



EARLY DESIGN GUIDANCE

5TH AND UNION MIXED-USE

Table of Contents

1 Proposal Summary.....2

2 Summary of Public Outreach.....3

3 Site Plan (Existing).....4

4 Zoning Summary.....5

5 Design Guidelines.....6

6 Urban Design Analysis.....8

7 Architectural Massing Concepts.....24

8 Landscape.....52

9 Departures.....55

1 Proposal Summary

DEVELOPMENT OBJECTIVES

A new mixed-use Hotel, Retail and Residential building will be located at the corner of 5th Avenue and Union Street in downtown Seattle. The building will be a vibrant addition to this key intersection and will take design cues from its surroundings including the immense new Rainier Square Development and the urban patterns of buildings and pedestrian experiences that make up the Downtown Retail Core of Seattle.

- The proposed development consists of the following:
- One 14-story structure of approximately 150,000 sq. ft. above ground
 - 9 stories of hotel with 270 rooms
 - 3 levels of residential with 70 units above the hotel
 - Approximately 24,000 sf of Street-Level Uses facing both 5th Ave and Union Street at Level 1, 2 and Basement. This will include a Restaurant on Level 2 which will be open to the public.
 - Separate lobbies for hotel and residential uses, both off of Union Street
 - No automobile parking
 - Loading space will be accessed through the Alley
 - 1-2 below grade levels for Retail, Utilities, and Back of House spaces

EXISTING LOT INFORMATION

- Address: 1405 & 1409 5th Avenue, Seattle WA. 98101
- Parcel: 1975700281 & 1975700280
- Lot Area: 8,700sf & 5,100sf = 13,800sf total
- Existing Buildings: Two, 2-story buildings currently exist on the lots; Chase Bank and Turgeon Raine, both were determined to be Category 4 Non-contributors historic designations and will not require a Landmark nomination prior to demolition. All existing structures on the site will be demolished
- Topography: The site slopes from approximately +137’ on the lowest NW side in the alley to +143’ on the highest SE side at the corner of 5th and Union (6’ total slope).

ZONE

- DRC 85-170 (Downtown Retail Core)
- Overlay: Commercial Core / Urban Center Village

URBAN DESIGN

- The design of the new building will be shaped by its internal functions and by it response to the following key site factors:
1. A Changing Intersection: Recognizing how the Rainier Tower Block across Union Street will alter the intersection of 5th and Union.
 2. Downtown Urban Patterns: Strengthening and adding to architectural patterns of form and materials found in the vicinity.
 3. The Spirit of the Downtown Retail Core: Making pedestrian-friendly and active lower levels of the building.

2 COMMUNITY OUTREACH

Summary of Public Outreach

The following Comments/Questions were heard at the Open House/Community Meeting on October 4, 2018:

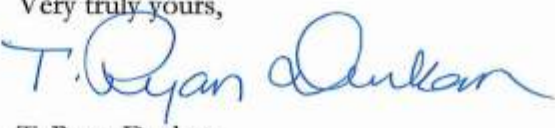
- How tall will the new building be?
14 stories, 160’
- Will it include residential?
Yes, the top three levels.
- What bonus method will be used to get to 170 feet?
Retail Bonus. Buying TDRs
- Will the new hotel abut the Motif Hotel?
Yes, below grade and up to approximately 40’ above the ground the new hotel will be within a foot of the Motif. Above this, the new hotel will be separated by a larger gap, as shown on the floor plans.
- Where will loading occur?
In a loading dock off of the alley.
- Does Masterworks hold its properties or sell?
Long term holders
- Which hotel operator will you choose?
Masterwork’s affiliated management company manages 15+ hotels
- How will we get details later on if the project will include multifamily, height, etc.?
The Early Design Guidance packet will be uploaded to the SDCI website and will be available for downloading after March 13th, 2019. (<http://www.seattle.gov/dpd/aboutus/news/events/DesignReview/Detail/default.aspx?id=7178>)
- What “class” of hotel will it be (four stars, etc)?
It will be upscale to upper upscale hotel.
- Are 1405 and 1409 separate buildings (now)?
Yes, but the lot will be combined into one.
- Is 20K feet of ground level retail too much?
No, because there is a strong retail demand in the area and the retail will be separated between ground and 2nd level. A restaurant is also included in the 20k.

The following is a support letter from the Motif Hotel supporting the project

Dear Crystal:

Our firm represents 1415 5th Avenue, Seattle, LLC, the entity that owns the Motif Hotel (“Motif”). The Motif shares a common property line with the site on which the above-referenced mixed-use project (“Project”) is being developed by Masterworks (“Developer”). The Project is located on lots occupying 1405-1409 5th Avenue. The Project has submitted a partial Early Design Guidance package with three massing studies, and an Early Design Guidance meeting is scheduled for March 19, 2019. This letter is sent to support all three of the massing alternatives for the project with a strong preference for massing alternative 3, the preferred alternative that contains an important voluntary setback from Motif. Please share our comments with the Design Review Board.

In summary, the Developer and Motif have worked hard during the early outreach process to arrive at a design solution that is consistent with the Design Guidelines, while minimizing impacts that the Project would otherwise have. All three of the massing schemes incorporate the setback called for in our agreement. Our client therefore supports all three of the massing schemes, with a strong preference for the preferred massing scheme (massing alternative 3) shown in the Early Design Guidance package. A purpose of the Early Community Outreach process is to understand the Project’s context and hear concerns. An implicit goal is to resolve conflicts, thereby resulting in a better design that responds to those concerns. Here, this goal has been achieved by allowing the property owners to work out mutual setbacks that protect their respective properties, while also promoting the public interest in good design. We encourage you to advance the preferred massing option to the next stage of the design review and master use permit submission.

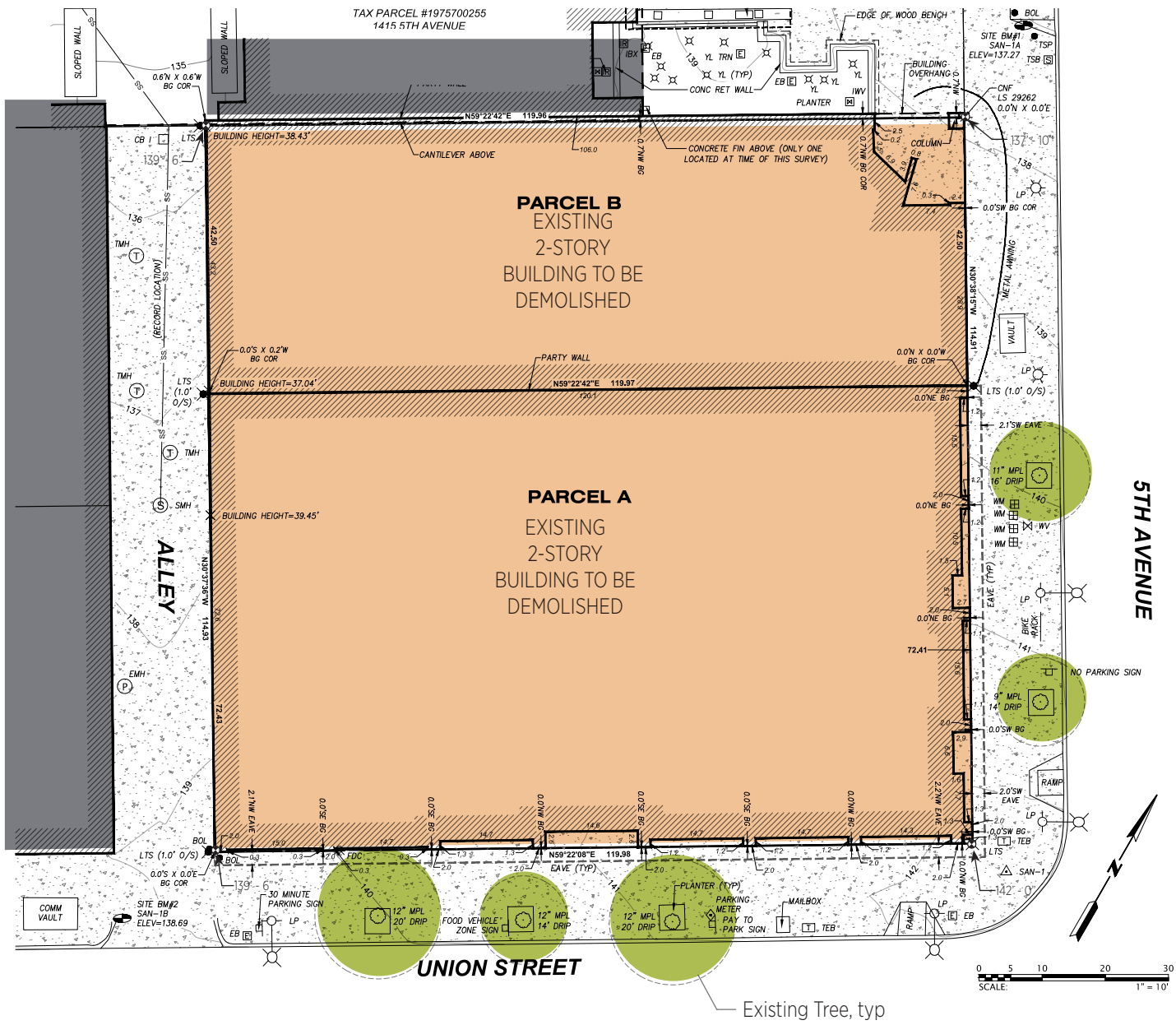
Very truly yours,

T. Ryan Durkan

Public Outreach Impact on the Building Design:
The building massing was pulled away from the Motif Hotel so that the Motif can maintain light into its hotel rooms and as a result, the new proposed building will be allowed to have ground level glass facade for retail space facing the existing plaza in front of Motif, helping to activate it.



3 SITE PLAN (EXISTING)

Survey Plan + Block Plan



4 ZONING SUMMARY

EXISTING LOT INFORMATION

- Address: 1405 & 1409 5th Avenue, Seattle WA. 98101
- Parcel: 1975700281 & 1975700280
- Lot Area: 8,700sf & 5,100sf = 13,800sf total
- Existing Buildings: Two, 2-story buildings currently exist on the lots; Chase Bank and Turgeon Raine. Both were determined to be Category 4 Non-contributors historic designations and will not require a Landmark nomination prior to demolition.
- Topography: The site slopes from approximately +137' on the lowest NW side in the alley to +143' on the highest SE side at the corner of 5th and Union (6' total slope).

ZONE

- DRC 85-170 (Downtown Retail Core)
- Overlay: Commercial Core / Urban Center Village

ALLOWED USES

- Include Retail, Hotel, Residential and Office
 - For Residential Use, Common recreation area equal to 5% of the total gross floor area in residential use is required for more than 20 dwelling units, 50% of which must be outdoors

HEIGHT LIMIT

- Base Height = 85'
- Maximum Height = 170' if any of the following are met:
 - All portion of a structure above 85ft are residential only
 - At least 25 percent of the gross floor area of all structures on a lot is in residential use
 - Min 1.5 FAR dedicated to eating & drinking establishments &/or retail sales and service is provided
- Rooftop Features:
 - Parapets allowed to extend 4' above height limit.
 - Stair Penthouses, Common Rec Areas, Eating & Drinking Establishments, Mechanical Equipment & Mech Screening allowed to extend 15' above height limit.
 - Elevator Penthouses up to 25' above height limit.

FAR

- Base FAR 3, Maximum FAR 6 (Maximum is achieved through payments for childcare, TDR, etc.).
- The following are not included in chargeable floor area: "Street-level Uses" (even if not located at Ground level ie. Restaurant on Level 2), Residential uses, All Floor area below grade
- 3.5% indoor gsf shall be deducted in computing chargeable gross floor area as an allowance for Mechanical Equipment.
 - Mechanical equipment located on the roof of a structure shall not be calculated as part of the total gross floor area of the structure.

DRC STREET FACADE & SETBACKS

- Minimum facade height = 35'
- No setback limits up to an elevation of 15' feet above sidewalk
- Between 15' and 35' above sidewalk grade there shall be no setbacks except for the following:
 - The max setback shall be 10'
 - The total area of the portion of the facade between +15' - +35' at the street property line that is set back more than 2' shall not exceed 40% of the total facade area between +15' - +35'
 - No setback deeper than 2' shall be wider than 20'
 - The facade of the structure shall return to within 2' of the street property line between each setback for a min. of 10'
- Structure setbacks of 15' from the street property line are required for all portions of a building at or above a height 85'

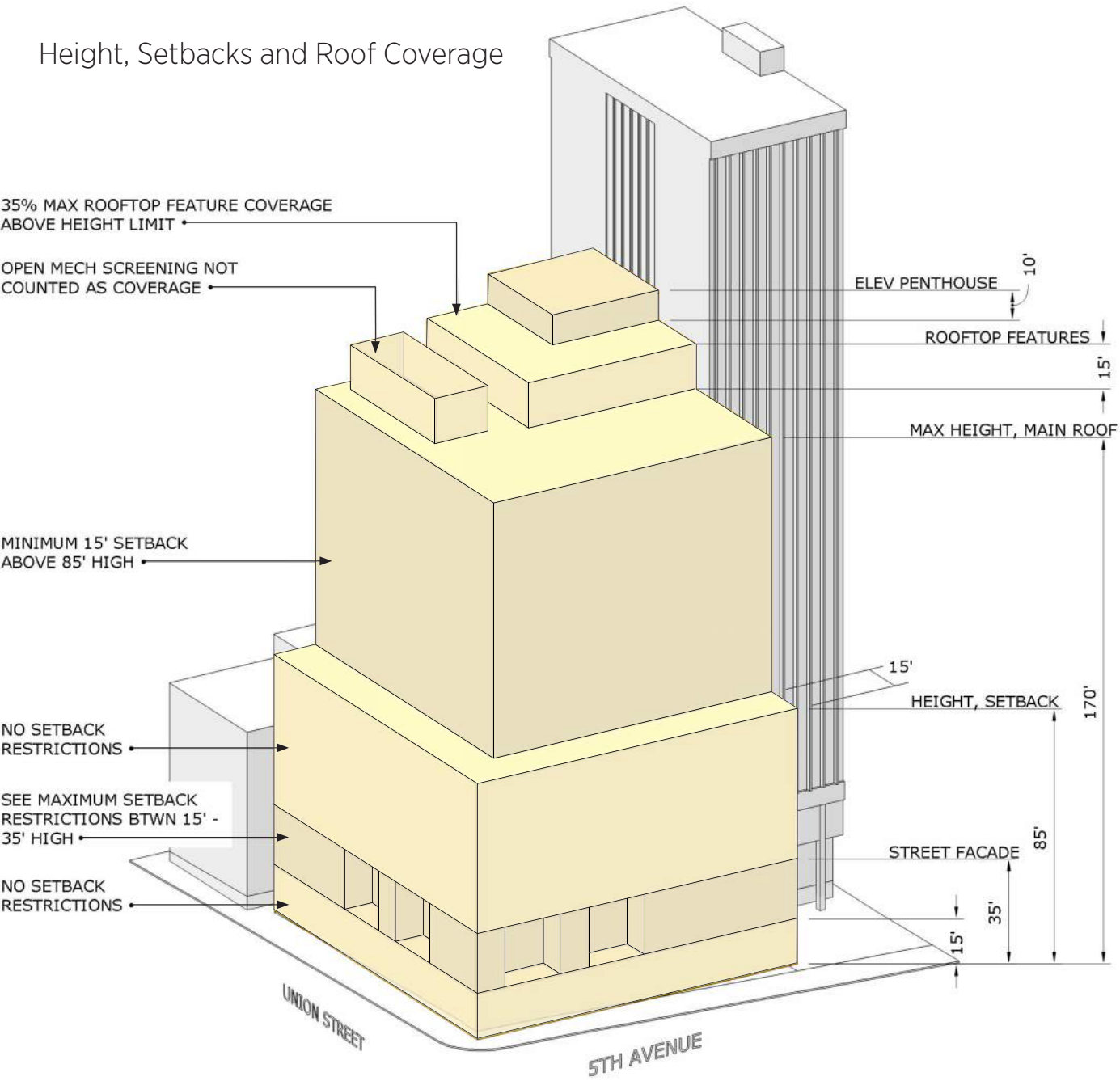
STREET, SIDEWALK & GROUND LEVEL REQUIREMENTS

- One or more of the following uses qualify as required street-level uses, and are required at street level for at least 50% of the Union and 5th Avenue frontages (including): General sales and services; Retail sales, Eating and drinking establishments
- Continuous overhead weather protection shall be required for new development along the entire street frontage except along portions of facade that are located farther than 5' from the property line
- On all streets, min 60% of the street level facade shall be transparent (between 2' and 8').
- Street trees are required on all streets. Trees shall be planted according to SDOT tree planting standards.
- Sidewalk Width: 5th Avenue = 15'. Union street = no requirements
- Alley width= 20' min right of way. A dedication equal to half the difference between the current alley right-of-way width and minimum right-of-way width shall be required (2').

PARKING & LOADING

- No parking, either long-term or short-term, is required for uses on lots in Downtown zones.
- Off-street loading is required as specified in subsection 23.49.019.
- Bicycle parking is required as specified in subsection 23.54.015.K.

Height, Setbacks and Roof Coverage



5

SELECTED DOWNTOWN DESIGN GUIDELINES

The following Guidelines apply to the Preferred Concept:

A - SITE PLANNING AND MASSING

A-1 Respond to the physical environment

Develop an architectural concept and compose the building's massing in response to geographic conditions and patterns of urban form found beyond the immediate context of the building site.

B - ARCHITECTURAL EXPRESSION

B-1 Respond to the neighborhood context.

Develop an architectural concept and compose the major building elements to reinforce desirable urban features existing in the surrounding neighborhood.

B-3 Reinforce Form & Character

Consider the predominant attributes of the immediate neighborhood and reinforce desirable siting patterns, massing arrangements, and streetscape characteristics of nearby development.

B-4 Design a well-proportioned & unified building.

Compose the massing and organize the publicly accessible interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept. Design the architectural elements and finish details to create a unified building, so that all components appear integral to the whole.

RESPONSE

The proposed building is located at the highly active intersection of 5th and Union where a mix of dramatic changes of scales include mid-rise historic buildings across the street from the 850' high Rainier Square tower. The Proposed design's form takes this into consideration by presenting a simple and clear massing concept that will support pedestrian life.

RESPONSE

The proposed building's transparent glass base relates to the active and engaging aspects of the new Rainier Square Tower while the upper portion of the building responds to the solid-wall fenestration patterns seen in the neighborhood.

The building massing scale and form is more similar to the lower-scale buildings of the retail core. The composition of these buildings offers both highly transparent lower levels and punched opening facades at the upper levels.

The proposed small building maintains a clear formal identity as a compact and unbroken form similar to many of the neighboring buildings in the Downtown Retail Core.

5

SELECTED DOWNTOWN DESIGN GUIDELINES

The following Guidelines apply to the Preferred Concept:

C - THE STREETScape

C-1 Promote Pedestrian Interaction.

Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalks-related spaces should be open to the general public and appear safe and welcoming.

C-3 Provide active- - not blank - facades.

Buildings should not have large blank walls facing the street, especially near sidewalks.

RESPONSE

The retail corridor extends into the project offering visual transparency and permeability on the lower levels. The focus of design is on the pedestrian scale and experience to enhance the inside-outside connections. The massing shift on Union Street, allows light to reach the street and a second floor terrace to further activate the street scale.

The project team has worked with the neighboring Motif building to activate the North corner of the building. This collaboration has created opportunity to wrap the glazing around the corner and further promote openness to the adjacent public plaza.

The facade design provides inviting, highly transparent lower levels with a sparkling cube atop which responds to the rhythm of the neighboring buildings, bring a timeless yet contemporary facade to the district. The collaboration with Motif provides the opportunity for glazing and facade treatment on the North wall which would otherwise not be allowed on the property line.

D - PUBLIC AMENITIES

D-1 Provide inviting & usable open space.

Design public open spaces to promote a visually pleasing, safe, and active environment for workers, residents, and visitors. Views and solar access from the principal area of the open space should be emphasized.

D-6 Design for Personal Safety

Design the building and site to enhance the real and perceived feeling of personal safety and security in the immediate area.

RESPONSE

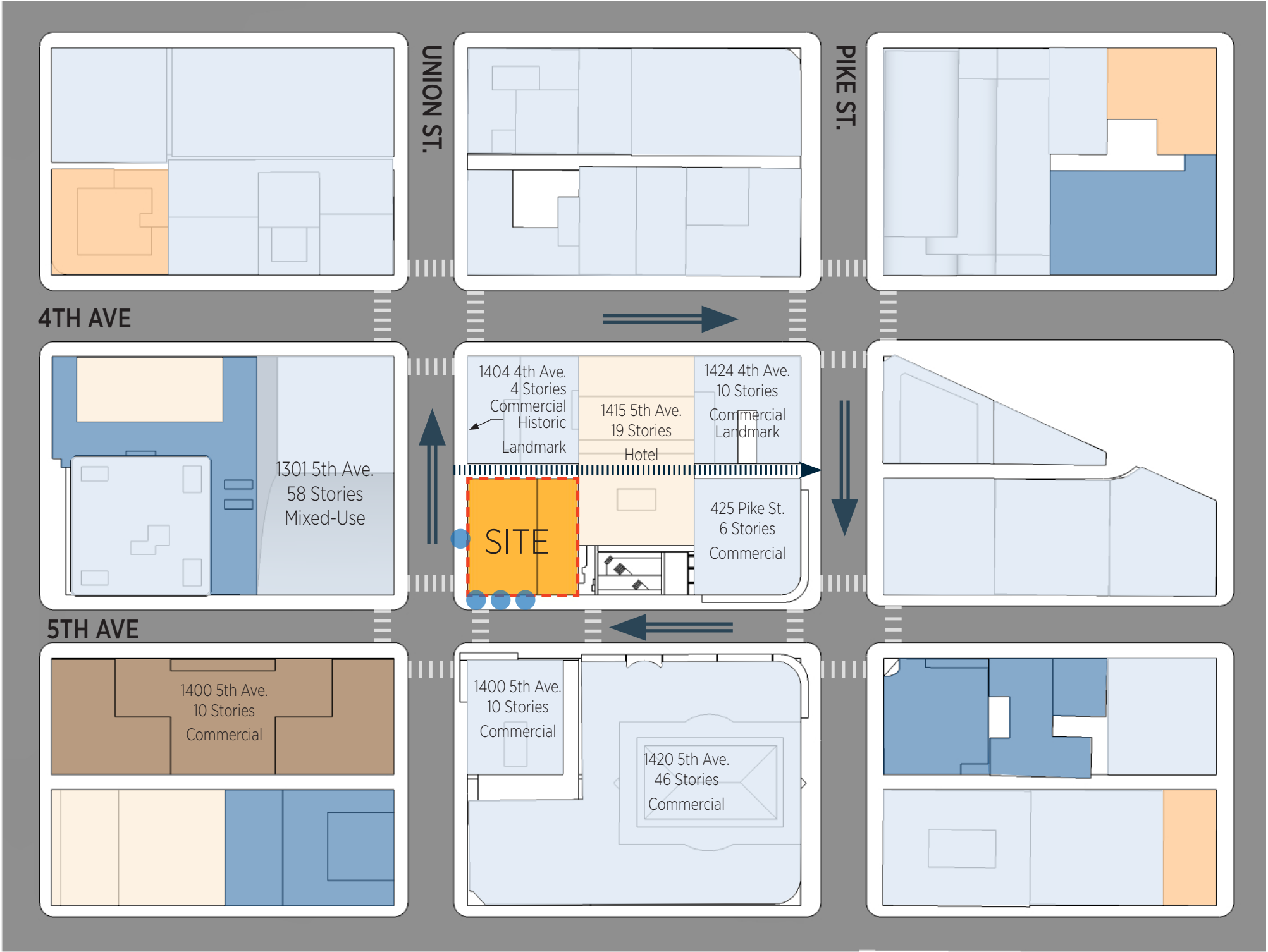
A second story restaurant terrace brings energy and light down to the street, providing an inviting active space near the street level. Prominent retail and hotel entries are meant to enhance the street activation.

The project has been designed to keep all eyes on the street with high degree of transparency and lighting at the street. Pedestrian comfort and safety will be promoted with reinforced building entries, clear signage, and no proposed curb cuts.

6 URBAN DESIGN ANALYSIS

Block Plan Analysis (Existing)

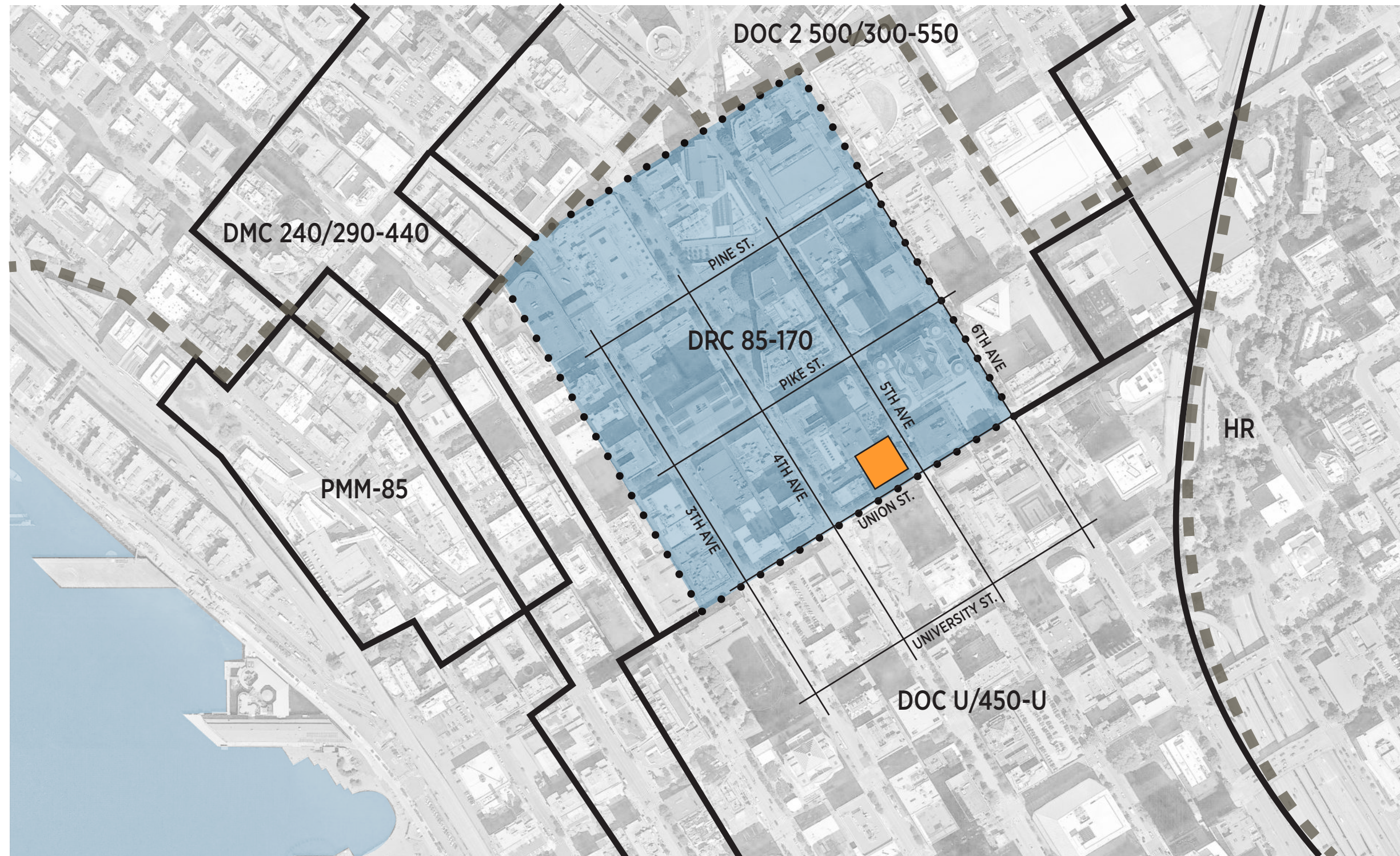
BUILDING USES & SITE ACCESS



- HOTEL
- OFFICE (RETAIL AT GROUND FLOOR)
- RESIDENTIAL
- RETAIL (SERVICE, RESTAURANT, HEALTH CLUB)
- CULTURAL (CHURCH, THEATER)
- PEDESTRIAN ACCESS (PRIMARY)
- PEDESTRIAN ACCESS (SECONDARY)
- CROSSWALK
- DIRECTION OF TRAFFIC
- VEHICULAR ACCESS (E)
- SITE BOUNDARY

6 URBAN DESIGN ANALYSIS (GREATER VICINITY)

Zoning Boundaries



 DRC ZONE BOUNDARY

 PROJECT SITE

 COMMERCIAL CORE URBAN CTR
BOUNDARY

Observation

The site at 5th and Union is in the middle of the Commercial Core Urban Center and on the edge of the Downtown Retail Core and across the street from the much taller Downtown Office Core.

6 URBAN DESIGN ANALYSIS (GREATER VICINITY)

Public Destinations



- ● ● ● DRC ZONE BOUNDARY
- PROJECT SITE
- COMMUNITY LANDMARK

Observation

The project site is part of an important pedestrian neighborhood and is surrounded by many shopping and other community destinations.

6 URBAN DESIGN ANALYSIS (GREATER VICINITY)

Transit Streets and Sidewalk Width Requirements



- ● ● ● DRC ZONE BOUNDARY
- PROJECT SITE
- PRINCIPAL ARTERIAL STREET
- MINOR ARTERIAL STREET
- PRINCIPAL TRANSIT STREET
- 18' WIDE SIDEWALK
- 15' WIDE SIDEWALK
- 12' WIDE SIDEWALK

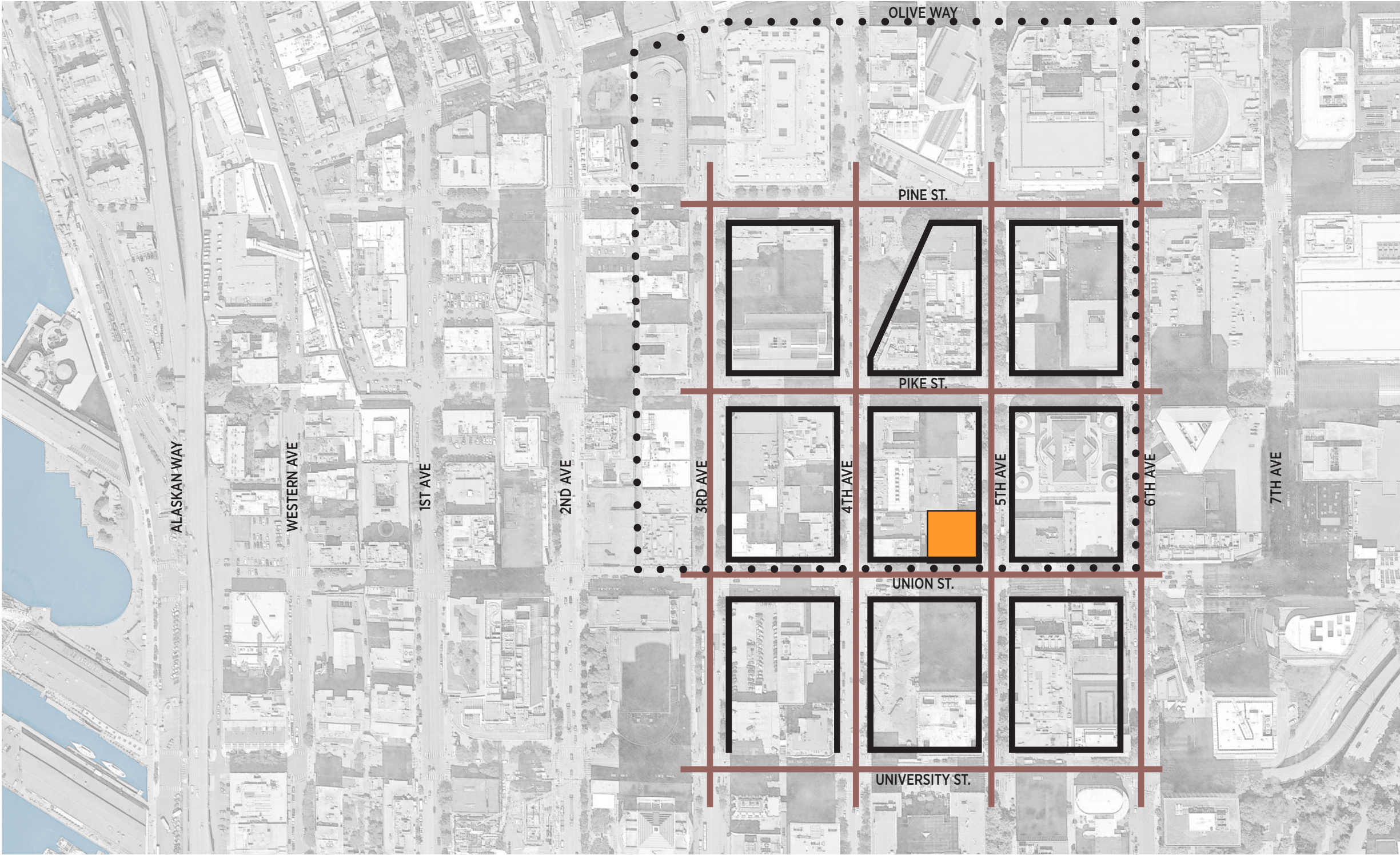
Observation

5th requires a wider sidewalk than Union (the existing sidewalks comply with requirements) while Union is seen as a more Principal Arterial than 5th.



