

Aurora 48

4711-4717 Aurora Ave N, Seattle WA 98103 | Project# 3033042-EG



KAMIAK

workshop AD
Karen Kiest | landscape architects

3.0 development objectives

contents

proposal

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The project site is a corner lot at the intersection of Aurora Ave North (WA-99) and North 48th Street. Aurora Ave North is a state highway and principal arterial with frequent transit service. It serves as a major freight and regional transportation corridor with speeds in excess of 40 mph in front of the site. The curb lane is a bus lane and no parallel parking is allowed between 6 and 9 and 3 and 7.

North 48th Street is a non-arterial that extends from just west of Phinney Avenue North to WA-99. It is a narrow street with parallel parking and single-family residences, townhomes, and two-story apartment buildings along its eight-block length.

To the north is a single family residence that has been converted to an apartment building. To the south is a single-story restaurant with a partial second floor and a proposed 4-story townhouses building. To the west is a single-family structure within an LR1 zone.

Overhead power lines extend along the south side of N 48th Street and a setback will be required at the upper portions of the structure to provide the required clearances. The lot is currently zoned C1-40 and is proposed to be changed to C1-55(M) in the draft MHA ordinance. There is a zone transition at the west property line to LR1—LR1(M) under draft MHA.

The proposed project is a single use multifamily building over a single level of partially below grade parking. Under current zoning, the building provides 45 dwelling units in four stories. Under draft MHA zoning, it provides an additional 13 dwelling units on one additional story. There is parking for 16 vehicles. The first story includes the primary entry, amenity areas, bicycle parking, waste and recycling storage, and some residential dwelling units. An outdoor amenity area and green house are proposed for the roof level.

The design proposal responds to 5 primary considerations:

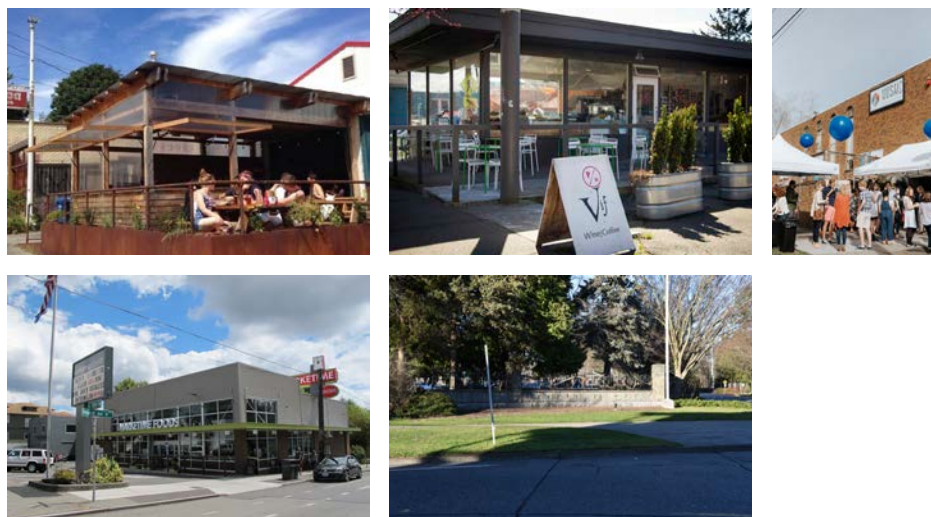
1. Integrate the residential community into the neighborhood with traditional urban elements of yard, stair and porch;
2. Enhance the neighborhood scale and pedestrian realm through direct engagement with the 48th Avenue sidewalk;
3. Provide compact and efficient housing options through both studio and three-bedroom dwellings;
4. Separate residents from the traffic of WA-99; and
5. Establish a cohesive articulation of massing, fenestration, and material on all sides of the project.

public outreach summary

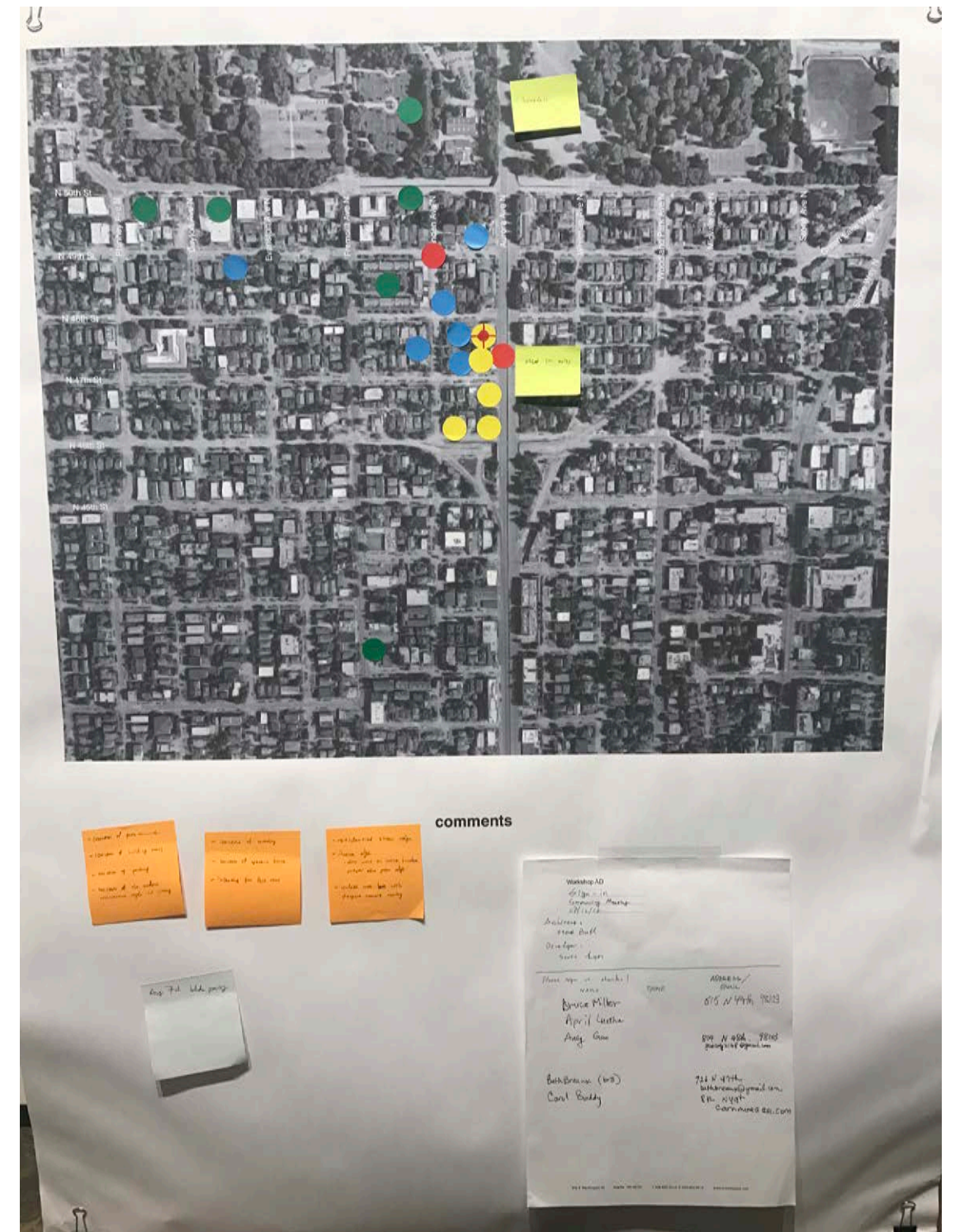
A community outreach meeting was held on site on 07/12/2018. During the meeting the design team described preliminary design considerations and solicited feedback on design issues, community priorities, and key aspects of the neighborhood the design team should be aware of.

Community members expressed that

- many of the local favorites are to the west of Aurora Ave N, indicating a strong tie toward the residential neighborhood to the west.
- although the site is zoned as commercial, it is viewed as part of residential neighborhood by the local community.
- the building owner should make sure to provide for ongoing landscape care after project is complete as well as maintain the site and planter strips until construction begins.
- a couple multi-family projects were identified because of their connection to residential street, high-quality materials, and respect to local architectural language.
- they hope for an architectural style compatible with the existing neighborhood.
- the building transition to the residential zone at the west side
- community nodes such as church, daycare, and the Woodland Park Zoo are within 5-minutes walking distance to the north
- local restaurants are located to the south, mostly on Fremont Ave
- there are concerns about how development will impact local street parking.
- North Linden is the main pedestrian connector in the neighborhood
- there is noticeable homeless traffic on Linden as it provides access to 55th and Woodland Park.
- safety should be a primary concern along the Aurora frontage and many felt that a nicely landscaped vandal-proof building base would provide greater security than entries or windows along that side.



workshop AD



- site ●
- future development ●
- public outreach attendants ●
- local favorites ●
- concerns ●

4.0 site plan

The site slopes from west to east with approximately 10 feet of topographic change across the site. This is seen along both street frontages with 48th sloping west to east from an elevation of 307 feet to 302 feet and a continued fall along Aurora from 302 ft to 299 ft at the southeast corner of the lot. There is currently a 6 to 7 foot tall rocky along much of the Aurora frontage. There are no exceptional trees on the site. Overhead power lines are located on N 48th St at the north property line, which requires additional setback. Given the elevation of the site, once above the neighboring commercial building to the south, there are excellent views to the south / southeast, downtown and Mt. Rainier beyond.

Legal Description - 4711 Aurora Ave N

APN 9521101030 = 3,800 sqft
lot 6, block 28, woodland addition to salmon bay city, as per plat recorded in volume 2 of plats, page 66, in king county, washington;

except the east 23 feet thereof condemned in king county superior court cause number 236360 for aurora avenue as provided by ordinance no. 59719 of the city of seattle;

together with an easement for driveway purposes over the east 5 feet of the north 75 feet of lot 8, block 28 of said plat.

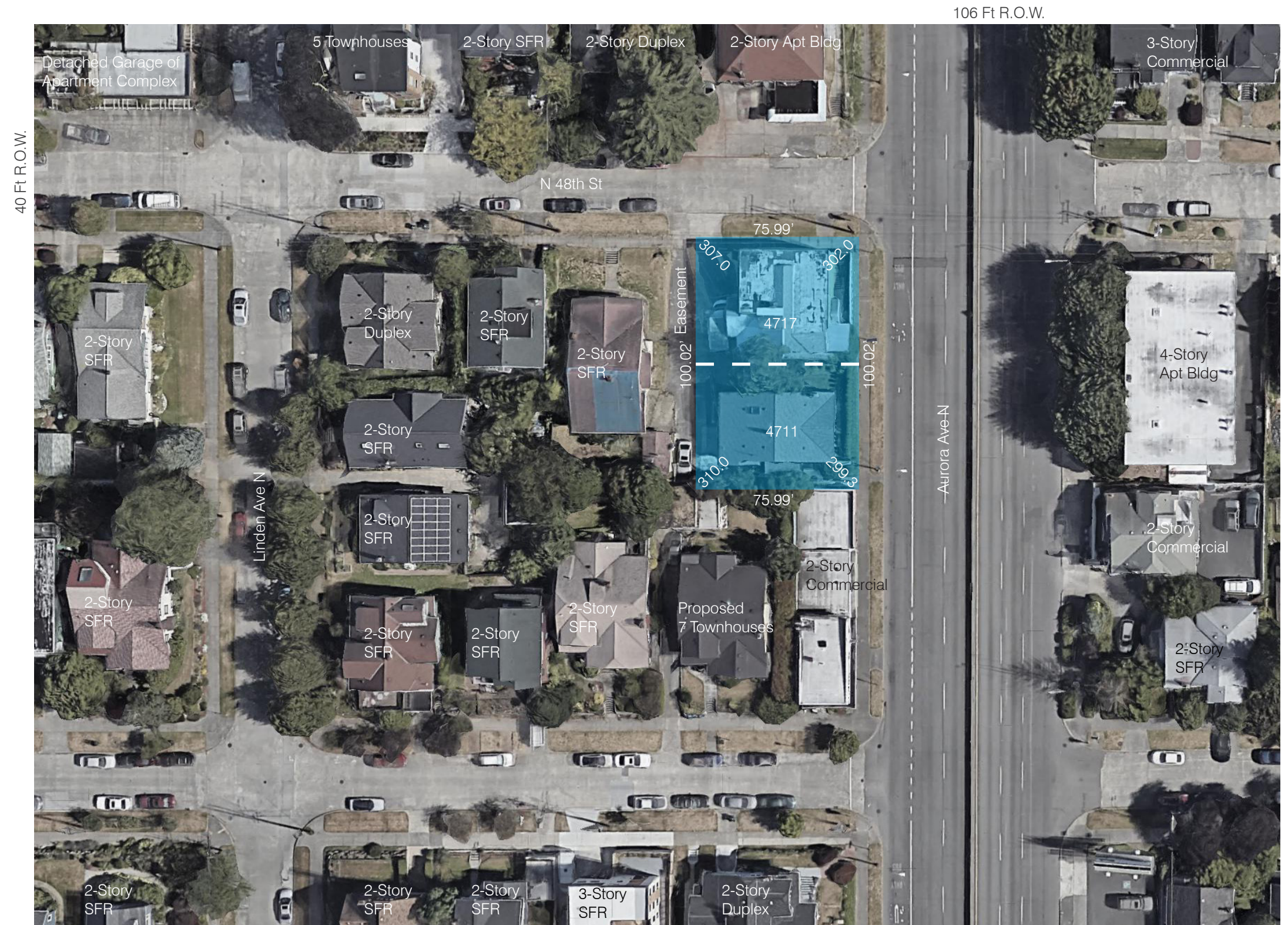
Legal Description - 4717 Aurora Ave N

APN 9521101035 = 3,800 sqft
lot 7, block 28, woodland addition to salmon bay city, as per plat recorded in volume 2 of plats, page 66, records of king county auditor;

except the east 23 feet thereof condemned in king county superior court cause number 236360 for street purposes, as provided by ordinance no. 59719 of the city of seattle;

together with an easement for driveway purposes over the west 5 feet of the north 25 feet of lot 6 and the east 5 feet of the north 75 feet of lot 8, in said block 28 situate in the city of seattle, county of king, state of washington.

Total lot area = 7,600 sqft



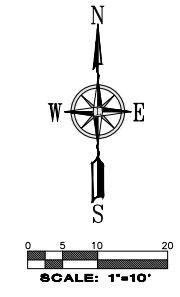
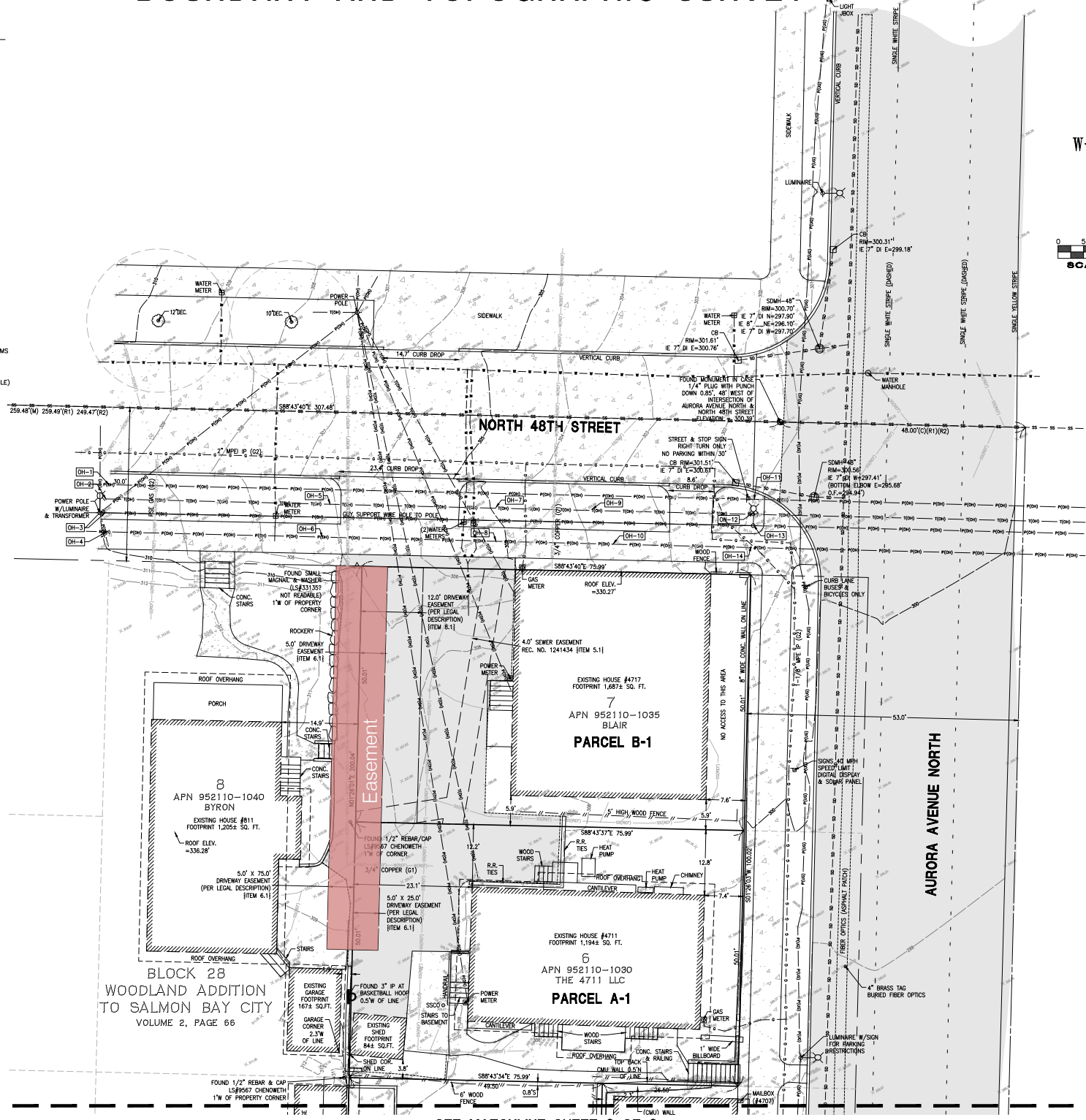
BOUNDARY AND TOPOGRAPHIC SURVEY

LEGEND

- (NOTE: NOT ALL SYMBOLS MAY APPEAR ON THE MAP)
- | | |
|--|--|
| <ul style="list-style-type: none"> ○ SURVEY MONUMENT (AS NOTED) □ SECTION CORNER (AS NOTED) ○ SET REBAR/CAP (LS#45789) ○ FOUND REBAR/CAP (AS NOTED) ○ SET 2"x2" HUB/TACK LINE STAKE ○ MAG/WASHER OR LEAD/TACK (AS NOTED) ○ BENCHMARK ○ LUMINAIRE (LUM.) ○ YARD LIGHT ○ ORNAMENTAL LIGHT ○ TRAFFIC SIGNAL LIGHTS ○ PEDESTRIAN SIGNAL ○ POWER METER ○ POWER POLE ○ JUNCTION BOX (AS NOTED) ○ TELEPHONE MANHOLE ○ CATCH BASIN (CB) ○ STORM MANHOLE (SDMH) ○ SANITARY SEWER MANHOLE (SSMH) ○ CLEANOUT (AS NOTED) ○ GAS METER ○ GAS VALVE ○ WATER VALVE (WV) ○ FAUCET ○ FIRE HYDRANT (FH) / CONNECTION (FDC) ○ WATER MANHOLE ○ WATER METER ○ BLOW-OFF / AIRVAC ○ WELL ○ SIGN ○ IRRIGATION ○ DIRECTIONAL ARROW ○ HANDICAP | <ul style="list-style-type: none"> --- CHAIN LINK FENCE --- WOOD FENCE --- HOLOWIRE FENCE --- SILT FENCE --- METAL/IRON FENCE --- GUARD RAIL/CABLE FENCE --- WATER LINE --- GAS LINE --- STEAM LINE --- TELEPHONE LINE (OH) OR (UG) --- POWER LINE (OH) OR (UG) --- STORM LINE --- SEWER LINE ○ ROCKERY ○ KEYSTONE WALL ○ DECIDUOUS TREE ○ CONIFEROUS TREE ○ TREE DRIFLINE ○ CONCRETE ○ BRICK PAVERS ○ GRAVEL/SAND (AS NOTED) ○ ASPHALT ○ BUILDING LINE |
|--|--|
- ABBREVIATIONS
- (R#) REFERENCE SURVEYS
 - (OH) OVERHEAD
 - (UG) UNDERGROUND
 - (TYP) TYPICAL
 - (C) CALCULATED
 - (M) MEASURED
 - (GIS) GEOGRAPHICAL INFORMATION SYSTEMS
 - (REF) PER REFERENCE INFORMATION
 - (CMU) CONCRETE MASONRY UNIT
 - (OH-X) OVERHEAD UTILITY WIRES (SEE TABLE)

OVERHEAD UTILITY LINE DATA

REFERENCE NUMBER	SERVICE TYPE	LINE DIRECTION	ELEVATION
OH-1	POWER	E-W	353.48'
OH-2	TELEPHONE	E-W	339.03'
OH-3	POWER	E-W	354.35'
OH-4	POWER	E-W	353.74'
OH-5	TELEPHONE	E-W	334.21'
OH-6	POWER	E-W	349.80'
OH-7	TELEPHONE	E-W	331.60'
OH-8	POWER	E-W	347.39'
OH-9	TELEPHONE	E-W	330.43'
OH-10	POWER	E-W	346.13'
OH-11	POWER	E-W	344.90'
OH-12	TELEPHONE	E-W	329.11'
OH-13	POWER	E-W	345.72'
OH-14	POWER	E-W	345.02'
OH-15	POWER	E-W	333.98'
OH-16	TELEPHONE	E-W	315.36'
OH-17	POWER	E-W	334.71'
OH-18	POWER	E-W	334.03'
OH-19	POWER	NE	331.75'
OH-20	TELEPHONE	E-W	323.60'
OH-21	TELEPHONE	NE	322.89'
OH-22	TELEPHONE	E-W	315.33'
OH-23	TELEPHONE	N	319.43'
OH-24	POWER	N	329.88'



SEE MATCHLINE SHEET 3 OF 3

Job Number: 2553
 Date: 10/27/2017
 Title: BOUNDARY AND TOPOGRAPHIC SURVEY
 PTN OF THE SE1/4 OF THE SW1/4 OF SEC. 7,
 TWP. 25 N., RGE 4 EAST, W. M.
 CITY OF SEATTLE
 KING COUNTY STATE OF WASHINGTON

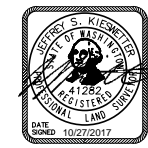
For: KAMIAK REAL ESTATE LLC
 3501 W LAWTON CIR
 SEATTLE, WA 98199

Scale: Horizontal 1"=10', Vertical 1"=10'

Designed: N/A, Drawn: BBL, Checked: SK, Approved: JLL, Date: 10/25/17

Job Number: 2553
 Sheet: 2 of 3
 Date: 10/27/2017

For: LANKTREE LAND SURVEYING, INC.
 421 9th STREET N.E., ALBUURN, WA 98002
 PHONE: (253) 653-6423
 FAX: (253) 793-1616
 WWW.LANKTREELANDSURVEYING.COM



