

# THE STANDARD - TOWERS

4220 12TH AVENUE NE  
SEATTLE, WA 98105

## EARLY DESIGN GUIDANCE 2

05 20 2019  
SDCI #3033093-EG

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PROJECT INFORMATION

ADDRESS: 4220 12TH AVENUE NE  
SEATTLE, WA 98105

SDCI PROJECT #: 3033093-EG

PROJECT VISION

A new mixed-use Housing and Retail project will comprise two-thirds of the block bounded by 12th Ave NE to the west, an alley to the east, and NE 42nd to the south. The project is half a block south of the neighborhood’s future light rail station that is currently under construction.

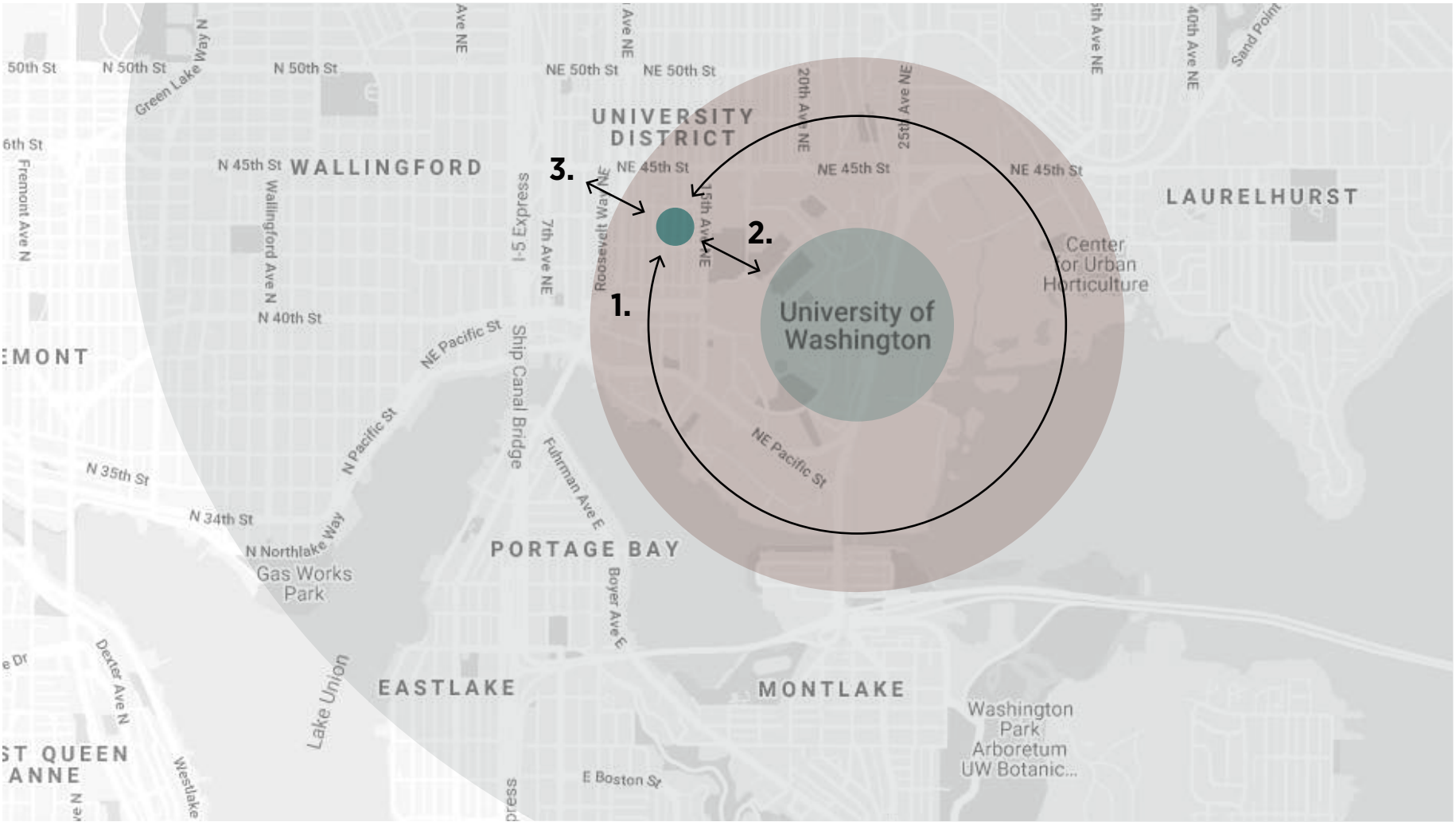
This development will be designed with careful consideration of how to best connect to the U-district, the University and Greater Seattle. These buildings will have a significant positive impact on this changing neighborhood from close-up and from far-away. Therefore, the project team will pay special attention to creating both a vibrant ground level pedestrian experience and an aesthetically pleasing presence for the skyline.

- The proposed development includes:
- Approximately 535,000 sf of total new development
  - Approximately 400 Residential Units
  - Two high-rise towers along 12th Ave NE.
  - Approximately 6,700 sf of Ground-Level Retail
  - An outdoor public amenity through-block corridor from 12th Ave N to Brooklyn Ave NE
  - Two levels of below grade parking with approximately 190 stalls

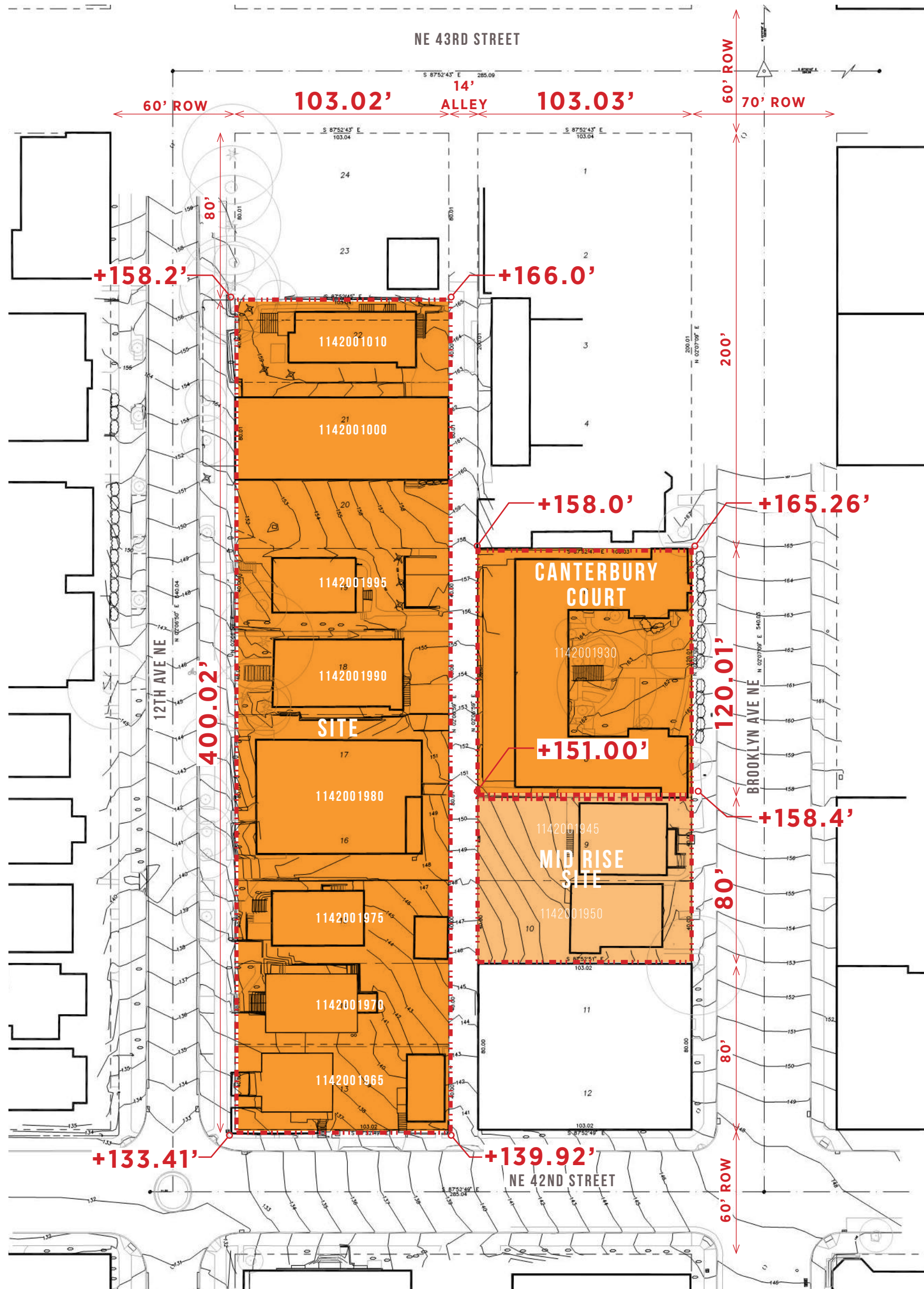
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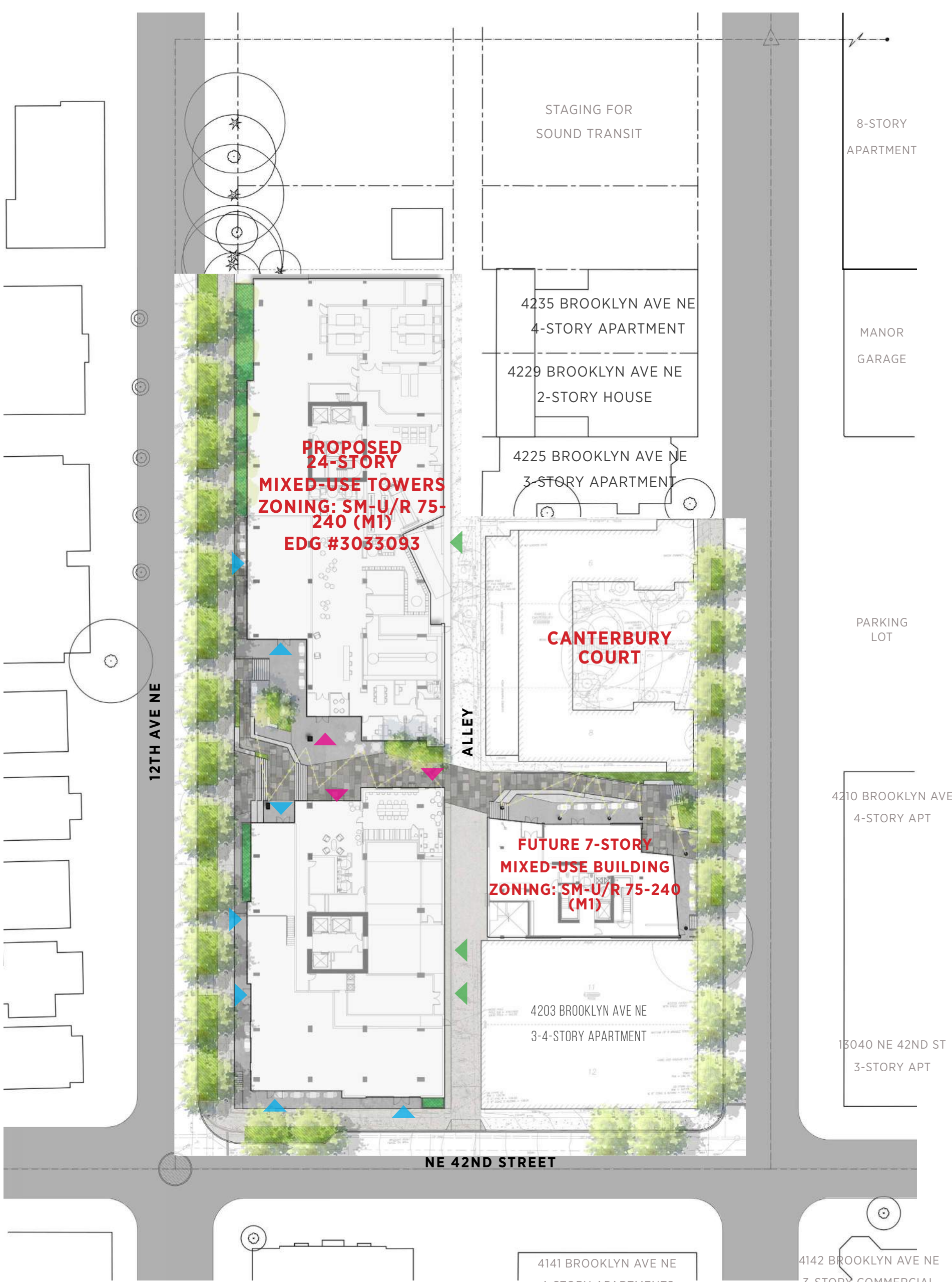
**DEVELOPER**  
THE STANDARD AT SEATTLE, LLC.  
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ATHENS, GA 30601  
678.835.2674  
CONTACT: MARK JENSEN







LEGAL DESCRIPTION:  
LOTS 13, 14, 15, 16, 17, 18, 19, 20, 21, AND 22, BLOCK 10, BROOKLYN ADDITION TO SEATTLE. ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 32, IN KING COUNTY, WASHINGTON.



RETAIL AND RESIDENTIAL AMENITIES ARE PROPOSED AT THE GROUND FLOOR. VEHICLE ACCESS TO PARKING AND SERVICE ENTRIES ARE OFF THE ALLEY. 12TH AVENUE NE AND NE 42ND STREET ARE GREEN STREETS.

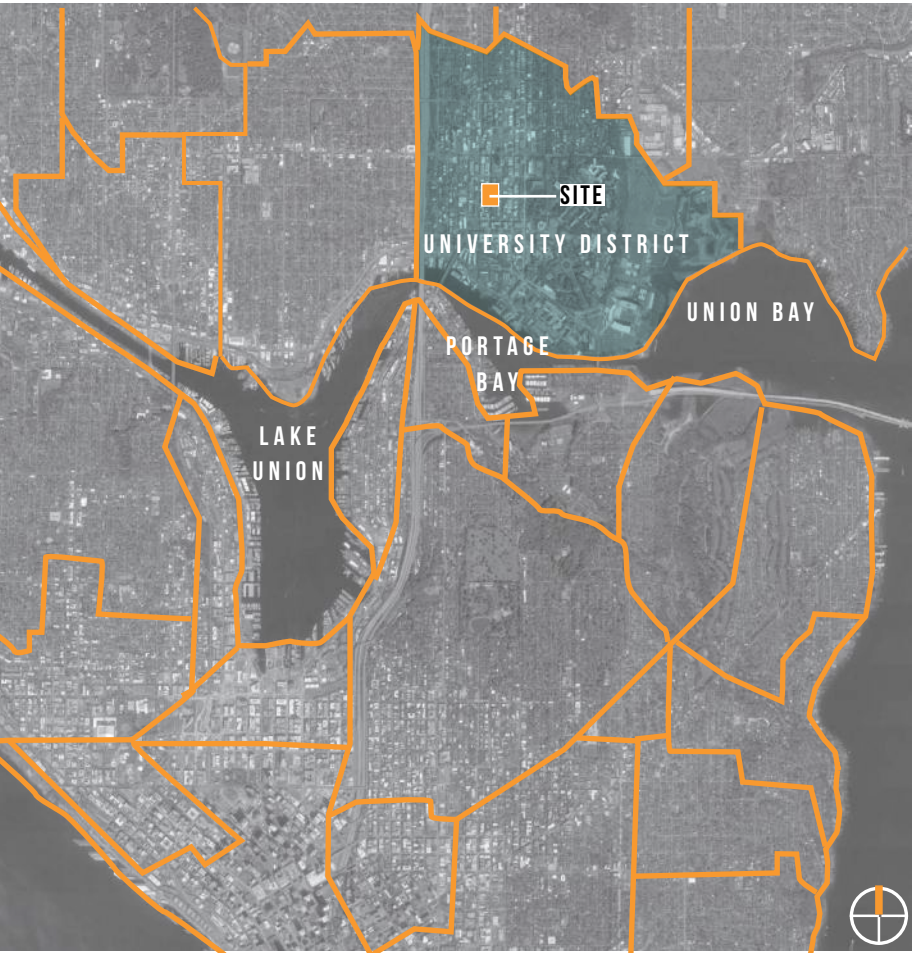
- RESIDENTIAL ENTRY
- RETAIL ENTRY
- SERVICE ENTRY





MID RISE SITE SHOWN FOR DESIGN CLARITY- NOT PART OF THIS EDG PROPOSAL.

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SITE



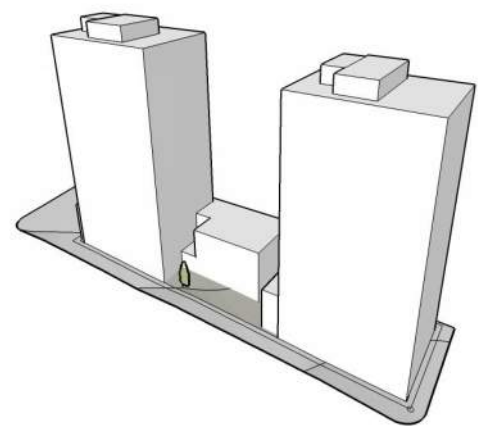
ADDRESS: 4220 12TH AVE. NE  
ZONING: SM-U/R 75-240 (M1)  
OVERLAYS: UNIVERSITY DISTRICT NW URBAN CENTER VILLAGE

THE 9-BLOCK SITE AREA IS COMPRISED OF MOSTLY RESIDENTIAL BUILDINGS. IMMEDIATELY ADJACENT TO THE PROPOSED SITE THE BUILDING STOCK IS SINGLE FAMILY RESIDENTIAL STRUCTURES THAT HAVE BEEN ADAPTED AS FOR RENT HOUSING. LOW-RISE RESIDENTIAL HOUSING UP TO 4-STORIES ALSO DOT THE AREA AND NEWER MID-RISE BUILDINGS TO THE SOUTH. TOWARDS NE 45TH STREET THE BUILDINGS ARE COMMERCIAL IN USE AND OF LARGER SCALE.

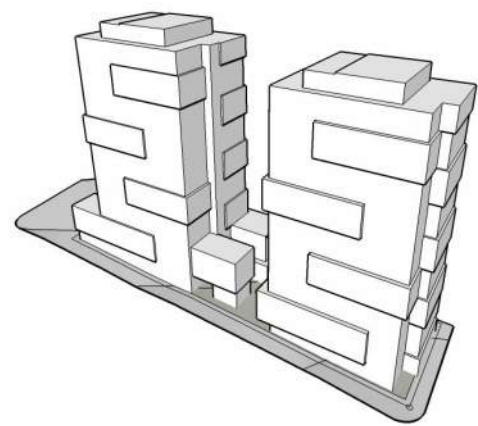


THREE SCHEME OVERVIEW

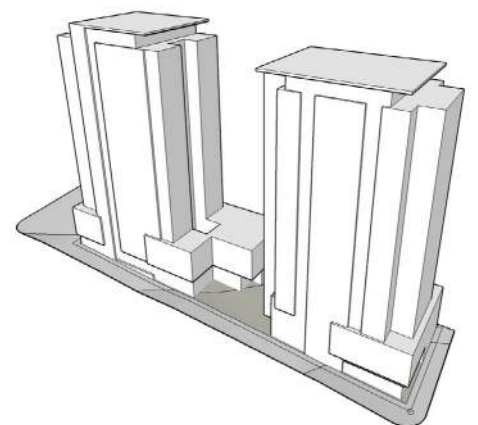
Scheme 1 - excellent job clearly defining and prioritizing the space between towers. Towers have **clearest and most elemental expression**.



Scheme 2 - laudable gesture to spirit of University District. Real strength is how the **connection between the two towers is evident** through the massing alone.



Scheme 3 - Support for the large distance between the towers and directed applicant to further **explore this scheme incorporating positive elements from the other two schemes** as feasible.



NEXT STEPS TOWARDS EDG 02

1. Provide a **broadier analysis of the design context** of existing University District structures, beyond those within a few blocks, and including courtyard typologies. How does this inform the preferred scheme?
2. Include a **clear and concise conceptual landscape plan**, particularly focused on the street-edge, the mid-block connection, and the alley.
3. Revise the **massing of the towers to hybridize the positive qualities** in each as described in the Board’s guidance to result in forms that have a clear relationship to each other and the unique character of the University District. (Include process work when presenting a single scheme.)
4. Include **important dimensions** in the drawings.
5. Provide **clear rationale for any proposed departures** and how they better meet the intent of the Design Guidelines.

THEME 1 - THE TOWERS

1. Explore massing that creates a **legible relationship between the towers**.
  - a. Explore towers as single entity that has been eroded/manipulated.
2. **Simple elegant forms with bold, iconic expressions that reflect the unique eclectic nature of the University District**.
  - a. Clear forms in a cohesive composition.
3. Explore porous campus-like urban condition of ground plane being brought up into towers - **“vertical campus”**.

THEME 2 - ROOFTOP

1. Possible support for rooftop feature departure if well **integrated into architectural concept and creates an iconic form**.

THEME 3 - THE BASE AND GROUND PLANE

1. Explore **local precedents and their integration into the design** of the base and the pedestrian realm.
  2. **Concerned about the residential amenity** space on 12th Ave NE.
    - a. provide complete details of its relationship to grade and the street edge.
- Provide **more detail** on cladding, door locations, edge conditions, eddies, landscape, including critical dimensions.

THEME 4 - THE MID-BLOCK CONNECTION

1. Think of this as an **outdoor room** - carefully consider all edges of the space extending up 40’, and encompassing the entirety of the pedestrian experience.
2. **Edges should engage and vitalize** the shared open space through the use of large operable windows, just-adjacent amenity space, occupiable decks, seating areas, balconies, etc...
3. The Board would like to see **more complete details** of the path, gathering spaces, bike routes and bike infrastructure.

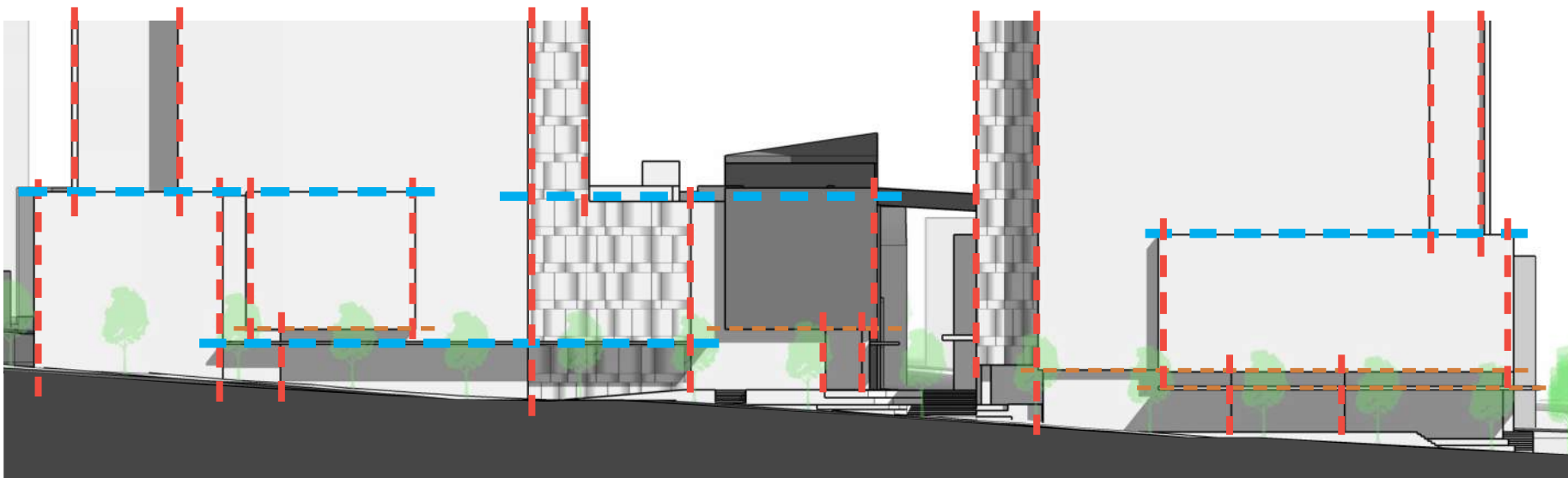


PROVIDE A BROADER ANALYSIS OF THE DESIGN CONTEXT

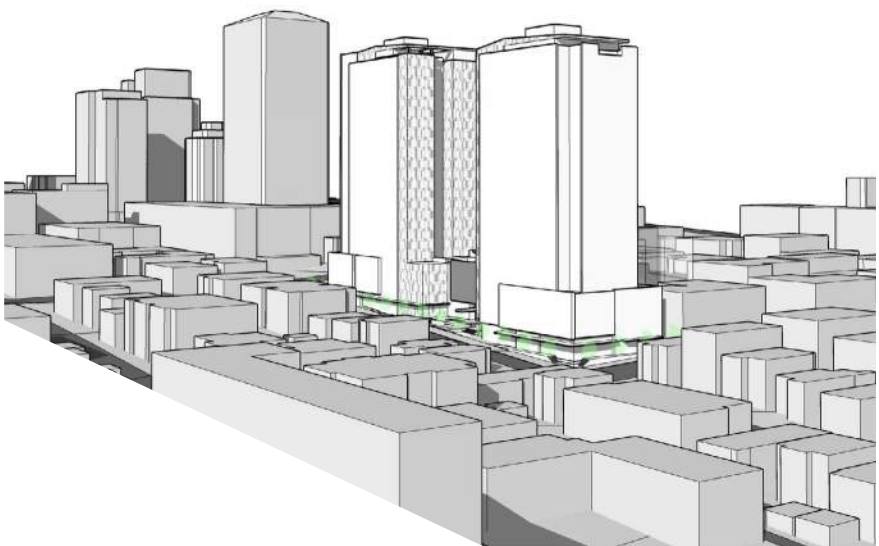
The design team has investigated the broader University District, not just the structures immediately adjacent to the site. This included looking at: the platting patterns within the district, the general condition of the existing fabric, taller and smaller buildings, moments or incursions that are found throughout the district, the street to alley thoroughways, courtyards and porches, and the general nature of retail. These will be seen throughout the package.



- THE DISTRICT’S PATTERNING ALONG THE AVE HAS BEEN DICTATED BY AN ESTABLISHED 20’-40’ PLATTING
- AN ECLECTIC PHYSICAL AND CULTURAL IDENTITY GIVES THE DISTRICT ITS FLAVOR



- THE PROJECT LOOKS TO TAKE CUES FROM THIS ESTABLISHED VERTICAL AND HORIZONTAL RHYTHMS WITHIN THE FIRST 40’ PEDESTRIAN REALM. THIS CONNECTS THE PROJECT TO THE DISTRICT’S PATTERNS AND PROVIDES “HUMAN-SEALED RHYTHM AND PROPORTION AND AVOID MONOTONOUS REPETITION OF THE STOREFRONT” PRE DC2.



- THE PROJECT WILL BE VISIBLE FROM DISTANCE AND SET THE STAGE COMING NORTH TO THE U-DISTRICT FROM I-5. UTILIZE COLOR, MASSING, AND ROOFTOP EXPRESSION TO ESTABLISH A THOUGHTFUL ADDITION TO THE SKYLINE.



EDG GUIDANCE

- 1. Explore massing that creates a **legible relationship between the towers.**
  - a. Explore towers as single entity that has been eroded/manipulated.
- 2. **Simple elegant forms with bold, iconic expressions that reflect the unique eclectic nature of the University District.**
  - a. Clear forms in a cohesive composition.
- 3. Explore porous campus-like urban condition of ground plane being brought up into towers
  - **“vertical campus”.**

RESPONSE

The design team has designed the two towers as if they had once been one tower. This singular tower has been “peeled” away, as if an onion, to reveal the two towers and the various internal layers that made up the single tower.

The two sides facing each other are the remnants of an inner layer composed of color and texture. These two facades, bold in nature, showcase a strong relationship between the two buildings. The outer facing sides of the towers are simple and regular in nature. These outer facades have been pulled towards the distant views revealing an inner layer at the corners. A hidden “jewel” has been revealed between the two towers on the fifth level amenity deck. It becomes a stand alone feature visible from the Ave, and people coming to the site from the light rail station.

The towers have been simplified into elegant forms composed of facades of planes opening at the corners and at various moments along their facades to reveal an inner layer behind. The podium and forms along the pedestrian right of way reflect the unique, eclectic nature of the district.

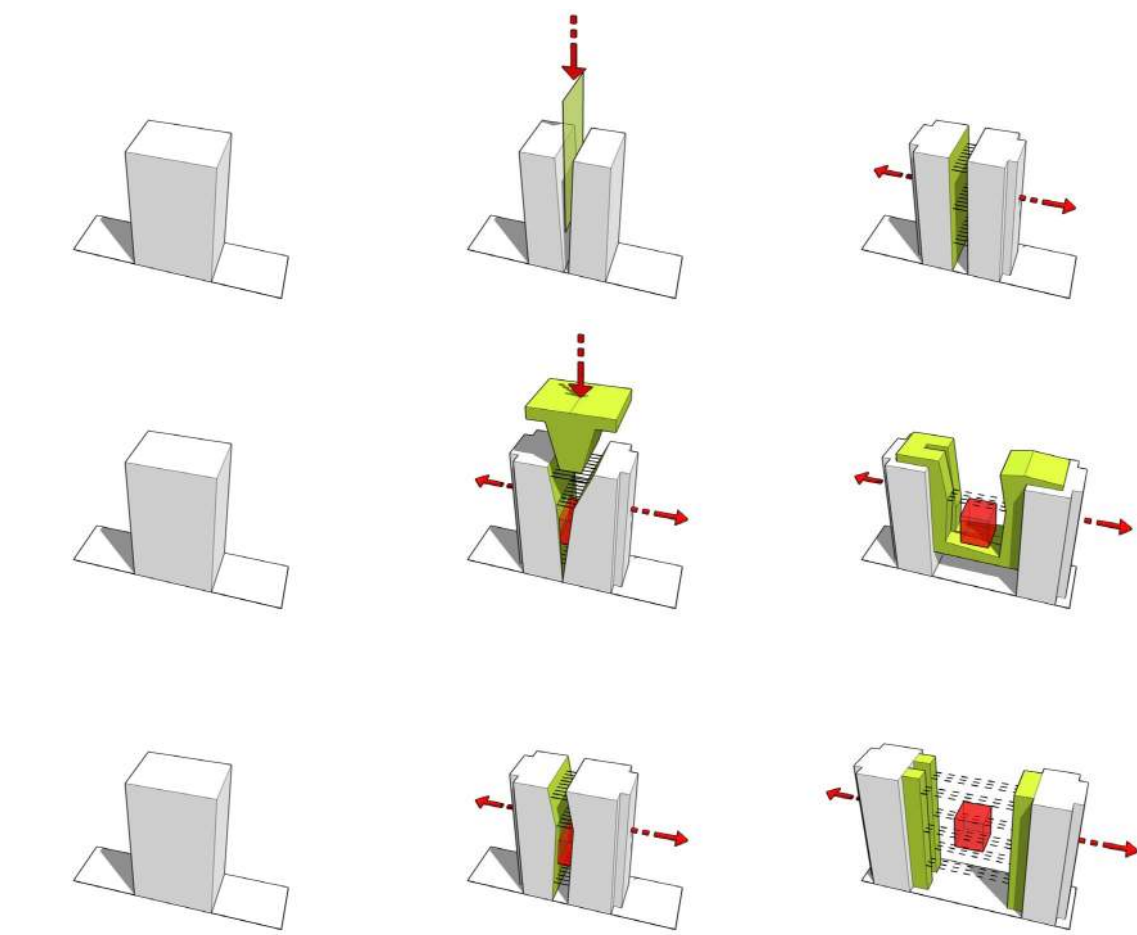
The amenity decks of the project are seen as the opportunities to express this idea of a vertical campus. By expressing these portions of the project they become moments to which one’s eye is drawn to from various distances. The roof becomes the distant moment, the fifth level deck with revealed jewel is the mid distance, and the ground level is the close distance.