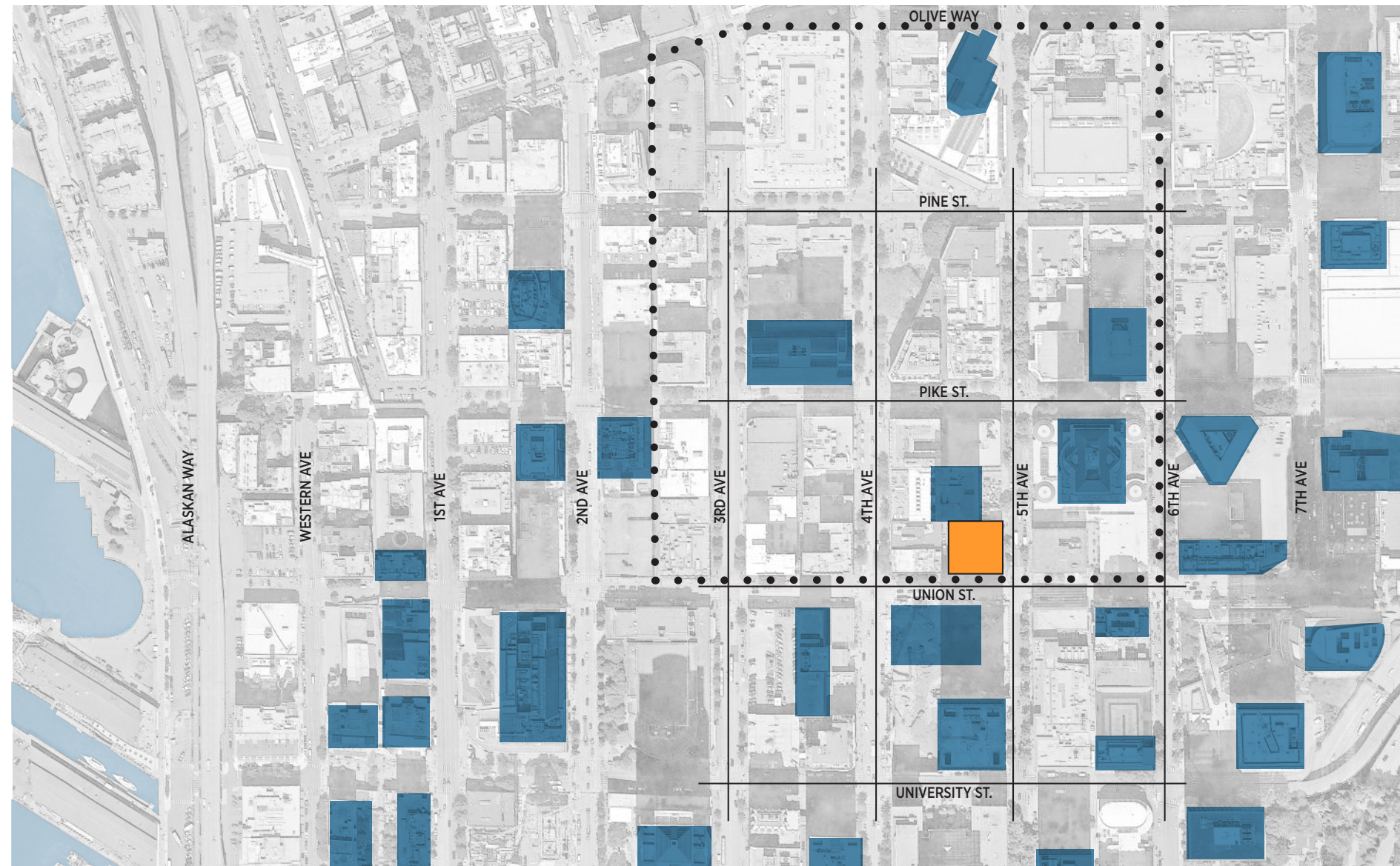
6 URBAN DESIGN ANALYSIS (GREATER VICINITY)

Street Level Use Requirements



6 URBAN DESIGN ANALYSIS (GREATER VICINITY)

Adjacent Tall Buildings



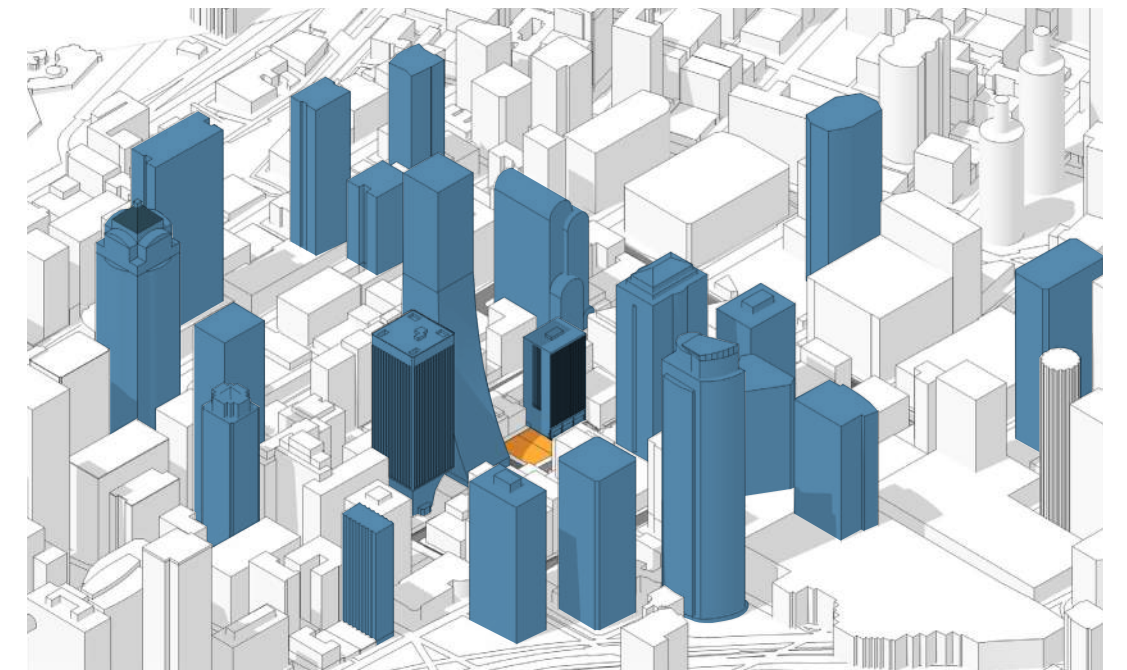
• • • • DRC ZONE BOUNDARY

PROJECT SITE

HIGH-RISES TALLER THAN DRC HEIGHT LIMIT OF 170'

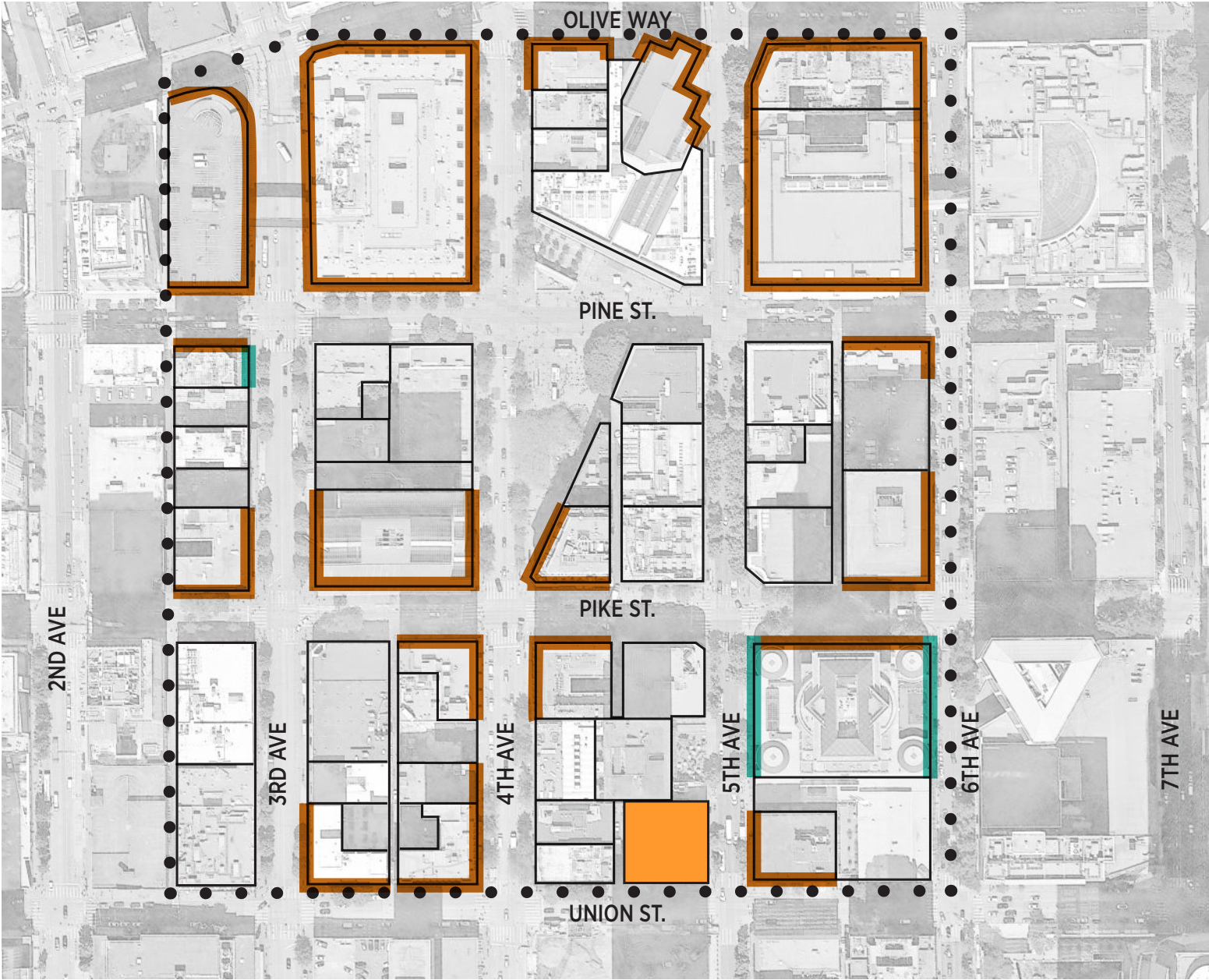
Observations

- The 5th and Union site is surrounded by much taller buildings so the project will not have a strong impact on the skyline or on shadows at ground level.
- Existing tall buildings seem to be scattered around a fairly even spacing without a strongly-discernible pattern or boundary.
- There are five modern high-rises in the DRC zone which are much taller than the 170' max height for the zone.

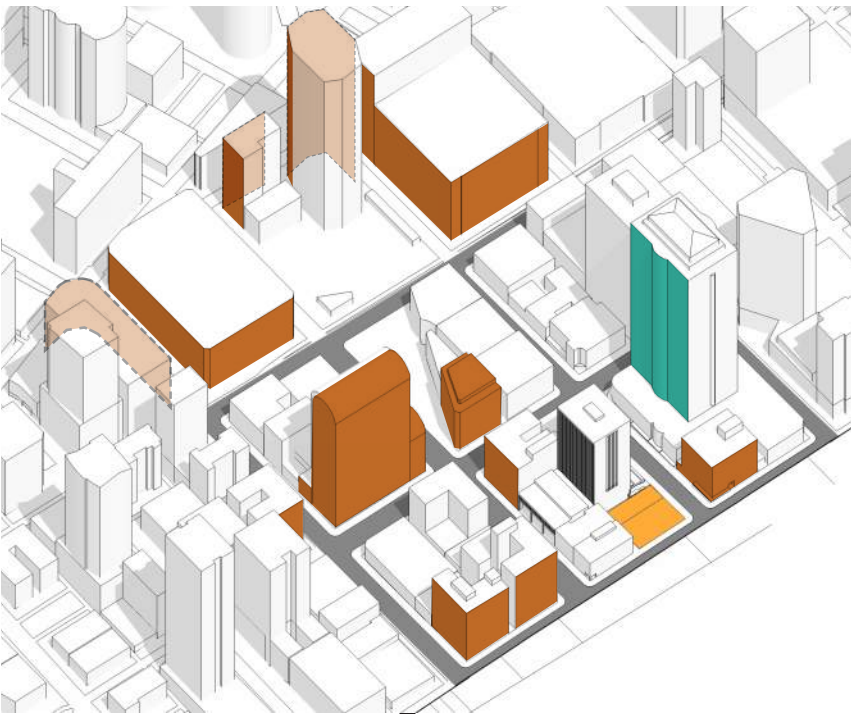


6 URBAN DESIGN ANALYSIS (GREATER VICINITY)

Buildings without Setbacks in the DRC



- • • • DRC ZONE BOUNDARY
 - PROJECT SITE
 - STREET FACADES HIGHER THAN 85' THAT HAVE A SETBACK AT OR BELOW + 85'
 - STREET FACADES HIGHER THAN 85' THAT DO NOT HAVE A SETBACK AT OR BELOW + 85'
 - BUILDING OUTLINES AND STREET FACADES LOWER THAN + 85'
- *DRC code requires structure setbacks of 15' from the street property line for all portions of a building at or above a



Observations

Only two buildings in the DRC zone are taller than 85' and have a 15' setback - and those two buildings only have the setback on one street facade, and not the other - so there are no existing buildings which completely comply with the code requirement. Assuming that the intent of the requirement is to enhance the pedestrian experience, there may be other measures to achieve the goal.

6 URBAN DESIGN ANALYSIS

Buildings without Setbacks in the DRC



Westlake Tower (+338')



520 Pike (+367')



1411 4th Ave. (+170')



Nordstrom (+150')



1501 4th Ave. (+380')

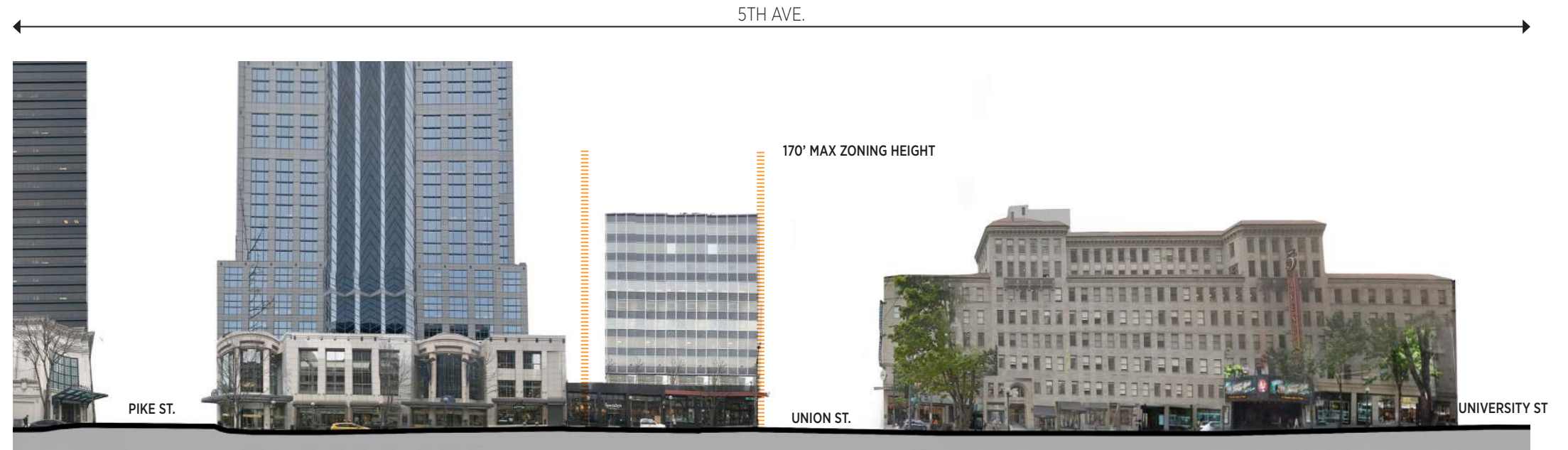


Motif Hotel (+360')

Multiple buildings within the DRC zone do not have setbacks above 85' per DRC Zoning Code. This is true across both historic buildings (such as 1411 4th Ave. constructed in 1928) and contemporary buildings (such as Westlake Tower, constructed in 1989).

6 URBAN DESIGN ANALYSIS

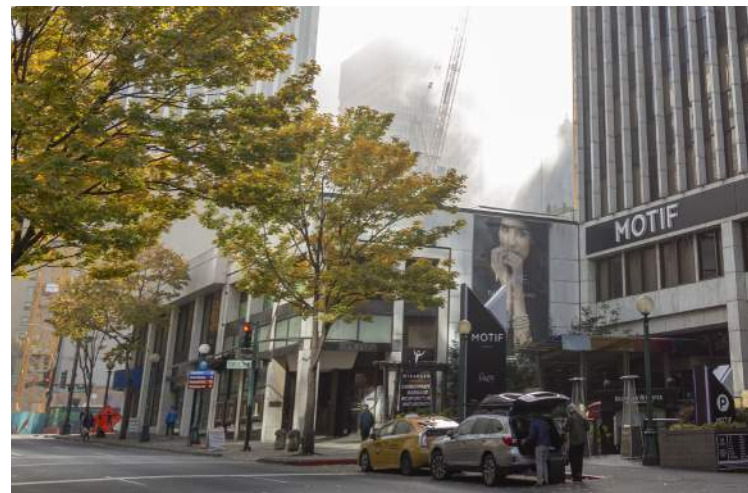
Streetscape Photo Montage



Elevation A-A, 5th Avenue, looking East

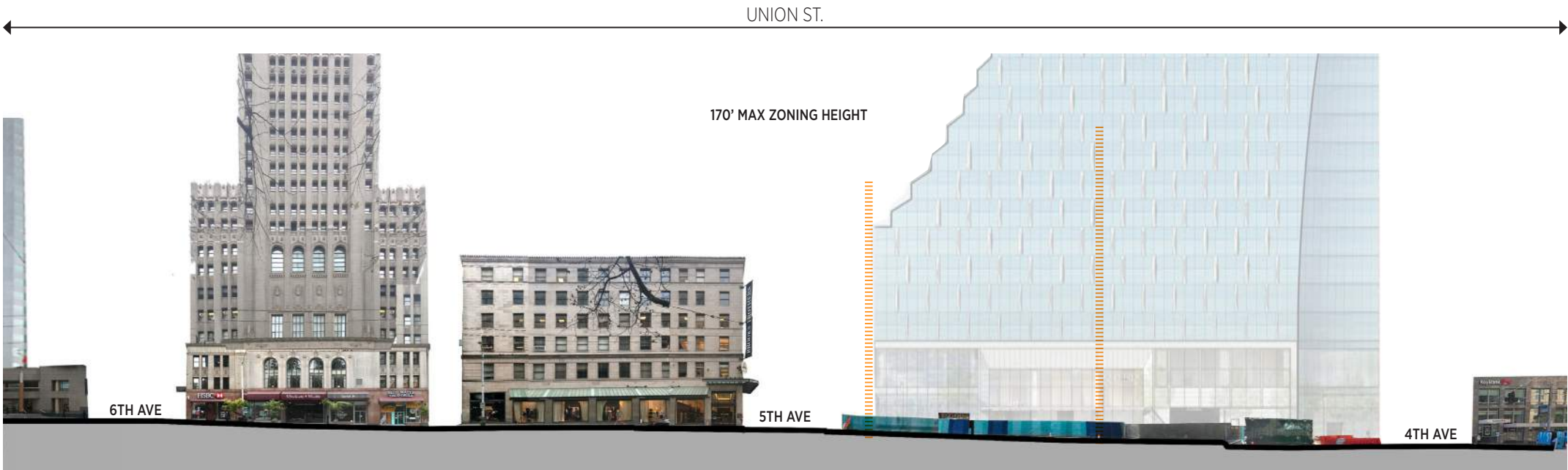


Elevation B-B, 5th Avenue, looking West

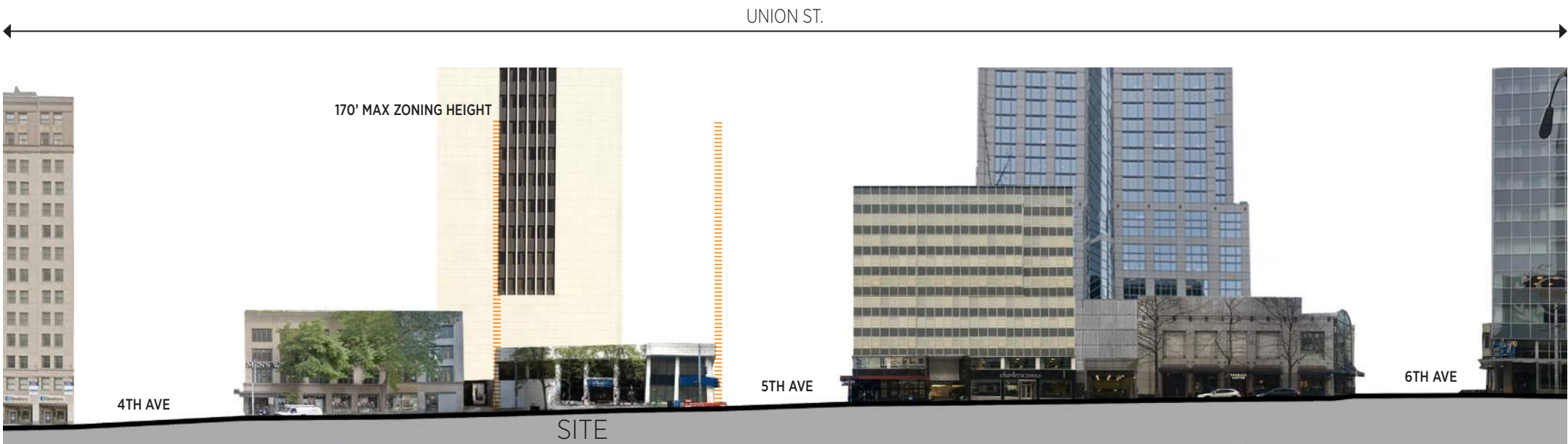


6 URBAN DESIGN ANALYSIS

Streetscape Photo Montage



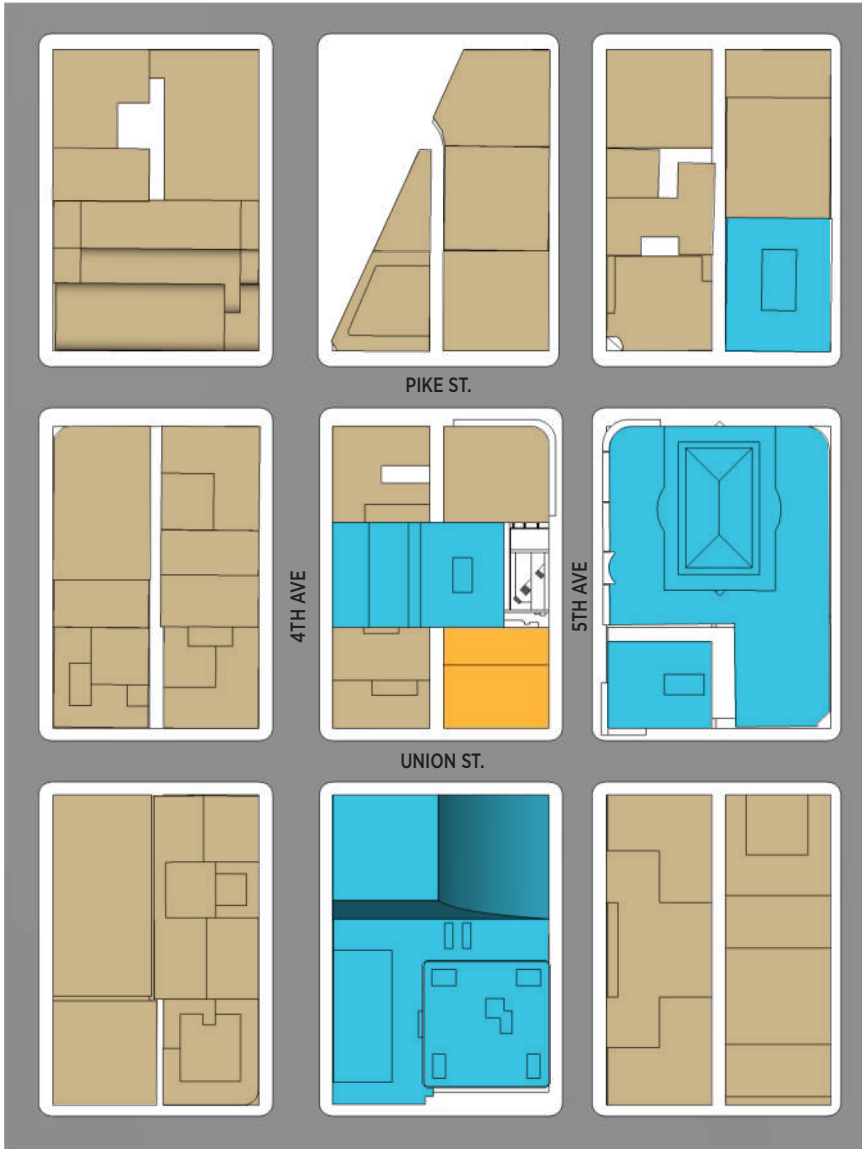
Elevation A-A, Union St., looking South



Elevation B-B, Union St., looking North

6 URBAN DESIGN ANALYSIS

Urban Facade Rhythms (Solid and Transparent)



Primarily
Opaque Facade
with Windows

Primarily
Transparent
Facade with
Curtainwall

- Primarily Transparent Facade -
Curtainwall, glass, etc
- Primarily Opaque Facade with
Punched Openings - Stone, brick, etc



5th Avenue Theater



1411 4th Ave.



Sheraton Hotel

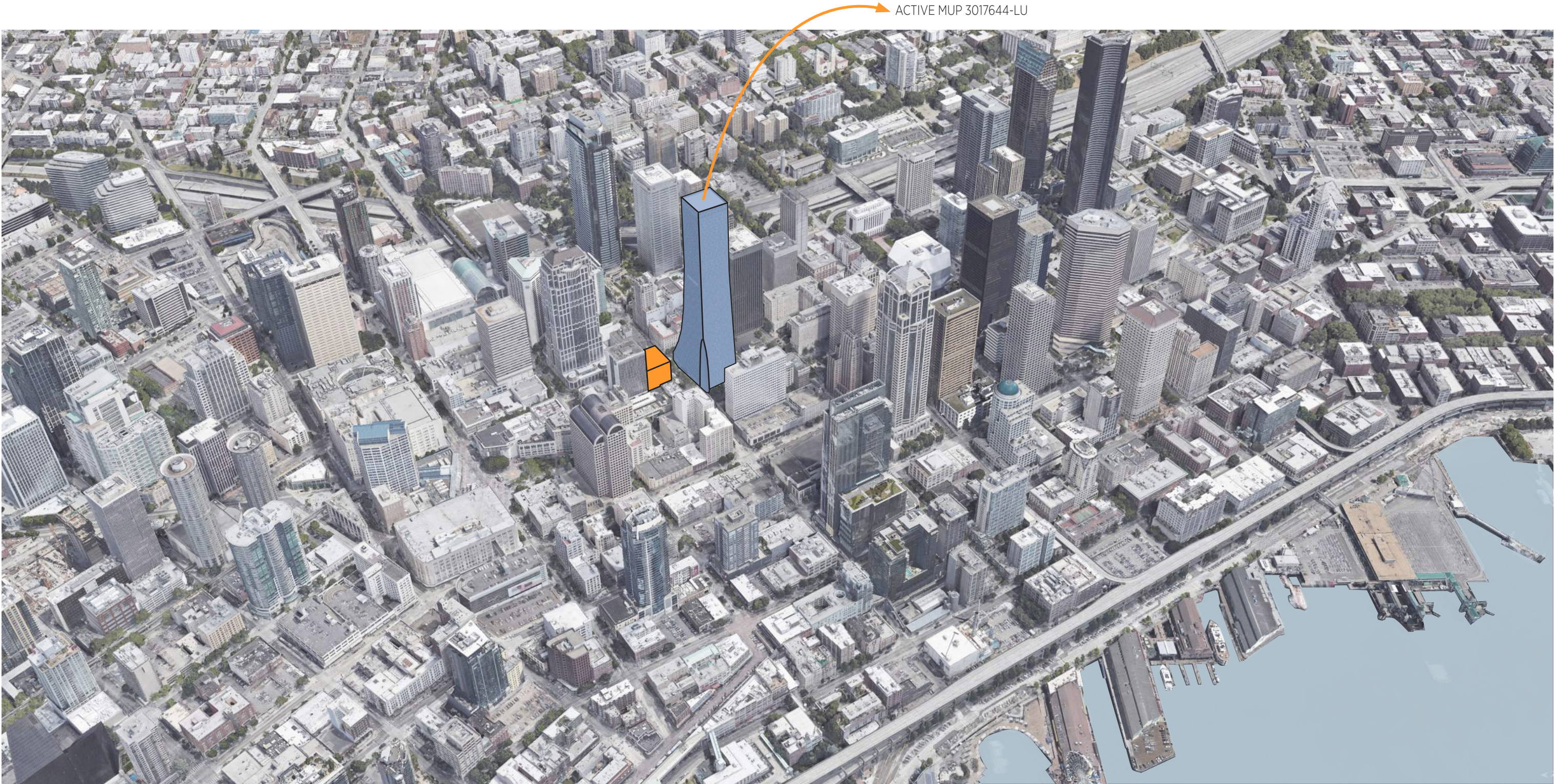


Rainier Square Tower

Page intentionally left blank

6 URBAN DESIGN ANALYSIS

Building in Context

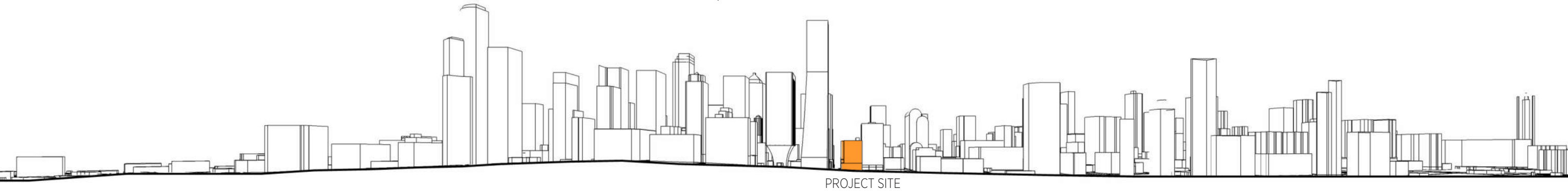
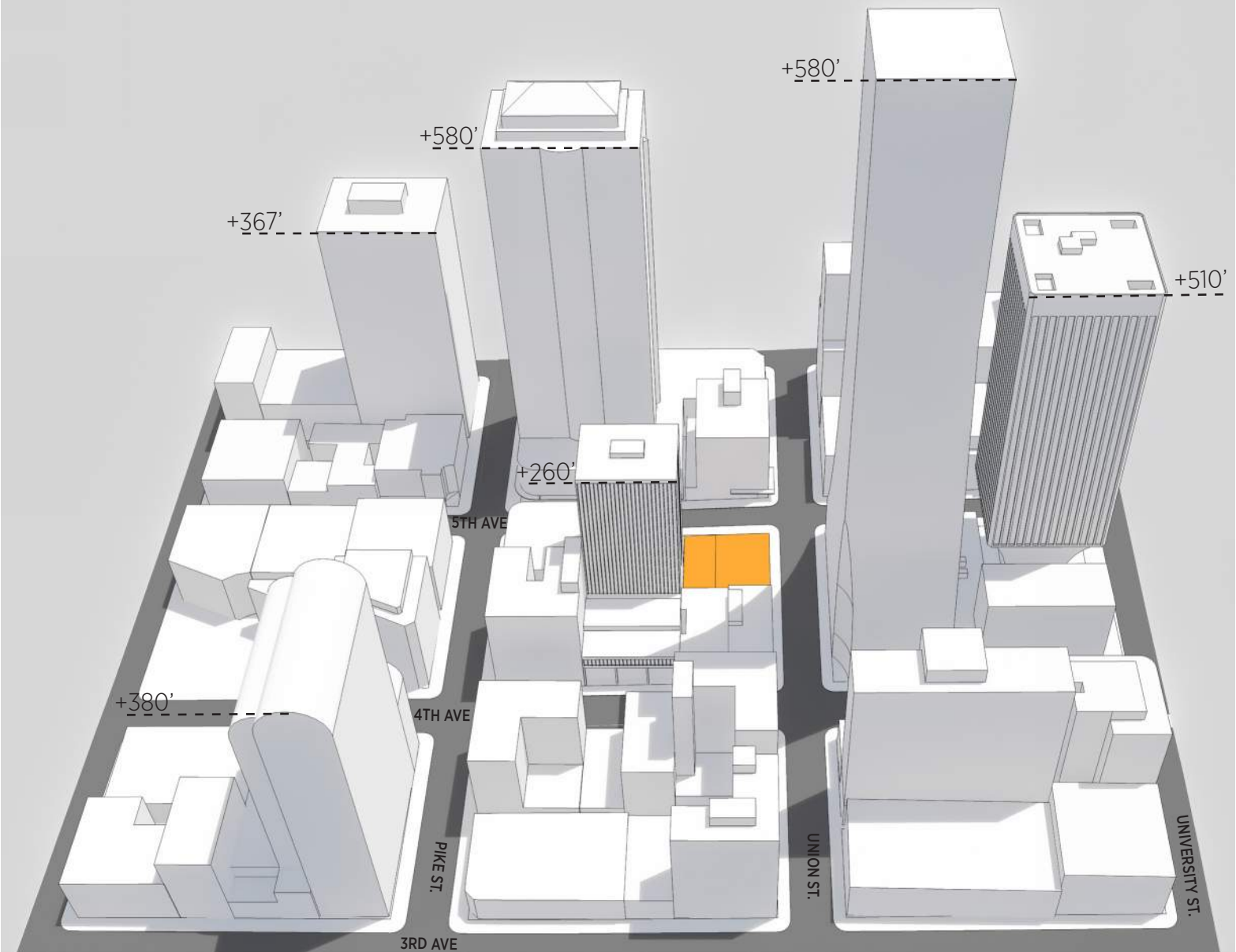
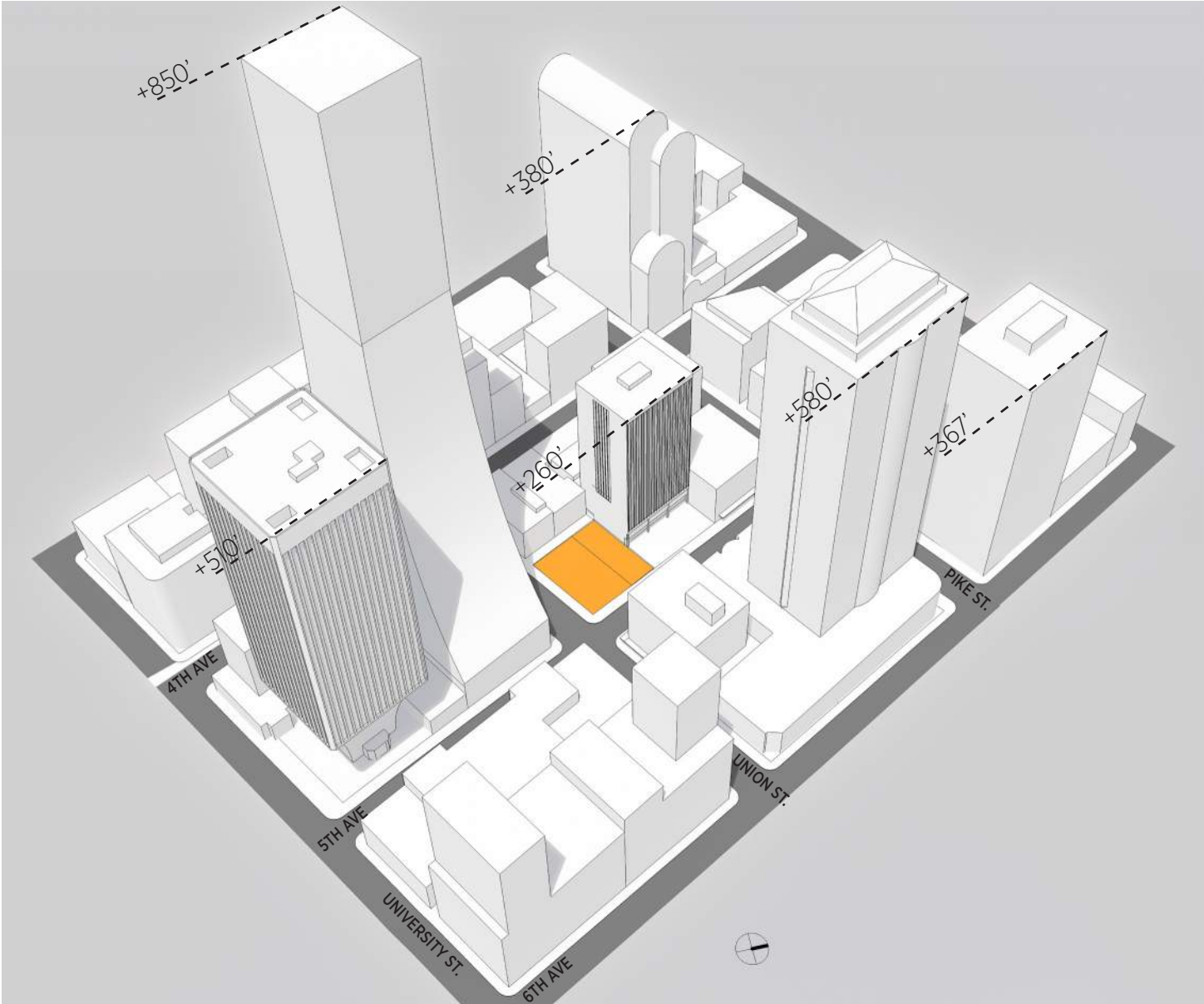