5.0 urban design analysis



1 Aurora Ave N primary express connection to downtown



2 46th St primary local connection to Wallingford and Ballard



3 Linden Ave N primary local pedestrian route



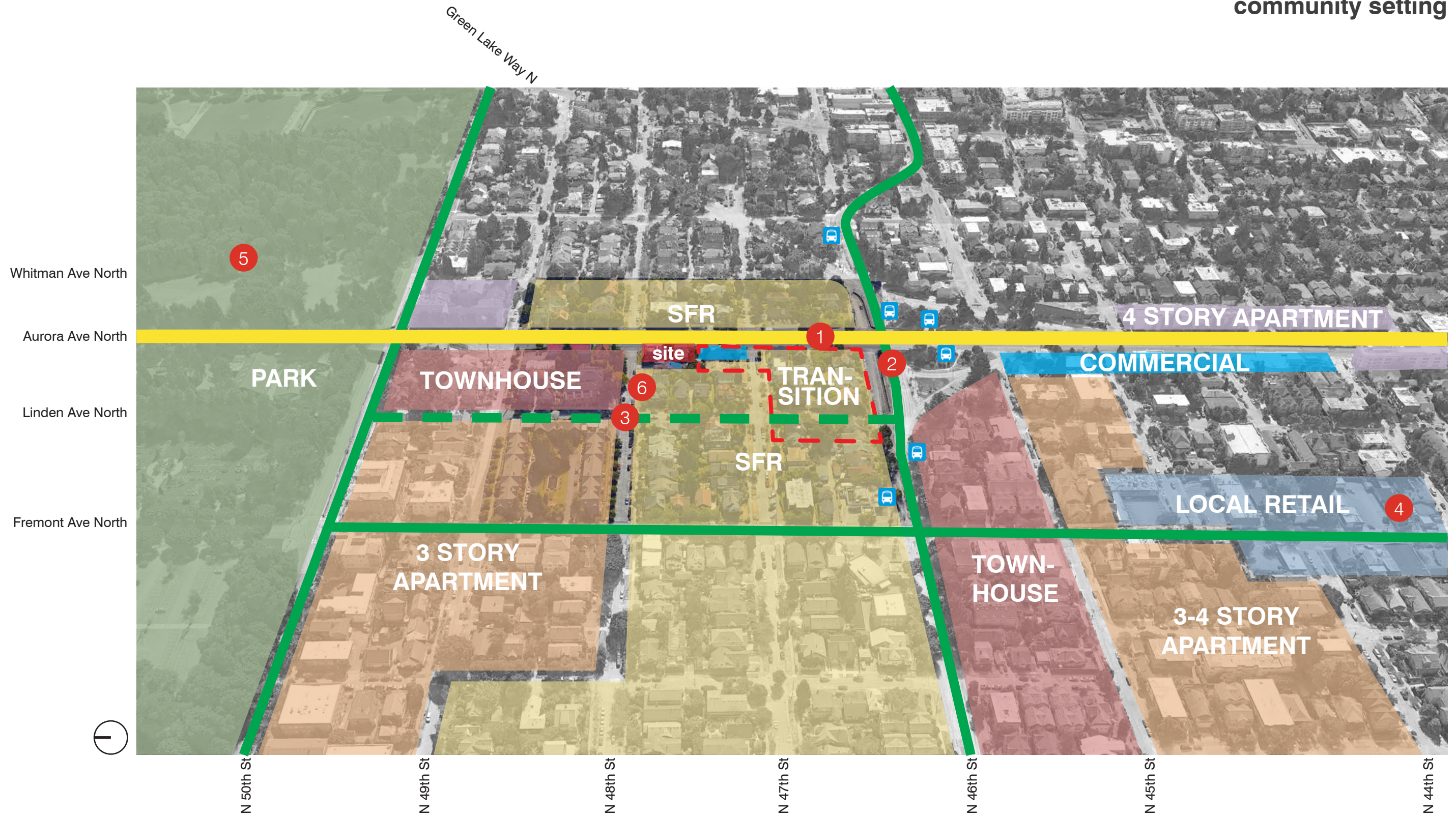
4 Local retail & mixed-use - Fremont Ave N



5 Woodland Park & Zoo to the north



6 Typical residential street



- Neighborhood Divider
- Neighborhood Connector

neighborhood characteristics

Multifamily Development

Lowrise multifamily developments and small two to four story apartment buildings are common west of the site. Most of these were constructed in the early and mid-1900's. A few, larger scale and more recent, 3 to 5 story apartment buildings can be found intermittently along Aurora Ave North.



1



2



3



4

Commercial Development

The commercial lots along Aurora Ave North within immediate proximity of the proposal are mostly small, single parcel buildings with service business. Neighborhood retail, a grocery store, and restaurants are located on Fremont Ave N and serve the local community.



5



6



7



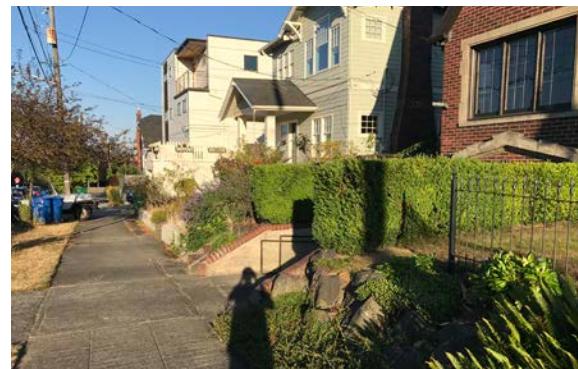
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Residential Edges

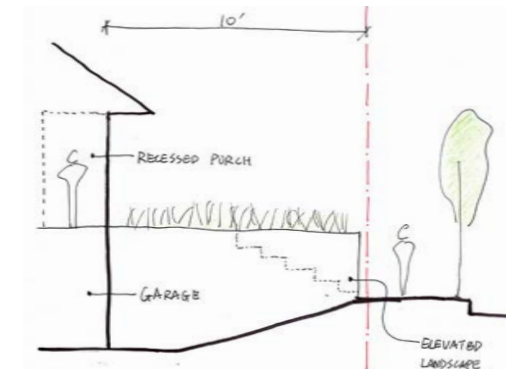
Front yards in the residential neighborhood to the west are often well demarcated edges along the public pedestrian realm. It is common to see the front facade relatively close to property line with retaining walls, elevated landscapes, ramps to garages, and recessed porches.



9



10



Aurora Edge

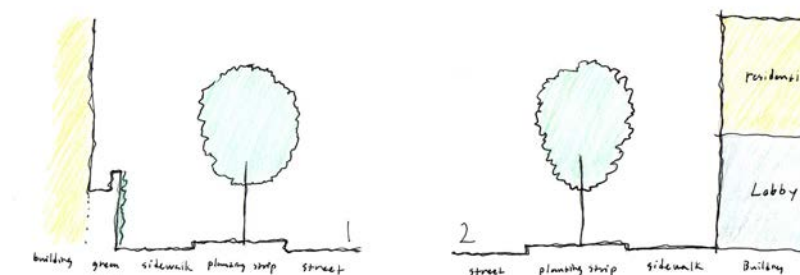
The high speed and volume of vehicle traffic and the topographic change west of Aurora leads to three prevailing conditions at the roadway level: parcel sized commercial uses dependent on location or able to be entirely shut off from location; street level uses with perpetually pulled window coverings; or heavily landscaped retaining walls, banks, or other buffers and uses located above roadway level.



11



12






housing types

Multifamily Buildings

dwelling			
entry			
landscape edge			

1 Woodland Court Apartments 2 Aurora Terrace Condominium 3 Allen Place Condominium

Residential Neighborhood

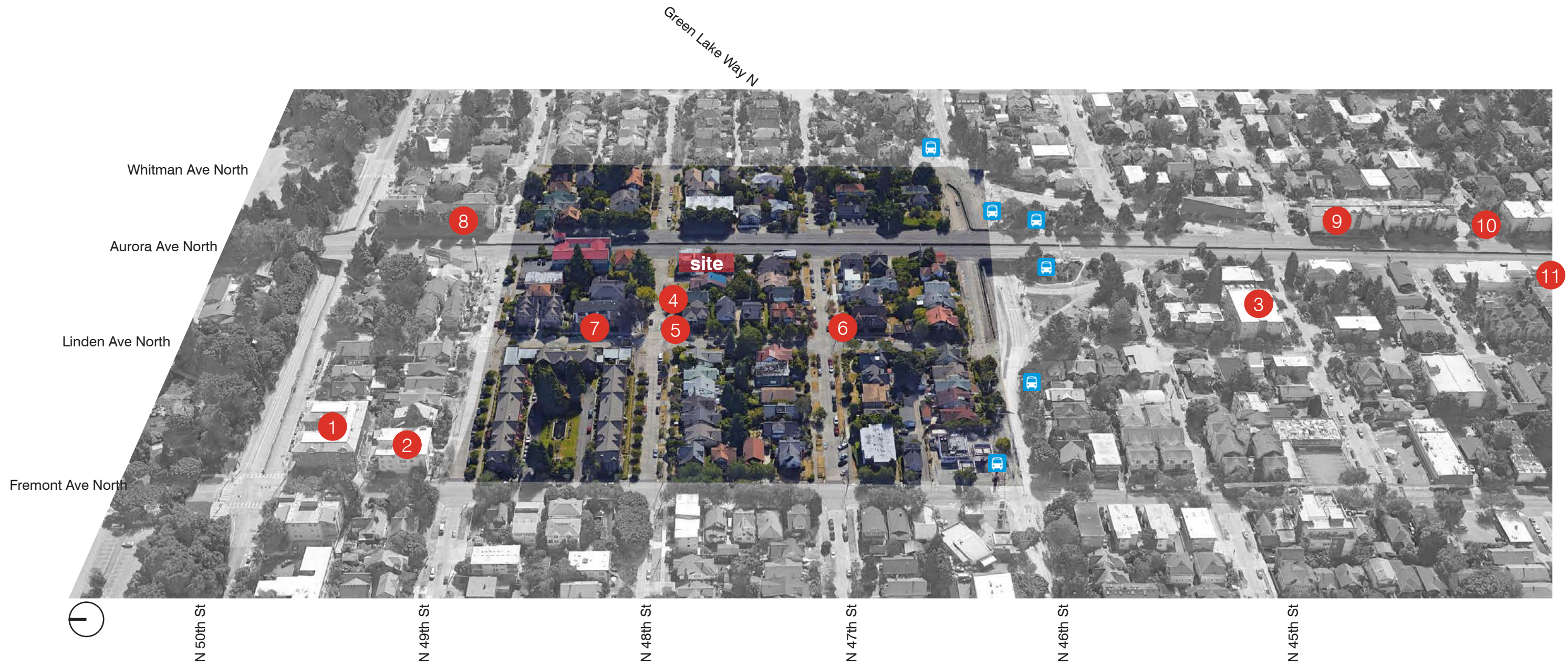
dwelling				
entry porch				
raised landscape				

4 Single family resident on N 48th St 5 Single family resident on N 48th St 6 Single family resident on N 47th St 7 Townhouses on Linden Ave N

Aurora

upper level limited number of openings, stairways, and circulation				
street level limited engagement with sidewalk, areas of transparency closed off with window coverings				

8 Woodland Park View Apartments 9 Mirabella Apartments 10 Milan Apartments 11 Aurora Housing Apartments



Fremont Ave N

Linden Ave N

Across From Site

Aurora Ave N



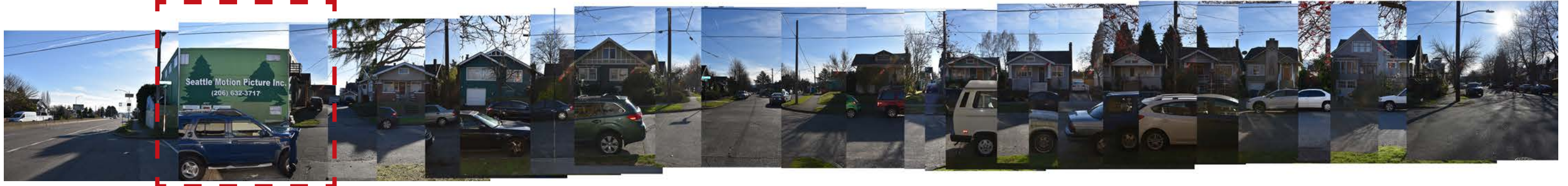
1. N 48th St - Looking North

Aurora Ave N

Site

Linden Ave N

Fremont Ave N



2. N 47th St - Looking South

N 50th St

N 49th St



3. Aurora Ave N. - East

N 46th St

N 47th St

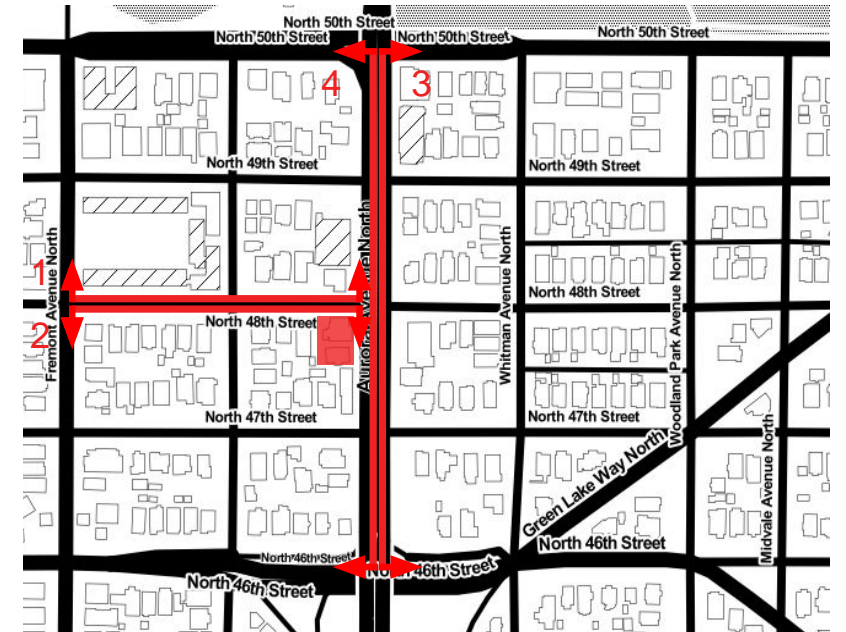
Site

N 48th St



4. Aurora Ave N. - West

streetscape photos



existing site conditions





1



2



3



4



5



6



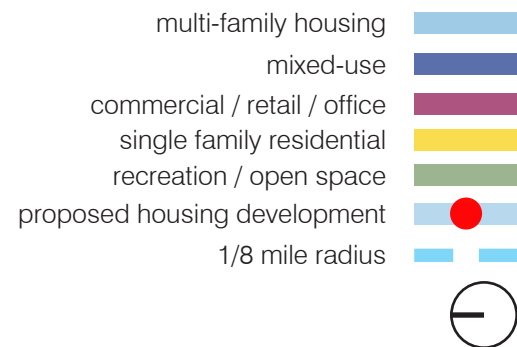
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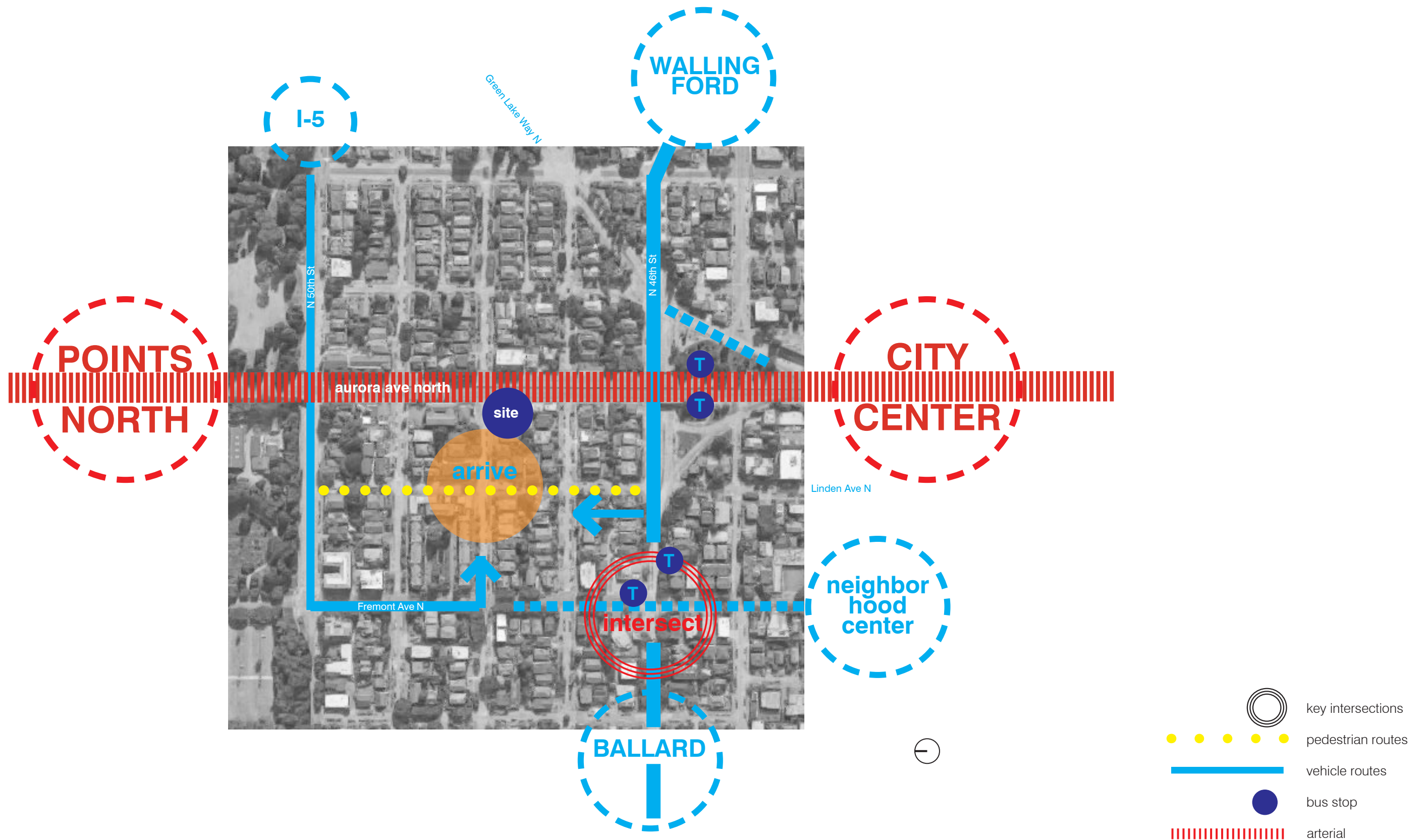


8

neighborhood use

Current programmatic uses within a couple blocks of the site are a mix of multi-family housing including townhouses and apartment / condo buildings, commercial office, mixed-use, and some single family residences. Woodland Park and Zoo to the north are the major attractions near the neighborhood. Currently largely underdeveloped, the commercial zone along the Aurora Ave N is predicted to be further developed under the draft MHA.

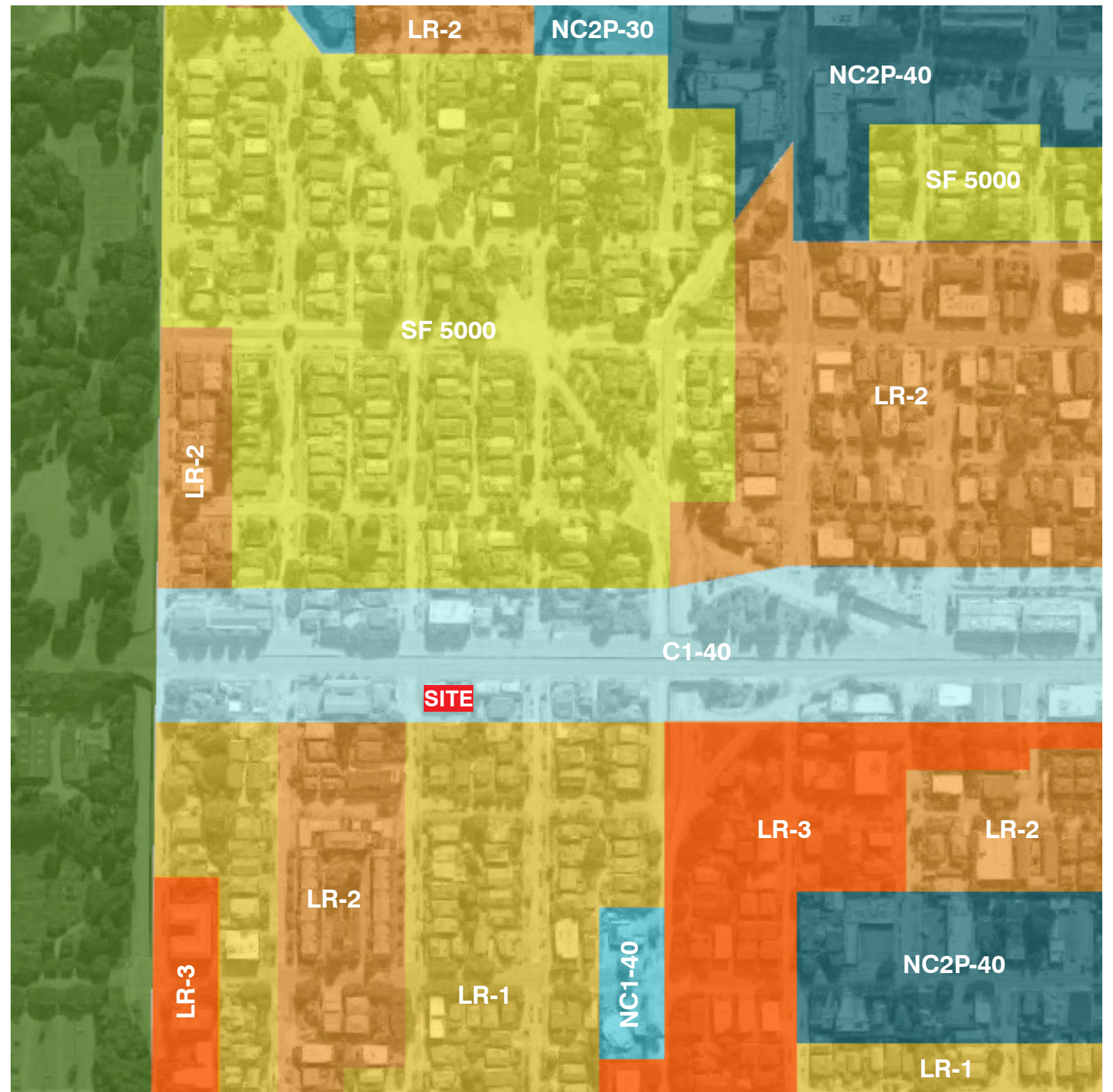




6.0 zoning data

Zoning	C1-40 (C1-55 draft MHA)
Lot Size	7,600 sqft
FAR	3 (3.75 draft MHA) GFA = 22,800 sqft (28,500 sqft under draft MHA)
Base Height Limit	40 feet (55 feet draft MHA) roof top features: +4 feet for parapets, guards, roof decks +15 feet for stair and elevator penthouses and greenhouse
Setbacks	15 ft triangular area setback abutting residential zone 15 ft for portions of structures above 13 feet in height up to 40 feet abutting residential zone. Above 40 feet is 1 ft for every 5 ft of additional height.
Amenity Area	5% of GFA - 1,140 sqft (1,425 sqft draft MHA)
Parking	16 required 16 stalls provided (frequent transit)
Solid Waste Storage	407 sqft required and proposed
Bicycle Parking	58 long term 3 short term required & proposed
Parking Location	Street-level parking shall be separated from street-level, street-facing facades by another permitted use Parking access not allowed from Aurora
Street-level Blank Facades	Blank segments between 2 and 8 feet no more than 20 feet Total blank facade no more than 40% of the width of the facades