DESIGN GUIDELINES

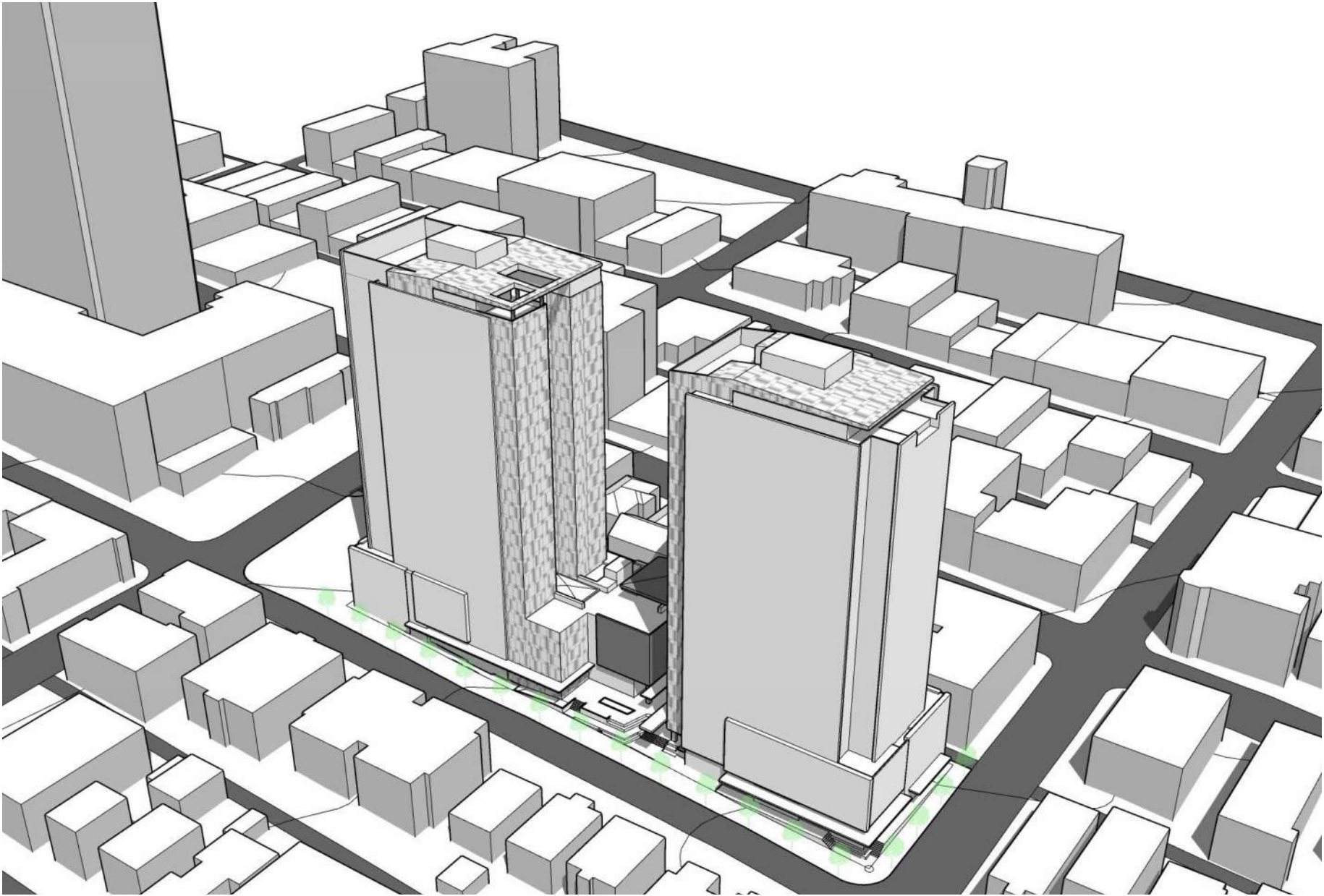
DC2 - Architectural Concept

- 1.a - “Design building massing and form to express an intentional and original response to context”
- 1.b - “Reduce the bulk and scale of large buildings”
  - 1. “Break up larger development into multiple buildings and smaller masses with pass throughs and pathways”
  - 2. “give the impression of multiple, smaller scale buildings by employing different facade treatments”
  - 3. “Changes in color and material should typically be accompanied by a legible change in plane and/or design language.”
- 2.b - “Create a finely grained mix of complementary buildings and architectural styles on a block.”
- 2.e - “Employ a restrained and purposeful application of bold or high contrast colors”
- 6.k - “Architectural presence; Consider citywide visual appearance” “as a collection with other tall buildings”

DESIGN INVESTIGATIONS



OVERVIEW OF CURRENT DESIGN PROPOSAL



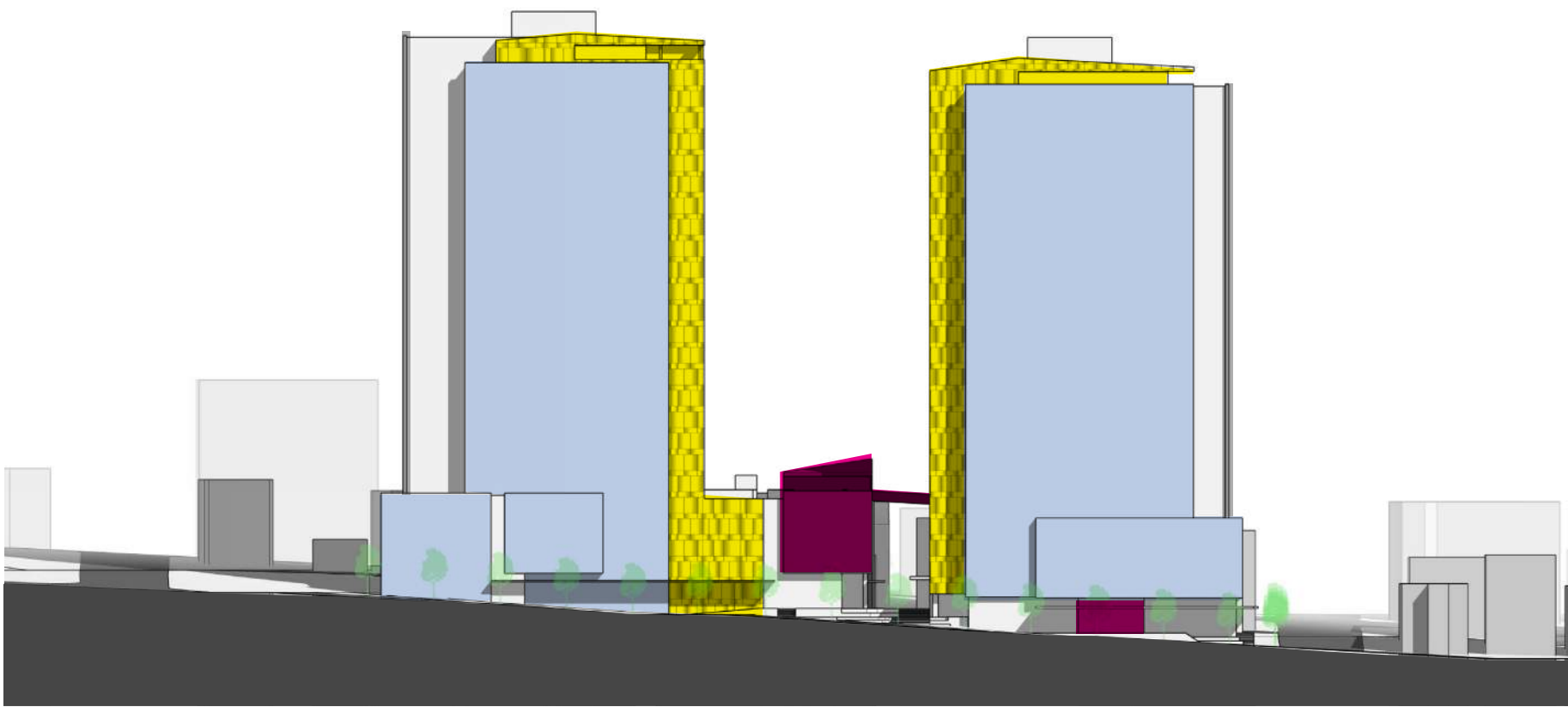
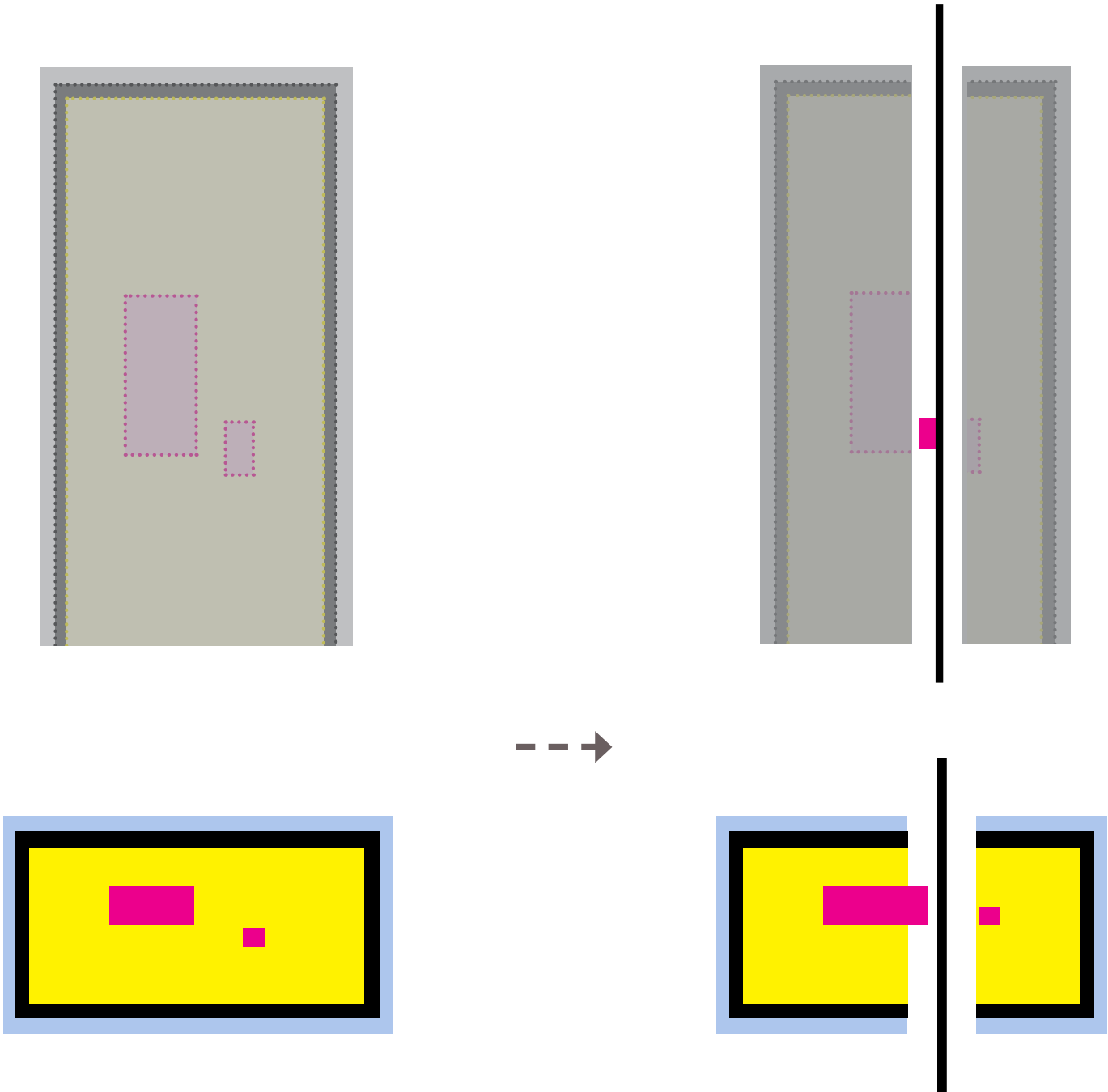


THEME 1 - THE TOWERS

Explore massing that creates a **legible relationship between the towers.**  
a. Explore towers as single entity that has been eroded/manipulated.

A SINGULAR TOWER COMPOSED OF LAYERS - AN ONION.

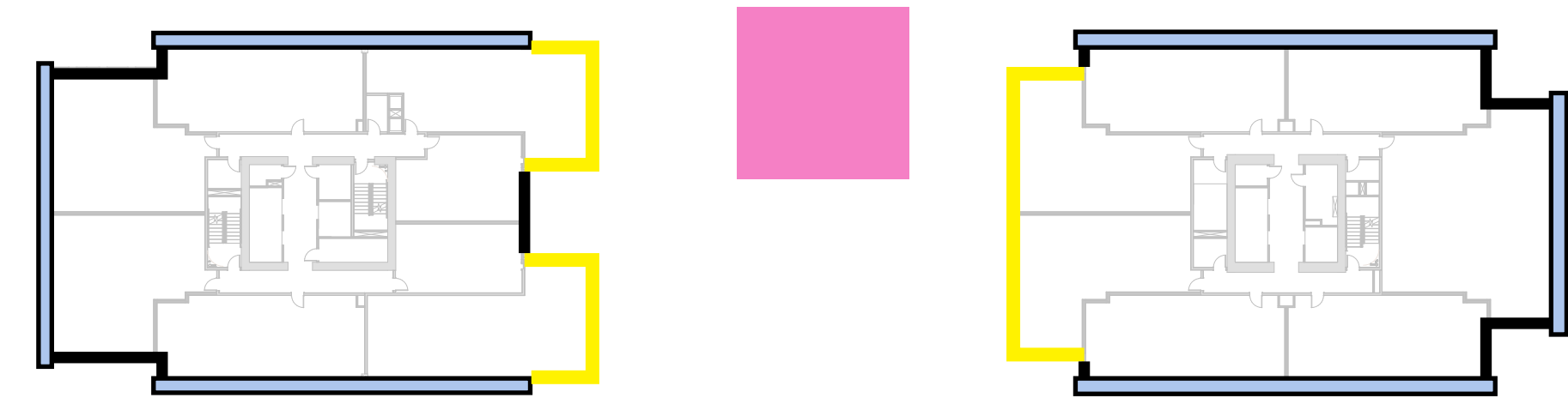
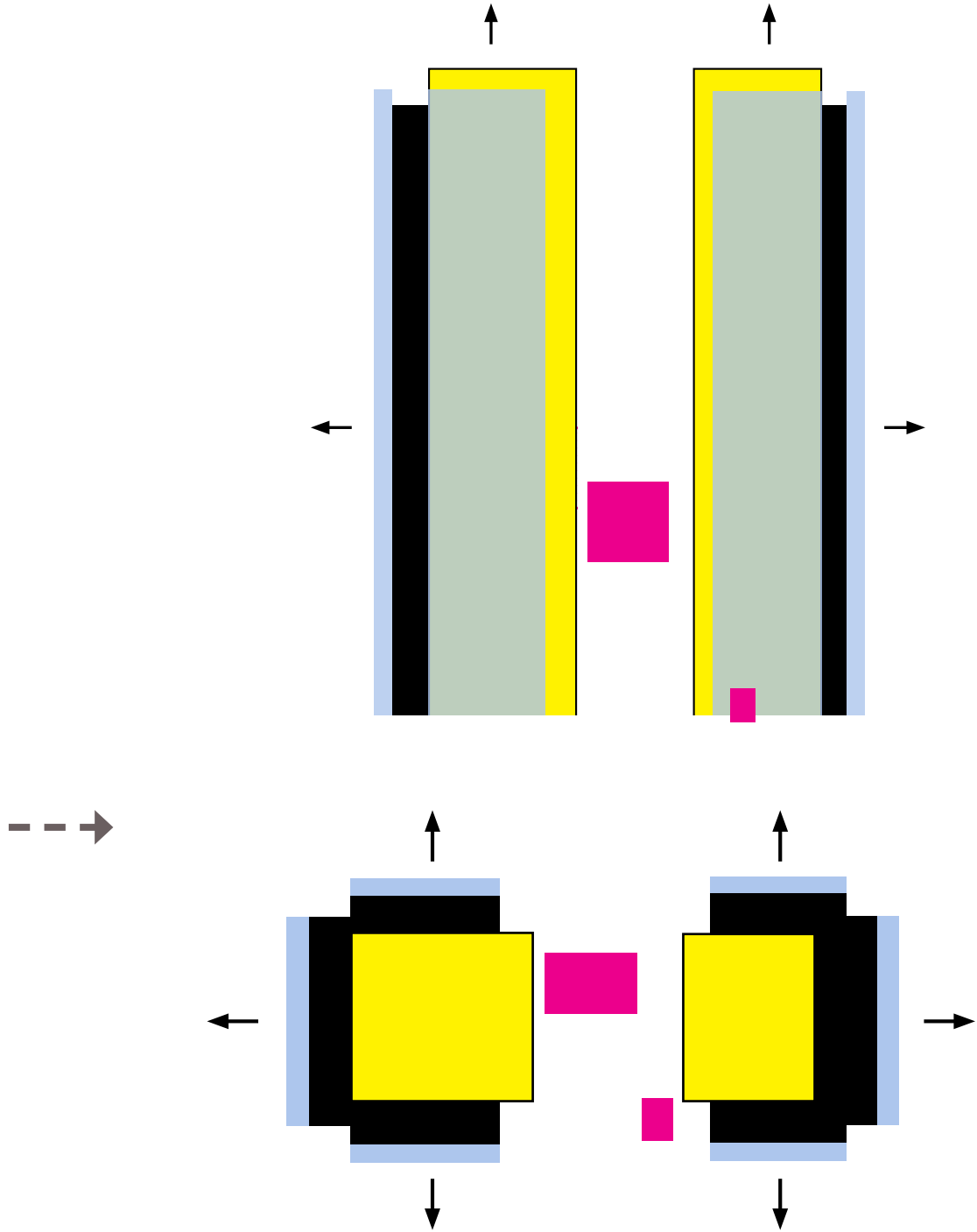
SPLIT THE TOWER INTO TWO. A HIDDEN OBJECT IS REVEALED.



WEST ELEVATION

THEME 1 - THE TOWERS

THE INNER LAYERS FACE EACH OTHER. PULL OUT THE FACES OF THE OUTER LAYERS TOWARDS THE DISTANT VIEWS EXPOSING THE INNERMOST LAYER AT THE CORNERS.



TYPICAL TOWER FLOOR PLATE DIAGRAM

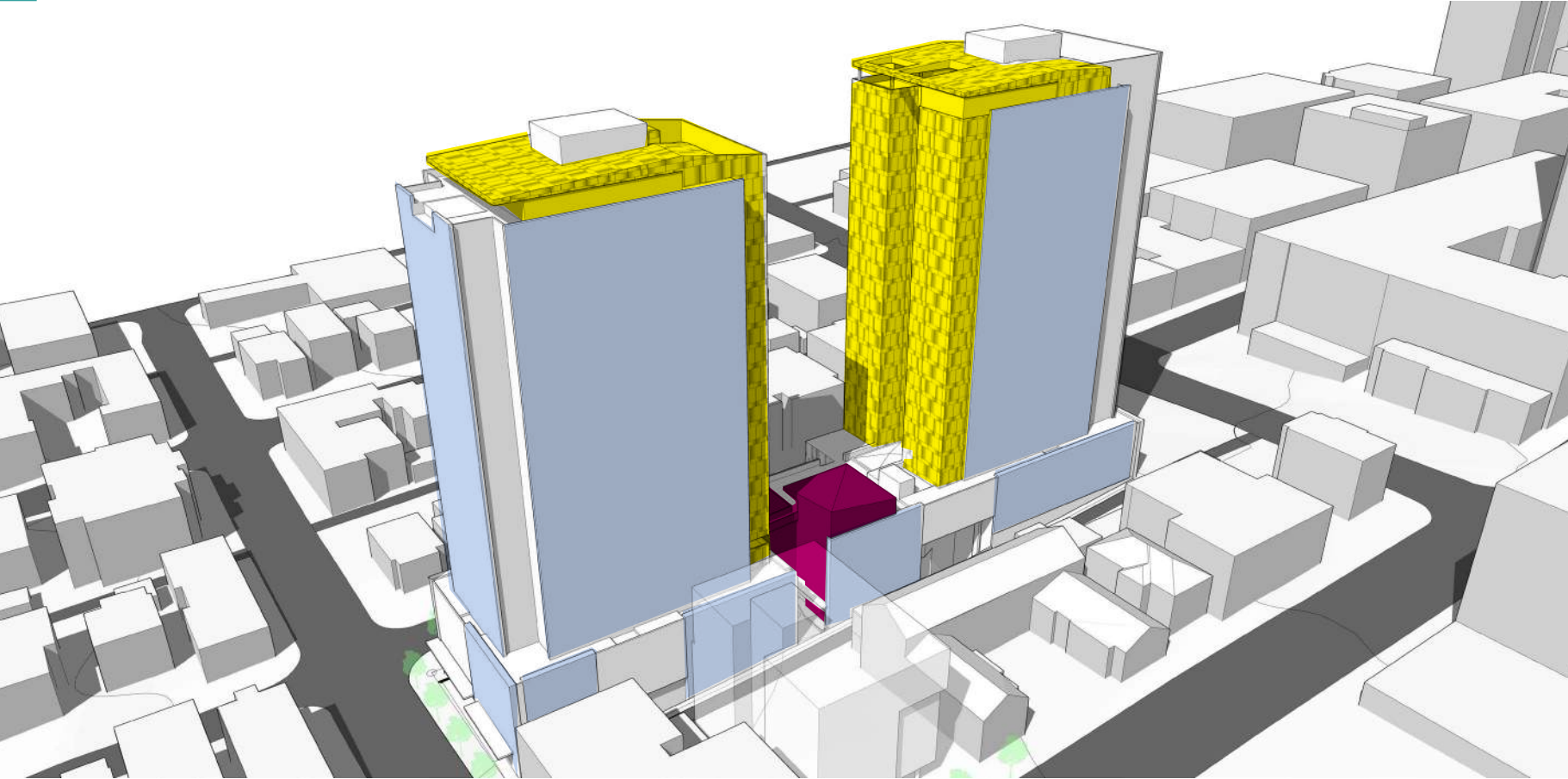


A



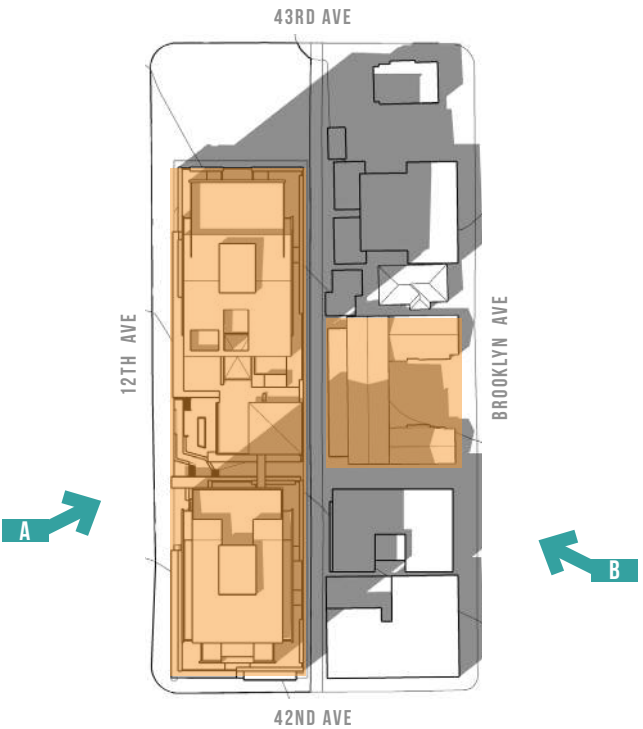
WEST FACADE

B



EAST FACADE

The main facades of the project are seen as planes that have been pulled towards the distant views revealing an inner layer at the corners. These main facades are seen as being a window wall system with a combination of metal panel, spandrel, and glass.



A

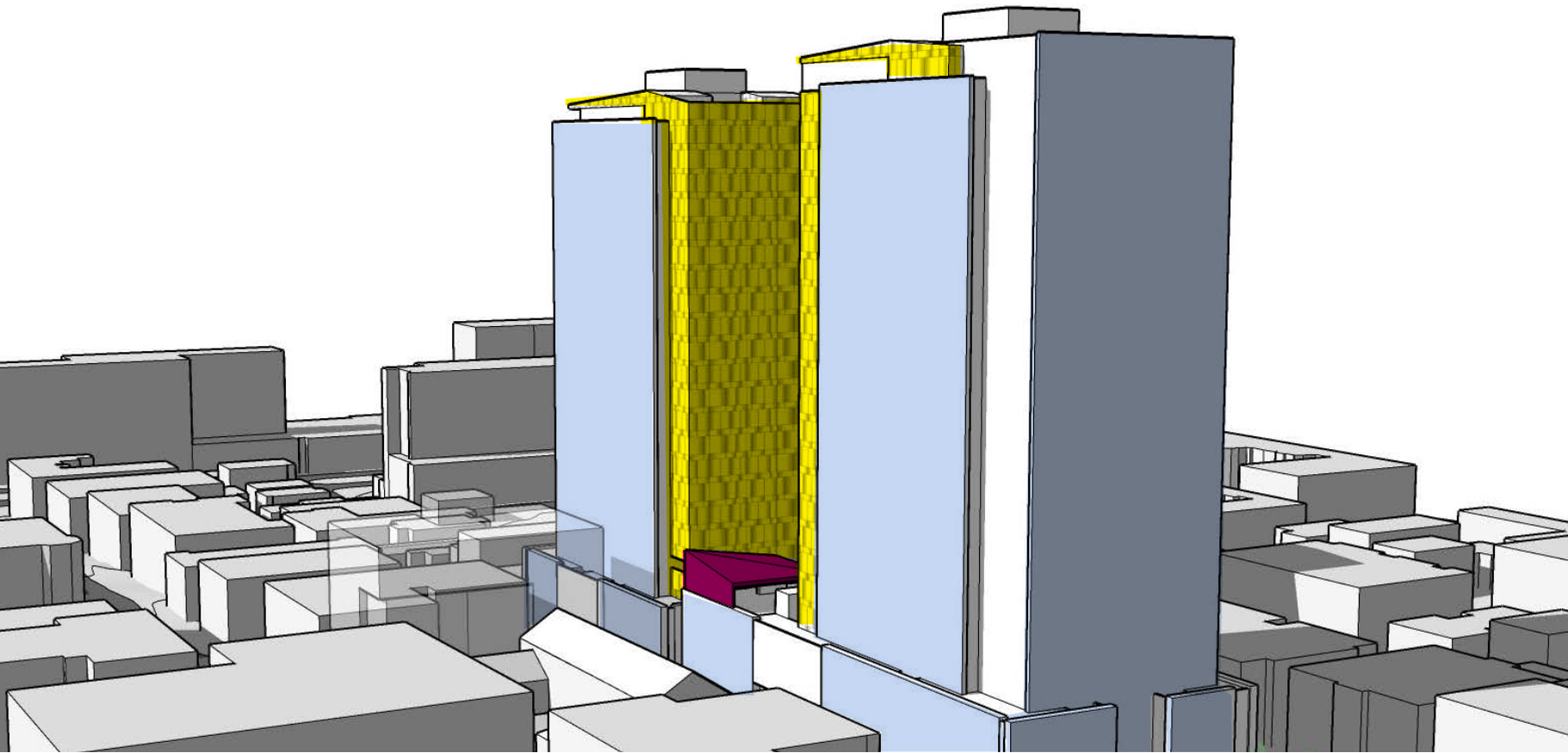


WEST FACADE

The two interior walls revealed through the “peeling” process are clad in metallic bent metal panels. Made up of three hue differentiated colors, the changing light of the day plays across these panels altering its look through out the day. The jewel element at the center is positioned towards the eastern side of the amenity deck to draw attention from the Ave and pedestrians coming from the new transit stop. The jewel is the visual heart of the project at that mid-range scale, catching one’s eye, and drawing pedestrians in.