PROJECT SITE



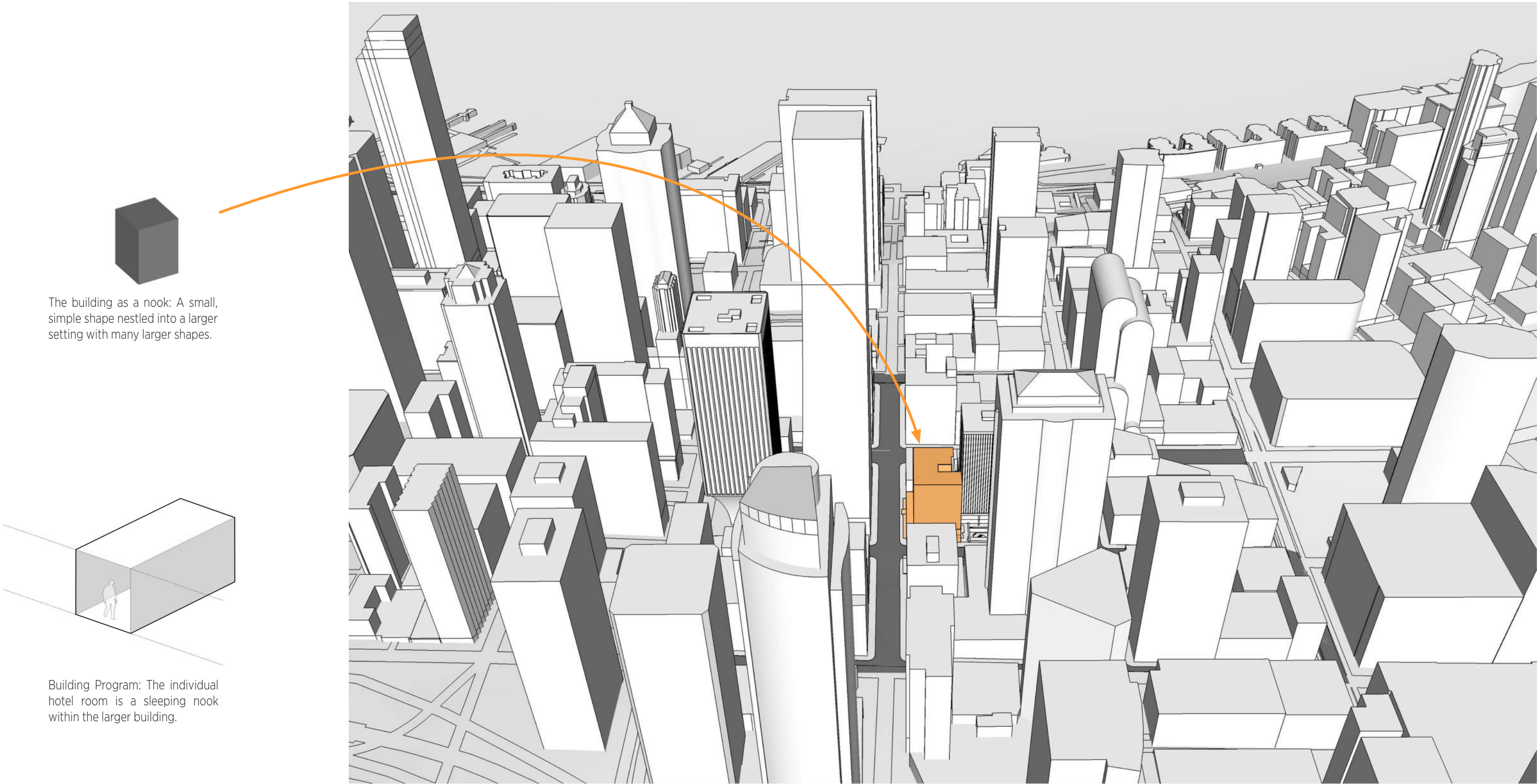
6 URBAN DESIGN ANALYSIS

Building in Context



6 URBAN DESIGN ANALYSIS

Urban Design Concept - Nook



The building as a nook: A small, simple shape nestled into a larger setting with many larger shapes.

Building Program: The individual hotel room is a sleeping nook within the larger building.

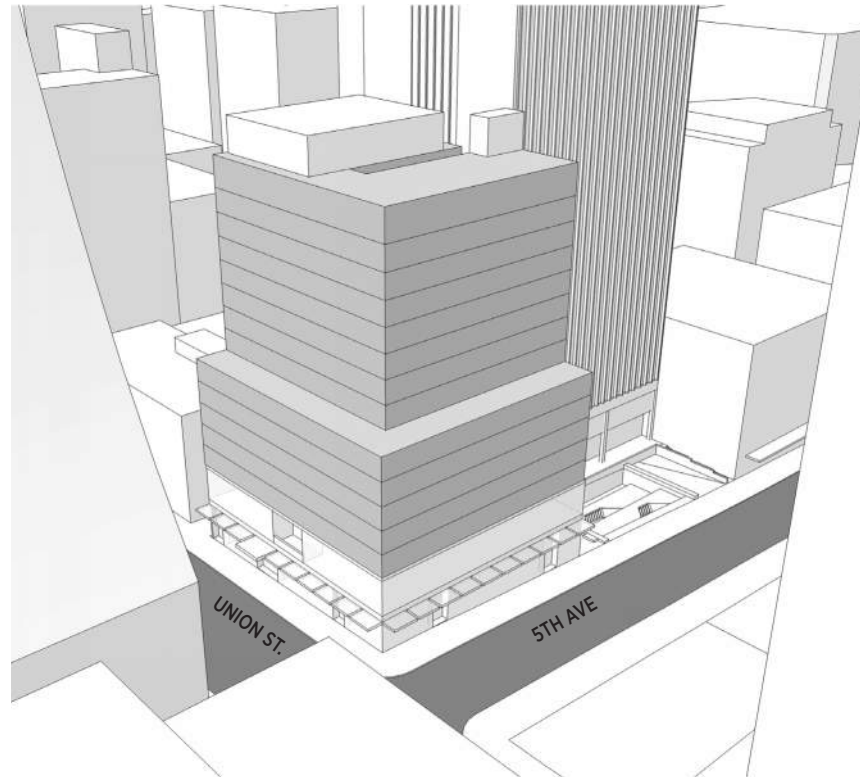
9-Block Plan Analysis (Existing) Shadow Study



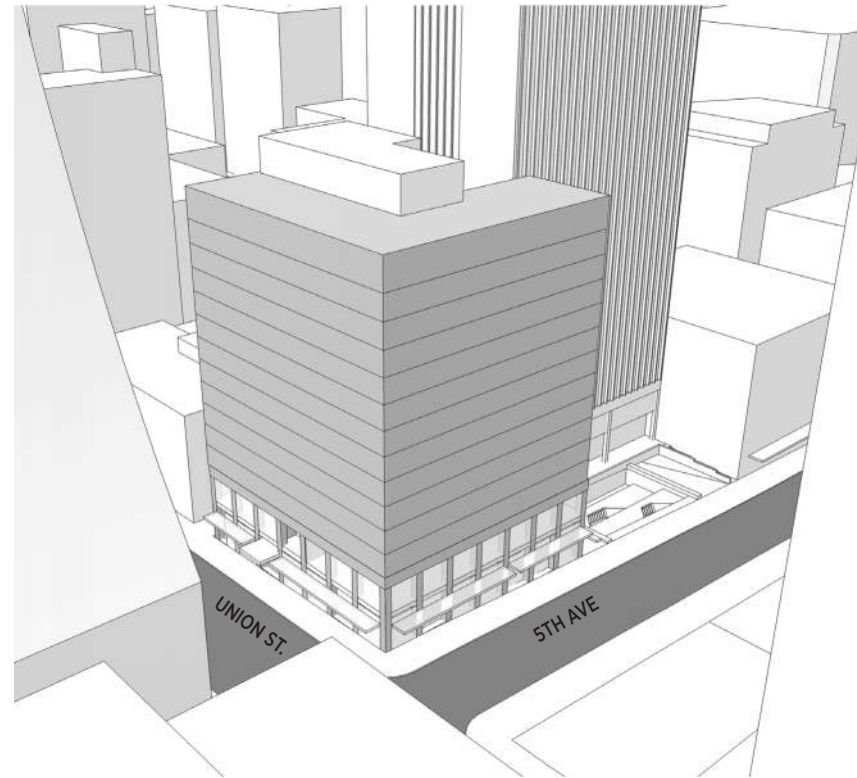
MASSING CONCEPTS

7 ARCHITECTURAL MASSING CONCEPTS

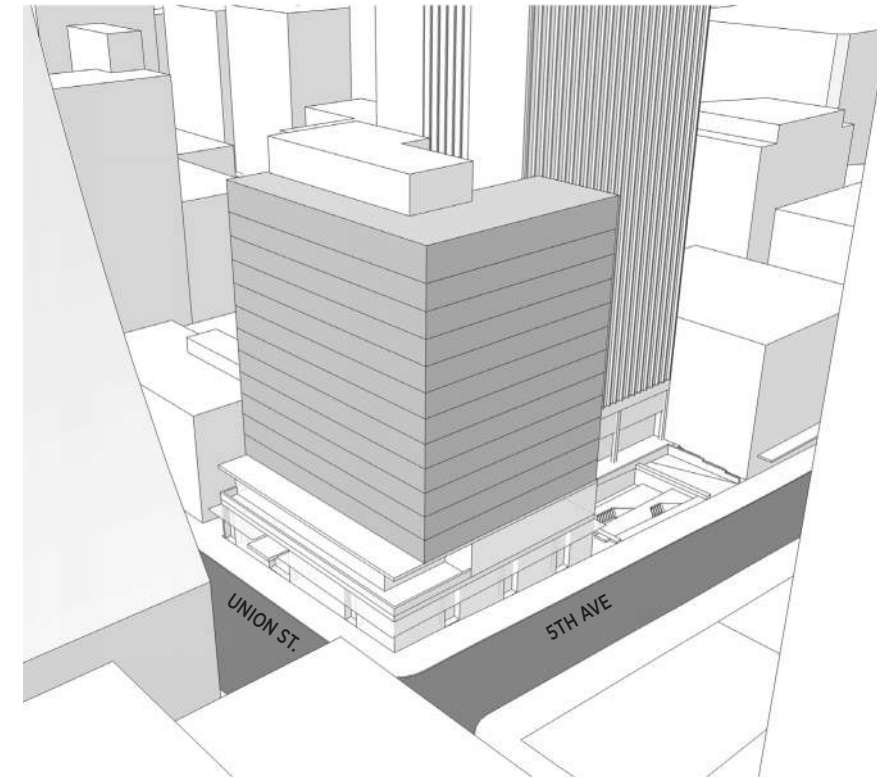
Summary of Massing Concepts



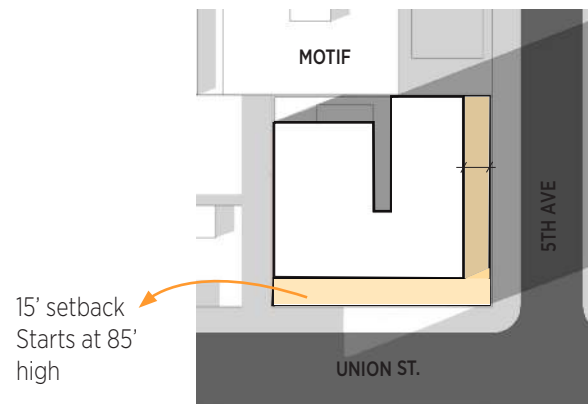
Concept 1 - Perch (Code Compliant)



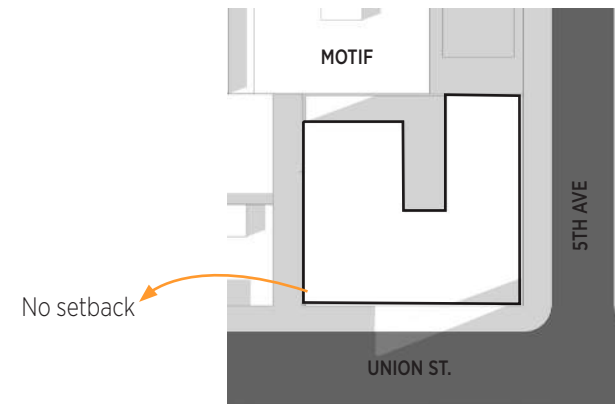
Concept 2 - Compact



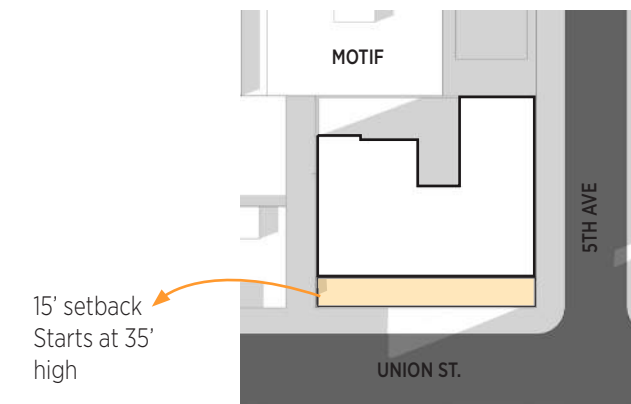
Concept 3 - Harmony (Preferred)



DIAGRAMMATIC ROOF PLAN



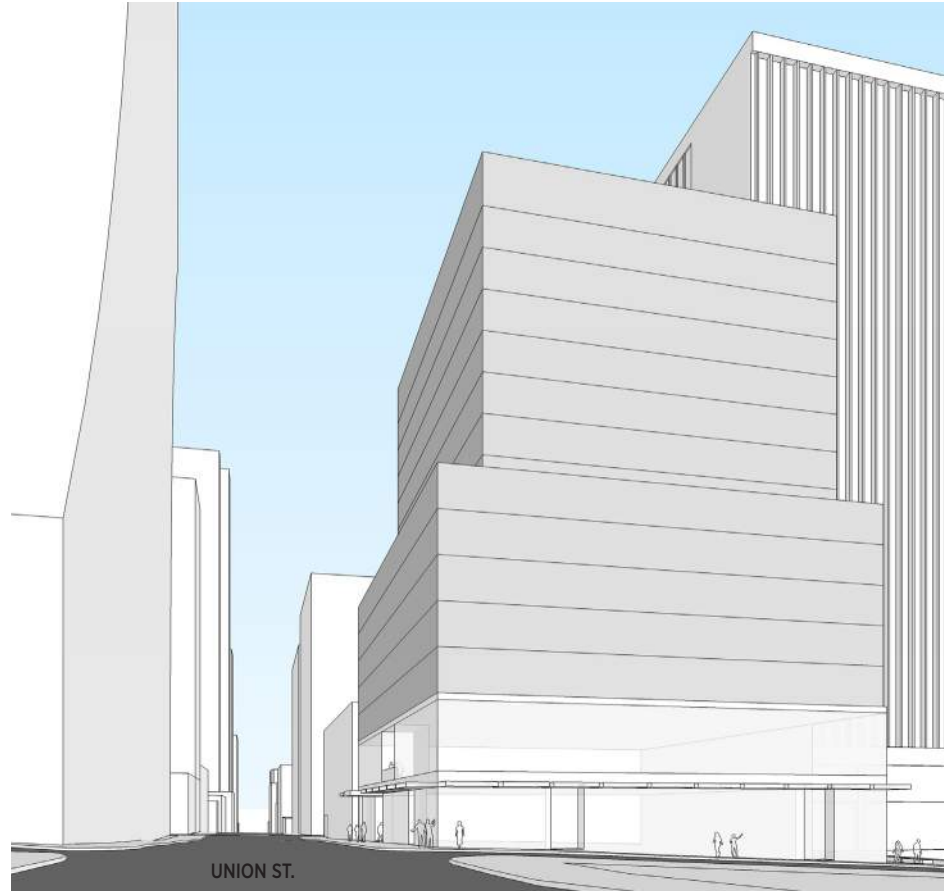
DIAGRAMMATIC ROOF PLAN



DIAGRAMMATIC ROOF PLAN

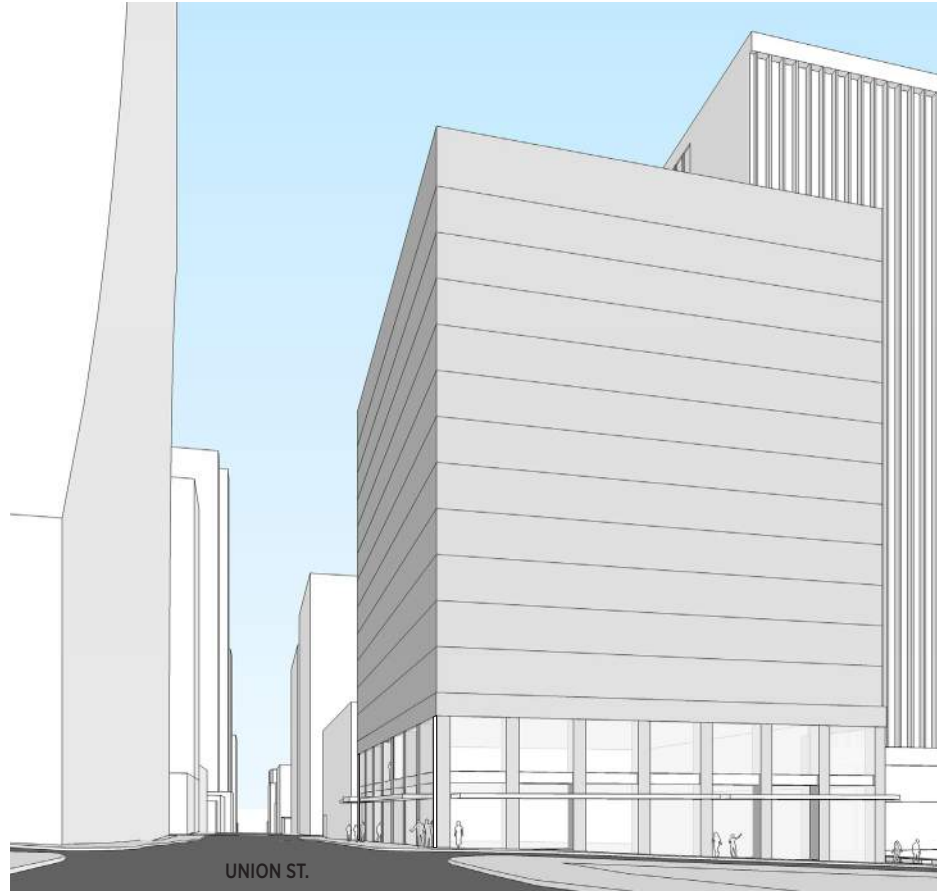
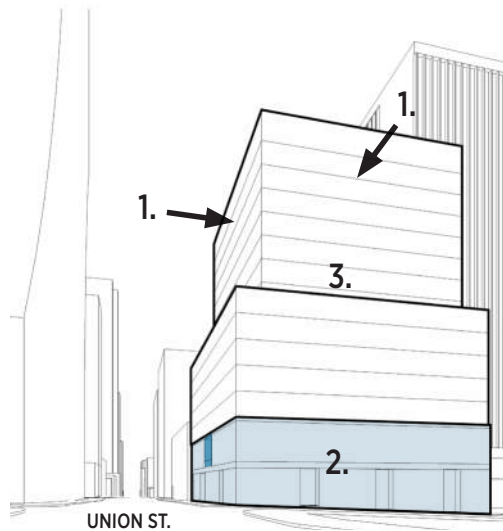
7 ARCHITECTURAL MASSING CONCEPTS

Summary of Massing Concepts



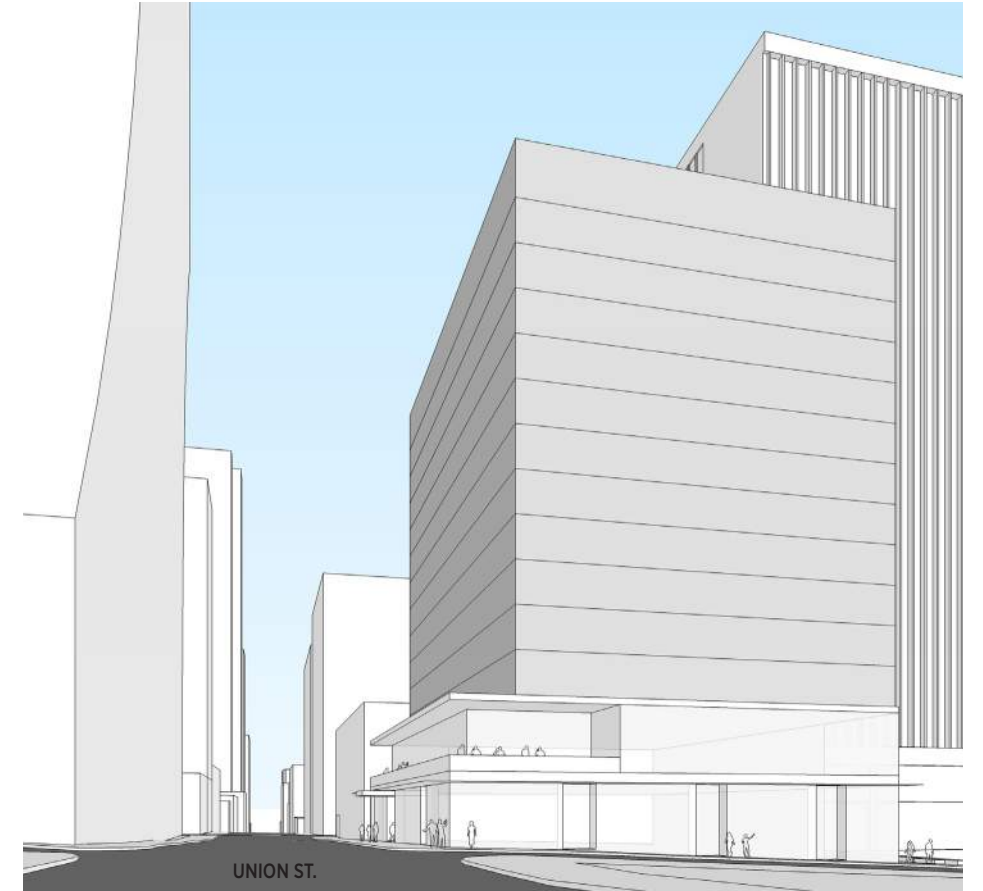
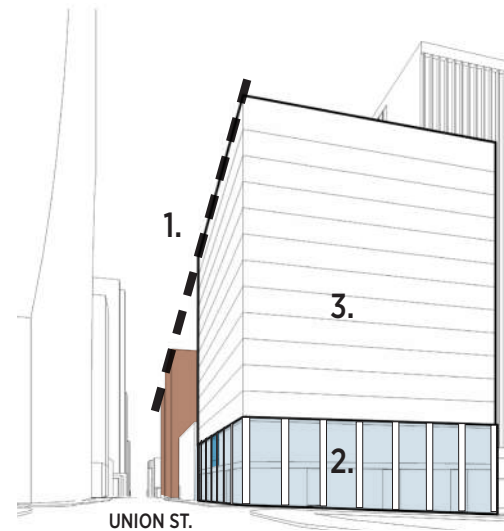
Concept 1 - Perch (Code Compliant)

1. 15' upper level setback at +85' on both street facades.
2. Two level retail base with small inset terrace at Level 2 along Union.
3. Setbacks break facade of hotel program into two nearly equal parts,



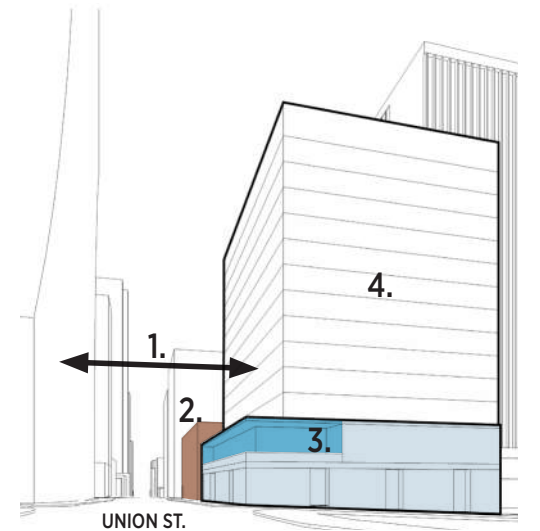
Concept 2 - Compact

1. Massing is not set back at either street facade. Instead it follows the precedents of other existing non-set-back historic landmarks of the same height in the Downtown Retail Core.
2. Two level retail base with small inset terrace at Level 2 along Union.
3. By not setting back at upper levels, hotel facade is maintained as a simple, unbroken form.



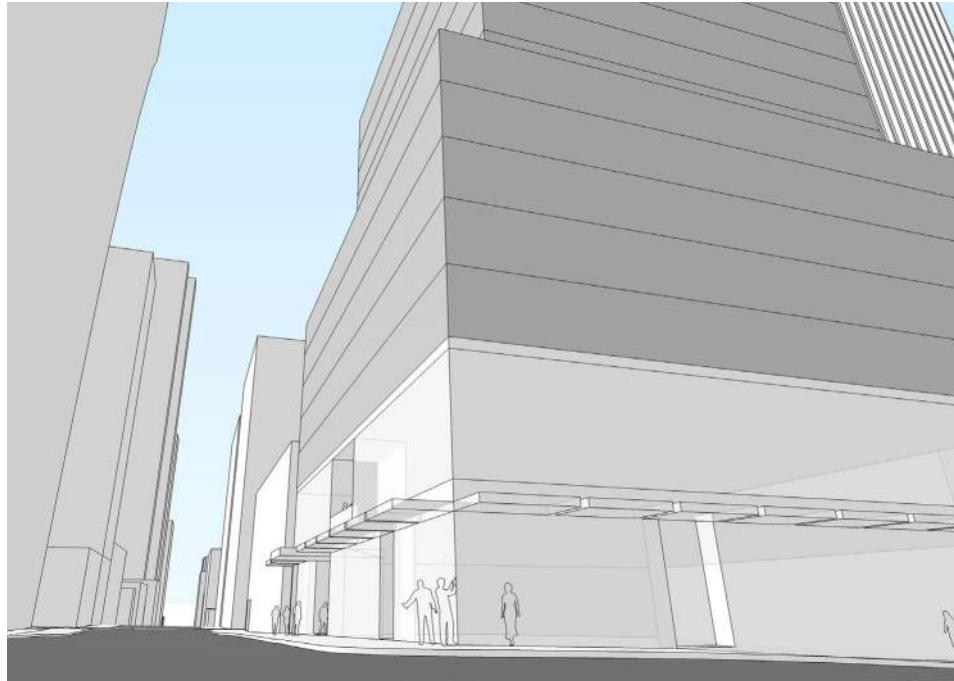
Concept 3 - Harmony (Preferred)

1. Massing is set back 15' from Union above +35', bringing relief across from the north face of the Rainier skyscraper. By starting the setback lower, more space, light and air are brought down to the pedestrian level, while also maintaining the zoning street facade ht. of 35'.
2. The 35' high massing setback defers to the Landmark 'Men's Wearhouse' to the West.
3. A two level retail base with a larger, more appropriately-scaled, skylit, Level 2 terrace is formed across from Rainier Square's Level 2 lobby, activating the sidewalk much more than a typical rooftop terrace.
4. The hotel facade is maintained as a simple, unbroken form resting on top of a retail base.



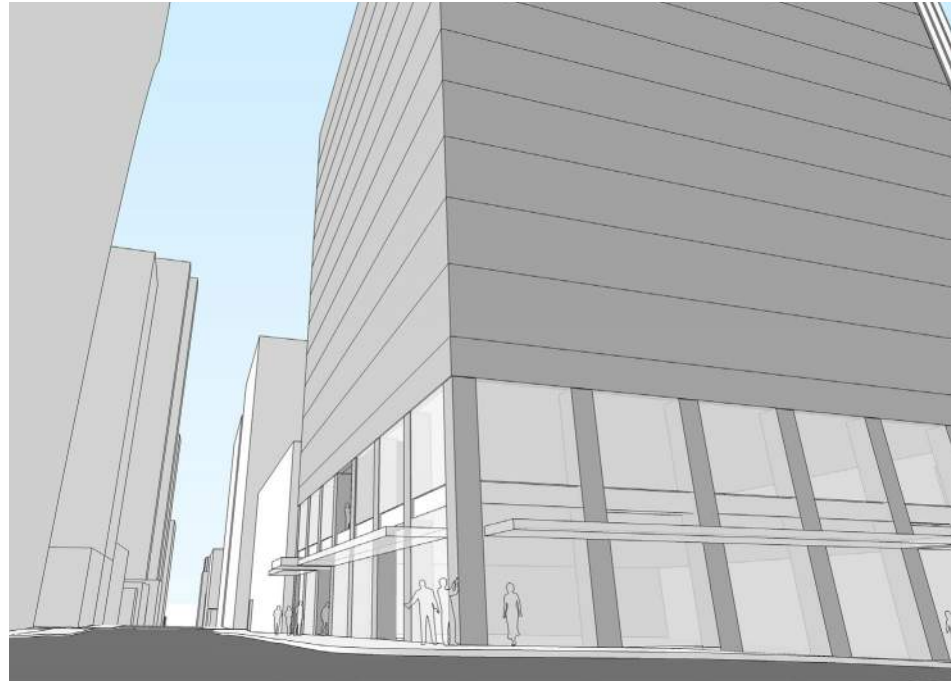
7 ARCHITECTURAL MASSING CONCEPTS

Summary of Massing Concepts

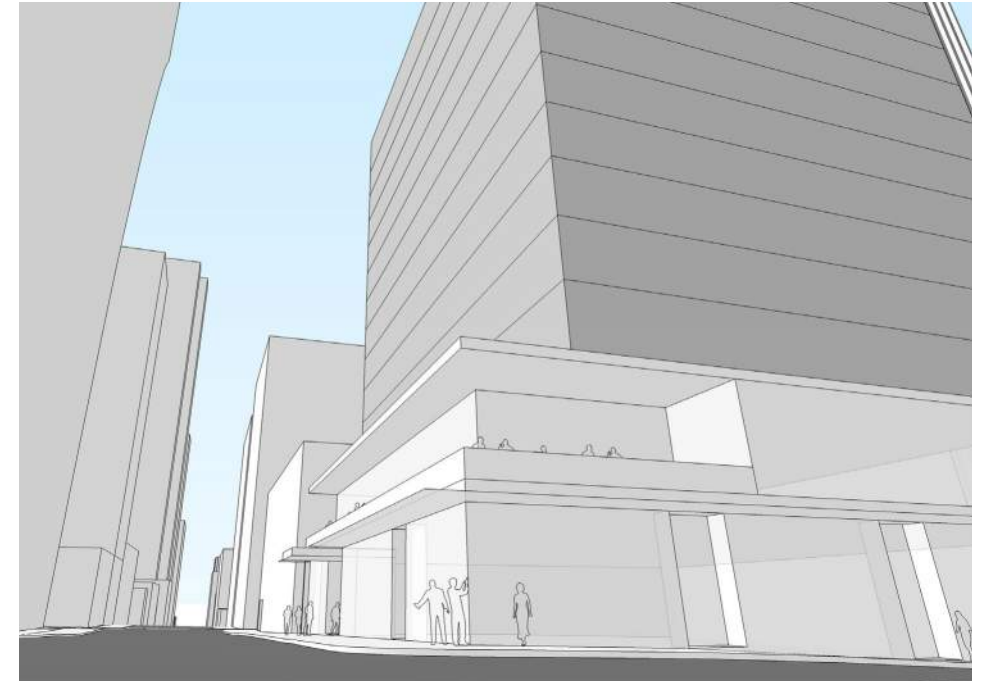


Concept 1 - Perch (Code Compliant)

Comparative ground level views from the corner of 5th and Union showing the massing's effect on the light, air and massing relief brought down to the pedestrian zone.