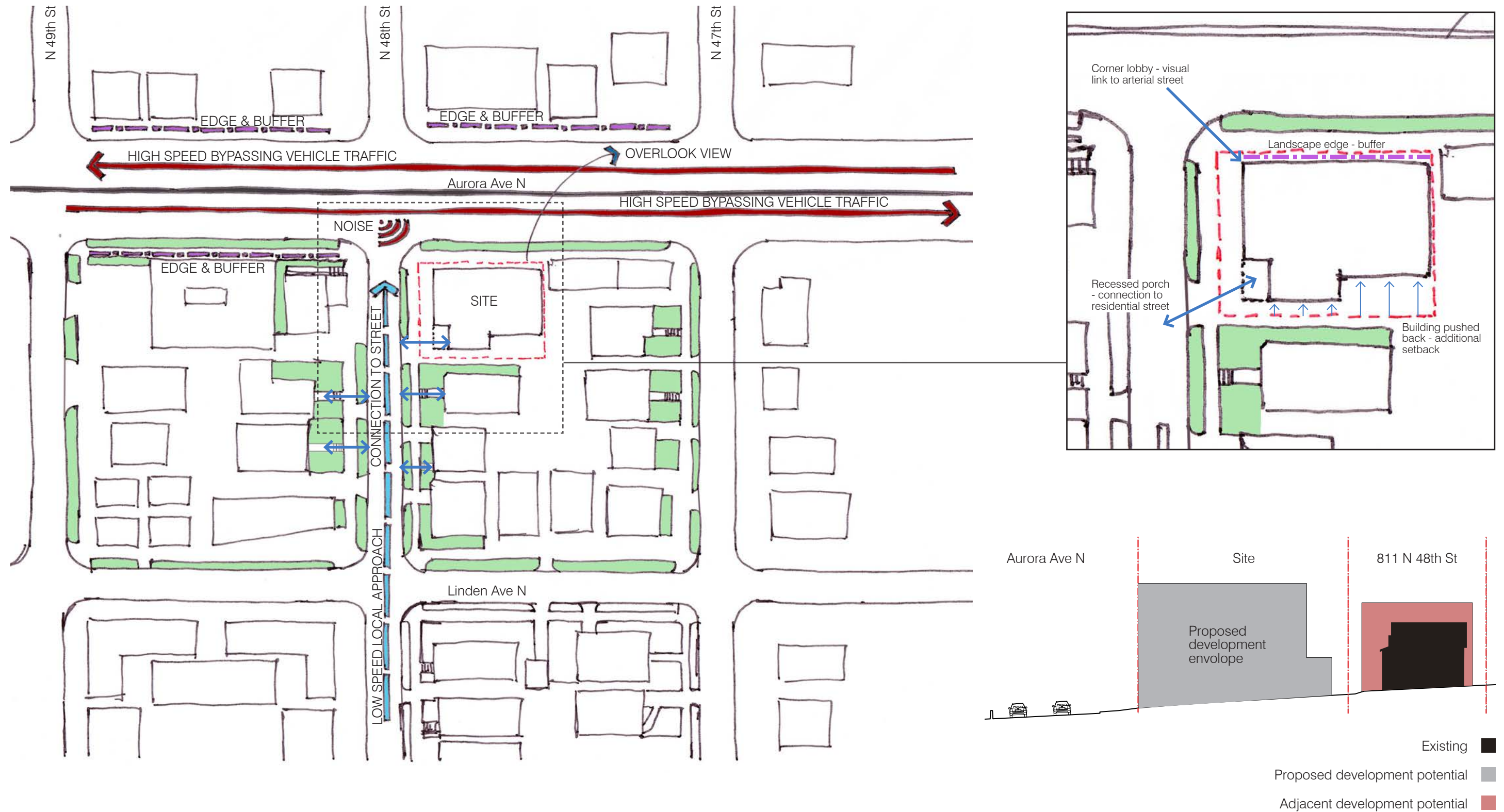
- SF-5000
- LR-1
- LR-2
- LR-3
- C1-40
- NC2P-30
- NC2P-40



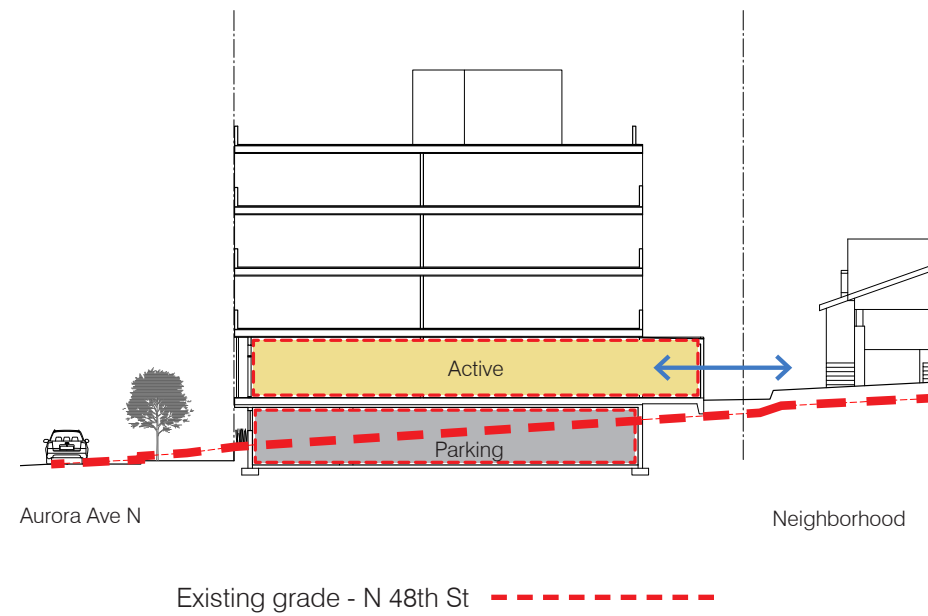
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7.0 design guidelines

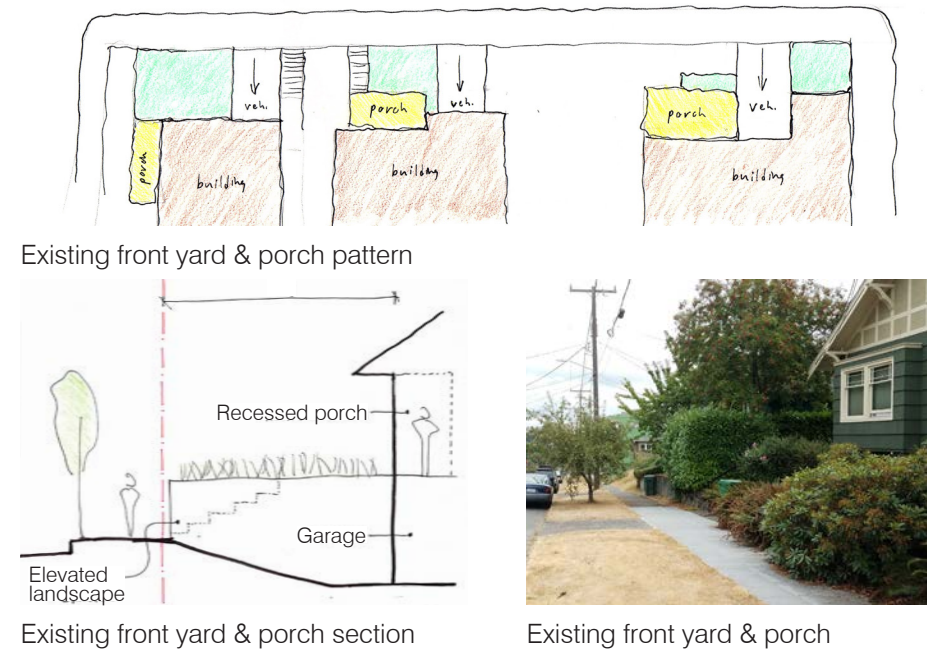
Context potential & constraints



Topography



A Big Porch



Proposed front yard & porch section

Design Opportunity:

The topographic change from west to east provides an opportunity to locate parking partially below grade. This results in a first floor that is near existing grade at the northwest corner. The cross-slope on 48th, building accessibility, maximum ramp slope, and number of required parking stalls constrain both parking level slab elevation and first floor elevation. With parking partially below grade, residential uses and the building entry can be maximized on the main level and across the 48th frontage.

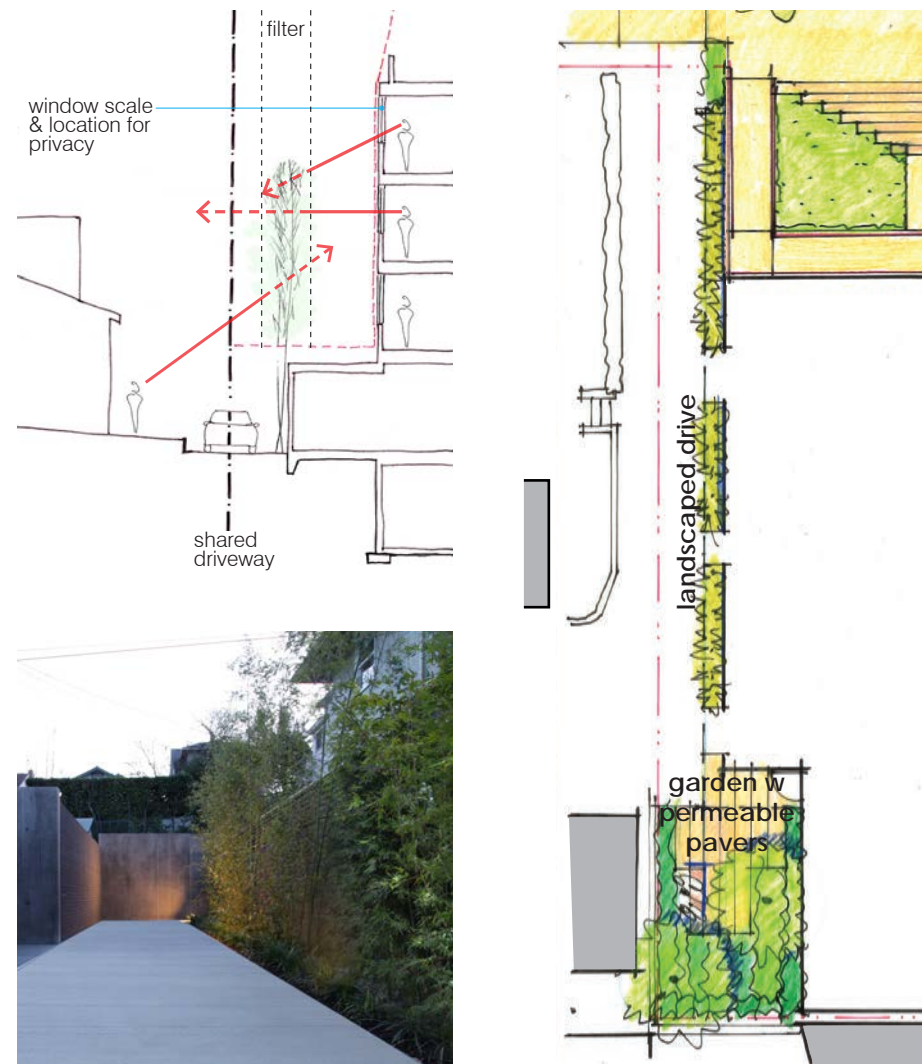
- CS1-C Topography:** Elevation Changes
- DC1-C Parking and Service Uses:** Below-Grade Parking

Design Opportunity:

With parking below grade there is an opportunity to provide an open and recessed exterior entry space, a big porch, that extends the prevailing nearby development patterns of N 48th that include shallow yards, topographic change, and porches to the site. This design feature provides a strong connection to the street, is situated to emphasize the building approach from the west, and create an open exterior connection space. This space provides entry elements that will create an active public life, provide opportunities for interaction among residents and neighbors, and shelter and protect the transition to the interior of the building. As a single-story element, it emphasizes the human scale and provides modulation at the ground level that scales the project to the residential buildings to the west.

- CS2-B Adjacent Sites, Street, and Open Spaces:** Connection to the Street
- CS3-A Emphasizing Positive Neighborhood Attributes:** Established Neighborhoods | Evolving Neighborhoods
- PL1-A Network of Open Spaces:** Adding to Public Life
- PL2-C Weather Protection:** Locations and Coverage
- PL3-A Entries:** Common Entries To Multi-Story Residential Buildings
- DC2-D Scale and Texture:** Human Scale
- DC3-C Design:** Reinforce Existing Open Space

Domestic West

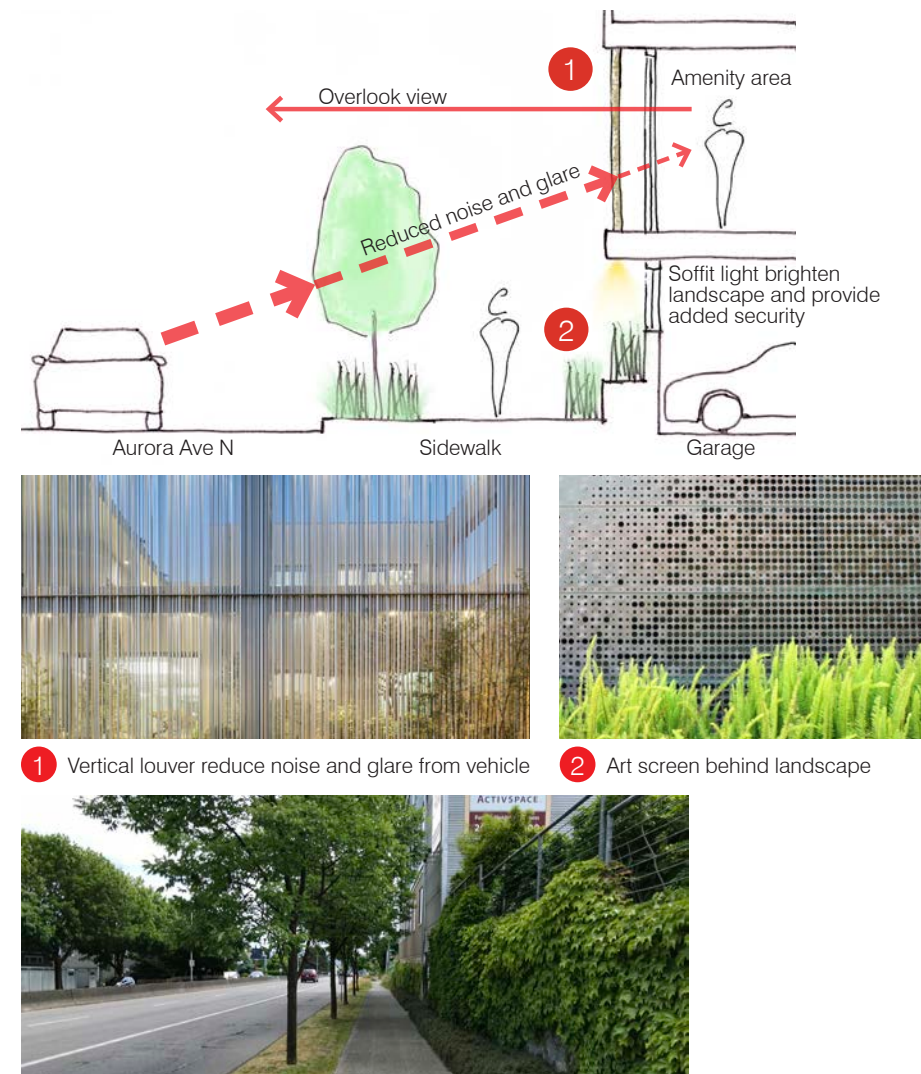


Design Opportunity:

With a big porch located on the northwest corner, there is an opportunity to extend those elements around the west side of the first floor to provide a ground floor that reflects the domestic scale of the neighborhood to the west. The second floor steps back as a transition and reduces the bulk of the building on this side. A continuous landscape of tall bamboo will filter views from dwelling units and screen the upper levels from occupants of the structures to the west. This filtered edge extends to an intimate landscaped court fronted by 3 dwelling units that carry the domestic scale and use to the ground and the full length of the project.

- CS2-A Location in the City and Neighborhood:** Sense of Place
- CS2-D Height, Bulk, and Scale:** Zoning Transitions | Massing Choices | Respect to Adjacent Sites

Vertical Separation East

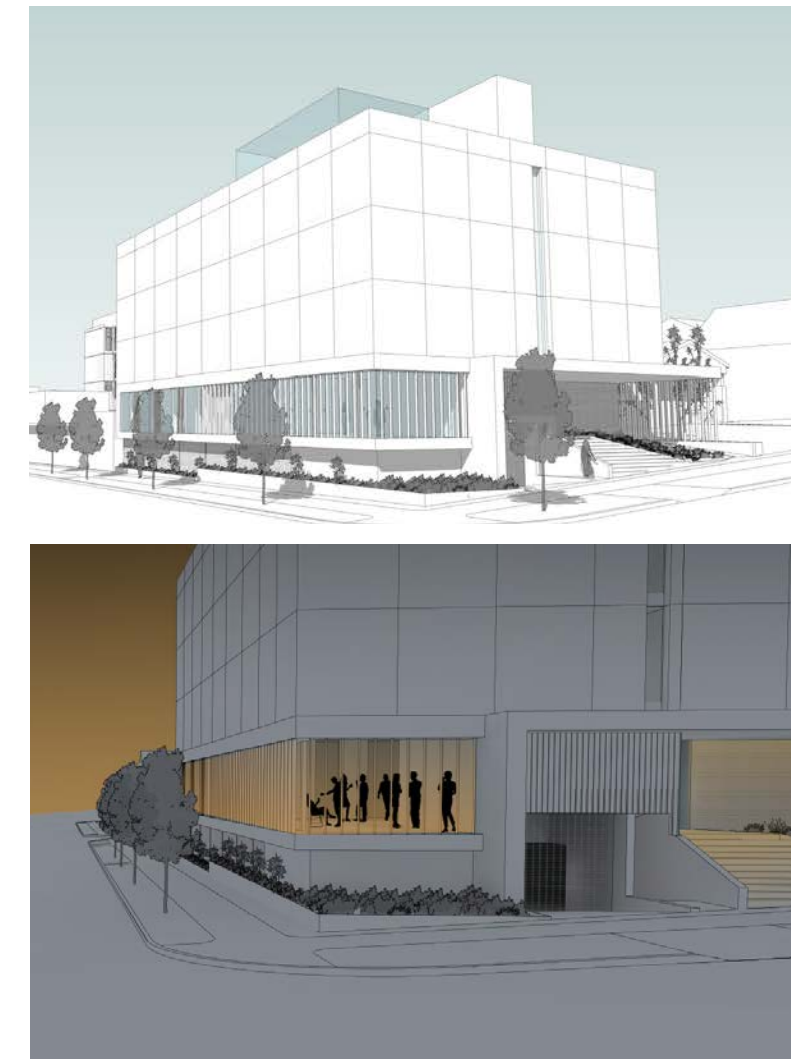


Design Opportunity:

Since privacy, security, and the impact of vehicles are a primary concern for residents along the Aurora frontage, there is an opportunity to use the partially below grade parking to lift the residential uses above street level. This vertical separation will provide residents greater privacy and minimize the presence of the vehicle. For the pedestrian, a strongly narrow and vertical transition provides an opportunity to extend the typical landscaped edge that is found north of the project. Lighting, planters, and varied and durable materials will enhance pedestrian safety, create visual interest, and eliminate low use spaces or recesses that could be ambush or loitering points.

- PL2-B Safety and Security:** Lighting for Safety
- PL3-B Residential Edges:** Security and Privacy
- DC1-A Arrangement of Interior Uses:** Visibility | Gathering Places | Views and Connections

The Corner



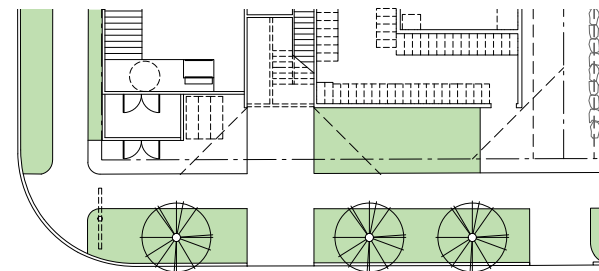
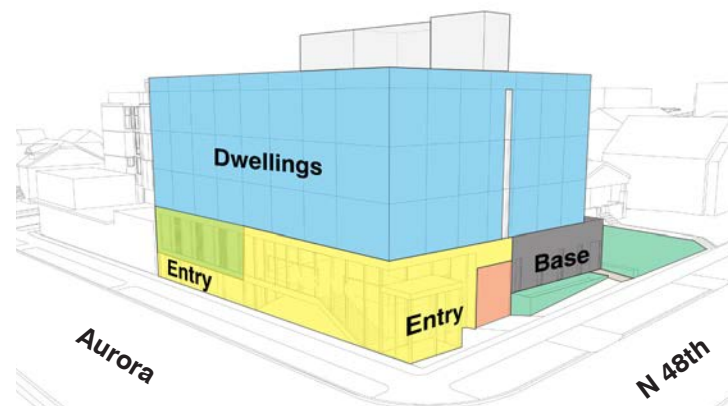
Design Opportunity:

Situated at a corner along a major arterial roadway there is an opportunity to locate the most active program and to articulate the east façade to the pace of the 40-mph traffic. A common living room that extends into the corner moves interior activity toward the street, integrates this activity to both Aurora and N 48th, and allows visual connections to both the north and south.

- CS2-A Location in the City and Neighborhood:** Architectural Presence
- CS2-C Relationship to the Block:** Corner Sites
- DC1-A Arrangement of Interior Uses:** Visibility | Gathering Places | Views and Connections

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8.0 architectural concepts



concept A (code compliance) Corner Entry

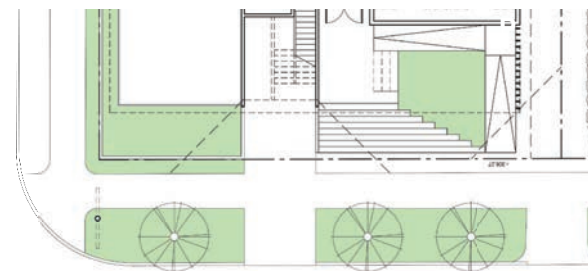
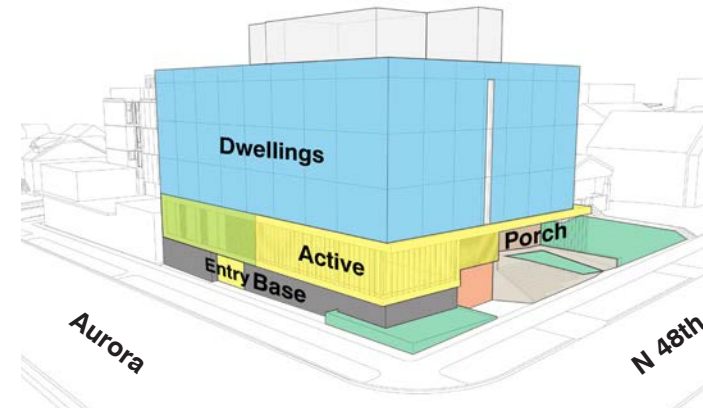
In response to the zoning code requirement for an intervening use to be located between street level parking and the property line, this concept provides two project entries on the Aurora frontage and connects them with a linear interior space. Both entries are at sidewalk level, then climb to a residential lobby space located a partial story above. With stairways at the edge, the activity of the living room is pushed inward. Bicycle parking is located in the northwest corner with waste storage behind. Six dwelling units are provided at the first floor. The stair and elevator cores are located near the north-south midline of the project with a roof deck and green house located to the east side of these rooftop features.

Benefits:

- No departure required
- Convenient bicycle storage
- Transparency at lower level of east façade
- Roof deck and greenhouse located on east half of building
- Trash collection by SPU possible without staging in the ROW
- Access from parking area to connection space

Disadvantages:

- Intervening use limits additional setback at street level along Aurora for expanded landscape
- Limited massing articulation along Aurora due to no setback at street level
- Secondary entry and connection with limited use at street level reduces sense of security
- Limited open space at corner for transition into entry
- Least amount of building articulation on N 48th
- Ability for residents to avoid residential common spaces and dilute interaction
- Pedestrians crossing driveway to reach building entry



concept B Big Porch + Side Entry

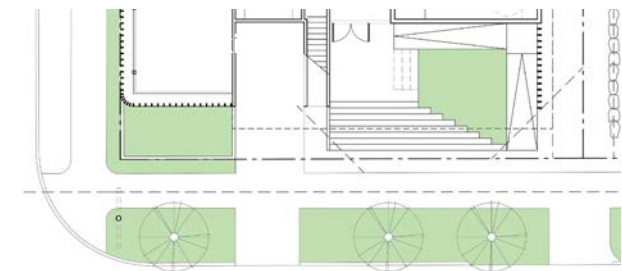
This concept situates the primary building entry and porch at the west edge of the N 48th frontage and provides a secondary building entry in the southern third of the Aurora frontage. Along the Aurora frontage, the street level façade is setback to provide additional landscaping. The living room is located prominently on the corner of the lot. Waste storage and bicycle parking are situated behind the porch. Six dwelling units are provided at the first floor. A stair and elevator core are located on the east side of the building. The roof deck and green house are located on opposite sides of these rooftop features.