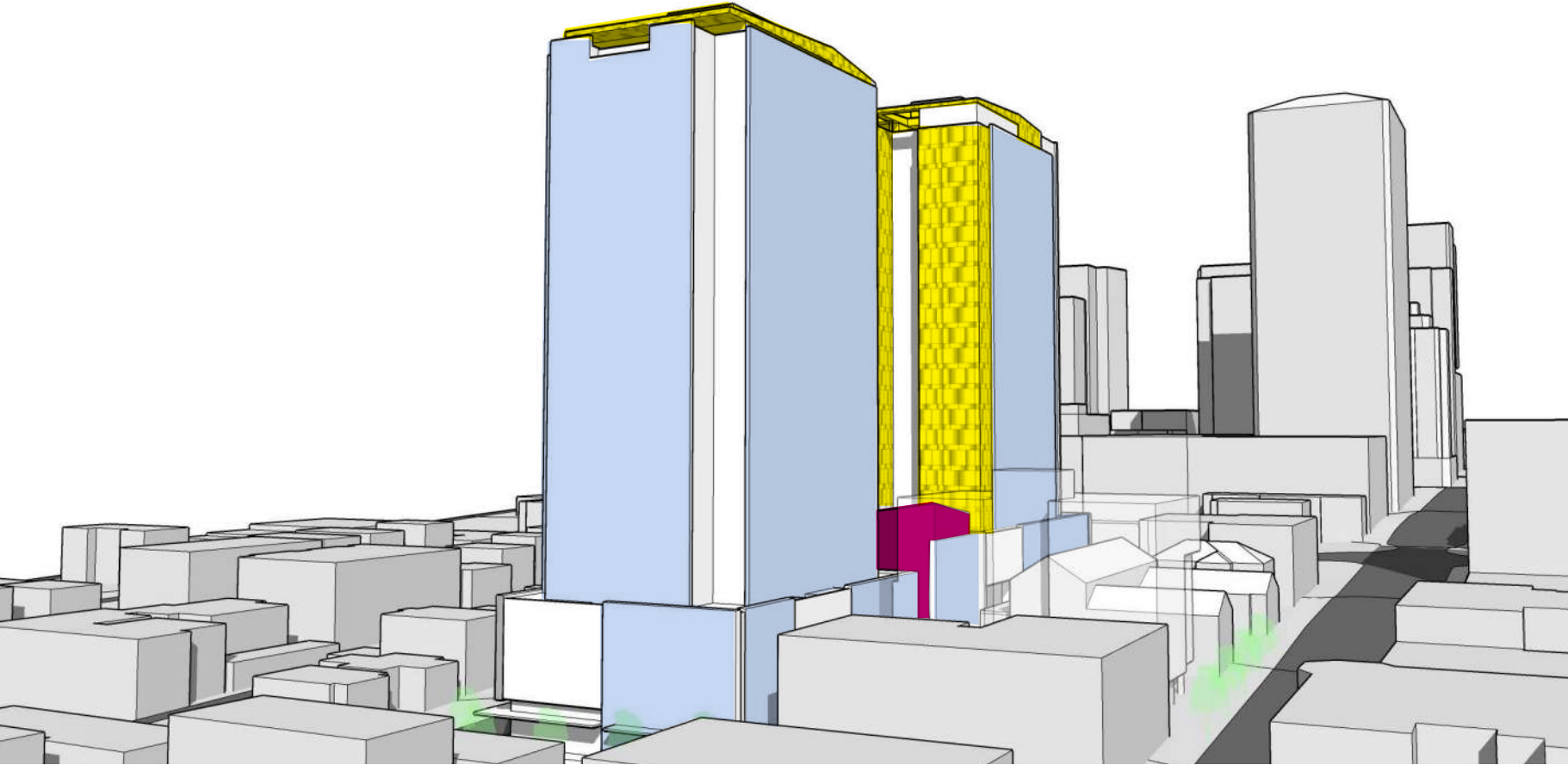


A

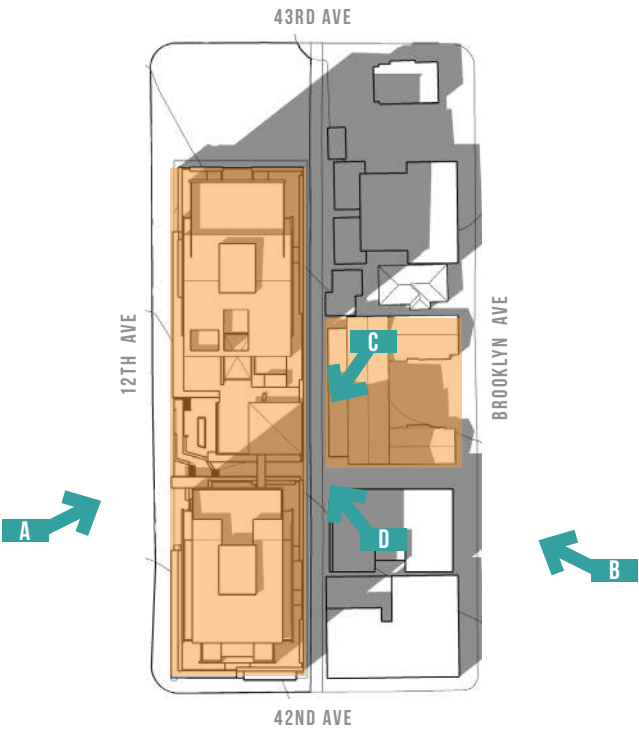


VIEW OF INNER FACADE ON SOUTH TOWER

B



VIEW OF INNER FACADE ON NORTH TOWER



C



VIEW OF INNER FACADE ON SOUTH TOWER

D



VIEW OF INNER FACADE ON NORTH TOWER



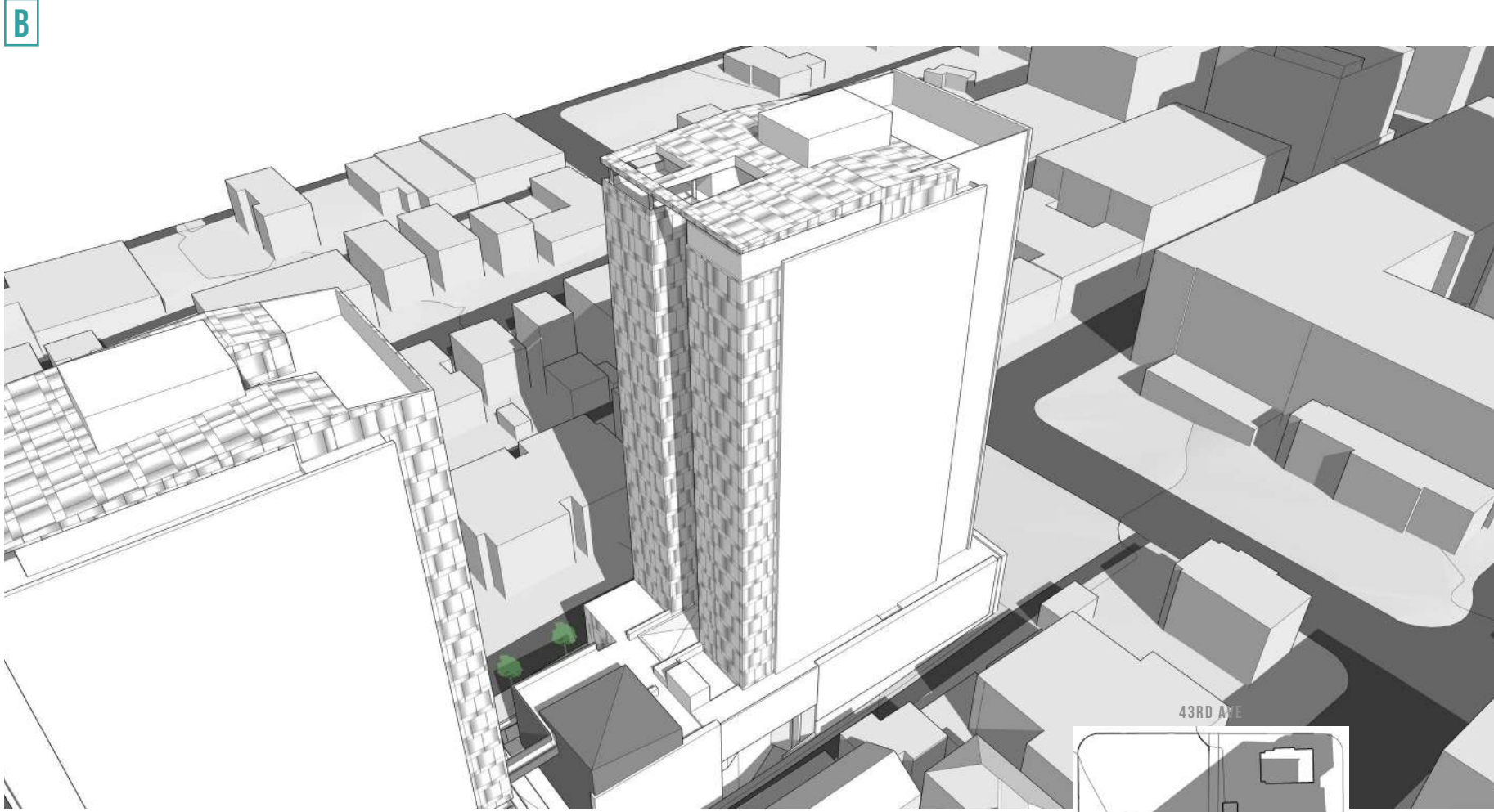
THEME 1 - THE TOWERS

Simple elegant forms with bold, iconic expressions that reflect the unique eclectic nautre of the University District.

- a. Clear forms in a cohesive composition.



SOUTH TOWER

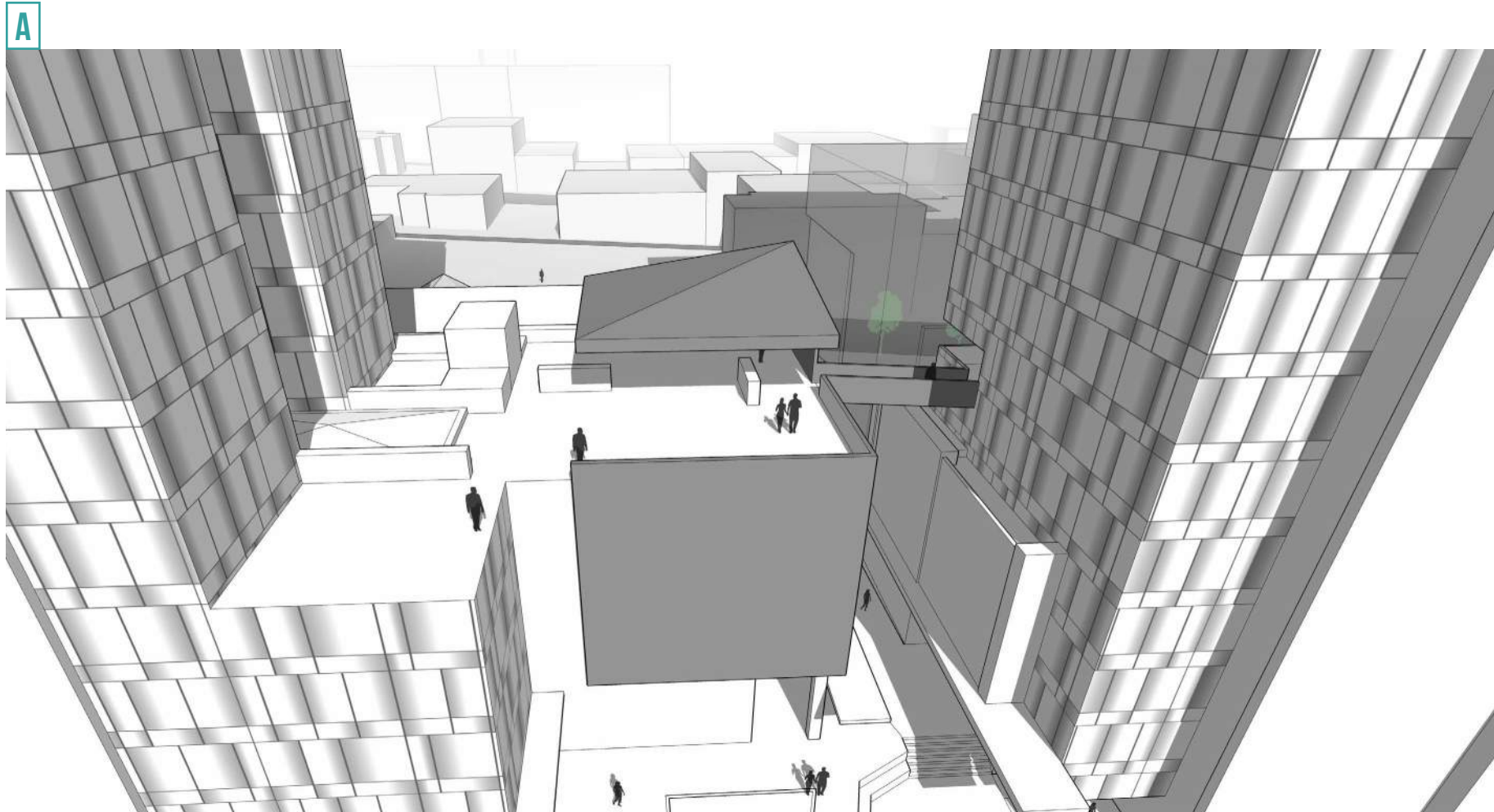


NORTH TOWER

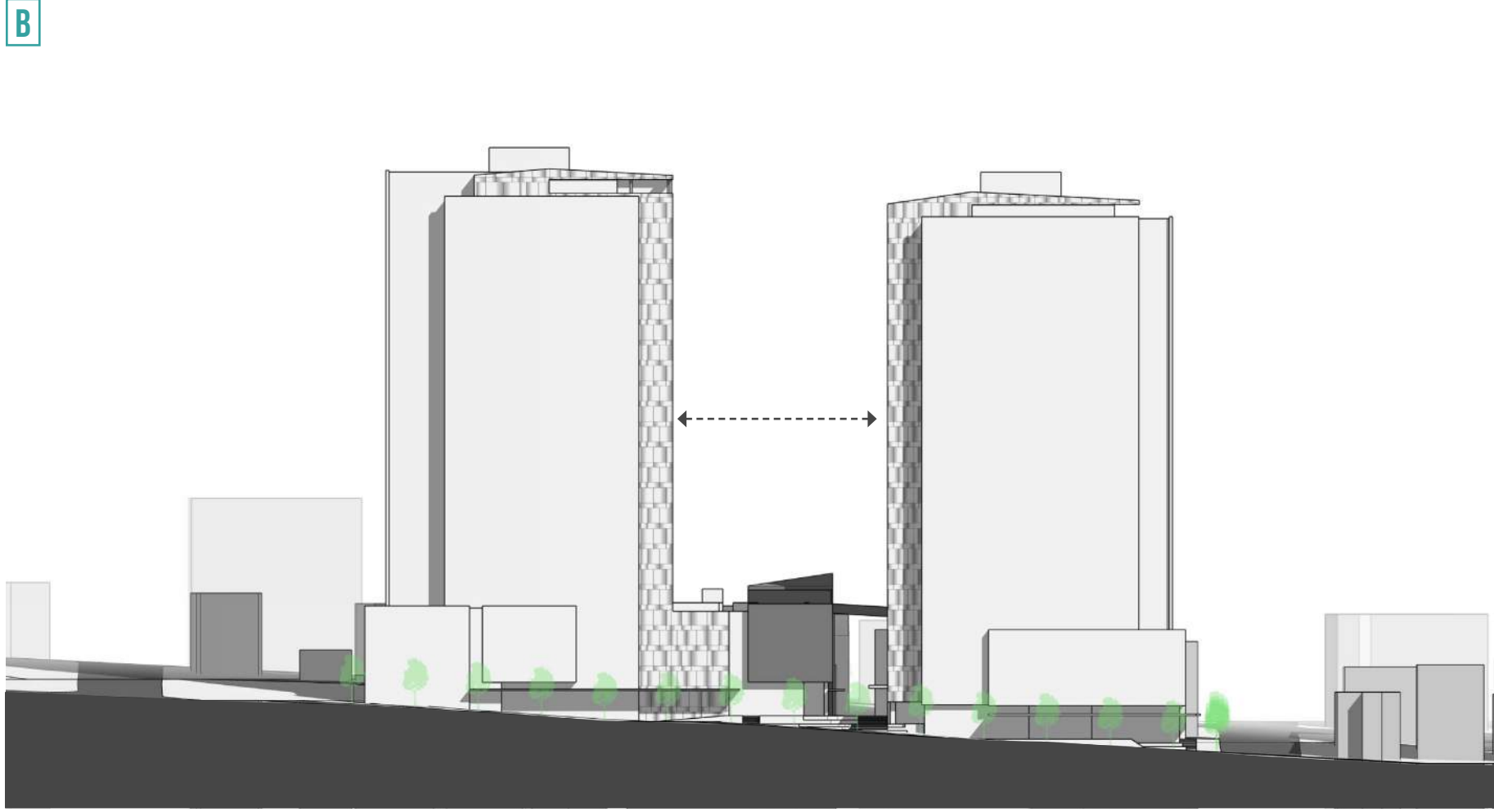
Composed of simple, planar elements, the exterior facade creates a calm, foreground against which the inner walls revealed during the peeling process can express themselves completely. The elegant conversation between the towers is highlighted by the tension of the jewel object reaching across and connecting them.



THEME 1 - THE TOWERS



THE JEWEL CENTER



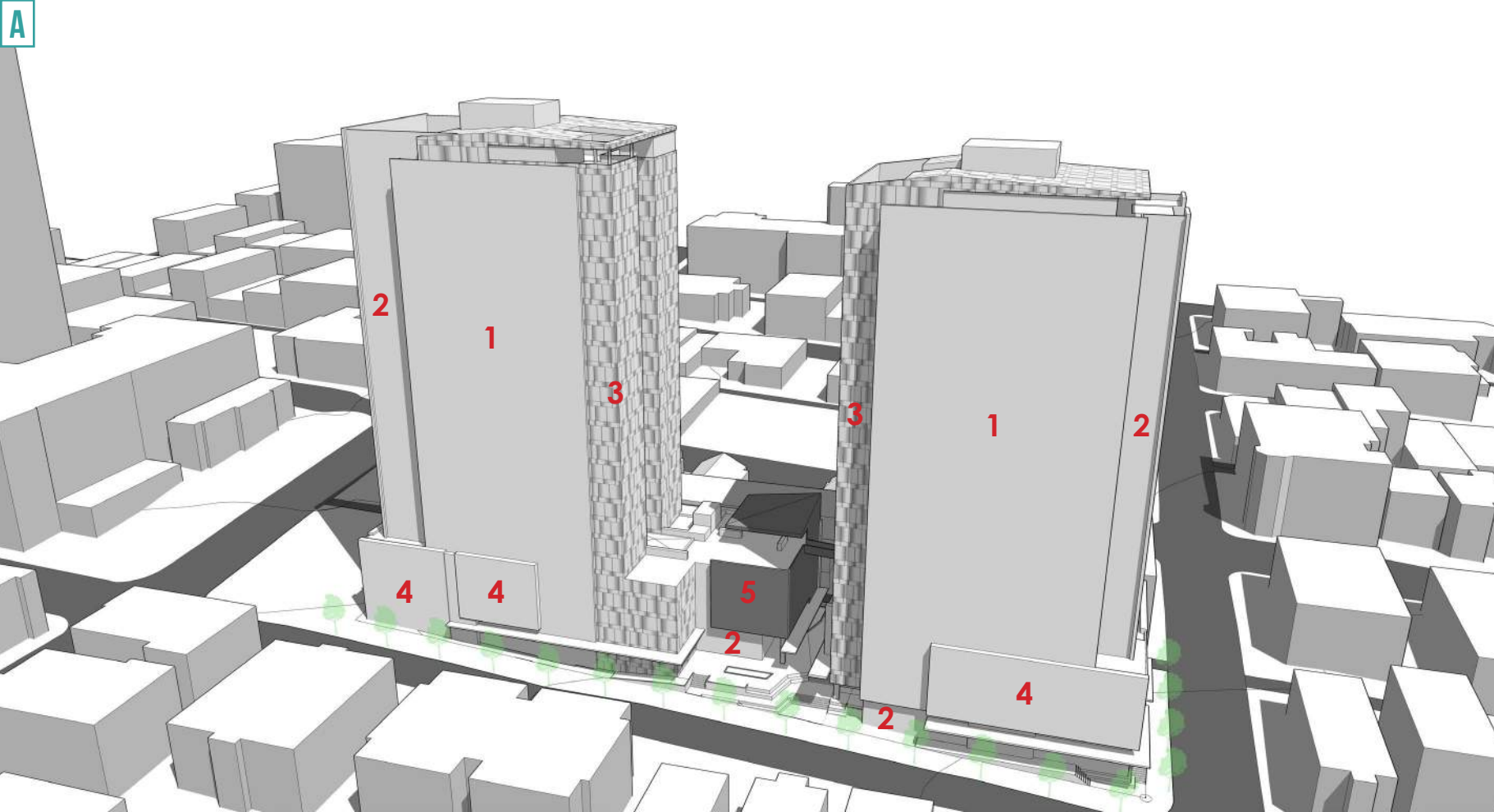
WEST ELEVATION



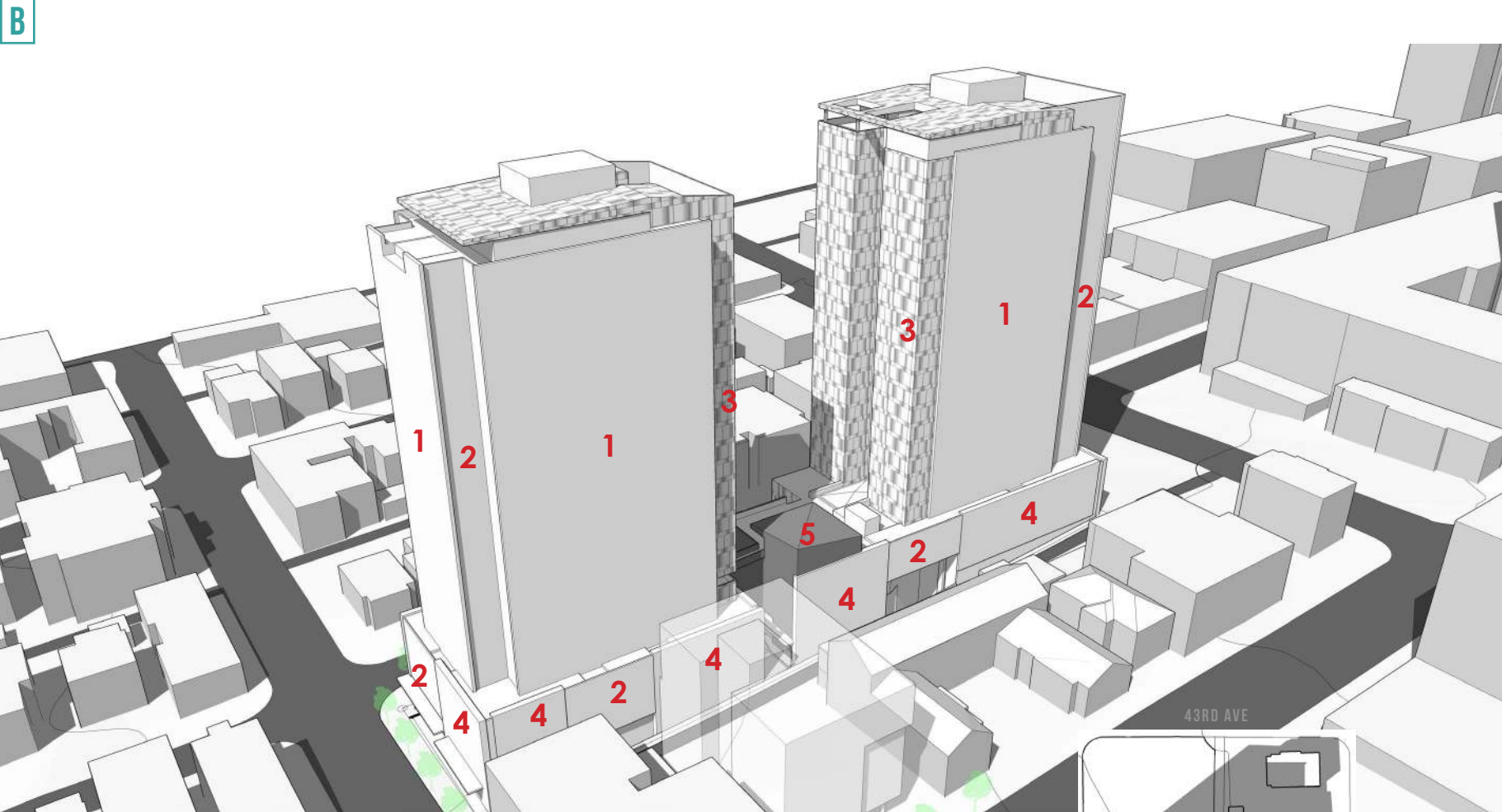
THEME 1 - THE TOWERS

Simple elegant forms with bold, iconic expressions that reflect the unique eclectic nautre of the University District.

a. Clear forms in a cohesive composition.

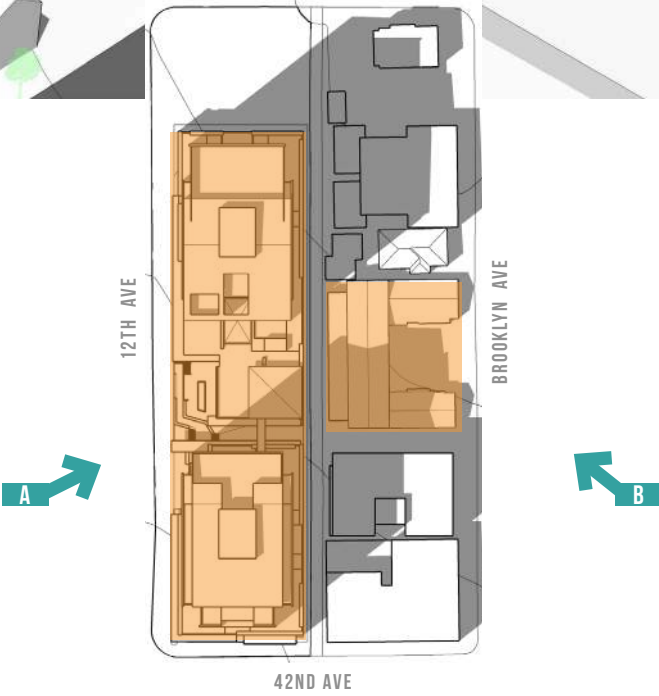


OVERVIEW FROM WEST



OVERVIEW FROM EAST

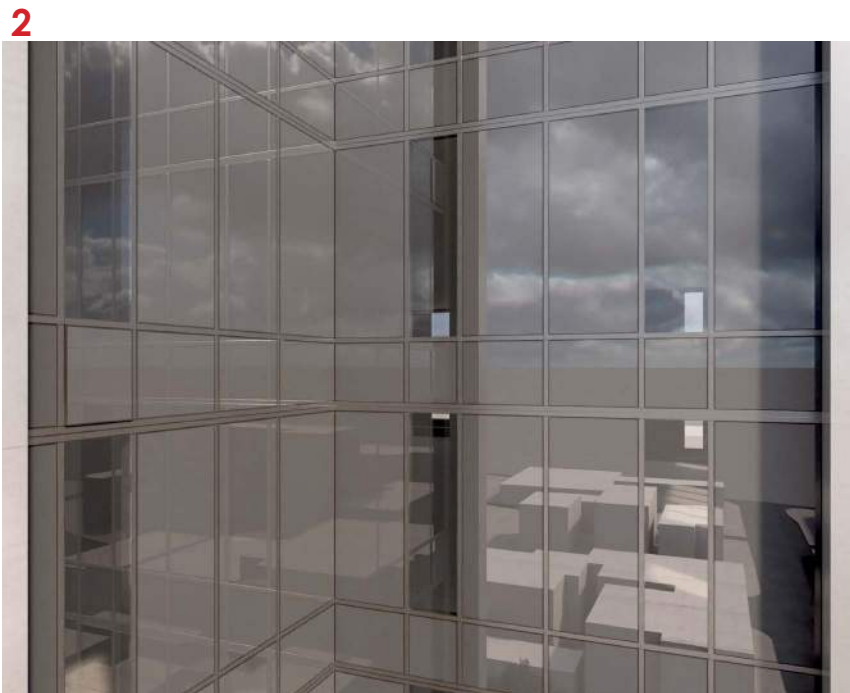
The materiality of the project helps define the simple forms.



THEME 1 - THE TOWERS



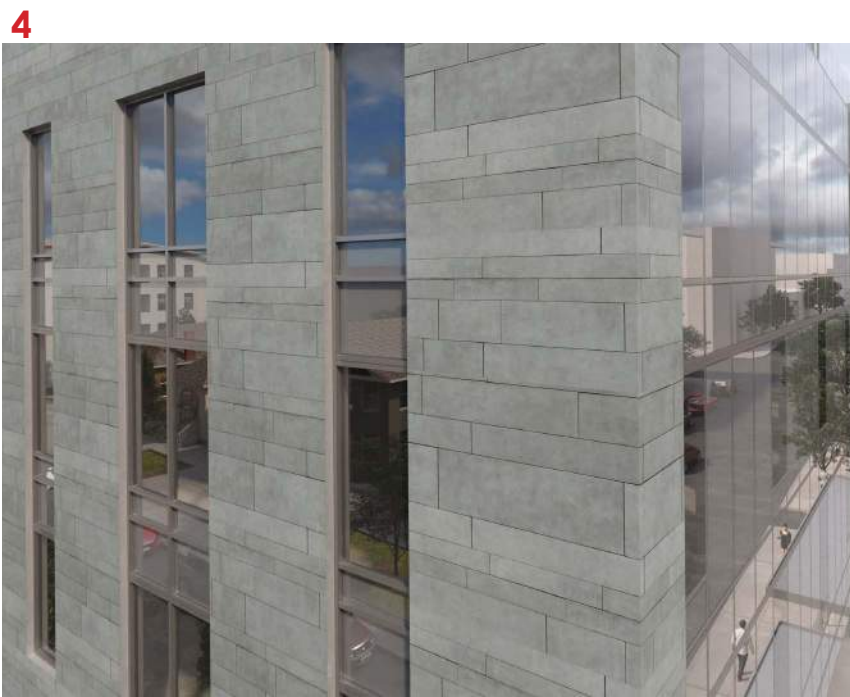
WINDOW WALL - METAL PANEL, SPANDREL, GLASS



FLUSH WINDOW WALL - SPANDREL, GLASS



BENT METAL PANEL SYSTEM (METALLIC FINISH)



EQUITONE PANEL SYSTEM



JEWEL - STRUCTURALLY GLAZED SYSEM



BOARD FORMED CONCRETE (AT SIDEWALK RETAIL BASE)



THEME 1 - THE TOWERS

Simple elegant forms with bold, iconic expressions that reflect the unique eclectic nautre of the University District.

- a. Clear forms in a cohesive composition.

A



EXTERIOR METAL PANEL COLOR INVESTIGATION 01 - DARK GREY

B



EXTERIOR METAL PANEL COLOR INVESTIGATION 01 - DARK GREY

Color investigations have been part of a conversation around being part of the neighborhood palette, while conversely looking to be an “unapologetic expression of self” as one commissioner stated at EDG 01 as a true reflection of the district.