Concept 2 - Compact

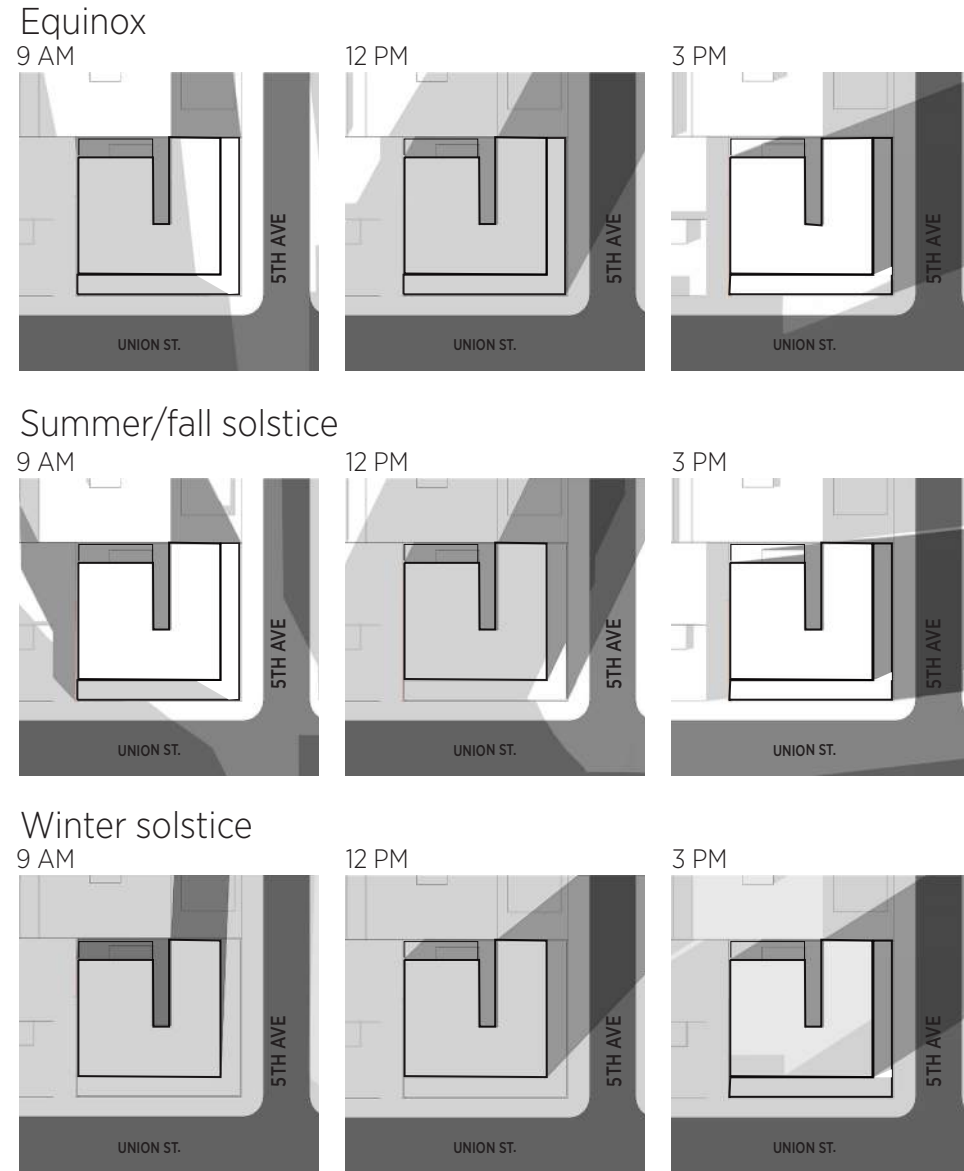


Concept 3 - Harmony (Preferred)

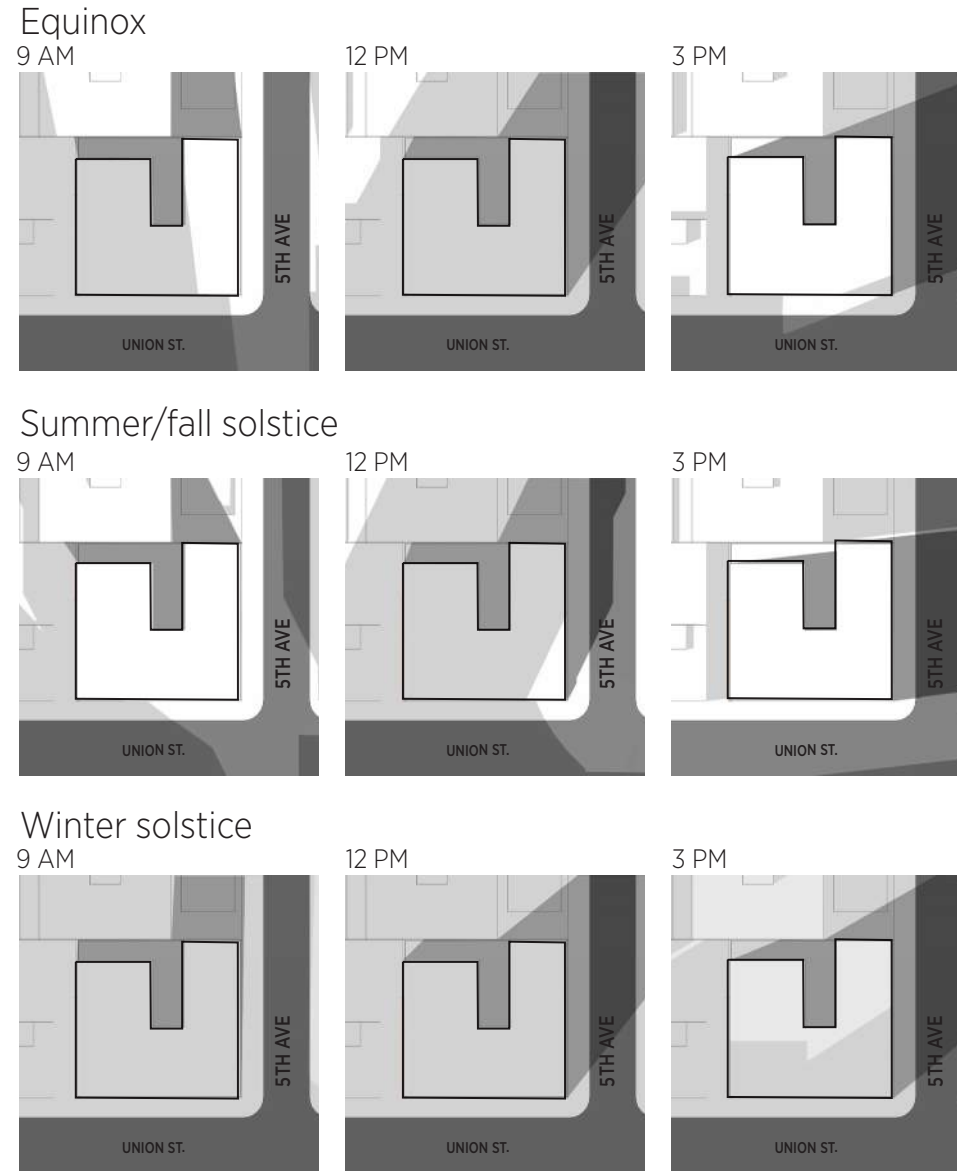
7 ARCHITECTURAL MASSING CONCEPTS

Summary of Massing Concepts

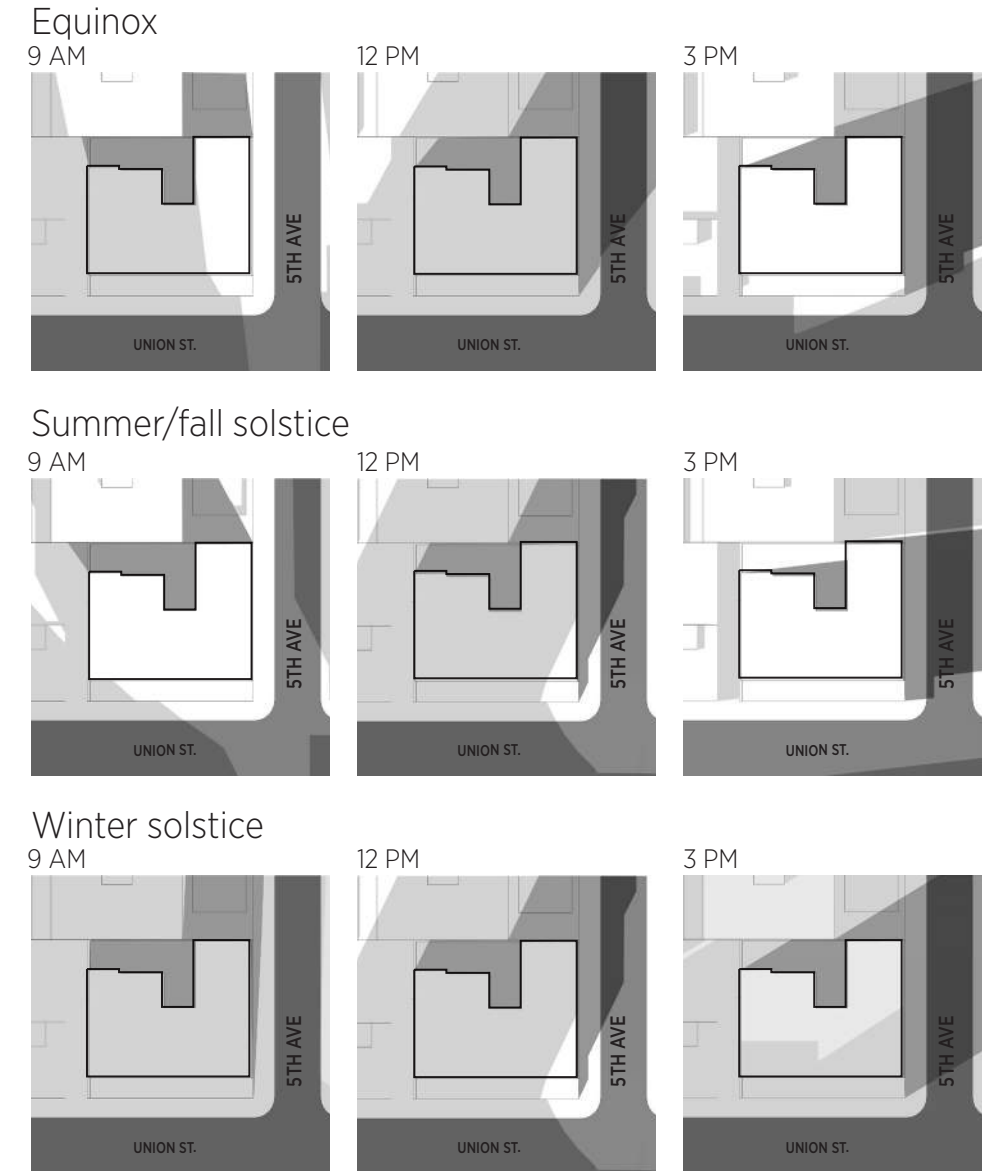
Concept 1 - Perch (Code Compliant)



Concept 2 - Compact



Concept 3 - Harmony (Preferred)

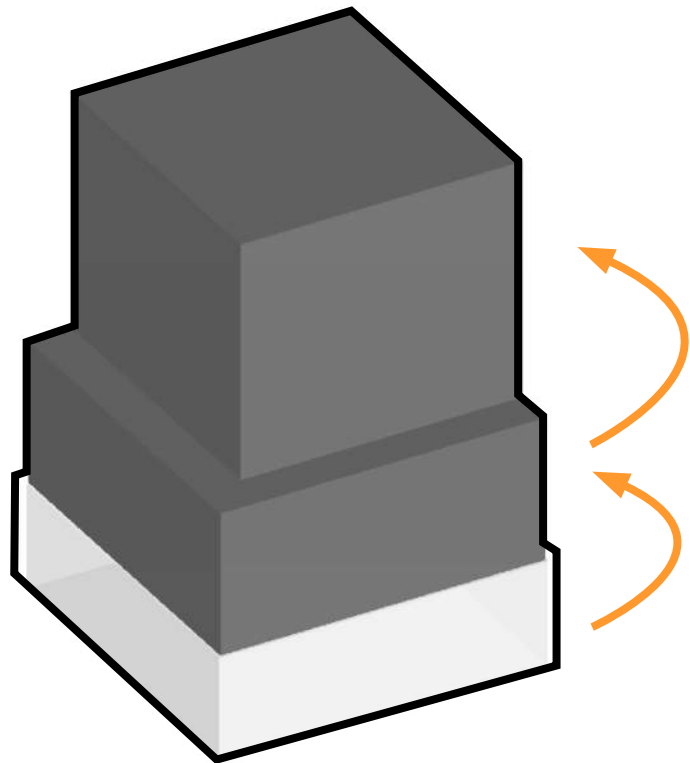


Page intentionally left blank

CONCEPT 1

7 ARCHITECTURAL MASSING CONCEPTS

Concept 1 - Perch (Code Compliant)

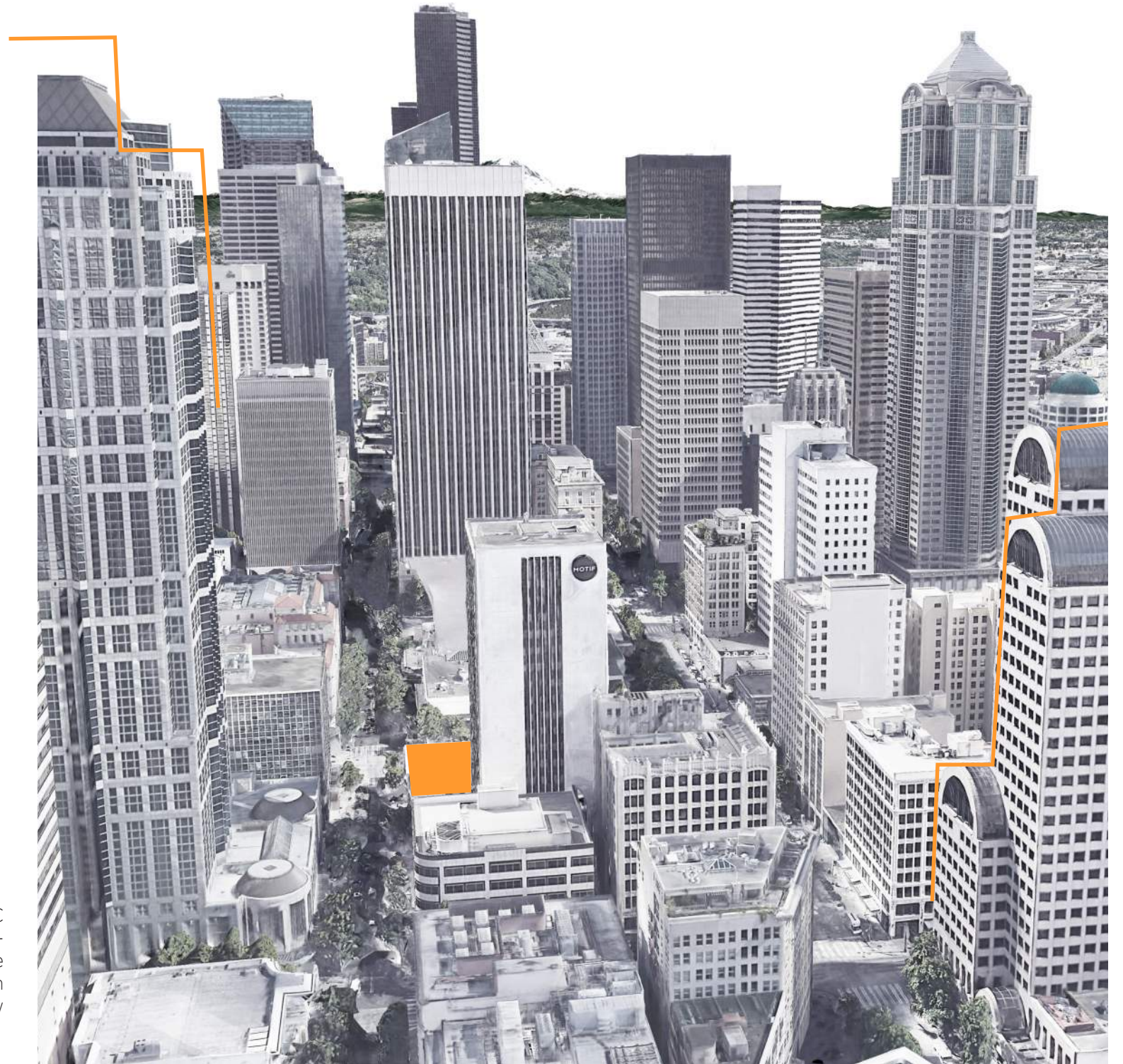


Massing Concept

A stack of one form on top of another, per DRC setback requirements.

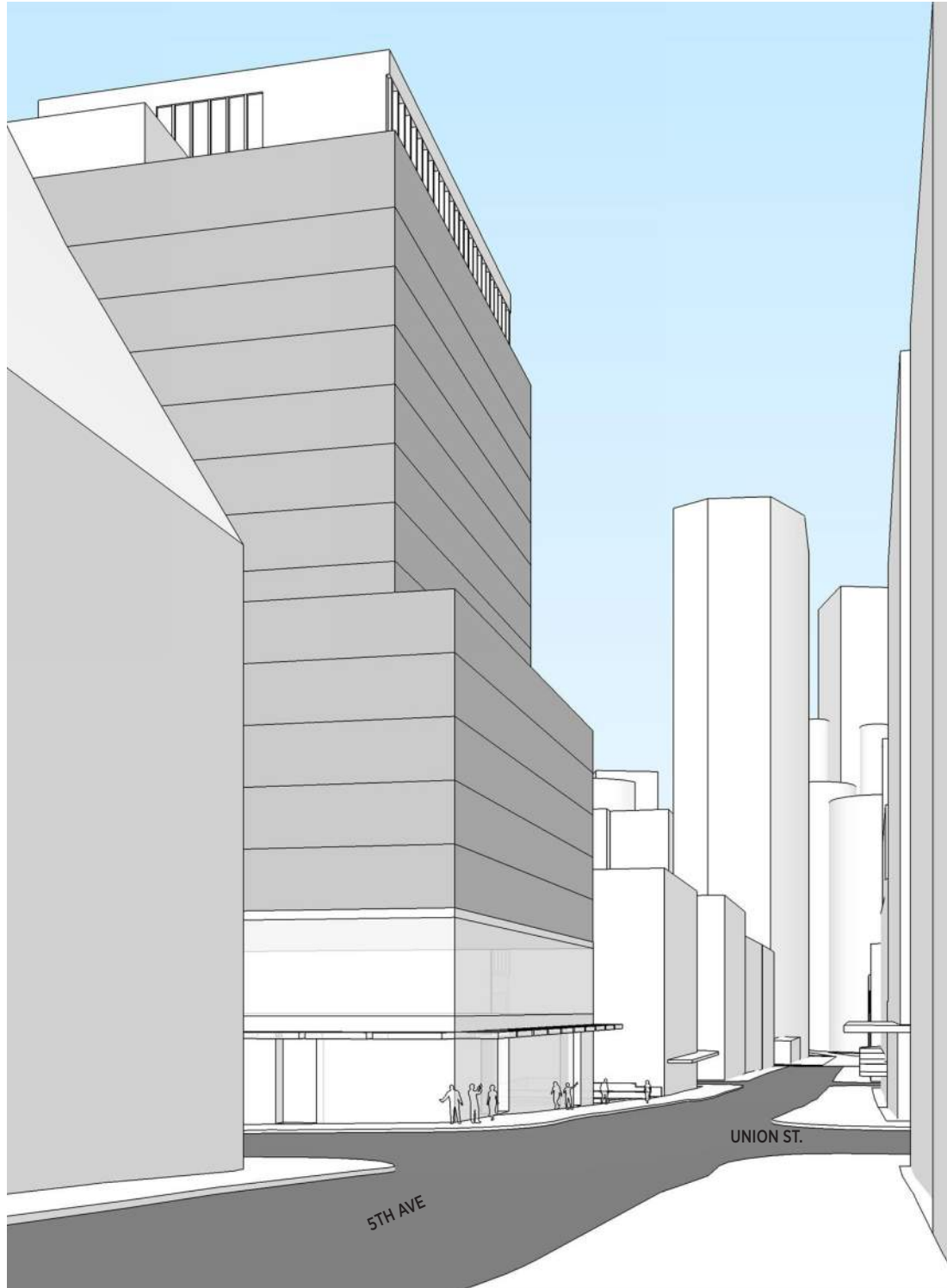
Cons: The result is that an already-small-looking form (160' high) is made to look even smaller by breaking it up into separate pieces. This also creates a lack of formal unity.

Right: Although there are no historic DRC precedents for breaking a building mid-way up the facade with a setback, there are several post-modern 500'+ high buildings in the DRC that do employ setbacks.

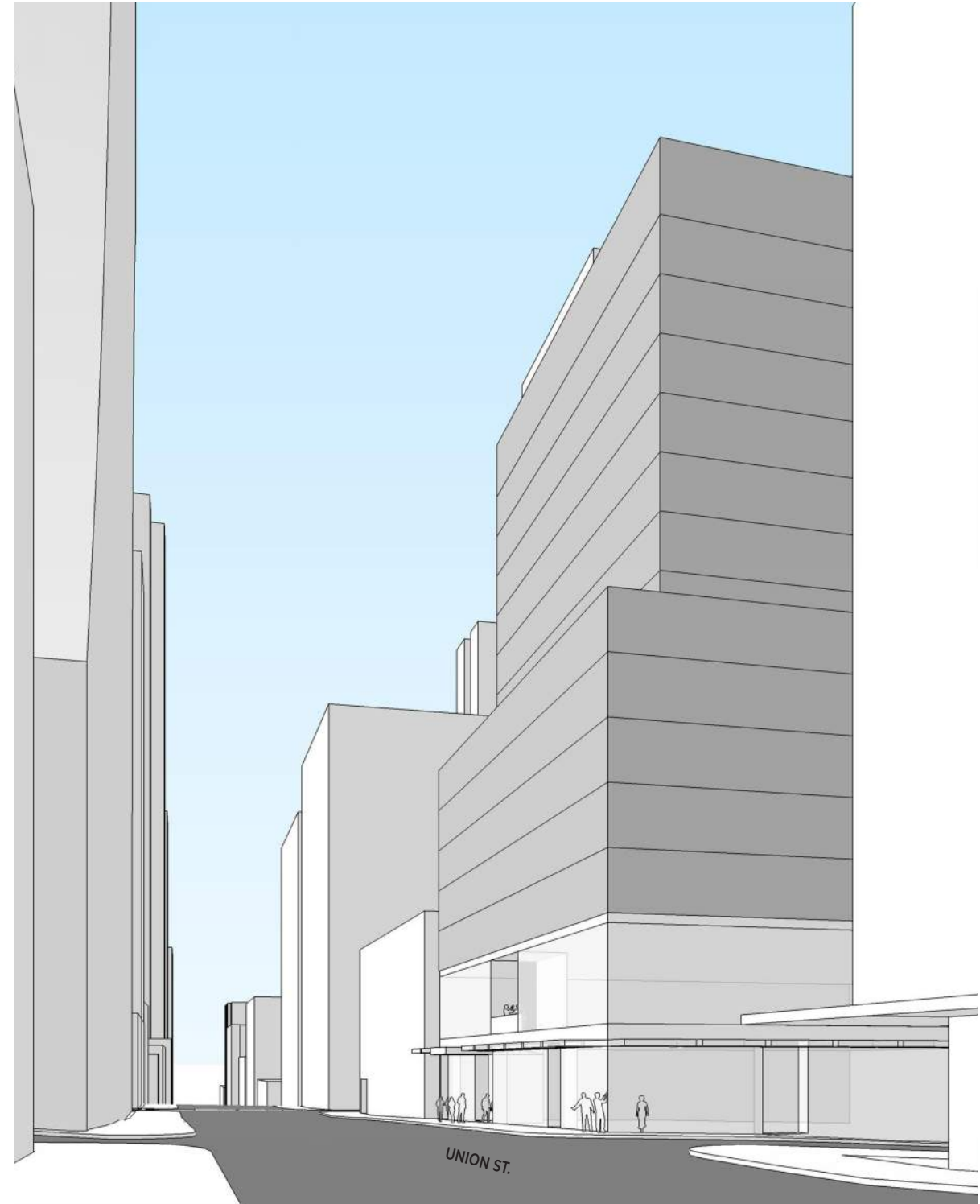


7 ARCHITECTURAL MASSING CONCEPTS

Concept 1 - Perch (Code Compliant)



View Looking North on 5th



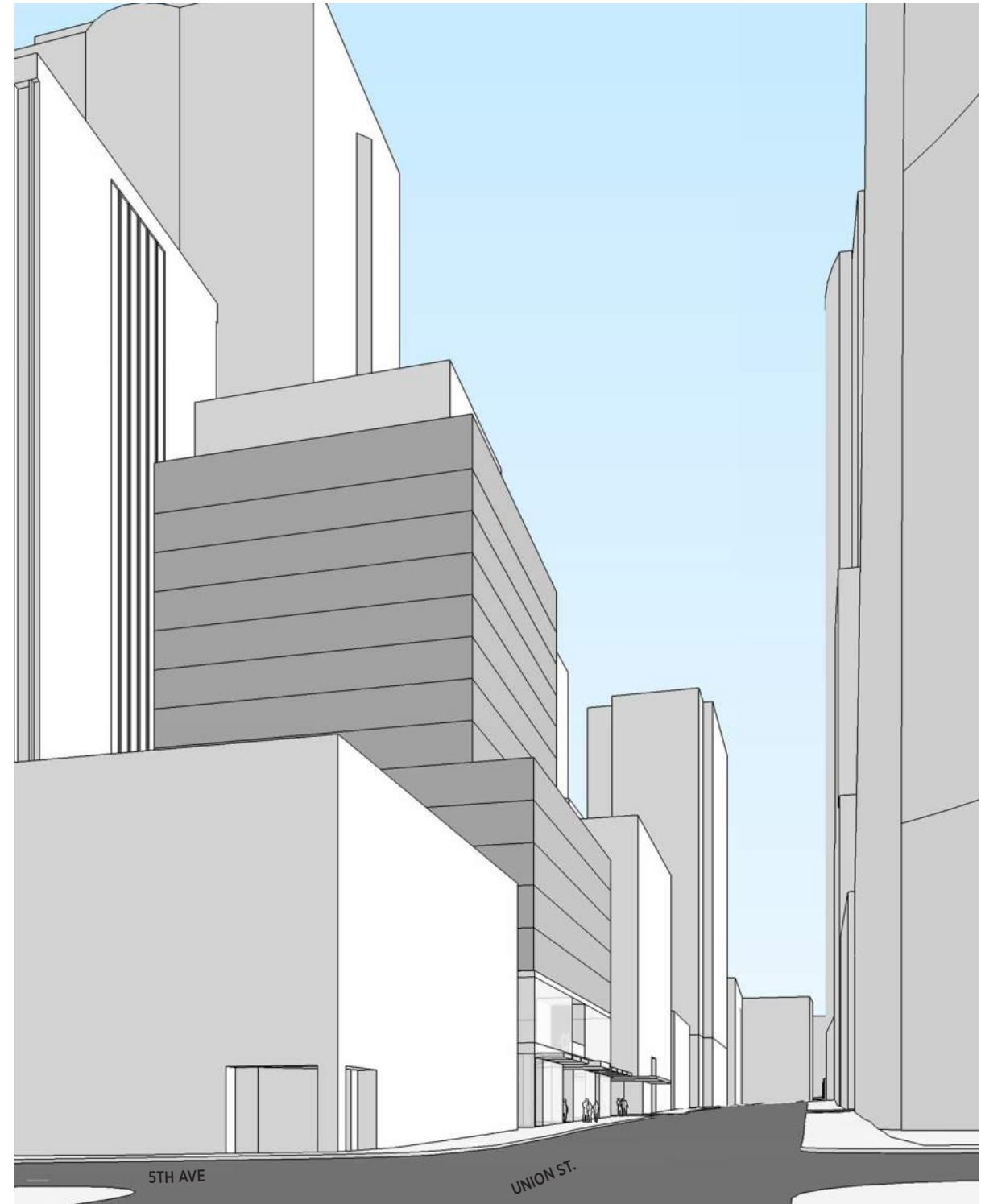
View Looking West on Union

7 ARCHITECTURAL MASSING CONCEPTS

Concept 1 - Perch (Code Compliant)



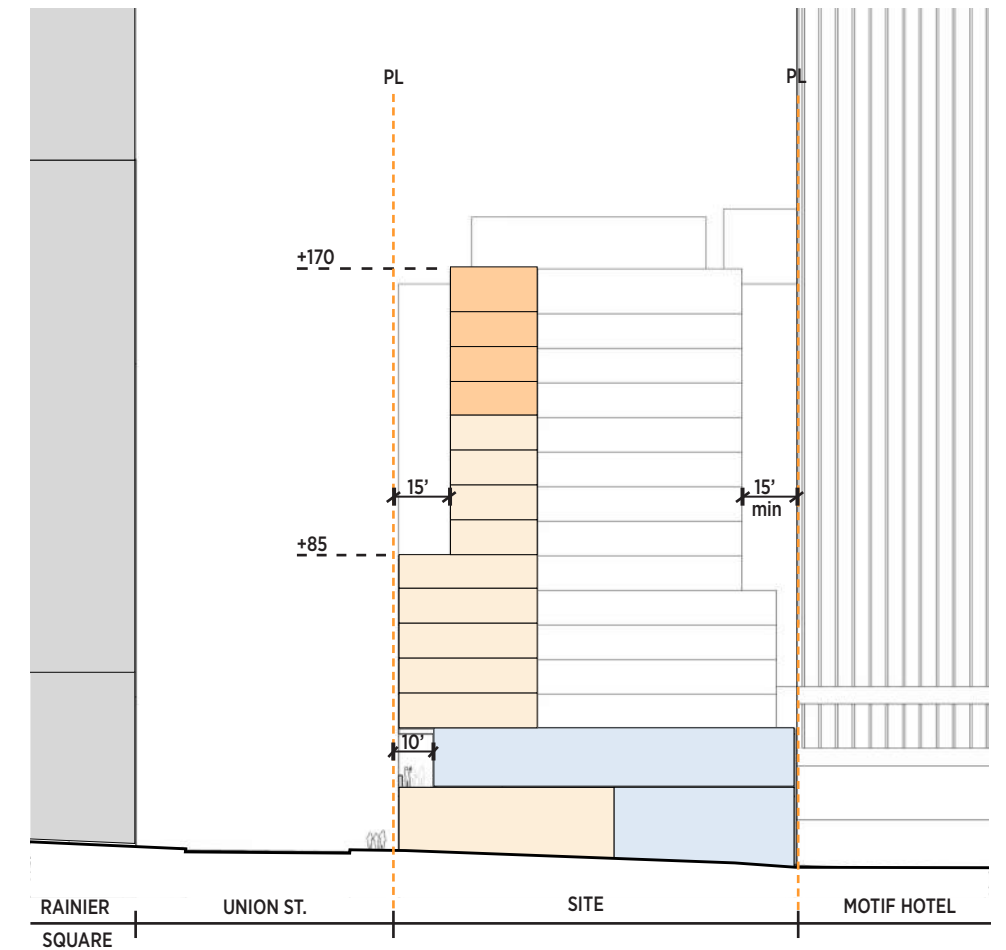
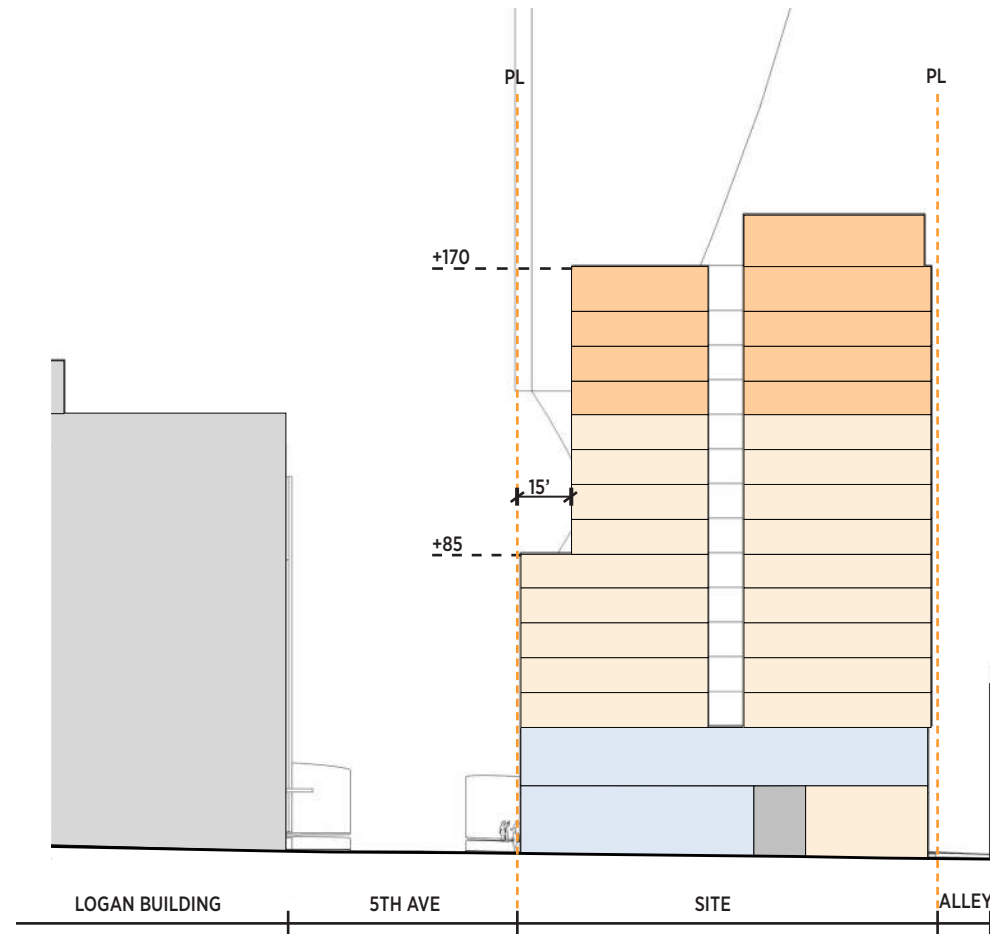
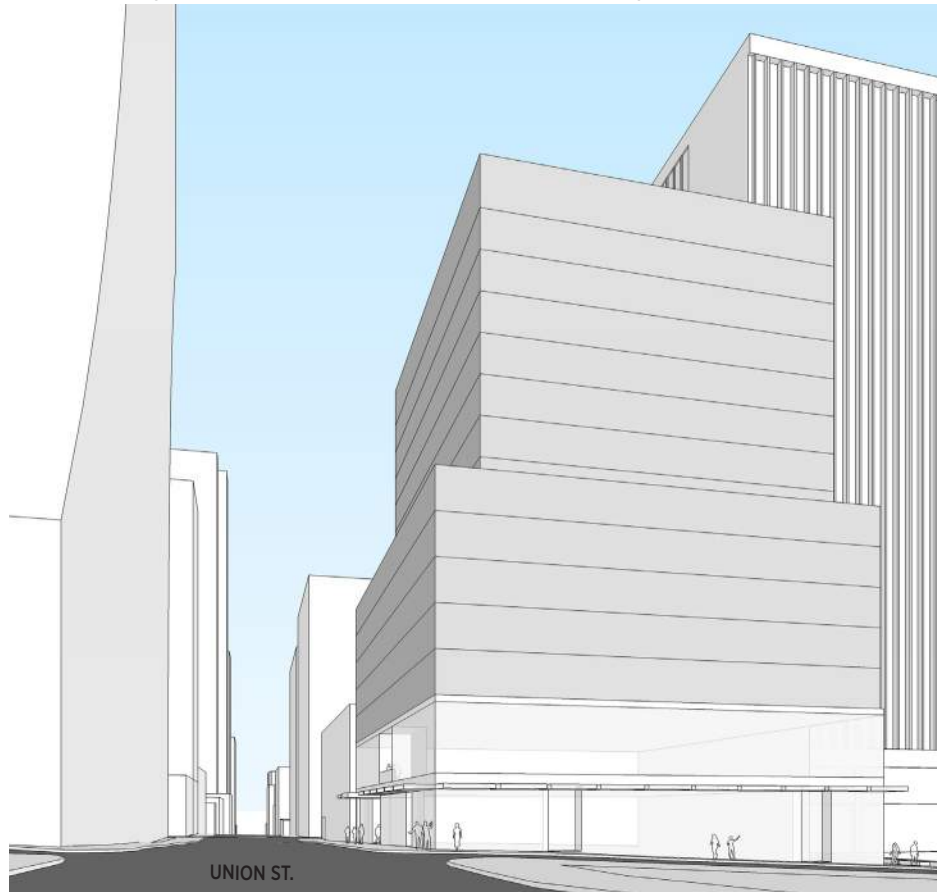
View Looking South on 5th



View Looking East on Union

7 ARCHITECTURAL MASSING CONCEPTS

Concept 1 - Perch (Code Compliant)

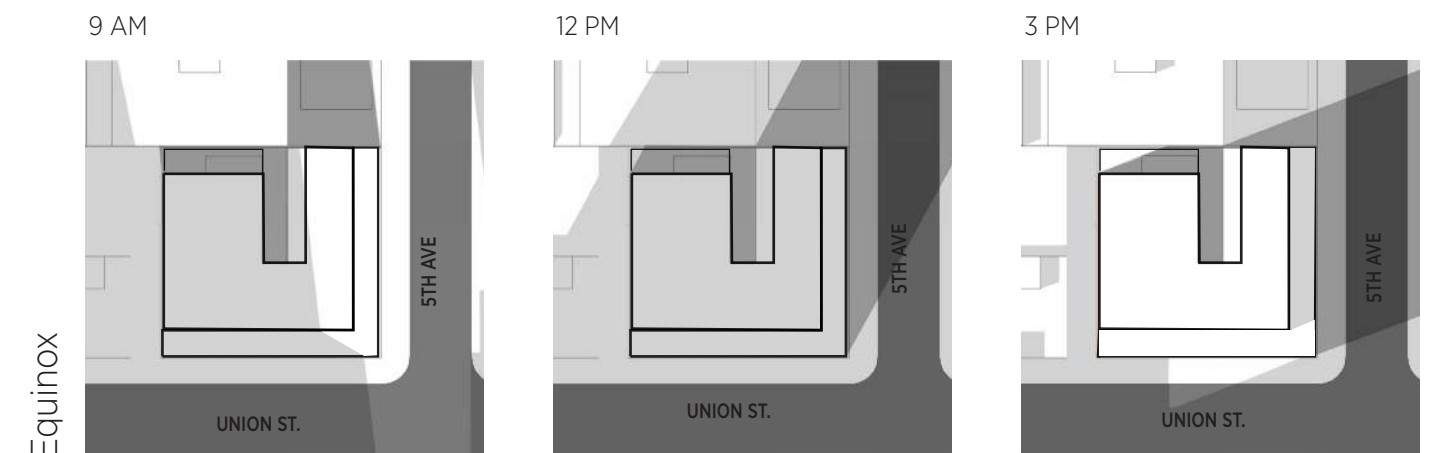


Description

The building provides 15' building setbacks at 85' high on both Union and 5th, per zoning, resulting in a stacked-elements appearance. As the massing break does not align with the interior building program, the facade reading and fenestration pattern may incongruous. The setback makes the relatively small building look even smaller against its large-scaled downtown backdrop and few, if any, buildings in neighborhood have a massing setback halfway up the elevation so it would not fit architectural massing patterns in DRC, which tend to be more unified and prismatic.

