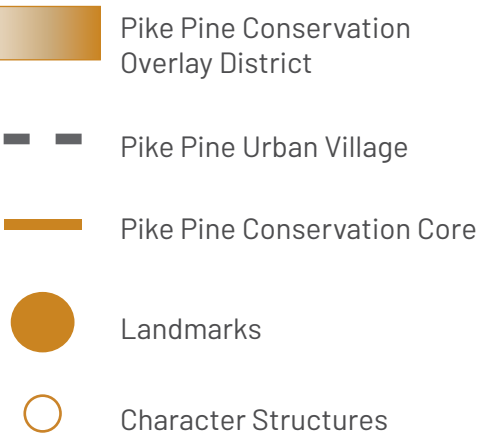
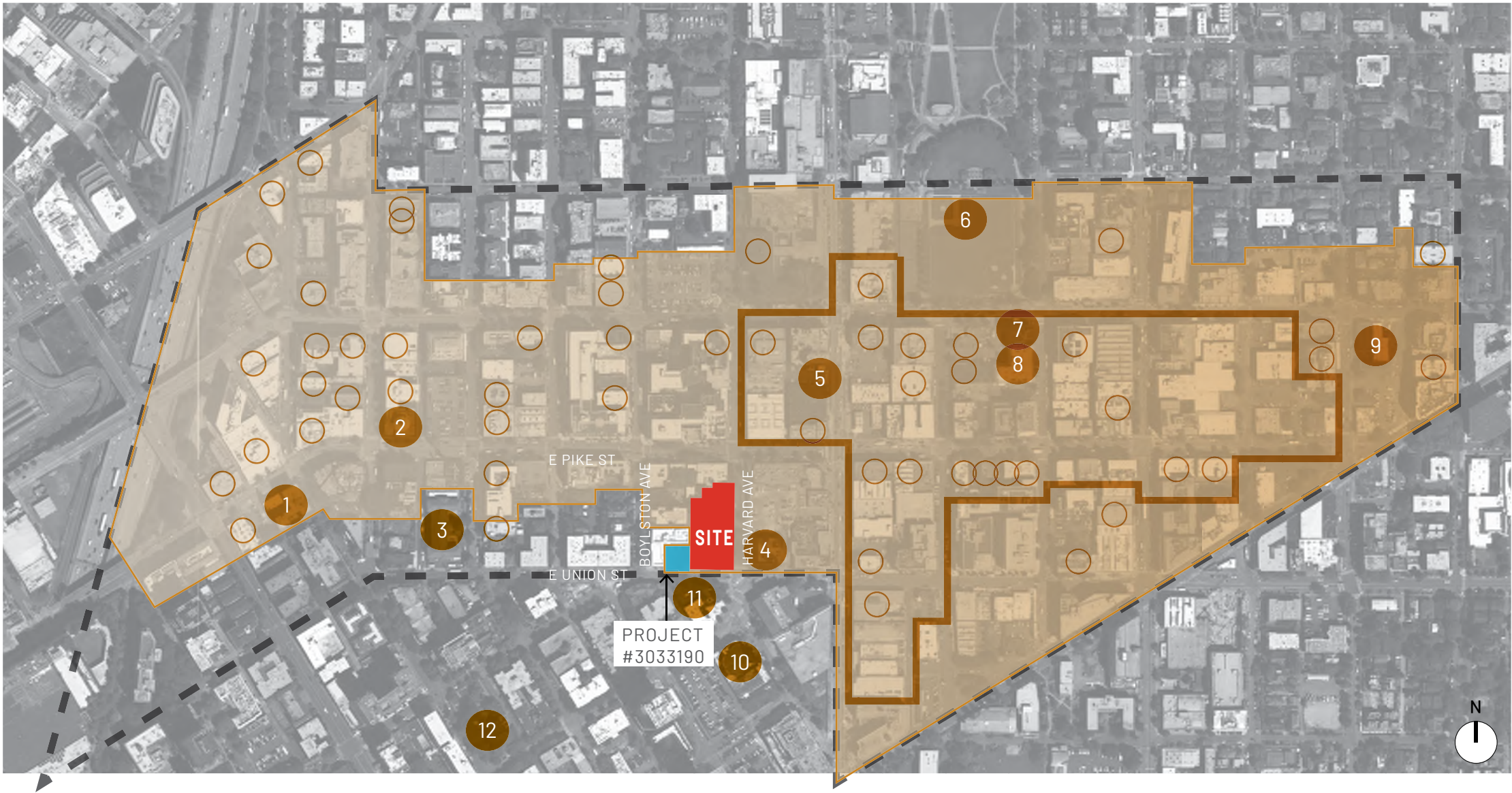
- Have been in existence prior to 1940
- Retain a high degree of architectural integrity
- Represent the Pike/Pine neighborhood's building typology
- Are compatible with the architectural scale, rhythm, and patterns of nearby structures in the Pike/Pine neighborhood

MINIMUM REQUIREMENTS FOR RETAINING A CHARACTER STRUCTURE (SMC 23.73.015)

- All street-facing facades of the character structure shall be maintained and original facade openings that provide transparency at the street-level shall remain unobstructed
- All portions of the new structure shall be set back a minimum of 15 feet from the street-facing facades of the character structure
- The original floor-to-ceiling height of the street-level story of the character structure is maintained

INCENTIVES FOR RETAINING A CHARACTER STRUCTURE

- Height exception (SMC 23.73.014.B)
 - 10' of additional height allowed above the 65' height limit if additional area is residential





1 WINTONIA HOTEL (1909)



4 OLD SEATTLE FIRE STATION #25 (1909)



7 WHITE MOTOR COMPANY BUILDING (1918)



10 SEATTLE 1ST BAPTIST CHURCH (1911)



2 FIRST COVENANT CHURCH (1911)



5 ELDRIDGE TIRE COMPANY BUILDING (1925)



8 KELLY-SPRINGFIELD MOTOR TRUCK BLDG (1913)



11 PHILLIPS HOUSE (1902)



3 SUMMIT SCHOOL/NORTHWEST SCHOOL (1905)



6 CAL ANDERSON PARK/LINCOLN RESERVOIR (1901)






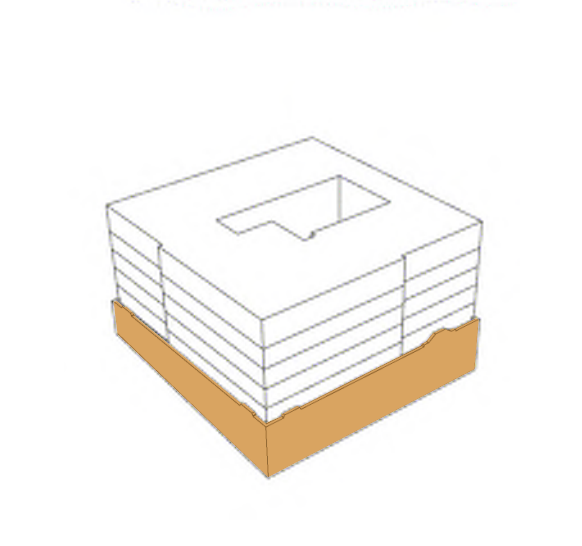
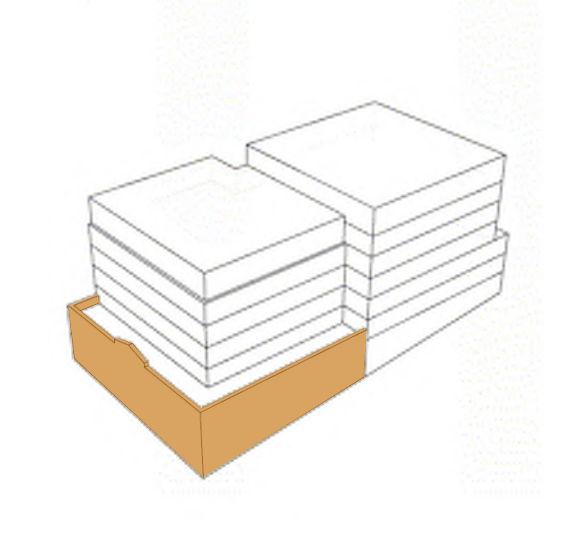
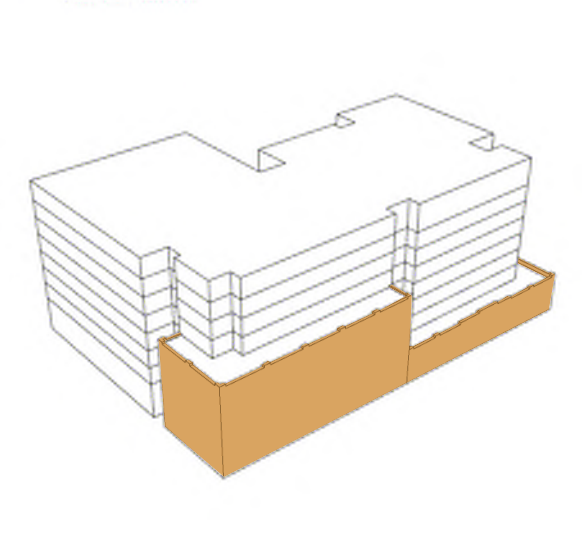
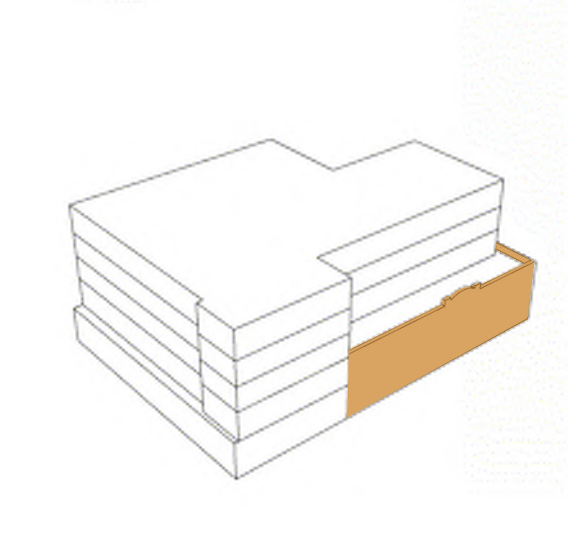
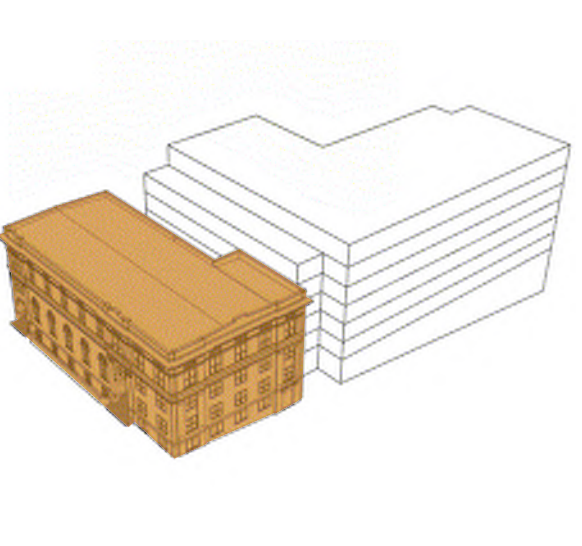


9 1ST AFRICAN METHODIST EPISCOPAL CHURCH (1912)



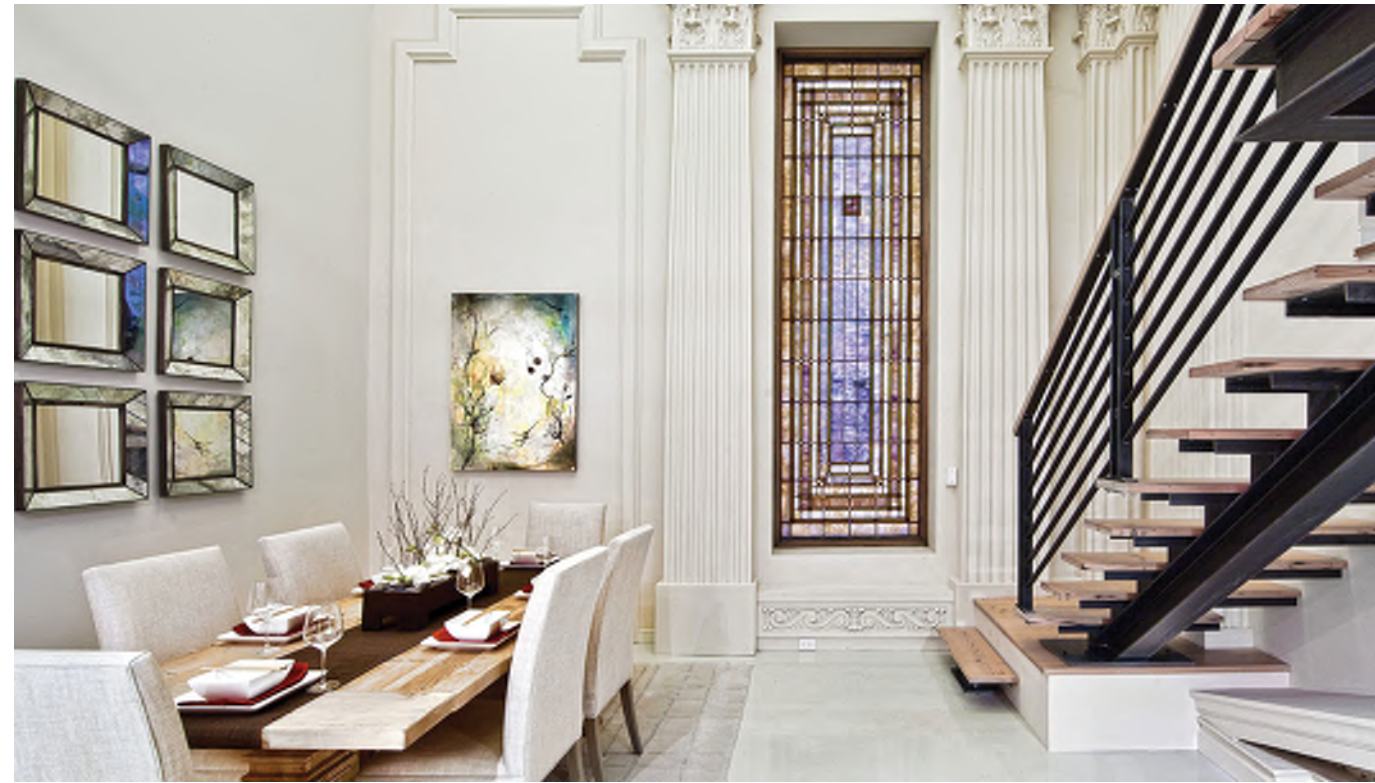
12 STIMSON/GREEN HOUSE (1901)

PIKE/PINE CONSERVATION DISTRICT - CHARACTER STRUCTURE DEVELOPMENT

SUNSET ELECTRIC (2014)	DUNN MOTORS (2016)	EXCELSIOR (2016)	KELLY-SPRINGFIELD (2019)	KNIGHTS OF COLUMBUS
				
				
<ul style="list-style-type: none">• Street-facing facades of character structure retained• 1'-6" to 3'-6" setback* (Departure approved to allow interior courtyard)• Additional 10' of height allowed above character structure	<ul style="list-style-type: none">• Street-facing facades of character structure retained• 15' setback• Additional 10' of height allowed above character structure	<ul style="list-style-type: none">• Street-facing facades of character structures retained• 10'-6" to 19' setback* (Departure approved for average 15' setback)• Additional 10' of height allowed above character structure	<ul style="list-style-type: none">• Street-facing facades of character structure retained• 21' setback• Additional 10' of height allowed above character structure* (Departure approved to allow additional 10' of height for non-residential use)	<ul style="list-style-type: none">• Entire character structure retained• Additional 10' of height allowed adjacent to character structure



The Sanctuary - Adaptive Re-use



The Sanctuary - Adaptive Re-use



Lyric Apartments - Brick Facade



The Beardmore Building - Adaptive Re-use



Supply Laundry Building- Adaptive Re-use

SITE CONTEXT - NEW DEVELOPMENT



1 1404 BOLYSTON AVE



2 FIRST HILL APARTMENTS



3 COVE



4 DUNN MOTORS



7 PIKE FLATS



10 SUNSET ELECTRIC



13 LUMA



5 AVA CAPITOL HILL



8 INFINITY APARTMENTS



11 1111 E. PIKE



14 1001 BROADWAY



6 PIKE MOTORWORKS



9 JACK APARTMENTS



12 NORTHWEST SCHOOL

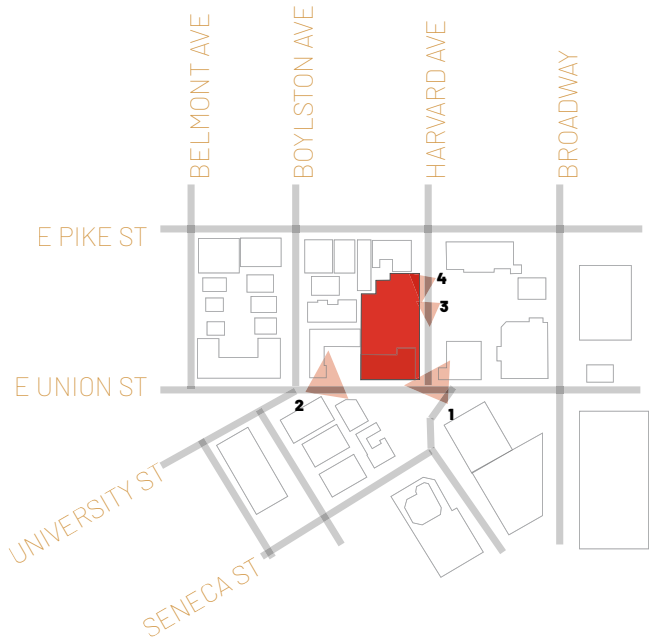


15 KELLY-SPRINGFIELD

SITE CONTEXT - NEIGHBORING USES



- NEIGHBORHOOD USES
- MULTI-HOUSING
 - INSTITUTIONAL
 - RELIGIOUS
 - STRUCTURED PARKING
 - COMMERCIAL FOOD
 - COMMERCIAL RETAIL
 - SINGLE-FAMILY HOUSING
 - HOSPITALITY
 - OFFICE
 - PARK



KNIGHTS OF COLUMBUS - CHARACTERISTIC FEATURES



Painted signage



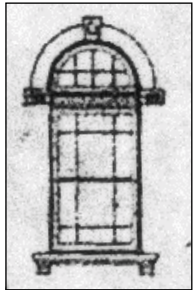
Stone medallion



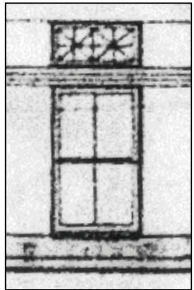
Stone details and broken pediment



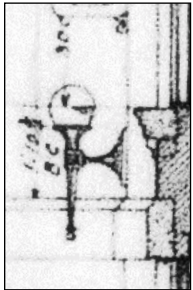
Metal trim cornice



Arched head divided lite windows (REMOVED)



Radial divided lite windows (REMOVED)

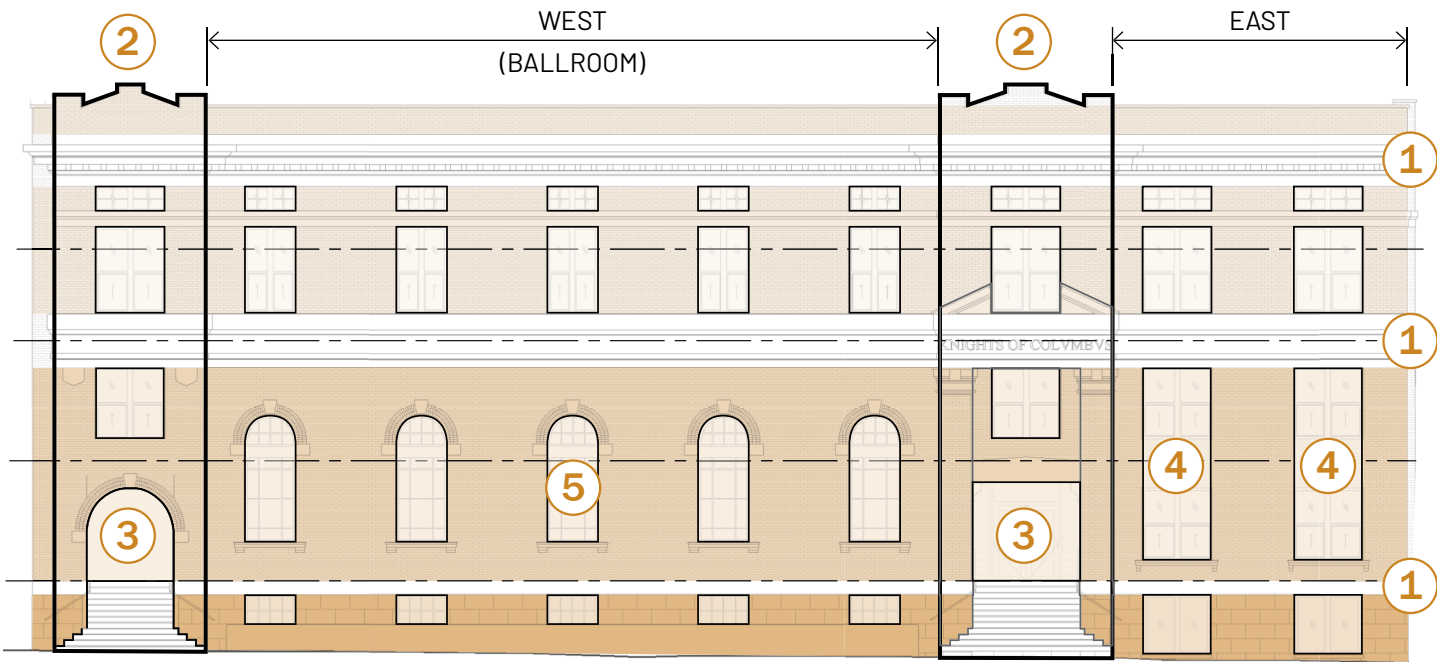


Original sconces with spherical shades (REMOVED)

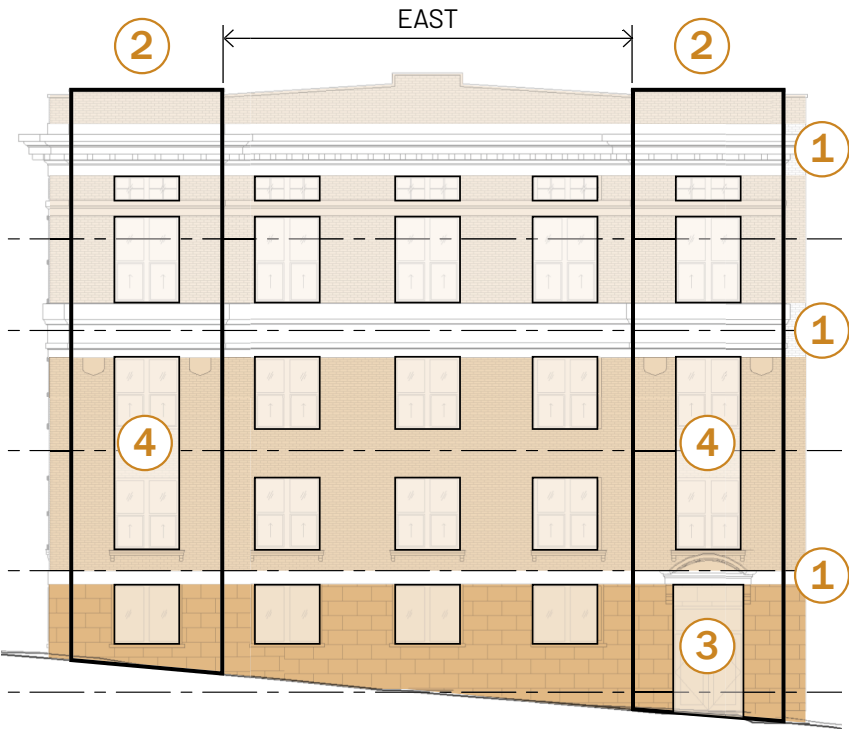
Original cast iron and glass marquee (REMOVED)



Original wood and glass entry doors (REMOVED)



SOUTH FACADE



EAST FACADE

- 1 HORIZONTAL BANDS DIVIDE MASSING INTO BASE - BODY - CAP
- 2 BAYS BREAK MASSING INTO EAST AND WEST SECTIONS
- 3 GABLE-SHAPED PARAPETS AND STONE DETAILING HIGHLIGHT ENTRIES
- 4 GROUPED WINDOWS CREATE VERTICALITY
- 5 ARCHED WINDOWS INDICATE MAIN BALLROOM



POTENTIAL REHABILITATION

Requires approval of Seattle Landmarks Preservation Board

WINDOWS & DOORS

- Replace non-original aluminum windows (all windows) with new windows installed in original openings.
- Restore glazing at arched-head transom windows in ballroom.
- Replace non-original entry doors with new doors installed in original openings.

MASONRY

- Clean & repair original clinker brick and sandstone as needed.

CANOPIES

- Remove non-original awnings.
- Install new modern canopy at main entry.

SITE

- Install exterior lighting to highlight characteristic features of the building.
- Install signage in keeping with historic character.
- Replace non-original plantings with new landscaping that enhances the characteristic features of the building.
- Replace non-original railings.
- Revise east entry as required for accessibility.



Replace non-original vents with arched-head transom windows



Replace non-original awning with modern canopy



Replace non-original plantings with new landscaping in keeping with historic character



Replace non-original entry doors and railings



Install exterior lighting to highlight characteristic facade features



Install signage in keeping with historic character

EXCEPTIONAL TREES



Photo 1. The north side of the maple grove shows the thin canopy and very tight tree spacing.