THEME 1 - THE TOWERS

A



EXTERIOR METAL PANEL COLOR INVESTIGATION 02 - LIGHT GREY

B



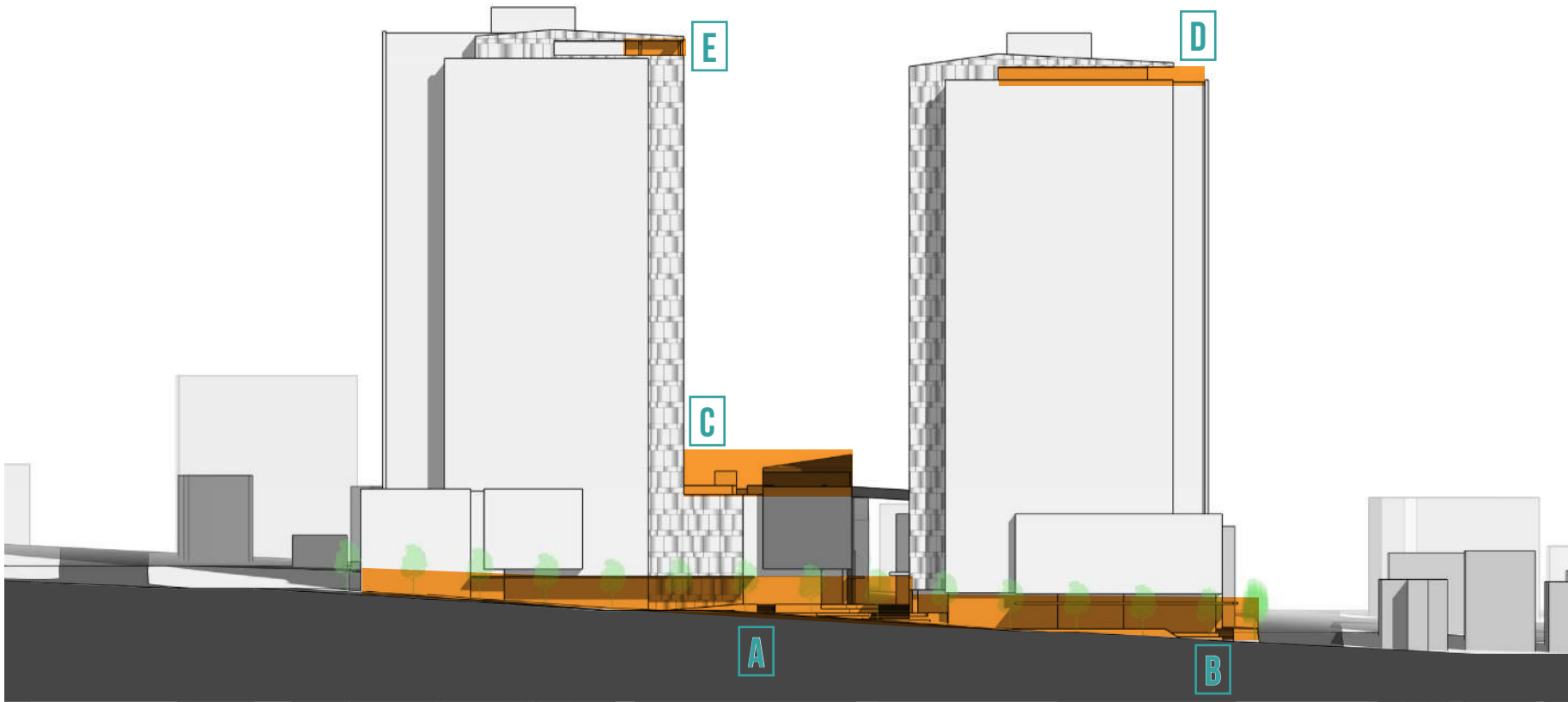
EXTERIOR METAL PANEL COLOR INVESTIGATION 02 - LIGHT GREY



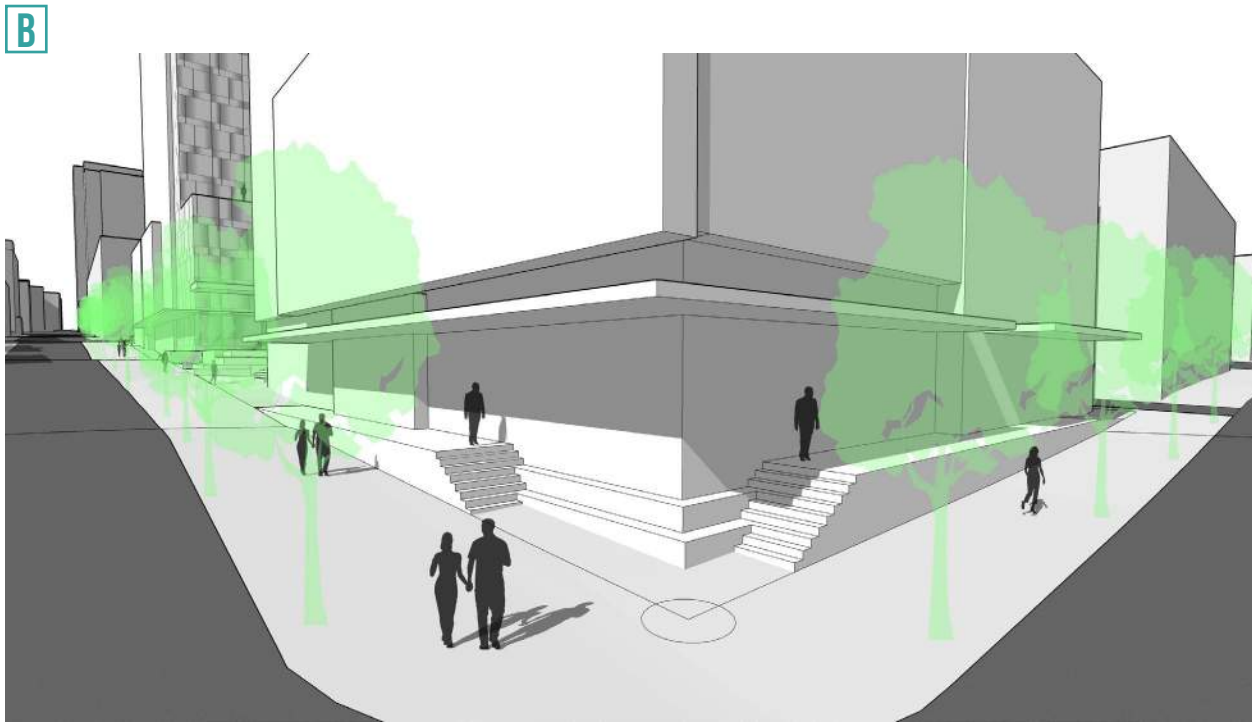
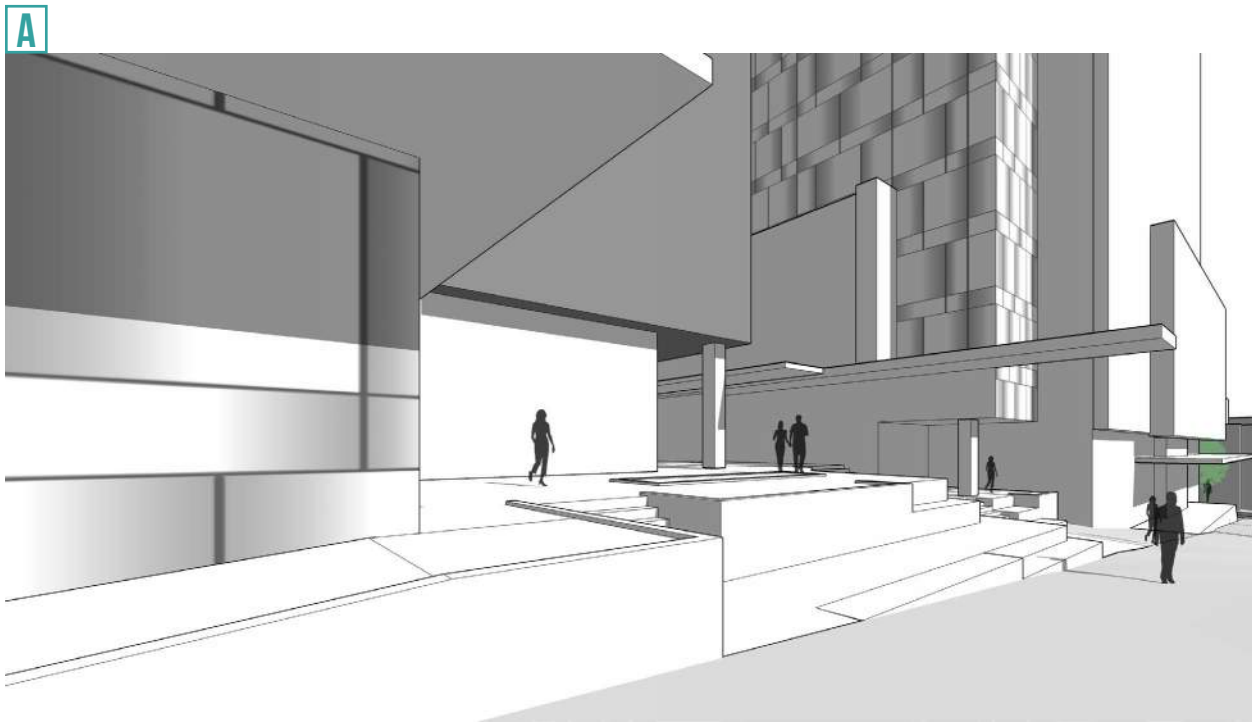


THEME 1 - THE TOWERS

Explore porous campus-like urban condition of ground plane being brought up into towers - “vertical campus”.

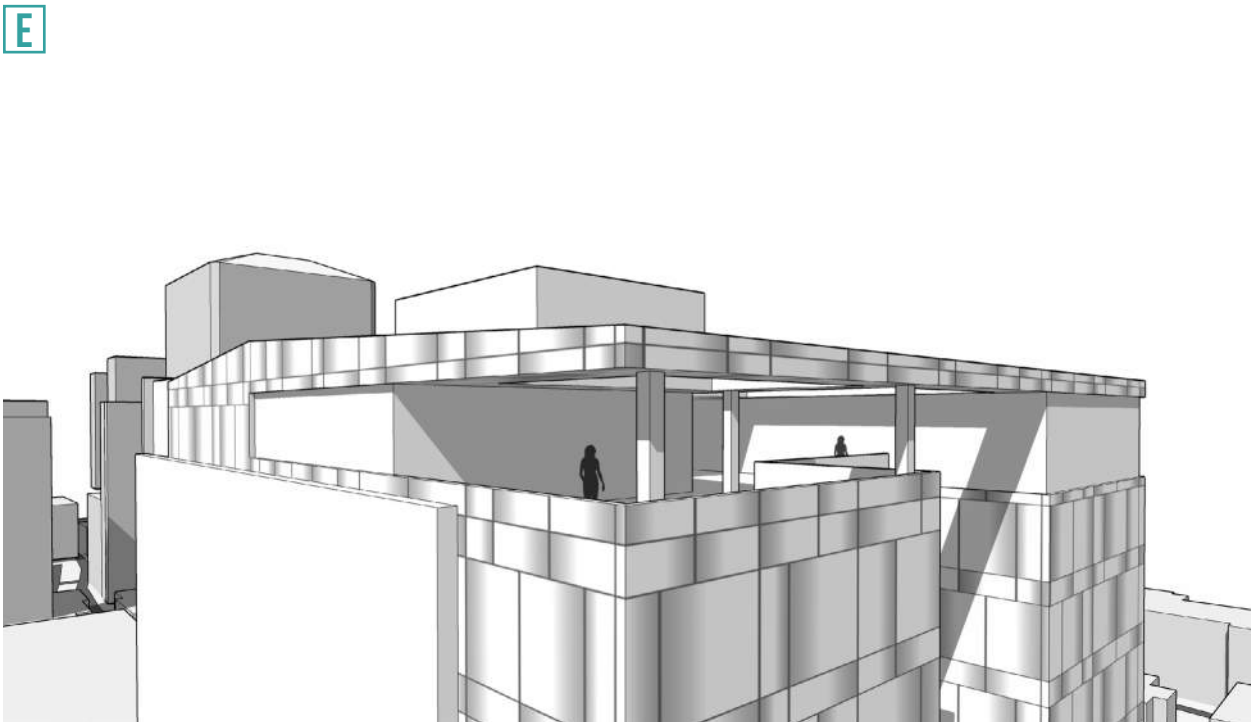
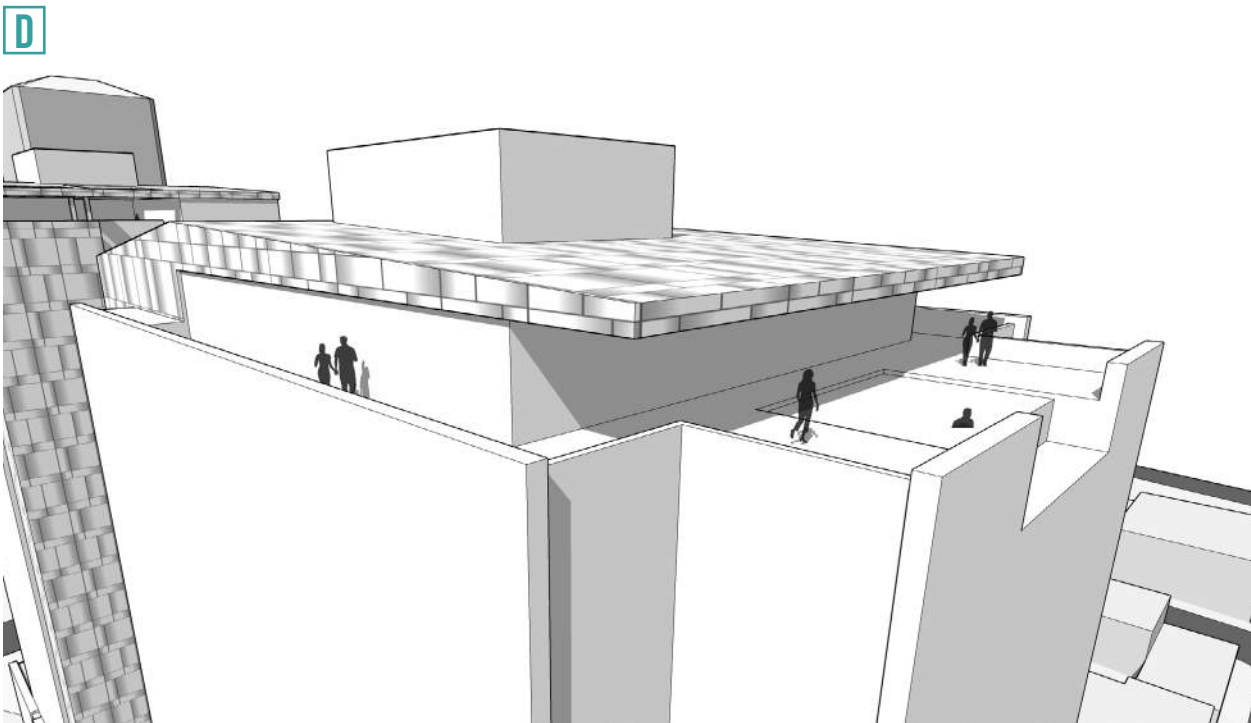
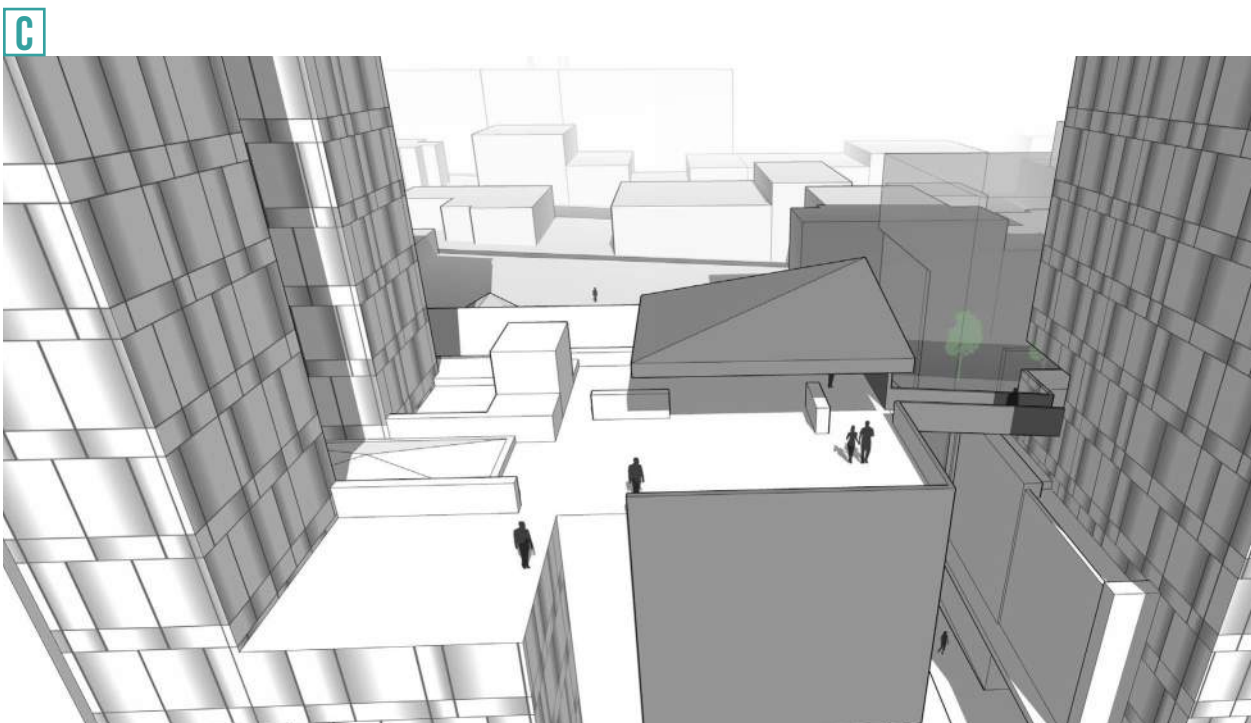


WEST ELEVATION



THEME 1 - THE TOWERS

The project includes outdoor moments of pause both within the public realm and at the levels 5 and 25 amenity decks.  
These outdoor moments along the public right of way pick up on the language of porches seen throughout the district.  
The rooftop amenity decks are seen as extensions of this concept affording expansive views from the buildings and breaking up the overall massing.





EDG GUIDANCE

- 1. Possible support for rooftop feature departure if well **integrated into architectural concept and creates an iconic form.**

RESPONSE

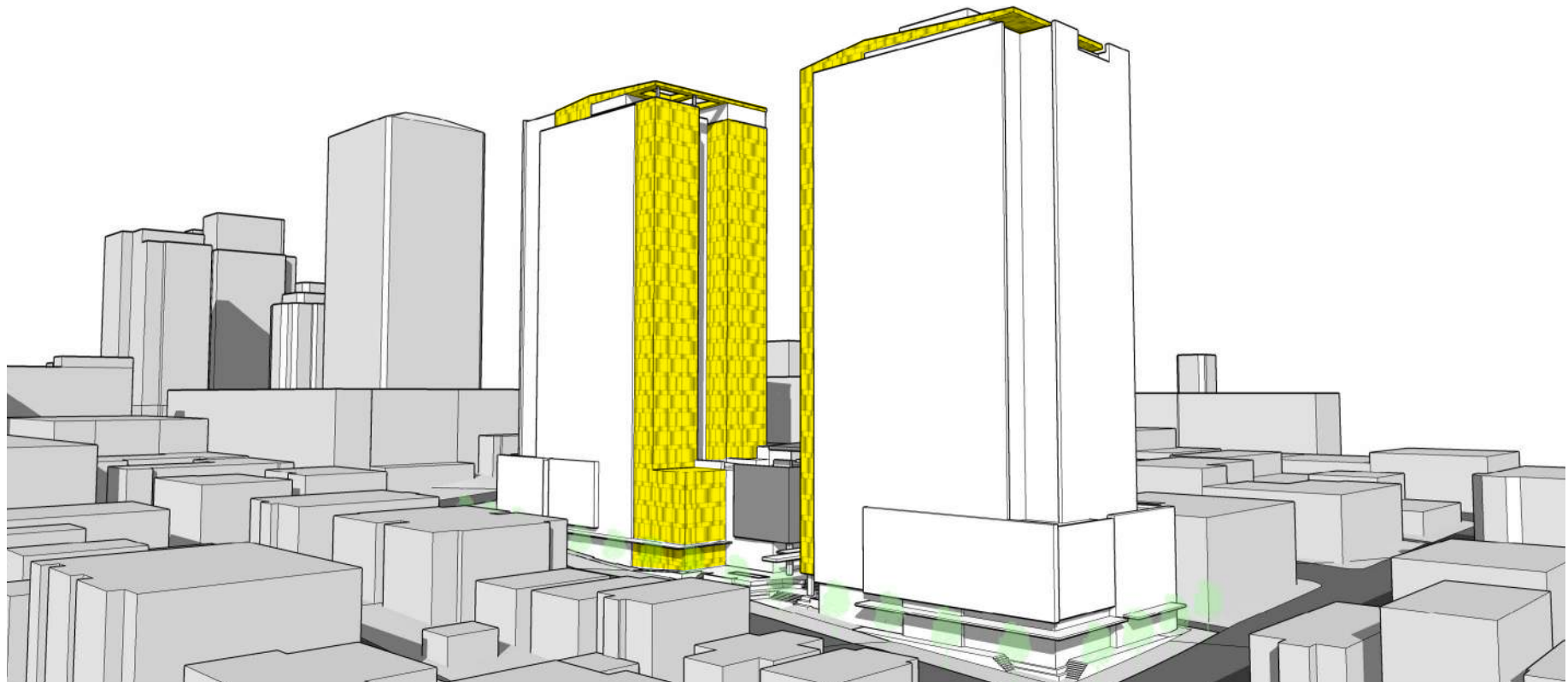
The rooftops become an continuation of the inner layer that has been revealed through the “peeling” process. This extension of the inner layer terminates the towers in distinctive roof forms visible from distance both during the day and lit from below at night.

The inner layer is seen as a series of metallic finished bent metal plates. These are smaller grained in nature providing a stark contrast to the exterior forms of the project. By materially distinguishing themselves, these semi-irridescent layers are distinctive from a distance allowing the light to play across them, changing their appearance throughout the day and providing a bold marker for its place in the city.

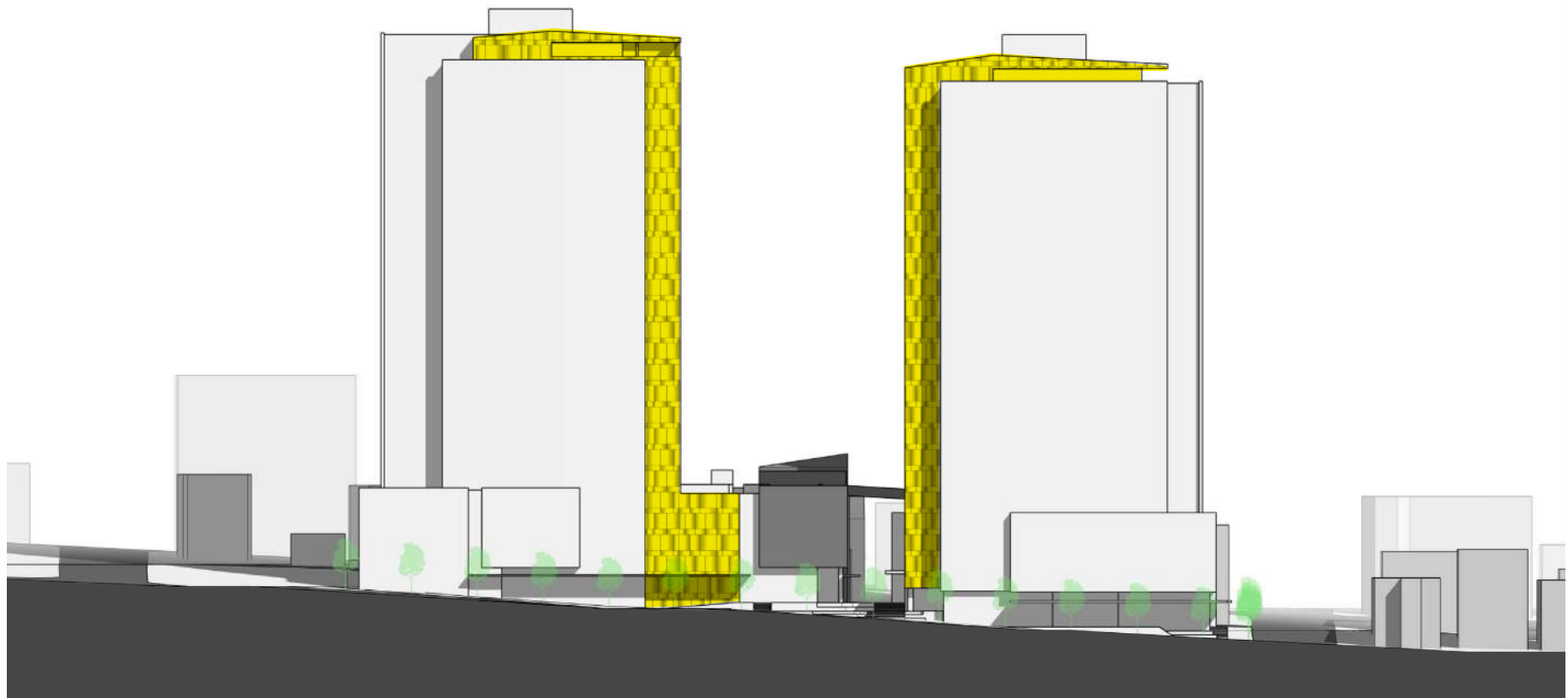
DESIGN GUIDELINE

DC2 - Architectural Concept

- 2.f - “Provide architectural interest with legible roof lines or the top of the structure”
- 4.b - “Integrate building services”
- 5.a - “Finish visible walls and rooftops with quality materials or artistic expressions”
- 6.j - “Transition to the Sky & Skyline Composition: Create an intentional, designed terminus to the tall form and enhance the skyline. Integrate all rooftop elements and uses into the overall design, including mechanical screens,” “amenity spaces and lighting.”



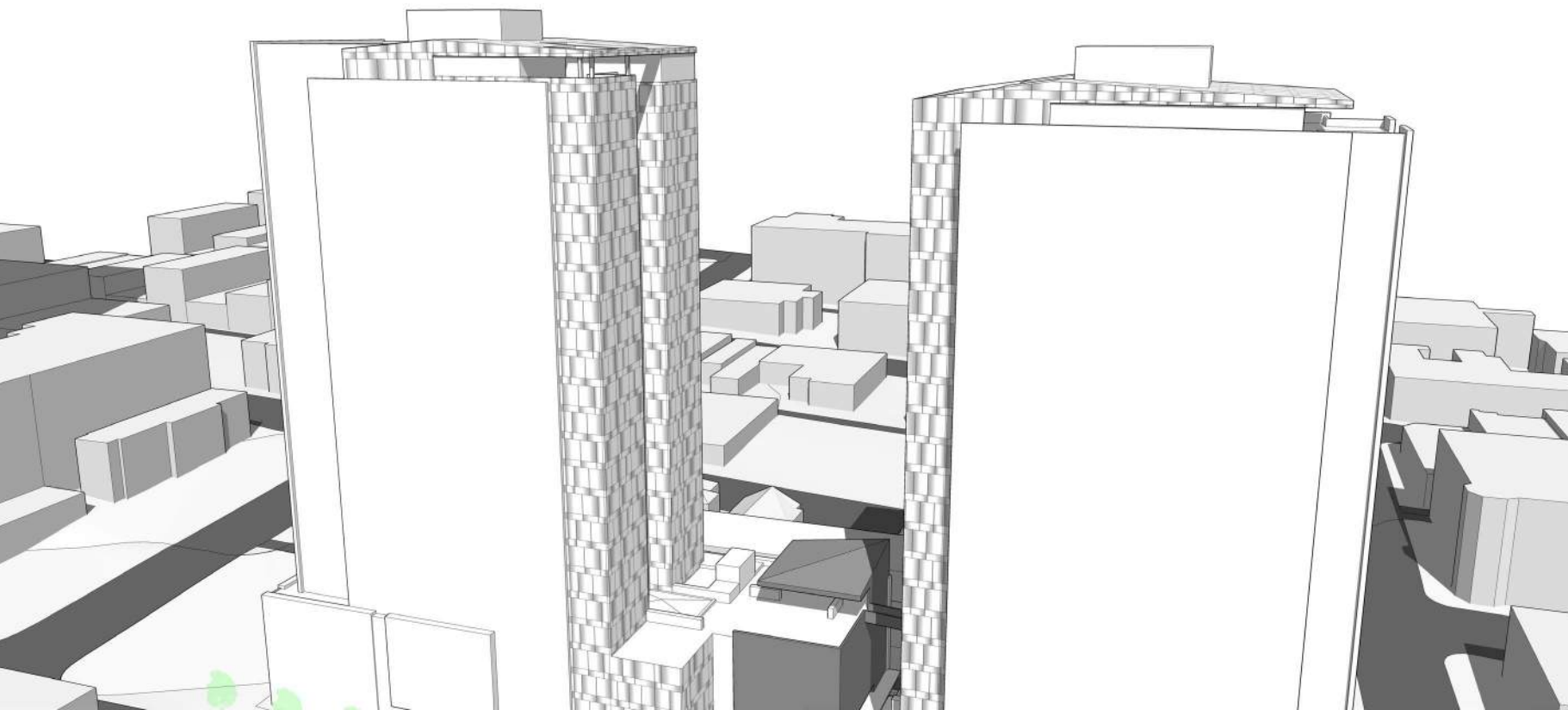
VIEW FROM SOUTHWEST



WEST ELEVATION



A

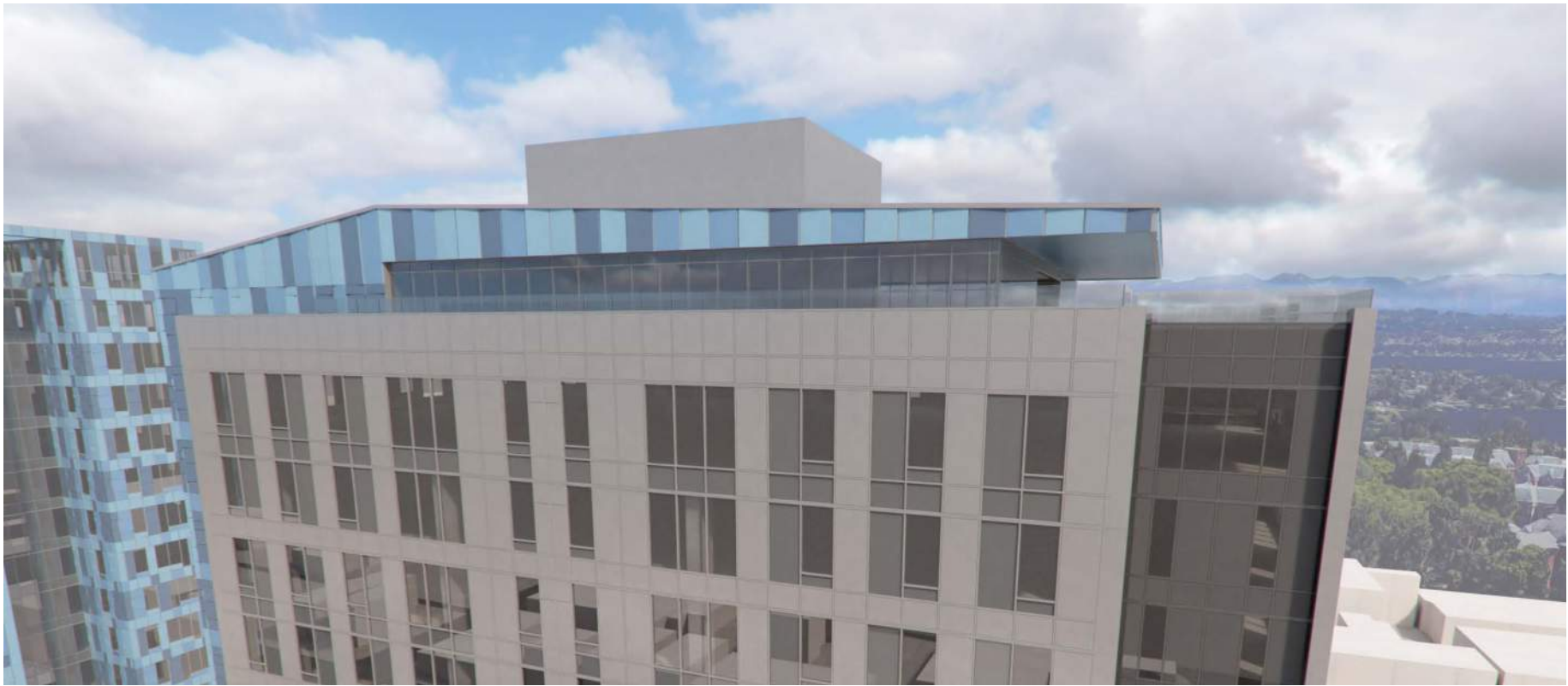
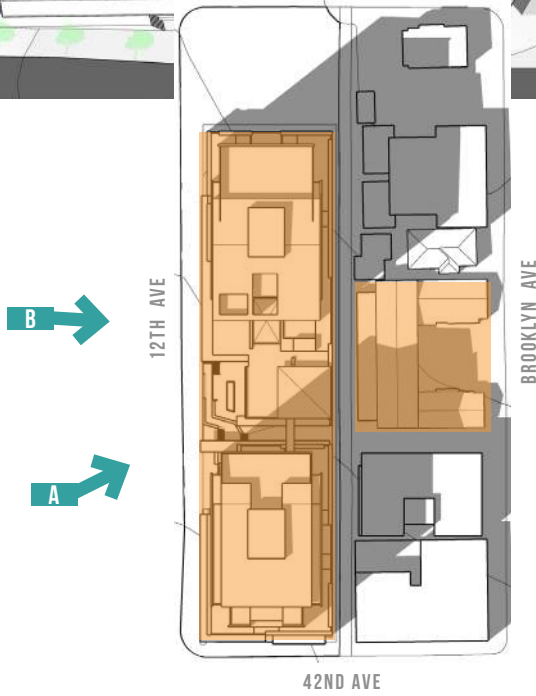


TOWER ROOF OVERVIEW

B



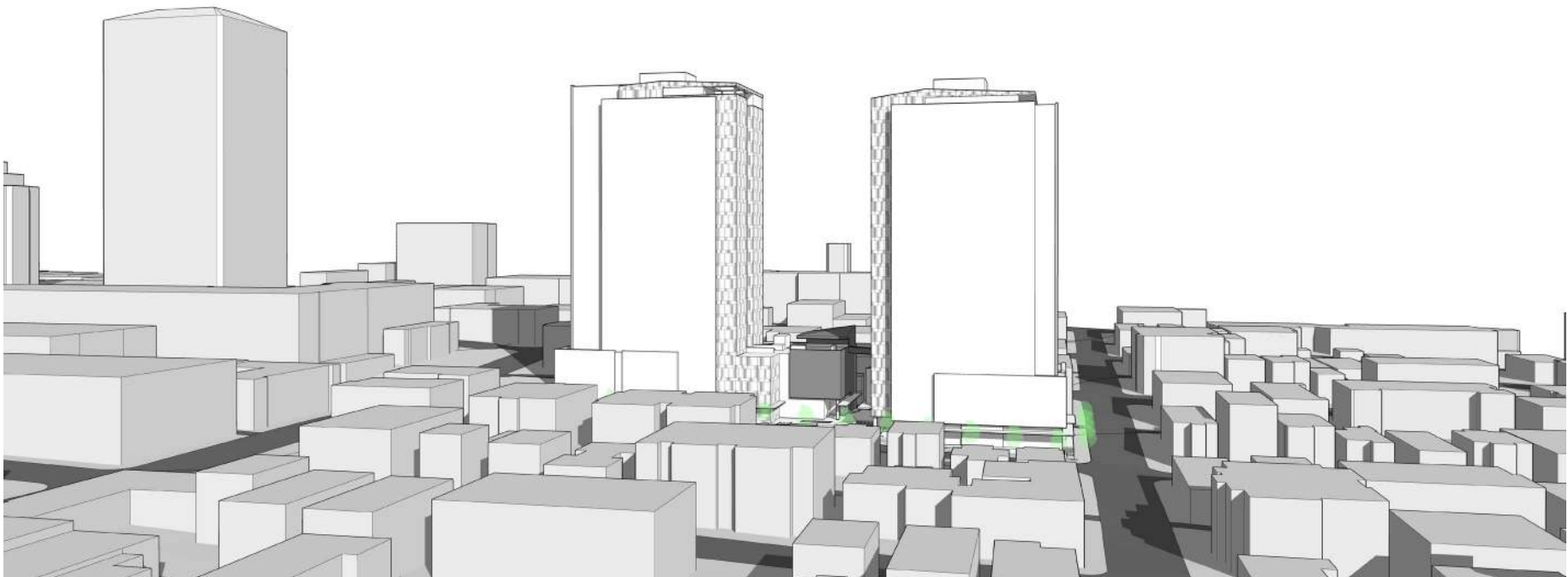
TOWER ROOF OVERVIEW



SOUTH TOWER ROOFTOP



NORTH TOWER ROOFTOP



VIEW FROM HIGHWAY



EDG GUIDANCE

- 1. Explore **local precedents and their integration into the design** of the base and the pedestrian realm.
  - 2. **Concerned about the residential amenity** space on 12th Ave NE.
    - a. provide complete details of its relationship to grade and the street edge.
- Provide **more detail** on cladding, door locations, edge conditions, eddies, landscape, including critical dimensions.