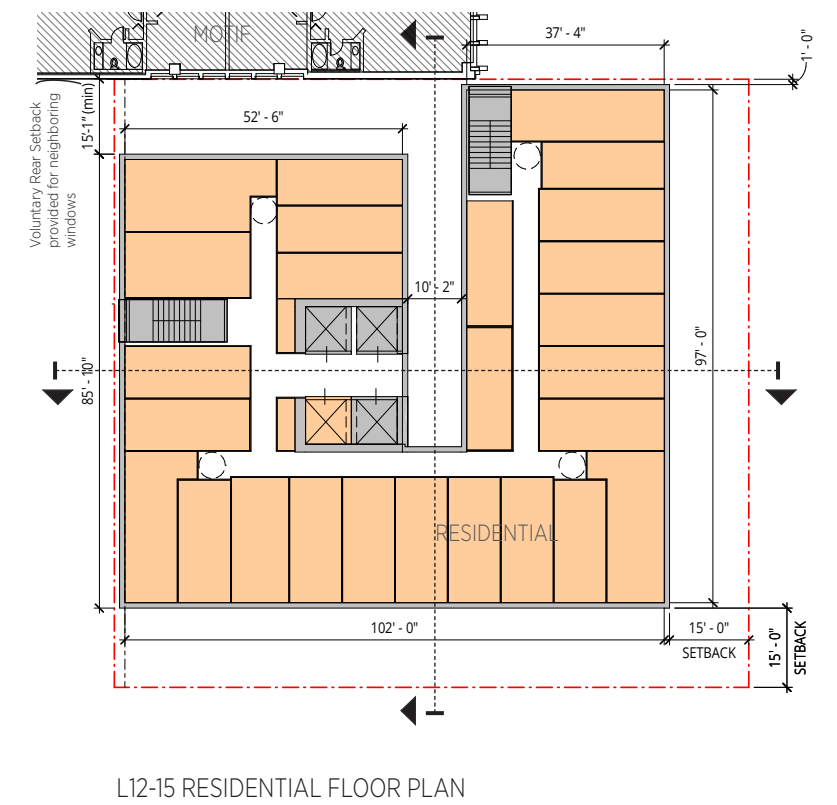
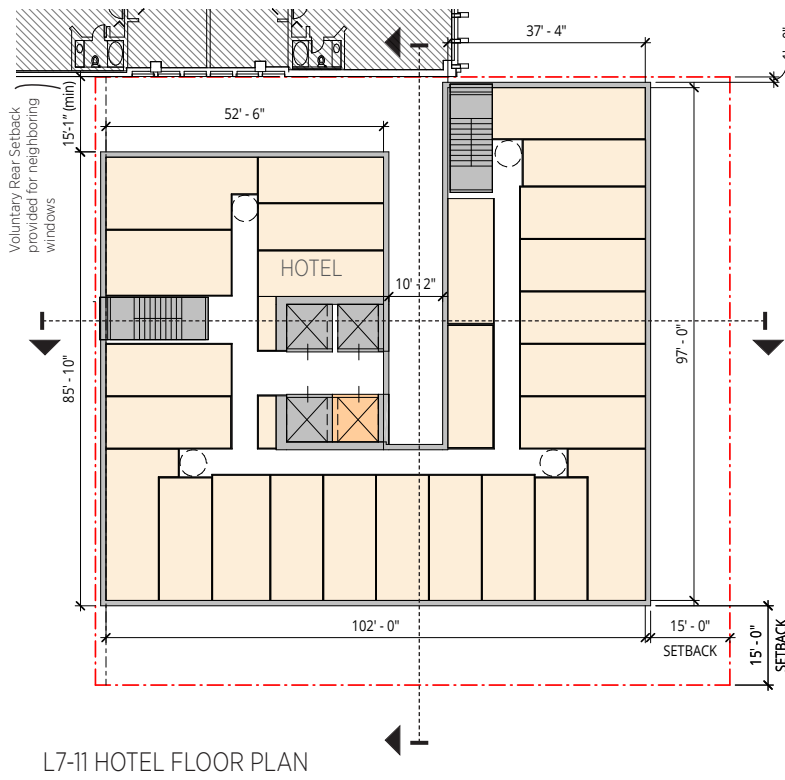
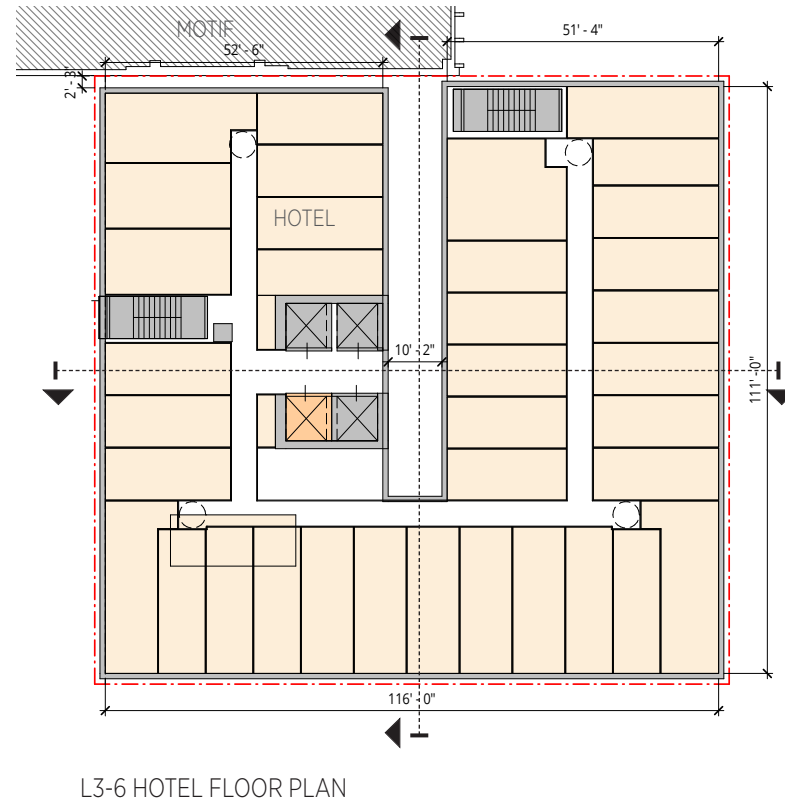
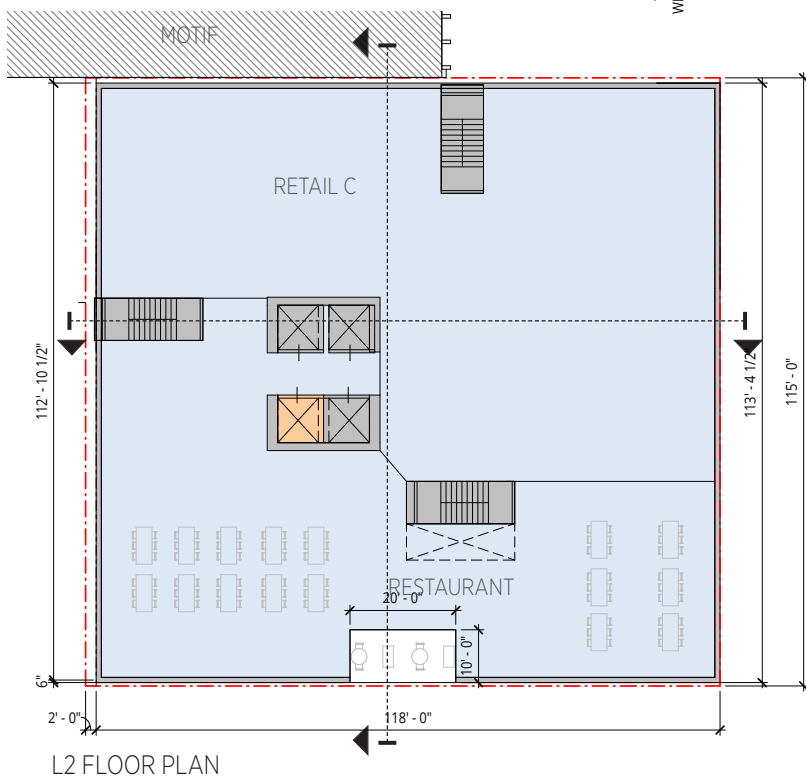
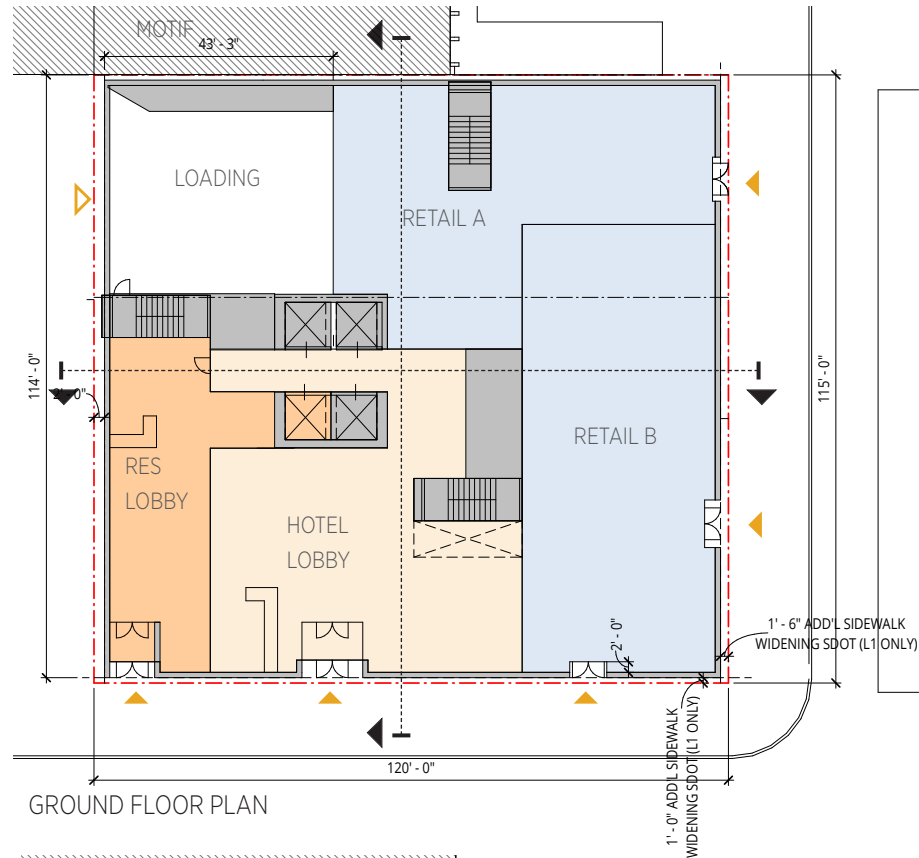
Downtown Design Guidelines Reinforced:

- C-1 Promote Pedestrian Interaction.
- C-3 Provide active - not blank - facades.
- D-6 Design for Personal Safety



7 ARCHITECTURAL MASSING CONCEPTS

Concept 1 - Perch (Code Compliant)

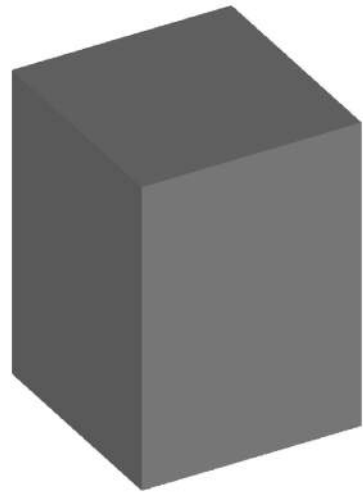


- HOTEL
- RETAIL
- RESIDENTIAL
- UTILITY
- PEDESTRIAN ENTRY
- VEHICULAR ENTRY

CONCEPT 2

7 ARCHITECTURAL MASSING CONCEPTS

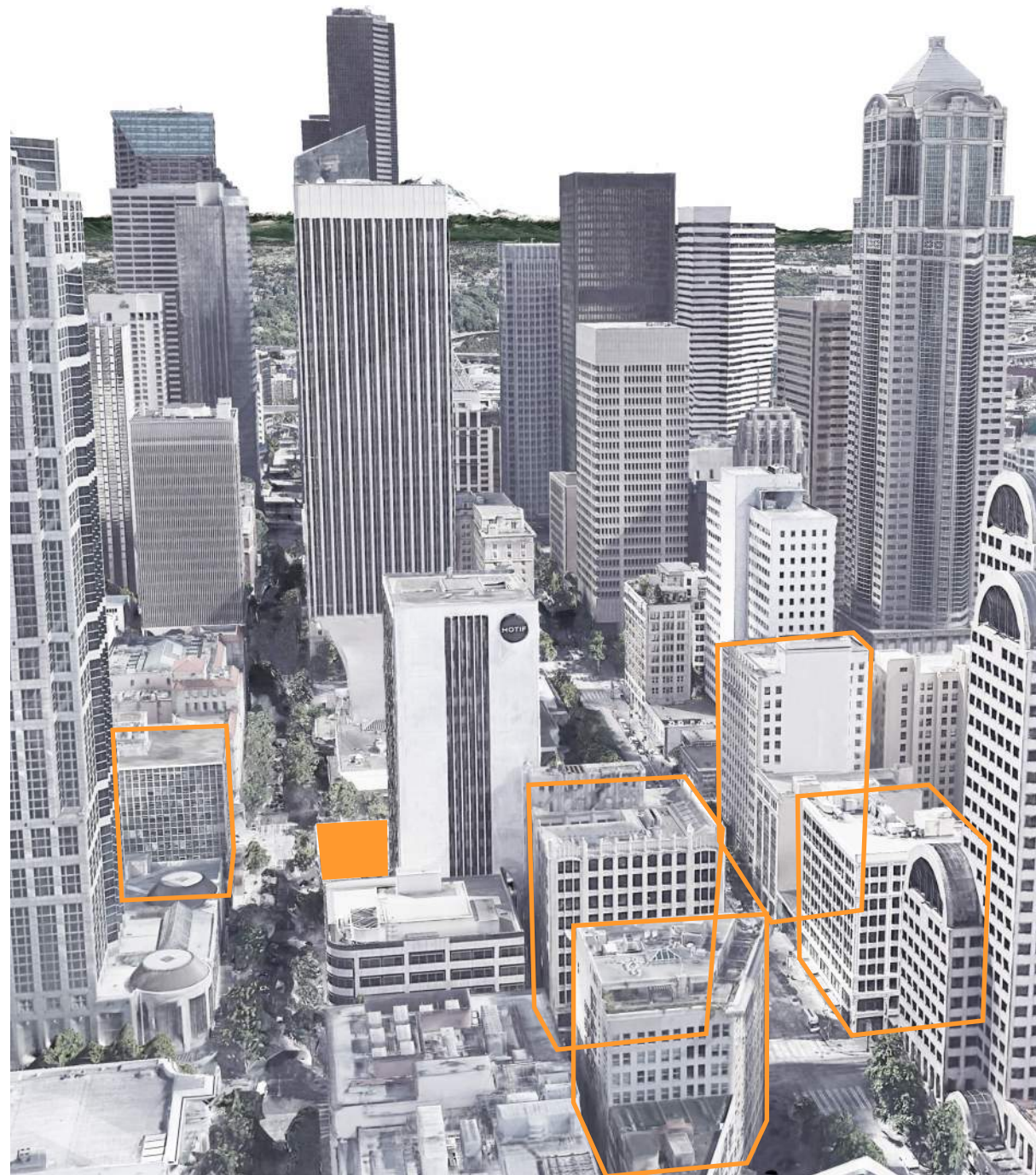
Concept 2 - Compact



Massing Concept

By employing a simple, clear, non-broken, block-like form, this low-scale building associates itself with the surrounding buildings that make up the original DRC context

Right:
Most of the pedestrian-scaled buildings that make of the historic DRC zone are between 100'-200' high and are not broken up by setbacks.

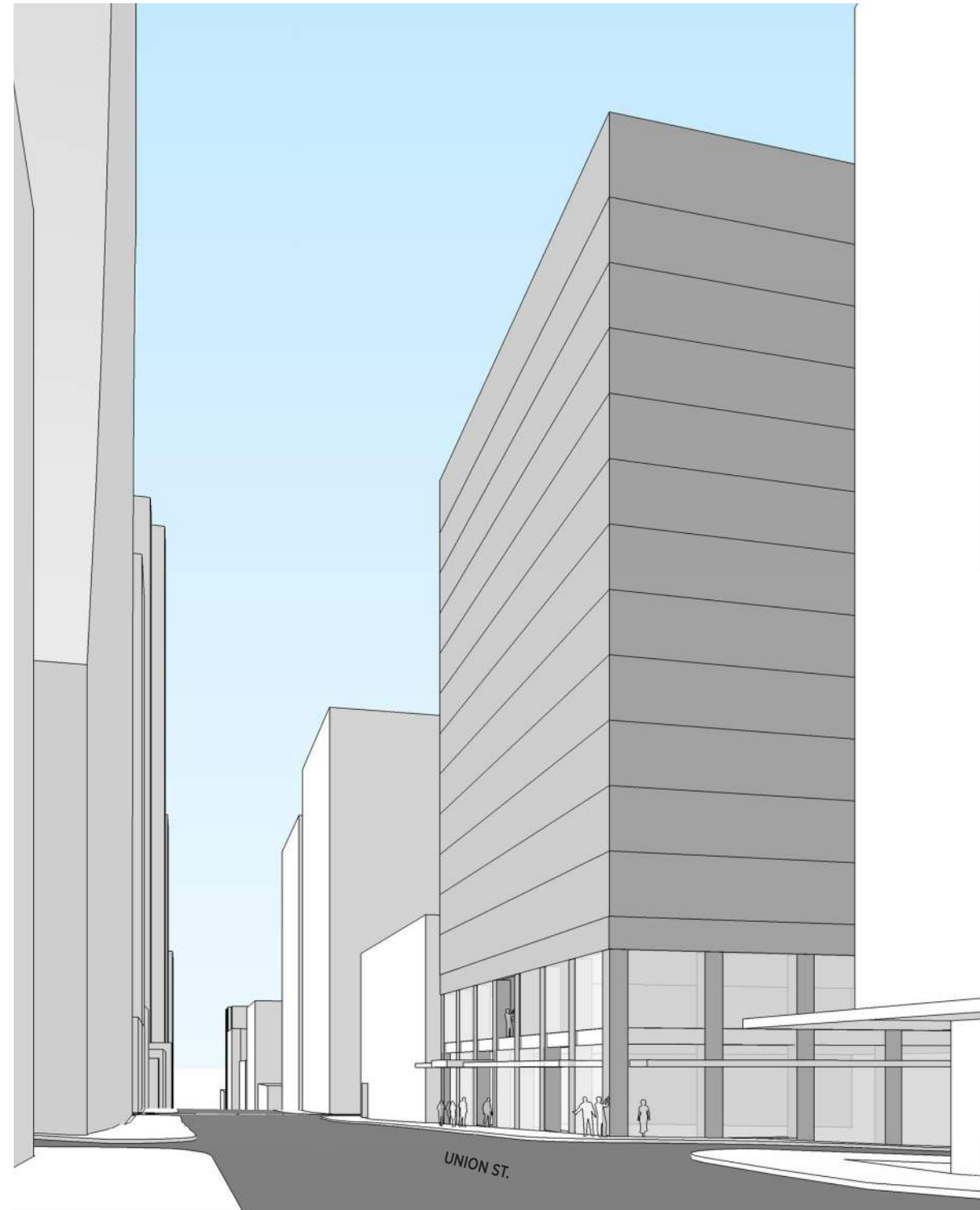


7 ARCHITECTURAL MASSING CONCEPTS

Concept 2 - Compact



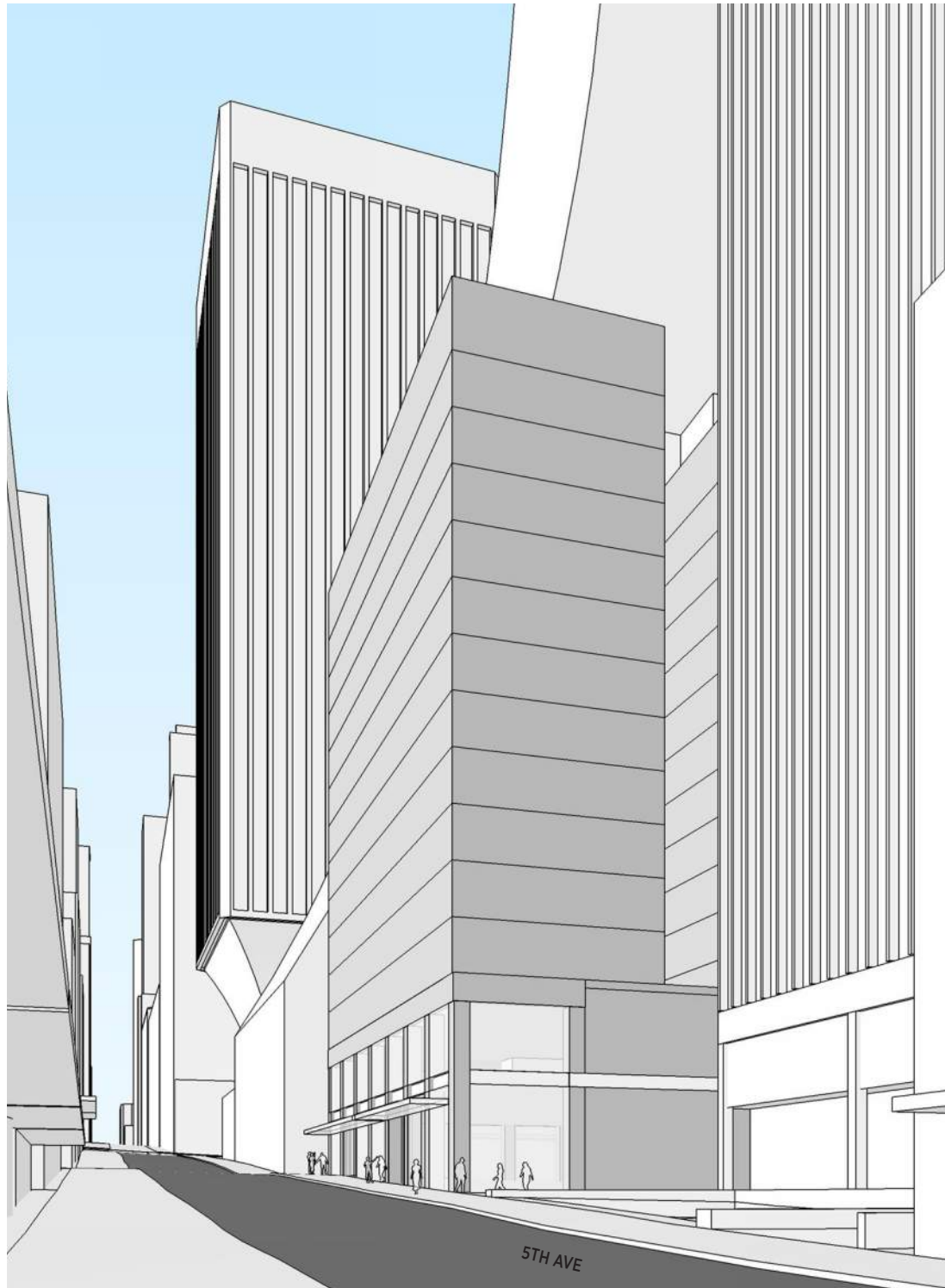
View Looking North on 5th



View Looking West on Union

7 ARCHITECTURAL MASSING CONCEPTS

Concept 2 - Compact



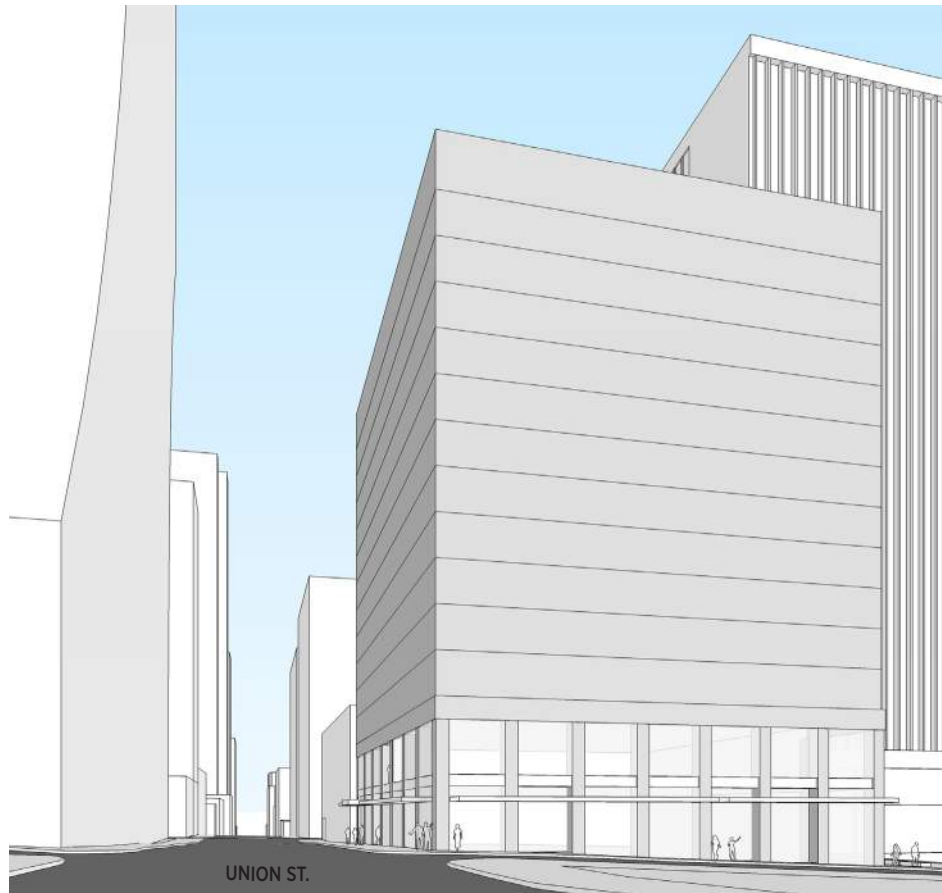
View Looking South on 5th



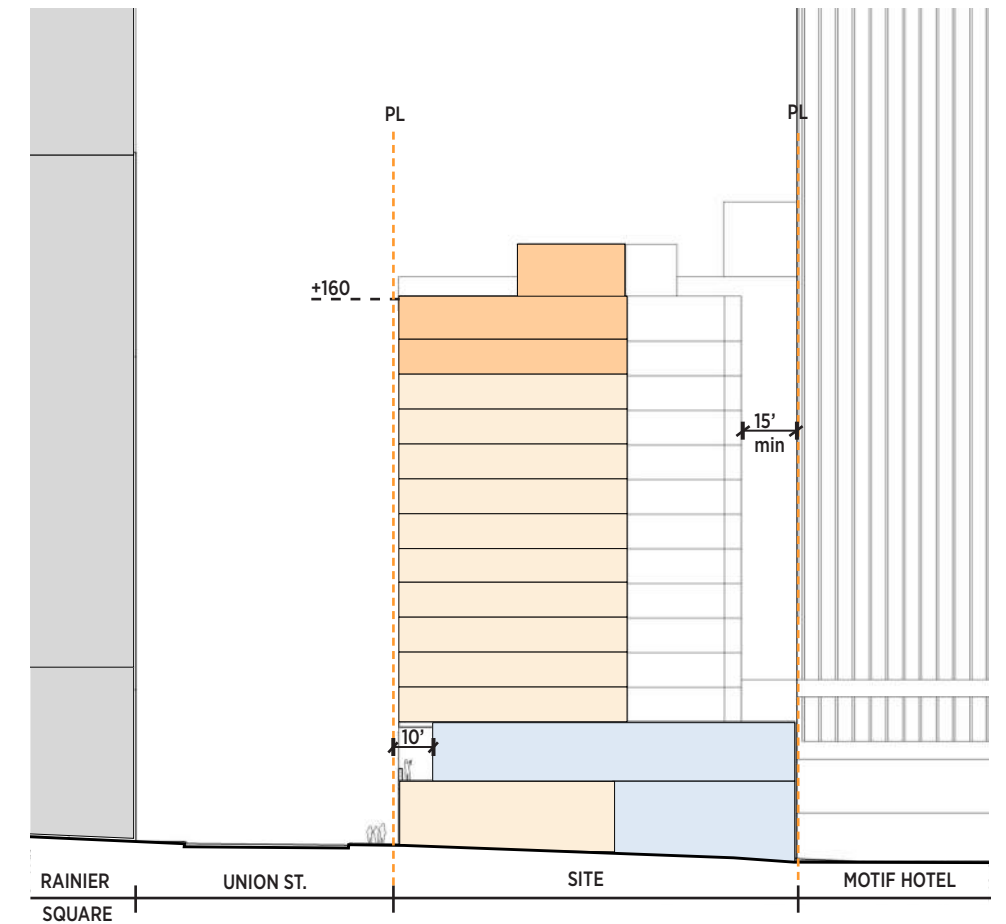
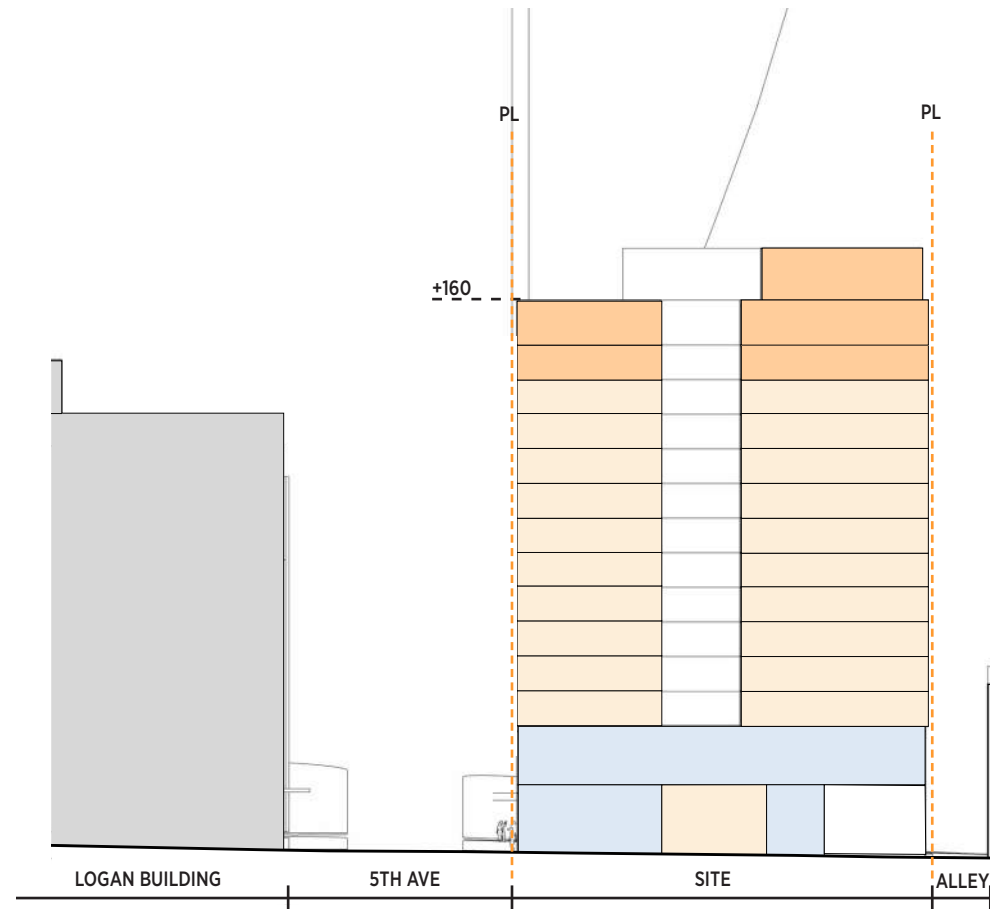
View Looking East on Union

7 ARCHITECTURAL MASSING CONCEPTS

Concept 2 - Compact



Massing Concept 2



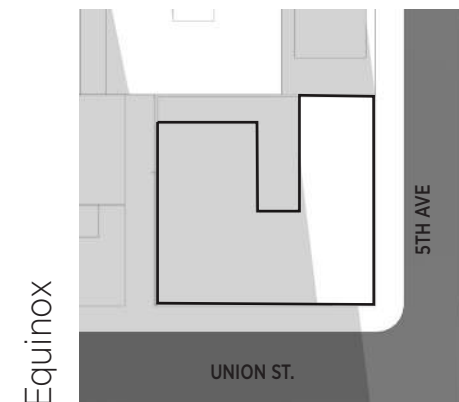
Description

- The contextually-small-scaled building maintains a clear formal identity as a compact, unbroken upper box of hotel and residential rooms above a glassy retail base, thereby better fitting into its context than Concept 1.