GROVE DEEMED EXCEPTIONAL BY SDCI

GROVE DEEMED NOT EXCEPTIONAL BECAUSE OF CONDITION BY ARBORIST

Per Urban Forestry Services, Inc.:

This group of maples could be considered an exceptional grove if they are assessed by size only. **The poor health of these trees, however, should remove this tree group from an exceptional grove designation.**

ANTICIPATED IMPACTS TO TREES DUE TO DEVELOPMENT

- Canopy pruning for safety
- Demolition stress (removal of asphalt)
- Construction stress
- Assumed loss of 13 trees with low vigor
- Break up of continuous canopy & exposure of remaining trees to windthrow risk

ARBORIST REPORT SUMMARY

Knights of Columbus Level II Basic Tree Assessment and TVSPP
Urban Forestry Services, Inc. | October 10, 2018

- Grove of maples contains 20 trees over 12" diameter
- Condition of most trees is poor:
 - 13 of 20 trees are dying. All but one of the remaining trees are in decline. The single tree with fair health and structure is less than 24" diameter.
 - The grove has severely compacted soils and shallow root systems.
 - Many trees have basal wounds and symptoms of decay.
 - Many trees have one sided canopies. Pruning trees with one sided canopies for clearance and construction access will severely damage the trees.



Photo 2-4. Many maples have defects associated with their poor health. Hollow stems with extensive decay (Arrow), Kretzmeria fungus indicating interior decay (circle), and large branch die back (red square). Photos and notes for each tree are independently documented in the Tree Assessment Matrix included in the original report.



Photo 5. Large tree roots were cut many years ago to place the parking curb. This small growing space would require considerable expansion to support a large canopy with development.

- 13 of 20 trees in grove have very poor health and poor structure:
 - Multiple trunk cavities and extensive canopy die back.
 - Significant pruning required to improve safety in the parking lot regardless of development.
- Even with the best protection measures and improvements of soil growing space, these trees do not have enough vigor to survive the environmental changes and construction disturbance.
- Removal of these trees will break up the continuous canopy of the maple grove and expose the remaining trees to windthrow risk.



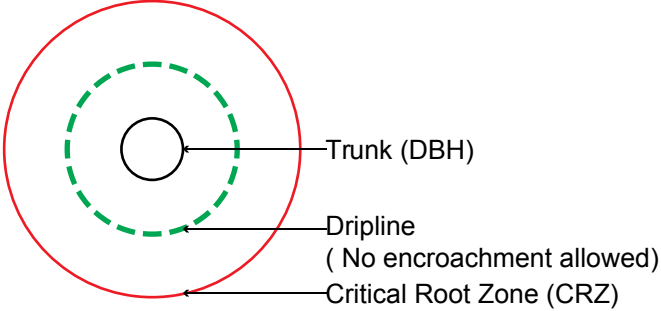
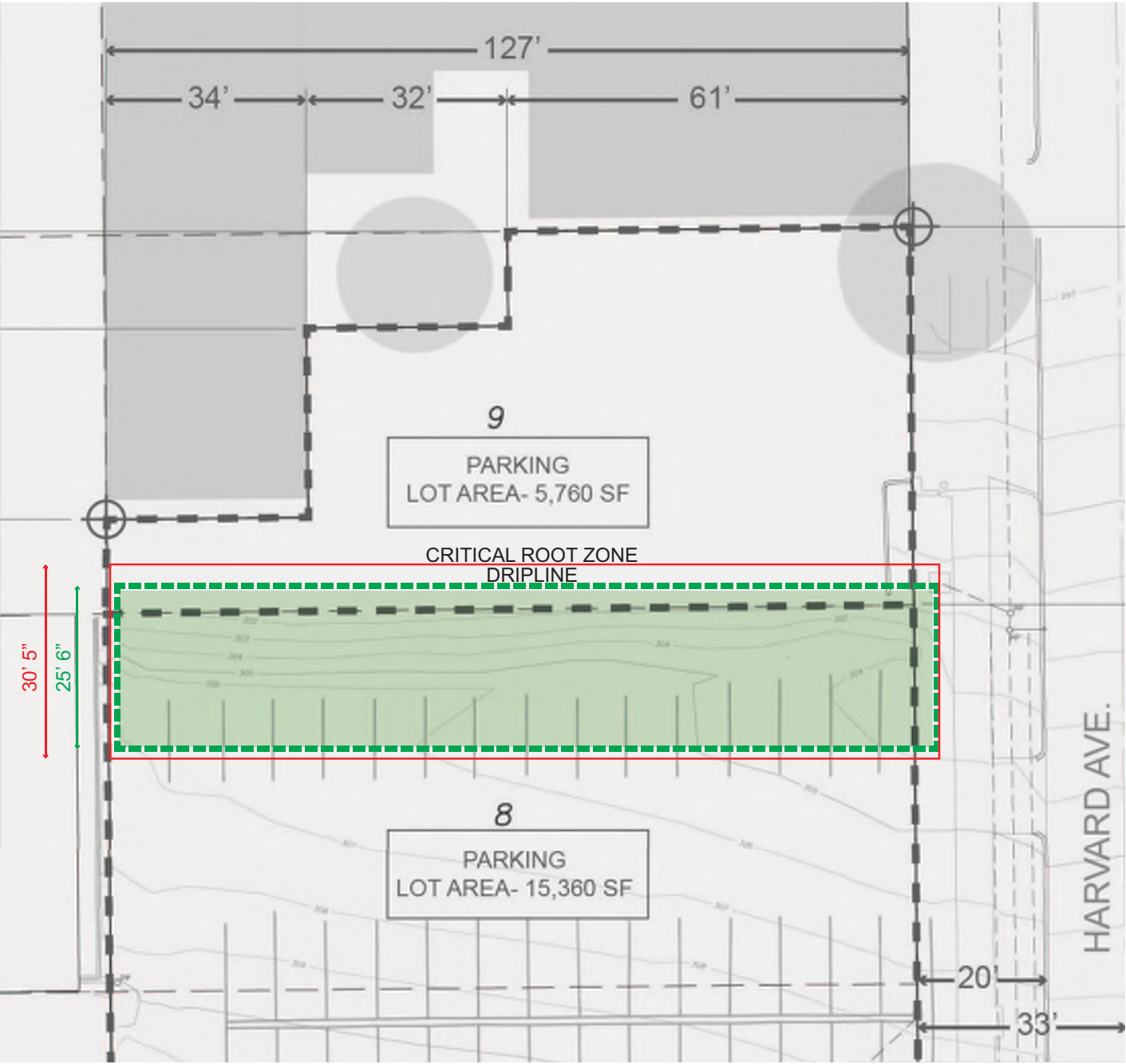
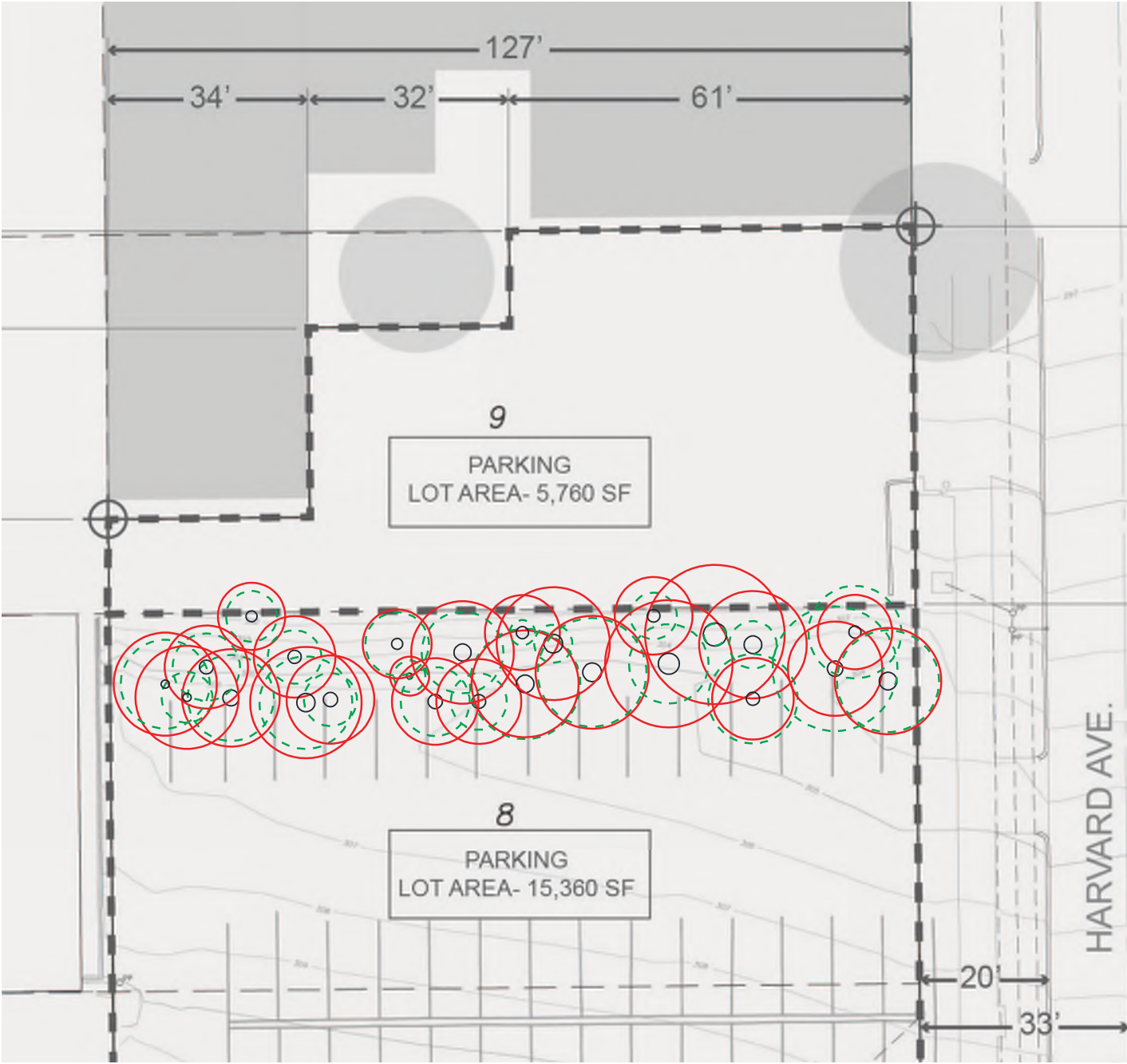
Photo 1. Twenty-five (25) trees make up this grove. The red dots are dead and dying trees, while the white trees are in poor health or have poor structure. Canopies are one sided and unstable.



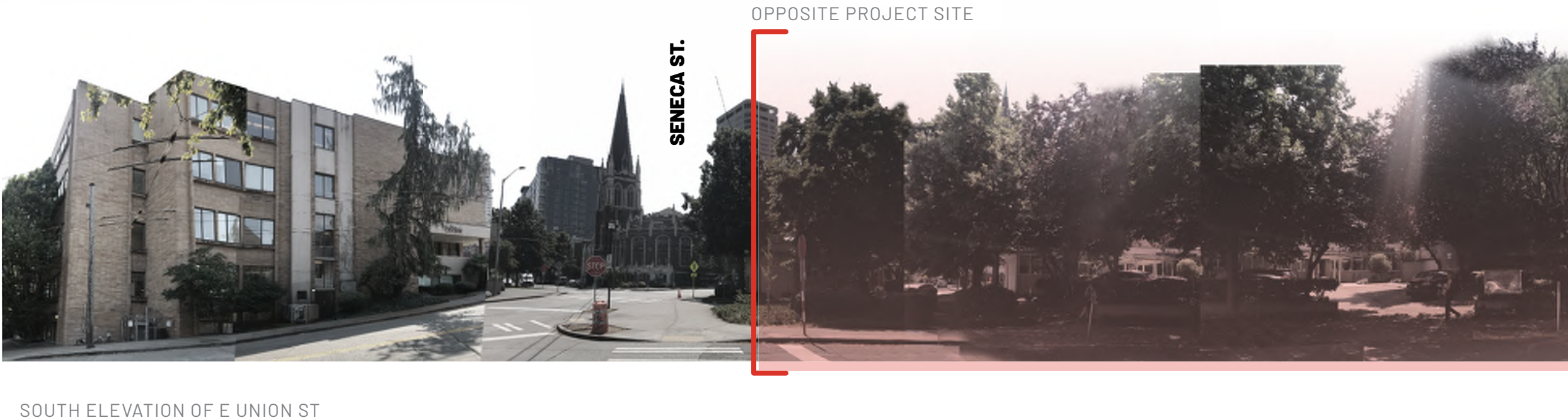
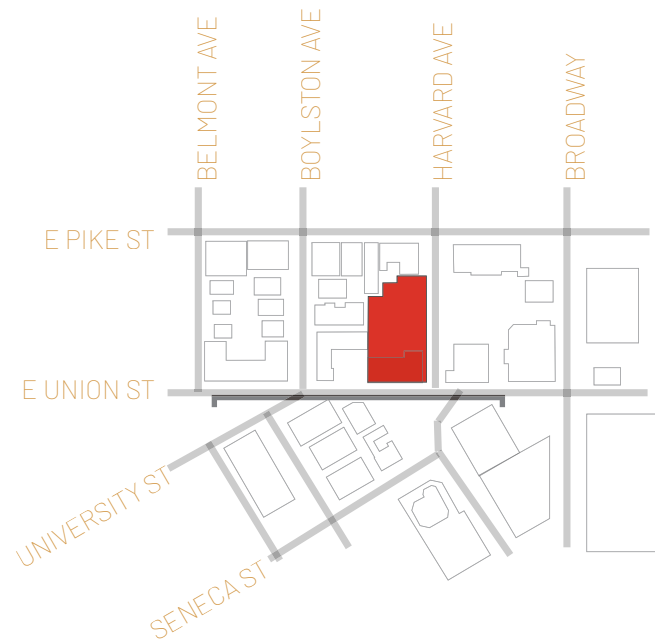
Photo 5. Twelve trees remain after the dead and dying are pulled from the grove. These trees will no longer constitute a grove and are not exceptional.

ARBORIST-RECOMMENDED TREE PROTECTION ZONE DEFINED AS CRITICAL ROOT ZONE = 18.1 FT DIAMETER

DBH, DRIPLINE & CRITICAL ZONE LOCATION PER ARBORIST REPORT



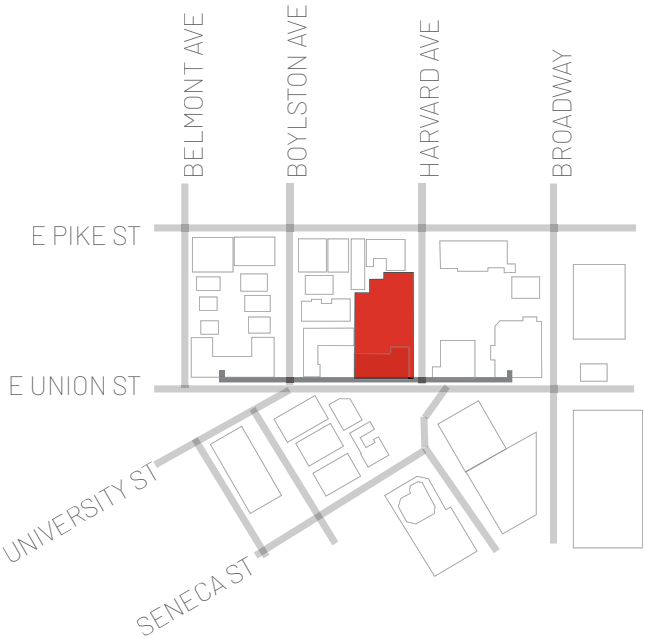
SITE CONTEXT - STREET ELEVATIONS



KNIGHTS OF COLUMBUS
4 STORY ABV GROUND



OLD SEATTLE FIRE STATION #25
16 CONDOMINIUMS



PHILLIPS APARTMENTS
3 STORY

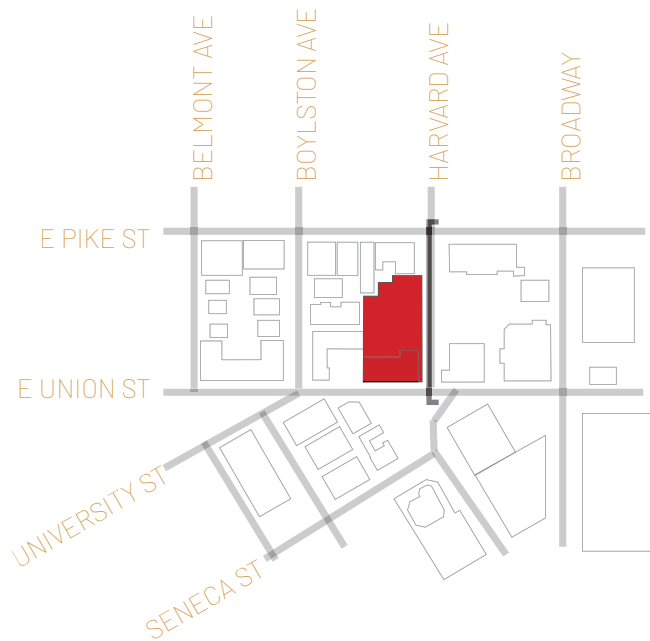


SHANON APARTMENTS
4 STORY



UNIVERSITY ST.

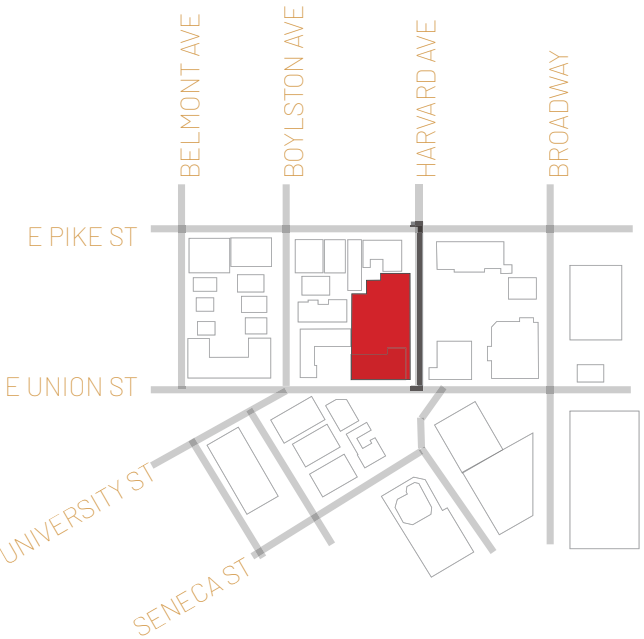
SITE CONTEXT - STREET ELEVATIONS



PARKING LOT

ST. JOHN'S APARTMENT
3 STORY

E PIKE ST.



OPPOSITE PROJECT SITE

OLD SEATTLE FIRE STATION #25



URBAN DESIGN ANALYSIS - OPPORTUNITIES

OPPORTUNITIES

- 1 REHABILITATION OF HISTORIC BUILDING AND ADJACENCY TO DESIGNATED LANDMARKS
- 2 CORNER LOT WITH HIGH VISIBILITY
- 3 ADJACENCY TO MAJOR TRANSIT ROUTES. BUSES, FIRST AVE STREETCAR, AND BIKE LANES
- 4 VIEWS
- 5 SOLAR ORIENTATION
- 6 HIGHLY WALKABLE NEIGHBORHOOD
PROXIMITY TO PIKE/PINE AND FIRST HILL NEIGHBORHOODS



URBAN DESIGN ANALYSIS - CONSTRAINTS



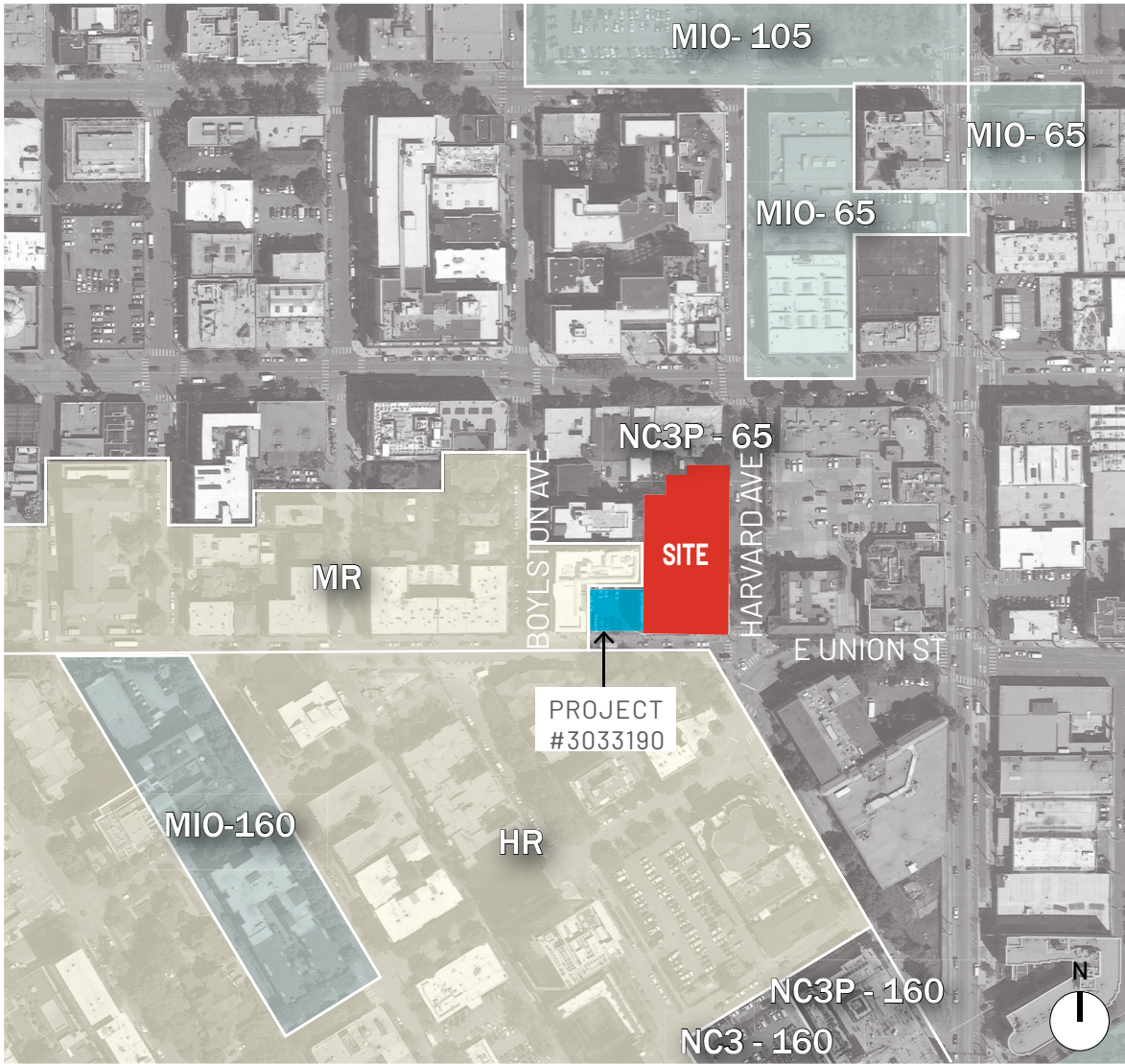
CONSTRAINTS

- ⑦ NOISE
- ⑧ NO ALLEY ACCESS
- ⑨ HEAVY VEHICLE TRAFFIC - SURFACE PARKING DRIVEWAY OPPOSITE PROPOSED LOBBY ENTRY
- ⑩ RAISED GROUND FLOOR IN HISTORIC BUILDING DOES NOT ENCOURAGE STREET-LEVEL INTERACTION
- ⑪ HIGH VOLTAGE POWER LINES ON HARVARD AVE REQUIRE SETBACK



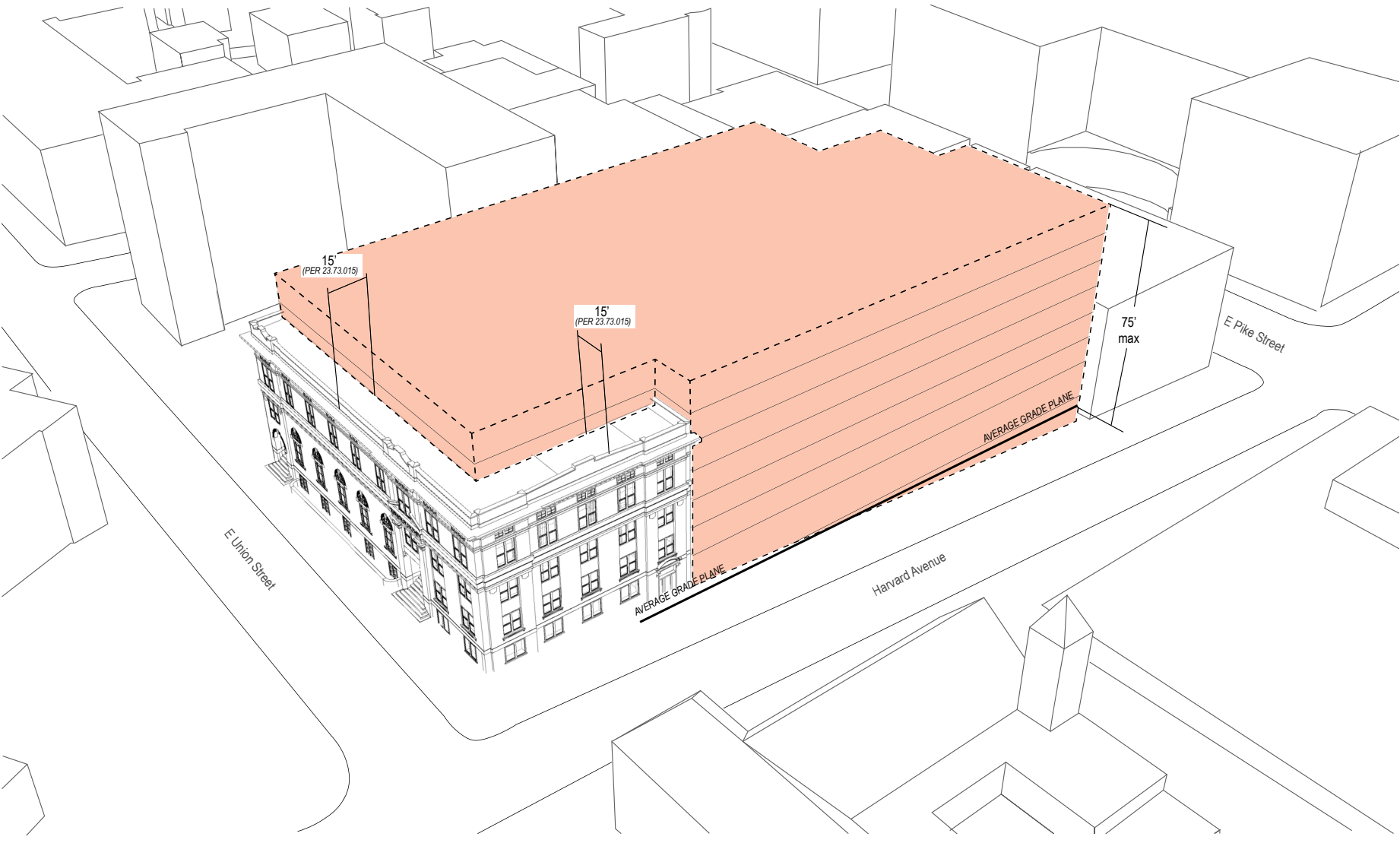
03 ZONING DATA

ZONING - ZONING MAP



ZONING MAP

- NC3P - 65
- NC3P - 160
- NC3 - 160
- MR
- HR
- MIO - 65
- MIO - 105
- MIO - 160



MAXIMUM ZONING ENVELOPE

SITE ZONING	
Zone:	NC3P-65
Overlay:	Pedestrian-Designated Zone Pike/Pine Conservation Overlay District, Pike/Pine Urban Village
Street Classifications:	No Principal Pedestrian Street Designation

ZONING - SUMMARY

23.47A.004 PERMITTED AND PROHIBITED USES

Table A for 23.47A.004: Residential use is permitted
Live-work units, retail sales and services are permitted

23.47A.005 STREET-LEVEL USES

Residential uses are allowed and unlimited on non principal pedestrian streets
E Union is not a principal pedestrian street in this location

23.47A.006 CONDITIONAL USES

No conditional uses proposed

23.47A.008 STREET-LEVEL DEVELOPMENT STANDARDS

A. Basic Requirements

Blank segments of street-facing façade between 2 and 8 feet above the sidewalk may not exceed 20 feet in width.