RESPONSE

The project looks to take cues from the rich tapestry of ground level experiences within the district. With a well defined base, the project is grounded. A three level podium gives the overall project a much needed scale reference for the towers above. In some instances the towers continue to the ground to draw one’s eye upward. Ground level walls step back and come forward, and canopies and building overhangs vary in their heights, all done in an effort to create a diverse pedestrian experience when walking past. Floor levels vary in elevation at the ground level in reponse to the changing topography of the site, giving a rich vertical experience for pedestrians as well.

The residential amenity along 12th Ave. has multiple windows to allow views into and out from to visually engage the sidewalk. As the sidewalk rises along 12th, as one moves northward, the windows allow views down into this building space.

DESIGN GUIDELINE

CS3 - Architectural Context & Character

- 1.a - “Foster an eclectic mix of architectural styles and forms”
- 1.d - “Respond to nearby prominent horizontal and vertical patterns.”

PL1 - Connectivity

- 1.a - Include open space at grade that physically or visually engages the public realm”

PL3 - Street Level Iteration

- 3.b - “Provide frequent entrances, expressed breaks, and architectural interest at regular intervals of 20-30 feet”
- 3.c - “Residential entries for upper floor residential uses” “should not dominate the street frontage over commercial uses.”
- 3.d - “Minimize the size and presence of residential lobbies”
- 3.e - “Design a porous, engaging edge for all commercial uses at street level”

DC3 - Open Space Concept

- 2.a - “Provide a variety of types of outdoor private amenity space”

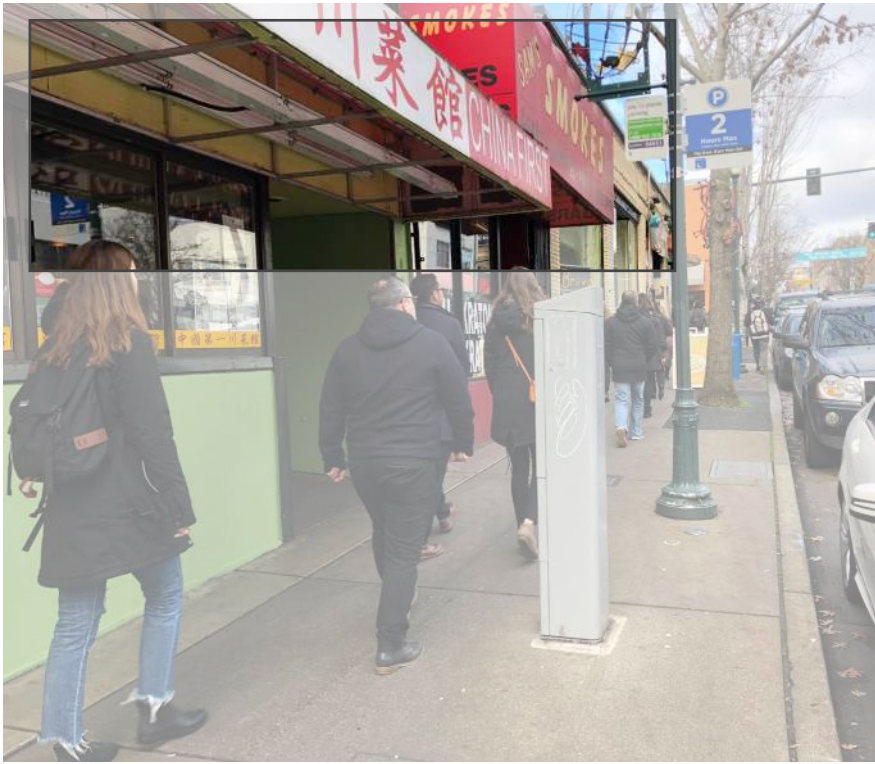
DIFFERENTIATED BASE.



VARIED BASE.



CONTINUOUS OVERHEAD PROTECTION



RETAIL OPENING TO SIDEWALK



MULTIPLE HORIZONTAL REFERENCES TO BREAK UP MASSING.  
MULTIPLE SETBACKS.



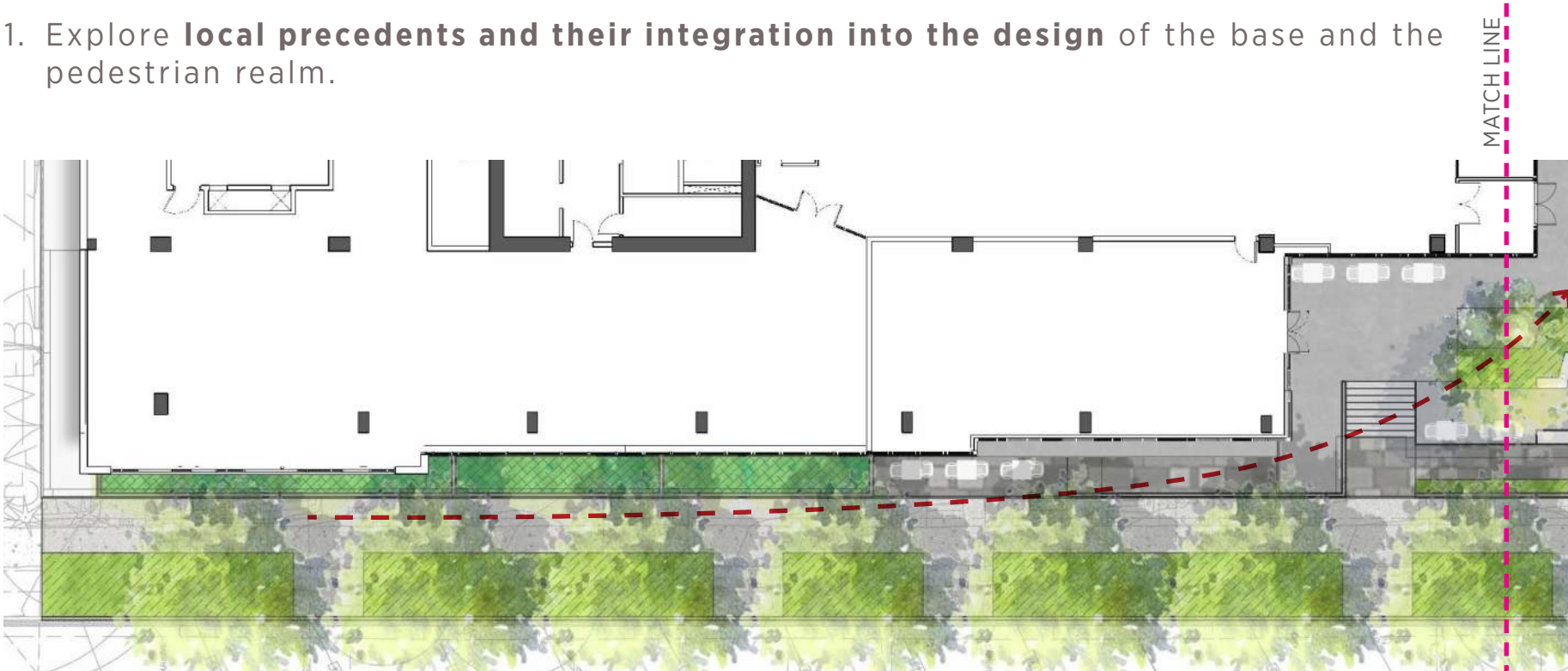
VERTICAL TRANSITION TO RETAIL



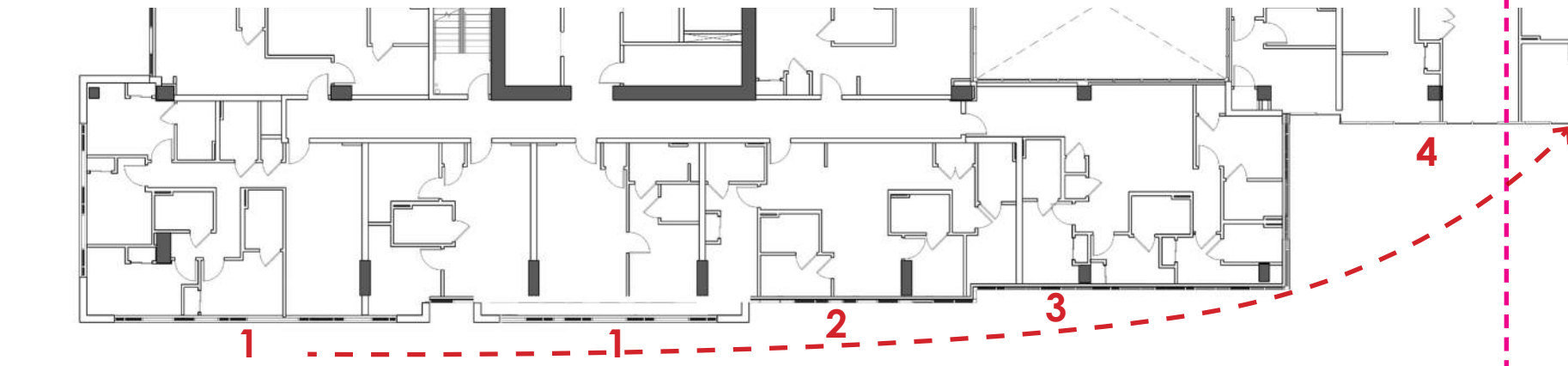


THEME 3 - THE BASE AND GROUND PLANE

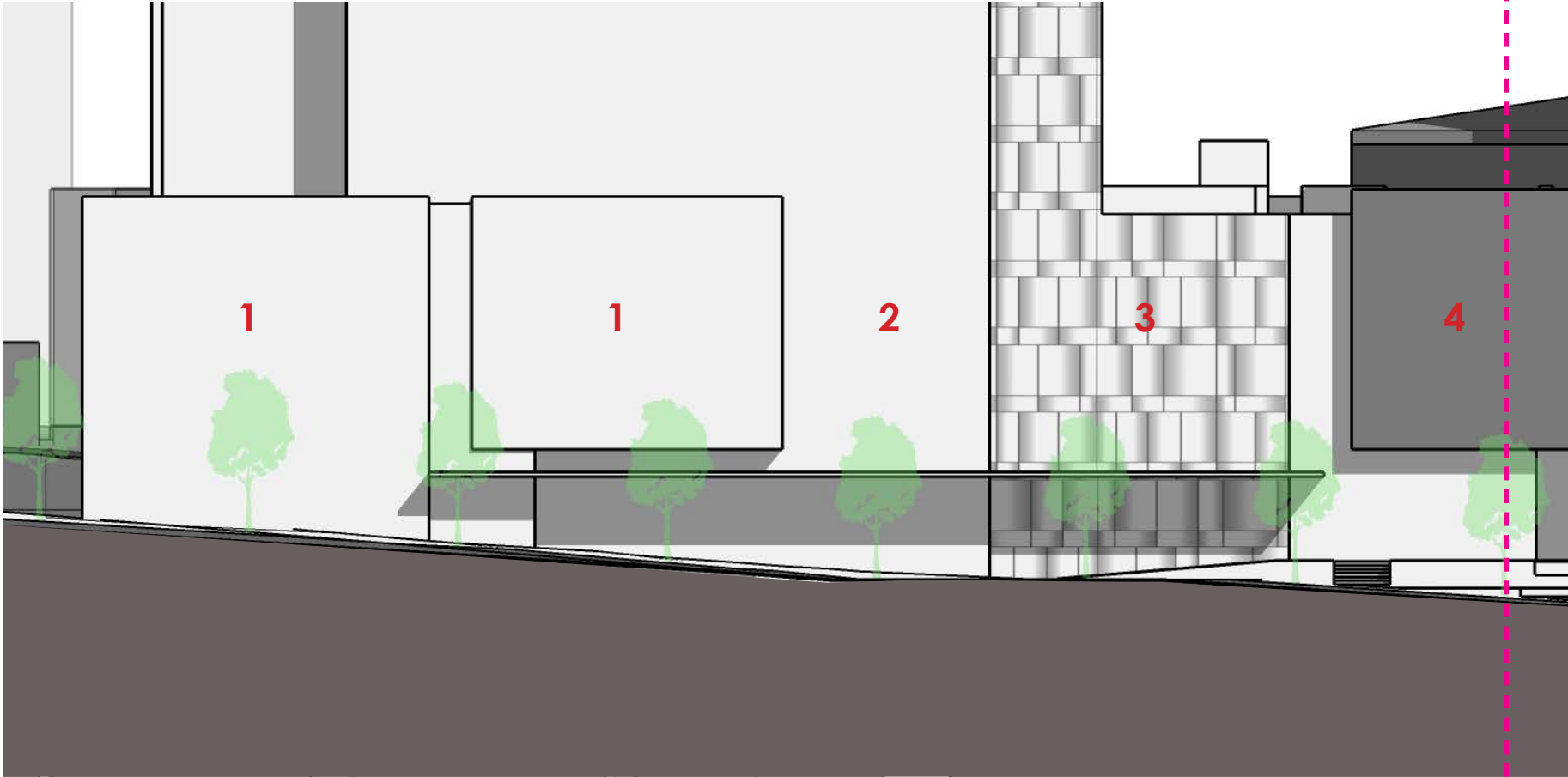
1. Explore **local precedents** and their integration into the design of the base and the pedestrian realm.



GROUND FLOOR PLAN AT SIDEWALK - NORTH TOWER



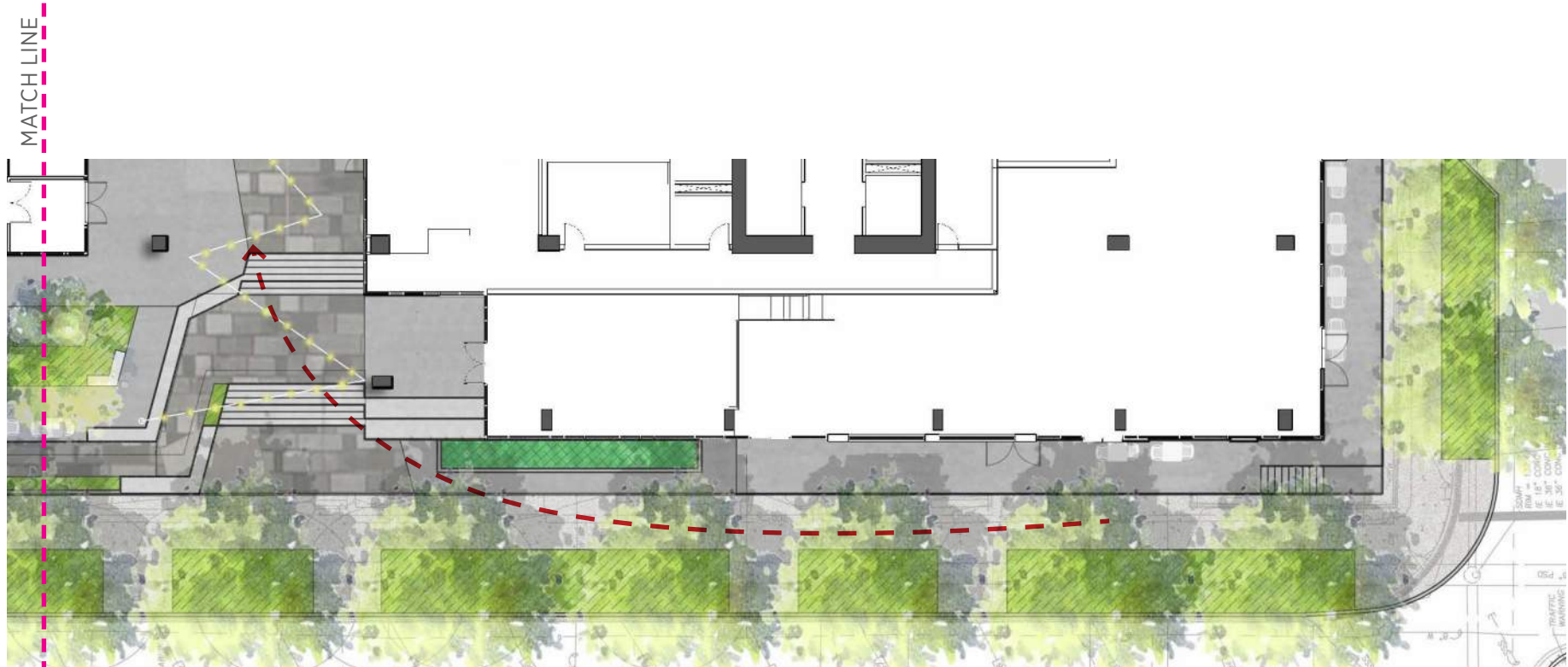
LEVELS 2-4 FLOOR PLAN AT SIDEWALK - NORTH TOWER



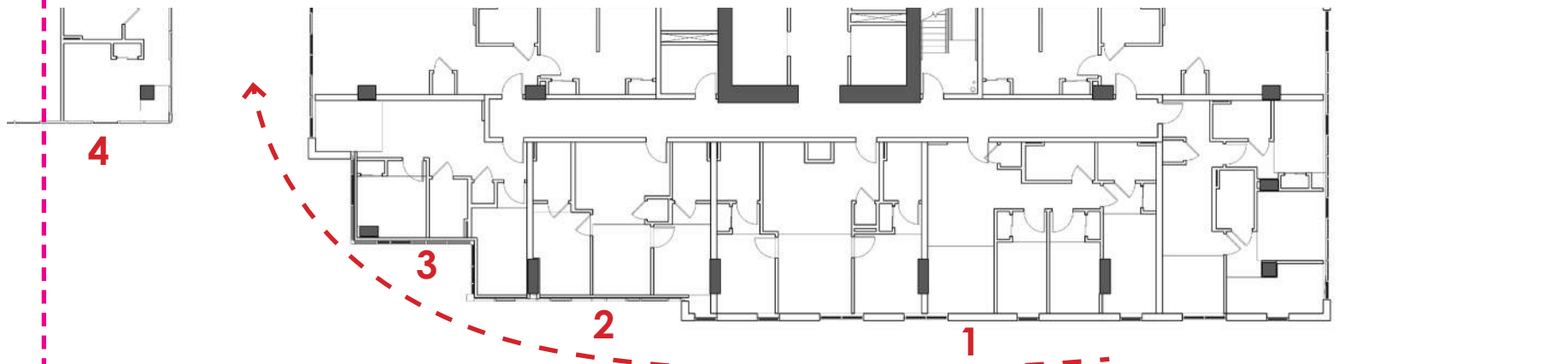
WEST ELEVATION - NORTH TOWER BASE LAYERING

Picking up on the layering of activity seen within the district, the 12th Avenue street facades layer back progressively as they move towards the through block corridor. This funneling effect creates an inviting approach at the sidewalk and gives a changing pedestrian experience. The introduction of various heights at the sidewalk adds to this spatial experience.

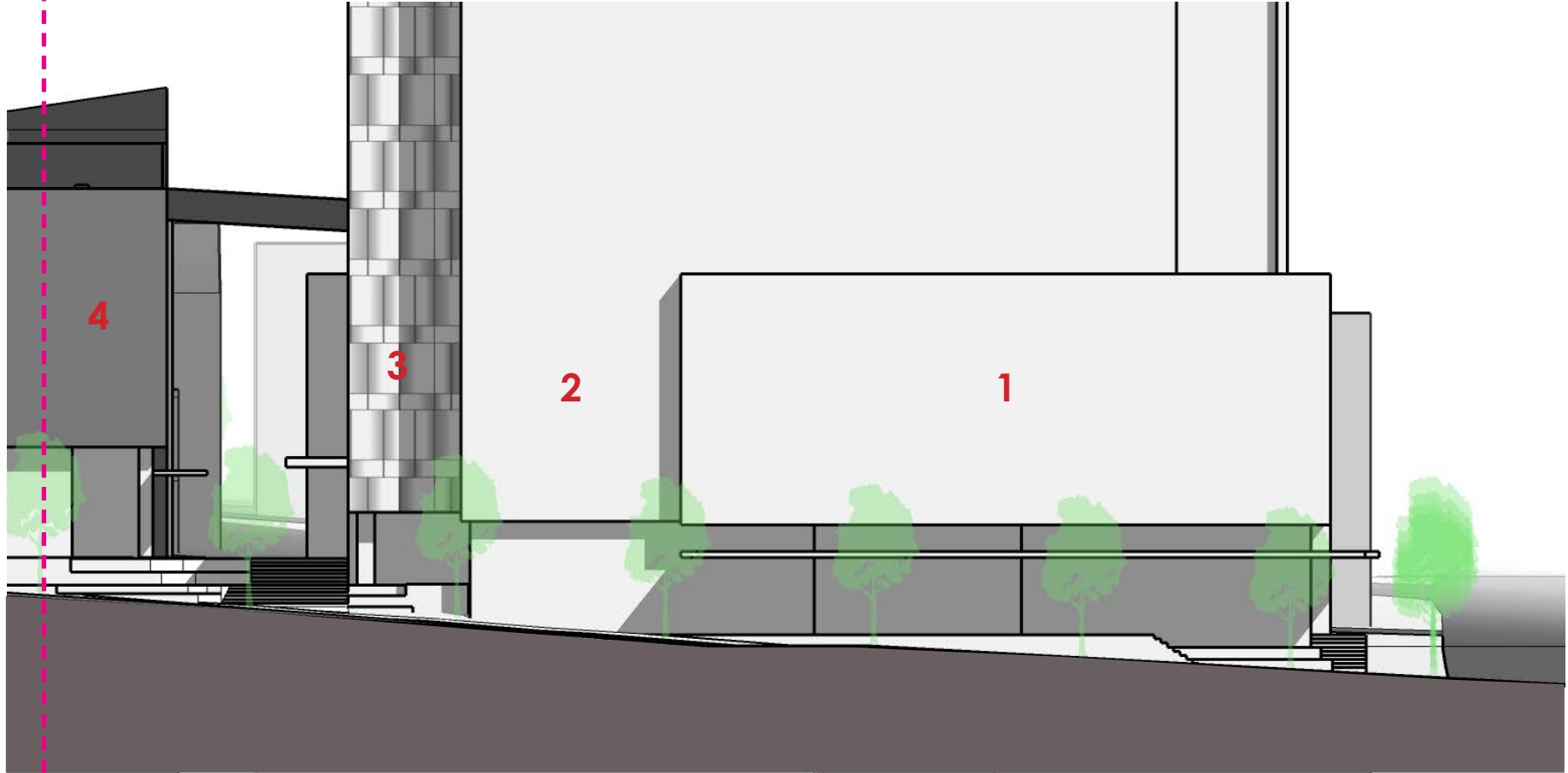
THEME 3 - THE BASE AND GROUND PLANE



GROUND FLOOR PLAN AT SIDEWALK - SOUTH TOWER



LEVELS 2-4 FLOOR PLAN AT SIDEWALK - SOUTH TOWER



WEST ELEVATION - SOUTH TOWER BASE LAYERING





THEME 3 - THE BASE AND GROUND PLANE

THEME 3 - THE BASE AND GROUND PLANE

1. Explore **local precedents** and **their integration into the design** of the base and the pedestrian realm.

A



SOUTH FACADE AT 42ND

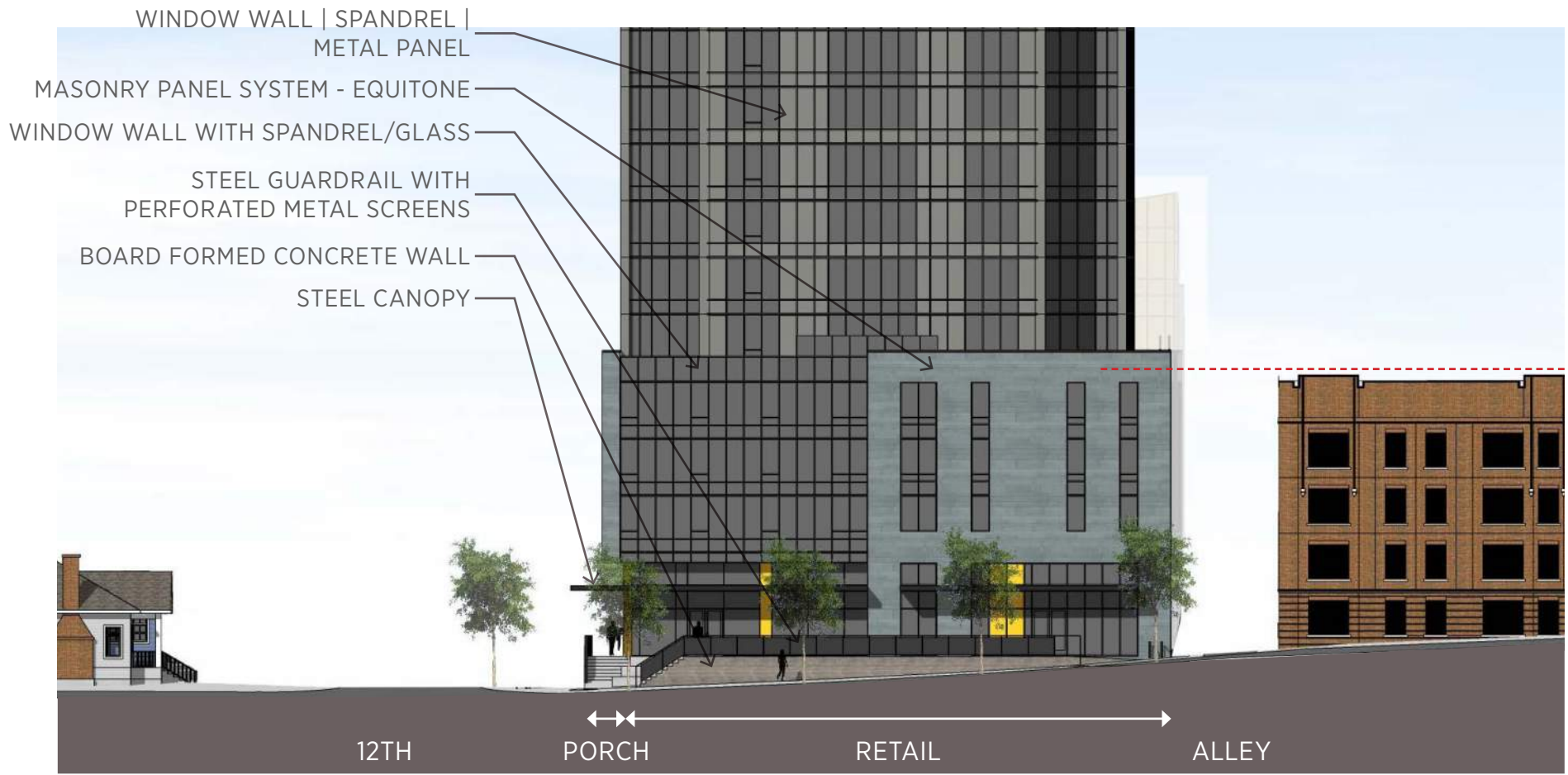
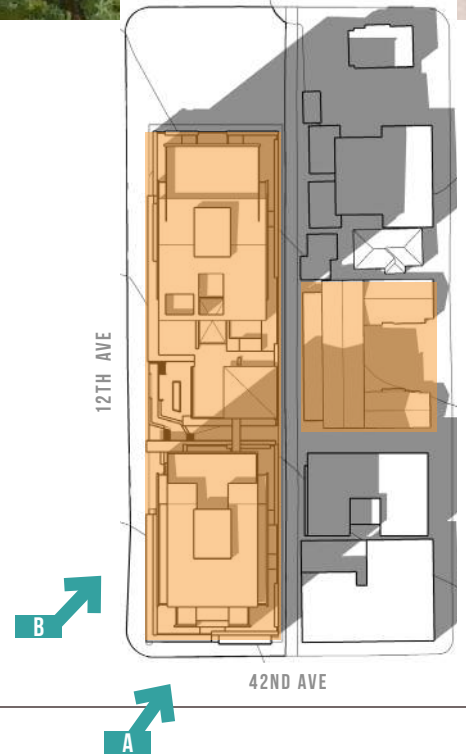
B



CORNER OF 12TH AND 42ND

The retail at the corner of 12th and 42nd is raised up to create an additional porch element connecting to the language of the porches at the through block connection entry. The corner of the project has been eroded to provide stair connections up to this raised porch with integrated stadium seating for informal seating moments. Direct sidewalk connections are provided at either end of the retail spaces as the grades of the sidewalk come up to meet it.