Benefits:

- N 48th exterior elements and massing extend neighborhood patterns
- Primary entry and porch engages neighborhood
- Driveway beyond primary pedestrian approach to entry enhances safety
- Increased landscape at corner and along Aurora frontage
- More articulated massing along Aurora because of additional setback
- Stair and elevator at east side reduce massing for the residential zone to the west
- Roof deck and greenhouse located on east half of building
- Living room activates corner
- Transparency at lower level of east façade
- Trash collection by SPU possible without staging in the ROW

Disadvantages:

- Departure required
- Secondary entry dilutes community interaction available for front porch
- Secondary entry has limited use at street level and reduces sense of security
- Stair and elevator location reduce size of living room
- Shaded greenhouse due to location behind stair core



concept C // preferred Big Porch + Landscaped Aurora

This concept situates the primary building entry and porch at the west edge of the N 48th frontage and provides a ground level setback along the Aurora frontage to provide additional landscaping. The living room is located prominently on the corner of the lot. Waste storage and bicycle parking are situated behind the porch. Six dwelling units are provided at the first floor. The stair and elevator cores are located near the north-south midline of the project with a roof deck and green house located to the east side of these rooftop features.

Benefits:

- N 48th exterior elements and massing extend neighborhood patterns
- Primary entry and porch engages neighborhood
- Driveway beyond primary pedestrian approach to entry enhances safety
- Increased landscape at corner and most landscape along Aurora frontage
- More articulated massing along Aurora because of additional setback
- Living room activates corner
- No limited use spaces or recesses along Aurora enhance pedestrian realm and safety and is supported by local community members
- Single building entry enhances interaction between residents and the neighborhood
- Roof deck and greenhouse located on east half of building
- Trash collection by SPU possible without staging in the ROW

Disadvantages:

- Departure required

concept comparison

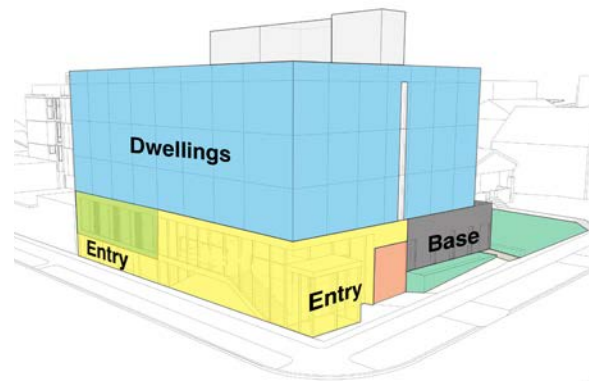


concept A

concept B

concept C // preferred

concept A // corner entry (code compliance)



C1-40

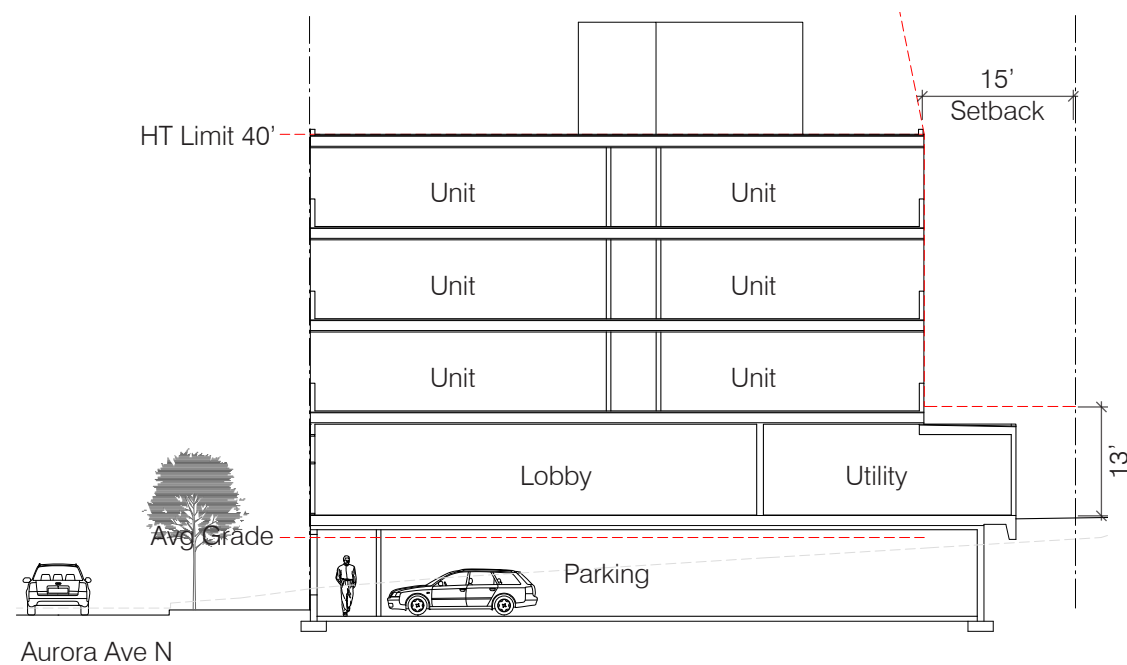
Number of Units	45 (220-320 sqft units)
GFA Total	22,820 sqft
Vehicle Parking	16 stalls
Bicycle Parking	58 stalls
Amenity Area	3,244 sqft

C1-55 (draft MHA)

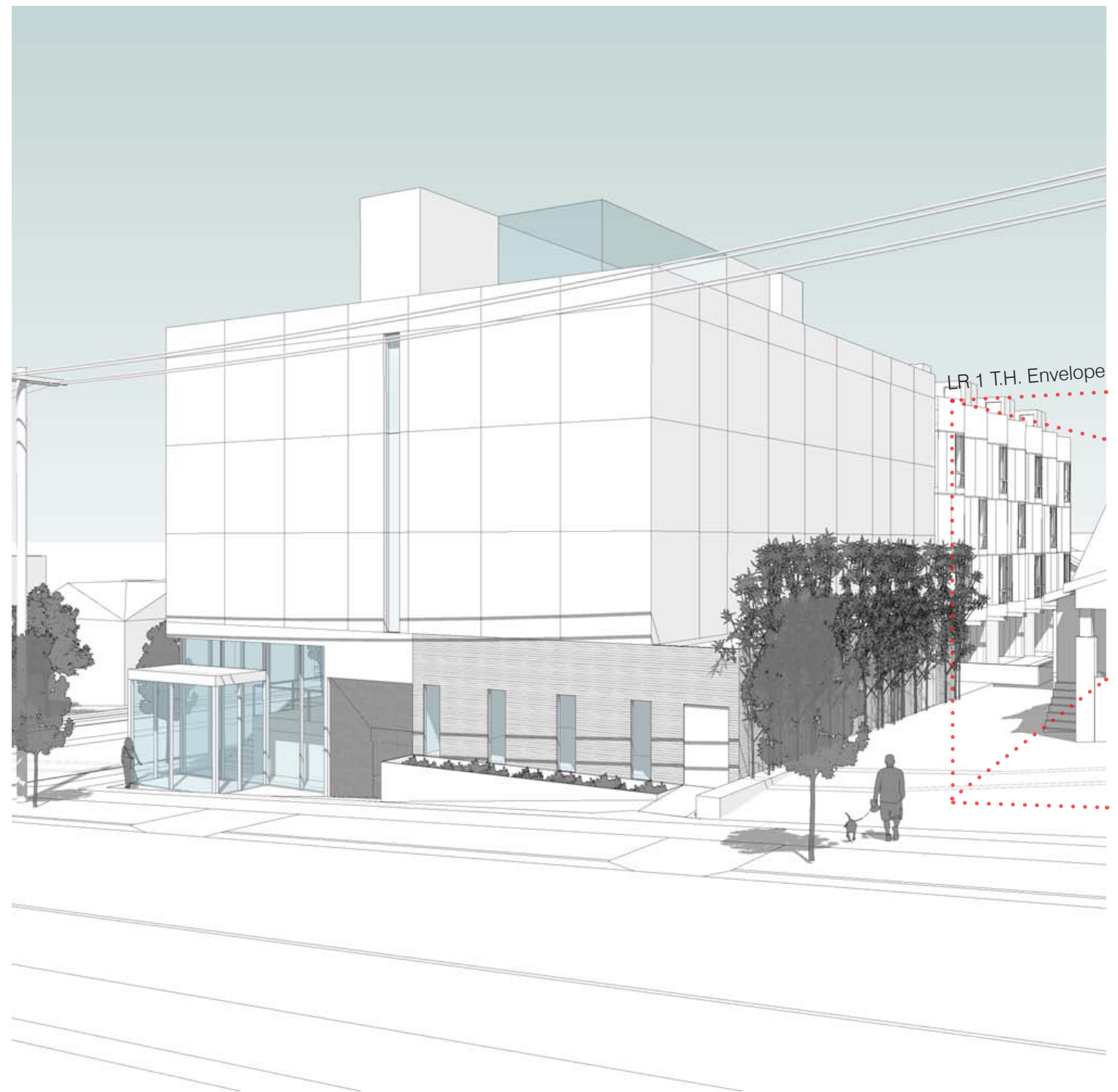
Number of Units	58 (220-320 sqft units)
GFA Total	28,503 sqft
Vehicle Parking	16 stalls
Bicycle Parking	58 stalls
Amenity Area	3,244 sqft

In response to the zoning code requirement for an intervening use to be located between street level parking and the property line, this concept provides two project entries on the Aurora frontage and connects them with a linear interior space. Both entries are at sidewalk level, then climb to a residential lobby space located a partial story above. With stairways at the edge, the activity of the living room is pushed inward. Bicycle parking is located in the northwest corner with waste storage behind. Six dwelling units are provided at the first floor. The stair and elevator cores are located near the north-south midline of the project with a roof deck and green house located to the east side of these rooftop features.

Departures required: none



Building Section



Perspective // North Facade



Perspective // Northwest Approaching

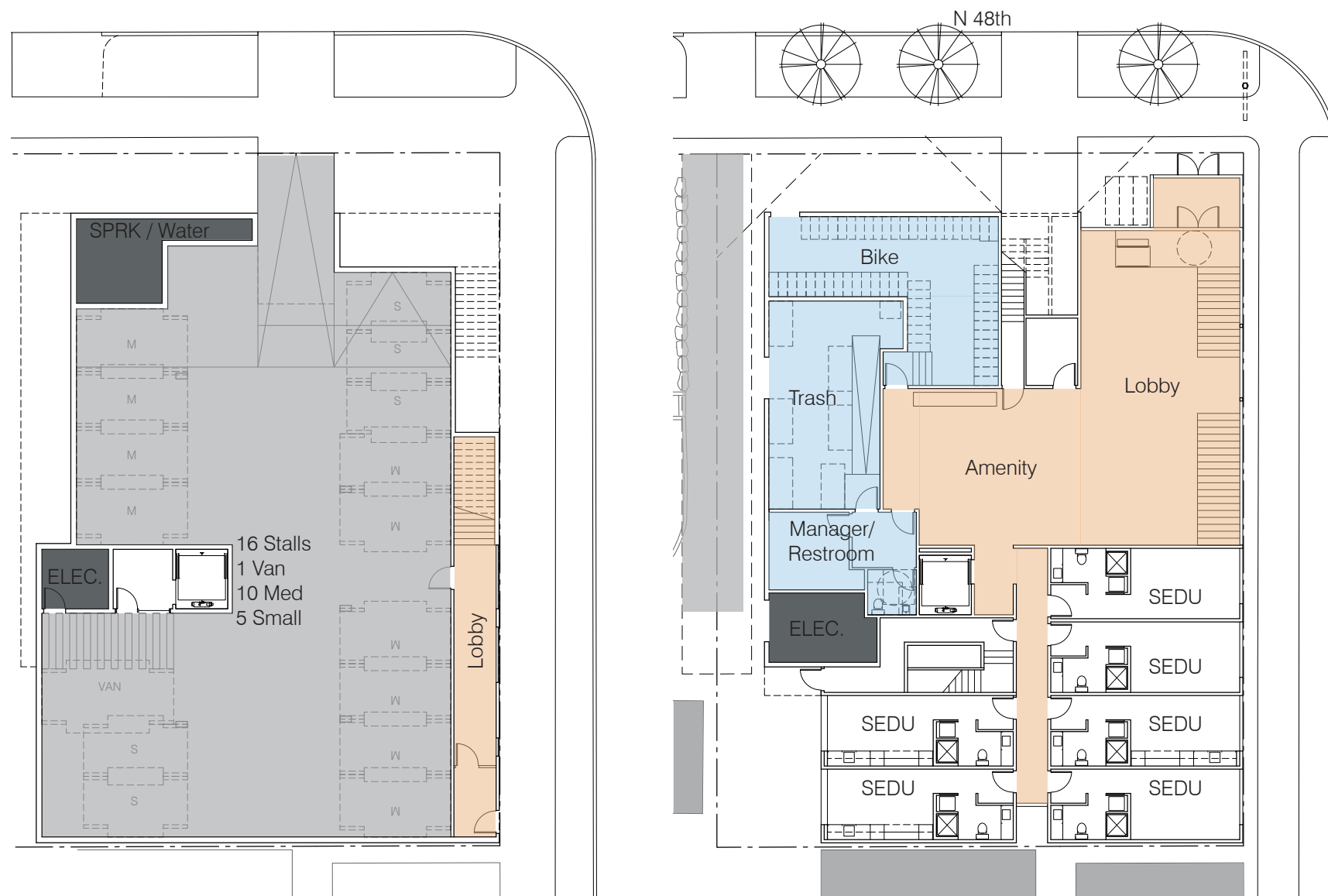


Perspective // Northwest View



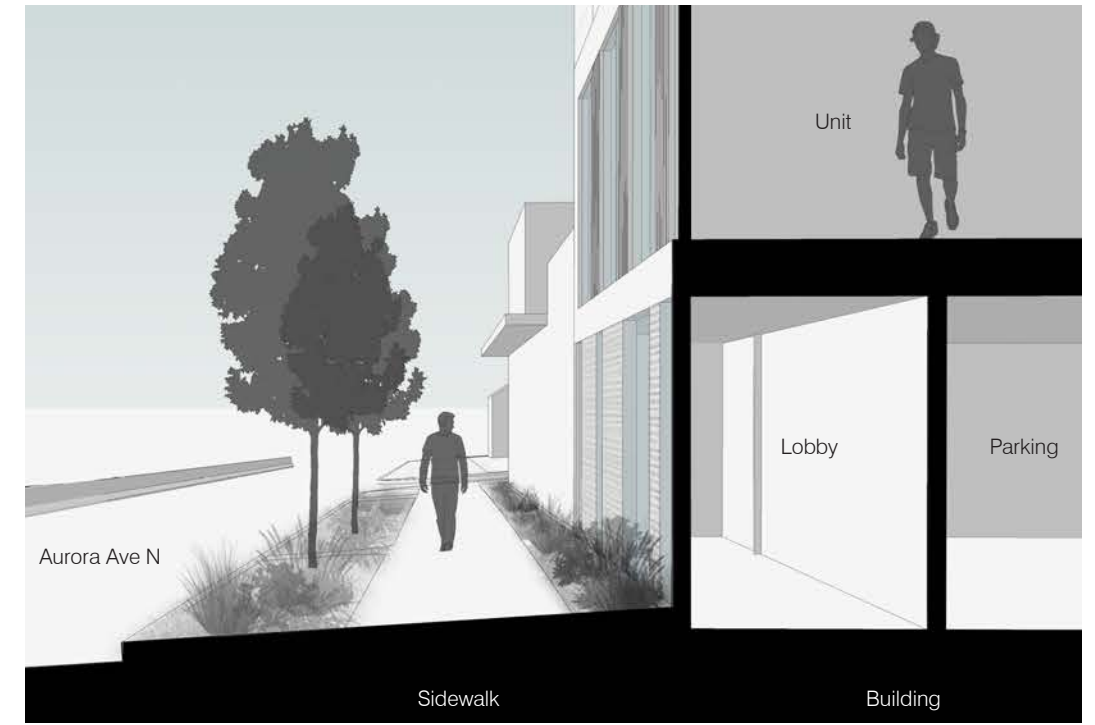
Perspective // Entry

concept A // corner entry (code compliance)