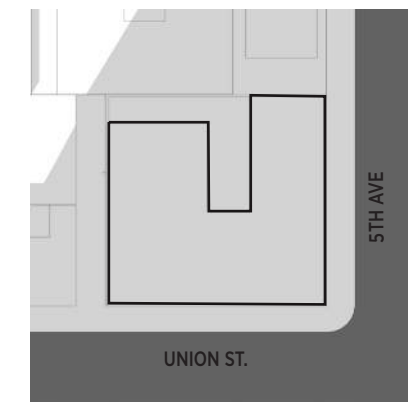
Downtown Design Guidelines Reinforced:

- **B-1 Respond to the neighborhood context**
- **B-3 Reinforce Form & Character**
- **C-3 Provide active - not blank - facades.**

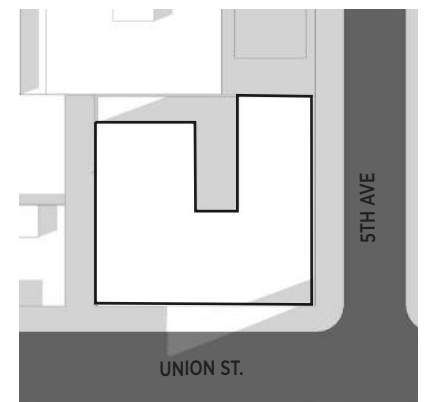
9 AM



12 PM

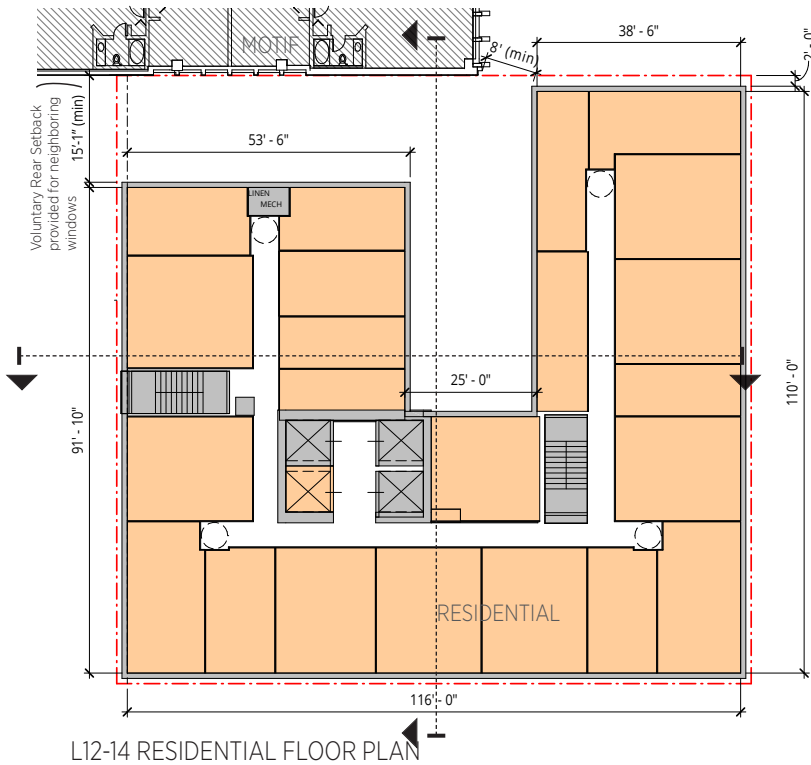
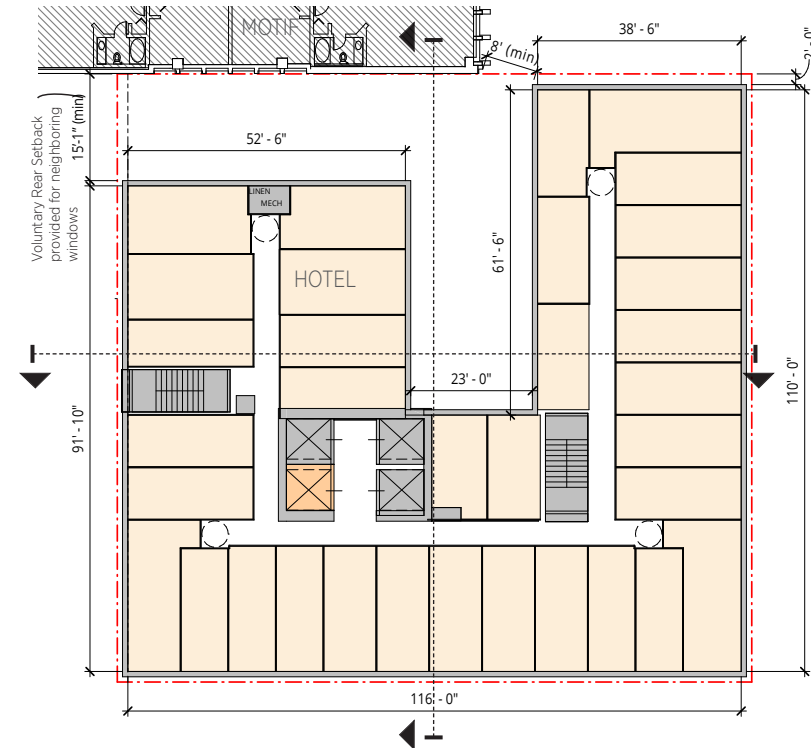
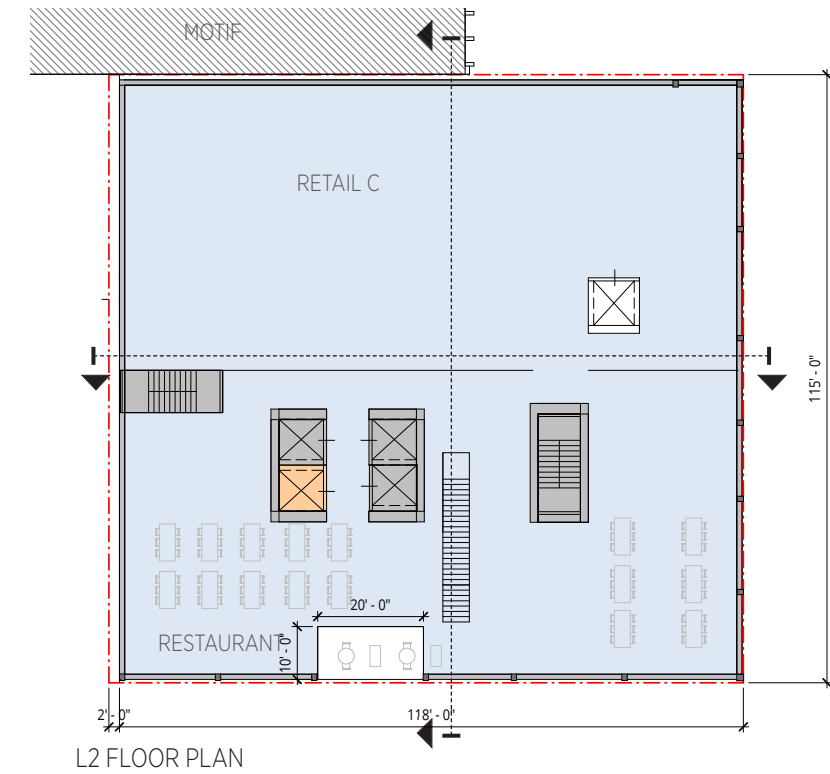
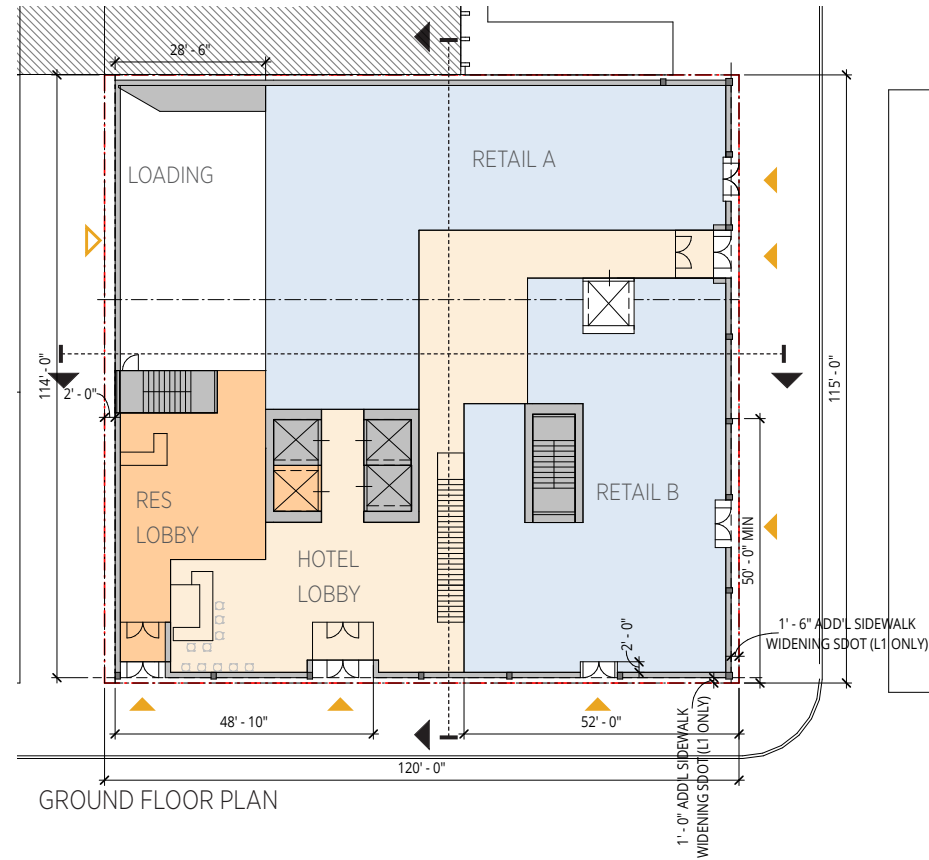


3 PM



7 ARCHITECTURAL MASSING CONCEPTS

Concept 2 - Compact

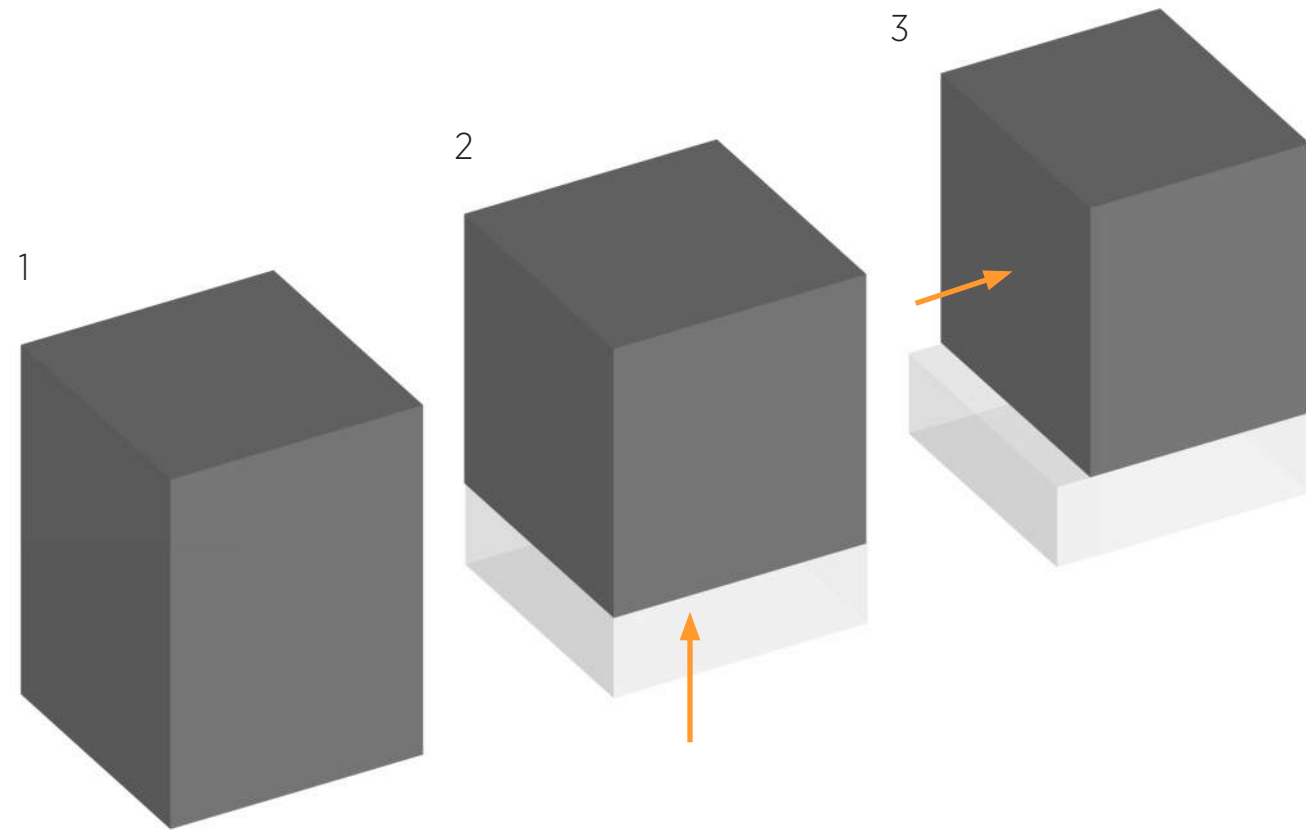


- HOTEL
- RETAIL
- RESIDENTIAL
- UTILITY
- PEDESTRIAN ENTRY
- VEHICULAR ENTRY

CONCEPT 3

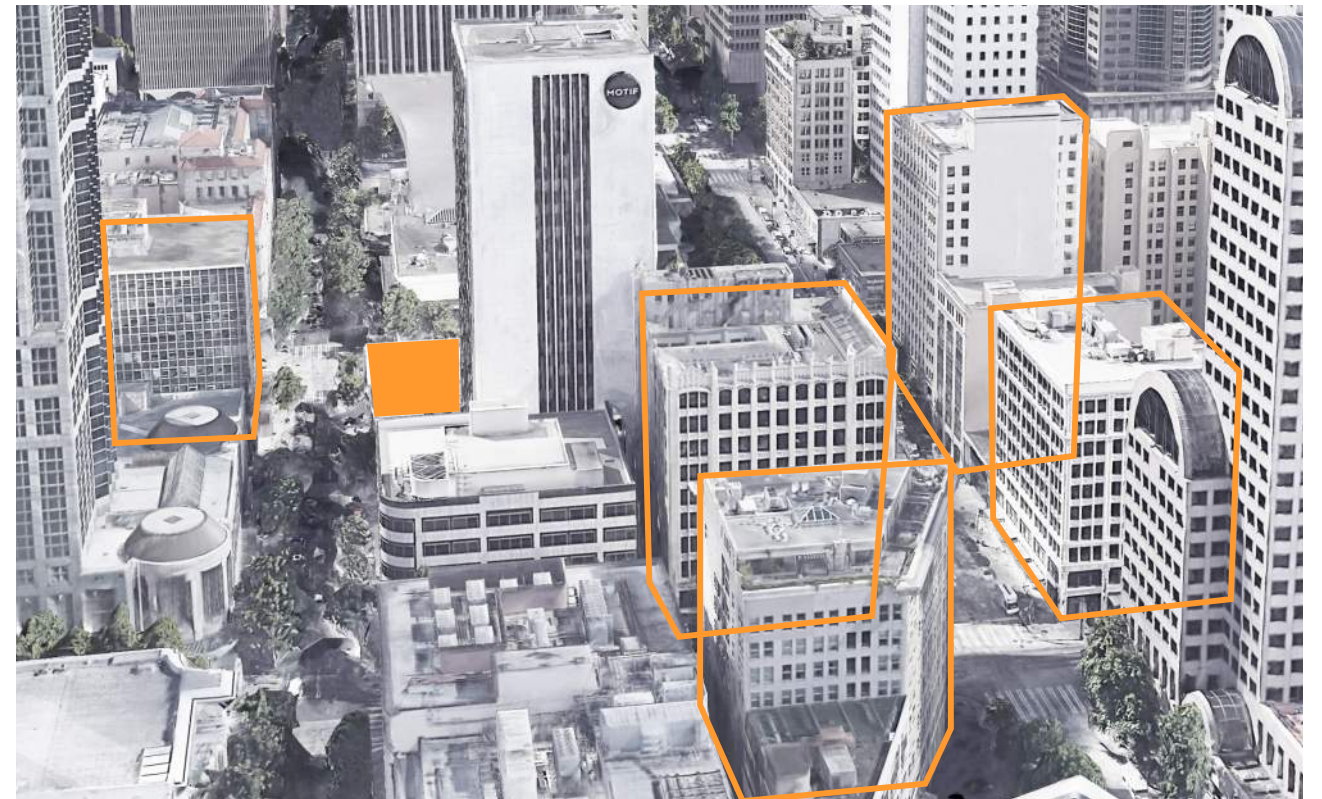
7 ARCHITECTURAL MASSING CONCEPTS

Concept 3 - Harmony (Preferred)



Massing Concepts

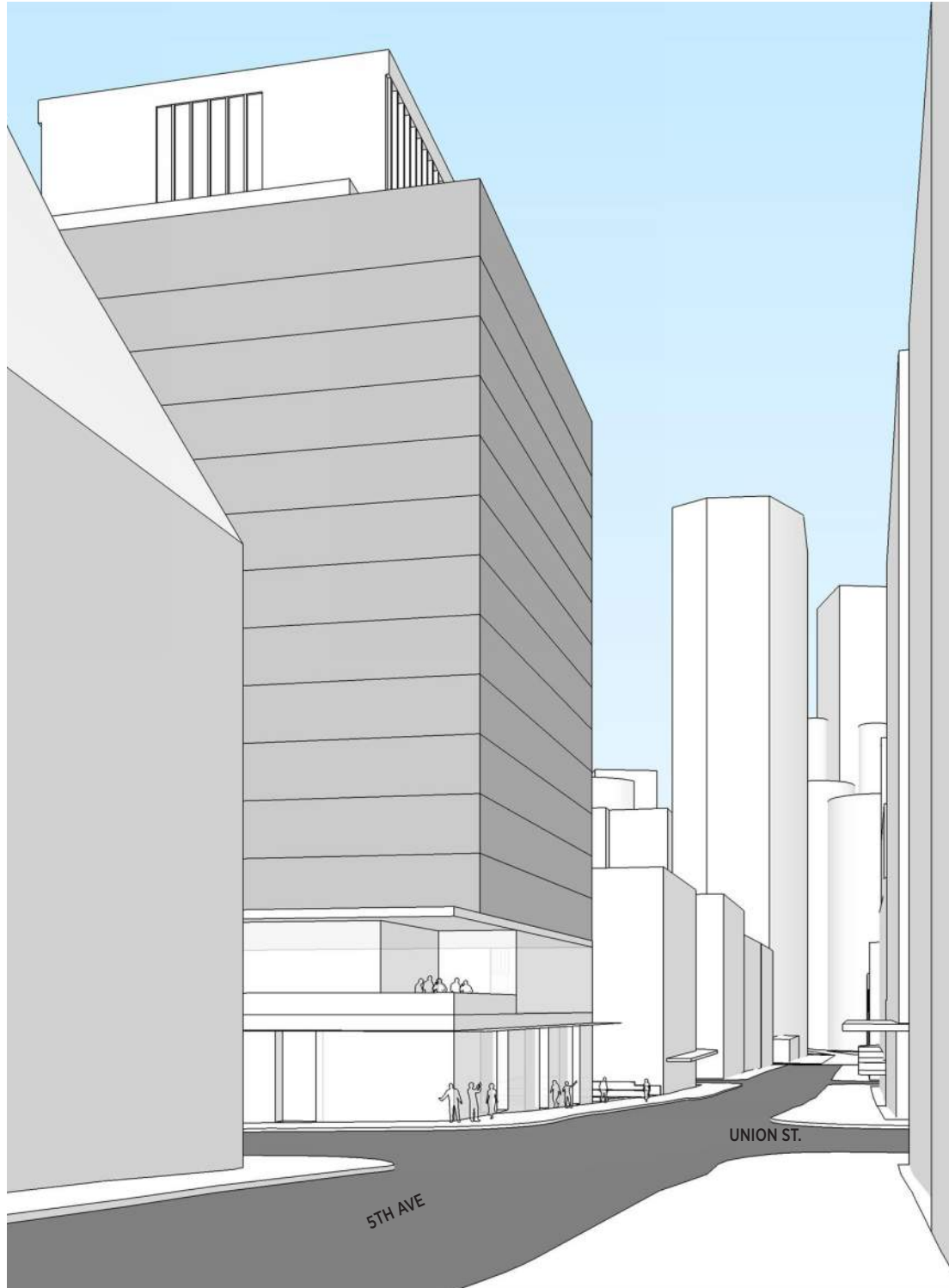
1. Clear, Simple massing: A simple volume floating above a transparent base.
2. Focus on the Pedestrian Scale and Experience.



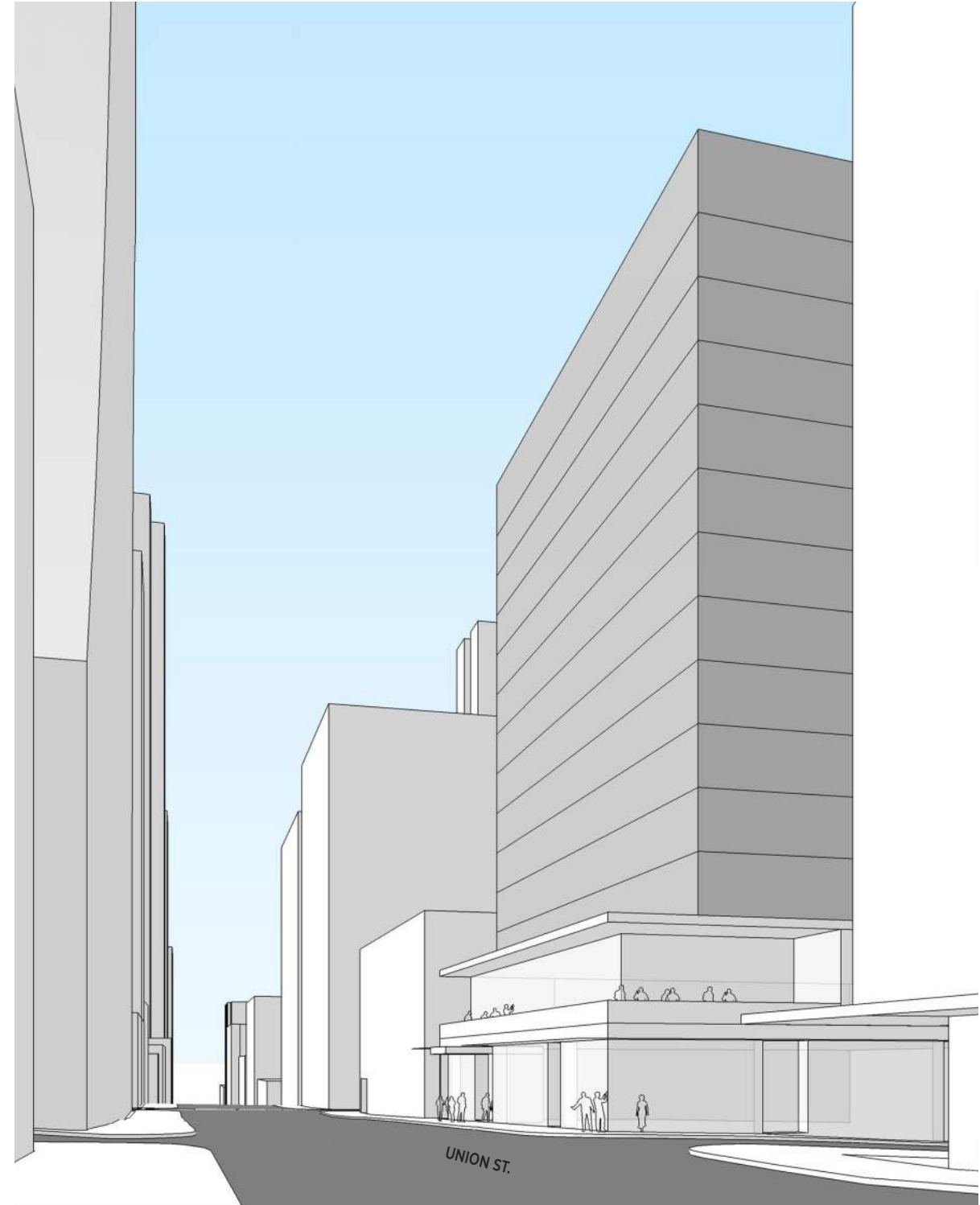
Like Massing Concept Two, Concept Three's massing scale and form are similar to the lower buildings of the retail core.

7 ARCHITECTURAL MASSING CONCEPTS

Concept 3 - Harmony (Preferred)



View Looking North on 5th



View Looking West on Union

7 ARCHITECTURAL MASSING CONCEPTS

Concept 3 - Harmony (Preferred)



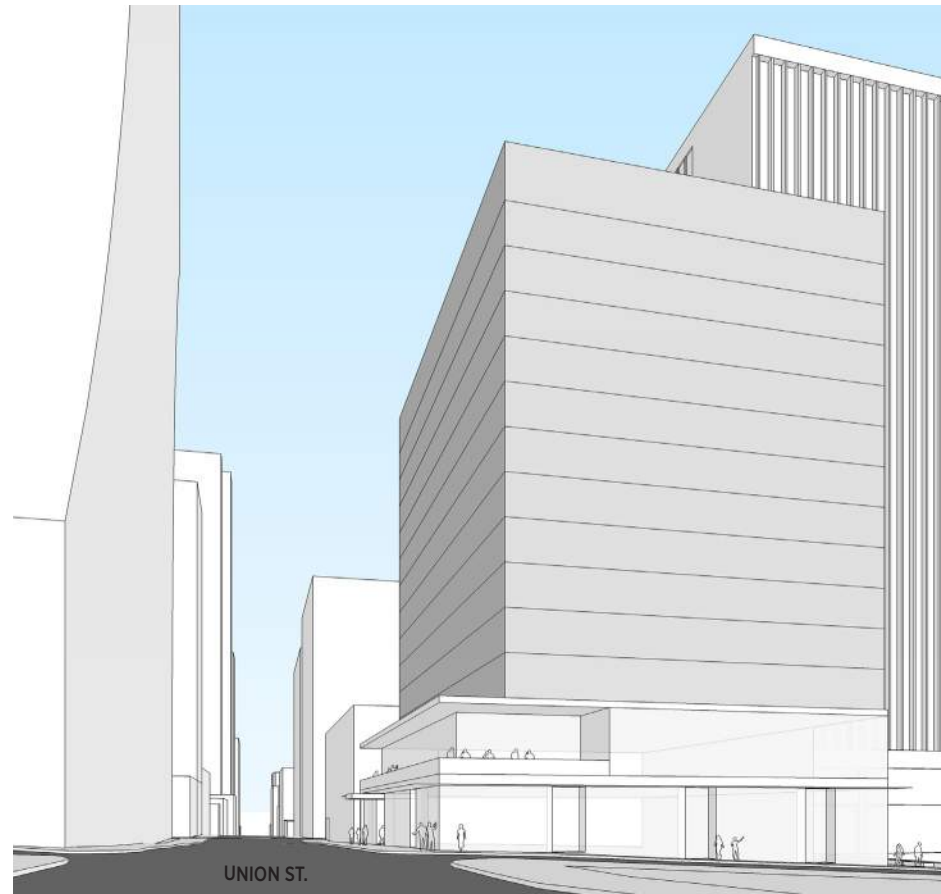
View Looking South on 5th



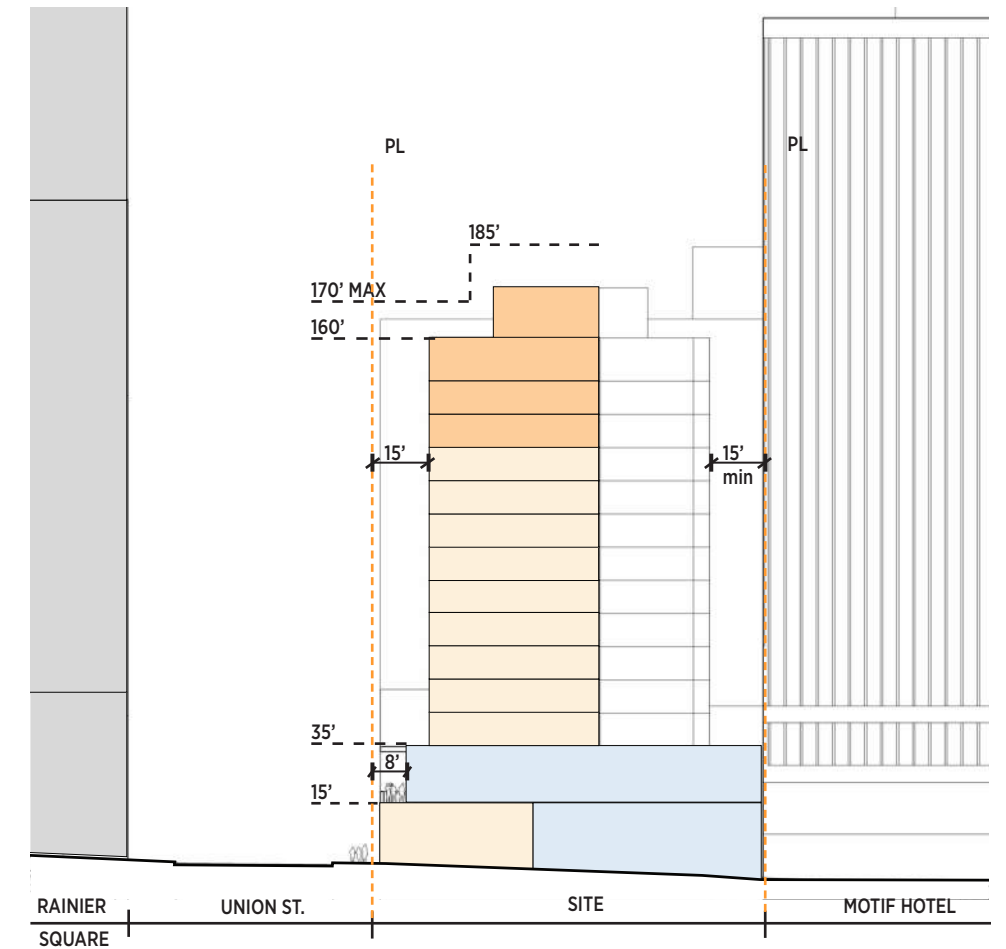
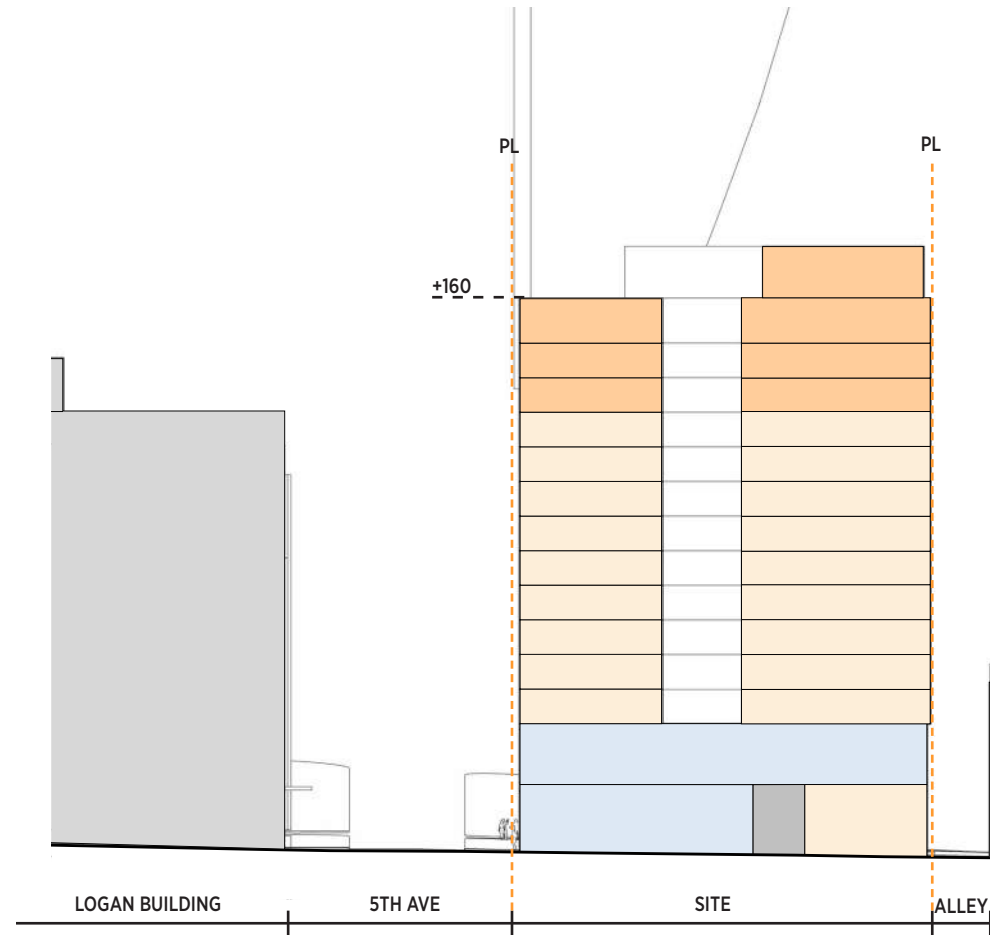
View Looking East on Union