Varying materials, depth, and height within the retail facade provides visual and spatial variety at the sidewalk level. Continuous overhead weather protection is provided for pedestrians. The podium comes down to the ground at the south east corner to speak directly to the neighboring structure to the east and providing a strong base to the project at his corner. The podium planes break up the facade and provide visual interest within the first 40'. Bike parking is provided at this south east corner.



SOUTH ELEVATION



WEST ELEVATION - SOUTH TOWER BASE



RAISED PLINTHS IN DISTRICT



A



EAST FACADES IN ALLEY AT THROUGH BLOCK CONNECTION

B



NORTH EAST CORNER OF PROJECT AT ALLEY

The alley is seen as a working alley. That being said, these back of house functional uses are located away from moments of pedestrian engagement as much as possible. Ground floor retail wraps into the alley at 42nd ave at the south end of the alley. Residential amenity and services are located adjacent to the through block corridor intersection with windows and garage doors opening onto the through block corridor to provide physical and visual connections at the ground level. Trash, loading, and back of house services are located away from these activities. The podium levels are treated in the same manner as the rest of the podium facing 42nd and 12th.



EAST ELEVATION (ALLEY) - NORTH STRUCTURE



EAST ELEVATION (ALLEY) - SOUTH STRUCTURE



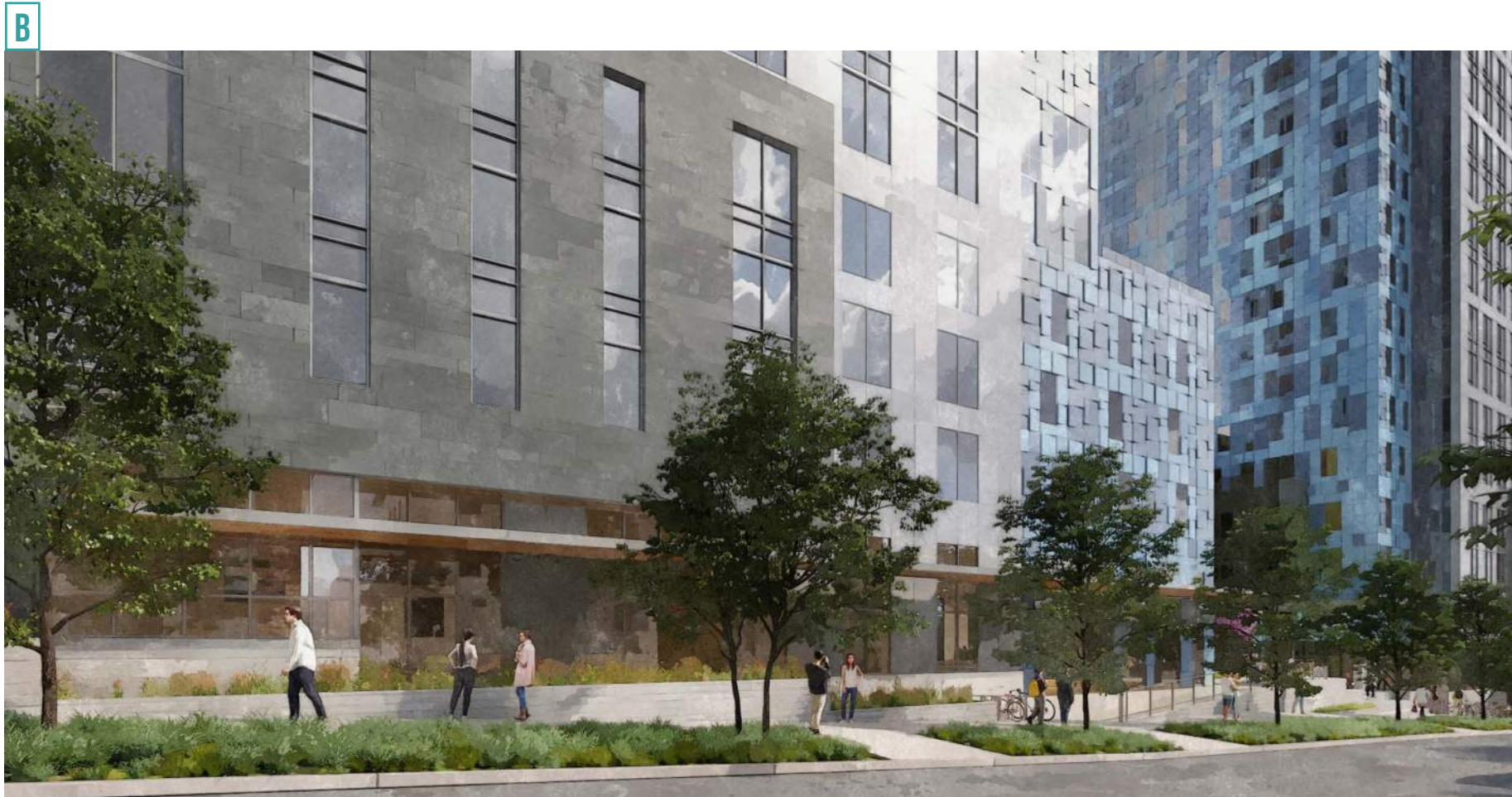
EXAMPLES OF UTILITY/BACK-OF-HOUSE USES LOCATED AWAY FROM PEDESTRIAN CROSSINGS IN DISTRICT ALLEYS



Concerned about the residential amenity space on 12th Ave NE.

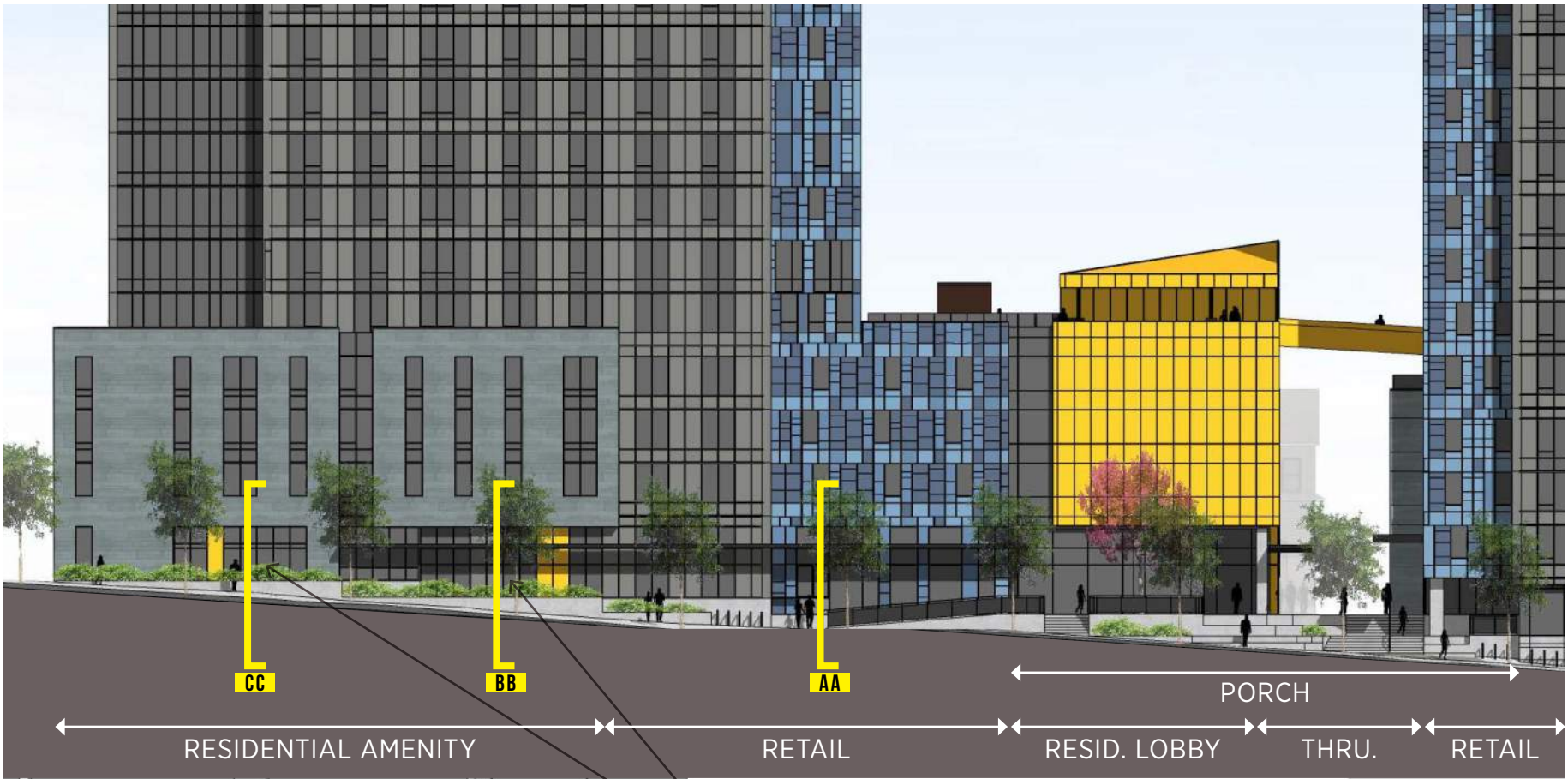
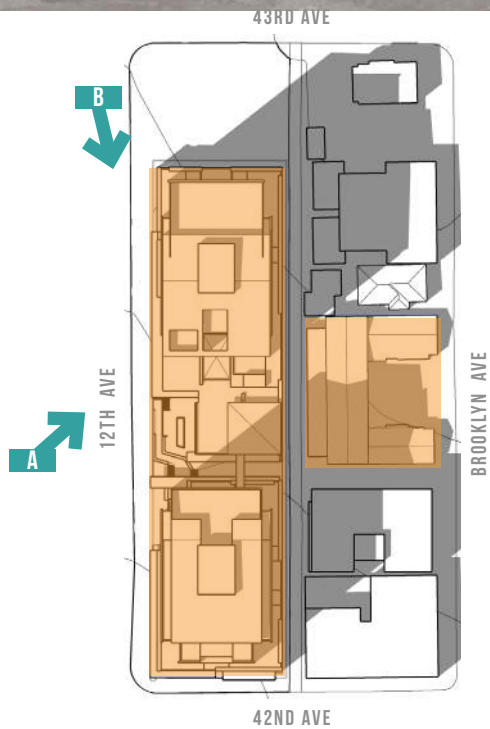


LOOKING NORTH ALONG 12TH AT THE RESIDENTIAL AMENITY



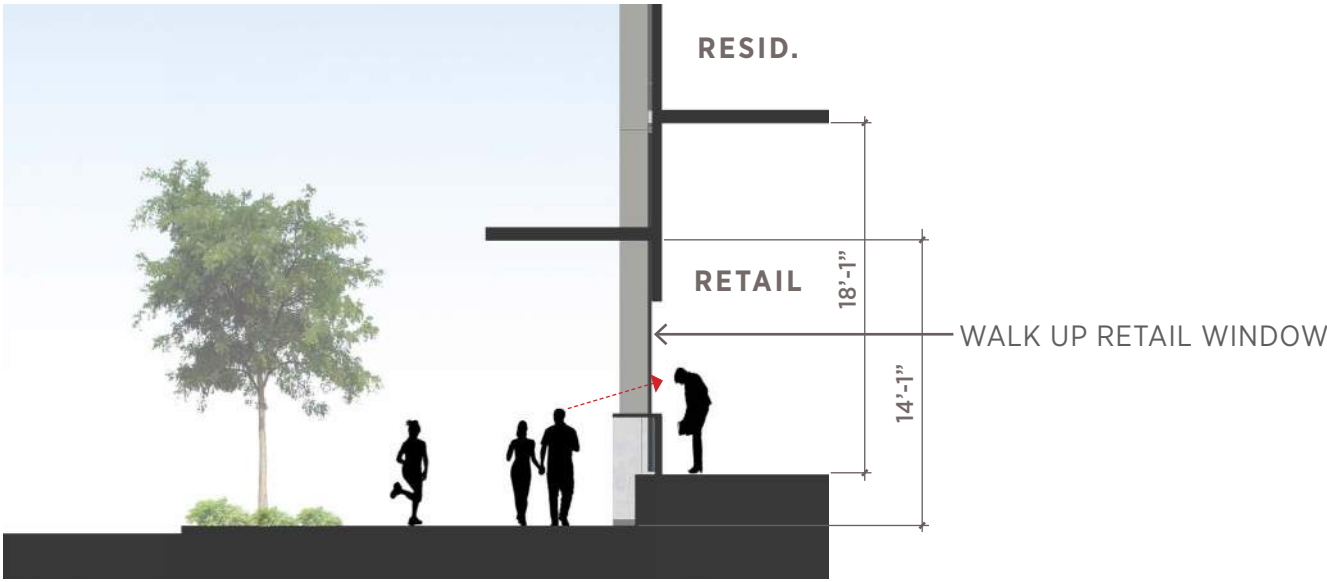
LOOKING SOUTH ALONG 12TH AT THE RESIDENTIAL AMENITY

The residential amenity along 12th is seen as a visually active addition to the 12th Avenue streetscape. With sidewalk planters and multiple windows looking into the space, this provides a dynamic edge for pedestrians. Taking cues from local precedents, changes in vertical and horizontal planes along this edge provides visual interest and variety.

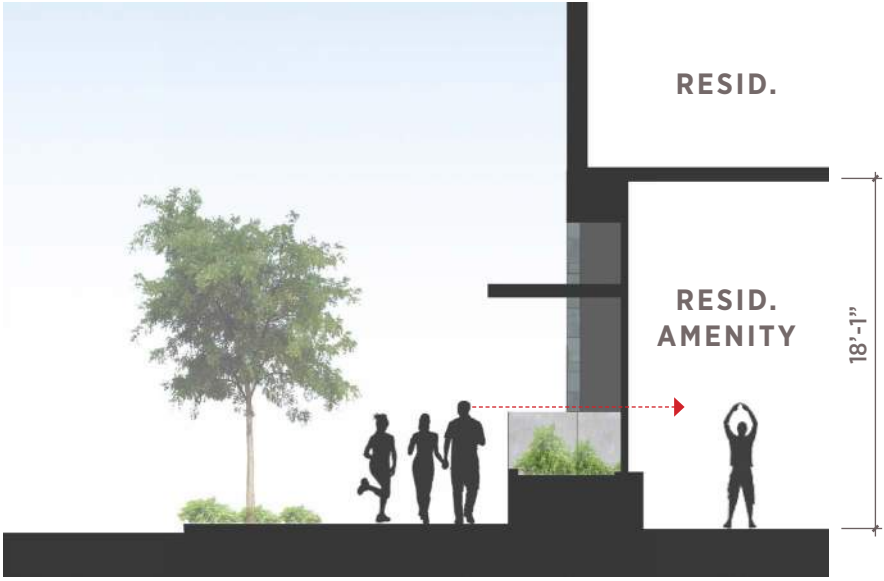


WEST ELEVATION

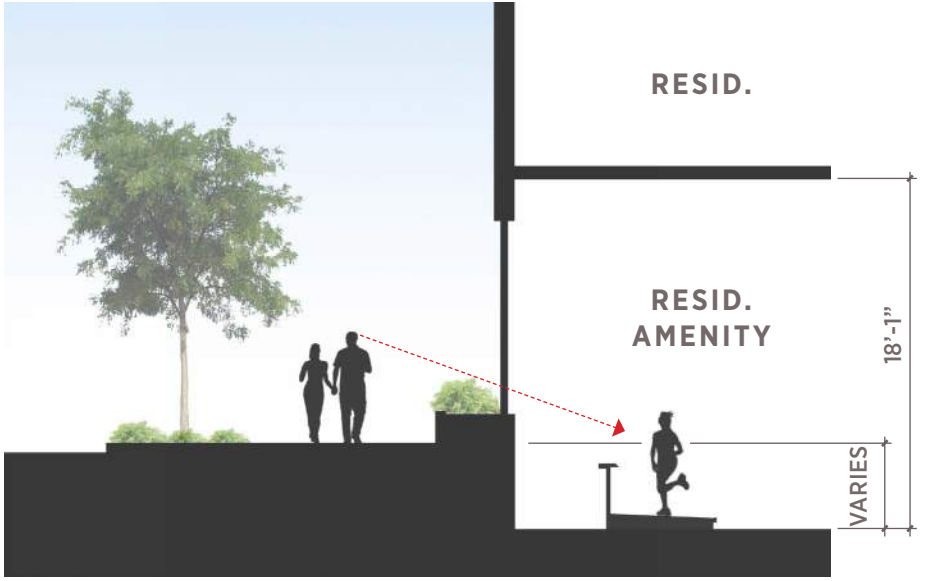
WINDOWS INTO AMENITY



SECTION AA

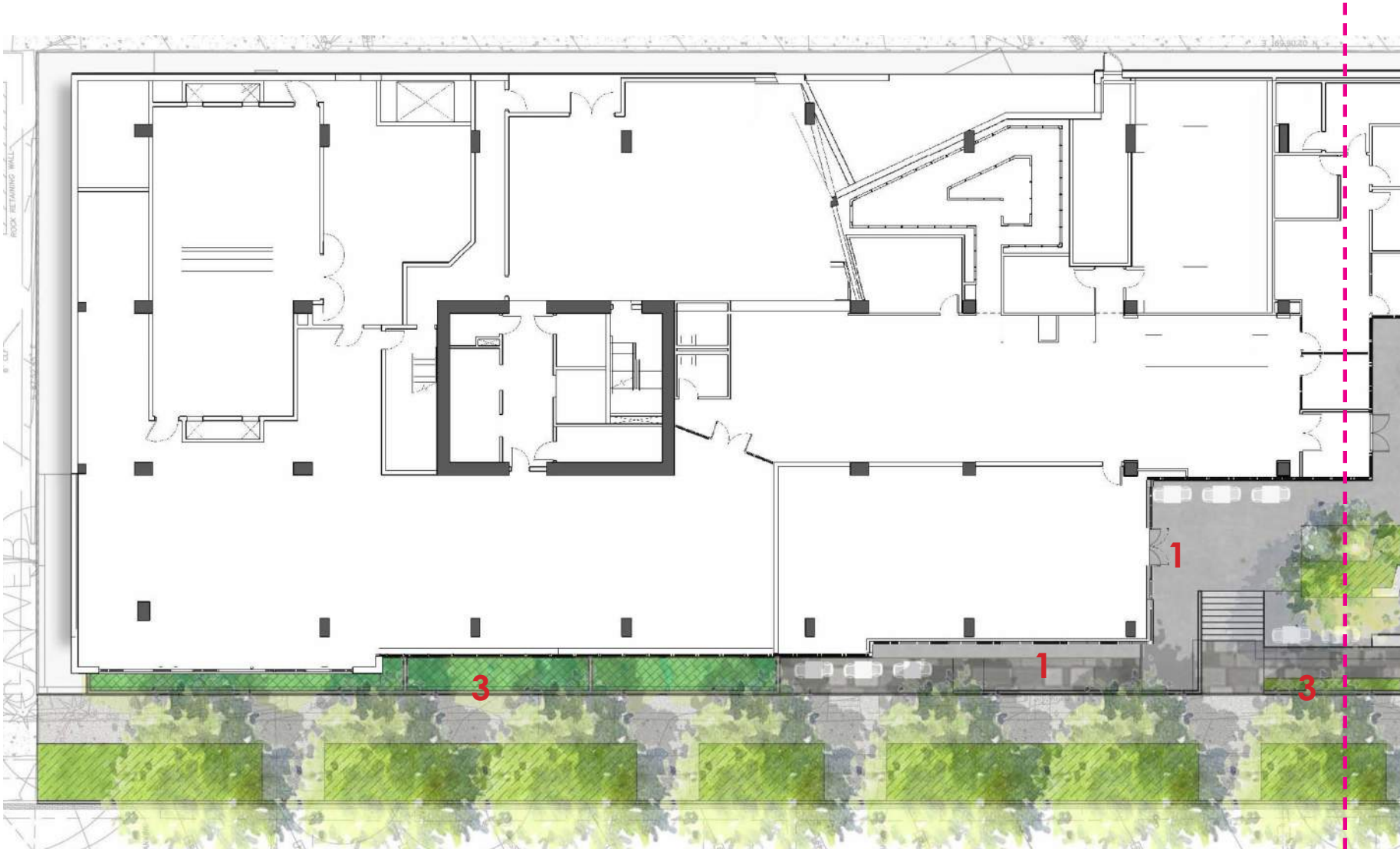


SECTION BB

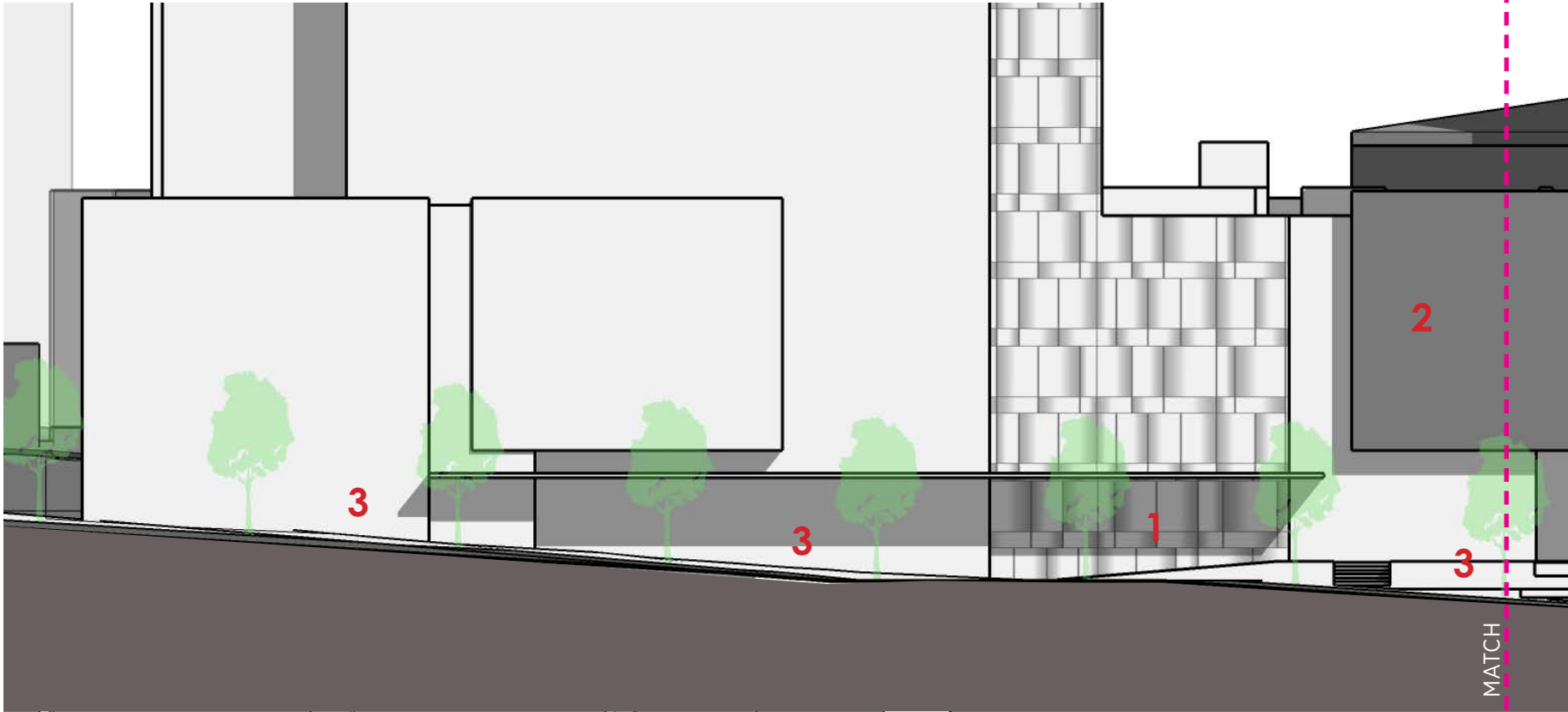


SECTION CC



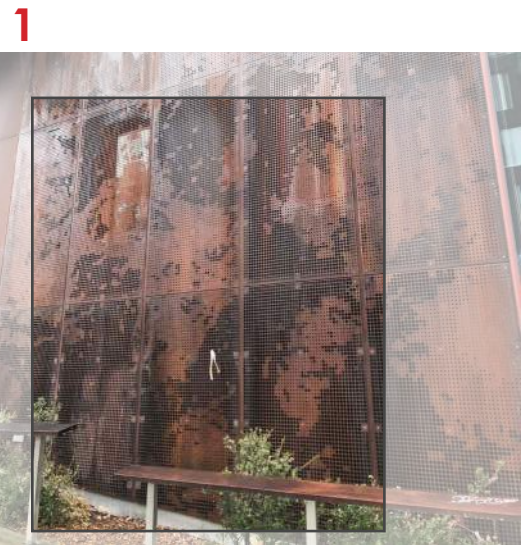


GROUND FLOOR PLAN - NORTH TOWER



WEST ELEVATION - NORTH TOWER

Throughout the district can be found moments of pause both of a formal and informal nature. The project looks to create these moments of pause at intervals within the pedestrian experience at the base of the building.



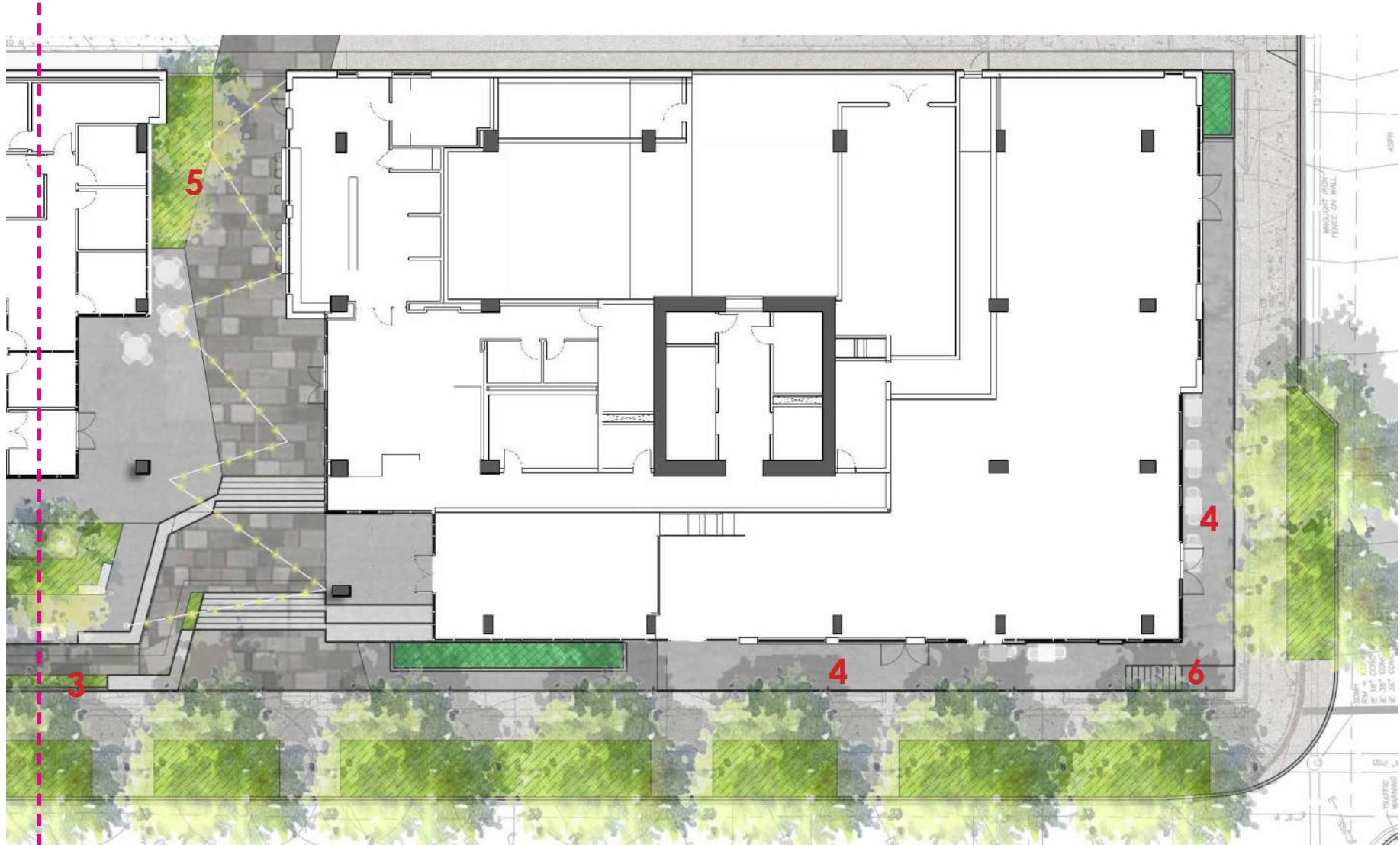
SIGNATURE WALL AT GRADE



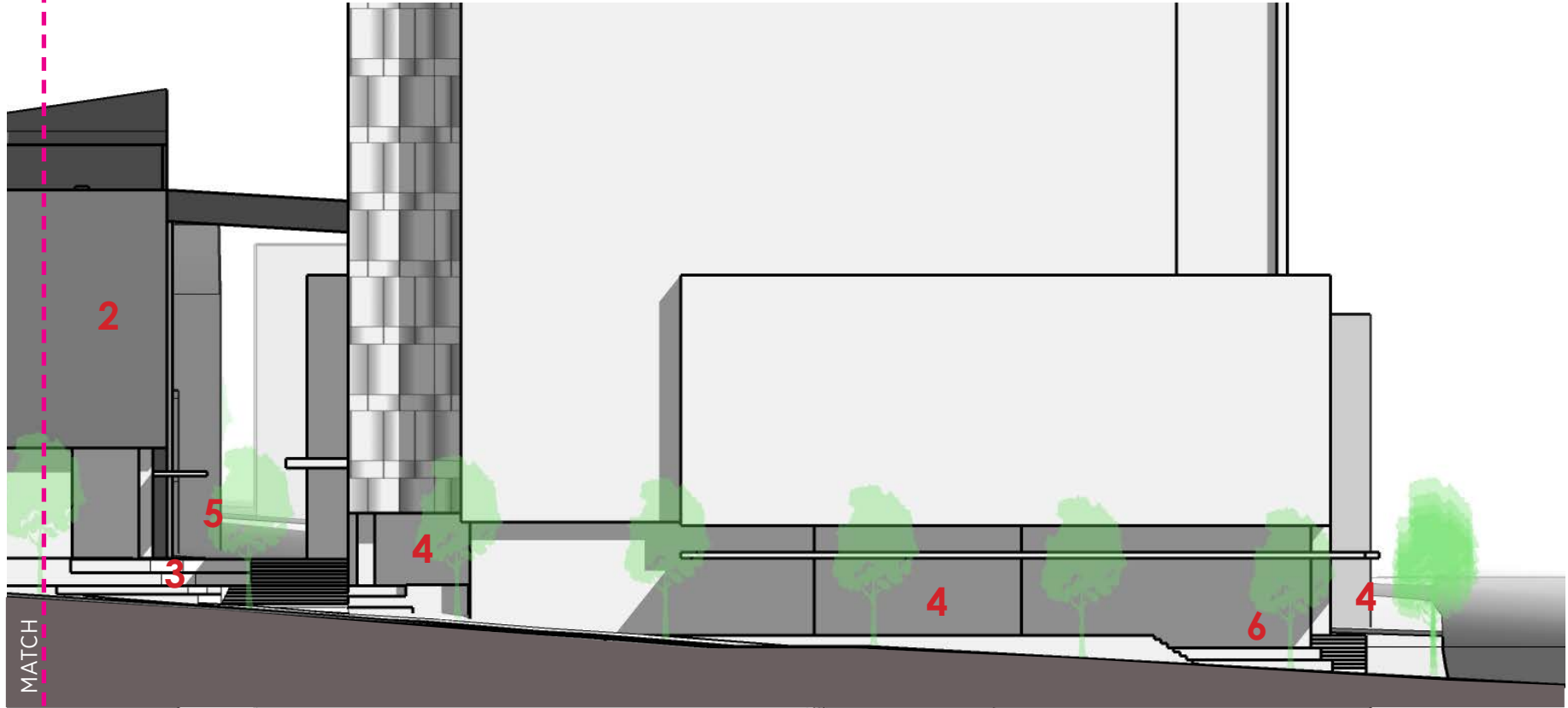
SINGULAR "OBJECT"



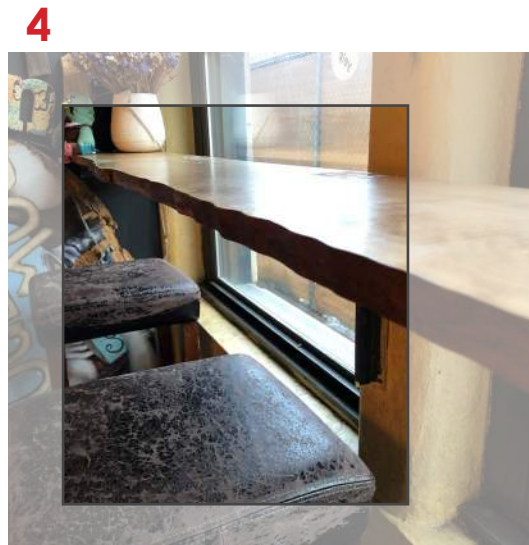
LANDSCAPE MOMENT



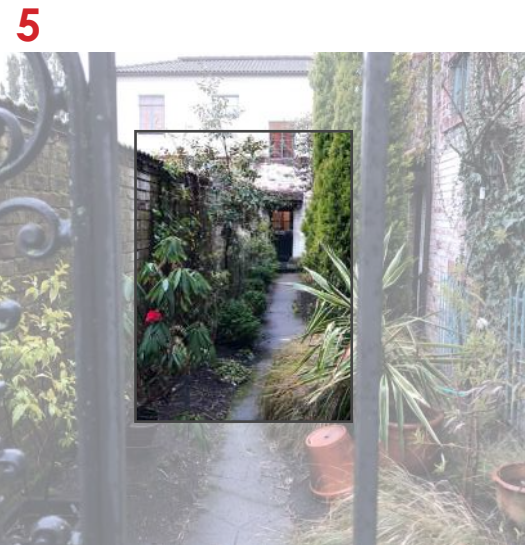
GROUND FLOOR PLAN - SOUTH TOWER



WEST ELEVATION - SOUTH TOWER



PEOPLE WATCHING



TIGHT AREAS OF LANDSCAPING



THE UNEXPECTED



EDG GUIDANCE

- 1. Think of this as an **outdoor room** - carefully consider all edges of the space extending up 40’, and encompassing the entirety of the pedestrian experience.
- 2. **Edges should engage and vitalize** the shared open space through the use of large operable windows, just-adjacent amenity space, occupiable decks, seating areas, balconies, etc...
- 3. The Board would like to see **more complete details** of the path, gathering spaces, bike routes and bike infrastructure.