Total of all blank façade may not exceed 40% of the width of the street façade.

Street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks etc. are provided.

B. Non-residential street level requirements - N/A

C. In Pedestrian Designated Zones

Requirements for principal pedestrian streets - N/A

D. Residential Uses along a street-level street-facing facade require:

- 1.) A visually prominent pedestrian entry
- 2.) The floor of a dwelling unit located along the street-level street-facing facade shall be at least 4' above sidewalk grade or be set back at least 10'

23.47A.012 STRUCTURAL HEIGHT

C.2. Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets, and firewalls may extend up to 4 feet above the otherwise applicable height limit. Insulation, rooftop decks, etc. May extend 2 feet above height limit if enclosed by parapets or walls.

C.3. Solar collectors may extend up to 7 feet above the height limit in 65 foot zone.

C.4. The following may extend up to 15 feet above height limit with a coverage of 20% or 25% if including stair and elevator penthouses and screened mechanical equipment: Solar collectors, mechanical equipment, play equipment, wind-driven power generators, minor communications utilities, stair and elevator penthouses may extend 16 feet above height limit.

C.7. The following must be located at least 10 feet from the north lot line: solar collectors, planters, clerestories, greenhouses, minor communications utilities, non-firewall parapets, play equipment

23.47A.013 – FAR

N/A – See Section 23.73.009

23.47A.014 – SETBACK REQUIREMENTS

N/A – Sites does not abut nor is it across alley from any residential zone

23.47A.016 – LANDSCAPING AND SCREENING STANDARDS

A.2 Green factor of 0.3 is required

B.1 Street trees are required

23.47A.017 MHA SUFFIX

N/A – Application will be vested prior to forthcoming MHA Up-zone

23.47A022 – LIGHT AND GLARE STANDARDS

A. Exterior lighting must be shielded and directed away from adjacent uses

23.47A.024 – AMENITY AREA

A. Required in an amount equal to 5% of the total gross floor area in residential use

B. Amenity areas shall not be enclosed,
Common area requirements: 10' min. horizontal dimension, 250 sf min. size
Private area requirements: 60 sf min. size and 6' min horizontal dimension

23.47A.032 – PARKING LOCATION AND ACCESS

A.1.a Access to parking shall be from the alley if the lot abuts an improved alley or if alley access is infeasible, the Director may allow street access.

[This is a Type I request/decision by SDCI Director.]

A.1.c If street access is allowed and the lot abuts two or more streets, access is permitted across one side street lot line.

A.1.d For each permitted curb cut, street-facing facades may contain one garage door, not to exceed max. curb cut width.

A.3 If two or more structures are located on a single site, a single curb cut shall be provided.

23.54.015 REQUIRED PARKING AND MAXIMUM PARKING LIMITS

Table B – Residential required parking:

All residential uses within urban centers have no minimum requirement

K BICYCLE PARKING

Table D – Bicycle Parking:

Multi-family = 1 long term / dwelling unit + 1 / 20 dwelling units short term

K.3 Bicycle parking for residential uses shall be located on-site

23.54.030 PARKING SPACE STANDARDS

B.1.b Residential Uses: provide minimum 60% medium stalls. When parking spaces are striped for large vehicles, the minimum required aisle width shall be as shown for medium vehicles.

D.1.c Residential Driveways that serve 30 or more spaces shall be at least 20 feet wide for 2-way traffic.

23.54.040 SOLID WASTE AND RECYCLABLE MATERIALS STORAGE

Table A –

More than 100 dwelling units = 575 sf + 4 sf for each add'l unit above 100

C. Minimum area for storage space may be reduced by 15% if minimum horizontal dimension is 20'

D. Minimum horizontal dimension of required storage is 12'

F. Placed no more than 50' from curb, ramps 6% max.

PIKE/PINE CONSERVATION OVERLAY DISTRICT

23.73.008 – STREET-LEVEL USES

B. Small commercial uses at street level not required per B.3.a – floor area occupied by street level commercial uses within the original street-level footprint of the retained character structure is exempt

23.73.009 – FAR

A. Residential use only or mixed use - 23.47A.013 apply except as provided in this section and in 23.73.024

C. The following floor area is exempt:
C.3 -All floor area in residential use in a development that retains all character structures
C.5 – Floor area in non-residential use in a character structure provided it does not displace residential use

23.73.010 – FLOOR AREA LIMITS OUTSIDE THE CONSERVATION CORE

A. Floor area limit: 15,000 sf for any single story above 35'

23.73.014 – HEIGHT EXCEPTIONS

B. 10' additional height is allowed on lots that include a character structure retained per 23.75.015 if additional floor area is in residential use.

23.73.015 – RETENTION AND DEMOLITION OF CHARACTER STRUCTURE

A. The minimum requirements for retaining a character structure are as follows:

1. All street-facing facades shall be maintained and original facade openings that provide transparency at the street-level shall remain unobstructed.

2. All portions of the new structure above the height of the street-facing facades of the character structure shall be set back a minimum of 15 feet.

3. The original floor-to-ceiling height of the street-level story of the character structure is maintained.



04 DESIGN GUIDELINES

CS2 URBAN PATTERN AND FORM



Approach: Respond to datum from historic and contemporary neighbors and bridge the pedestrian experience between them

CITYWIDE GUIDELINE

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

PIKE/PINE SUPPLEMENTAL GUIDANCE:

- 1. Location in the City and Neighborhood**
 - i. Architectural presence: Retain as much of the existing physical context as possible with new development.
- 2. Adjacent Sites, Streets, and Open Spaces**
 - i. Site Characteristics: Massing and articulation should respond to the established Pike Pine development pattern of street facing facade widths and mid-block depths
 - ii. Connection to the Street: Integrate new development with existing street patterns to maintain a cohesive streetscape
- 4. Height, Bulk, and Scale Compatibility; Pike/ Pine Scale and Proportion**
 - i. Scale and Form: Design new structures to be compatible in scale and form with surrounding context.
 - a. Design facade widths to respond to the historic Pike/Pine context and scale.
 - b. Design larger new structures to maintain established streetscape proportions
 - c. Introduce architectural variety to achieve desired bulk and scale relationships.
 - d. For new development that is taller than the nearby context, design upper stories to reduce the appearance of bulk, including upper level setbacks.

CS3 ARCHITECTURAL CONTEXT AND CHARACTER



Approach: Respect historic architectural tradition on the site & neighborhood with complementary materials and detailing

CITYWIDE GUIDELINE

Contribute to the architectural character of the neighborhood.

PIKE/PINE SUPPLEMENTAL GUIDANCE:

- 1. Existing Architectural Context**
 - i. New buildings should respond to the architectural tradition of nearby buildings. Architectural styles and materials that complement the historic "auto-row" light-industrial vernacular are encouraged.
- 2. Architectural Compatibility**
 - i. Design new development that references architectural features and elements of existing structures on the block face to maintain block face rhythm and continuity.
 - ii. Design new structures for compatibility with existing context while allowing for creative expression, response to unique conditions, and adaptability to the changing function of the area.

PL3 STREET-LEVEL INTERACTION



Approach: Highlight primary entries with contrasting architectural expression, and use double height lobby at sloping grade to activate street level

CITYWIDE GUIDELINE:

Encourage human interaction and activity at the street level with clear connections to building entries and edges.

PIKE/PINE SUPPLEMENTAL GUIDANCE:

- 1. Residential Entries**

Design primary entries to provide visually prominent pedestrian access, weather protection, and to enhance the overall design concept.

 - i. Design entries for residential buildings and residents' entries to mixed-use buildings to be visually prominent and feature weather protection, special lighting and architectural enhancements.
 - ii. Residential entryways that feature heavy or contrasting trim, distinctive materials and a link to the surrounding streetscape are encouraged.

DC2 ARCHITECTURAL CONCEPT



Approach: Respond to patterns created by surrounding buildings to create a bridging architectural concept between old and new styles

CITYWIDE GUIDELINE:

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

PIKE/PINE SUPPLEMENTAL GUIDANCE:

- The Pike/Pine architectural context is composed of buildings that represent three predominant design approaches:
1. Structural Grid or Warehouse Expression approach;
 2. Modulated Façade approach; and
 3. Traditional Residential approach.
- 1. Concept**
- i. Design concepts should emphasize relatively simple facade character with high quality materials, modulation, and refined details to reflect the neighborhood’s architectural heritage.
 - ii. Design concepts for projects that include character structures should emphasize the character structure. A clear design concept should guide the project’s response to the character structure.
- 2. Character Structures**
- i. Maintain the architectural integrity of character structures on site.
 - ii. Allow additions that increase the viability of the character structure while maintaining its architectural integrity.
- 3. New Projects that Include Character Structures**
- i. Design projects that include character structures to be compatible with character structures on the site and elsewhere on the block.
 - ii. Emphasize the streetscape and the street level portion of the character structure to maintain a sense of continuity between the character structure and the new project.
 - iii. Align architectural elements and features of the character structure with those of the new portions of the project to create visual continuity between the character structure and the new addition.

DC3 OPEN SPACE CONCEPT



Approach: Weave open space around the site to help alleviate the proximity of the neighboring projects and create a pedestrian response at the lobby entries

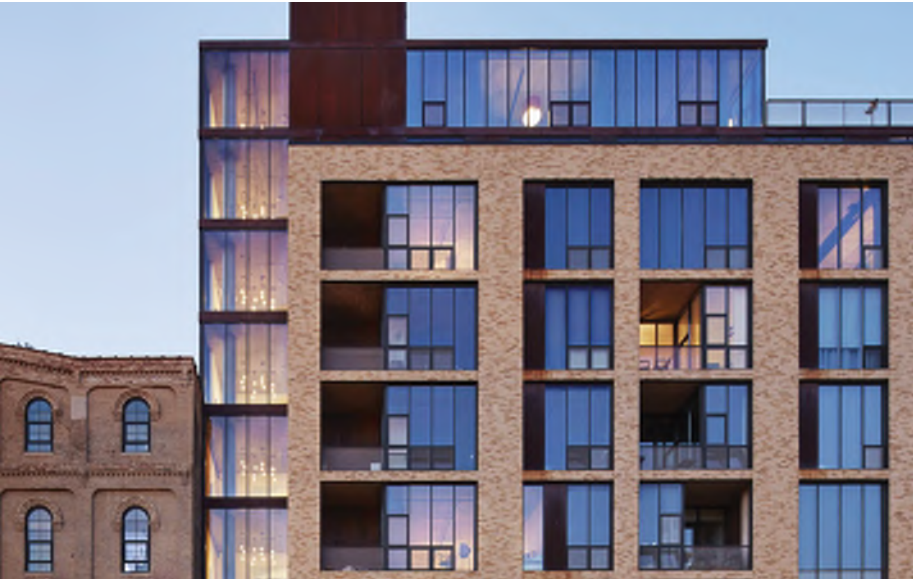
CITYWIDE GUIDELINE:

Integrate open space design with the design of the buildings so that each complements the other.

PIKE/PINE SUPPLEMENTAL GUIDANCE:

- 1. Residential Open Space**
- Design project open space to be compatible with established development patterns and to enhance street-level activity.
- i. Locate balconies to respond to neighborhood context and enhance livability for residents.
- 2. Street Landscaping**
- Locate and design street level landscaping to complement open space areas on the development site and to soften street edges.

DC4 EXTERIOR ELEMENTS AND FINISHES



Approach: Use material and color strategically in new construction to achieve simplicity, complement the historic building, and highlight entrances

CITYWIDE GUIDELINE:

Use appropriate and high quality elements and finishes for the building and its open spaces.

PIKE/PINE SUPPLEMENTAL GUIDANCE:

- 1. Exterior Finish Materials**
- New development should complement the neighborhood's auto-row and light-industrial vernacular through type and arrangement of exterior building materials. Preferred materials and approaches include.
- i. Brick, masonry, textured or patterned concrete, true stucco, with wood and metal as secondary or accent materials.
 - ii. Other integral color high quality materials that work well with the historic materials and style of neighboring buildings
 - iii. Exterior features and details such as: entrances, fully-glazed storefront windows and expansive glazing, parapets, cornices, roofs, windows, ornamentation, signage, and color
 - iv. Limited number of exterior finish materials per building
 - v. High quality glazing and trim as a vital component of exterior finish;
 - vi. Materials and treatments that are consistent with a specific design approach



05 MASSING OPTIONS



New construction above character structure
Reuse of historic building for office space

OPTION A - CODE COMPLIANT

- Unit Count = 128
- 159,000 GSF residential / 25,400 GSF office
- 670 SF Average Unit Size
- 7 Stories over 3 Stories Basement
- 75' Above Average Grade

PROS:

- Code compliant
- Maintains integrity of character structure facades
- Setback at transition from old to new creates street facing open space and emphasizes main entrance of residential building
- Double height lobby space responds to sloping terrain and activates street front

CONS:

- Addition above character structure increases perceived mass of new development
- Addition of residential area above and parking below the historic structure requires modifications to interior of character structure



New construction against character structure
Divide massing to retain tree grove
Reuse of historic building for office space

OPTION B

- Unit Count = 110
- 135,600 GSF residential / 31,450 GSF office
- 670 SF Average Unit Size
- Building 1 - 7 Stories over 3 Stories Basement
- Building 2 - 7 Stories over 1 Story Basement
- 75' Above Average Grade

PROS:

- Code compliant
- Maintains full integrity of character structure
- Retains grove of trees on north parcel
- Double height lobby space responds to sloping terrain and activates street front

CONS:

- Abrupt transition between new and old detracts from character structure
- Very little landscaping/hardscaping can be done in the tree protection zone, and this open space would not be accessible
- Division of massing creates a deep slot which is not ideal for tree growth
- Lack of street facing setbacks increases perceived mass of new development



Gasket between new construction and character structure
Reuse of historic building for office space

OPTION C - PREFERRED

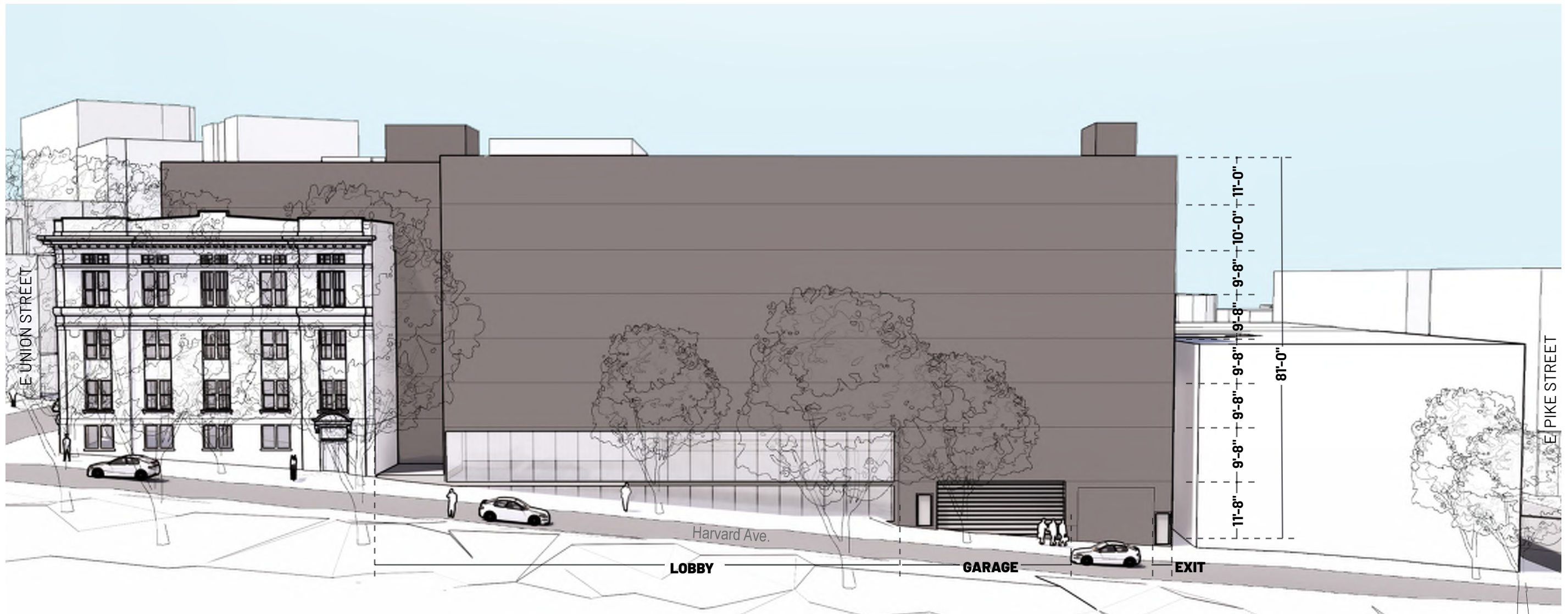
- Unit Count = 128
- 154,400 GSF residential / 31,450 GSF office
- 650 SF Average Unit Size
- 7 Stories over 3 Stories Basement
- 75' Above Average Grade

PROS:

- Code compliant
- Maintains full integrity of character structure
- Gasket condition maintains as much of the existing physical context of the character structure as possible
- Setback at transition from old to new creates street facing open space
- Setback and stepped massing at upper level create height transition to character structure
- Double height lobby space responds to sloping terrain and activates street front

OPTION A

CODE COMPLIANT



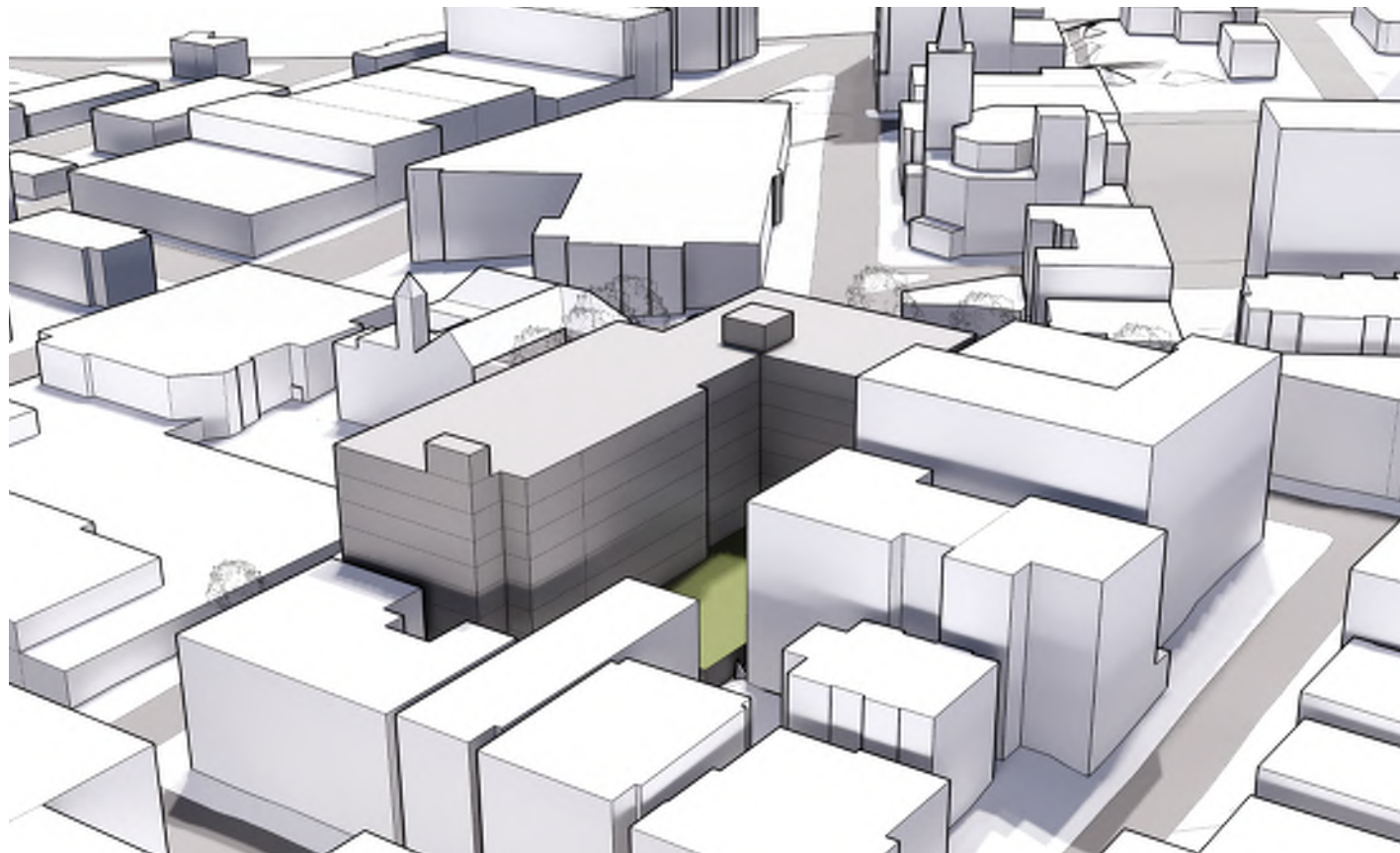
HARVARD AVENUE ELEVATION



BIRD'S EYE VIEW FROM THE INTERSECTION OF E UNION ST. & HARVARD AVE.



BIRD'S EYE VIEW FROM THE INTERSECTION OF E PIKE ST. & BOYLSTON AVE.