7 ARCHITECTURAL MASSING CONCEPTS

Concept 3 - Harmony (Preferred)



Massing Concept 3 (Preferred)



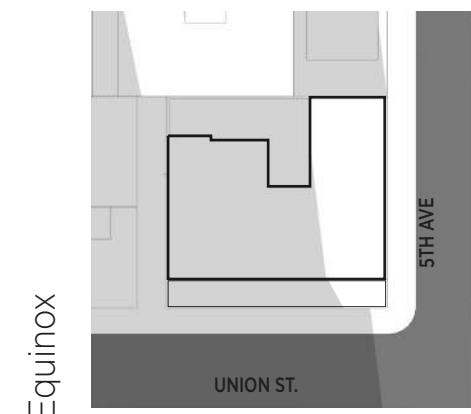
Description

- The small building maintains a clear formal identity as a compact, unbroken upper box of hotel and residential rooms above a glassy retail base.
- Having a 15' setback on Union, and bringing it lower down on the building, brings more massing relief and energy down nearer to the pedestrian sidewalk zone in the form of a restaurant terrace, as compared to Concepts 1 or 2.
- By not setting back at the upper level on 5th Avenue, the floor plate can

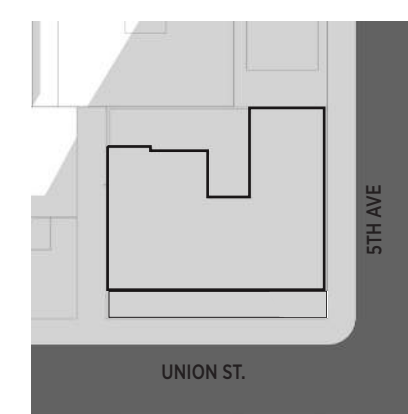
Downtown Design Guidelines Reinforced:

- **B-1 Respond to the neighborhood context**
- **B-3 Reinforce Form & Character**
- **B-4 Design a well-proportioned & unified building**
- **A-1 Respond to the physical environment**
- **C-1 Promote Pedestrian Interaction.**
- **D-1 Provide inviting & usable open space.**

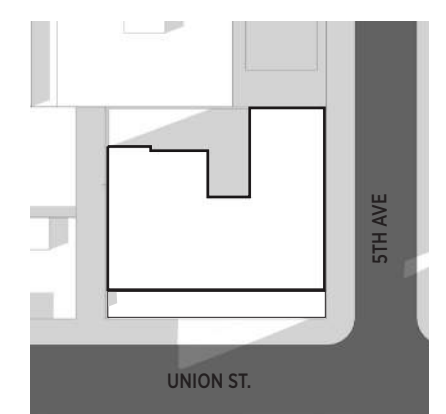
9 AM



12 PM

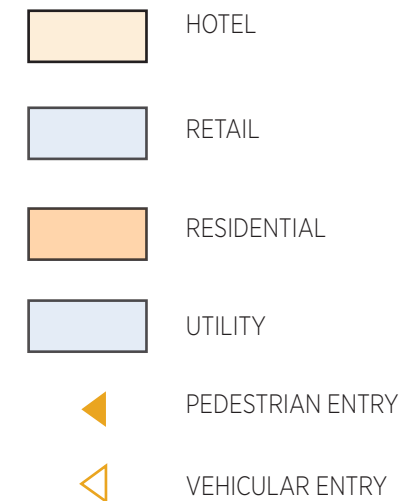
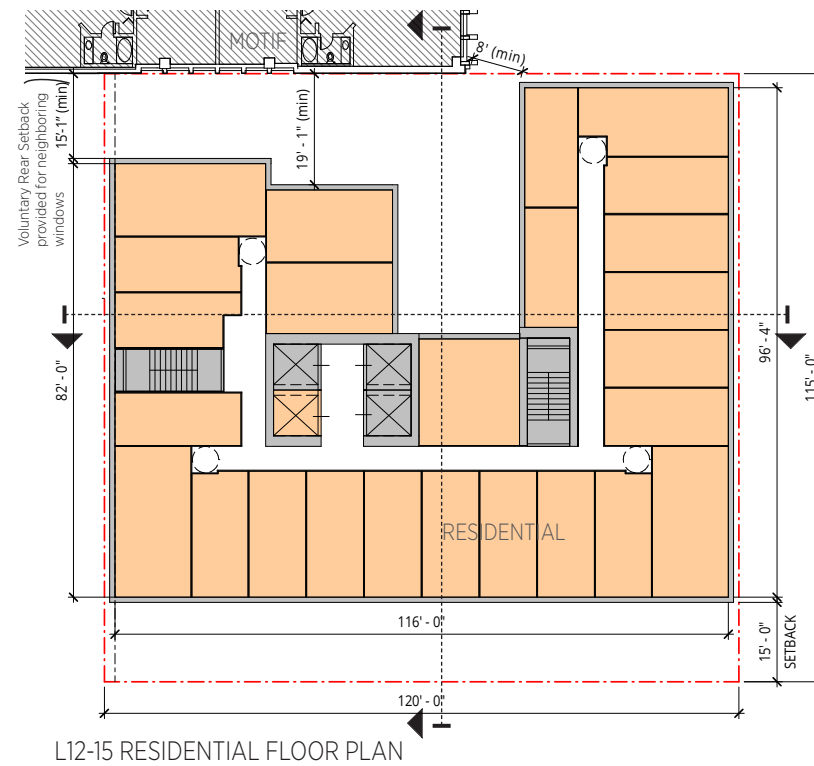
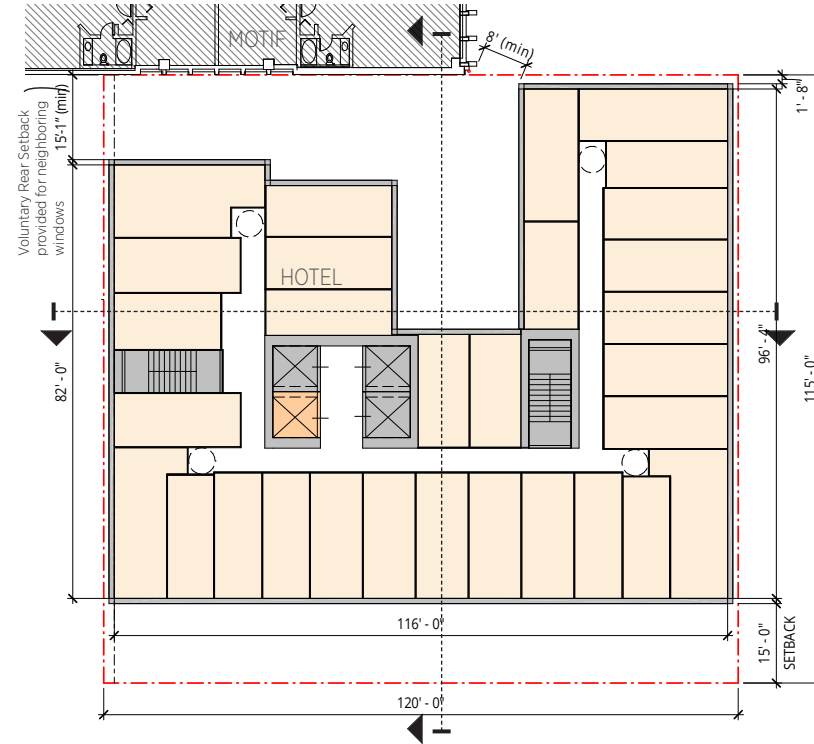
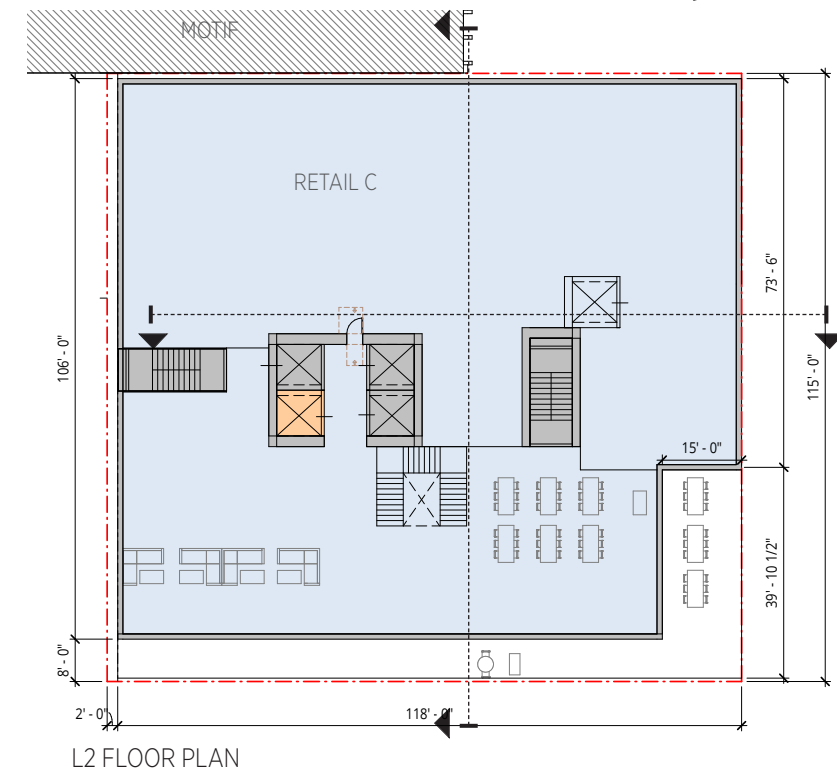
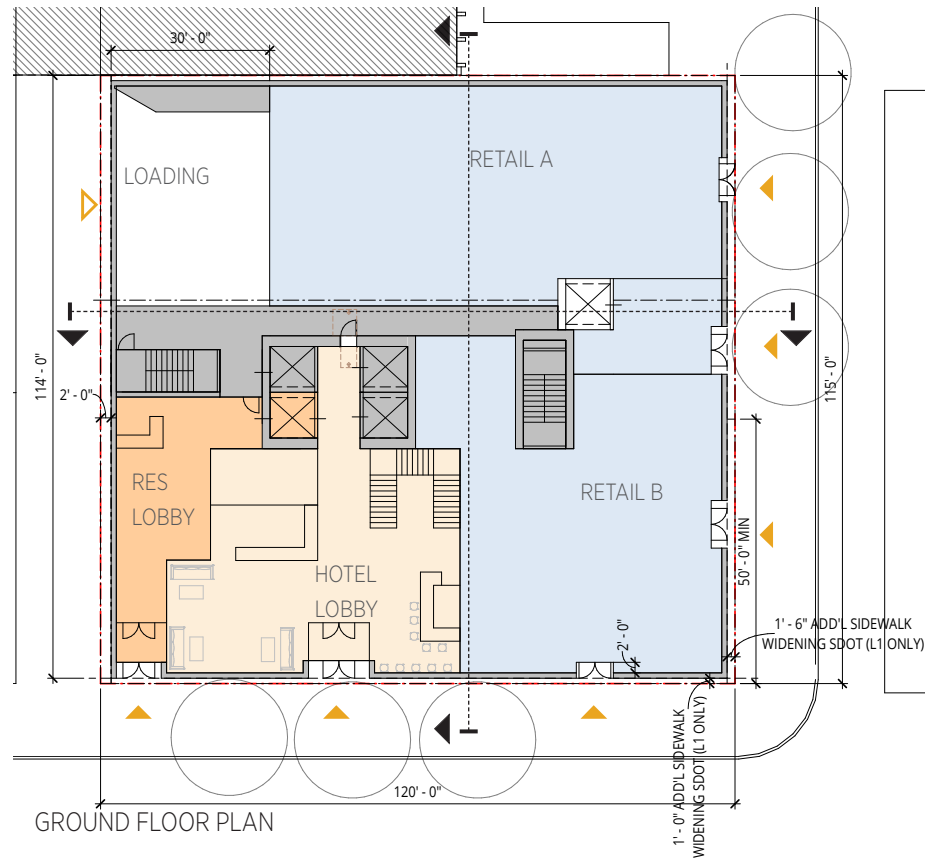


3 PM



7 ARCHITECTURAL MASSING CONCEPTS

Concept 3 - Harmony (Preferred)



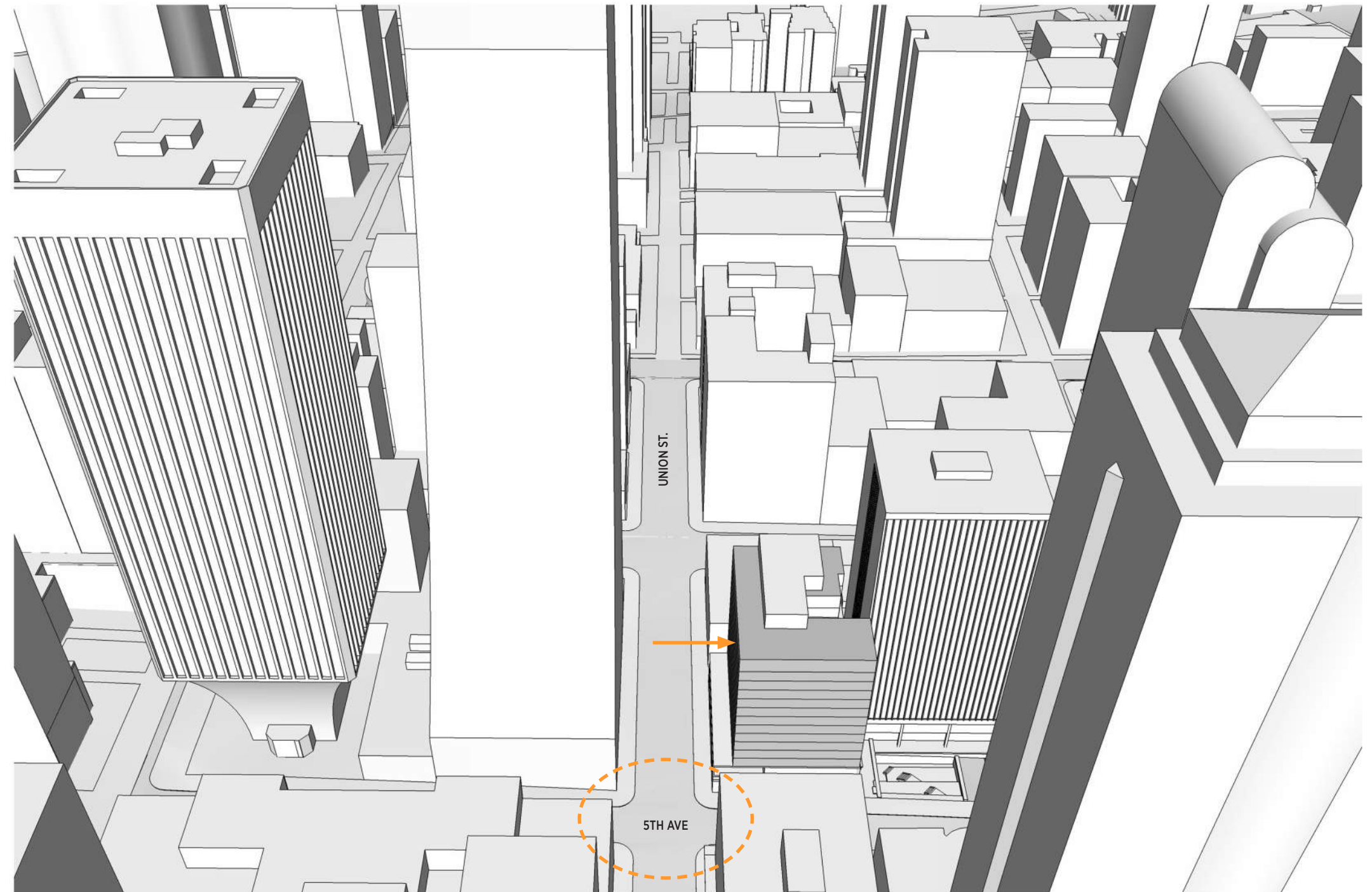
7 ARCHITECTURAL MASSING CONCEPTS

Concept 3 - Harmony (Preferred)

Concept

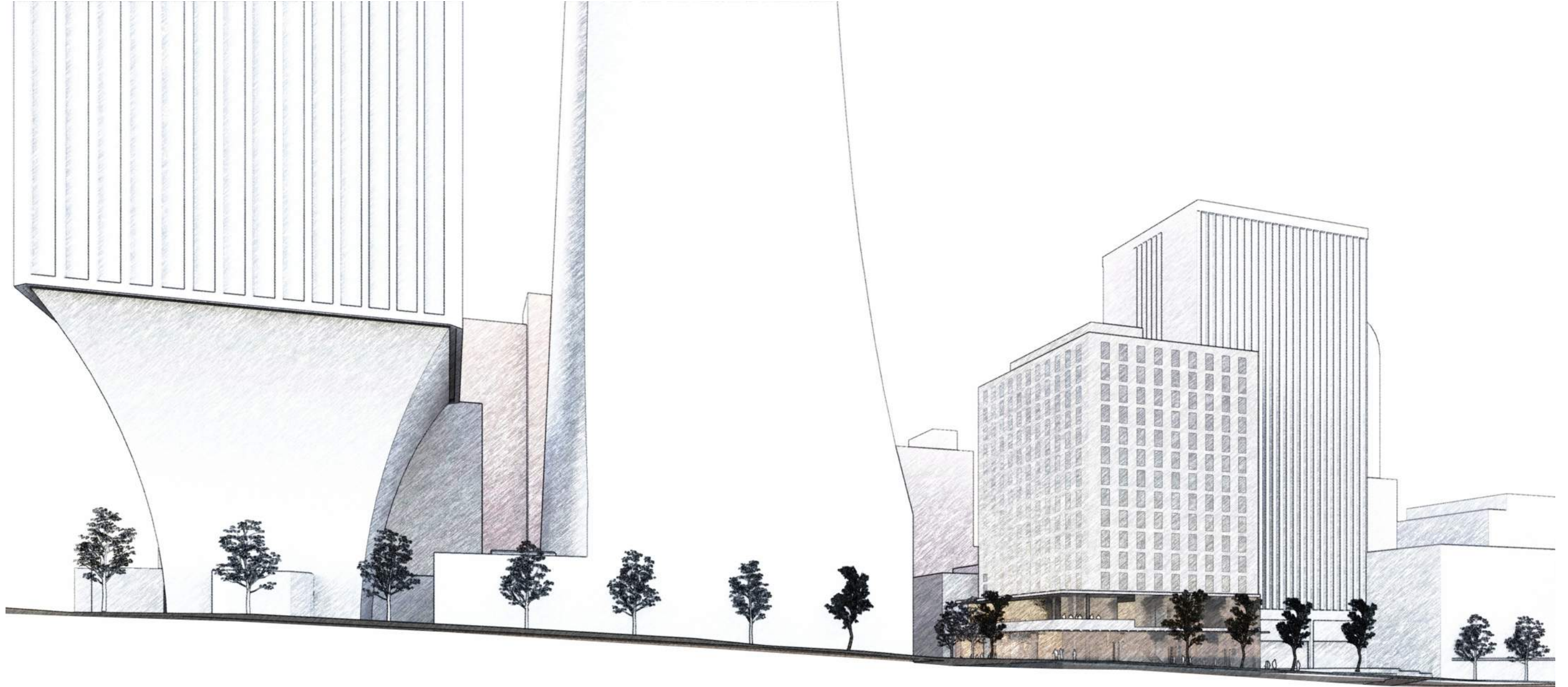
The upper massing pulls away from the big mass of Rainier Square Tower, providing relief down at street level and letting light down to the street corner in the pedestrian realm.

Existing bank building to be demolished shown in Rainier Square Rendering. Note that Preferred Massing and 35' high Setback on Union would leave this image nearly unchanged in terms of massing of new building.



7 ARCHITECTURAL MASSING CONCEPTS

Concept 3 - Harmony (Preferred)



5th Avenue Street Perspective Sketch
Clear, Simple massing: A simple volume floating above a transparent base.

7 ARCHITECTURAL MASSING CONCEPTS

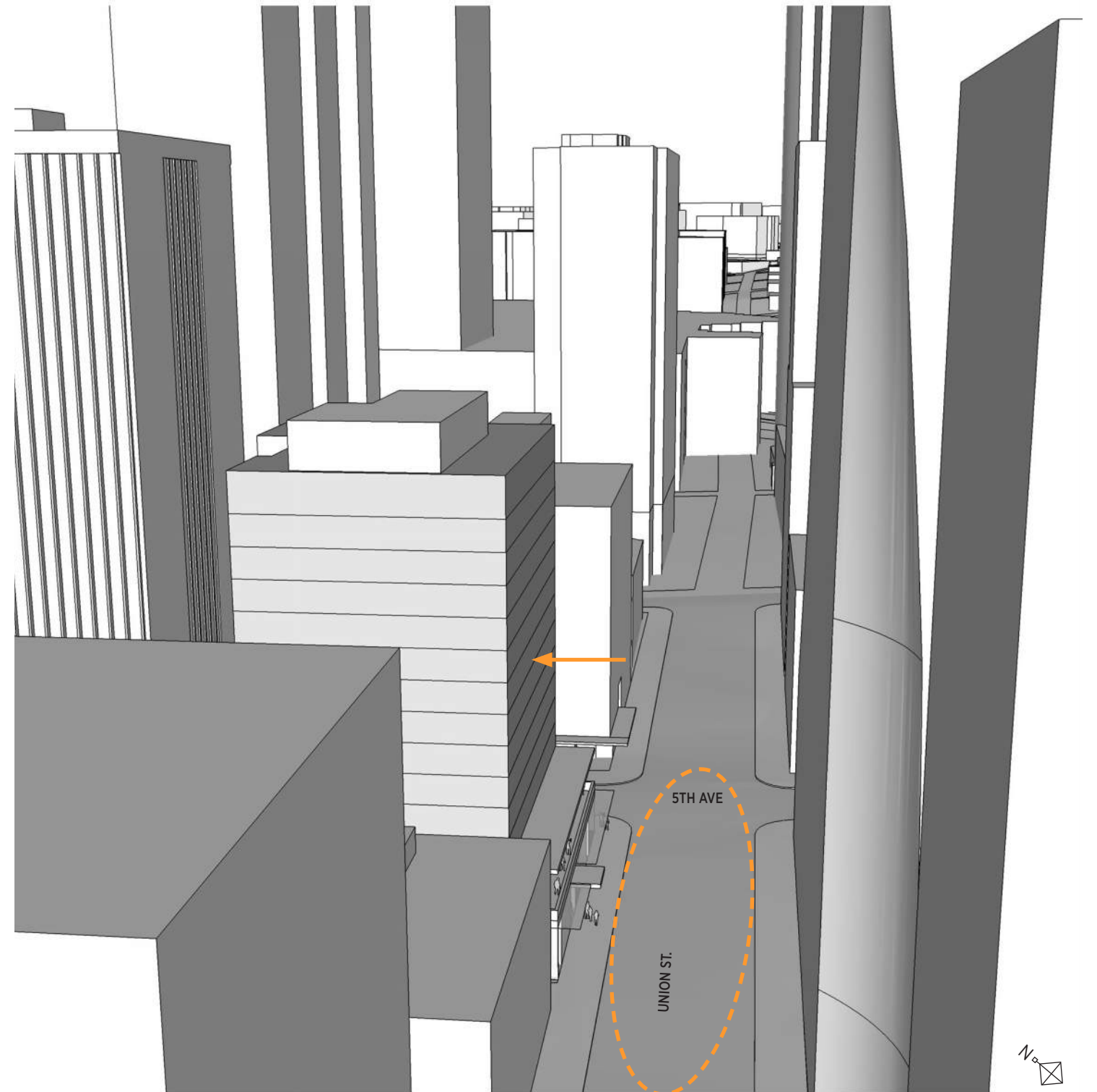
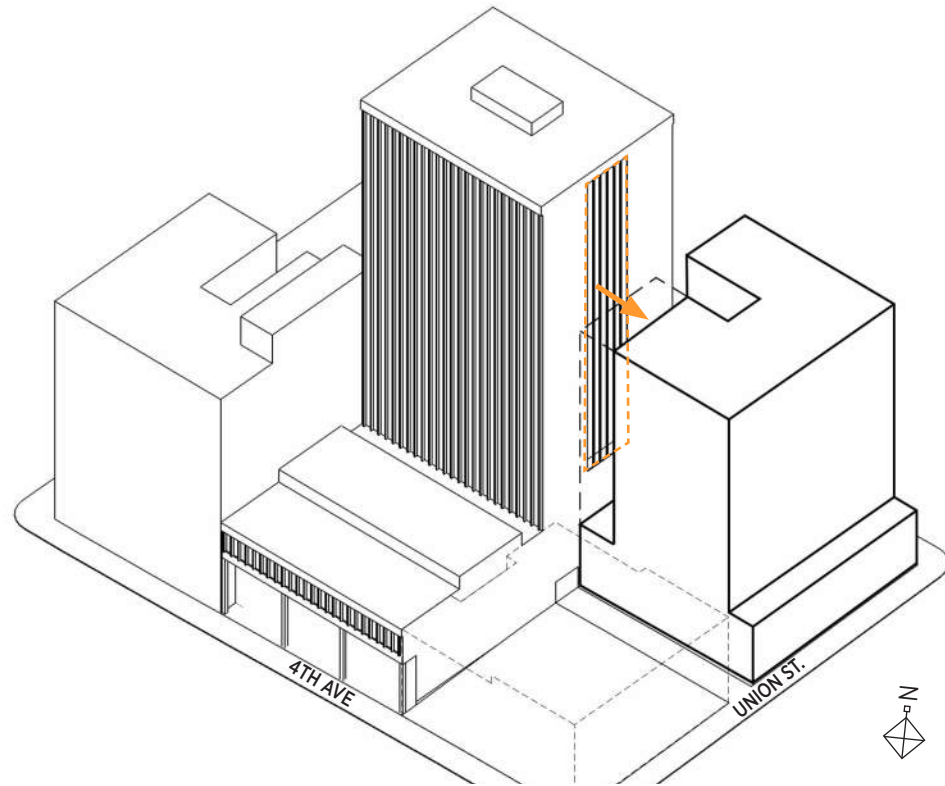
Concept 3 - Harmony (Preferred)

Challenge

The existing Motif Hotel's windows are located directly along the north property line of the proposed project. The owner of the proposed project agrees to set back the new building so that Motif's Windows will still have access to daylight.

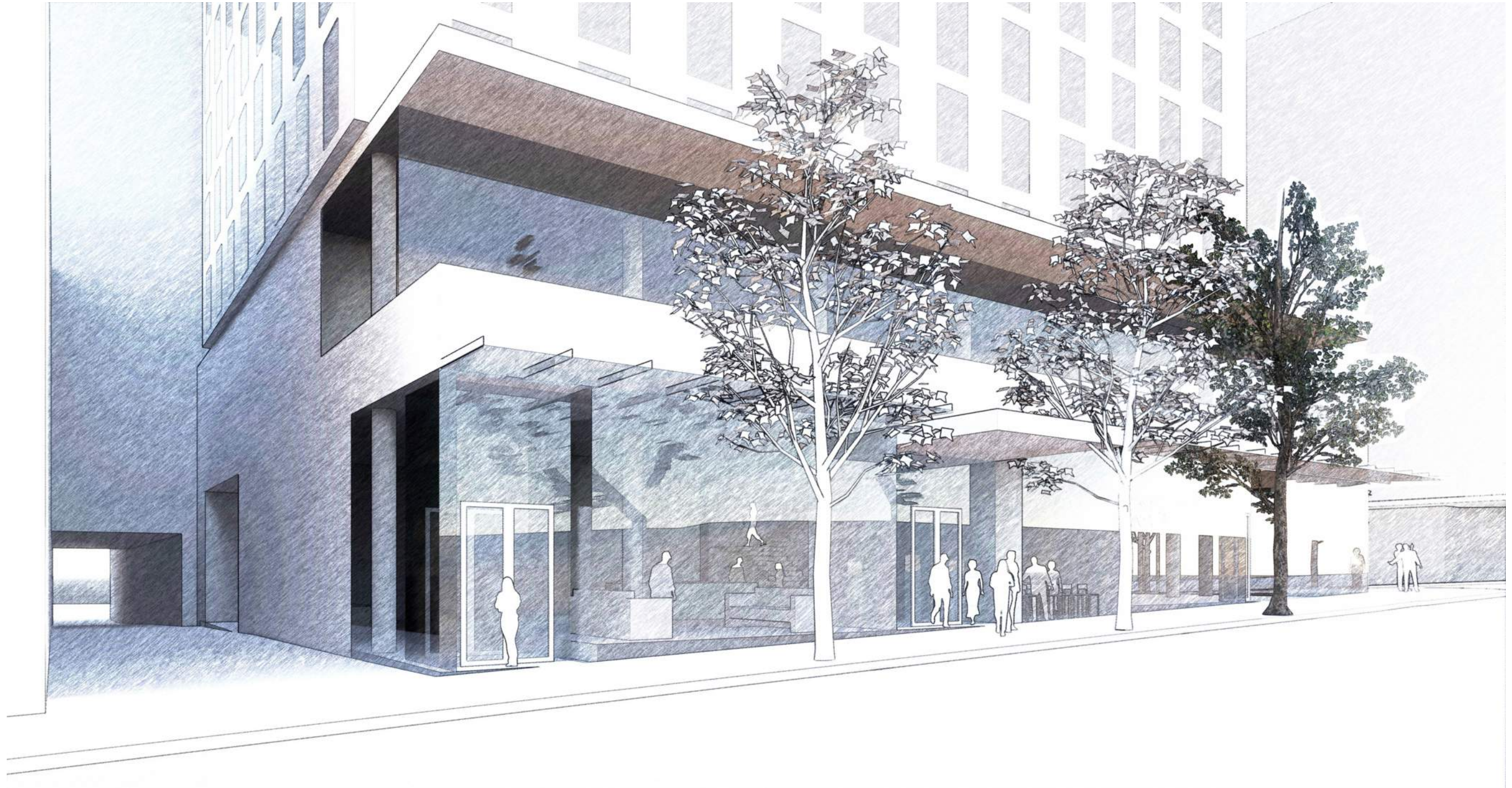
Concept

By keeping the building form simple, it fits in with the lower buildings in the neighborhood. Setting back along Union Street opens up views of the Men's Wearhouse building and the Logan building while providing relief at street level against the Rainier Tower.



7 ARCHITECTURAL MASSING CONCEPTS

Concept 3 - Harmony (Preferred)

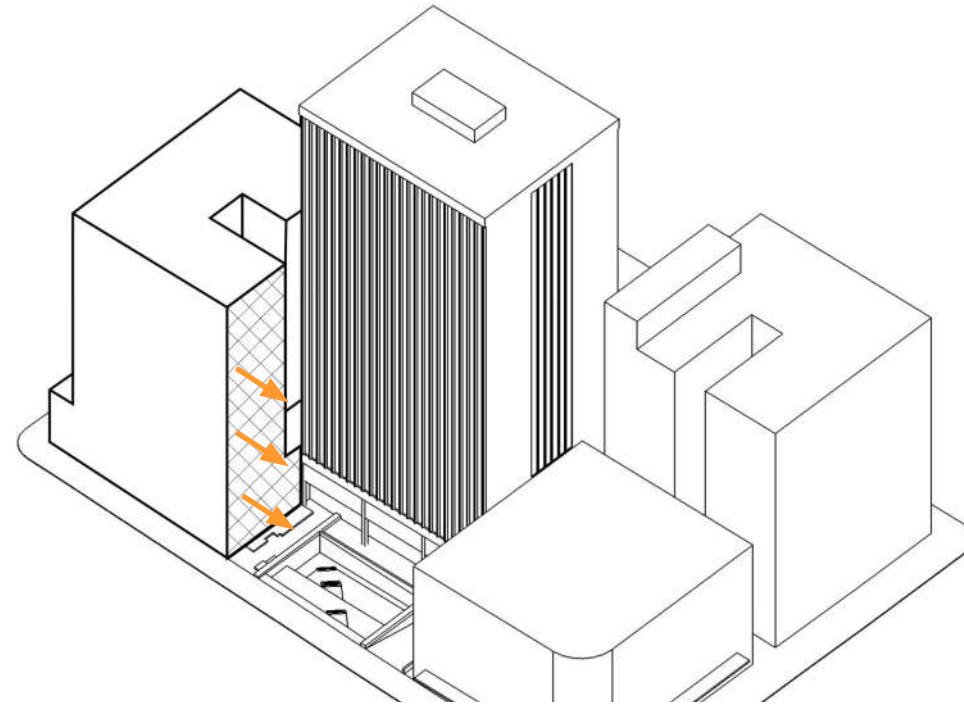
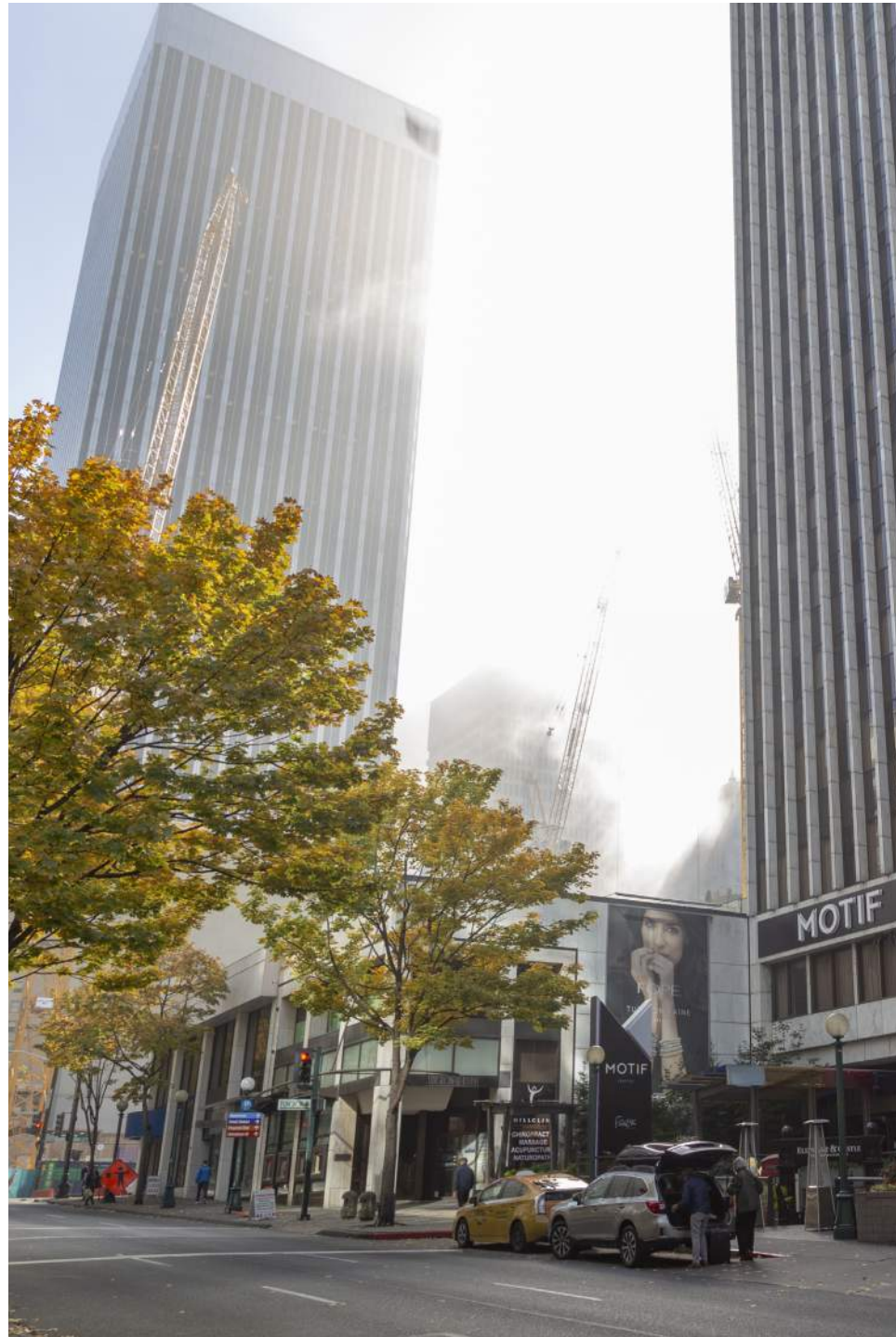


UnionStreet Perspective Sketch

Focus is on the Pedestrian Scale and Experience with an active terrace on the second level and light coming in from above down to the street from a low setback.