RESPONSE

This space is designed as an outdoor room. Enclosed on two sides with active edges that engage the space, the room is seen as being vibrant throughout the day and into the night. with an wide opening at the sidewalk, with the north and south building edges opening wide, the space is a funnel drawing pedestrians into the space. A variety of vertical transitions providing various means of coming into the space, as well as a variety of seating options, both formal, connected to the surrounding retail, as well as informal, stadium seating next to stairs.

Ample bike parking is provided at the north and south sides of the through block connection along the sidewalk edge, within the required setback.

The fifth level residential amenity space with its connecting bridge over the through block connection is seen as having direct visual connection back to the ground floor activity. The jewel element is hinted at from 12th Avenue, but seen more fully from the east (Brooklyn Ave and University Ave) to draw peoples’ interest towards the through block connection.

DESIGN GUIDELINE

PL1 - Connectivity

- 2.c - “Design facades adjacent to mid-block pedestrian connections and shared alleys as a second “front” with activating uses
- 2.d - Create useable, safe, people friendly spaces”
  - 2. “Strive for clear sightlines”
  - 3. “Incorporate secondary spaces for impromptu gatherings, play opportunities, outdoor seating, and bike racks.”

PL3 - Street Level Interaction

- 1.c - “Courtyard entries should be physically and visually accessible from the street”

DC1 - Project Uses & Activites

- 3.b - “Design the layout of the open space and surrounding uses intentionally to function as shared community space.”

DC3 - Open Space Concept

- 3.a - “Design open spaces at street level to be welcoming”



PLAN



THROUGH BLOCK ENTRY AT 12TH



A



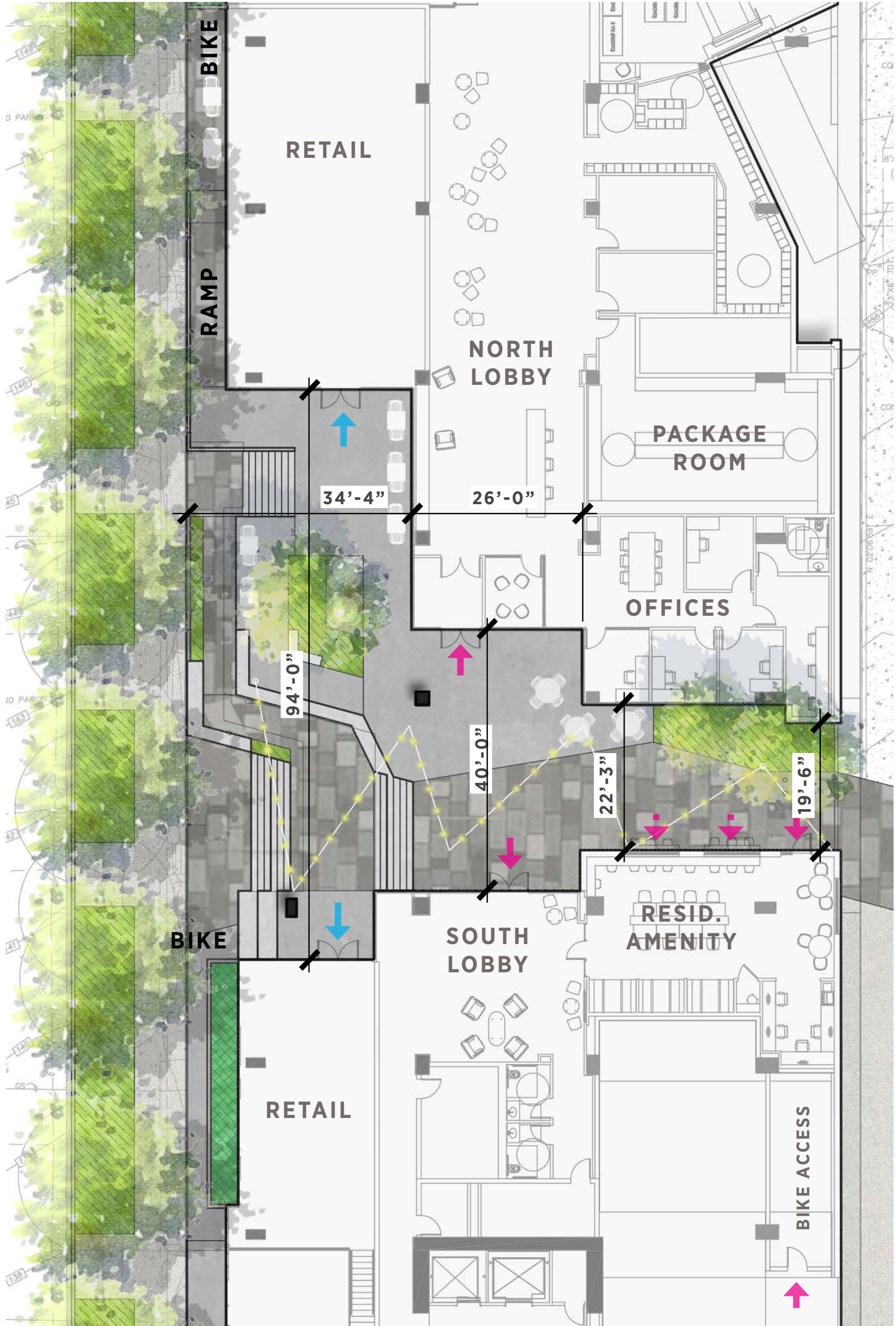
OVERVIEW OF THROUGH BLOCK CONNECTION

B



LOOKING SOUTH INTO THROUGH BLOCK ENTRY

Active edges within the through block corridor provide a dynamic environment as pedestrian filter through the project. The two residential lobbies are opposite each other within the through block connection. Retail entry doors flank the entry into the through block at different elevations. A variety of grade changes, responding the grades of the site, provides vertical transitions and a series of moments of pause and chance encounters. Seating is incorporated with stairs to provide these areas of pause.



ENLARGE THROUGH BLOCK PLAN



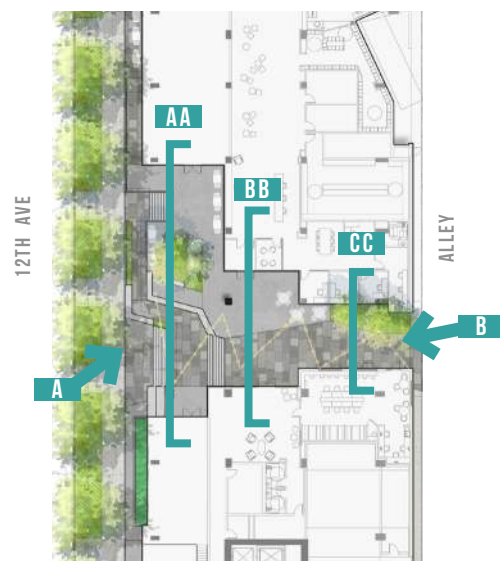
## THEME 4 - THE MID-BLOCK CONNECTION



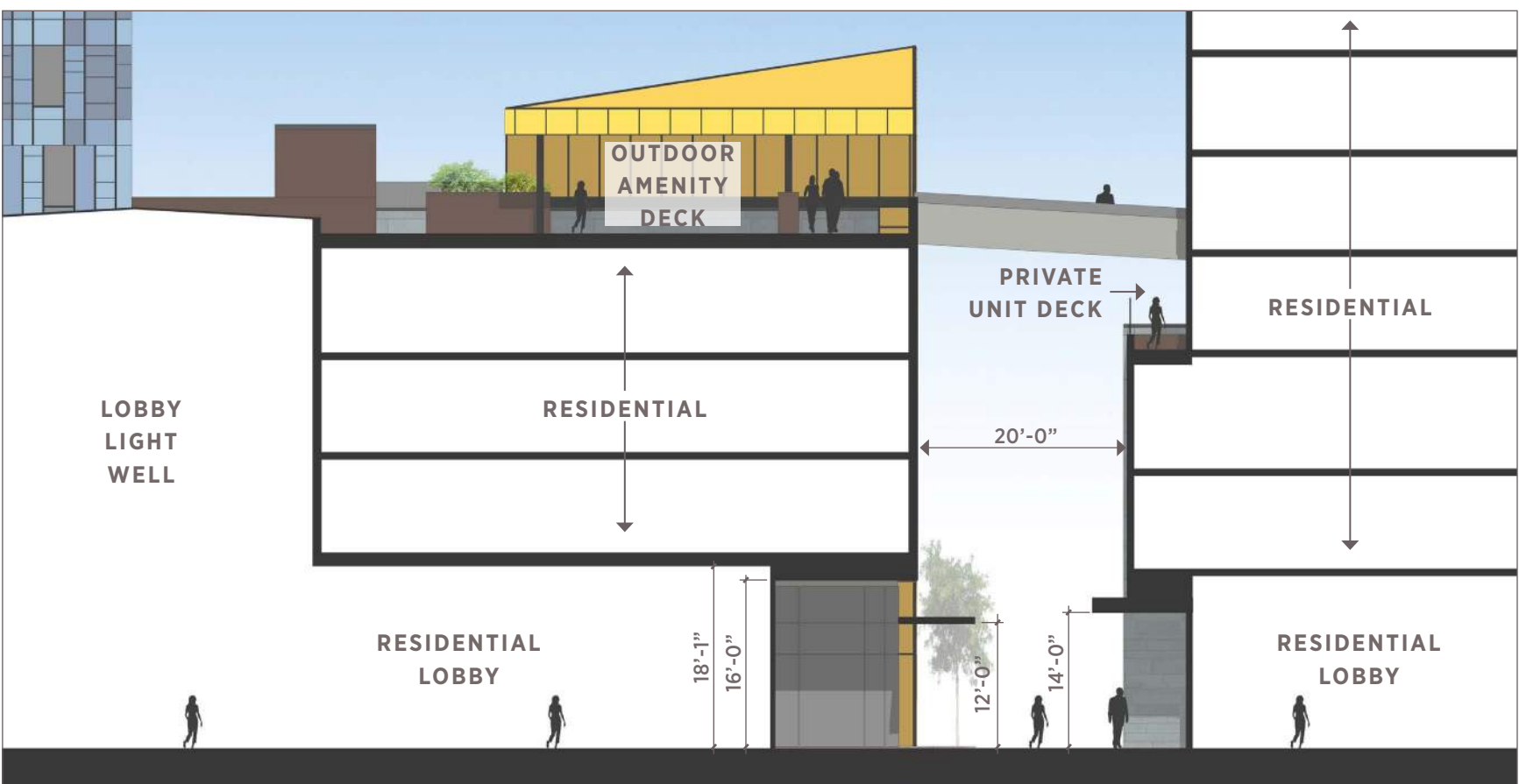
B



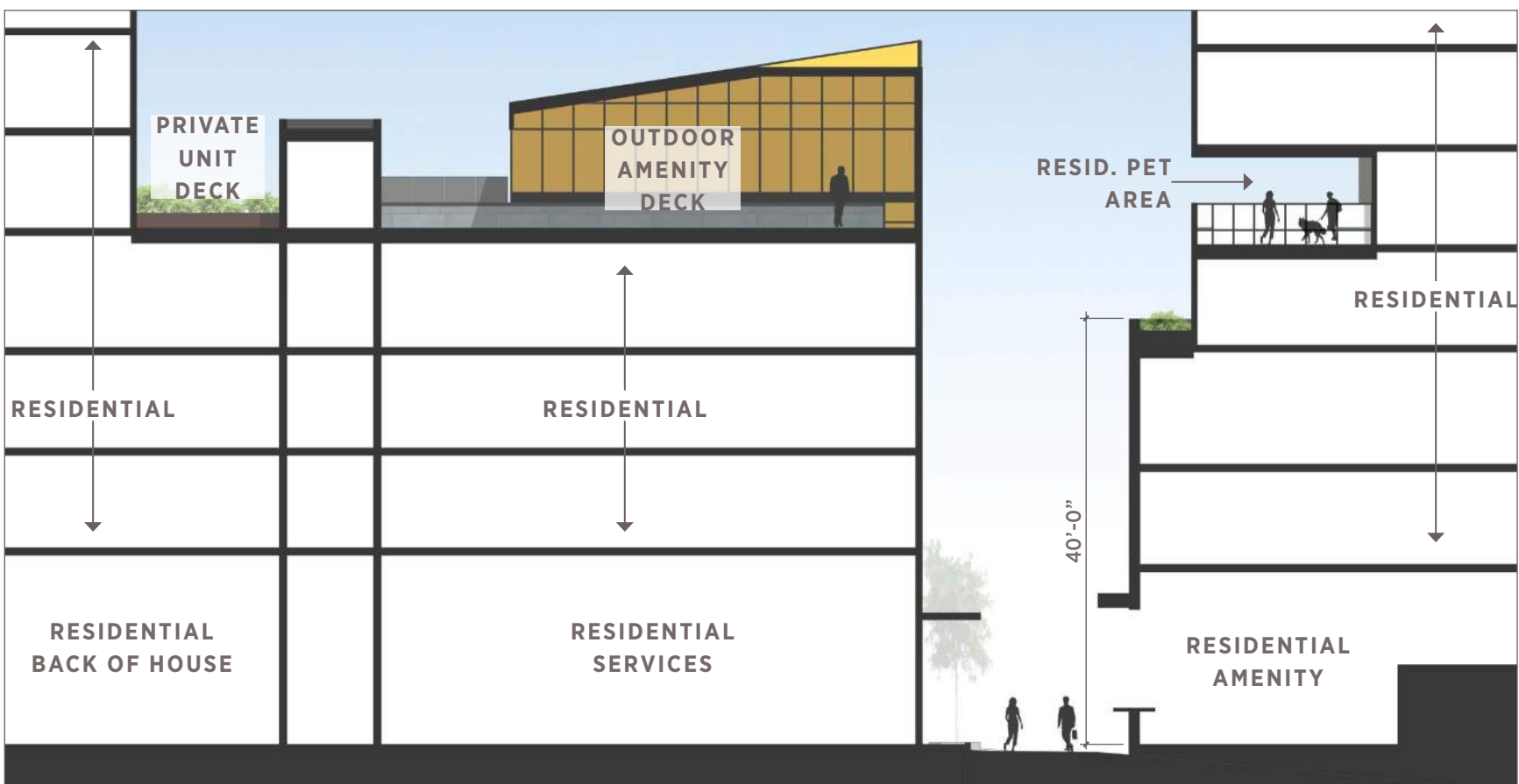
The northern retail space has the opportunity for a sidewalk presence as a walk up window. - a pattern seen in the district. This space also has doors opening towards the through block connection with ample space for outdoor seating directly adjacent to it. The residential amenity towards the middle of the through block connection has direct access through a door as well as two large garage doors with bar height countertops providing active engagement along its edge. Planters intersperse throughout the space providing greenery. Canopies extend through the space providing rain protection to the entries along either side of the through block connection.



SECTION AA



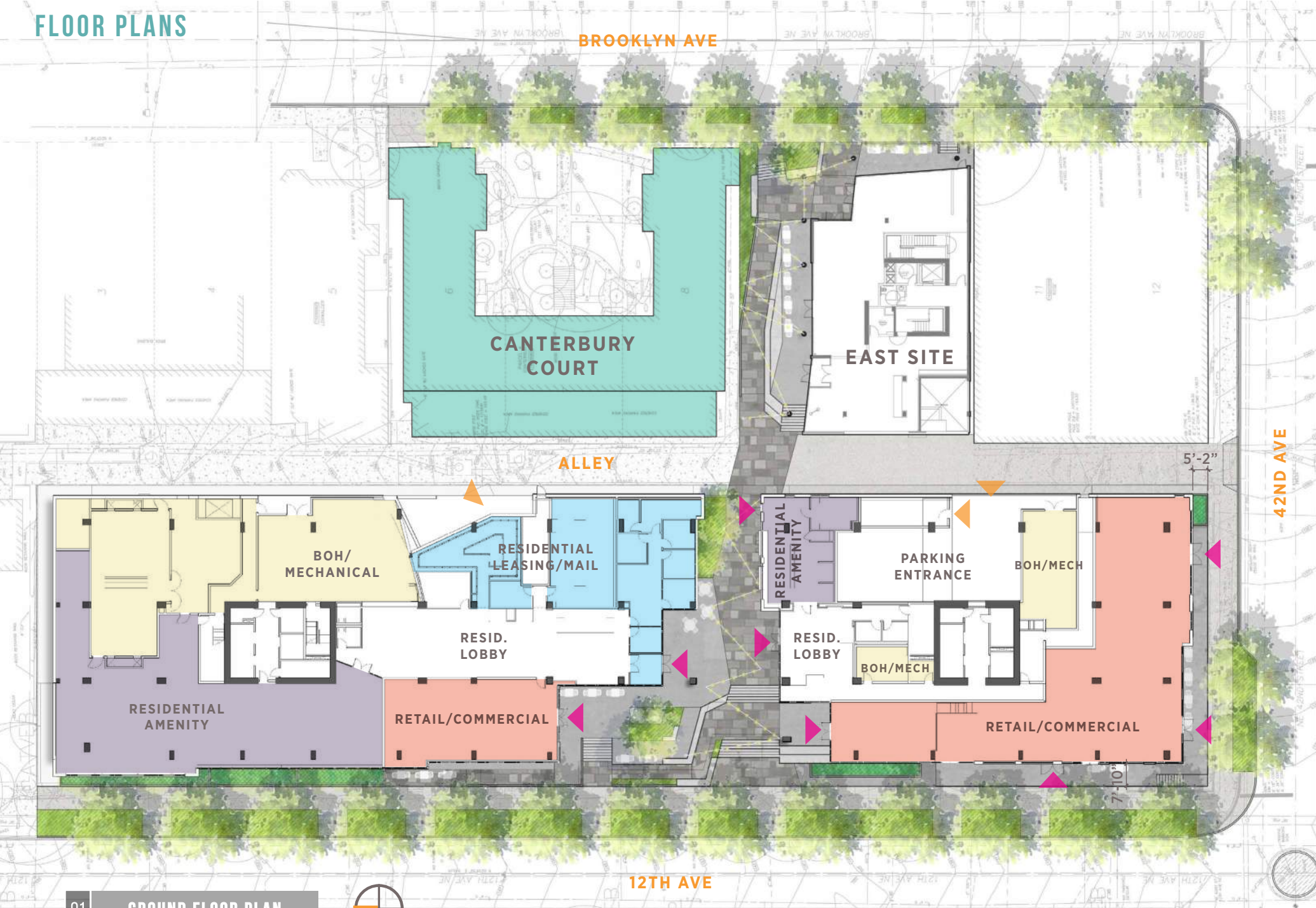
SECTION BB



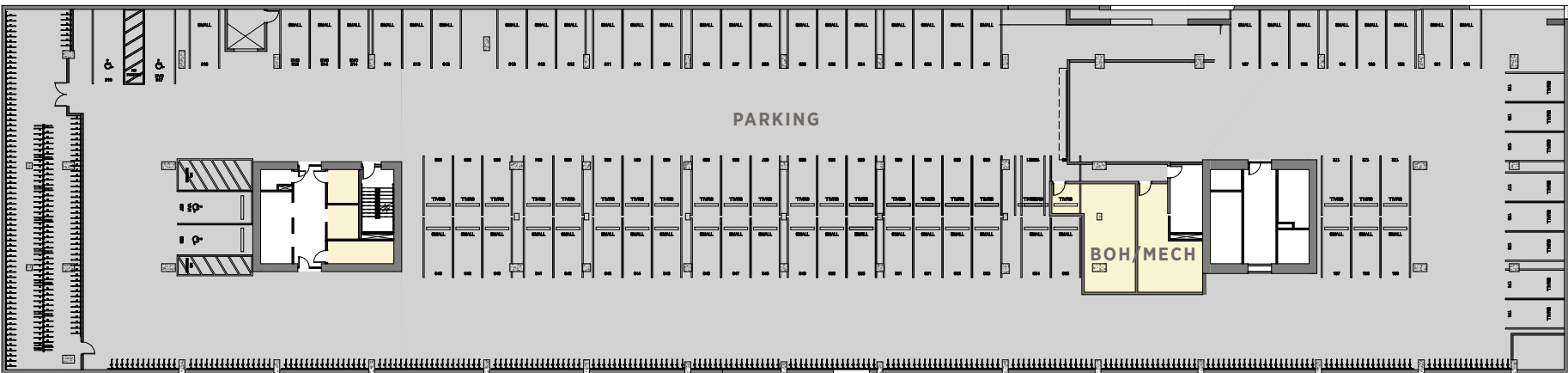
SECTION CC



FLOOR PLANS



01 GROUND FLOOR PLAN

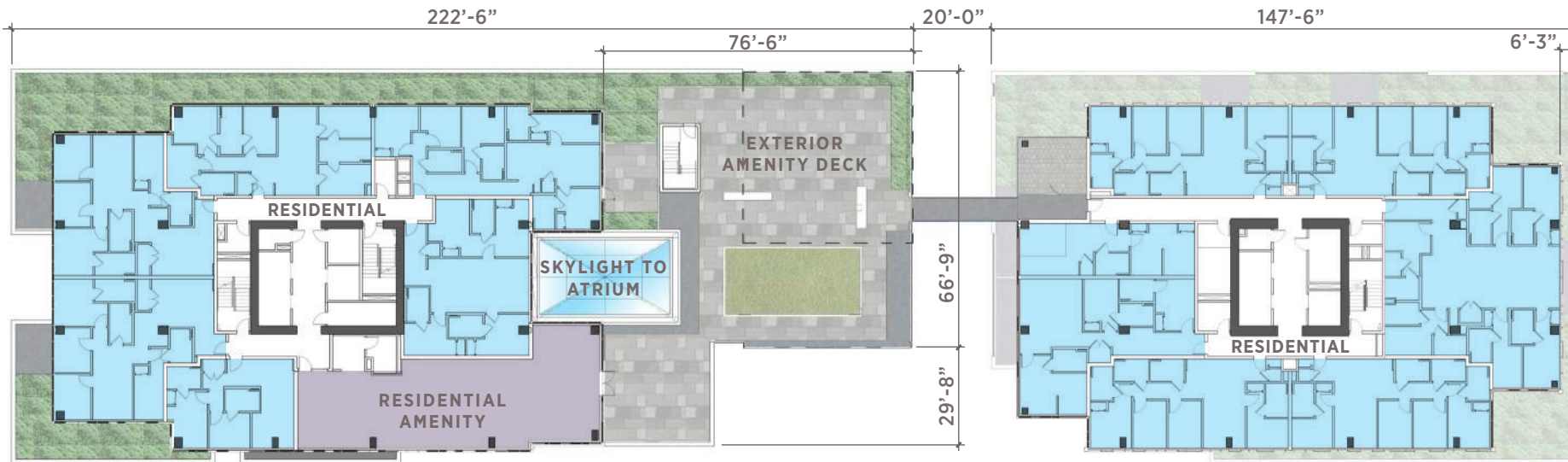


02 LEVEL P1 PARKING PLAN

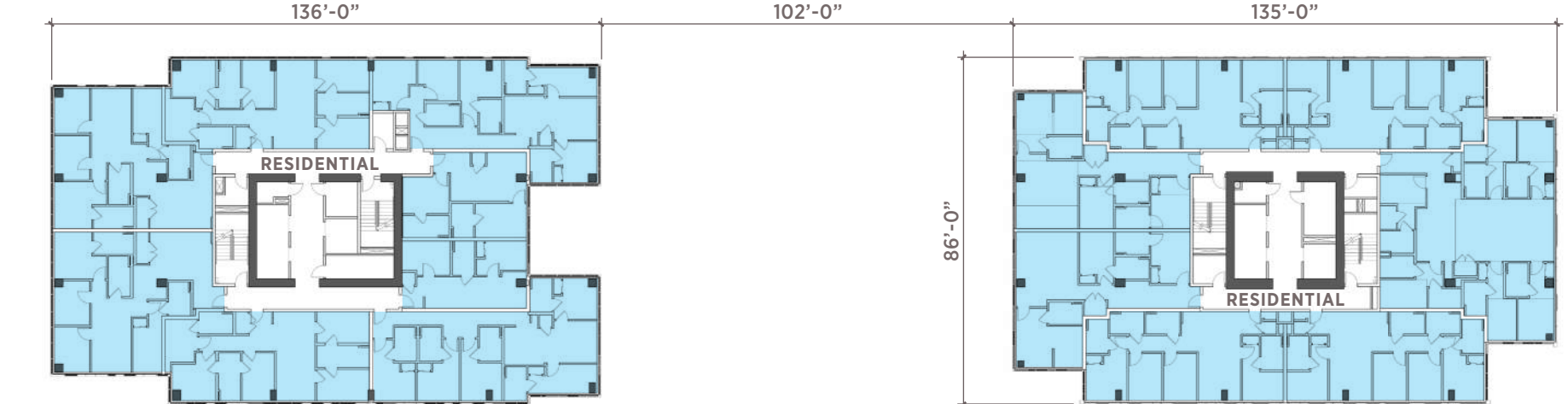
- RETAIL / COMMERCIAL
- PARKING
- RESIDENTIAL
- RESIDENTIAL AMENITY
- BOH / MECHANICAL
- PEDESTRIAN ENTRY
- VEHICLE ENTRY