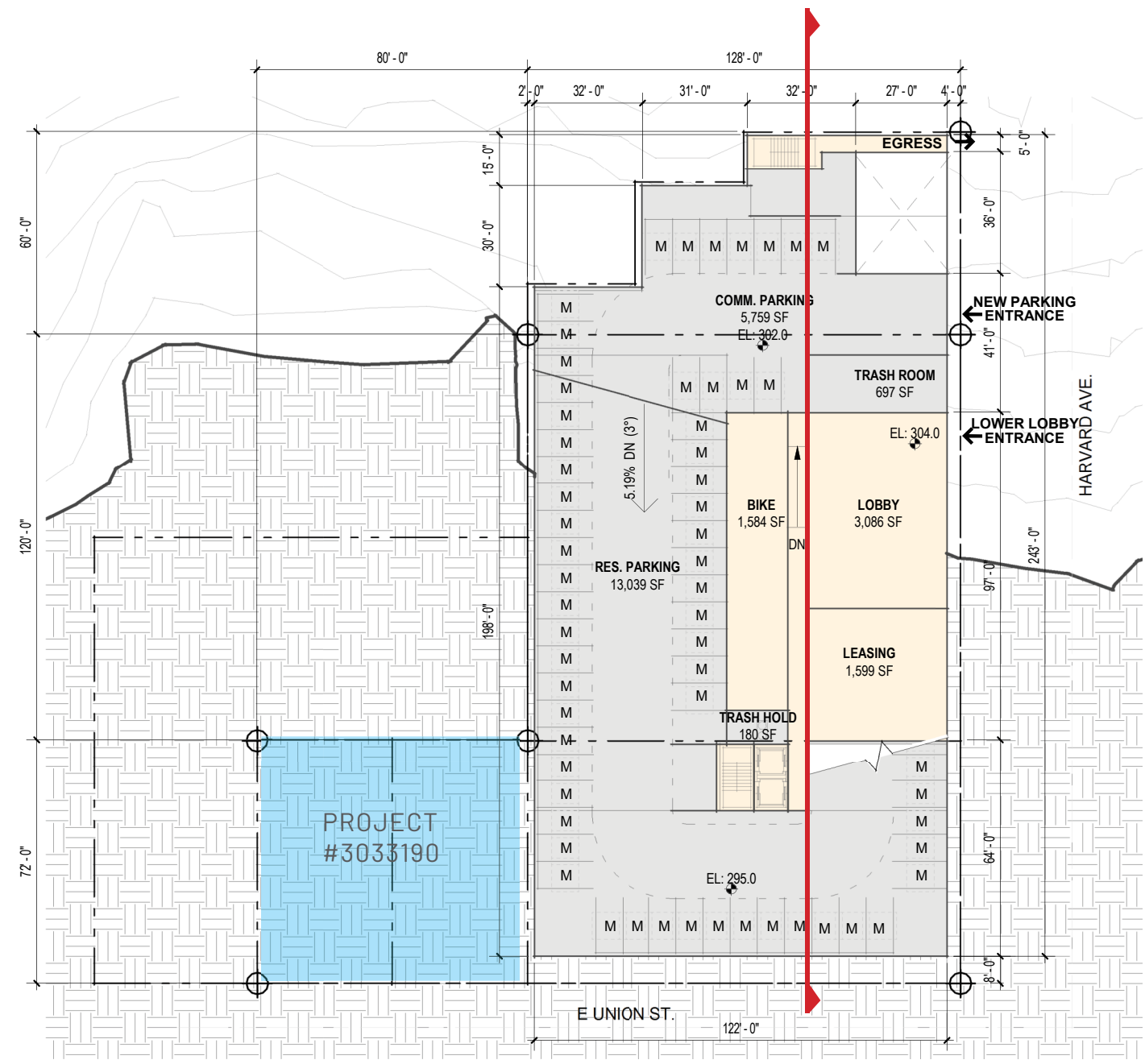


BIRD'S EYE VIEW FROM THE INTERSECTION OF HARVARD AVE. & E PIKE ST.



STREET VIEW FROM HARVARD AVE & E UNION STREET INTERSECTION

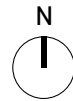
MASSING OPTIONS - OPTION A

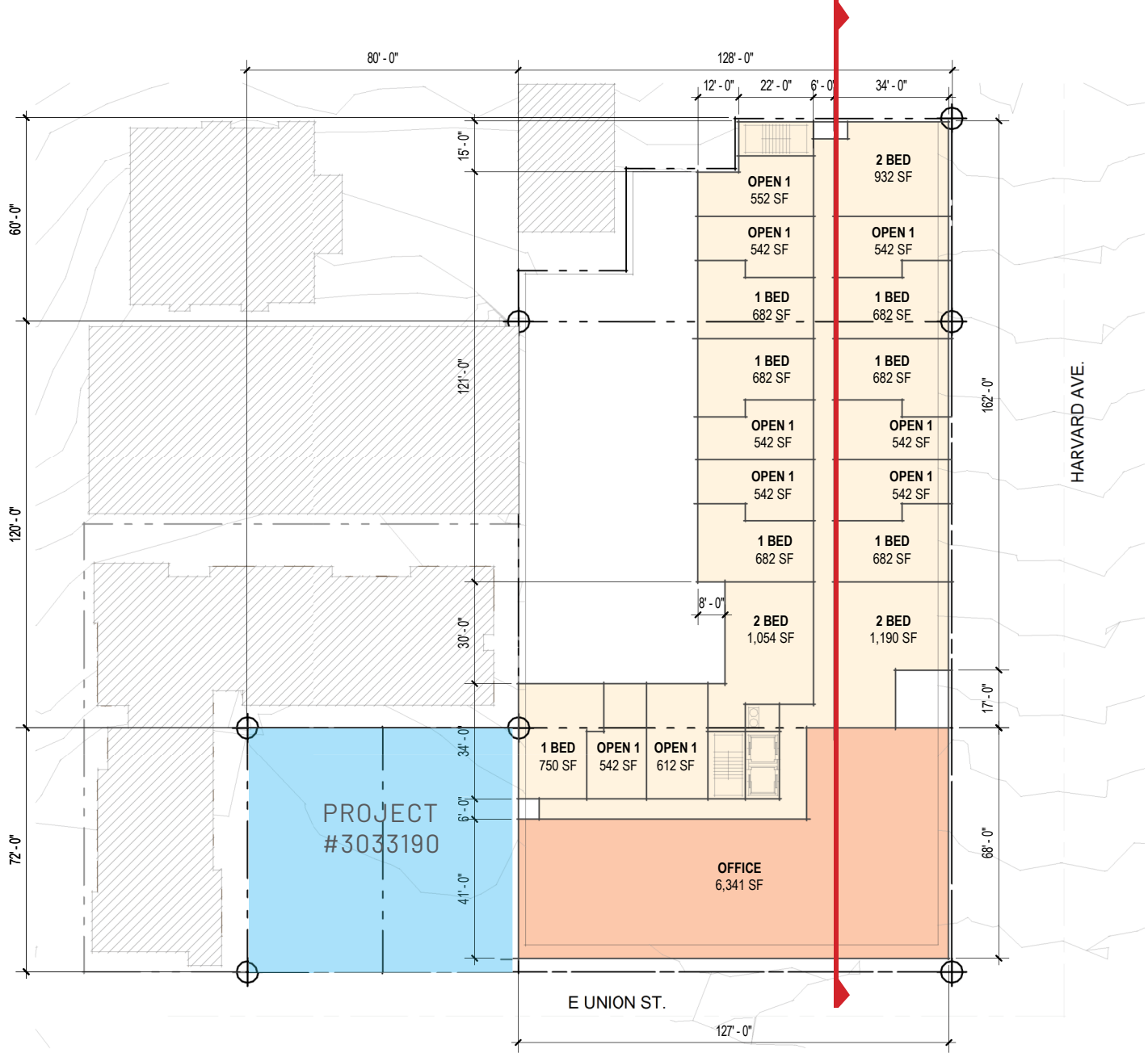


P1 LEVEL FLOOR PLAN

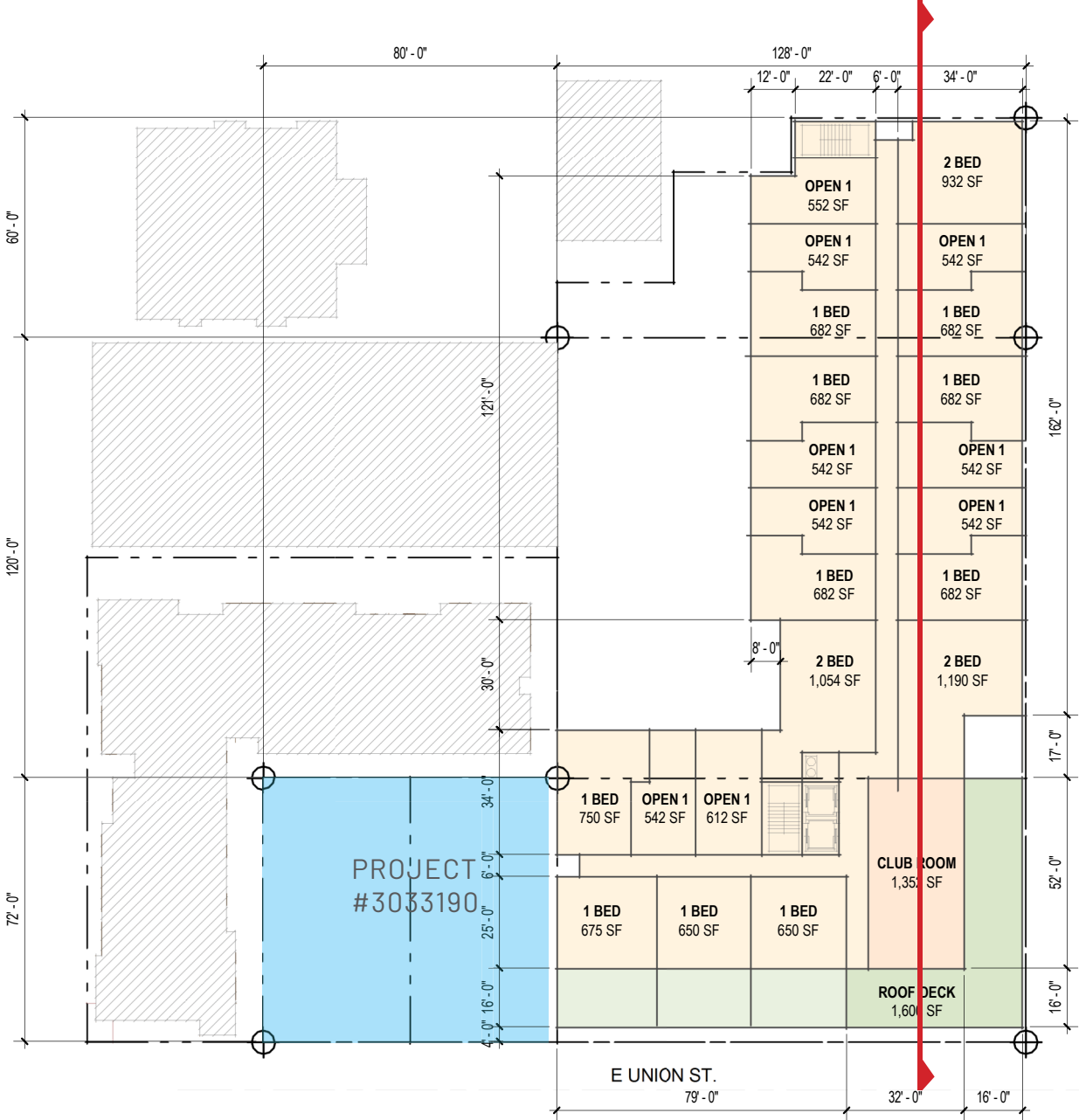


LEVEL 1 FLOOR PLAN

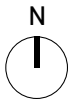




LEVEL 3 FLOOR PLAN



LEVEL 6 FLOOR PLAN



MASSING OPTIONS - OPTION A

RELEVANT DESIGN GUIDELINES

PROS:

- CS1.1

Step the elevation of ground floors so building entrances match sloping grade.
- CS3.1

Architectural styles and material that complement the historic "auto-row" light industrial vernacular style are encouraged.
- PL3.1

Entryways that feature heavy or contrasting trim, distinctive materials and a link to the surrounding streetscape are encouraged.
- DC3.1

Design open space to enhance street-level activity.
- DC3.2

Design street level landscaping to complement open space areas.
- DC4.1

Exterior finish materials should complement the neighborhood's auto-row and light-industrial vernacular.

CONS:

- ~~CS2.1~~

Retain as much of the existing physical context as possible.
- ~~CS2.2~~

Massing should respond to the established Pike/Pine development pattern of street facing facade widths to maintain a cohesive streetscape.
- ~~CS2.4~~

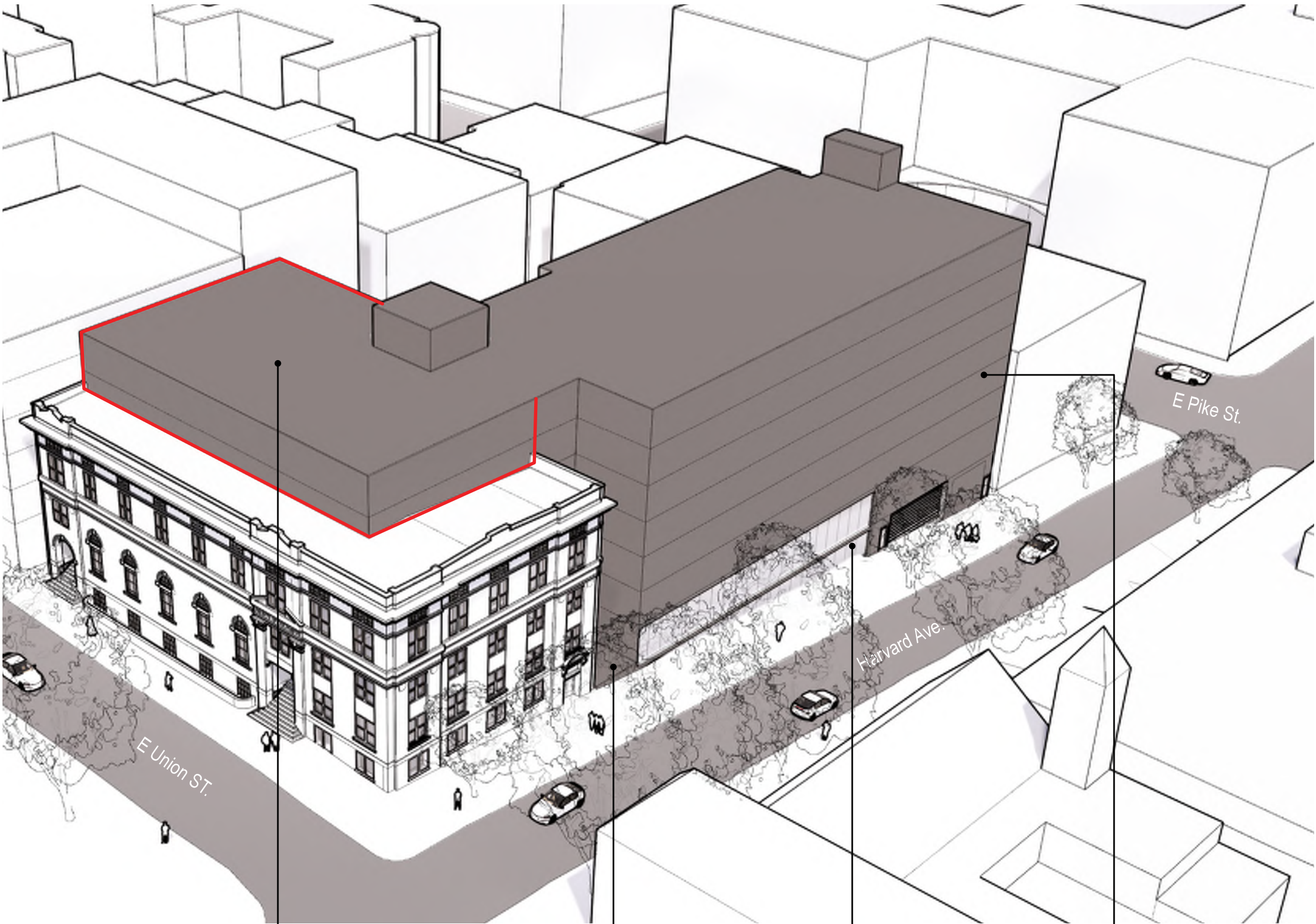
Design new structures to be compatible in scale and form with surrounding context.
- ~~CS3.2~~

Design new development that references architectural features and elements of existing structures on the block face to maintain block face rhythm and continuity.
- ~~DC2.1~~

Design concepts for projects that include character structures should emphasize the character structure.
- ~~DC2.2~~

Maintain the architectural integrity of character structure on site.
- ~~DC2.3~~

Design projects that include character structures to be compatible with character structure on the site and elsewhere on the block.



DC2.1 DC2.2
Development over character structure takes away from the integrity of the character structure.

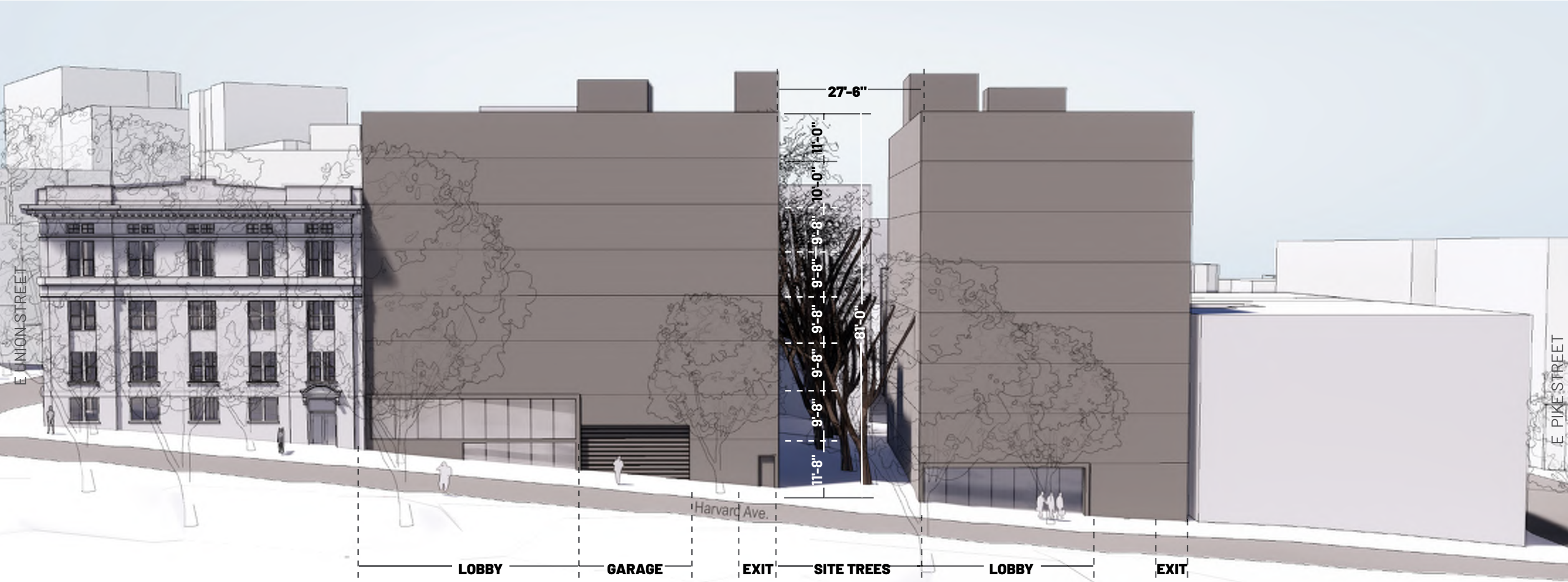
PL3.1 DC3.1 DC3.2
Highlighted entryway and open space enhances street level activity.

PL3.1 CS1.1
Entry to double height lobby enhances street level activity.

CS3.1 DC4.1
Brick facade complements the character structure and neighborhood.

OPTION B

PRESERVING EXCEPTIONAL TREES



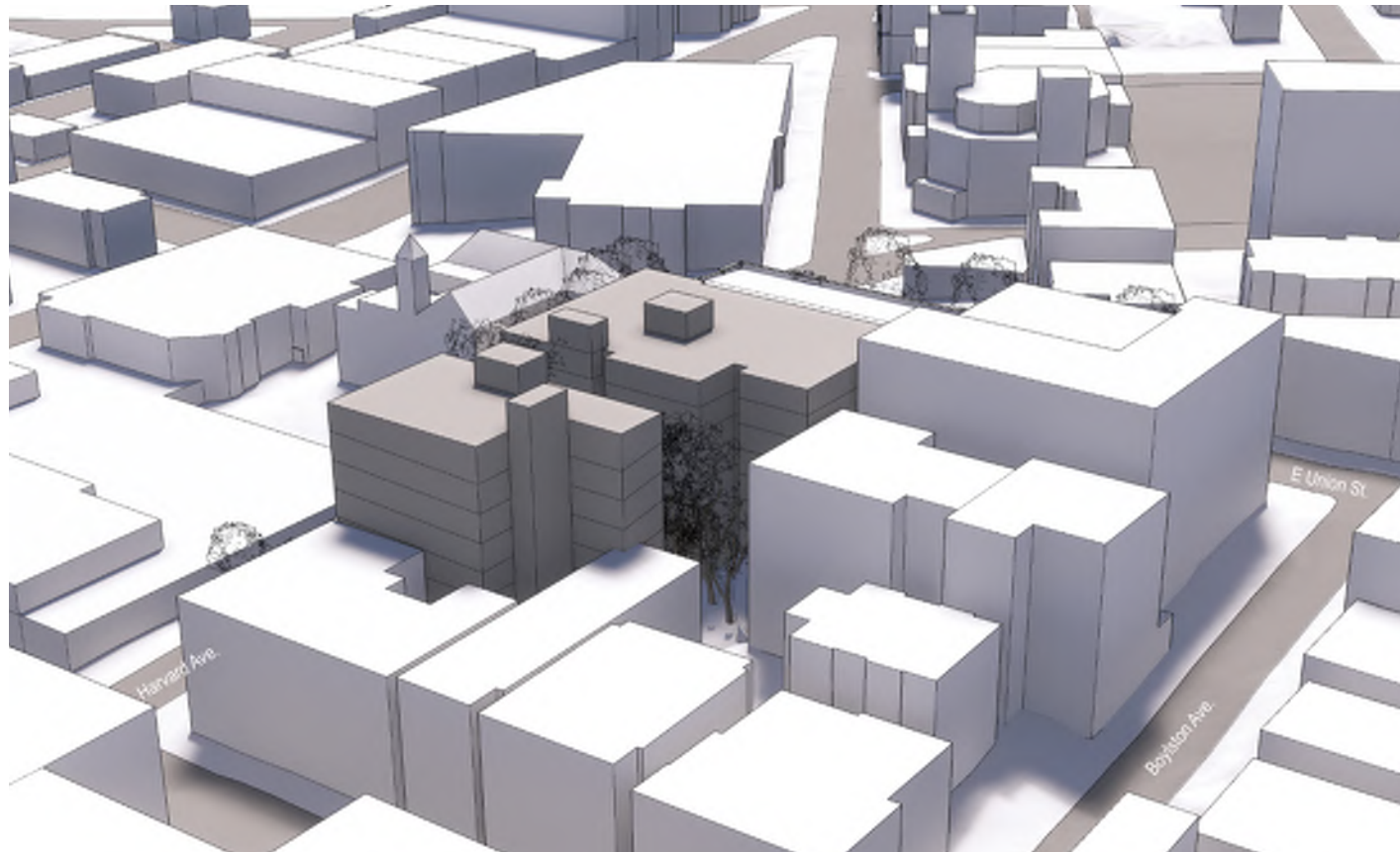
HARVARD AVENUE ELEVATION



BIRD'S EYE VIEW FROM THE INTERSECTION OF E UNION ST. & HARVARD AVE.



BIRD'S EYE VIEW FROM THE INTERSECTION OF E PIKE ST. & BOYLSTON AVE.

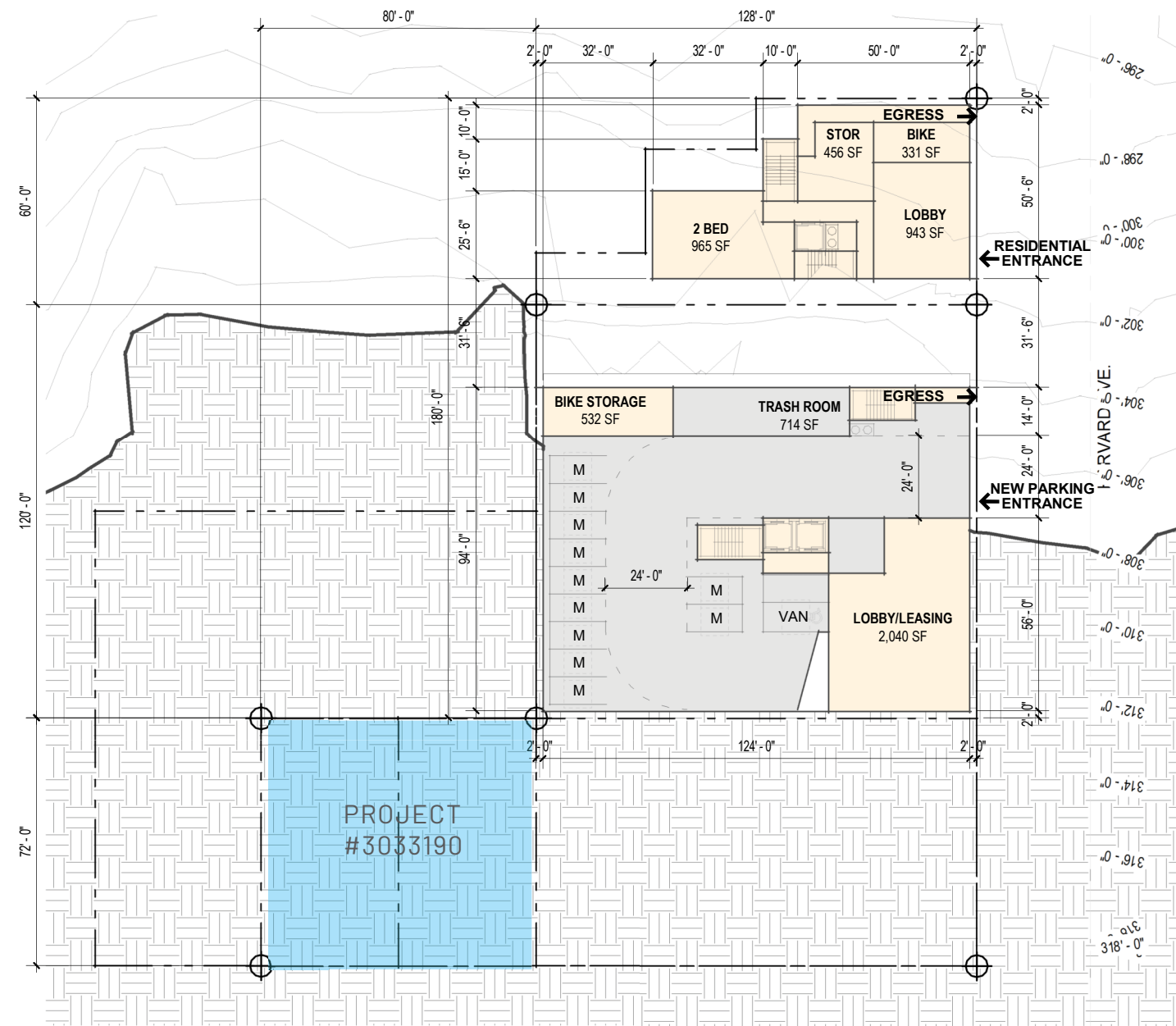


BIRD'S EYE VIEW FROM THE INTERSECTION OF HARVARD AVE. & E PIKE ST.