N
 ⌚ Floor Plan // Parking Level

Lobby Level



Perspective // Sidewalk



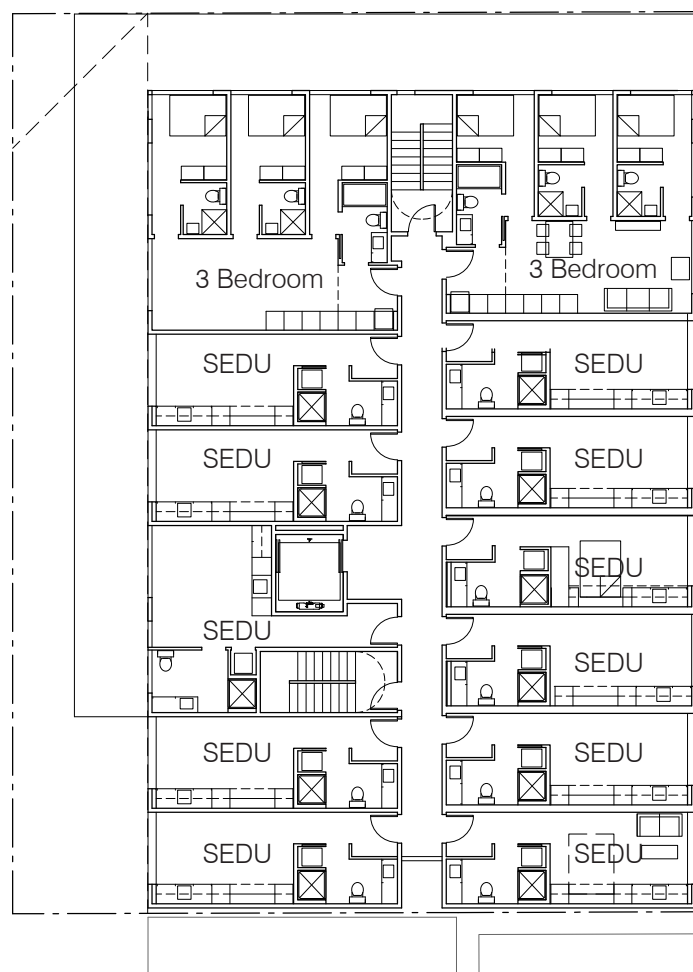
Perspective // North Entrance



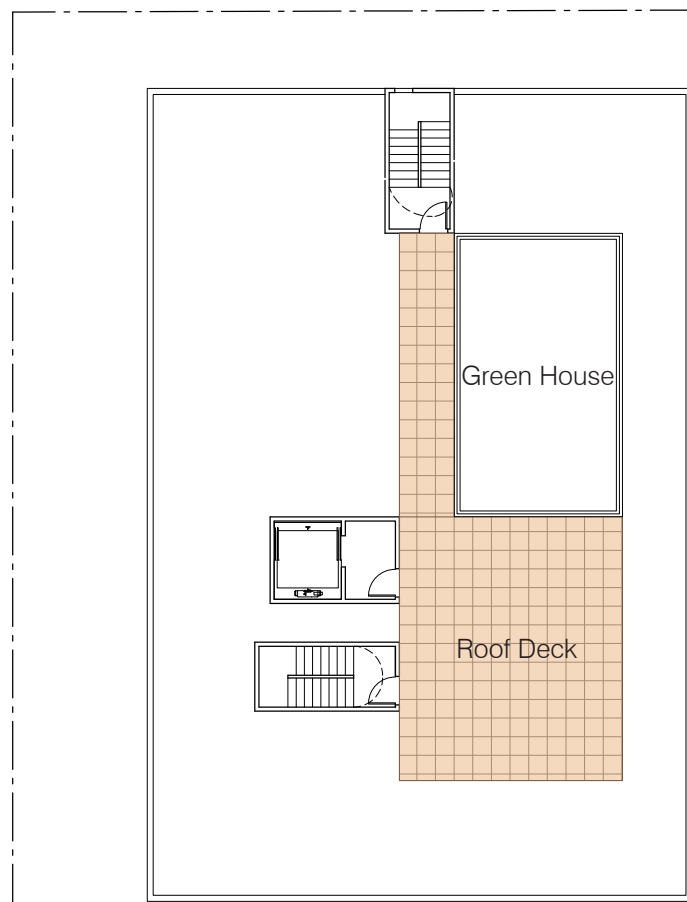
Perspective // Northeast View



Perspective // Porch & Driveway



N
 ⌚ Floor Plan // Typical Residential Level

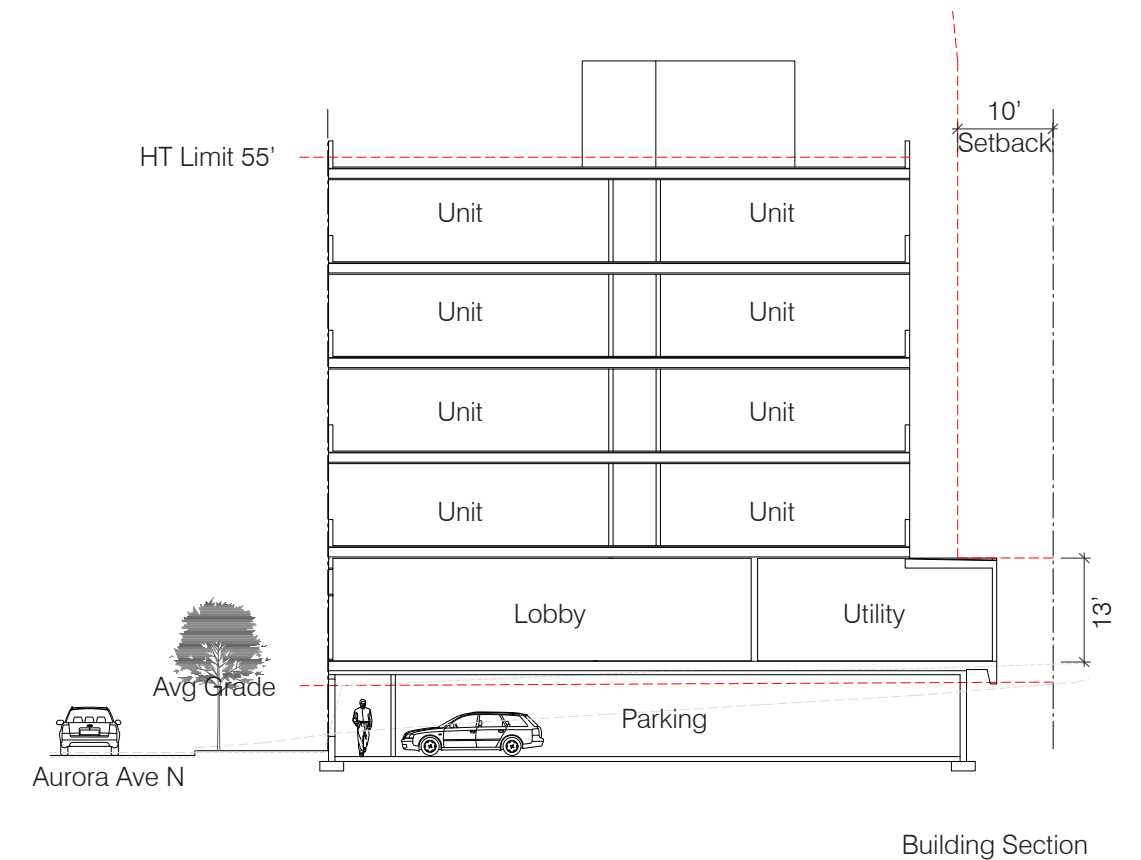


Roof Level



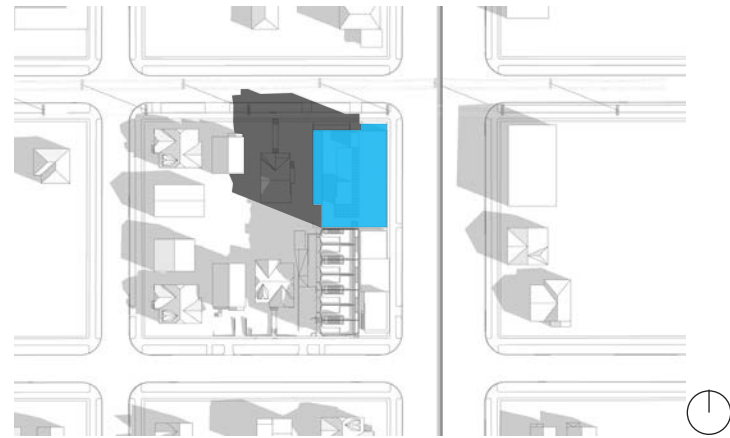
Perspective // Amenity Area

concept A // draft MHA

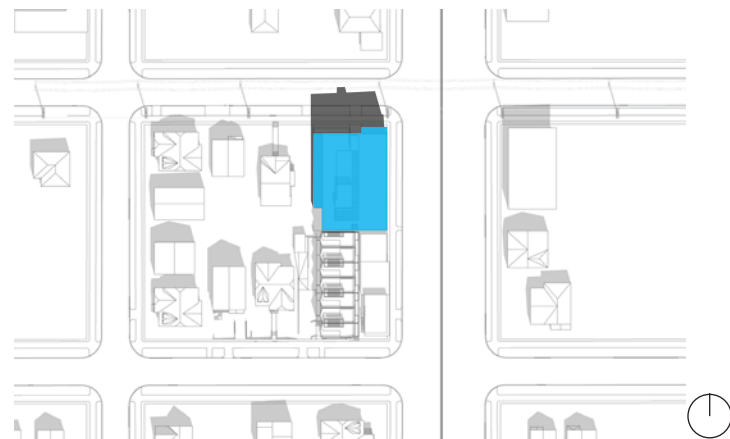


concept A // shadow study

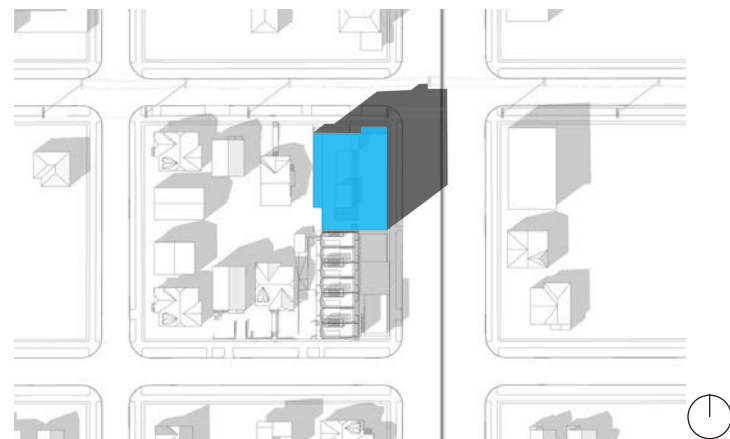
Equinox



March/September 21
9 am



March/September 21
12 pm



March/September 21
3 pm

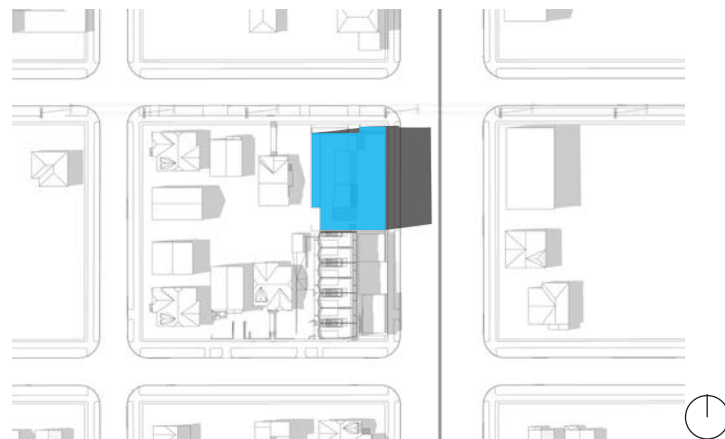
Summer



June 21
9 am

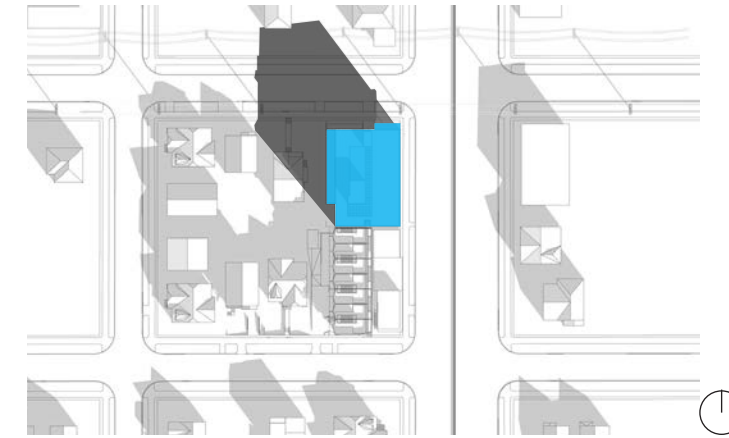


June 21
12 pm

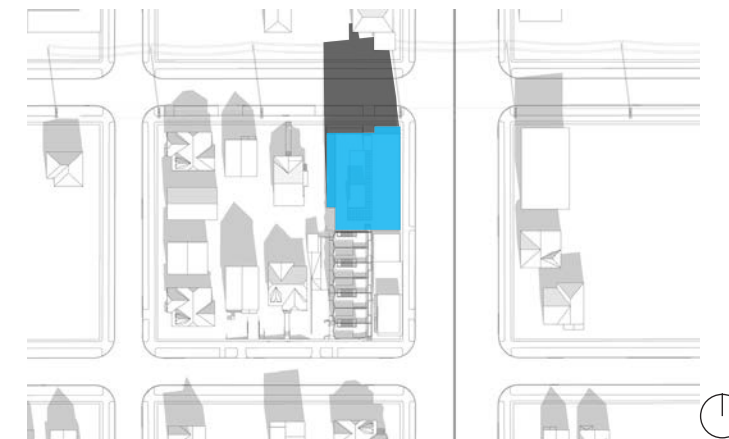


June 21
3 pm

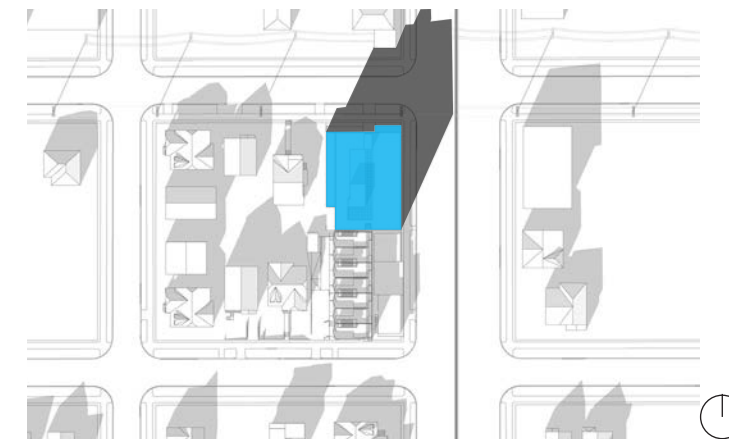
Winter



December 21
9 am



December 21
12 pm



December 21
3 pm

concept B // big porch + side entry



C1-40	
Number of Units	45 (220-320 sqft units)
GFA Total	22,725 sqft
Vehicle Parking	16 stalls
Bicycle Parking	58 stalls
Amenity Area	2,576 sqft

C1-55 (draft MHA)	
Number of Units	58 (220-320 sqft units)
GFA Total	28,088 sqft
Vehicle Parking	16 stalls
Bicycle Parking	58 stalls
Amenity Area	2,576 sqft

This concept situates the primary building entry and porch at the west edge of the N 48th frontage and provides a secondary building entry in the southern third of the Aurora frontage. Along the Aurora frontage, the street level façade is setback to provide additional landscaping. The living room is located prominently on the corner of the lot. Waste storage and bicycle parking are situated behind the porch. Six dwelling units are provided at the first floor. A stair and elevator core is located on the east side of the building. The roof deck and green house are located on opposite sides of these rooftop features.

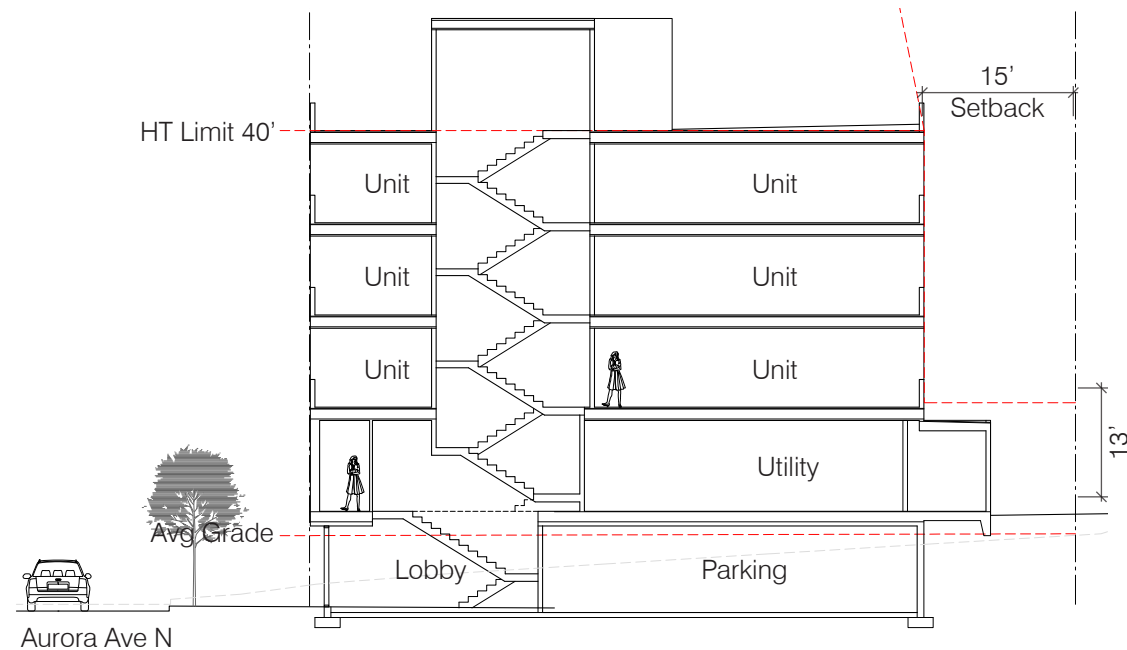
Departures required:

- 23.47A.032.B.1.b Parking location

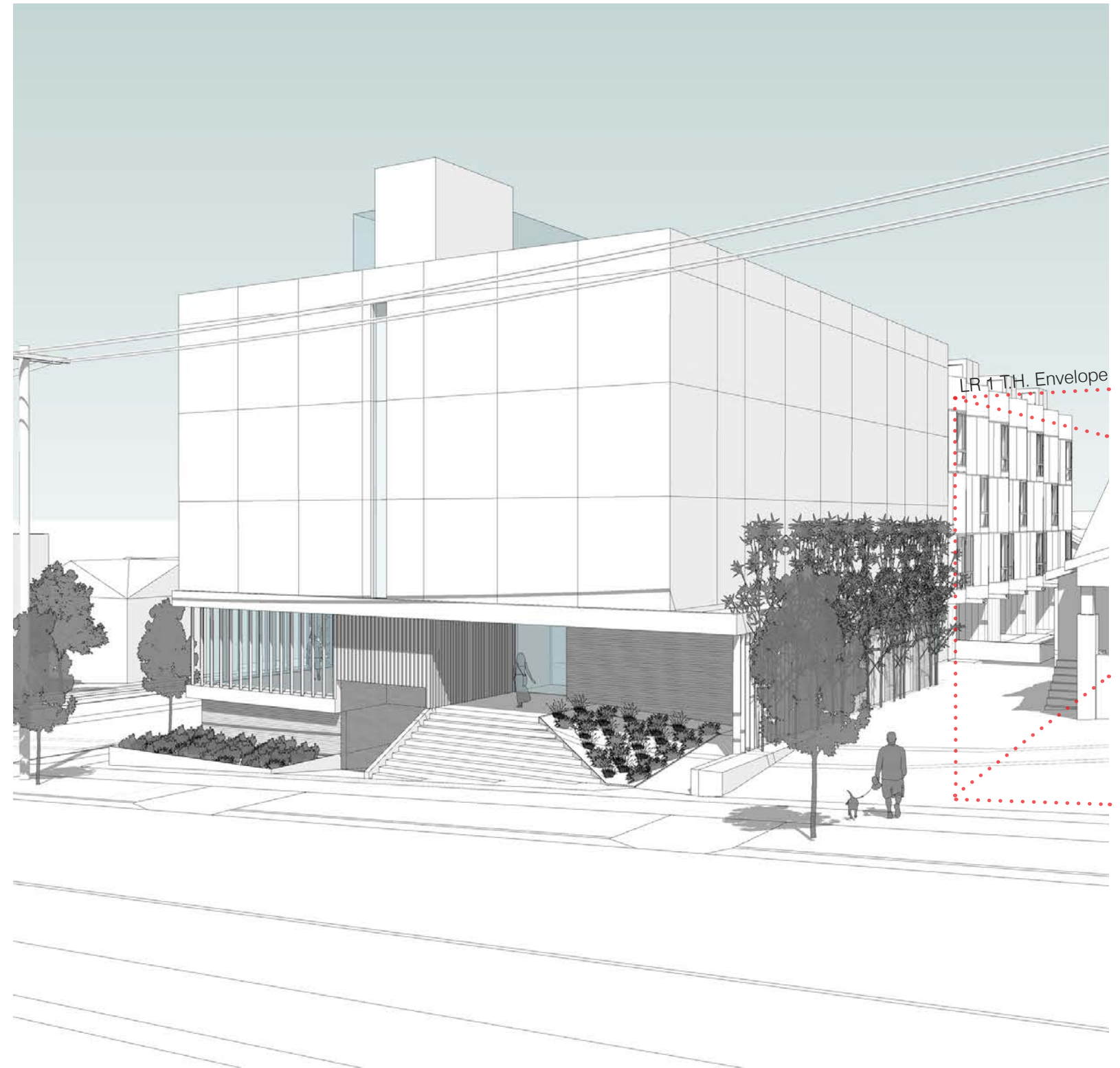
Within a structure, street-level parking shall be separated from street-level, street-facing facades by another permitted use.

- 23.47A.014.B.3 Setbacks

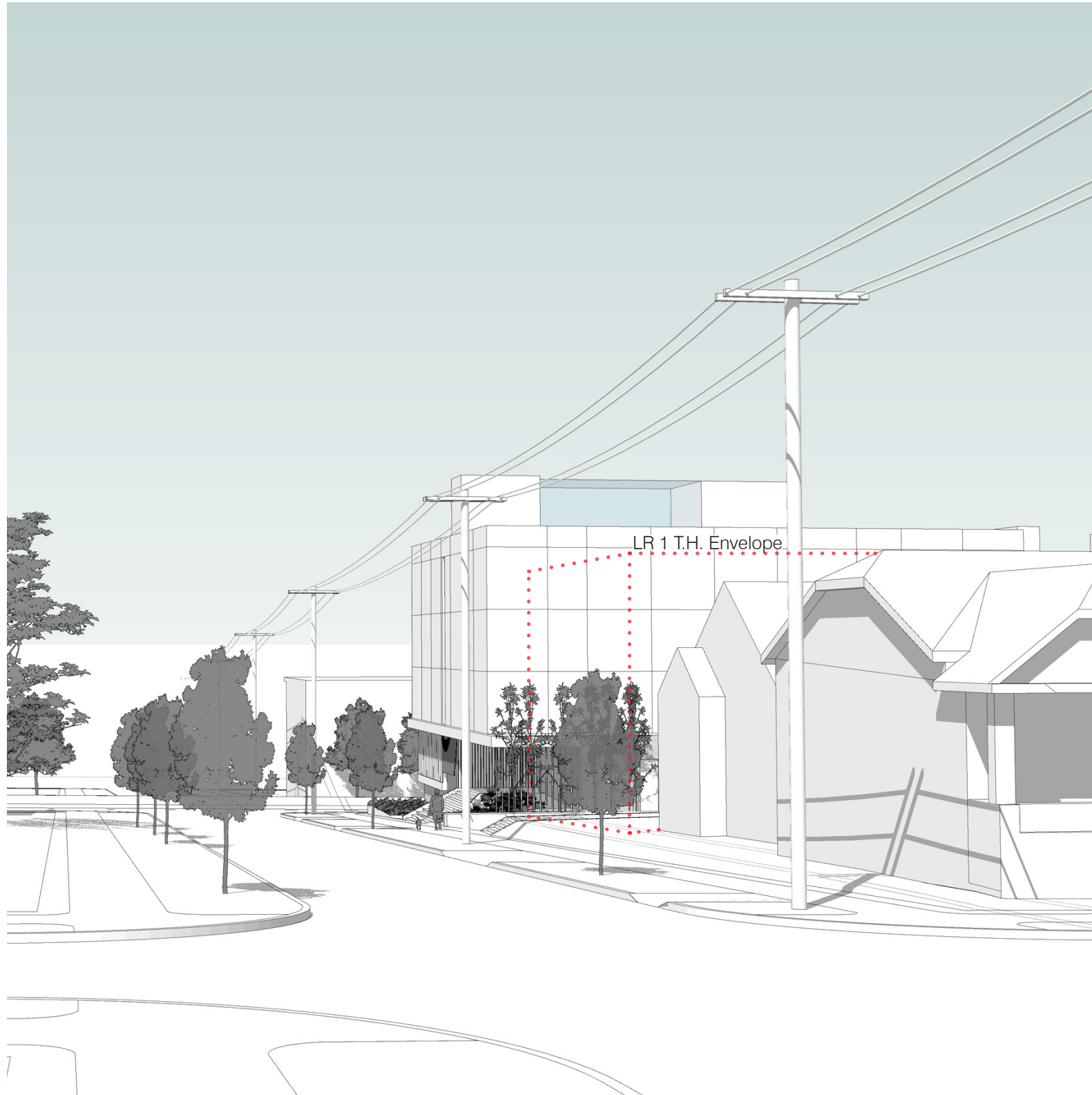
a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet; and b. For each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet



Building Section



Perspective // North Facade



Perspective // Northwest Approaching

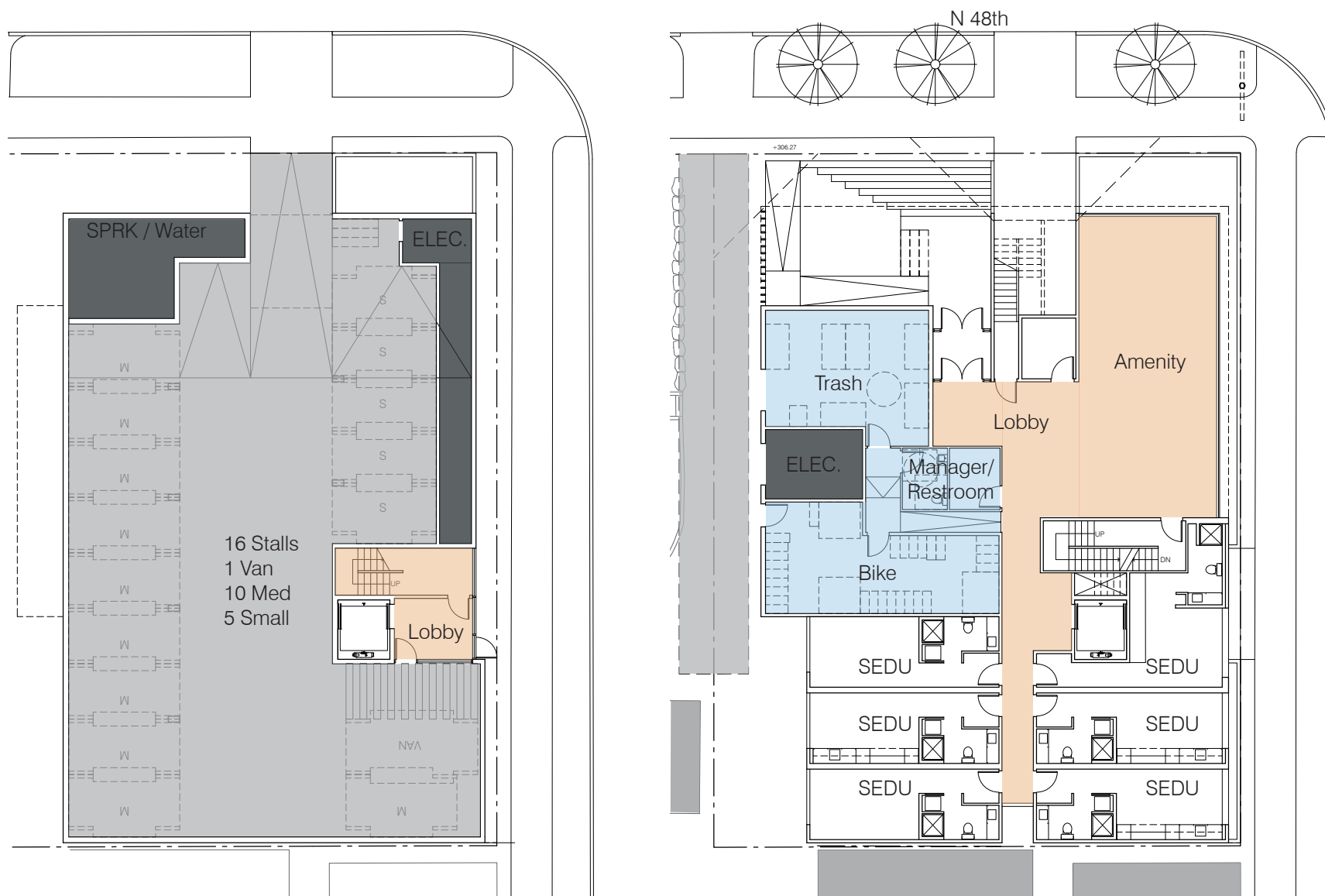


Perspective // Northwest View



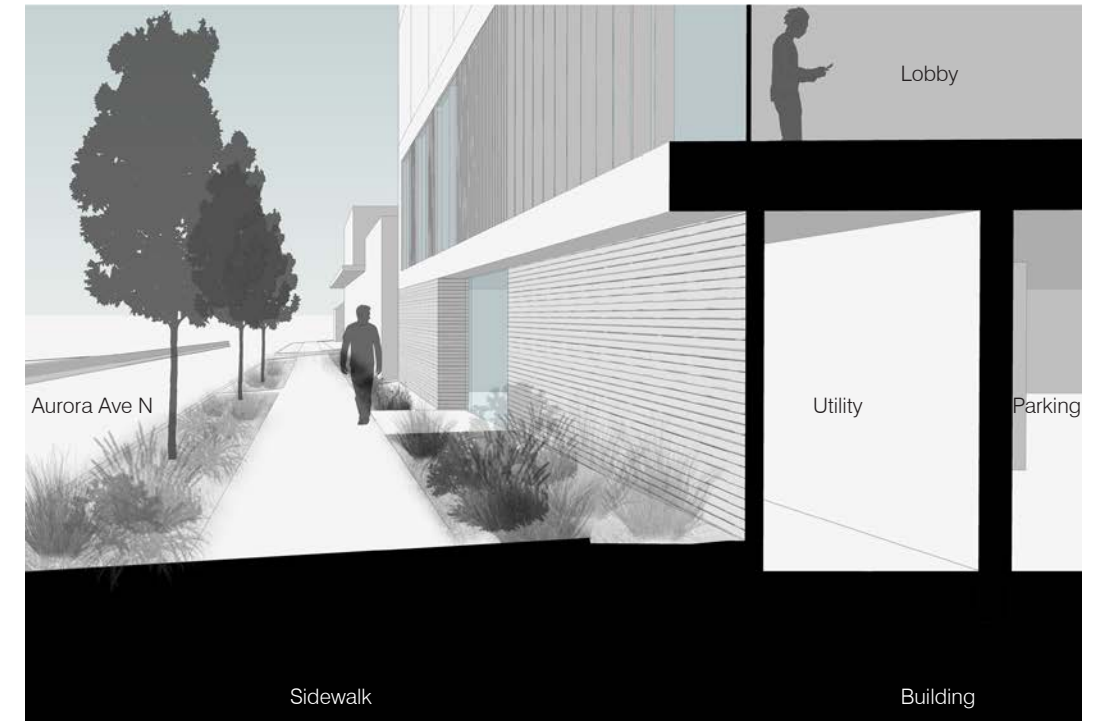
Perspective // Porch

concept B // big porch + side entry



N
 ⌚ Floor Plan // Parking Level

Lobby Level



Perspective // Sidewalk



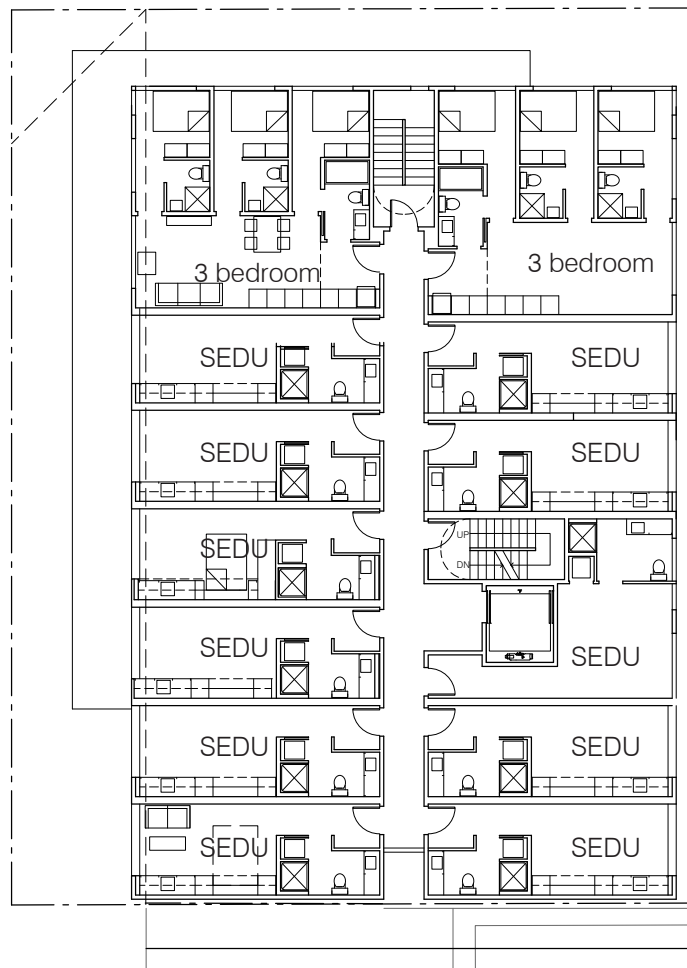
Perspective // North Entrance



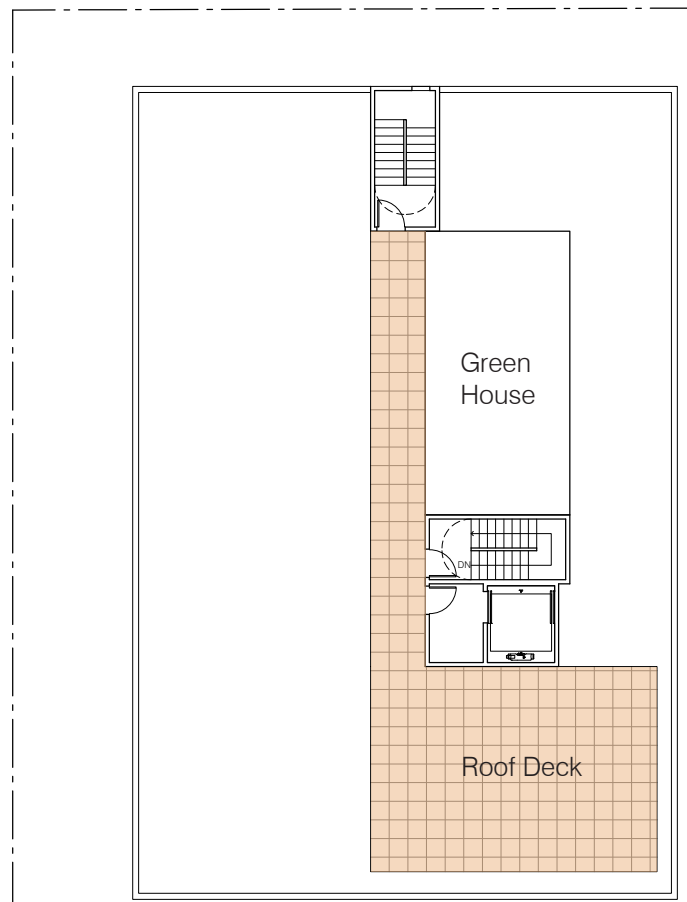
Perspective // Northeast View



Perspective // Porch & Driveway



N
Floor Plan // Typical Residential Level

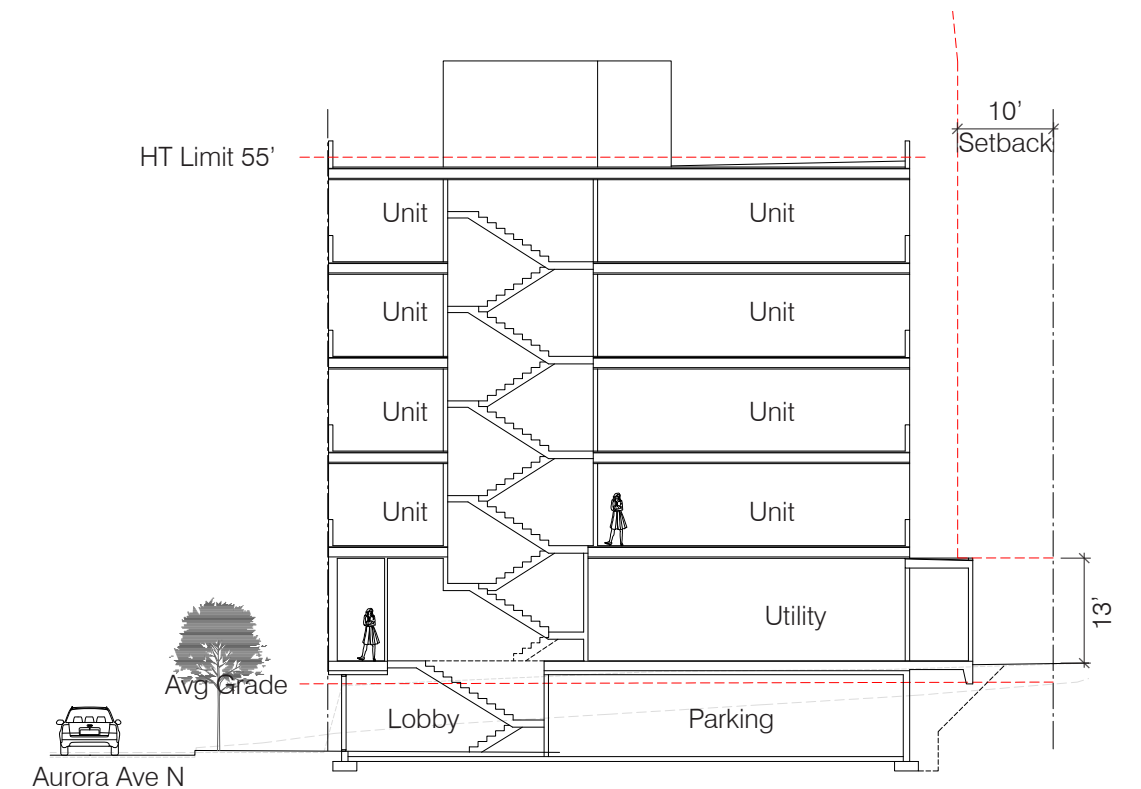


Roof Level



Perspective // Amenity Area

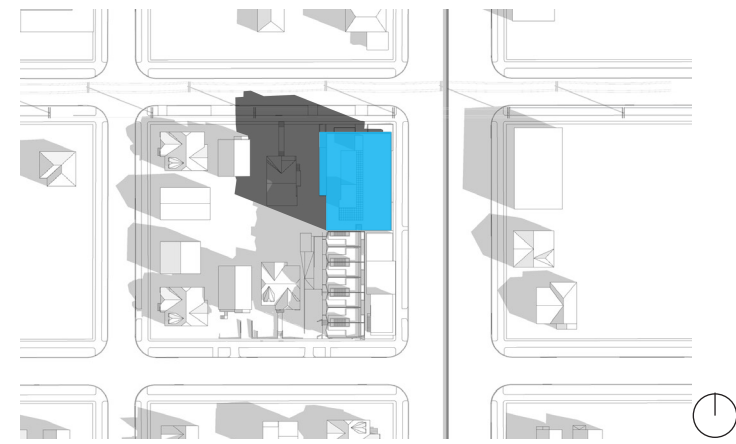
concept B // draft MHA



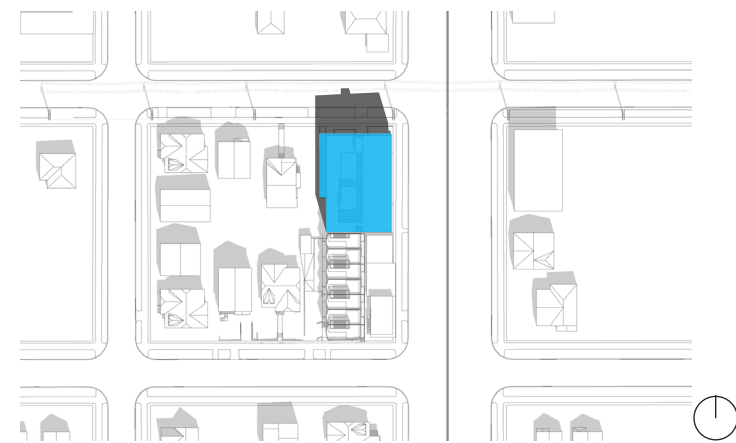
Building Section

concept B // shadow study

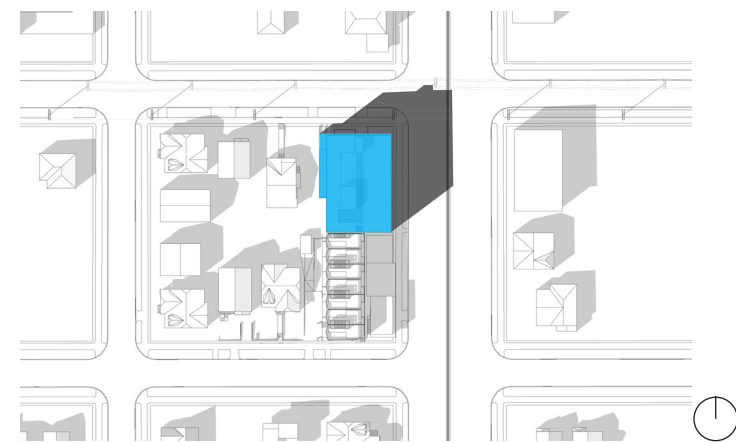
Equinox



March/September 21
9 am

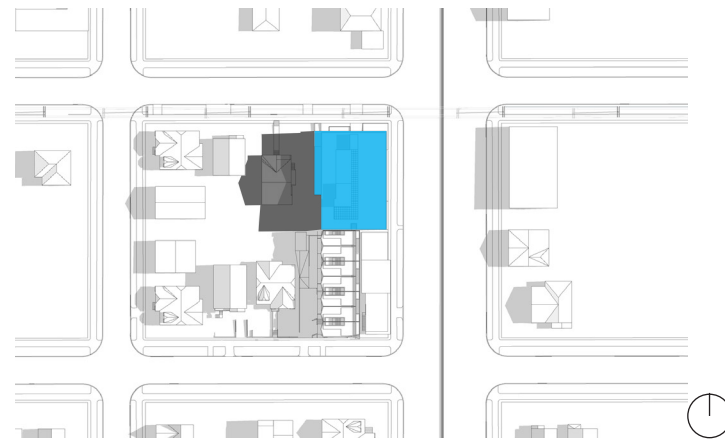


March/September 21
12 pm

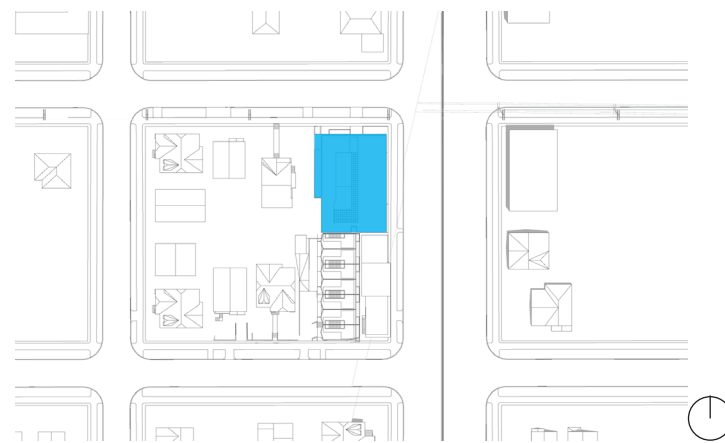


March/September 21
3 pm

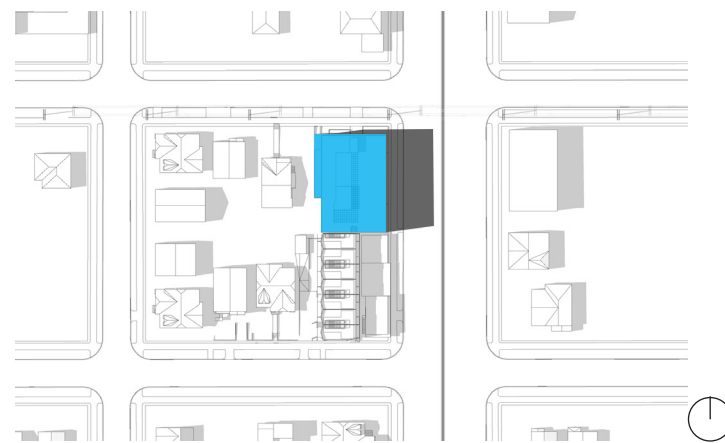
Summer



June 21
9 am

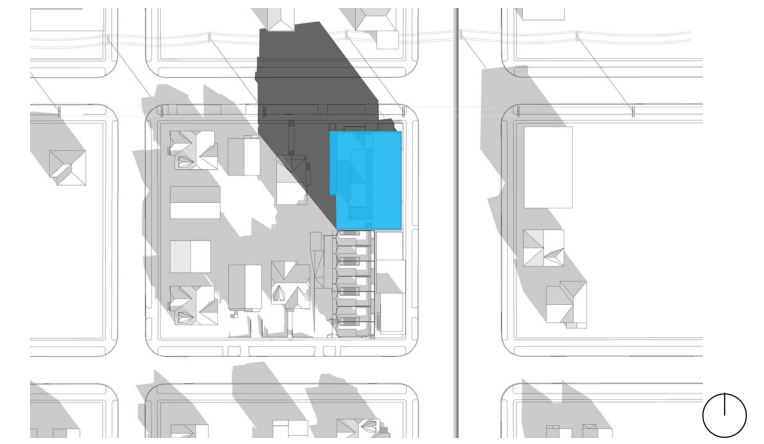


June 21
12 pm

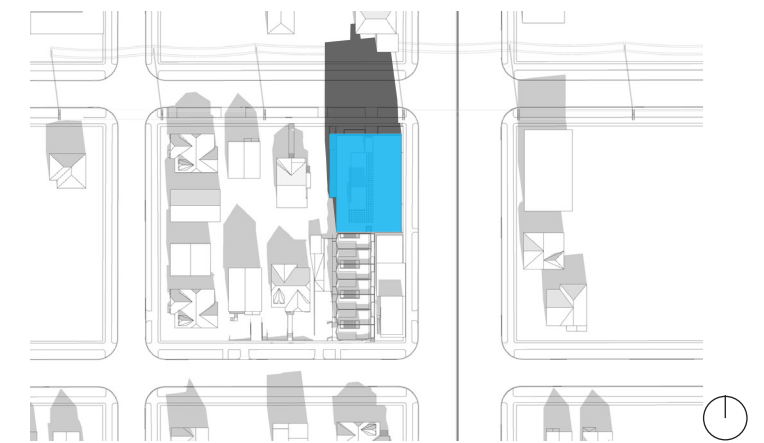


June 21
3 pm

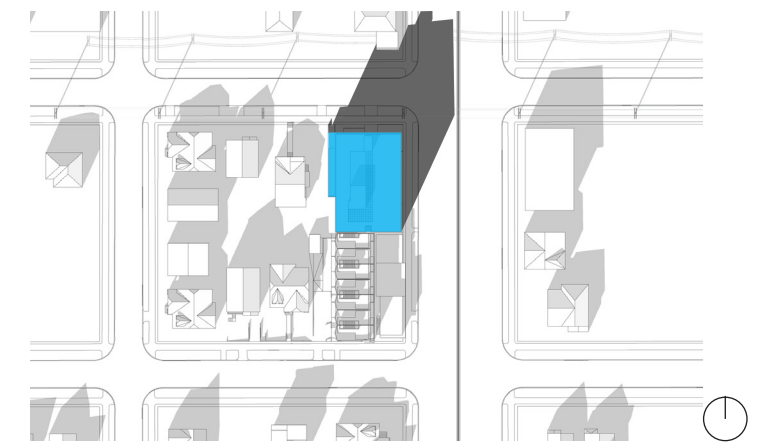
Winter



December 21
9 am



December 21
12 pm



December 21
3 pm

concept C // big porch + landscaped aurora



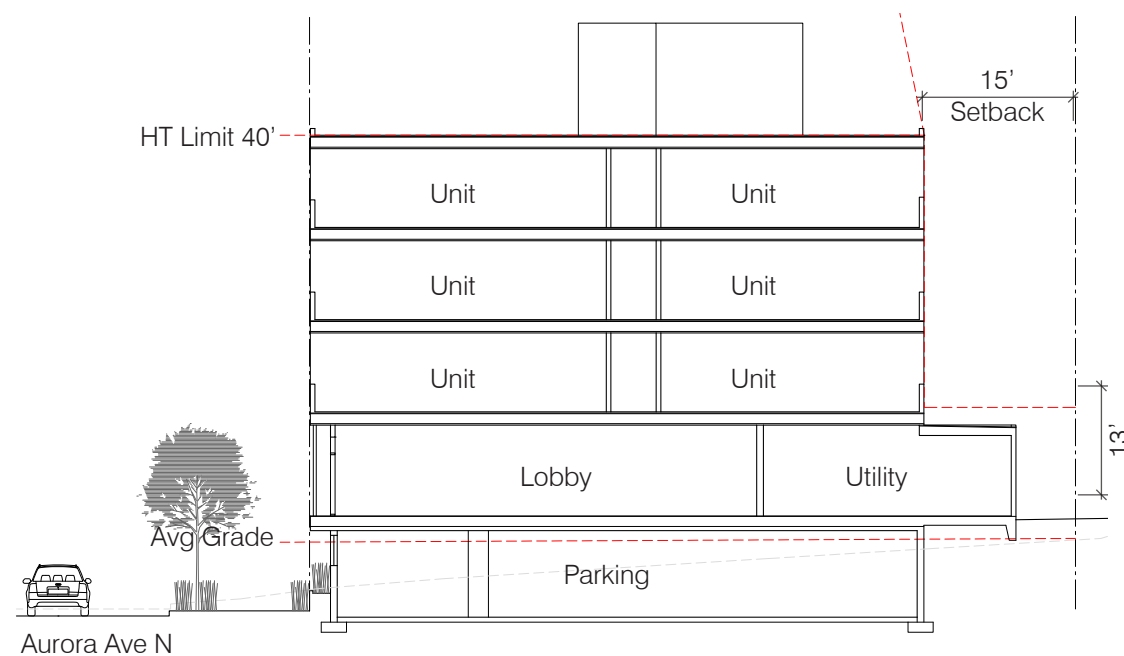
C1-40	
Number of Units	46 (220-320 sqft units)
GFA Total	22,573 sqft
Vehicle Parking	17 stalls
Bicycle Parking	59 stalls
Amenity Area	2,242 sqft

C1-55 (draft MHA)	
Number of Units	59 (220-320 sqft units)
GFA Total	27,936 sqft
Vehicle Parking	17 stalls
Bicycle Parking	59 stalls
Amenity Area	2,242 sqft

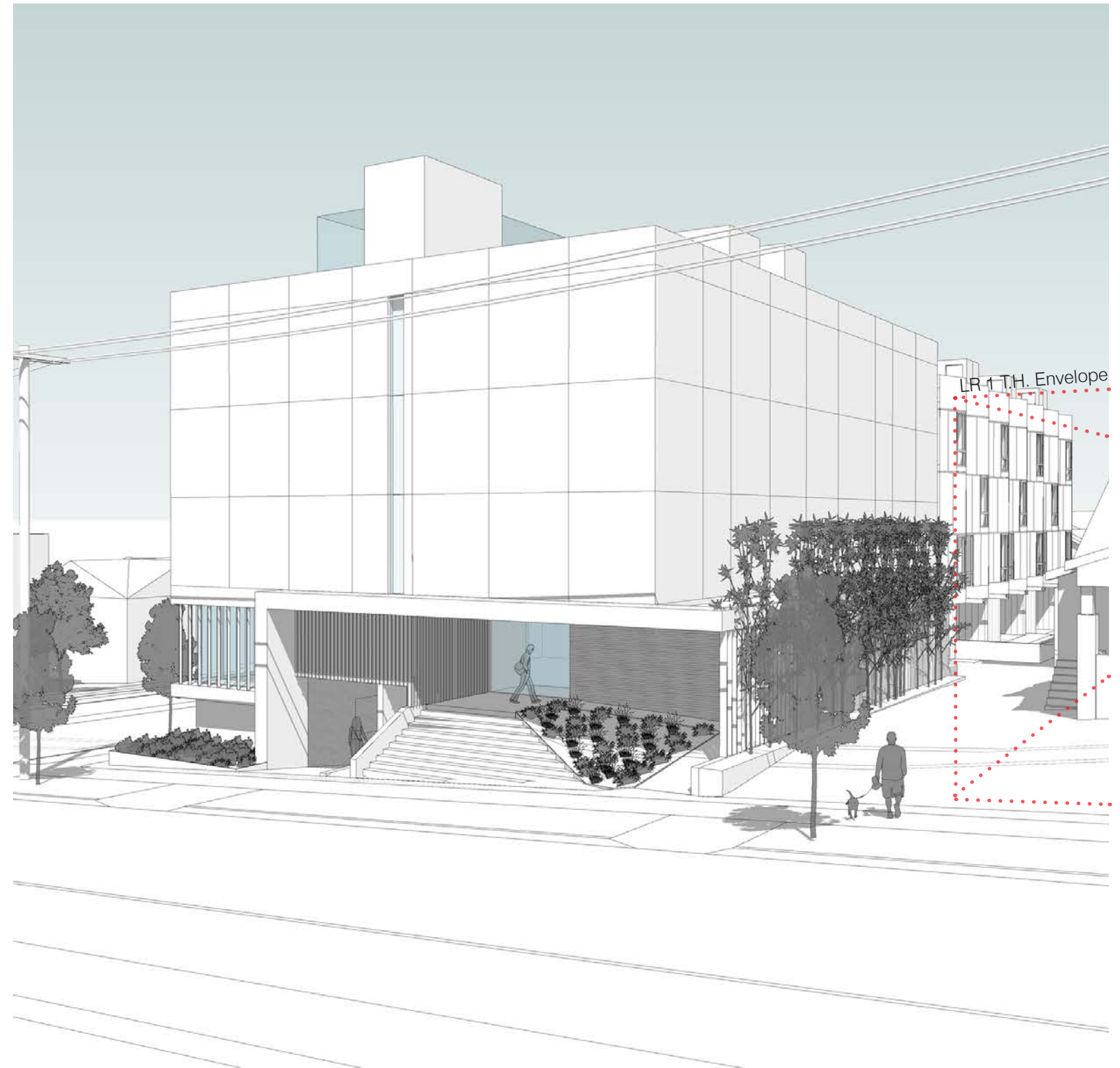
This concept situates the primary building entry and porch at the west edge of the N 48th frontage and provides a ground level setback along the Aurora frontage to provide additional landscaping. The living room is located prominently on the corner of the lot. Waste storage and bicycle parking are situated behind the porch. Six dwelling units are provided at the first floor. The stair and elevator cores are located near the north-south midline of the project with a roof deck and green house located to the east side of these rooftop features.