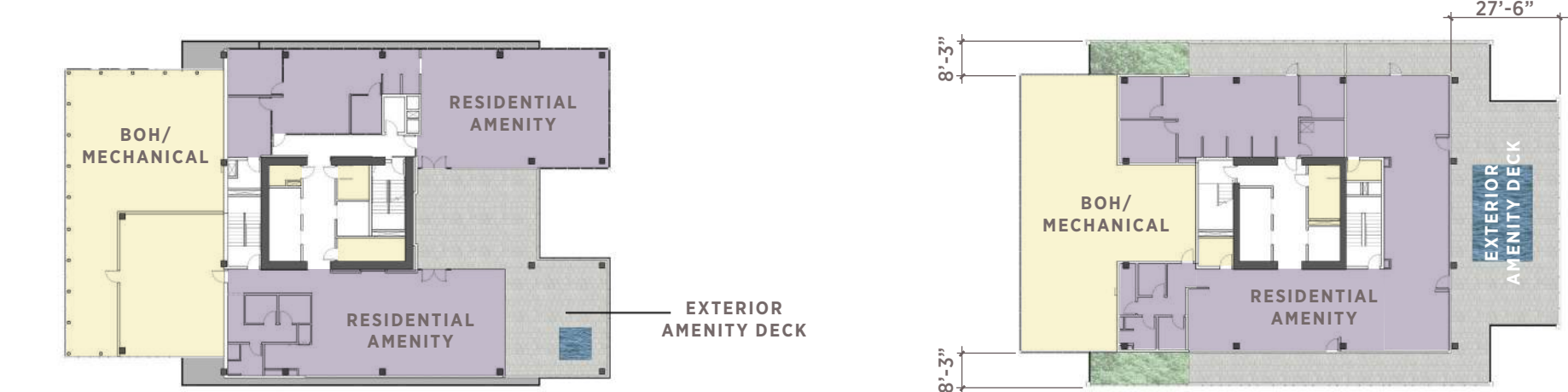
03 LEVEL 3-4 PLAN



04 LEVEL 5 AMENITY FLOOR PLAN

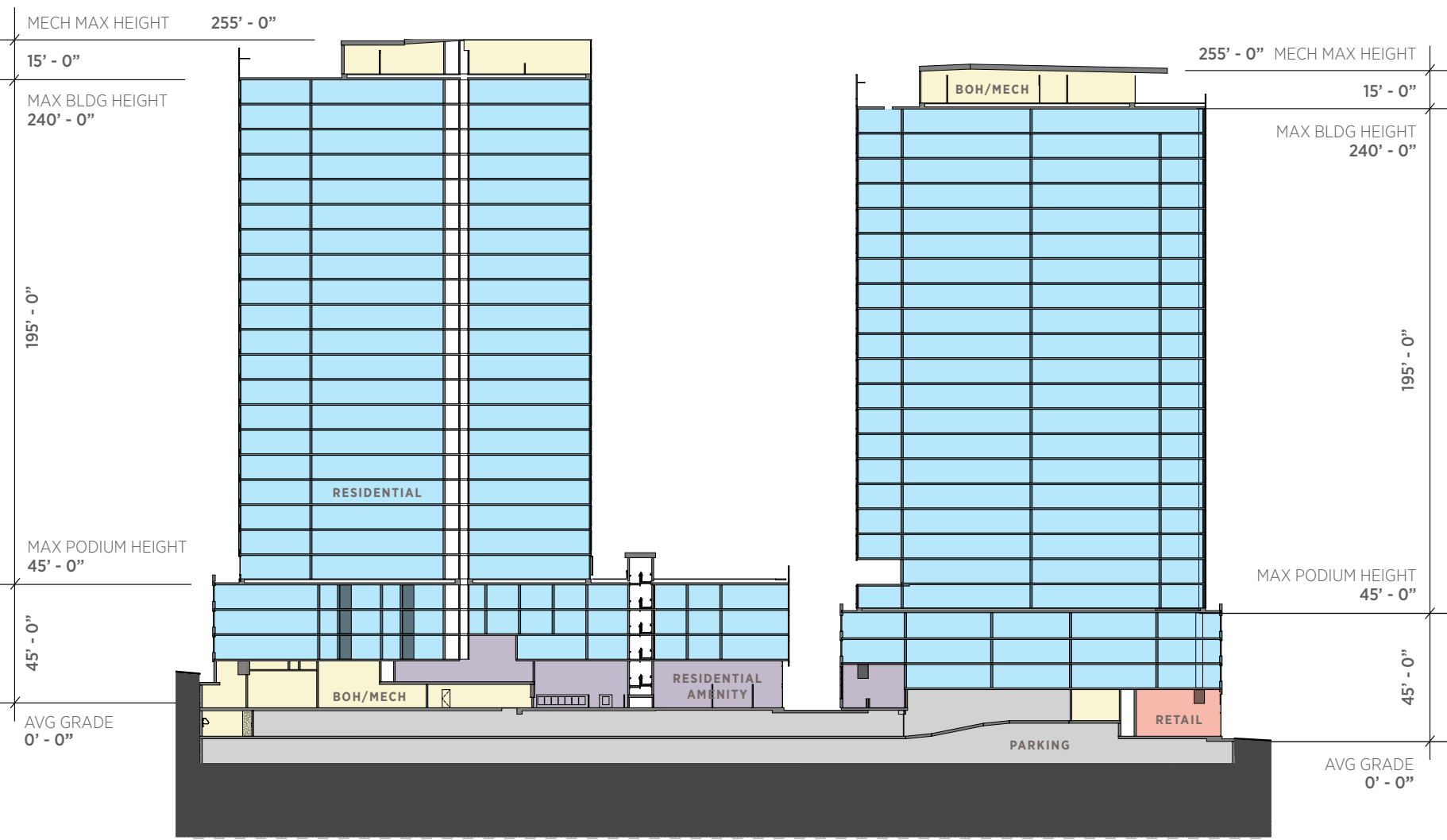
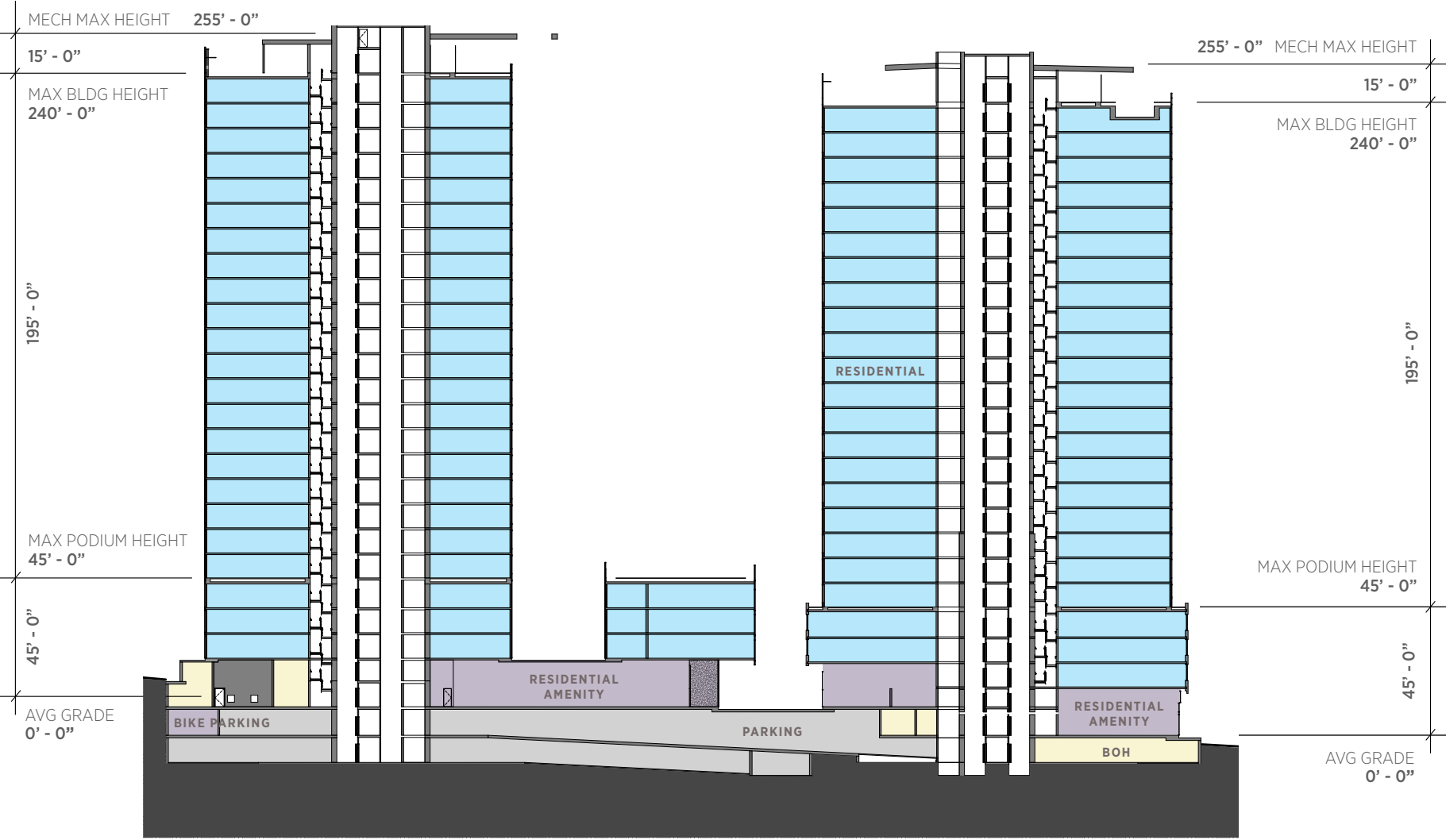


05 LEVEL 7-24 FLOOR PLAN



06 LEVEL 25 FLOOR PLAN







DEPARTURE 1 - MAXIMUM WIDTH

CODE SUMMARY

MAXIMUM WIDTH AND DEPTH LIMITS

SMC 23.48.635

Maximum width and depth limit of above-grade structure = 250'

i. All portions of the same story that are horizontally contiguous, including any portions connected by doorways, ramps, bridges, elevated stairways, and other such devices, shall be included in the measurement of width and depth.

REQUESTED DEPARTURE

A departure is requested to allow for an elevated bridge connecting the two structure that share common residential amenities. The bridge covers approximately 150 sf and is approximately 50' high. This bridge would otherwise connect the two structures into one and would be greater than the maximum allowable width of 250'. Apart from the bridge, the structures themselves are less than 250' wide and meet code.

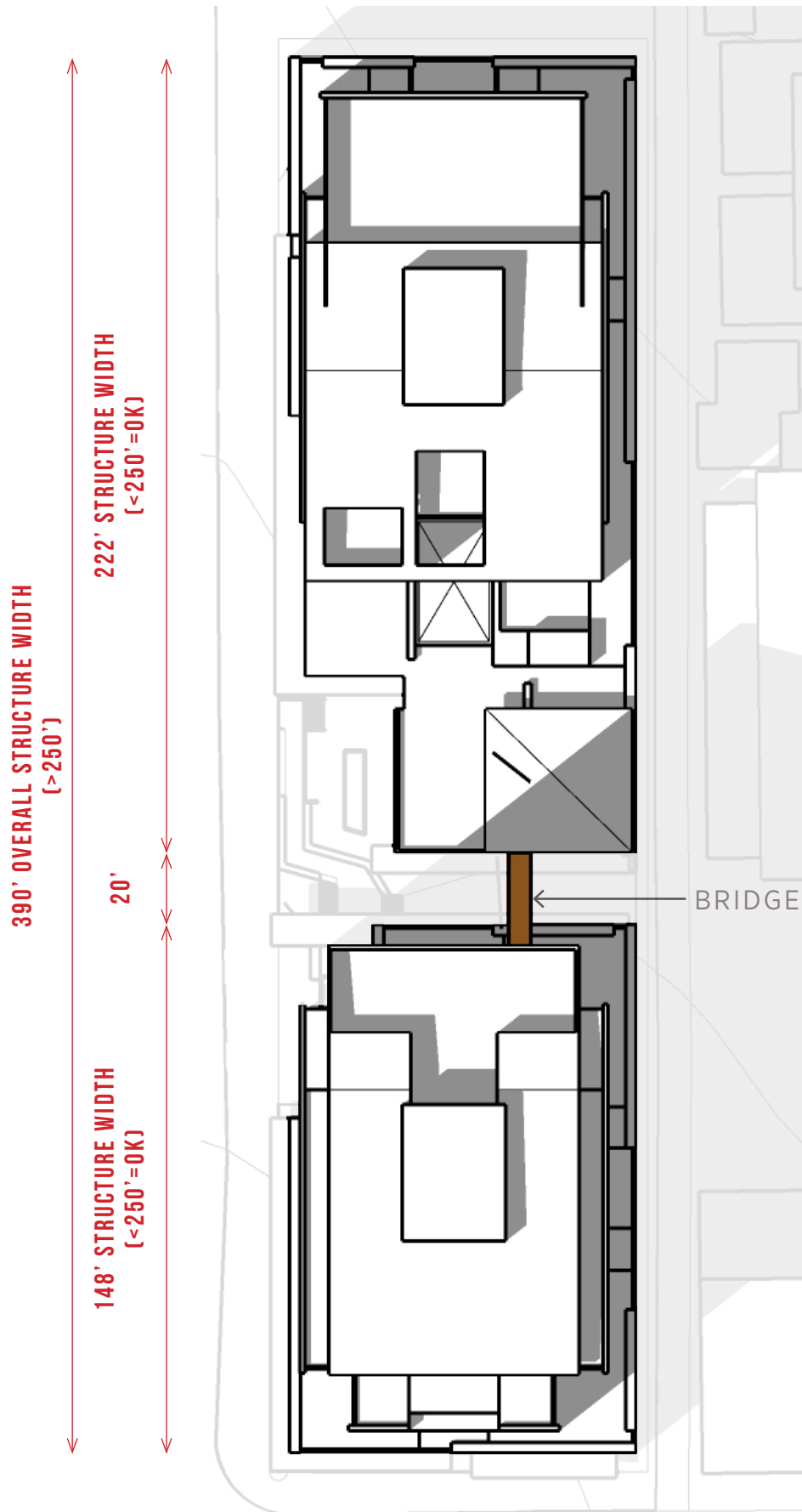
JUSTIFICATION

The bridge connection is set back 65' from the sidewalk along 12th Avenue. The pedestrian visual understanding of the project is that it appears to be two separate buildings for the majority of their experience. It is only when within the through block corridor that this tenuous connection is visually understood. Per code, "The width and depth limit of stories in separate structures or structures on the same lot that abut but are not internally connected shall be measured separately." If these two podiums touched, but did not internally connect, they would be measured separately. The project proposes an exterior connection.

RELEVANT DESIGN GUIDELINES

DC2 - "Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings."

The project looks to develop a visual connection between the two towers. The bridge becomes part of the physical stitching between the two structures showcasing that connection, while



WEST ELEVATION

DEPARTURE 2 - SEPARATION FROM TOWER TO PORTIONS OF PROJECT ABOVE 45'

CODE SUMMARY

UPPER LEVEL DEVELOPMENT STANDARDS IN SM-U ZONES

SMC 23.48.645.E.2

"A minimum separation of 75 feet is required between any highrise portion of a structure and all other portions of the same structure that exceed 45 feet in height, or portions of other structures on the lot that exceed 45 feet in height"

REQUESTED DEPARTURE

A departure is requested to exclude the egress stair overrun, guardrails, and jewel element which are above 45' in height from the separation requirements for high-rise portions of the structure.

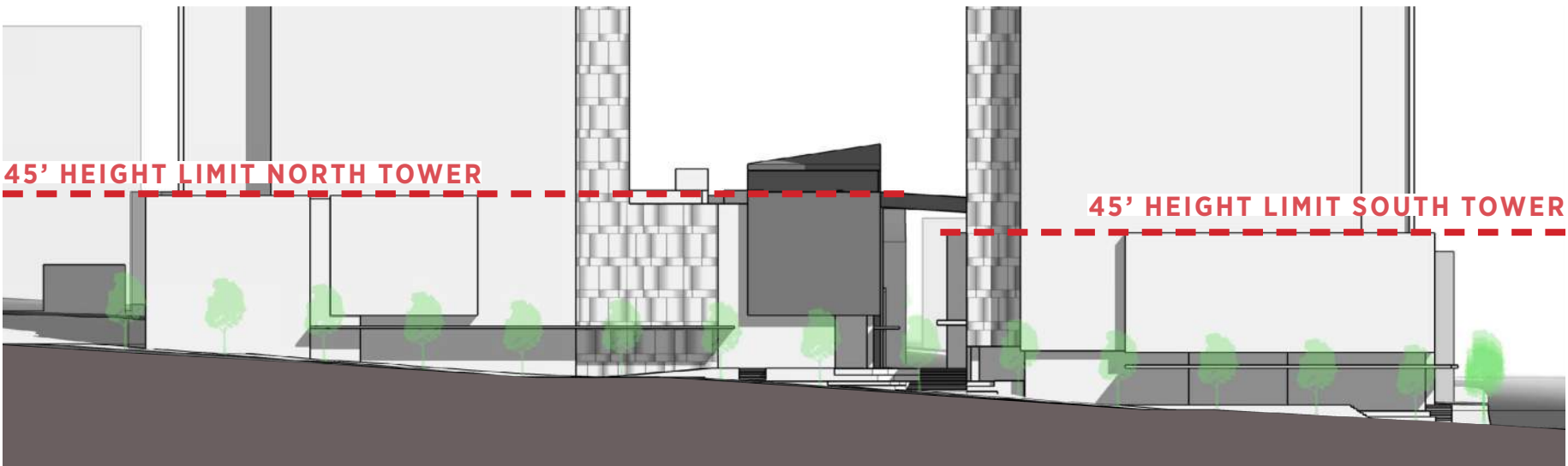
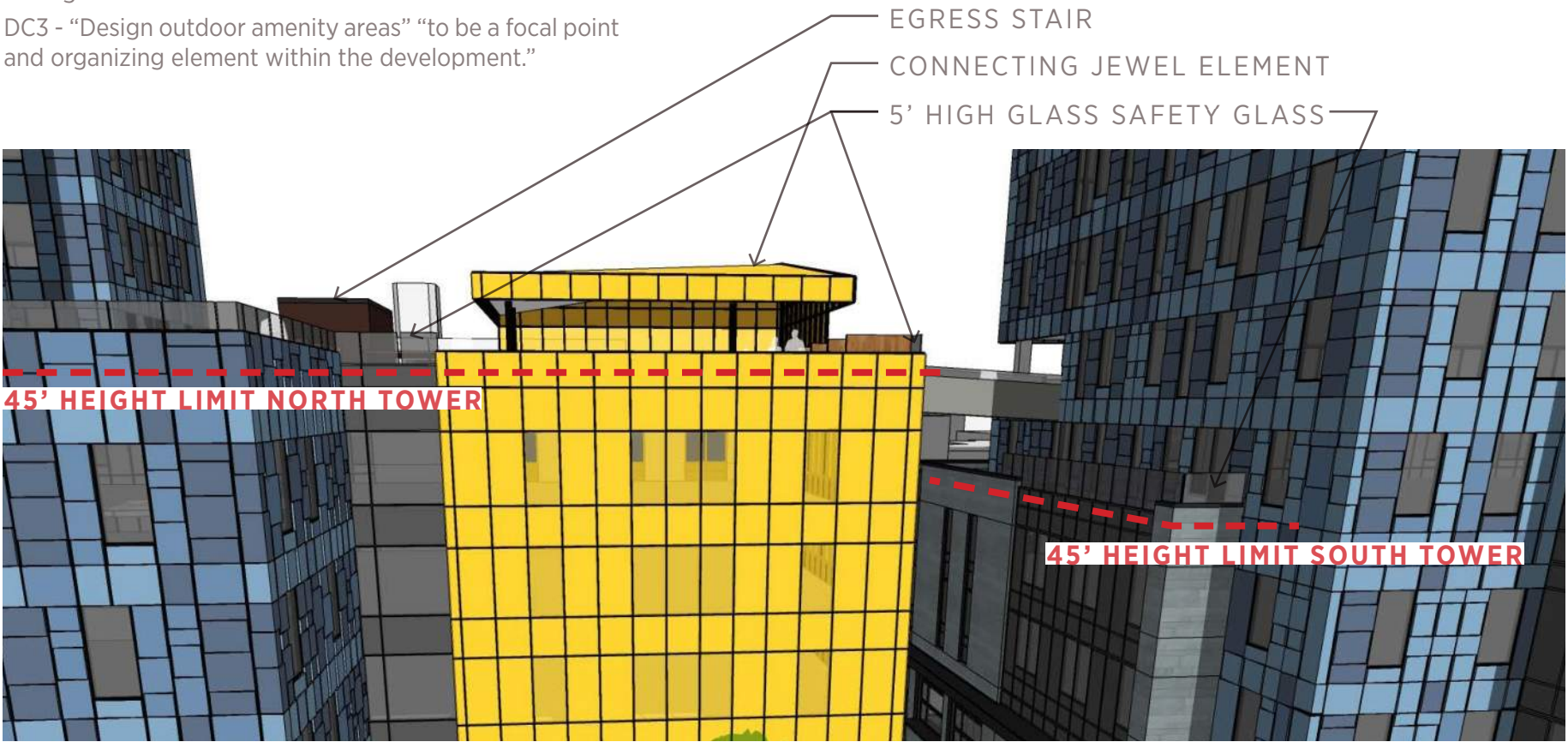
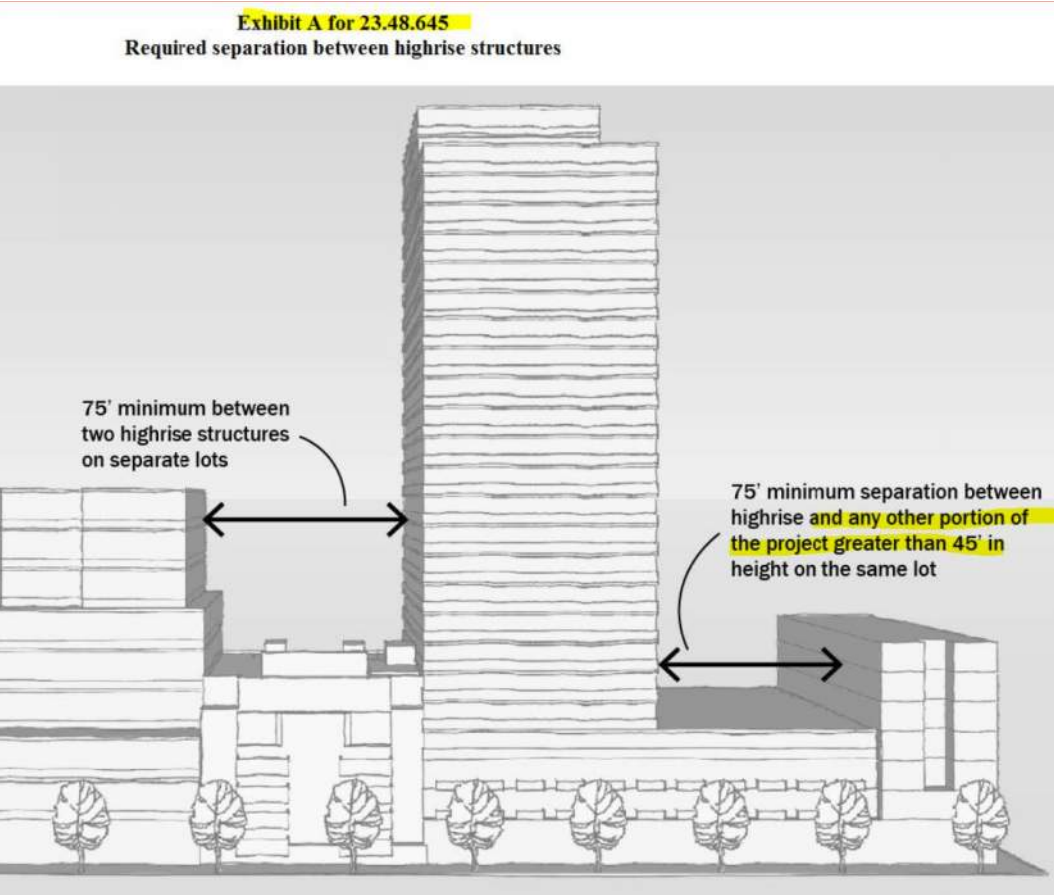
JUSTIFICATION

The project looks to create a variety of heights at the podium roof line. Although a 4' open railing is allowed beyond the 45' height, the design proposes 5' high glass railings to provide protection at outdoor deck areas. The jewel element is seen as a distinctive, eclectic addition to the project providing a unique visual connection between the two structures.

RELEVANT DESIGN GUIDELINES

DC2 - "Embrace contemporary design through distinctive, elegant forms." "provide architectural interest with legible roof lines or the top of the structure that is clearly distinguishable from the facade walls."

DC3 - "Design outdoor amenity areas" "to be a focal point and organizing element within the development."



PARTIAL WEST ELEVATION



DEPARTURE 3 - ROOF AMENITY SETBACK

CODE SUMMARY

**ROOFTOP FEATURES**  
**SMC 23.48.025.C**  
15 feet above maximum height limit, so long as combined coverage of all these features do not exceed 25 percent of the roof area = Solar collectors, stair penthouses, mechanical equipment, atriums, greenhouses, solariums, and covered or **enclosed common amenity areas** for structures exceeding 125' in height.  
Roof coverage of the above features may be increased to 65 percent of roof area provided that all mech equipment is screened and no rooftop features are located closer than 10 feet to roof edge.

REQUESTED DEPARTURE

A departure is requested to allow for an integrated rooftop feature (enclosed common amenity area and mechanical equipment) that does not need to set back 10' from the edge of roof and covers more than 65% of the roof area.  
The north tower has an 82% coverage, and the south tower has a 69% coverage for a combined amenity/mechanically screened area coverage of 75%.

JUSTIFICATION

The rooftop feature for this project is seen as an integrated part of the overall, cohesive design. This project is a dynamic addition to the U-District skyline and the roof form is seen as critical to the success of its place in the district and the city as a whole. By continuing the materials of the towers up to and including the mechanical and amenity areas, the project completes itself more fully, and becomes an extension of the overall look and feel of the project. The integration of the roof feature within the overall look and feel of the project results in a unified design that will fit within the context and provide an elegant transition to the skyline.

RELEVANT DESIGN GUIDELINES

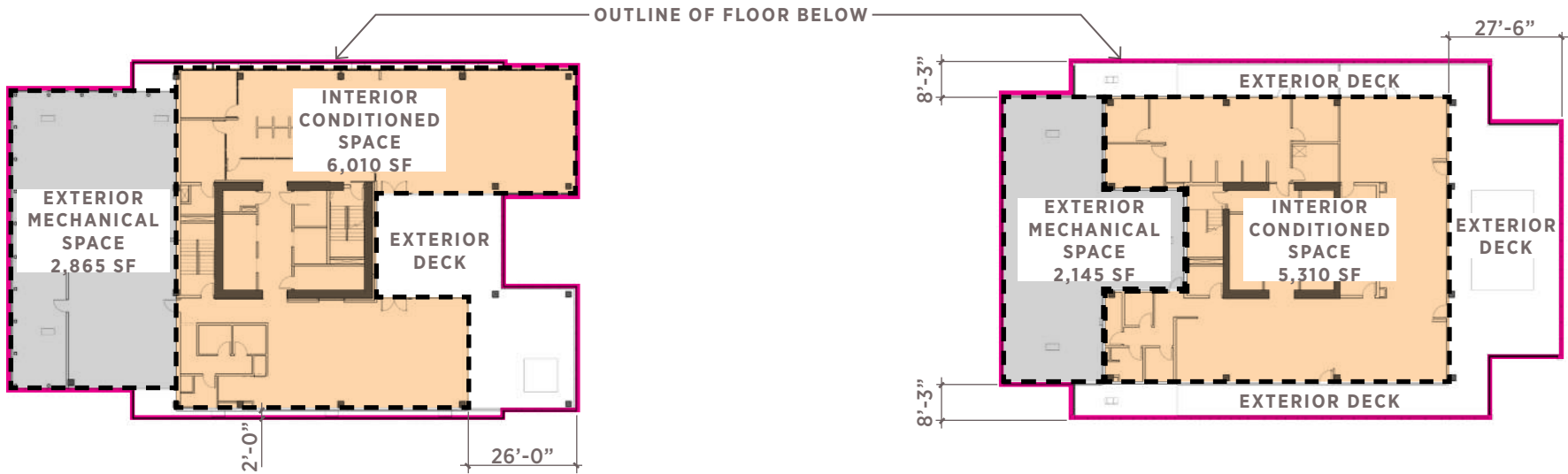
DC2 - “Develop an architectural concept that will result in a unified and functional design that fts well on the site and within its surroundings.”  
DC2 - 6.j. “Transiton to the Sky & Skyline Compositon: Create an intentional, designed terminus to the tall form and enhance the skyline (not a simple fat ‘cut-of’). Integrate all roofop elements and uses into the overall design, including mechanical screens, maintenance equipment, amenity spaces and lightng. Applicants should design and show how the tall buildings will contribute to the overall skyline profile and variety of forms.”



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**NORTH TOWER**  
**ROOF OUTLINE** 10,900 SF  
**COMBINED AMENITY/MECH** 8,875 SF  
**81.4% COVERAGE**

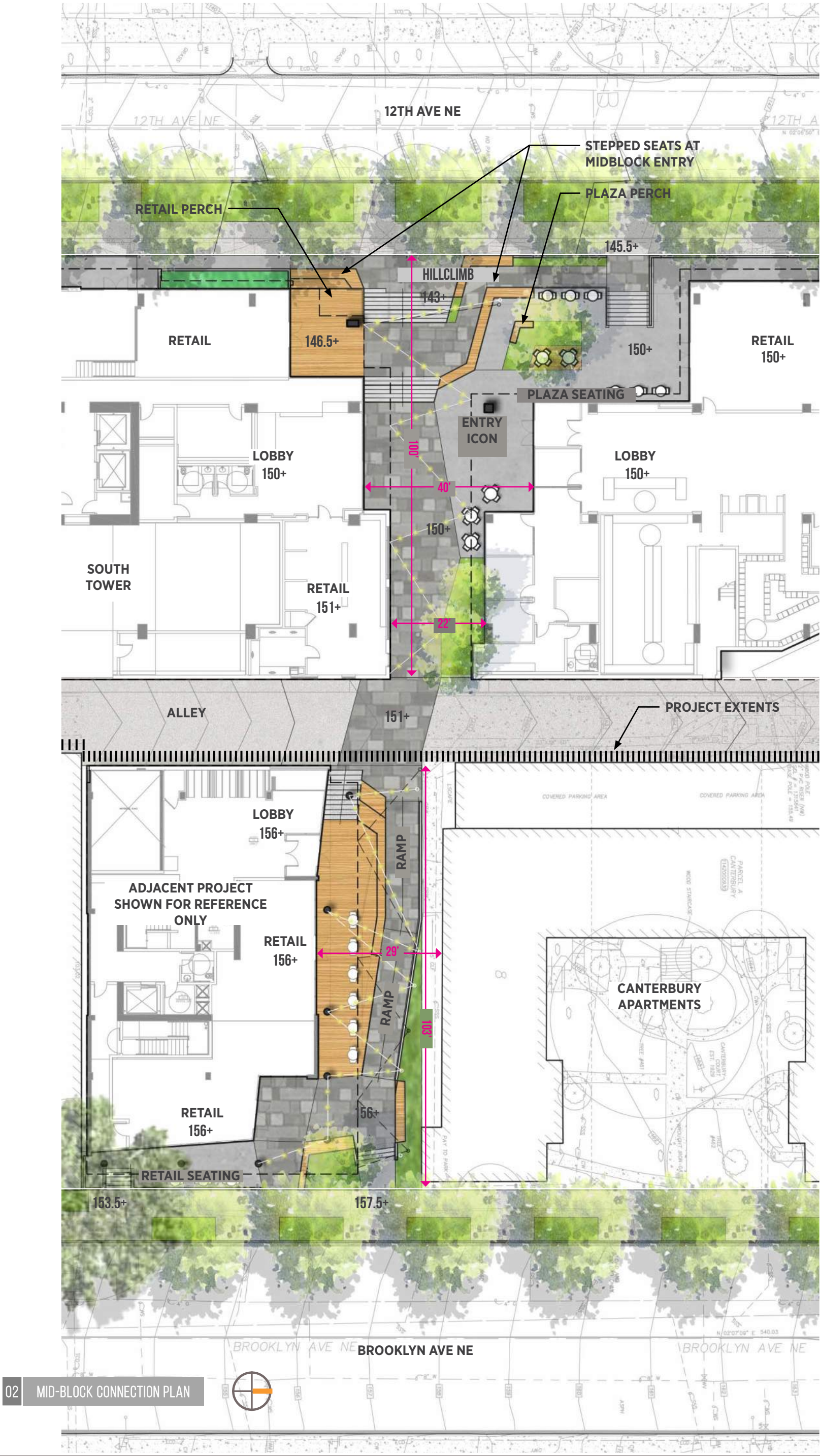
**SOUTH TOWER**  
**ROOF OUTLINE** 10,825 SF  
**COMBINED AMENITY/MECH** 7,455 SF  
**68.9% COVERAGE**













THANK YOU