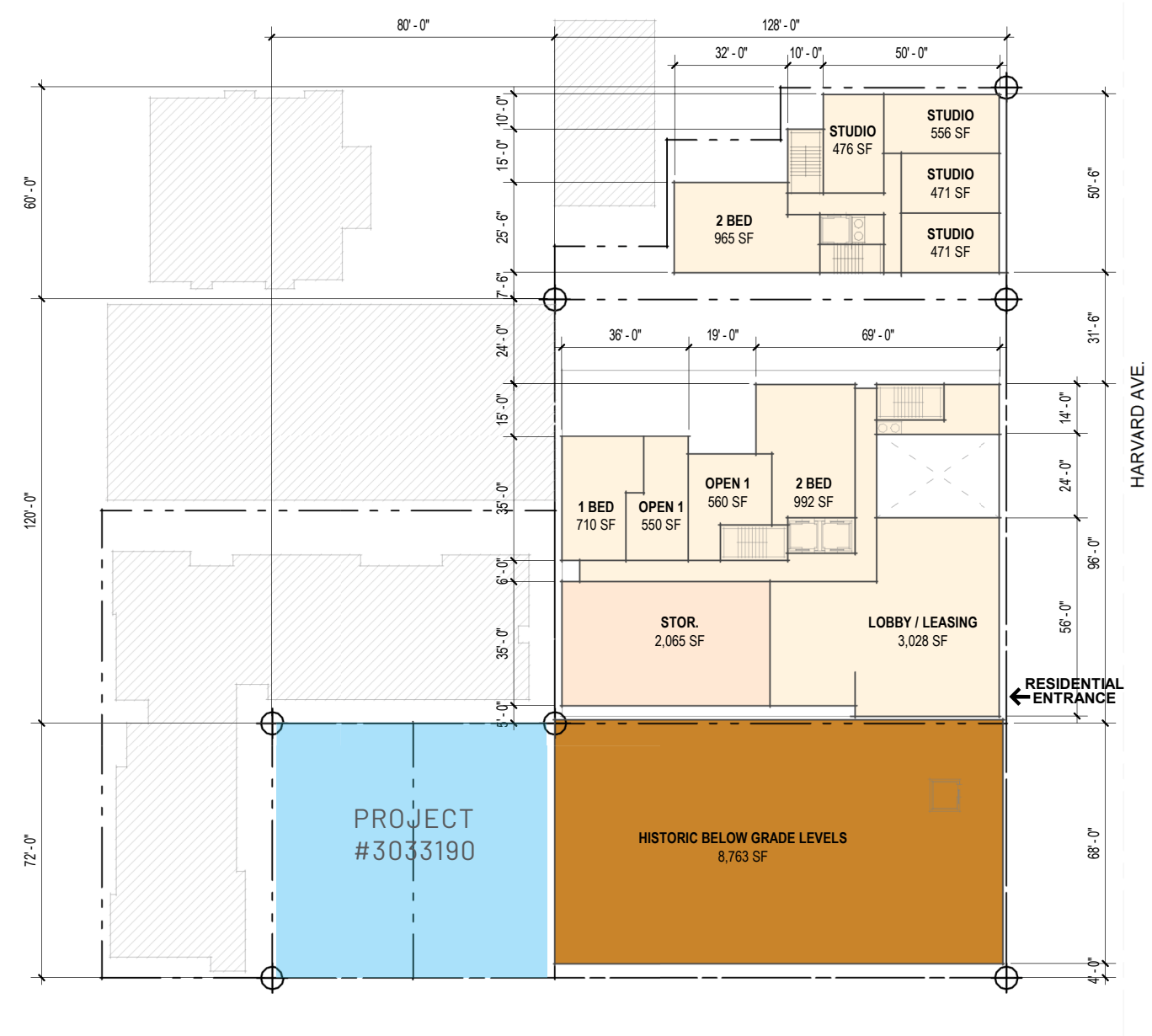


STREET VIEW FROM HARVARD AVE & E UNION STREET INTERSECTION

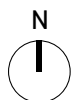
MASSING OPTIONS - OPTION B

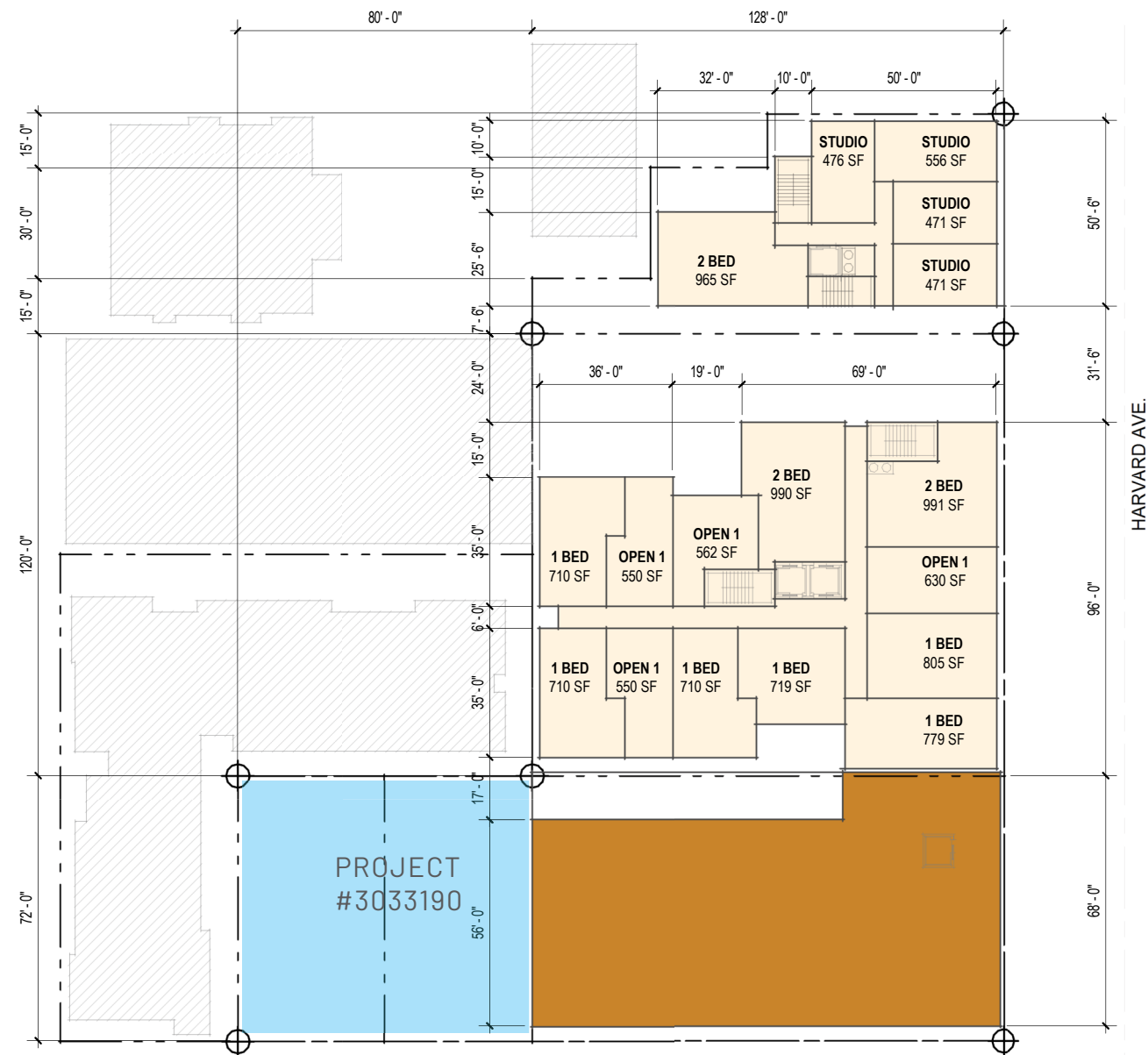


P1 LEVEL FLOOR PLAN

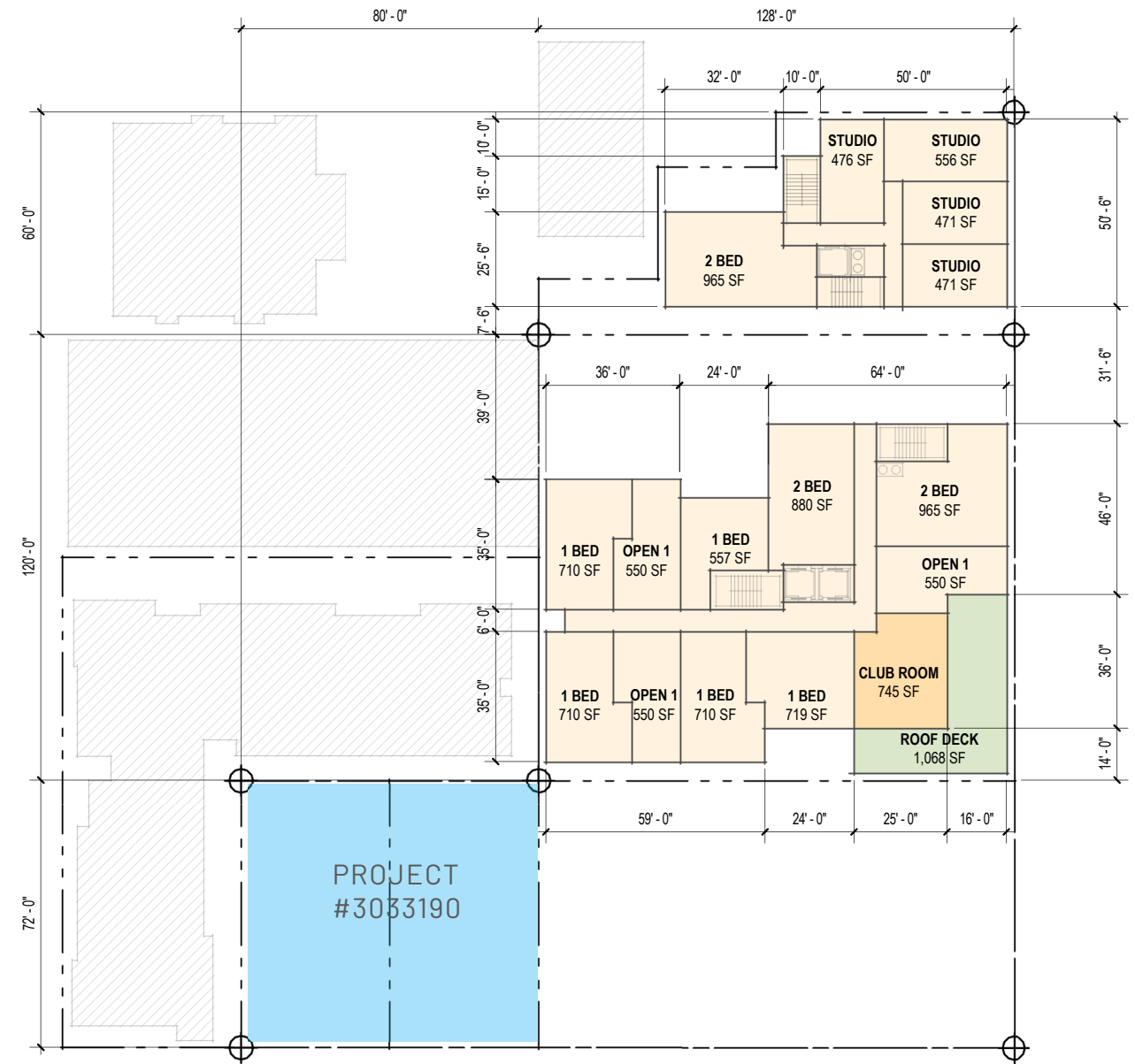


LEVEL 1 FLOOR PLAN





LEVEL 4 FLOOR PLAN



LEVEL 5 FLOOR PLAN



MASSING OPTIONS - OPTION B

RELEVANT DESIGN GUIDELINES

PROS:

- CS3.1

Architectural styles and material that complement the historic "auto-row" light industrial vernacular style are encouraged.
- DC4.1

Exterior finish materials should complement the neighborhood's auto-row and light-industrial vernacular.

CONS:

- ~~CS2.1~~

Retain as much physical context as possible.
- ~~CS2.2~~

Massing should respond to the established Pike/Pine development pattern of street facing facade widths to maintain a cohesive streetscape.
- ~~CS2.4~~

Design new structures to be compatible in scale and form with surrounding context.
- ~~CS3.2~~

Design new development that references architectural features and elements of existing structures on the block face to maintain block face rhythm and continuity.
- ~~PL3.1~~

Entryways that feature heavy or contrasting trim, distinctive materials and a link to the surrounding streetscape are encouraged.
- ~~DC2.1~~

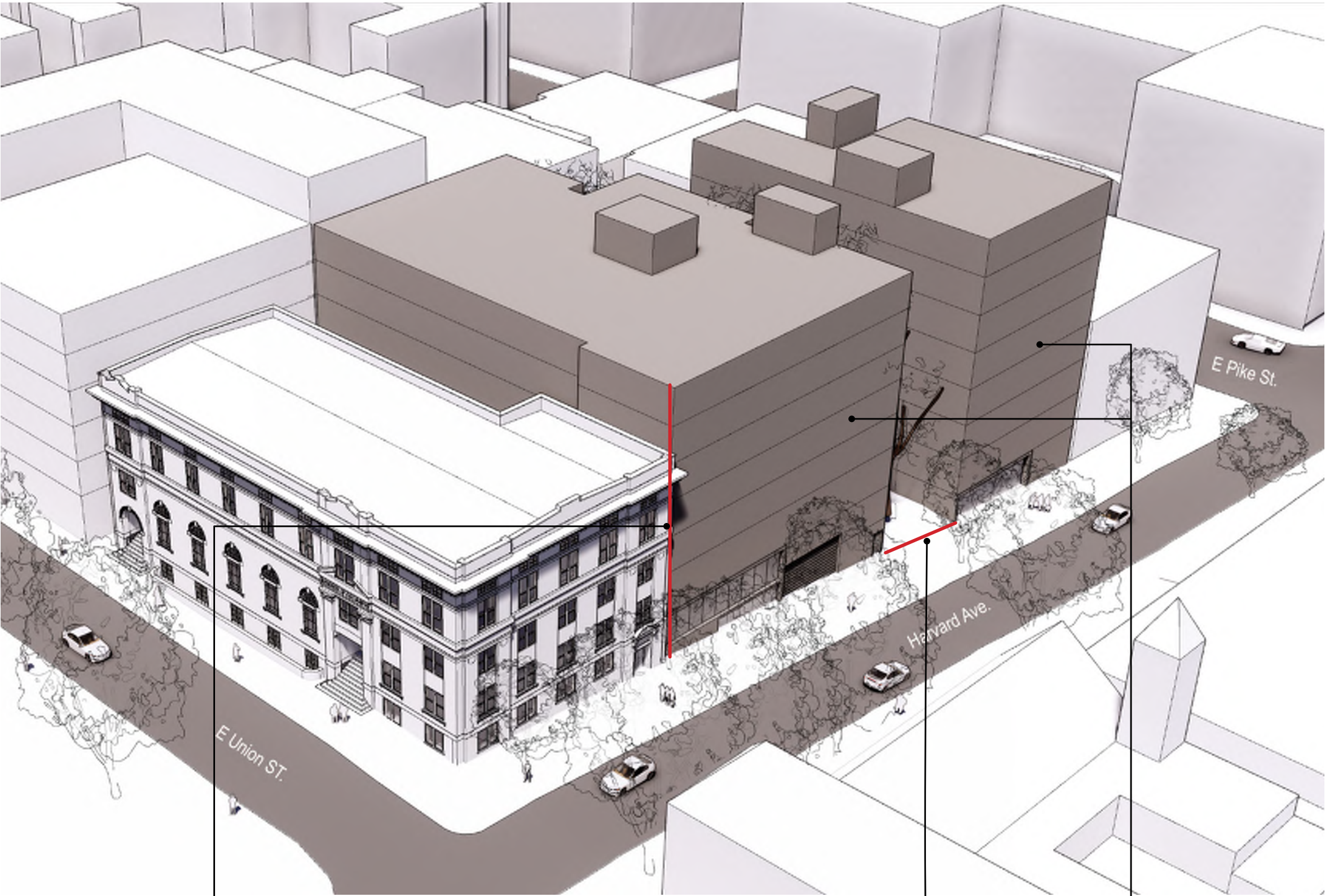
Design concepts for projects that include character structures should emphasize the character structure.
- ~~DC2.2~~

Maintain the architectural integrity of character structure on site.
- ~~DC2.3~~

Design projects that include character structures to be compatible with character structure on the site and elsewhere on the block.
- ~~DC3.1~~

Design open space to enhance street-level activity.
- ~~DC3.2~~

Design street level landscaping to complement open space areas.



CS2.4 CS3.2

7 story development adjacent to character structure with no setbacks disrupts scale and continuity of the surrounding context.

CS2.1 DC3.1

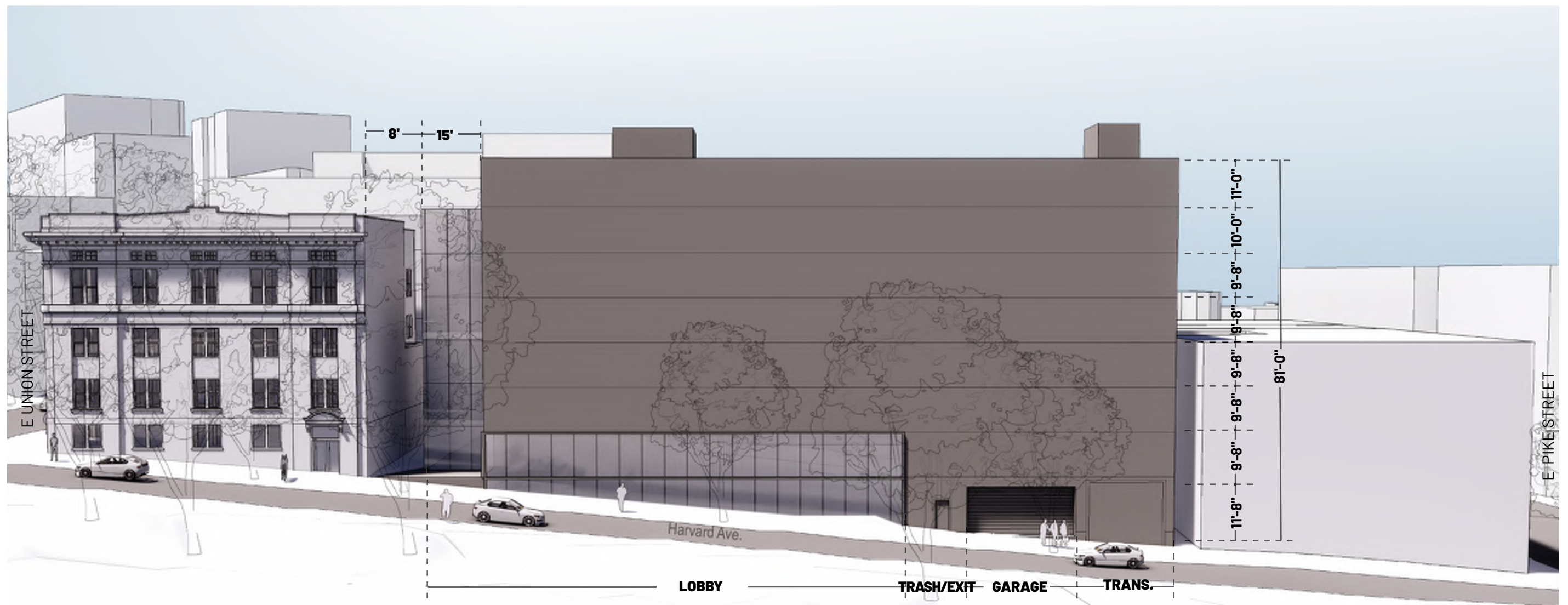
Retaining the site trees creates an inaccessible pocket which is not desirable for tree growth.

CS3.1 DC4.1

Brick facade complements the character structure and neighborhood.

OPTION C

PREFERRED



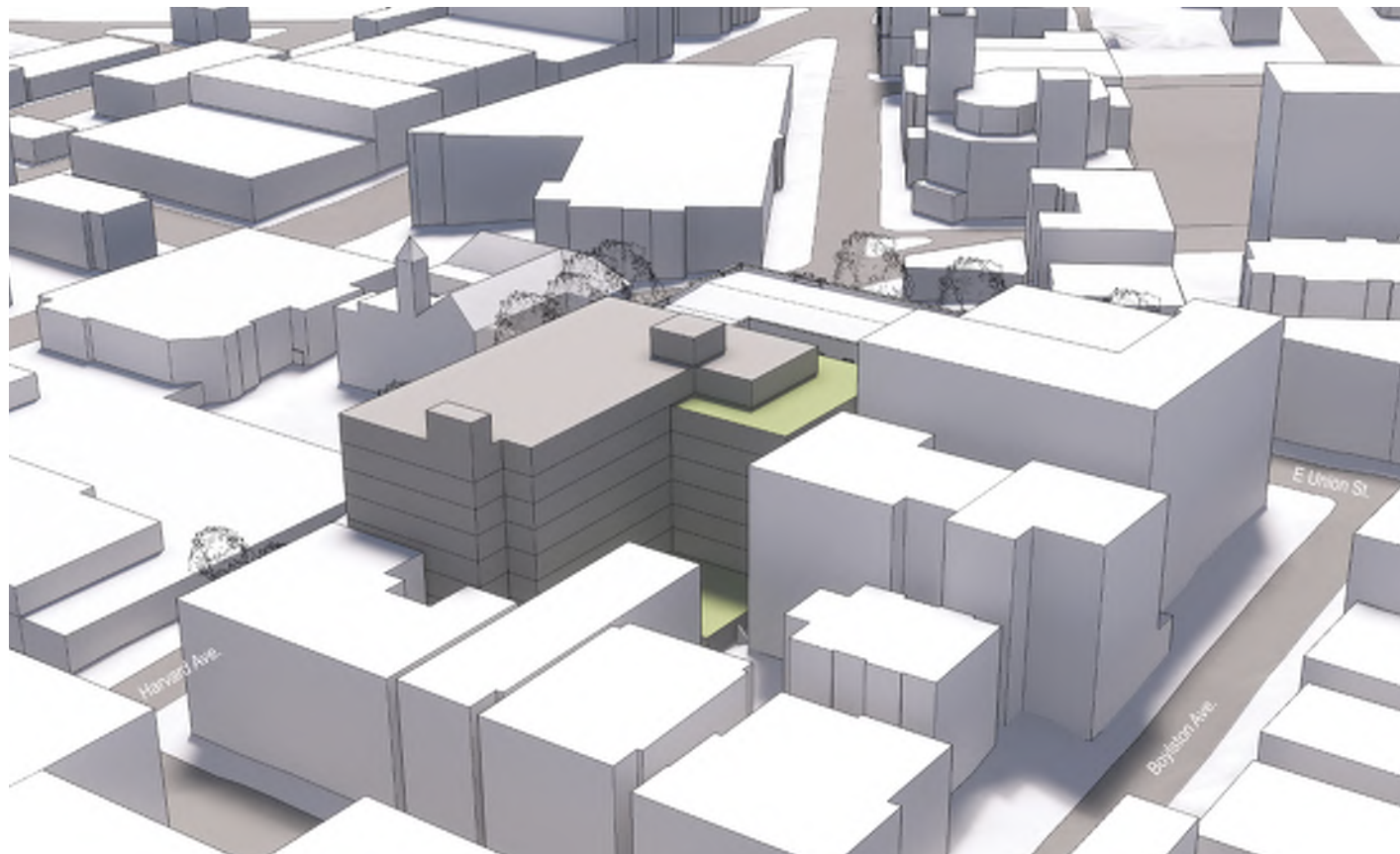
HARVARD AVENUE ELEVATION



BIRD'S EYE VIEW FROM THE INTERSECTION OF E UNION ST. & HARVARD AVE.



BIRD'S EYE VIEW FROM THE INTERSECTION OF E PIKE ST. & BOYLSTON AVE.