Departures required:

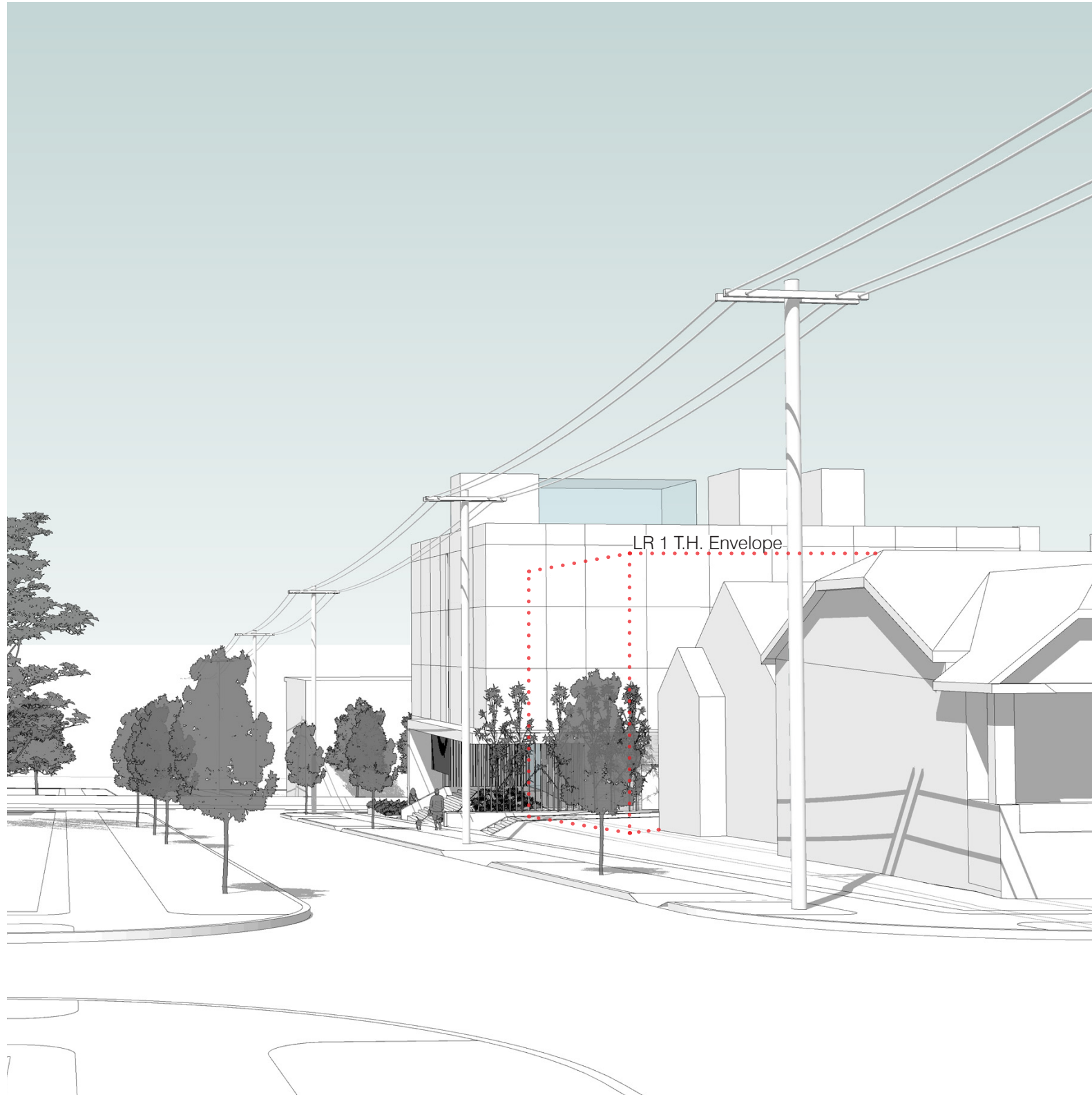
1. 23.47A.032.B.1.b Parking location
Within a structure, street-level parking shall be separated from street-level, street-facing facades by another permitted use.
2. 23.47A.014.B.3 Setbacks
a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet; and b. For each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet



Building Section



Perspective // North Facade



Perspective // Northwest Approaching



Perspective // Northwest View



Perspective // Porch

concept C // big porch + landscaped aurora



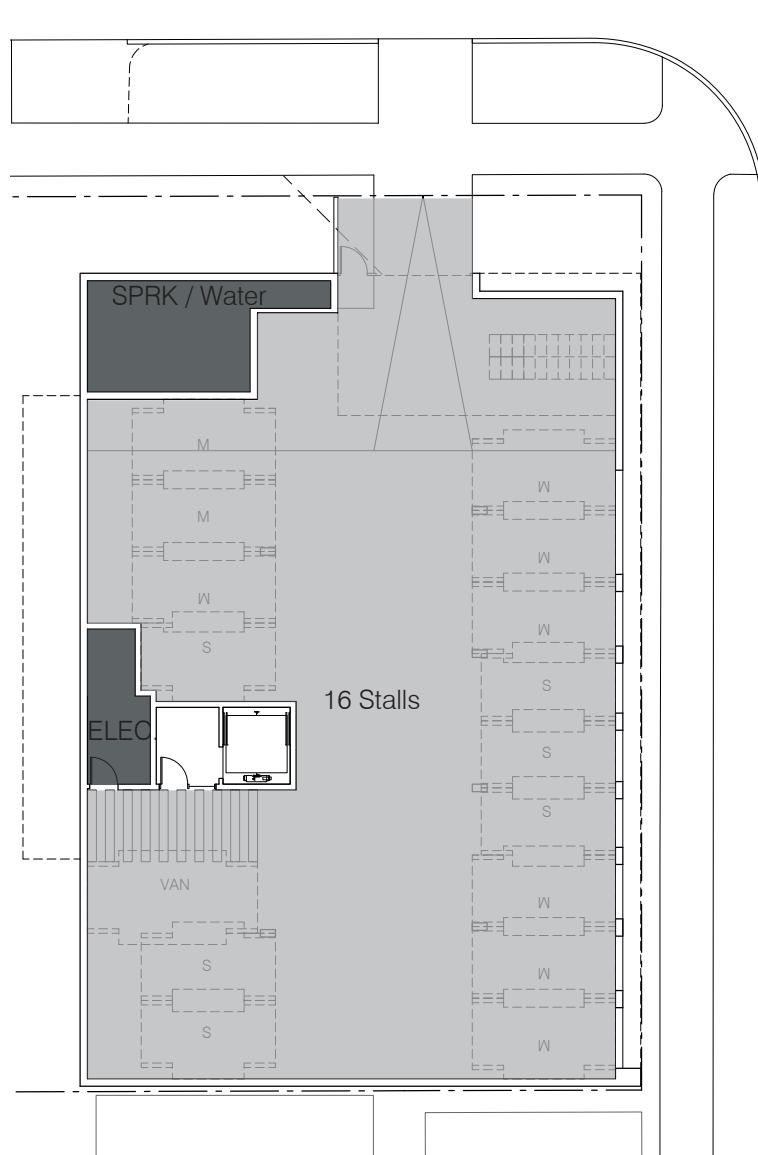
Filtered active space



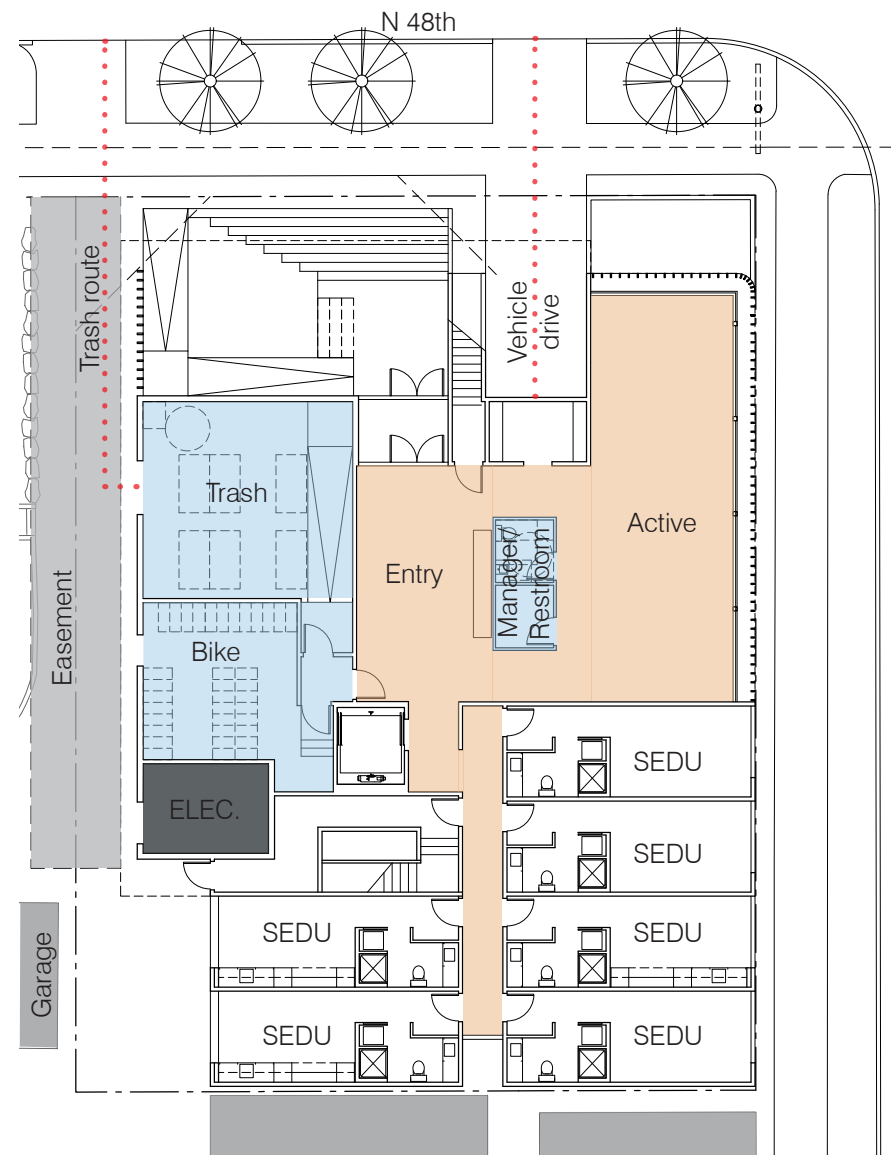
Art screen // Green screen



Perspective // Sidewalk



N
Floor Plan // Parking Level



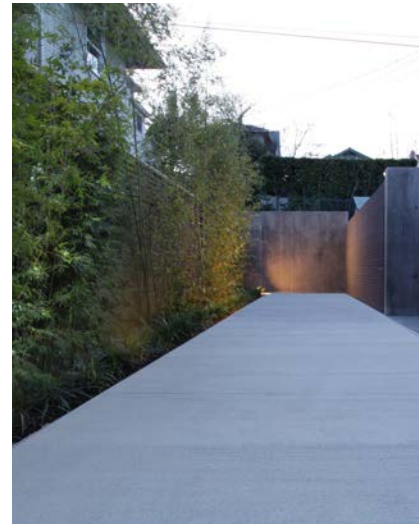
Entry Level



Perspective // North Entrance



Perspective // Northeast View



Bamboo filter



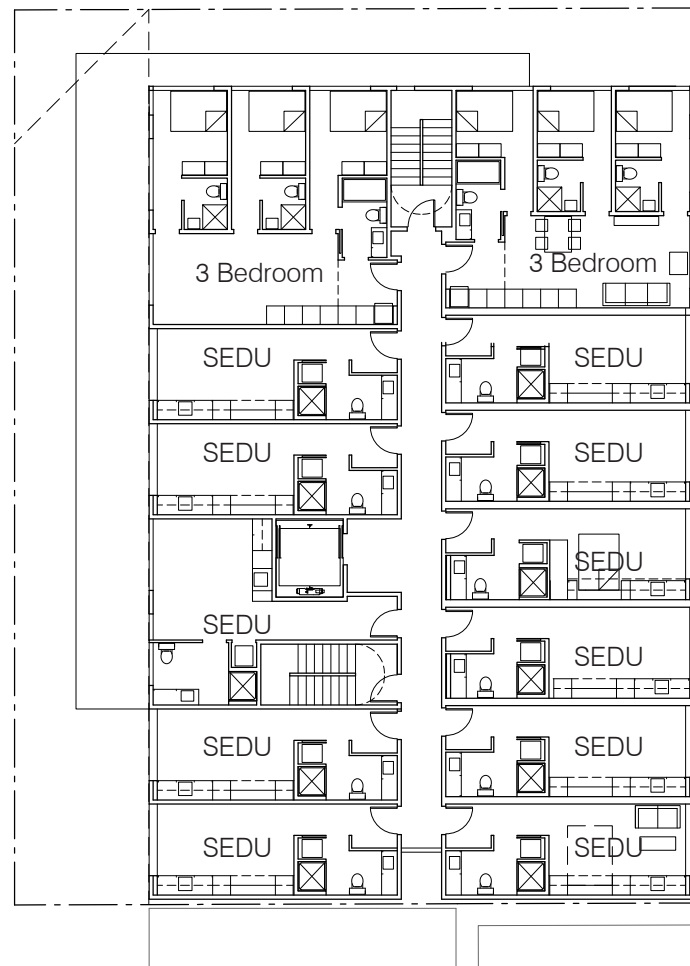
Roof deck



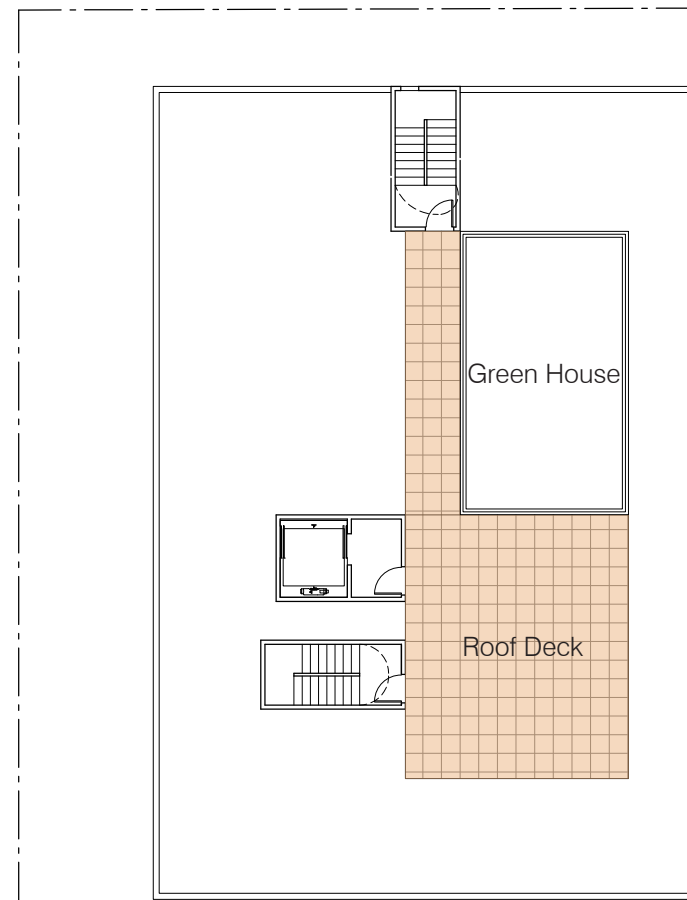
Perspective // Porch & Driveway



Perspective // Amenity Area

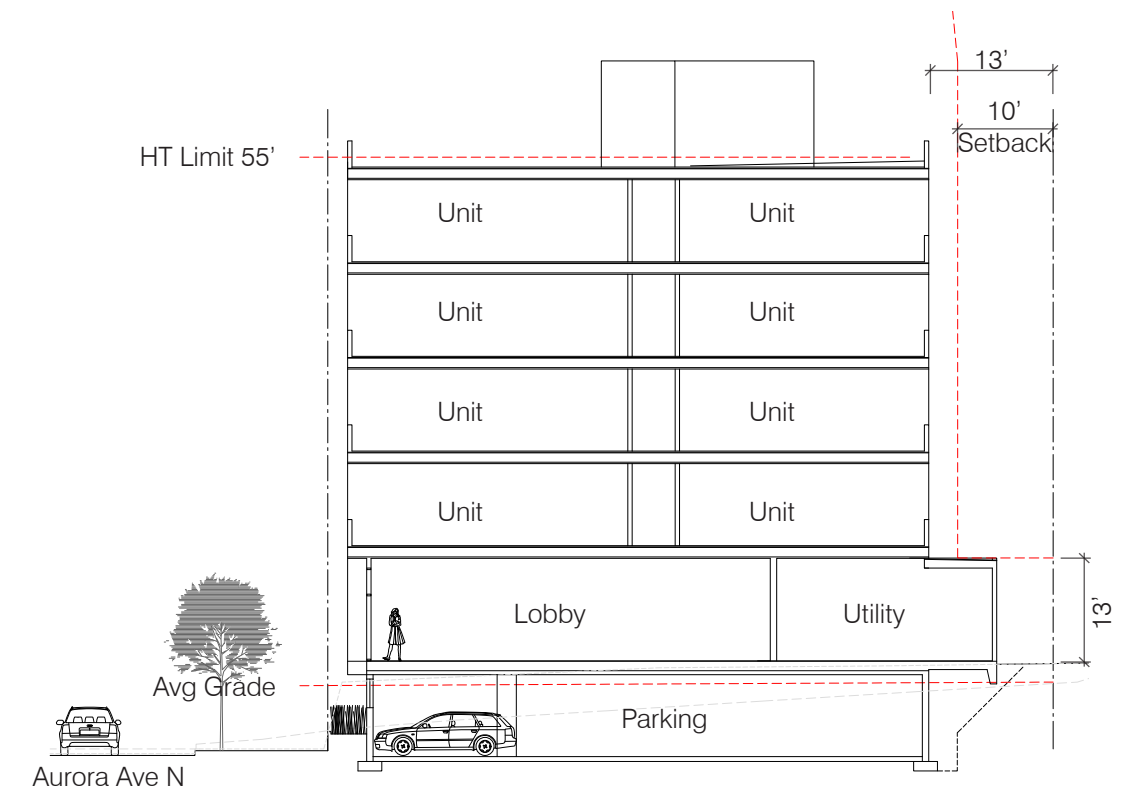
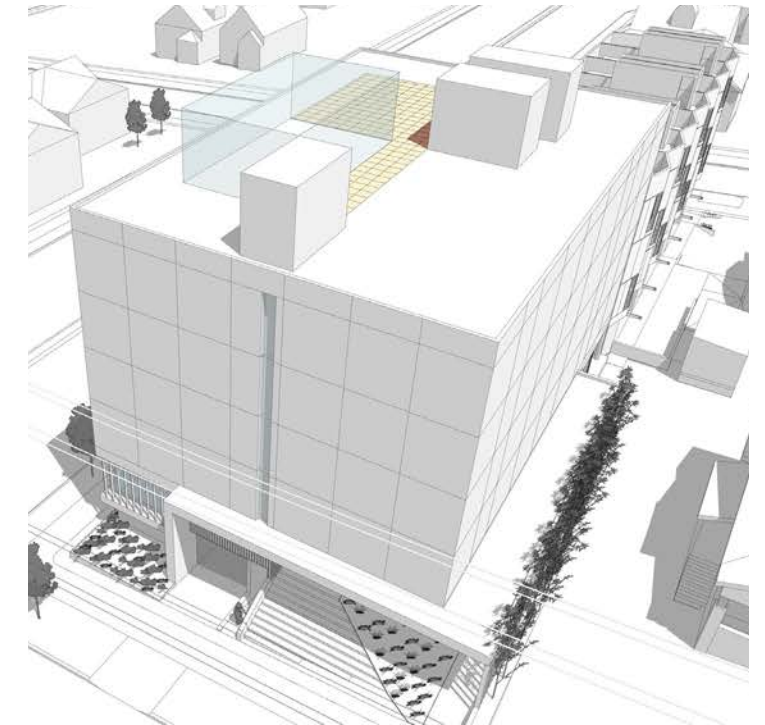
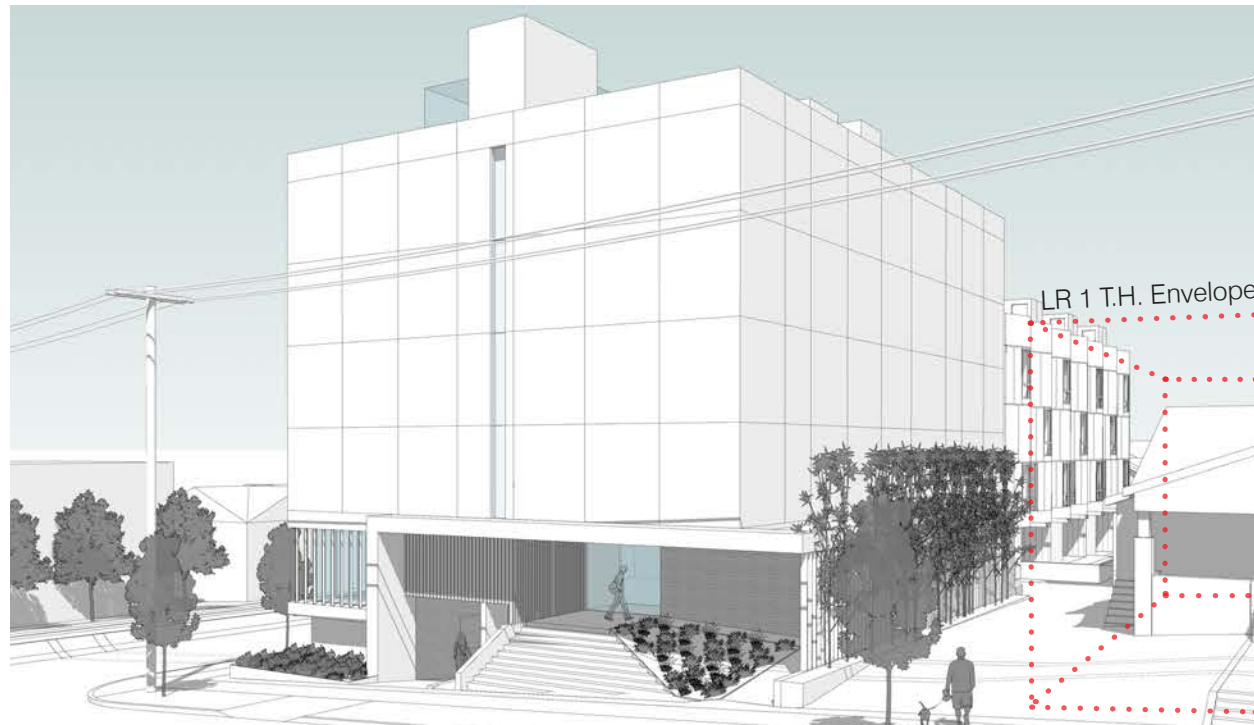