7 ARCHITECTURAL MASSING CONCEPTS

Concept 3 - Harmony (Preferred)

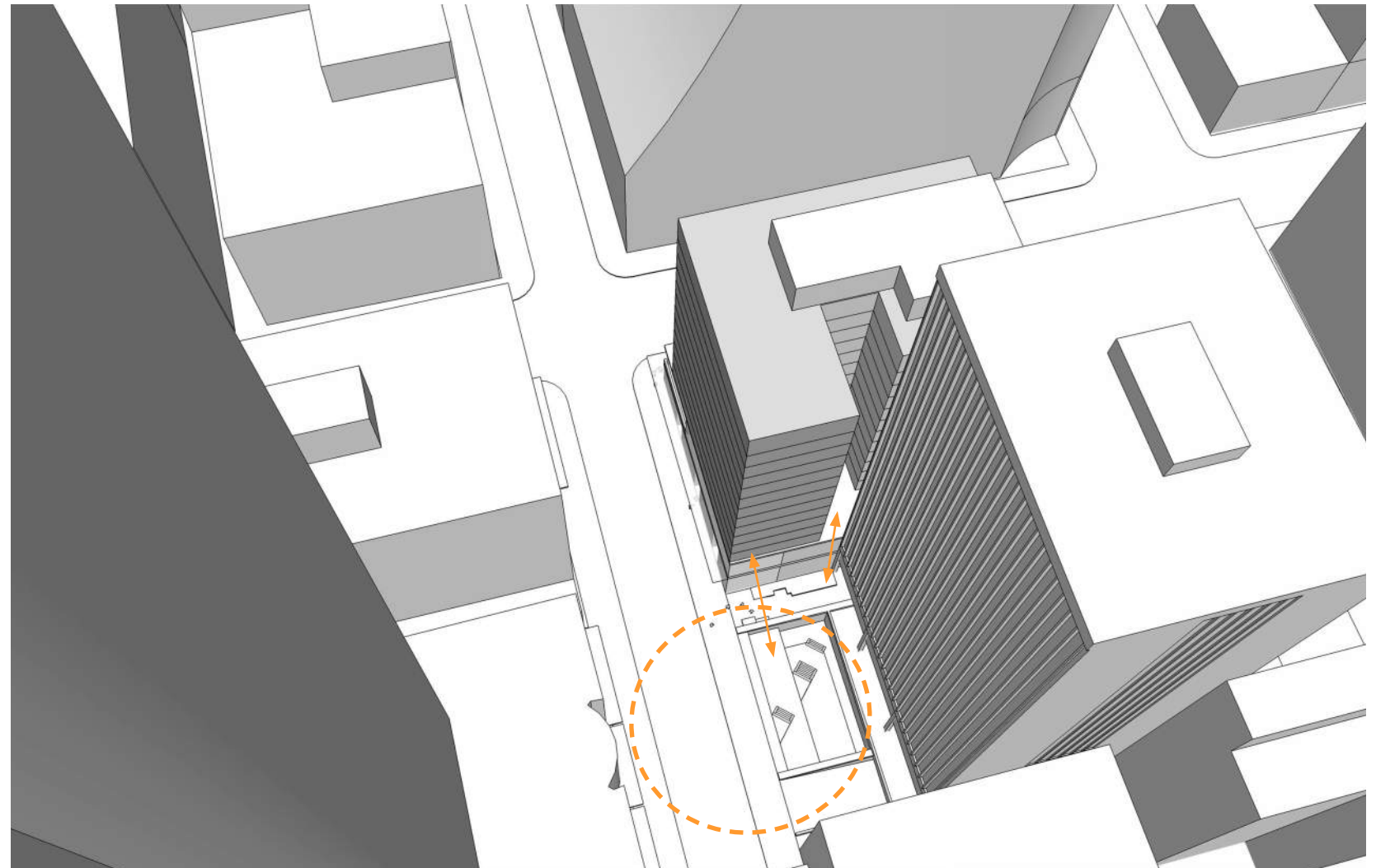


Opportunity

The Motif Hotel is allowing the proposed building an easement to have windows against the north facade property line (which would otherwise be prohibited by fire code). These windows will provide views out from hotel and residential rooms as well as views into the lower level retail spaces, thus activating the existing plaza.

Concept

The proposed building's simple and low-scale mass helps to define the southern edge of an already-successful and unique mid-block outdoor 'room' in front of Motif Hotel. The massing will be lightened by views through the transparent lower floors of the building at ground level as well as views up through the gap between buildings into the new courtyard.



7 ARCHITECTURAL MASSING CONCEPTS

Concept 3 - Harmony (Preferred)

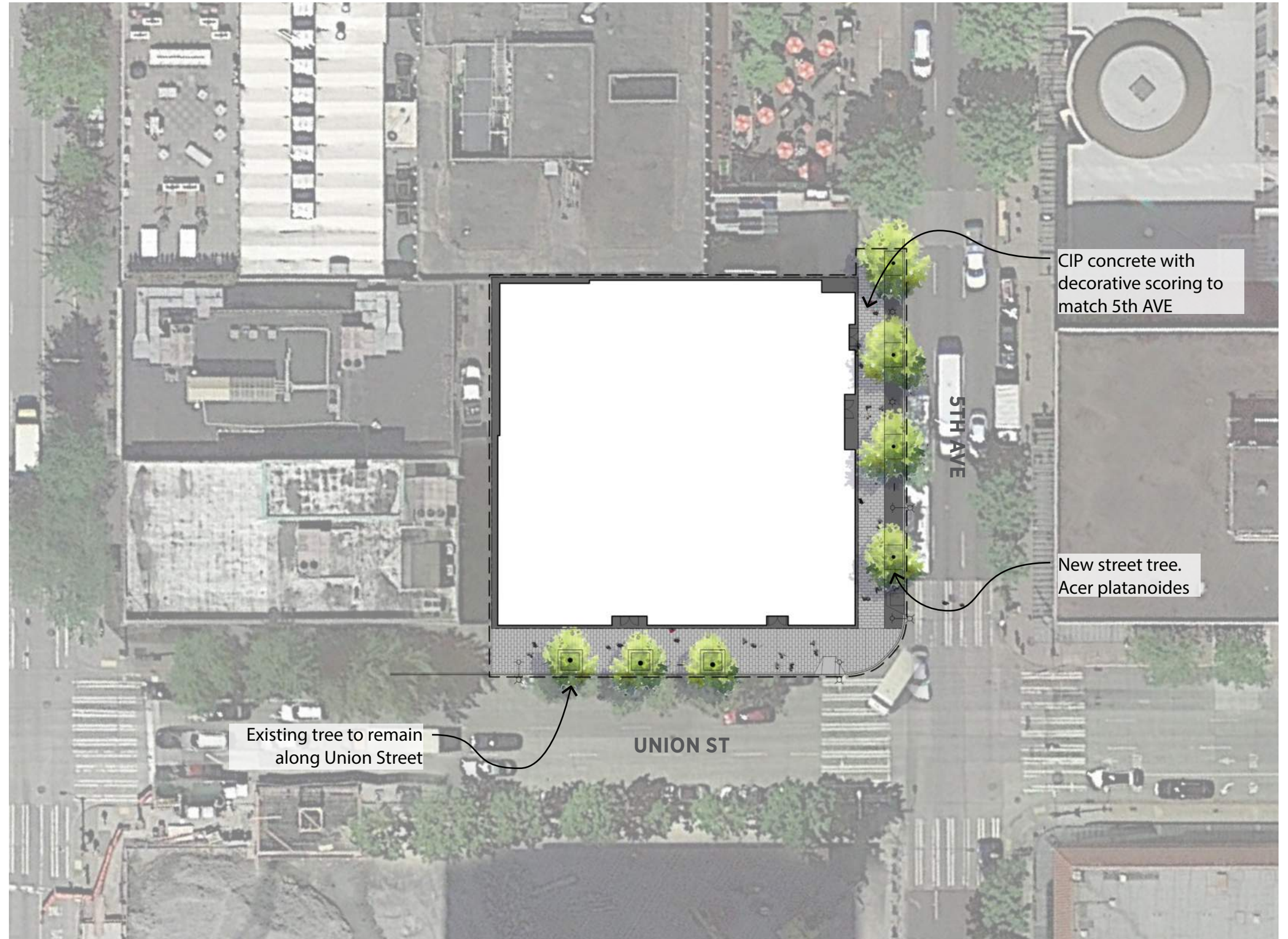


5th Avenue Perspective Sketch
Focus is on the Pedestrian Scale and Experience and enhancing a mid-block place with transparency, form and inside-outside connections.

LANDSCAPE

8 LANDSCAPE

Landscape - Ground Level Plan



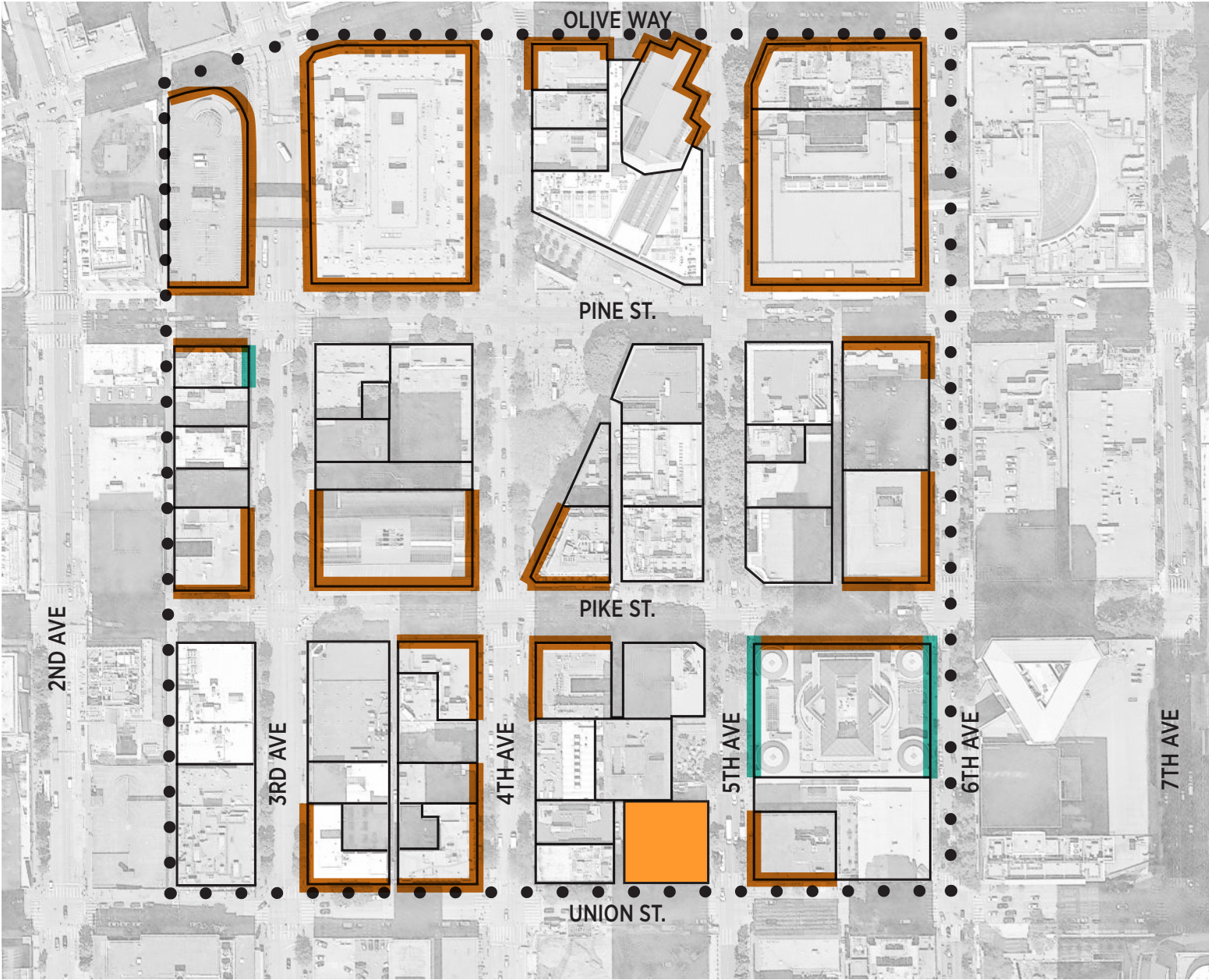
8 LANDSCAPE

Landscape - Levels 2 and Roof Plans

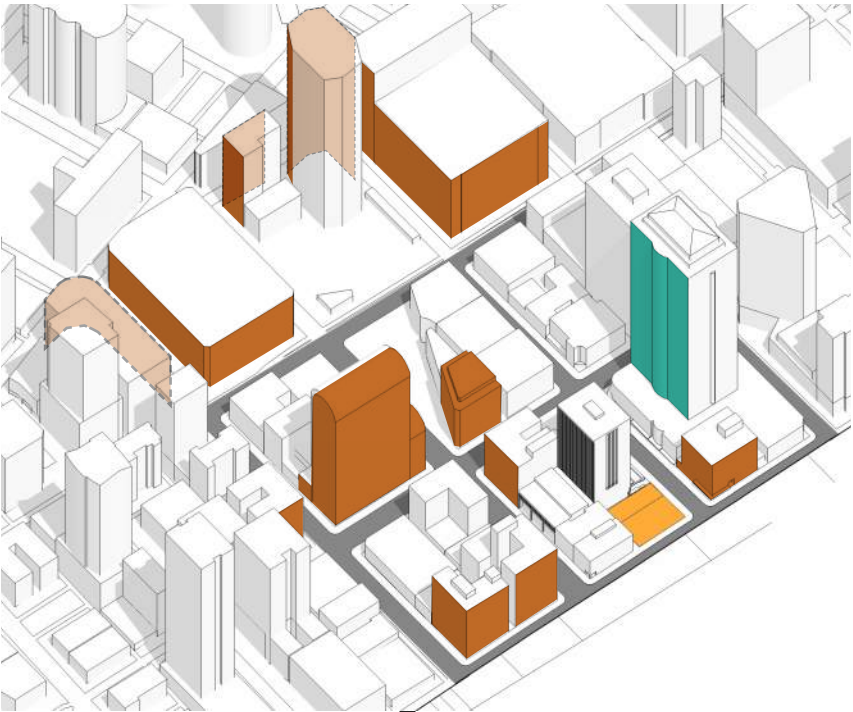


DEPARTURES

Departure 1 for Concept 3 (Preferred Option)



- • • • • DRC ZONE BOUNDARY
 - PROJECT SITE
 - STREET FACADES HIGHER THAN 85' THAT HAVE A SETBACK AT OR BELOW + 85'*
 - STREET FACADES HIGHER THAN 85' THAT DO NOT HAVE A SETBACK AT OR BELOW + 85'*
 - BUILDING OUTLINES AND STREET FACADES LOWER THAN + 85'
- *DRC code requires structure setbacks of 15' from the street property line for all portions of a building at or above a



Observations

Only two buildings in the DRC zone are taller than 85' and have a 15' setback - and those two buildings only have the setback on one street facade, and not the other - so there are no existing buildings which completely comply with the code requirement. Assuming that the intent of the requirement is to enhance the pedestrian experience, there may be other measures to achieve the goal.

Departure 1 for Concept 3 (Preferred Option)

Departure 1

Development Standard:
23.49.108 - Downtown Retail Core, upper-level development standards

Requirement:
Structure setbacks of 15 feet from the street property line are required for all portions of a building at or above a height of 85 feet above the adjacent sidewalks.

Departure Requested:
The request is to not set back the structure above 85' high on the 5th Avenue (east) façade.

Mitigating measures:
The proposed design will provide greater volumetric reductions than are required, and it will provide them in locations that will better enhance the Pedestrian experience.

The Departure asks for 107,857 cubic feet of massing to not be set back. However, the proposed design will provide an additional voluntary setting back of massing of 224,315 cubic feet (twice the amount of bulk will be provided than is being requested). This is accomplished in two steps:

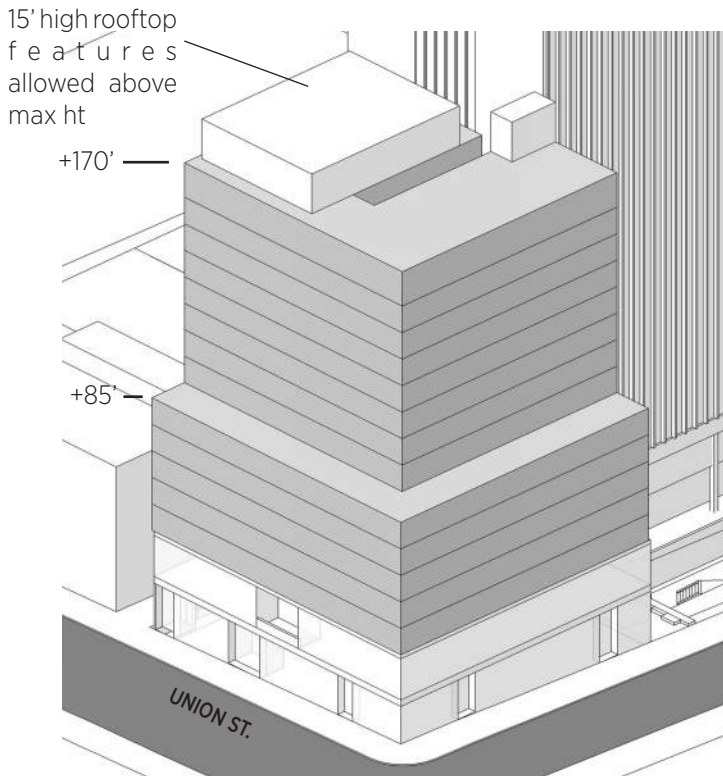
- The overall building height will be lowered from 170' maximum to 160'.
- The required 15' deep structure/façade setback on the Union Street (south) façade will begin 50' lower on the façade than is required (starting at 35' high rather than 85' high).

Rationale:
The purpose of the departure is two-fold:

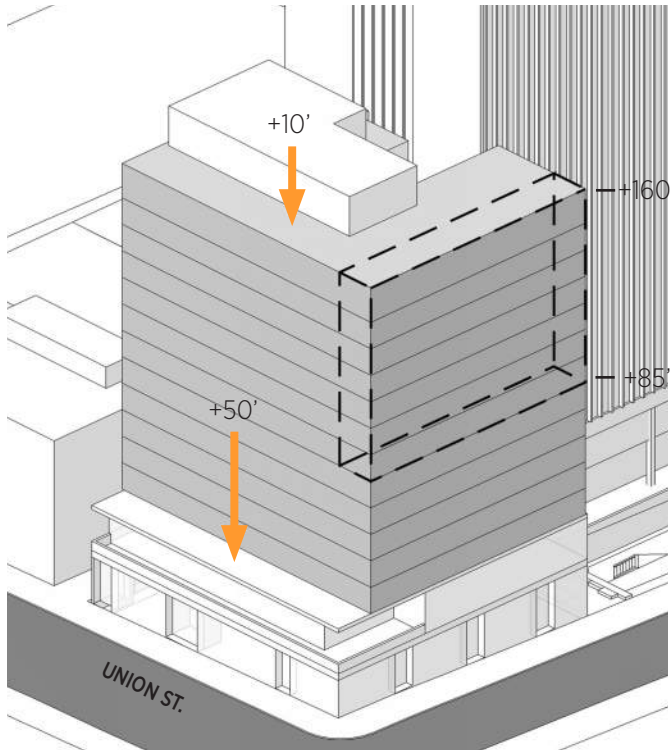
As illustrated in previous pages, a setback half way up the building has no precedent in the DRC zone and is not contextually appropriate for a building of this small scale. The design goal is to create a clear, simple form, to match the other similar-scaled buildings in the DRC.

By bringing the Union Street façade setback down to a height of the required minimum façade height of 35', more light and air is brought down to the pedestrian level at the vital corner of the building where pedestrians congregate. Setbacks starting at 85' are not nearly as appreciable at the pedestrian level. This low setback also provides relief against the monumental 850' street wall of the adjacent Rainier Square Tower and opens up the street corridor for better views west on Union Street to the water and to the 50' high Landmarked Men's Warehouse building

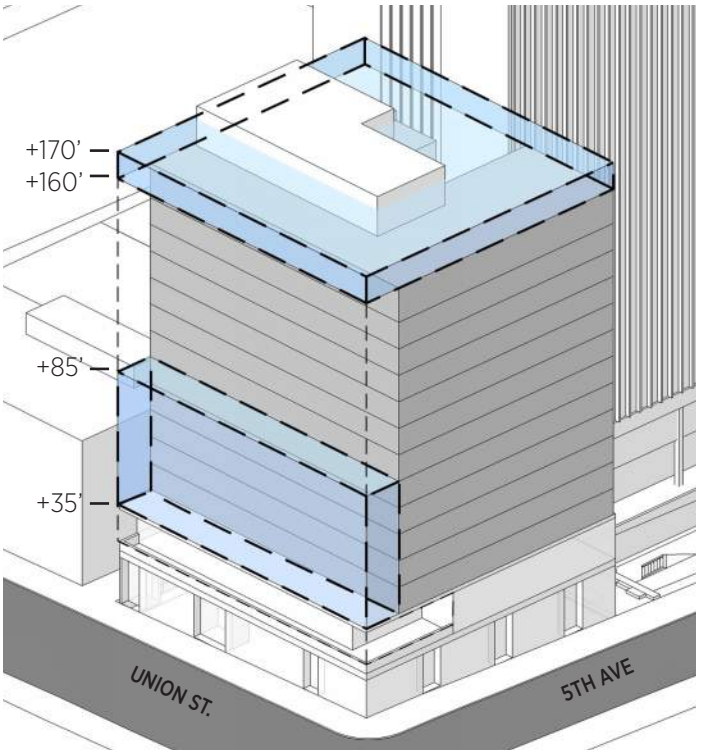
- Downtown Design Guidelines Reinforced:**
- **B-1 Respond to the neighborhood context**
 - **B-3 Reinforce Form & Character**
 - **B-4 Design a well-proportioned & unified building**



Code Compliant Massing



Proposed Massing Departure
Volume of Departure Request = Maximum of **107,857cf.**



Proposed Voluntary setback
Voluntary Massing Reduction = Minimum of **224,315** Cubic Ft.

- Number is greater than 224,315 cf if were to count L2 Terrace
- Voluntary setback is more than twice the amount of departure request.

Departure 2 for Concept 3 (Preferred Option)

Departure 2

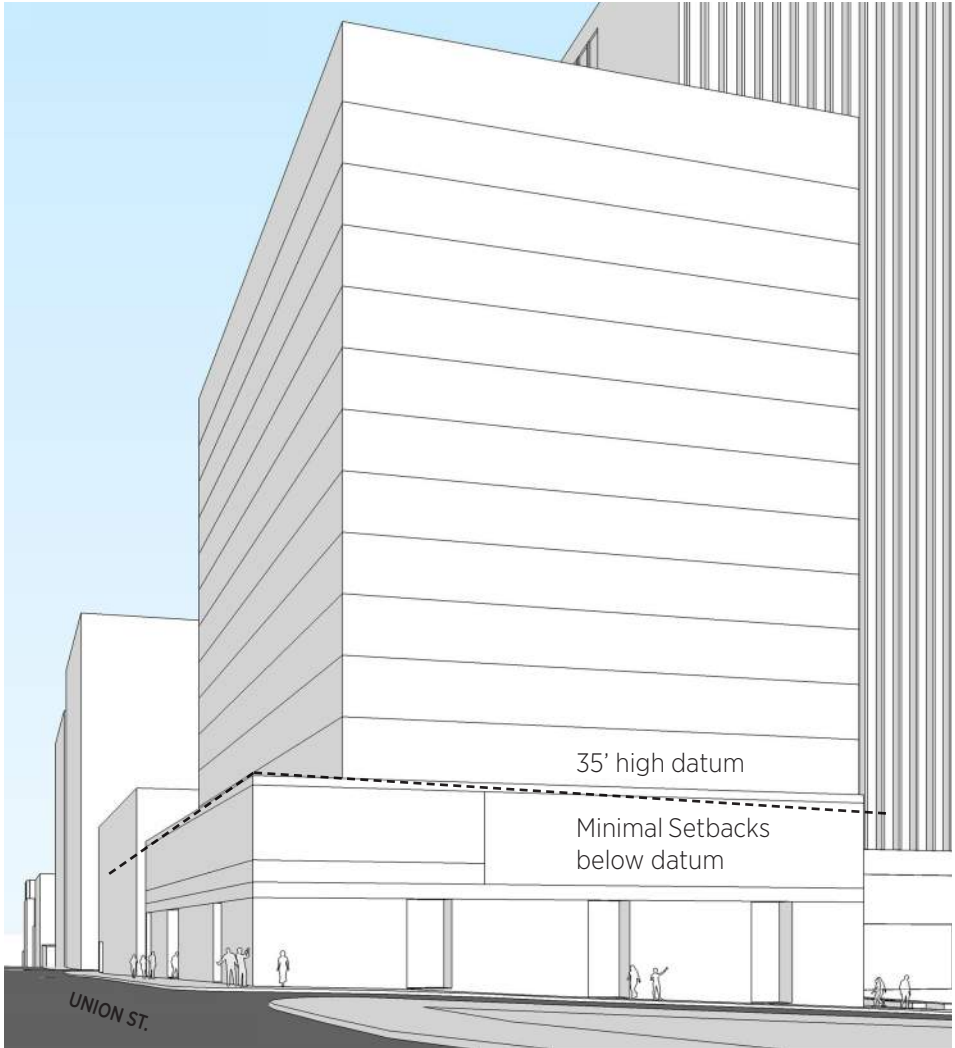
Development Standard:
23.49.106. Downtown Retail Core, street facade requirements

Requirement:
Facade Setback Limits. 23.49.106.B.2.b.

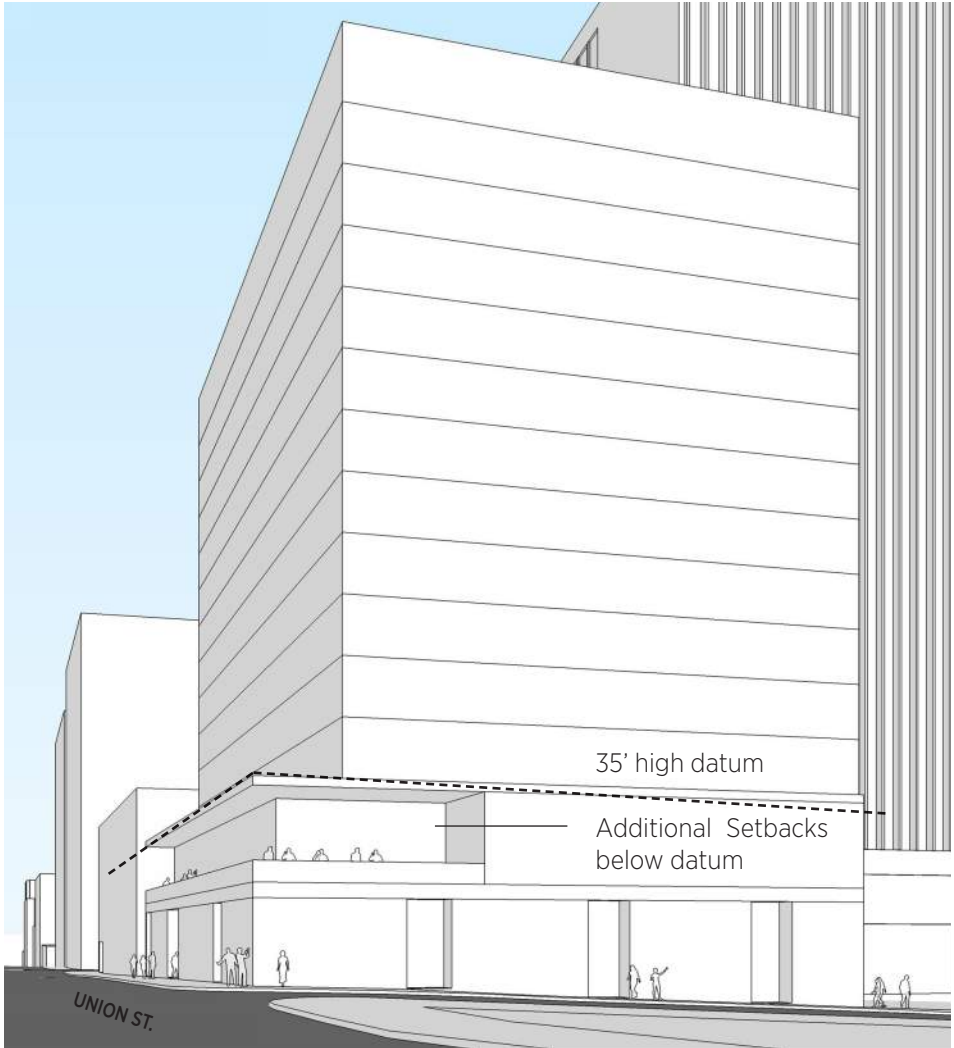
- Between the elevations of fifteen (15) and thirty-five (35) feet above sidewalk grade, the facade shall be located within two (2) feet of the street property line, except that setbacks between the elevations of fifteen (15) and thirty-five (35) feet above sidewalk grade at the property line shall be permitted according to the following standards (see Exhibit23.49.106 A):

Compliance Table	
D = Does not comply, Departure req'd OK = Already complies with code	
Union St.	5th Ave.

1. The maximum setback shall be ten (10) feet.	OK (8')	D (15')
2. The total area of the portion of the facade between the elevations of fifteen (15) feet and thirty-five (35) feet above sidewalk grade at the street property line that is set back more than two (2) feet from the street property line shall not exceed forty (40) percent of the total facade area between the elevations of fifteen (15) feet and thirty-five (35) feet.	D (100%)	OK (35%)
3. No setback deeper than two (2) feet shall be wider than twenty (20) feet, measured parallel to the street property line.	D (118')	D (40')
4. The facade of the structure shall return to within two (2) feet of the street property line between each setback area for a minimum of ten (10) feet. Balcony railings and other nonstructural features or walls shall not be considered the facade of the structure.	D	OK



Code Compliant Massing:
Minimal wall setbacks between 15' and 35' above sidewalk



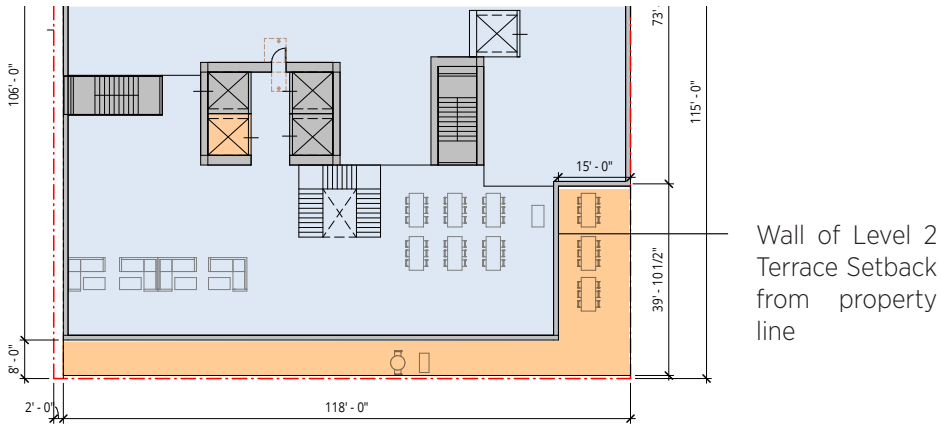
Proposed Massing:
Add'l wall setbacks btwn 15'-35' high (roofline maintained)

Departure Requested:
The request is to set back the façade at Level 2 (+15' to +35' high) in greater amounts than is required by this zoning section. See the Requirement Compliance Table for specific departures.

- Downtown Design Guidelines Reinforced:**
- A-1 Respond to the physical environment**
 - C-1 Promote Pedestrian Interaction.**
 - D-1 Provide inviting & usable open space.**

Mitigating measures:
The Level two façade setbacks will not negatively affect the desired Street Façade enclosure presence which is desired for continuity on either Union or 5th due to two enclosing elements of the terrace itself:
First is a solid metal guardrail with planters, giving a sense of enclosure and green to the terrace. Second, the roof overhang above the terrace will extend out to within 2' of the property line and form a strong continual horizontal datum at the 35' high level. This will give a sense of enclosure but also provide greater inside-outside interaction and transparency than would a solid wall.

Rationale:
An overriding goal of the proposed design is to enhance the pedestrian experience and the terrace at level two is nearly unique in the city in that it will create a public yet semi-enclosed outdoor place to enjoy the city that is visible from, and thus visually accessible by, the sidewalk. Most such terraces are located on rooftops, too far above the sidewalk to affect pedestrian life and vitality. By allowing a terrace all along Union street to wrap the corner at 5th with generous, usable dimensions, pedestrian's eyes will be drawn up to the most vital part of the city – the street corner.



L2 FLOOR PLAN



THANK YOU