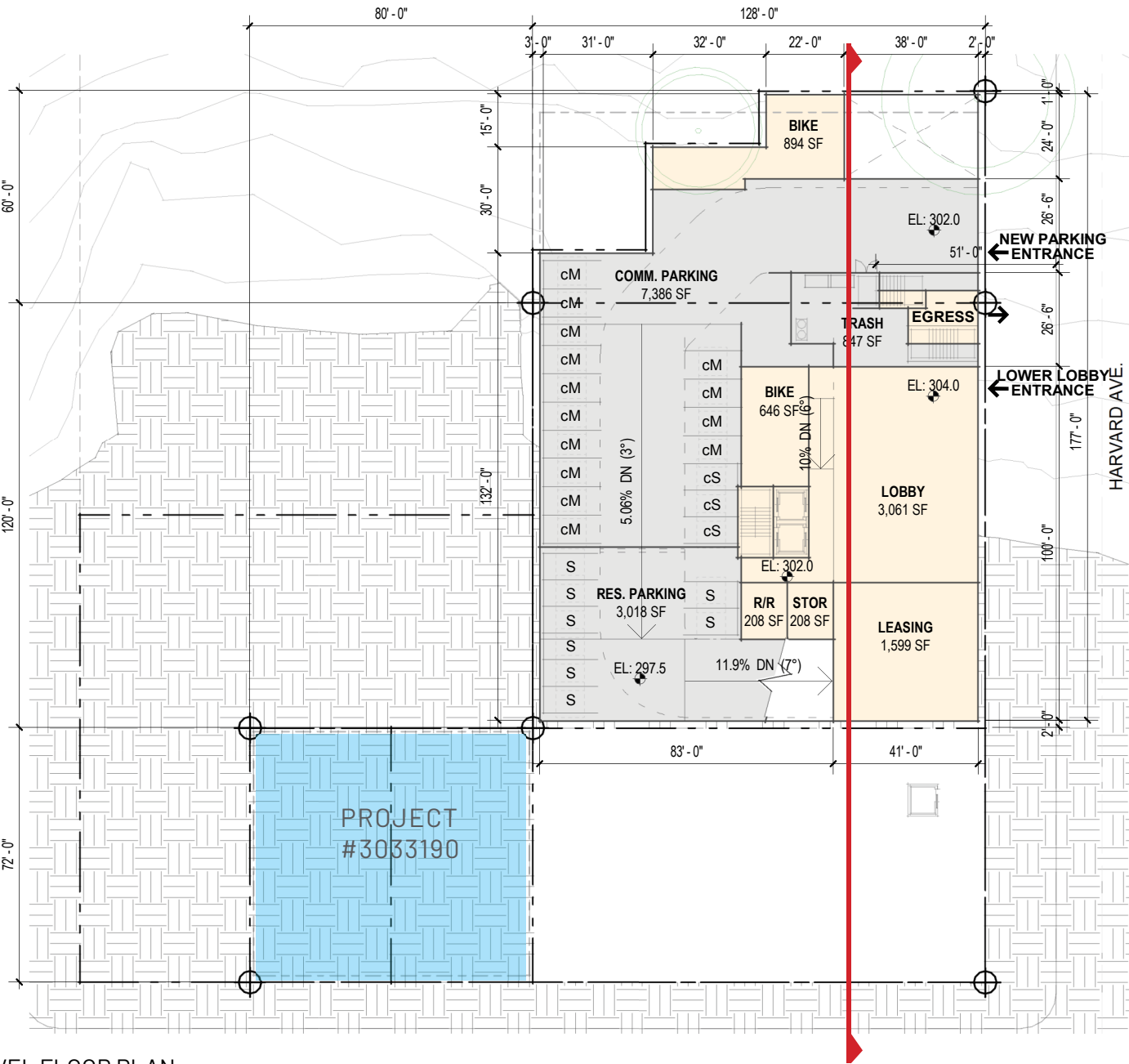


BIRD'S EYE VIEW FROM THE INTERSECTION OF HARVARD AVE. & E PIKE ST.



STREET VIEW FROM HARVARD AVE & E UNION STREET INTERSECTION

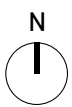
FLOOR PLAN LAYOUTS - OPTION C

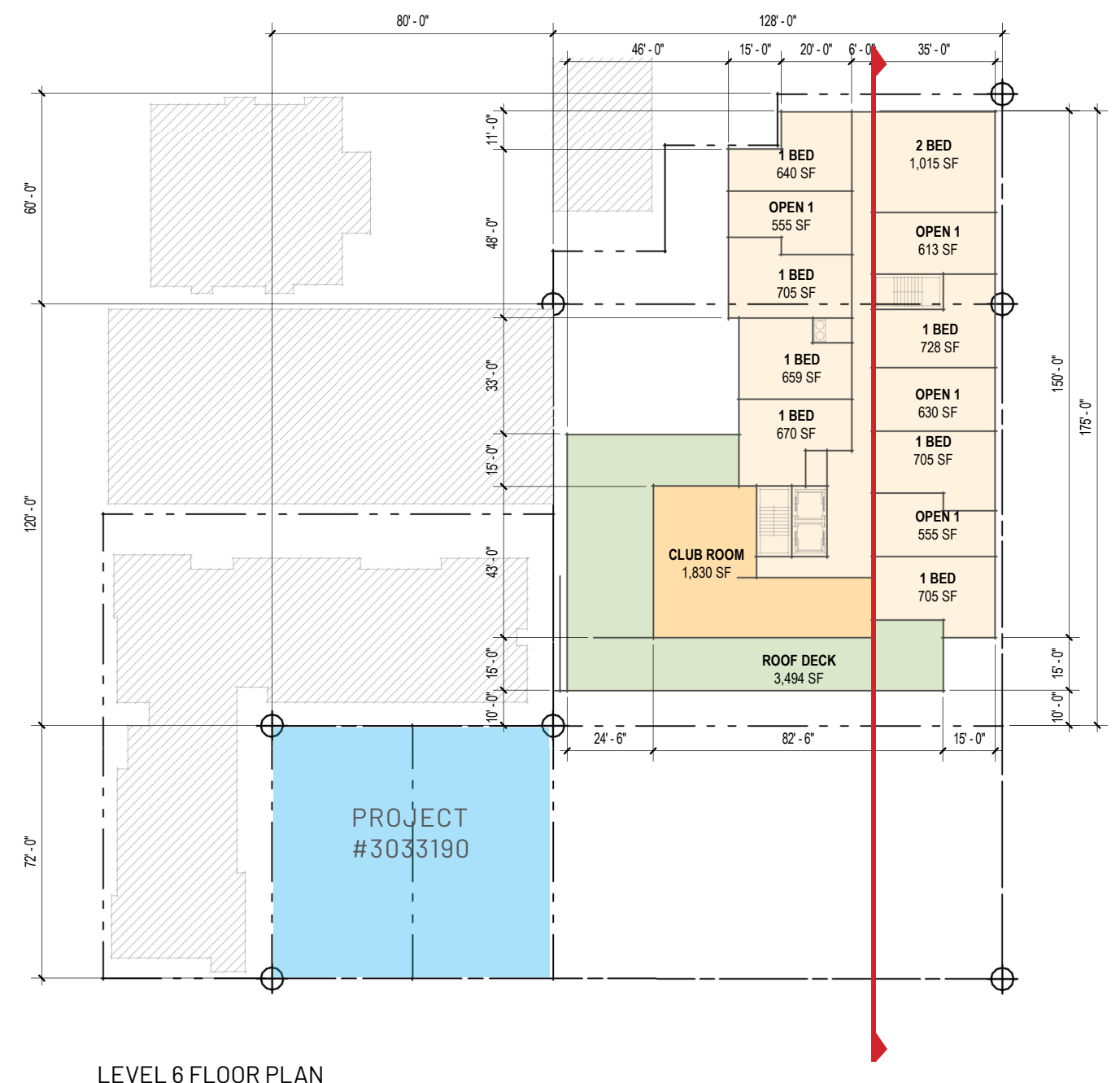
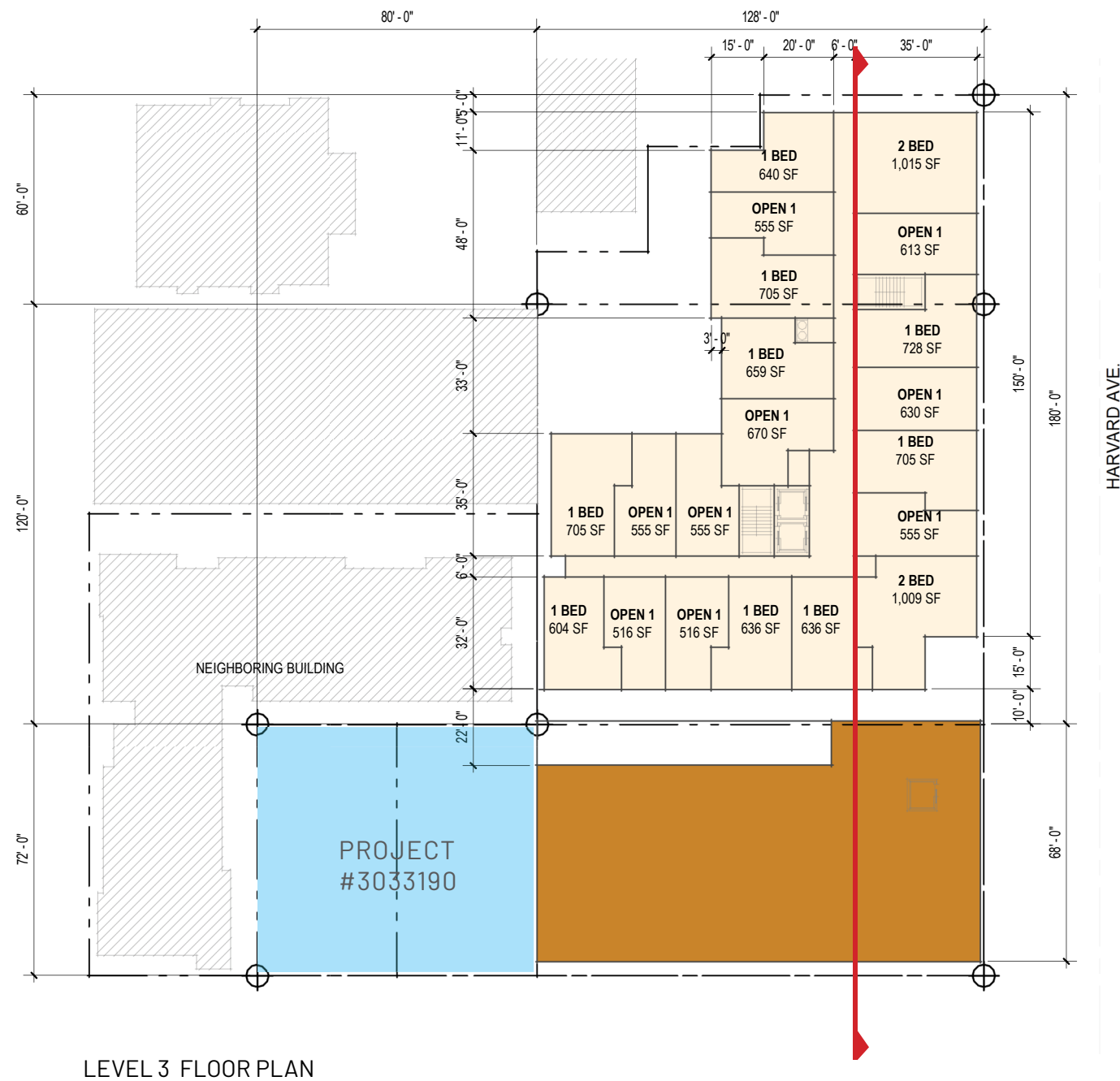


P1 LEVEL FLOOR PLAN



LEVEL 1 FLOOR PLAN





MASSING OPTIONS - OPTION C

RELEVANT DESIGN GUIDELINES

PROS:

- CS1.1

Step the elevation of ground floors so building entrances match sloping grade.
- CS2.1

Retain as much of the existing physical context as possible.
- CS2.2

Massing should respond to the established Pike/Pine development pattern of street facing facade widths to maintain a cohesive streetscape.
- CS2.4

Design new structures to be compatible in scale and form with surrounding context.
- CS3.1

Architectural styles and material that complement the historic "auto-row" light industrial vernacular are encouraged.
- CS3.2

Design new development that references architectural features and elements of existing structures on the block face to maintain block face rhythm and continuity.
- PL3.1

Entryways that feature heavy or contrasting trim, distinctive materials and a link to the surrounding streetscape are encouraged.
- DC2.1

Design concepts for projects that include character structures should emphasize the character structure.
- DC2.2

Maintain the architectural integrity of character structure on site.
- DC2.3

Design projects that include character structures to be compatible with character structure on the site and elsewhere on the block.
- DC3.1

Design open space to enhance street-level activity.
- DC3.2

Design street level landscaping to complement open space areas.
- DC4.1

Exterior finish materials should complement the neighborhood's auto-row and light-industrial vernacular.



CS2.4 CS3.2 DC2.1
DC2.2 DC2.3
8' setback and 15' wide transparent gasket enhance the character structure.

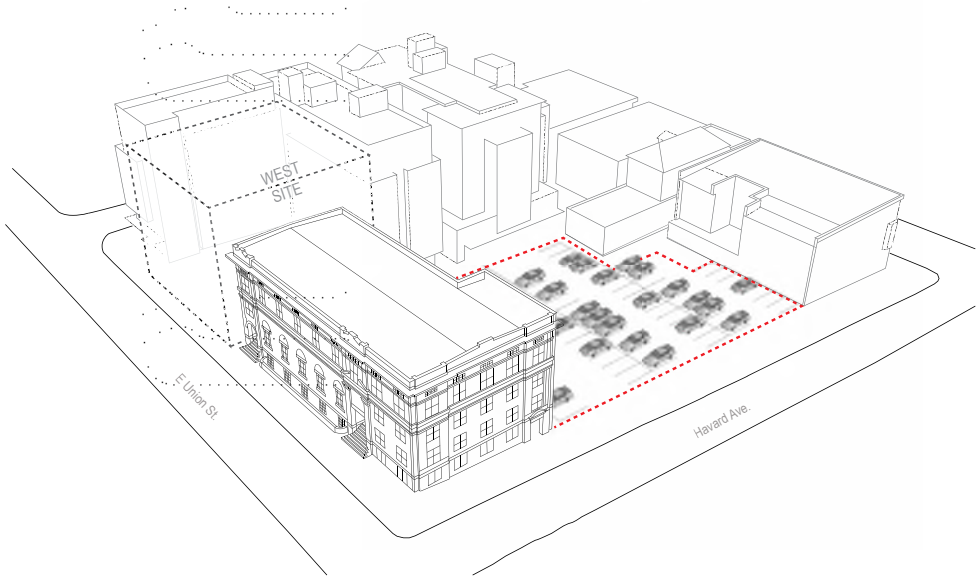
CS2.2 PL3.1
DC3.1 DC3.2
Highlighted entryway and open space enhances street level activity.

CS1.1 PL3.2
Entry to double height lobby enhances street level activity.

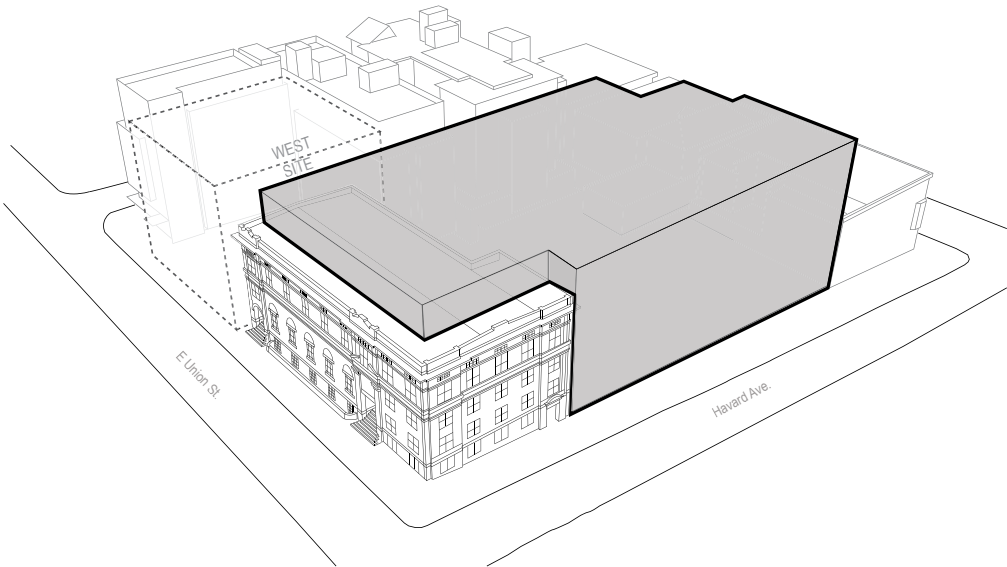
CS3.1 DC4.1
Brick facade complements the character structure and neighborhood.

PREFERRED MASSING OPTION C

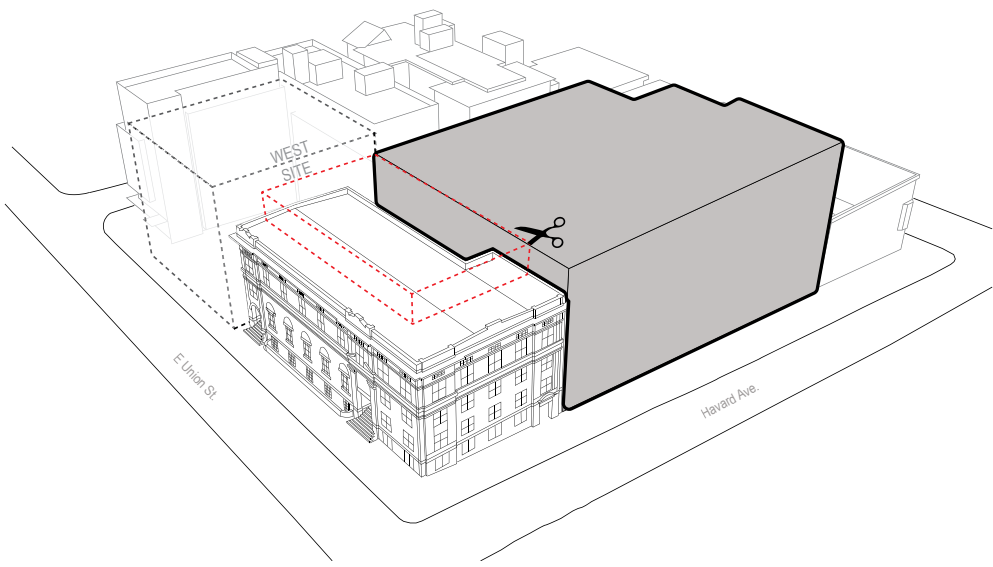
MASSING DEVELOPMENT



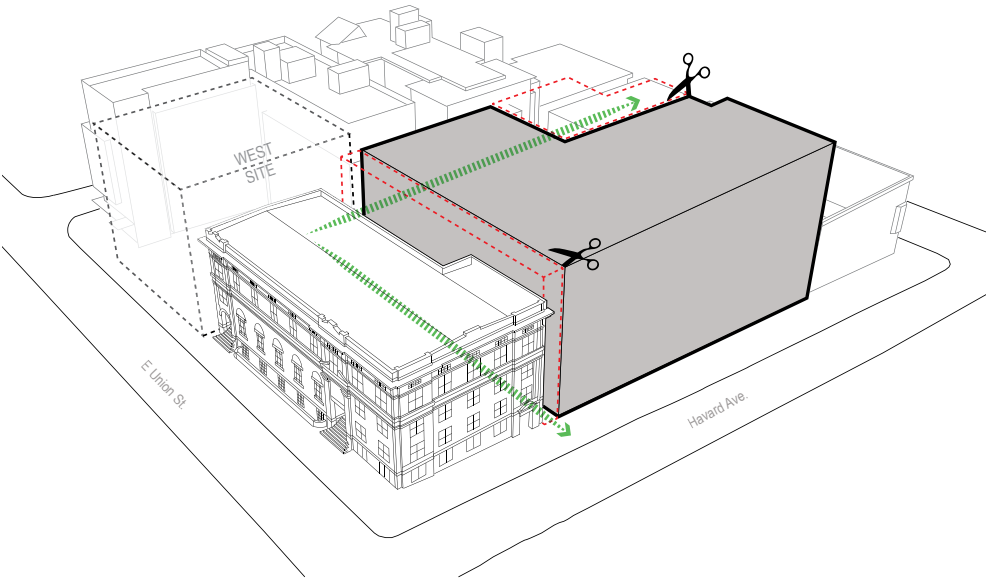
1 Existing site use



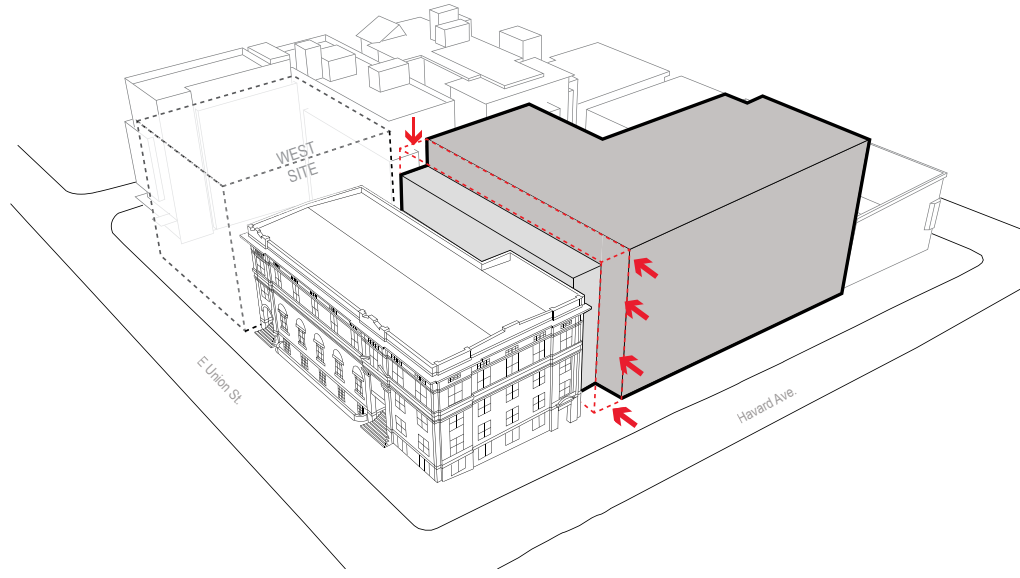
2 Maximum Zoning Envelope



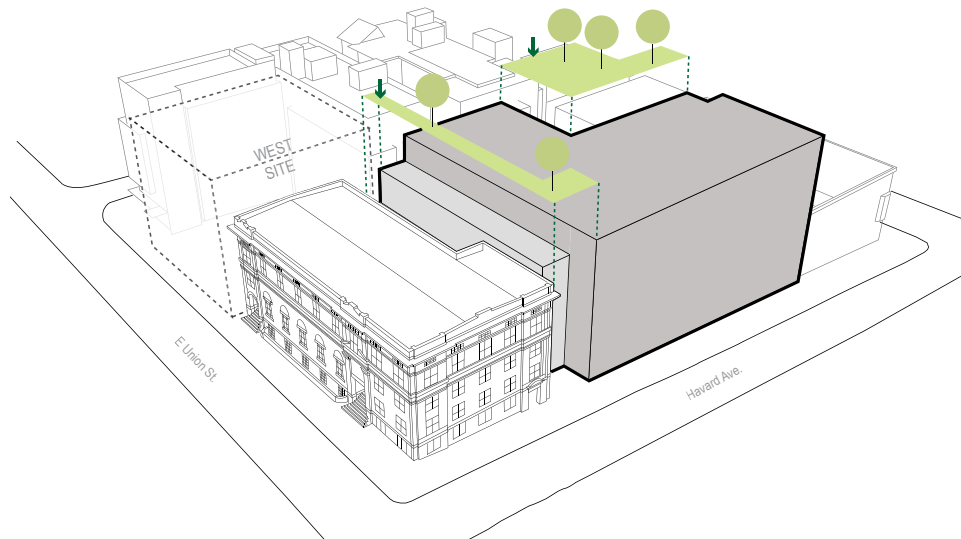
3 Delete massing above Knights of Columbus building to reduce impact on the character structure (-12,325 sf)



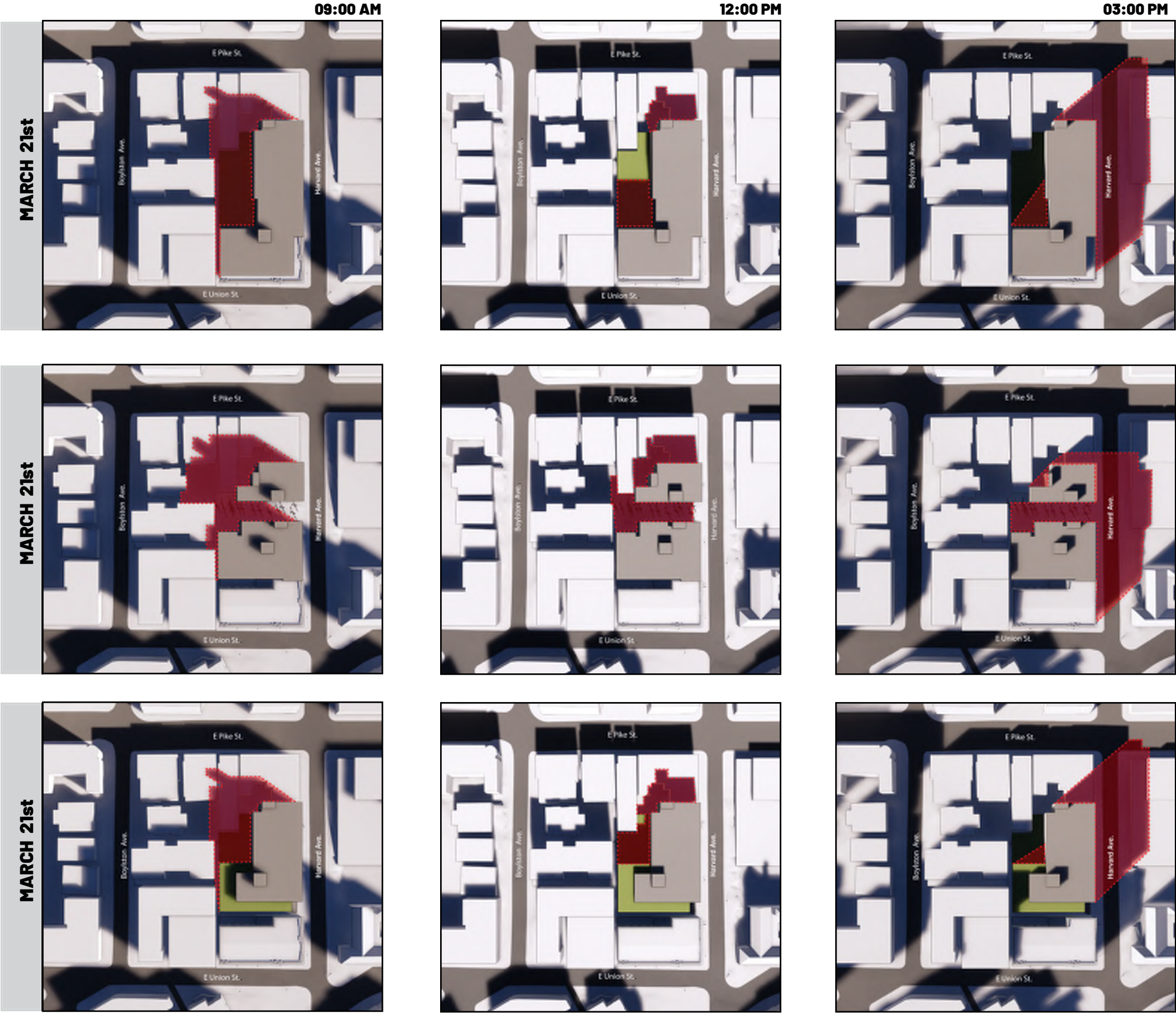
4 Pull back further from the historic and neighborhood buildings to enhance the livability of the neighborhood (-28,575 sf)



5 Introduce gasket separation between the new development and character structure (-3,265 sf)



6 Landscape these pockets of spaces between adjacent projects on the site



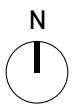
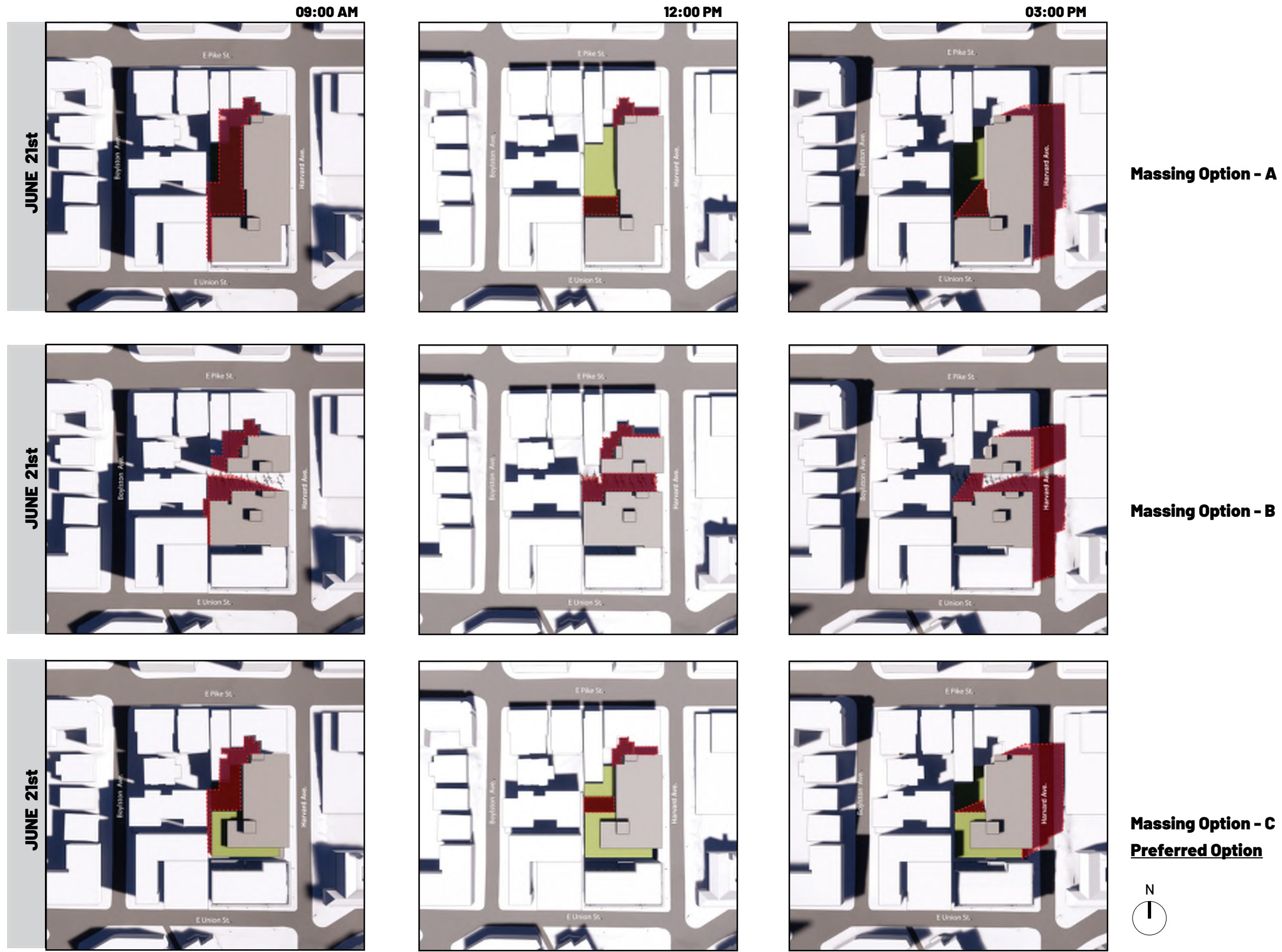
Massing Option - A

Massing Option - B

Massing Option - C
Preferred Option



DESIGN DEVELOPMENT - SOLAR STUDIES

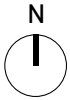




Massing Option - A

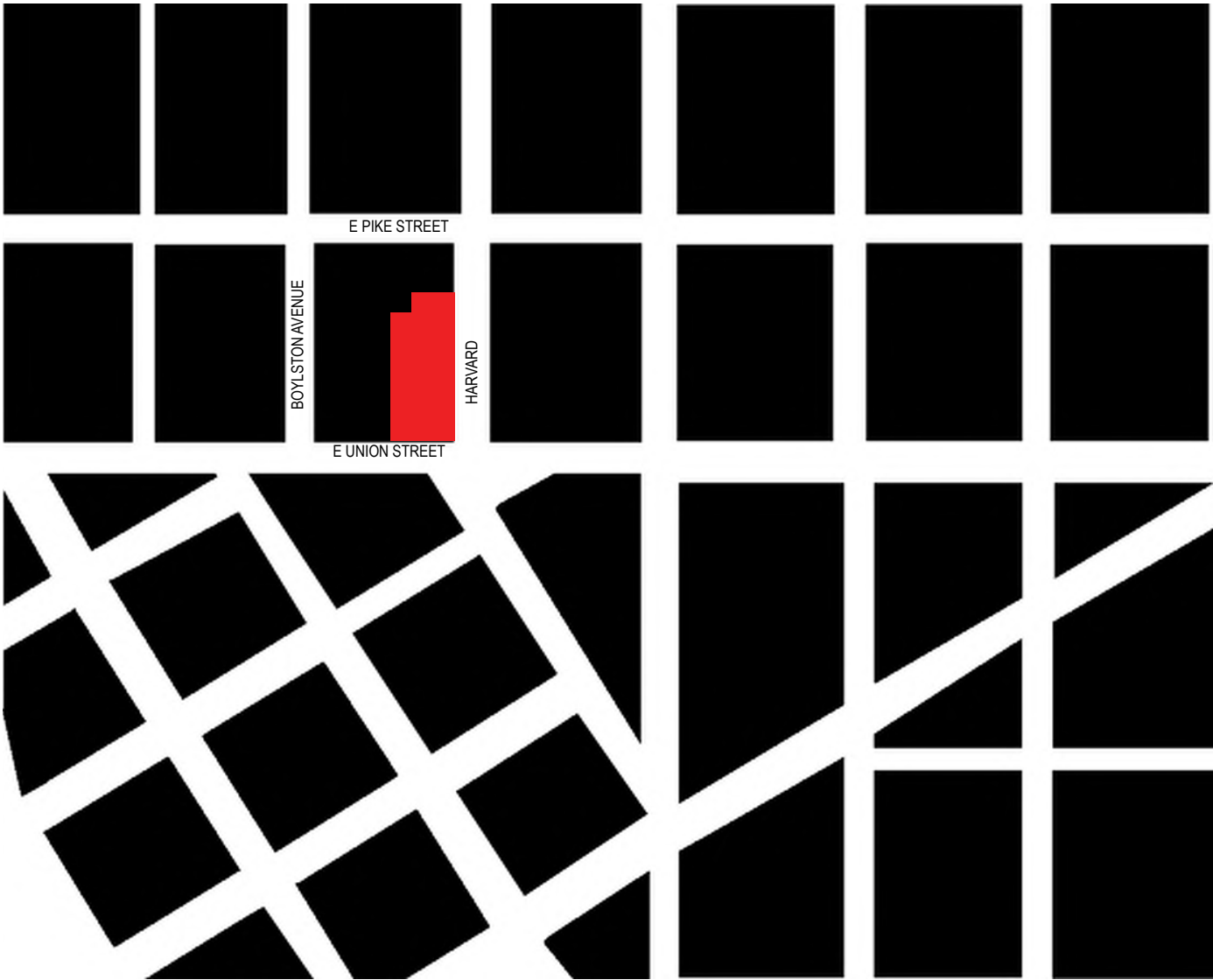
Massing Option - B

Massing Option - C
Preferred Option



CONCEPT DEVELOPMENT

PIKE / PINE



FIRST HILL

PIKE / PINE



FIRST HILL

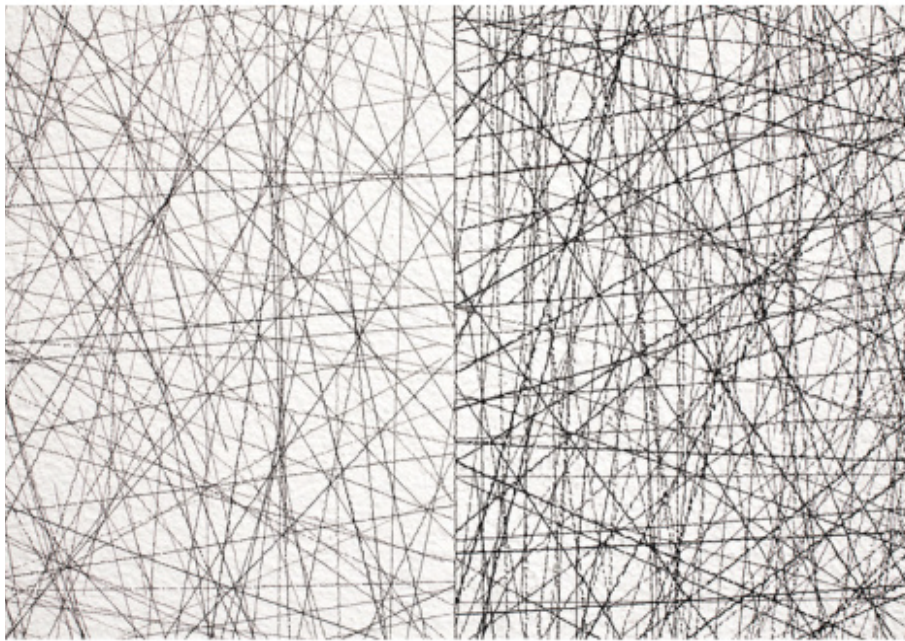
INTERSECTING GRIDS

The grid is a visual structure that lies at the heart of **Contemporary art**. Grids as a graphic component in painting came to prominence in the early 20th century as abstractions.

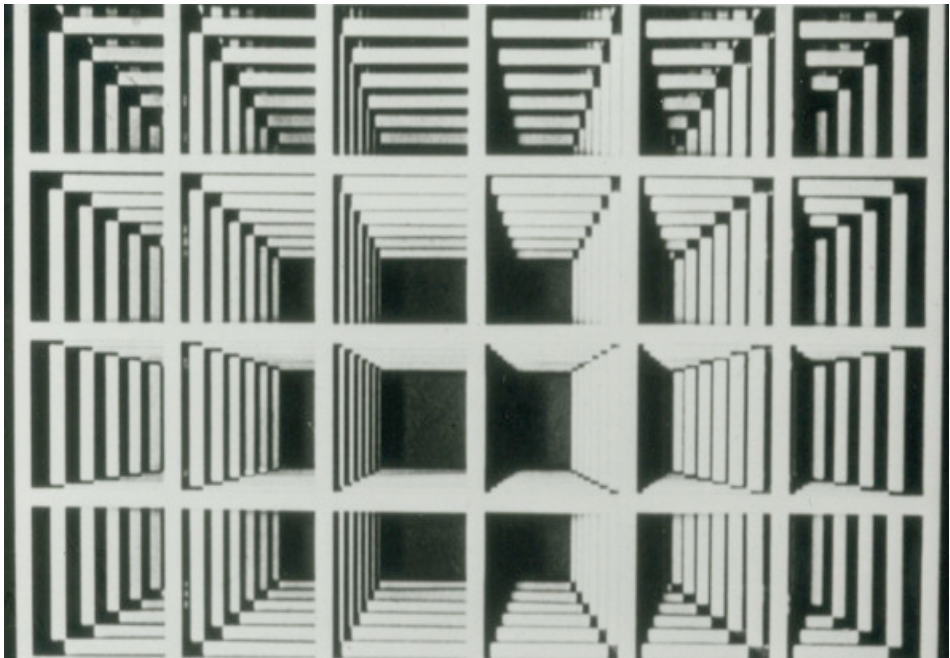
Sol LeWitt, who adopted the grid as the underlying element of his artworks, bridged Minimalism and conceptual art. In the 1960s, LeWitt started to draw directly on walls, using the grid as a simplified format that excluded representational images. The wall drawings evolved into a set of precise and mathematical instructions. LeWitt's sculptures, meanwhile, drew upon the grid to form spare geometric abstractions that stand in three dimensions. **Far from being a static element**, the grid mutated in the hands of different artists to assume a wide array of forms.

Sarah Morris's large paintings take the shape of a flat map of streets usually associated with grid structures. In her paintings, the **rigid quadrangular spaces are twisted into simple yet strong patterns that recall the urban landscape**.

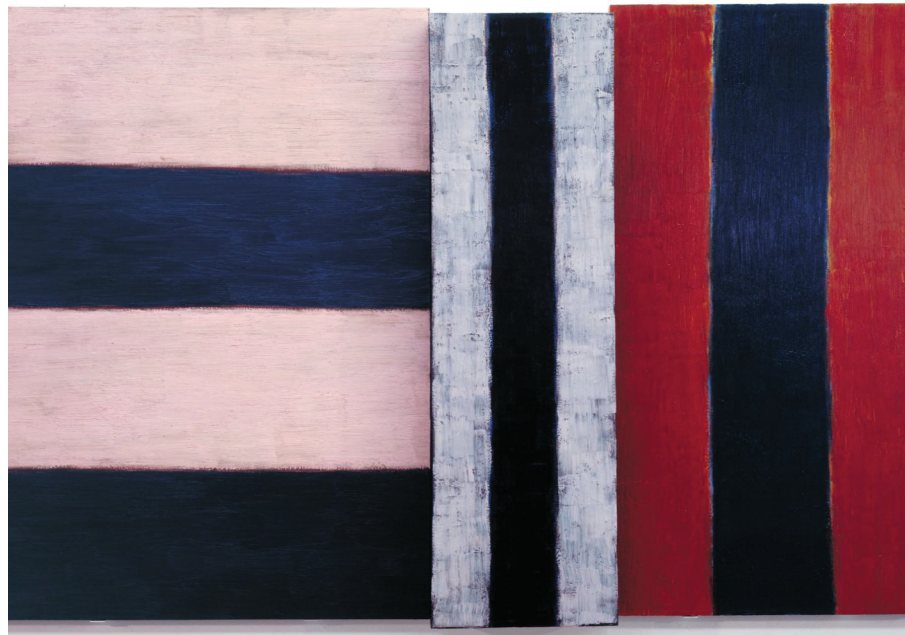
In modern life, **the grid is everywhere**. The streets of Manhattan form the most famous urban grid in the world. We digest our digital media through tiny pixellated grids, and play the lottery filling numbers in small grids. **The grid is the net that connects art with the increasingly ordered qualities of day-to-day life**. As Krauss wrote, "logically speaking, **the grid extends, in all directions, to infinity**".



Art by Sol LeWitt



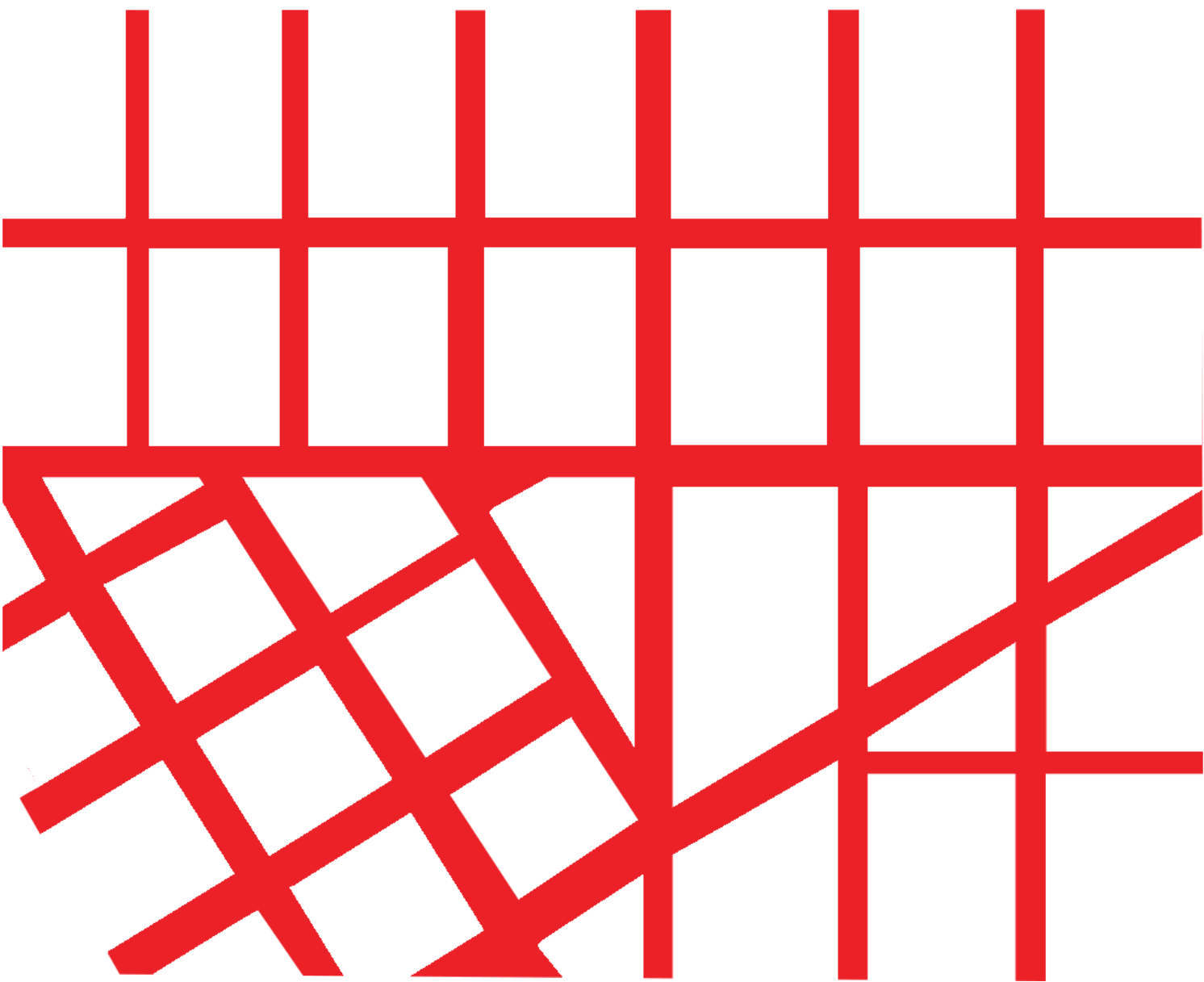
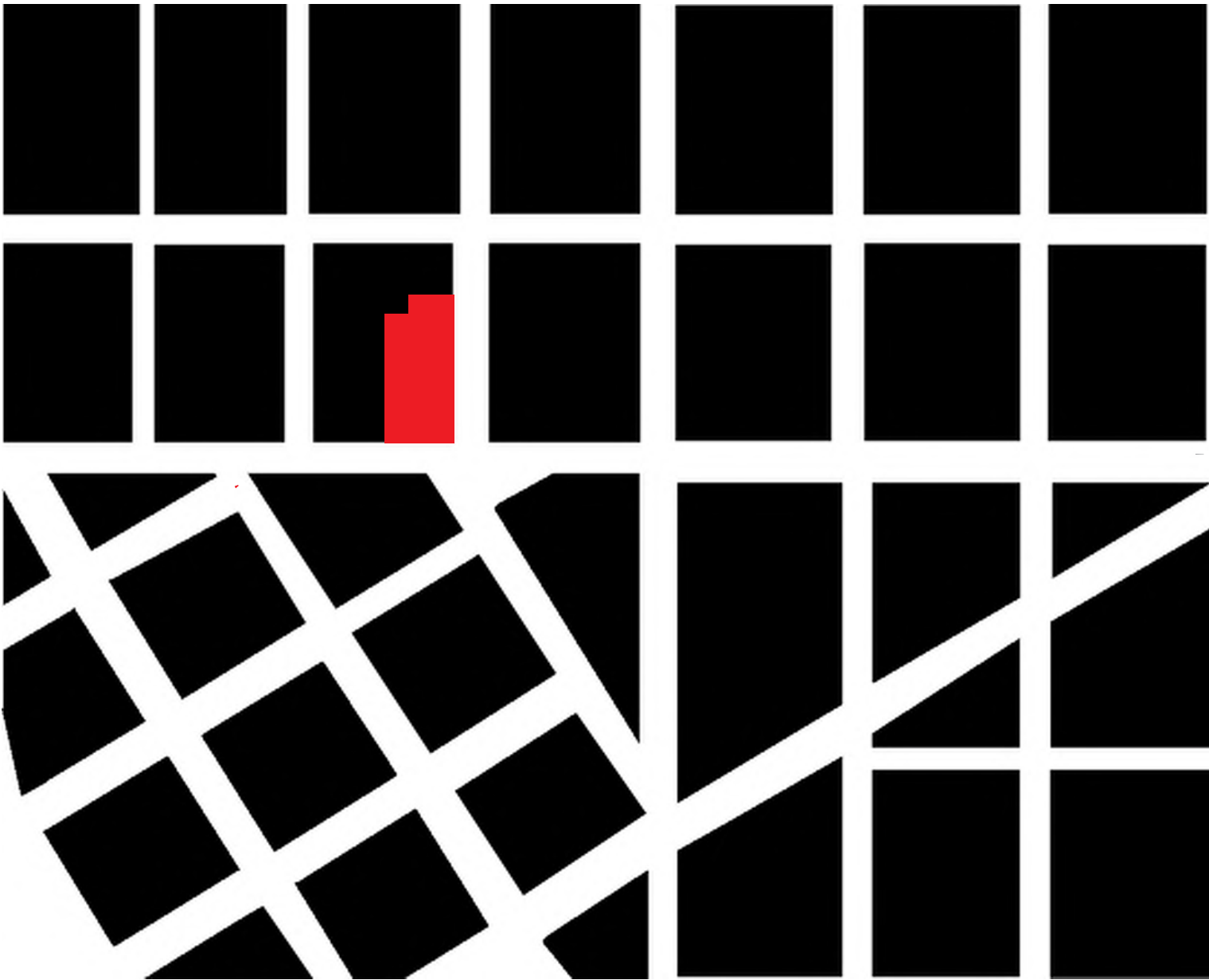
Art by Sol LeWitt



Art by Sean Scully

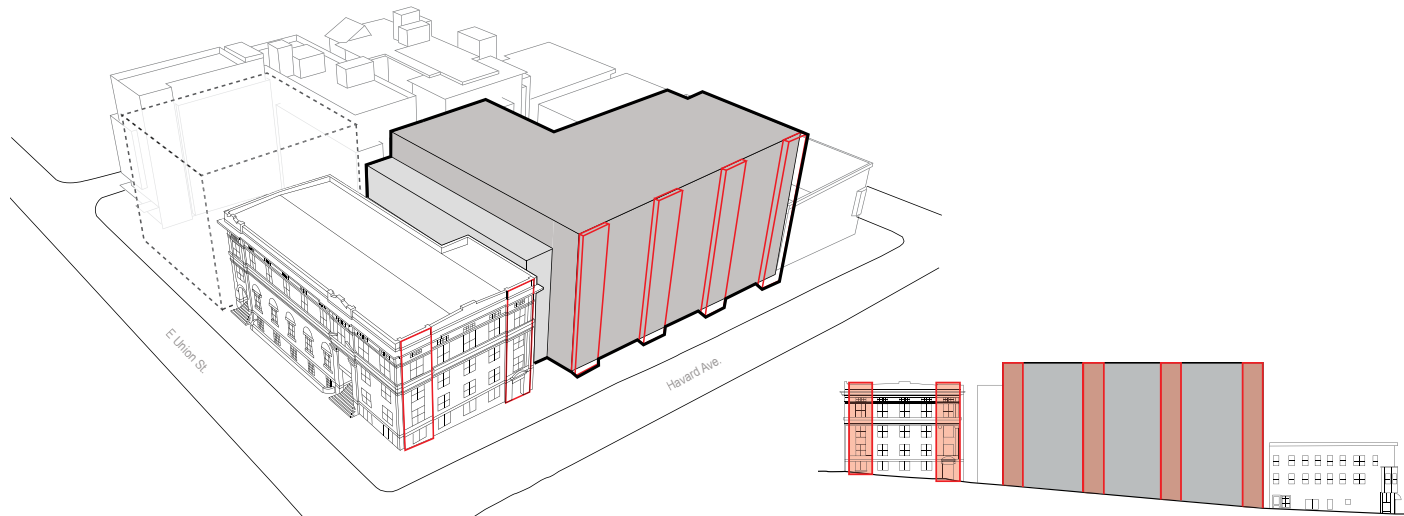


Art by Sarah Morris

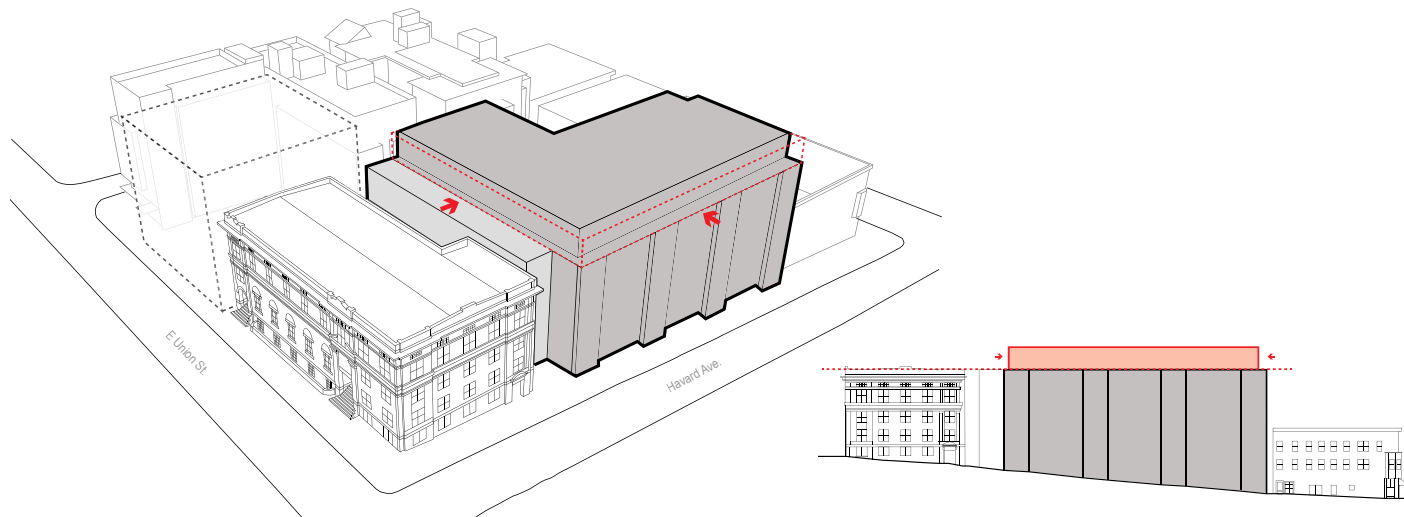


STREET GRIDS

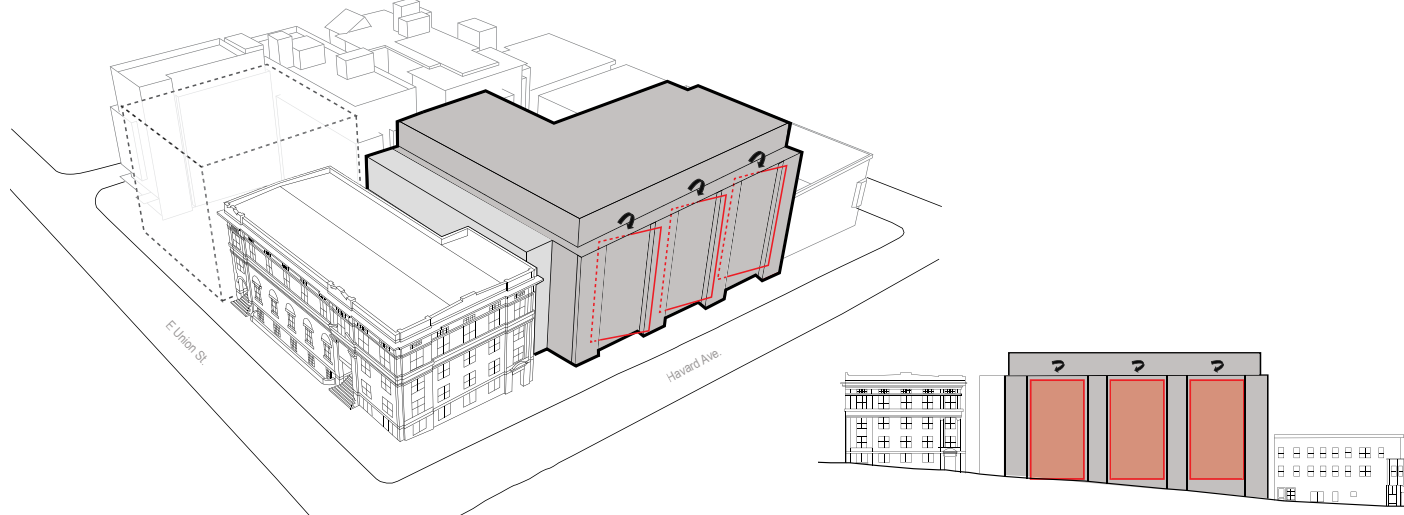
CONCEPT DESIGN 1 (PREFERRED MASSING OPTION C) - EXTENDED GRIDS



1 Identify the vertical massing of the KOC building



2 Set back massing to match the scale of the KOC building



3 Orient the massing created by the vertical bays to the prominent street grid and major intersection

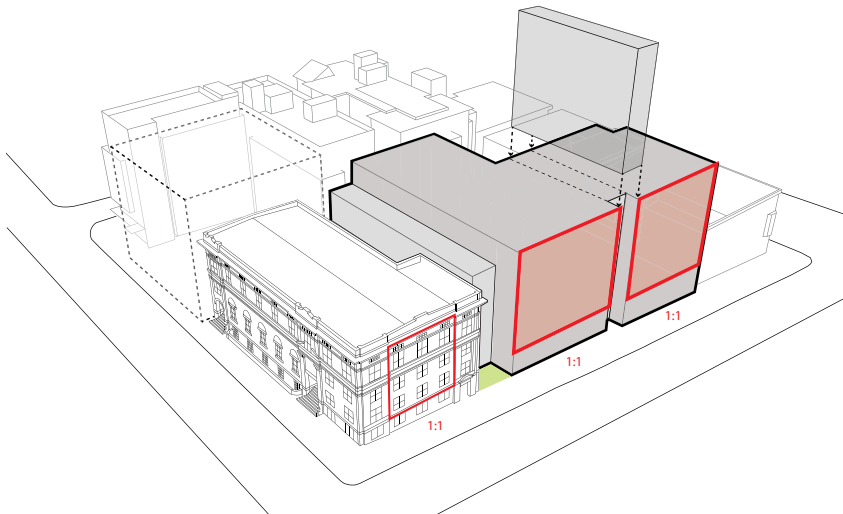


BIRD'S EYE VIEW FROM THE INTERSECTION OF E PIKE ST. AND HAVARD AVE.

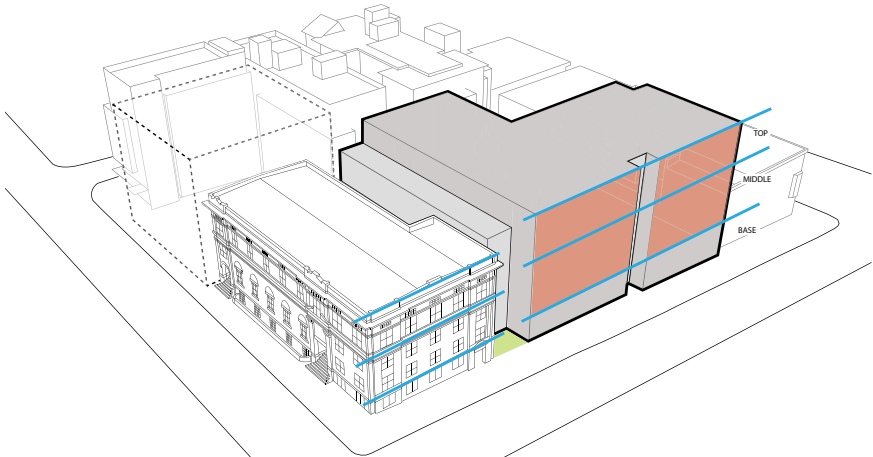


STREET VIEW FROM THE INTERSECTION OF E PIKE ST. AND HAVARD AVE.

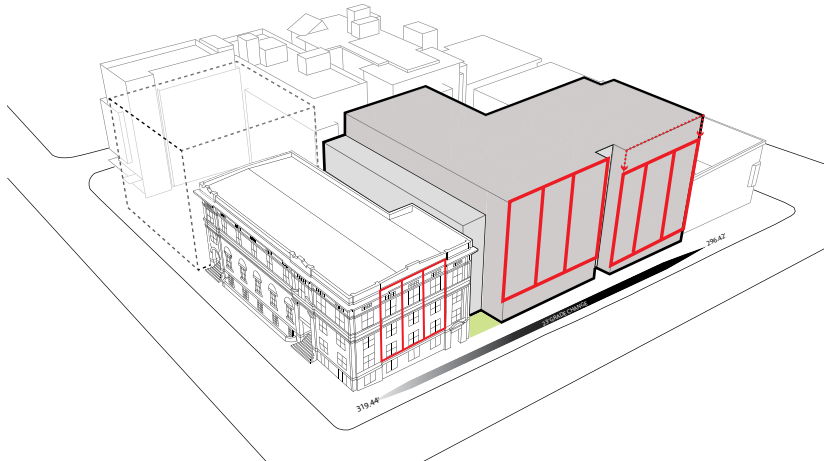
CONCEPT DIAGRAM



1 Introduce secondary gasket element to correspond to the scale of the KOC



2 Follow the datum of the KOC to establish a distinctive top, middle and base



3 Adjust massing to correspond to the steep grade change

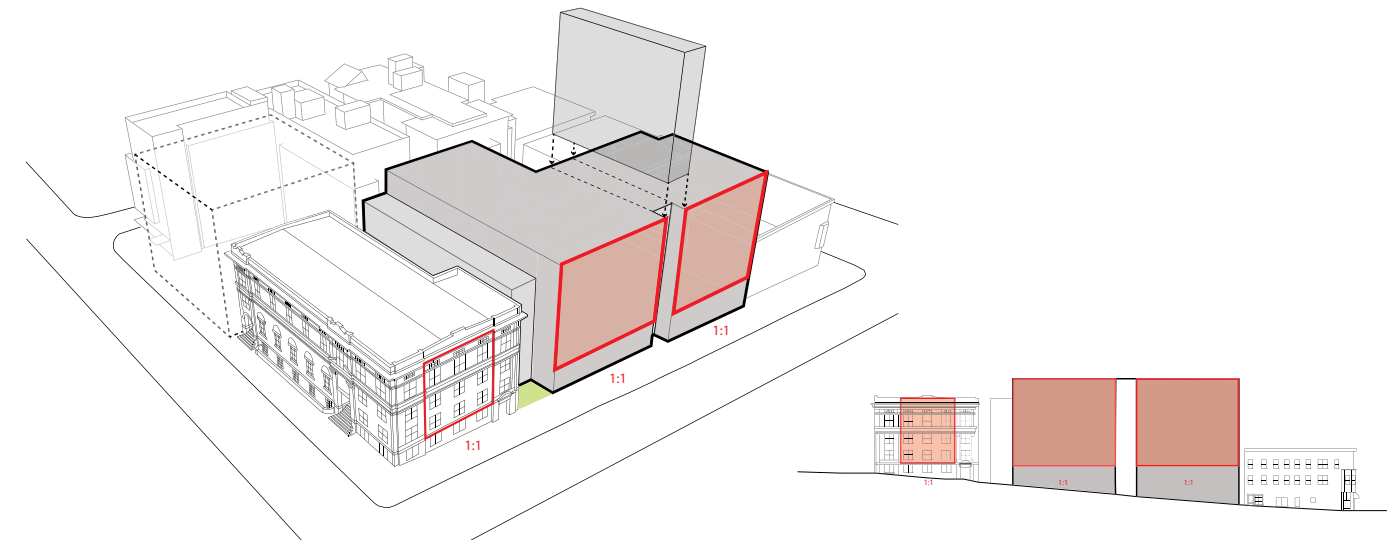


BIRD'S EYE VIEW FROM THE INTERSECTION OF E PIKE ST. AND HAVARD AVE.

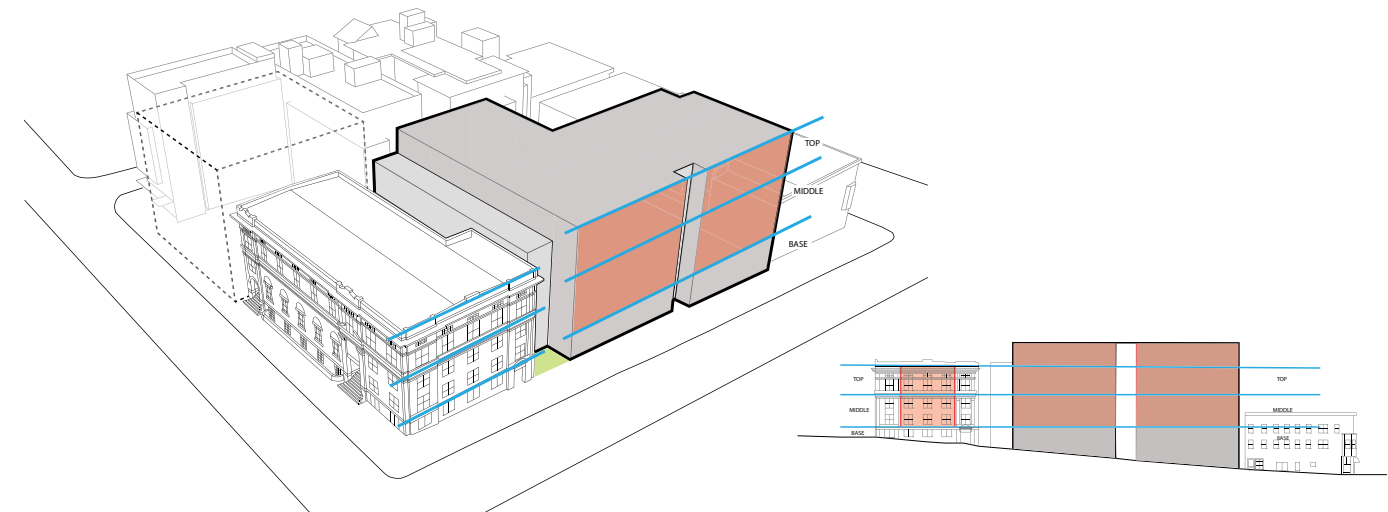


STREET VIEW FROM THE INTERSECTION OF E PIKE ST. AND HAVARD AVE.

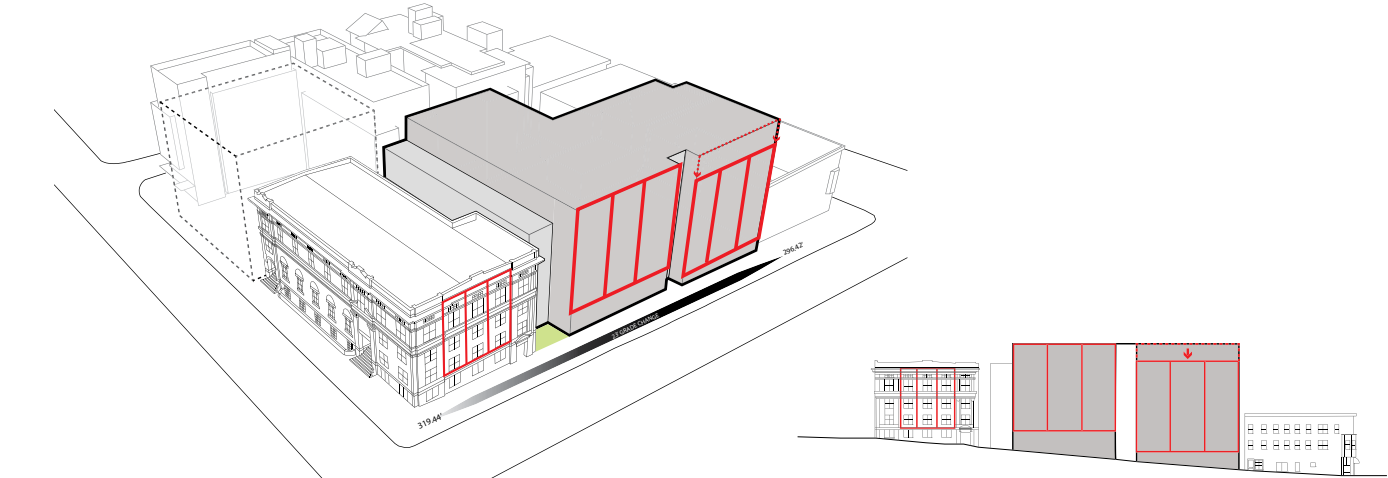
CONCEPT DESIGN 2 (PREFERRED MASSING OPTION C) - PIXEL GRIDS



1 Introduce secondary gasket element to correspond to the scale of the KOC



2 Follow the datum of the KOC to establish a distinctive top, middle and base



3 Adjust massing to correspond to the steep grade change



BIRD'S EYE VIEW FROM THE INTERSECTION OF E PIKE ST. AND HAVARD AVE.



STREET VIEW FROM THE INTERSECTION OF E PIKE ST. AND HAVARD AVE.

CONCEPT DESIGN 2 (PREFERRED MASSING OPTION C) - PIXEL GRIDS



BIRD'S EYE VIEW FROM THE INTERSECTION OF E UNION ST. AND HAVARD AVE.



1 Secondary semi-transparent facade



2 Accent panel adjacent to windows



3 Punched openings



4 Uplighting at brick details



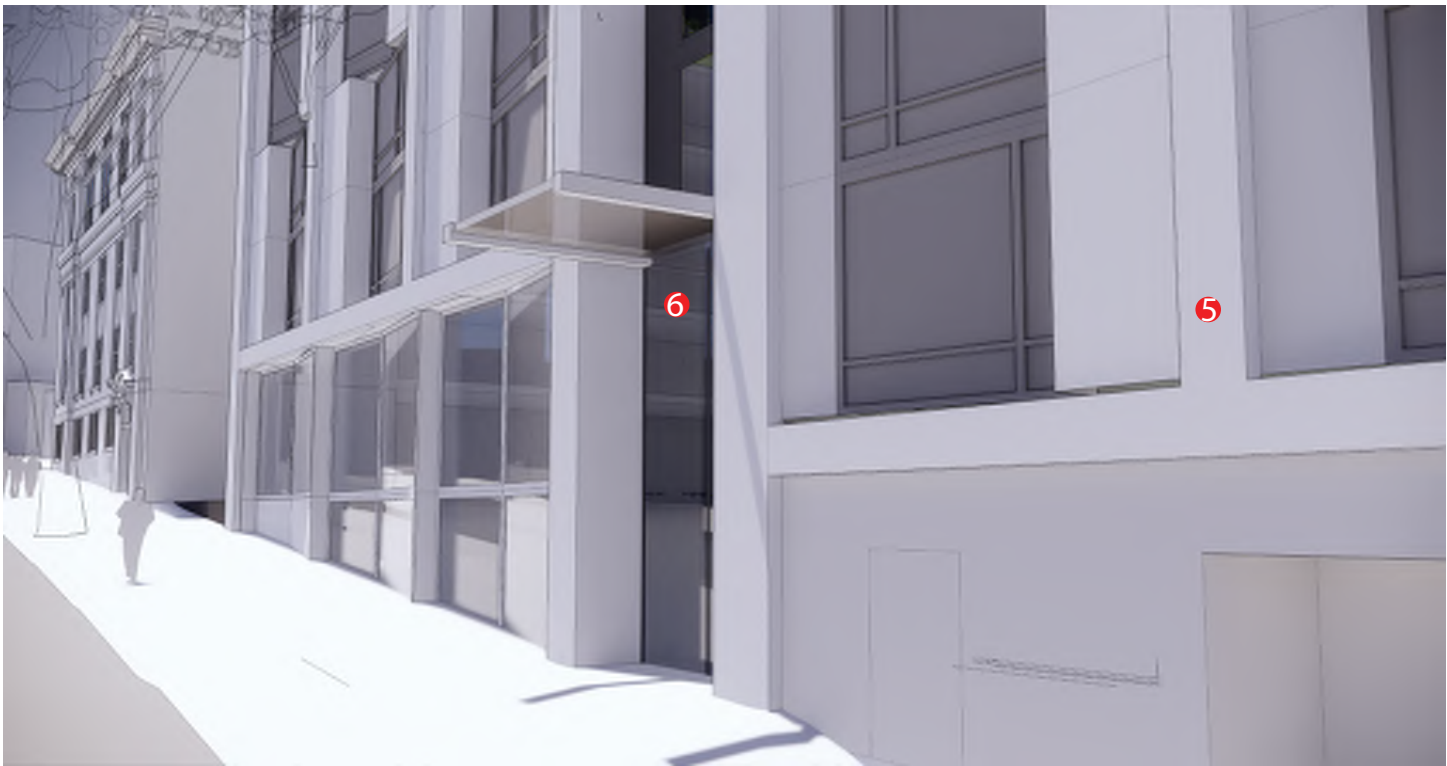
5 Brick details



6 Transparent gasket and residential entrance between brick facades

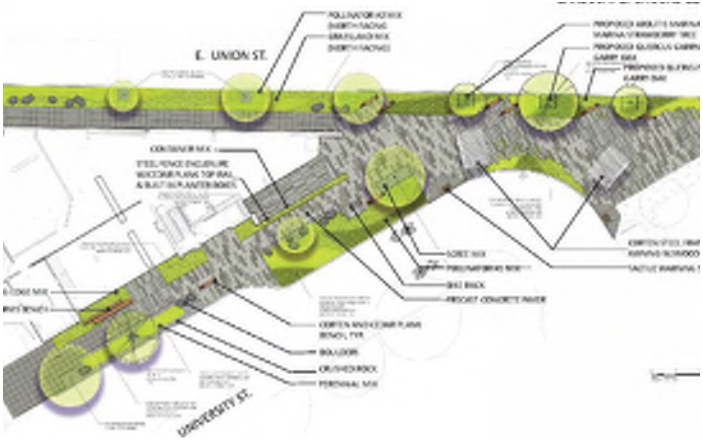


STREET VIEW FROM THE INTERSECTION OF E PIKE ST. AND HAVARD AVE.



VIEW OF THE LOBBY & RESIDENTIAL ENTRY

ARCHITECTURAL EXPRESSION - NEIGHBORHOOD PATTERNS

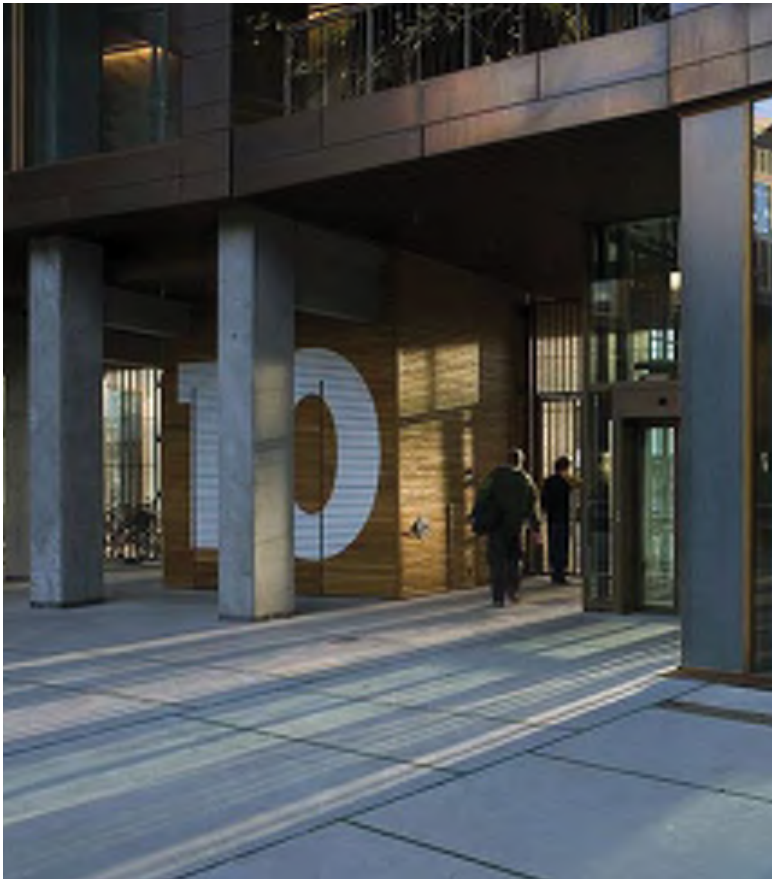




ARCHITECTURAL EXPRESSION - LANDSCAPE CONCEPT INSPIRATION



gaps green spaces



light patterns as floor and ceiling



private and public - emerging views - transparency