N
Floor Plan // Typical Residential Level



Roof Level

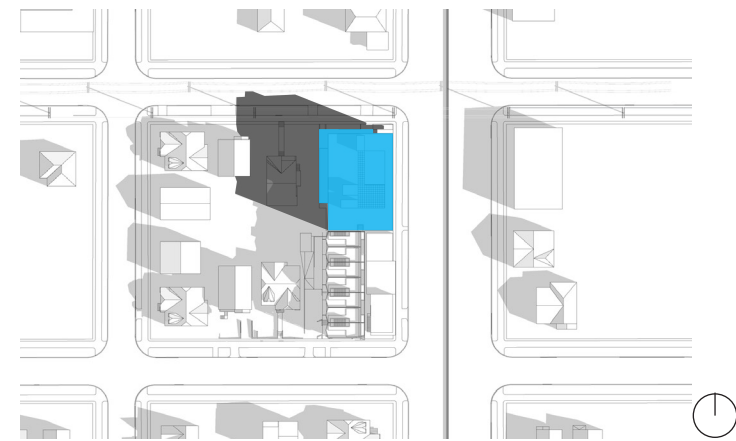
concept C // draft MHA



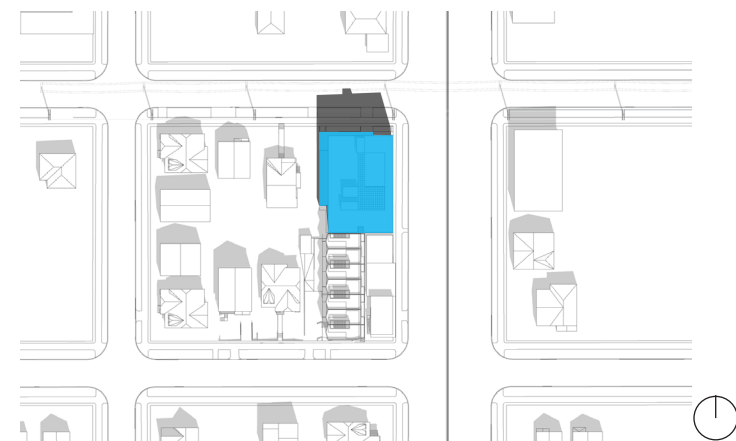
Building Section

concept C // shadow study

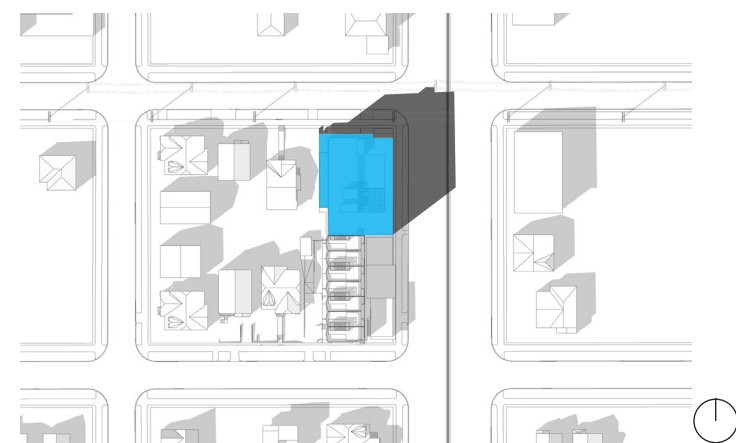
Equinox



March/September 21
9 am

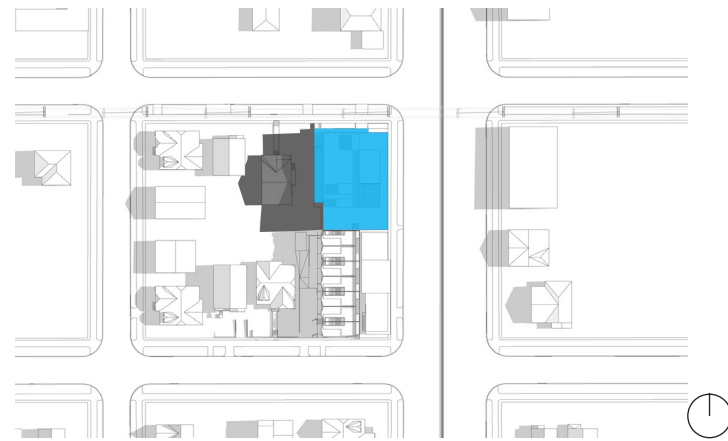


March/September 21
12 pm



March/September 21
3 pm

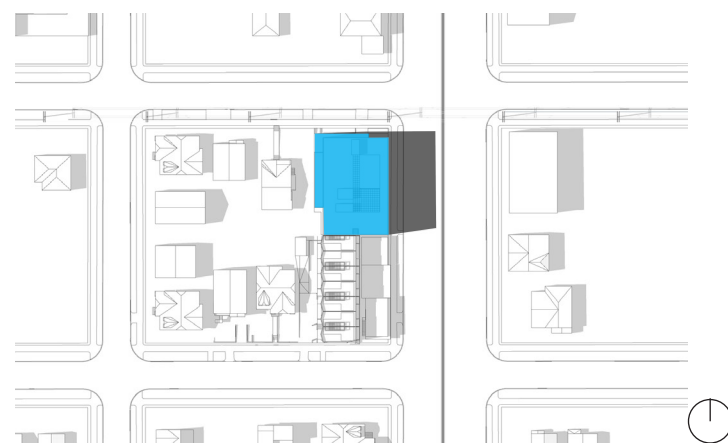
Summer



June 21
9 am

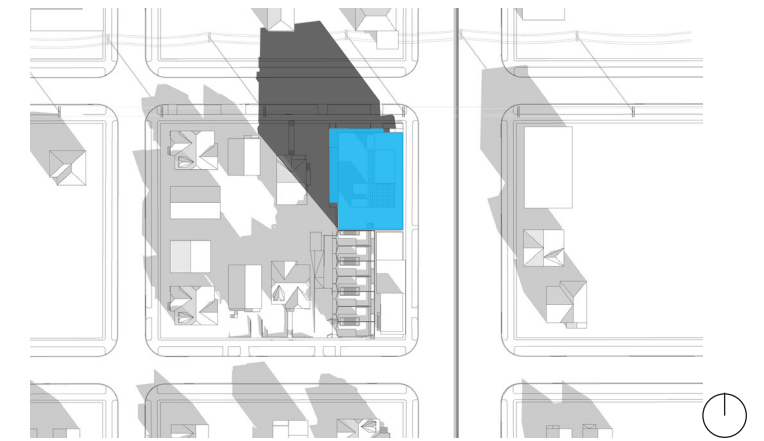


June 21
12 pm

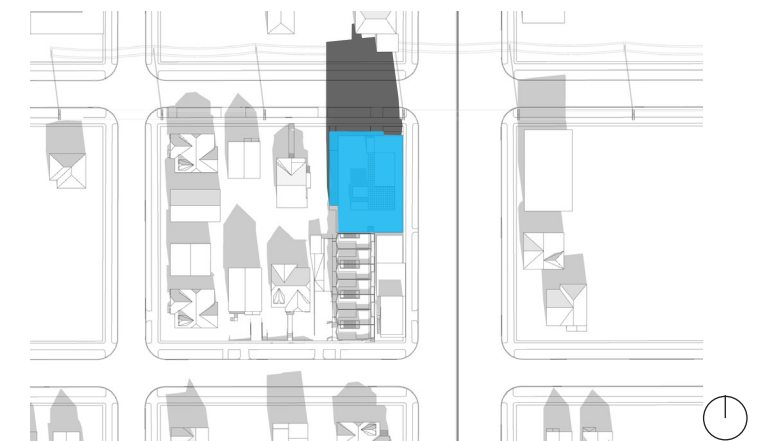


June 21
3 pm

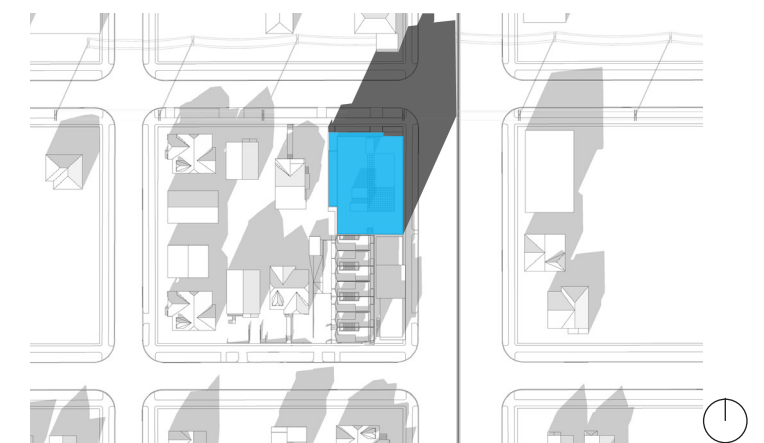
Winter



December 21
9 am

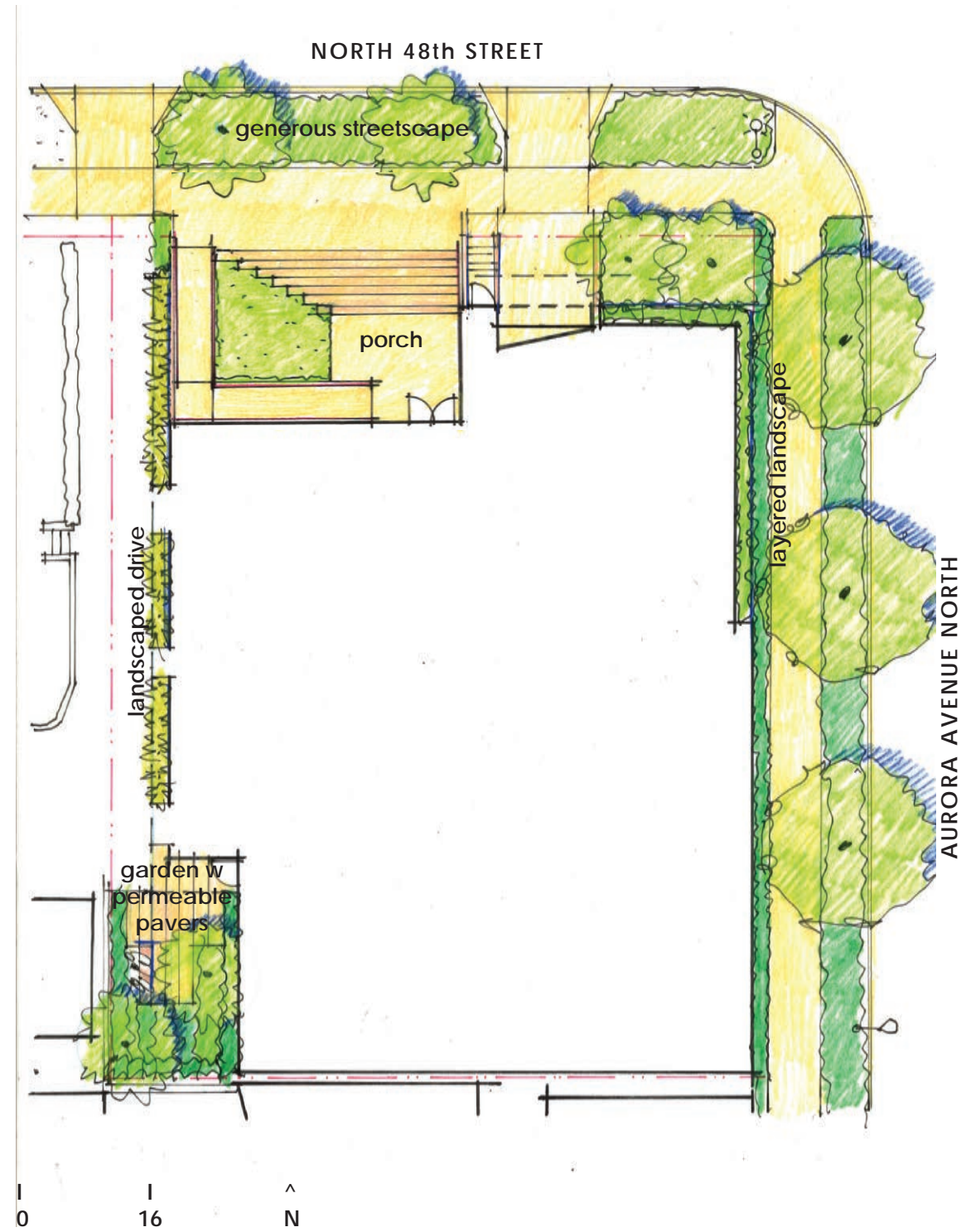


December 21
12 pm



December 21
3 pm

landscape concept - street & alley plan



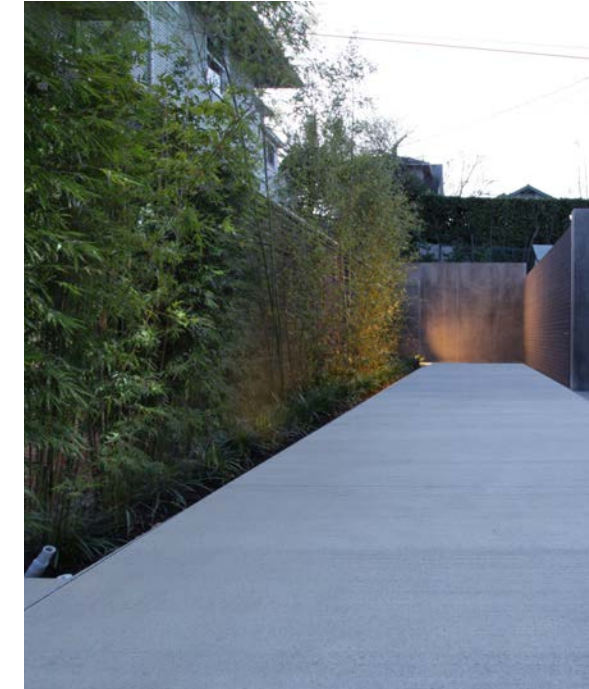
generous streetscape



generous front yard

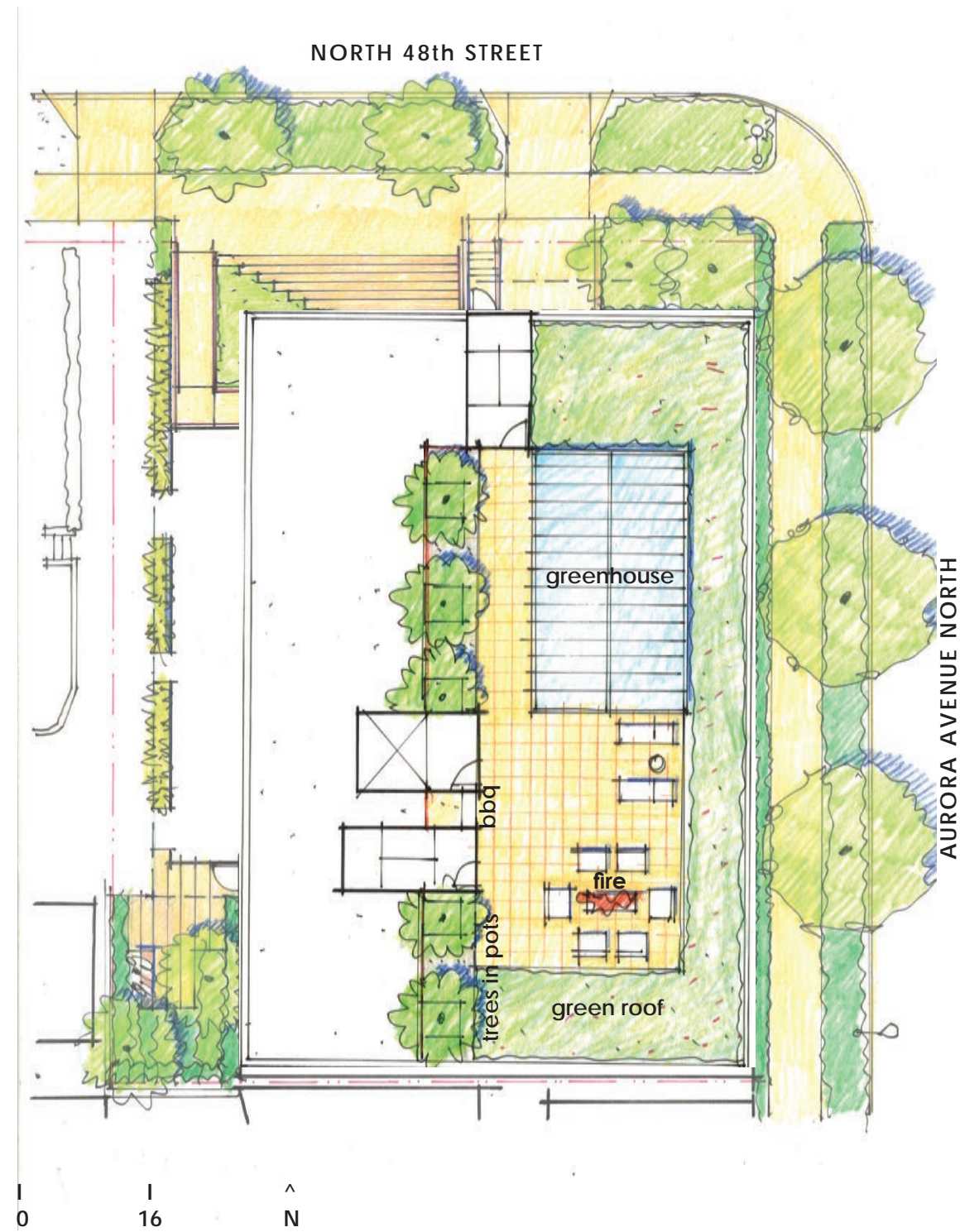


permeable pavers and seatwall



landscaped drive

landscape concept - roof plan



outdoor dining



green roof edge



trees in pots



fire and fun

facade articulation

Panorama



grouped windows

Cell



full height window with panel

Offset - preliminary preferred



offset window groups



horizontal fenestration



wrapped corner



wrapped corner



base

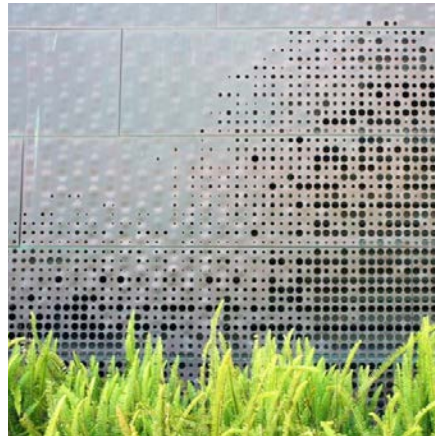
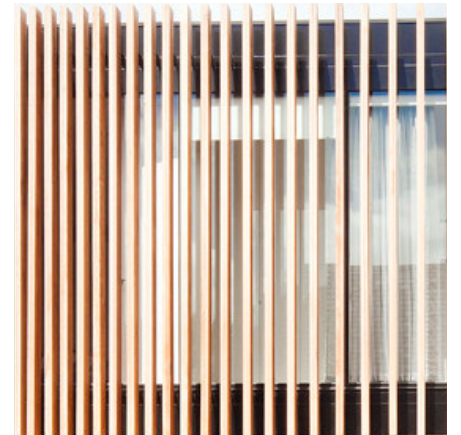
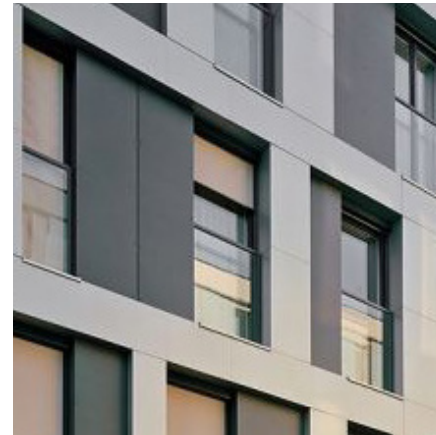
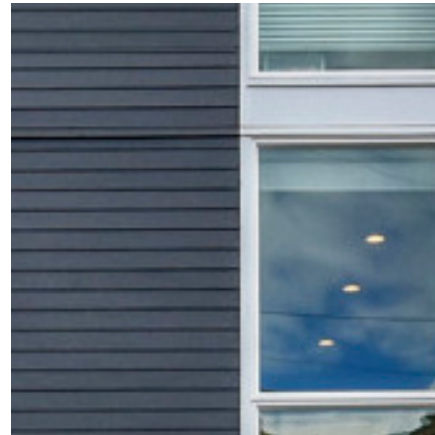


base



base

material consideration



9.0 departures

concept B & C // departures

Standard

SMC 23.47A.032.B.1.b Parking location and access

In C1 zones in structures with residential uses, street-level parking shall be separated from street-level, street-facing facades by another permitted use.

Proposition

To replace required separating use with a street level setback, greater landscape depth, material and façade articulation, integrated interpretive works, and full block recessed pedestrian lighting.

Guidelines

CS2-B Connection to the street

- The combination of design elements provides strong physical features along an urban highway

CS2-A1 Sense of Place and CS3-B Local History and Culture

- Provides historical references and narrative into architectural elements

PL2-B Walkability Safety and Security

- Provides clear pedestrian lines of site and limits perception of ambush points.
- Provides uniform, block long pedestrian lighting

PL3-A Entries

- Enhances interaction among residents and neighbors with only one entry on N 48th St.

PL3-B Residential Edges / Security and Privacy

- Proposition provides security through vertical separation, setback and landscaping.
- Enhances security across frontage by eliminating low utilization spaces and perceived ambush points.

PL3-B Residential Edges / Interaction

- Enhances interaction among residents and neighbors by concentrating resident activity on N 48th St.

DC1-C Visual impacts

- Clear building "base" with landscape and articulation is compatible with single use residential structure above and continues the predominate condition of limited street level uses that begins north of Woodland Park.

DC2-B-2 Blank Walls

- Street level setback, green walls, raised planters, secondary elements, interpretive elements, and uniform, block long pedestrian lighting are design for pedestrians and the human scale.

DC2-C Visual depth and interest

- Secondary elements, interpretive elements, and lighting add interest for pedestrians and add human scale.

DC3-C Reinforce existing open space

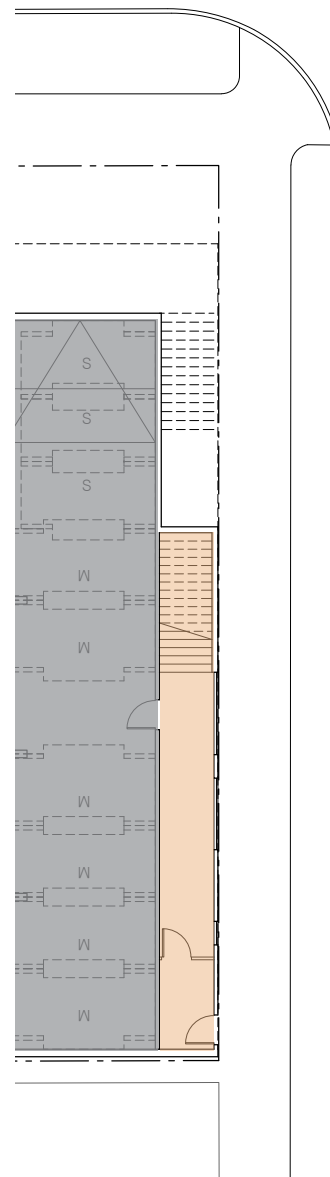
- Providing a vertical landscape as building base reinforces existing sidewalk character that begins at north end of Woodland Park.

DC4-C Lighting

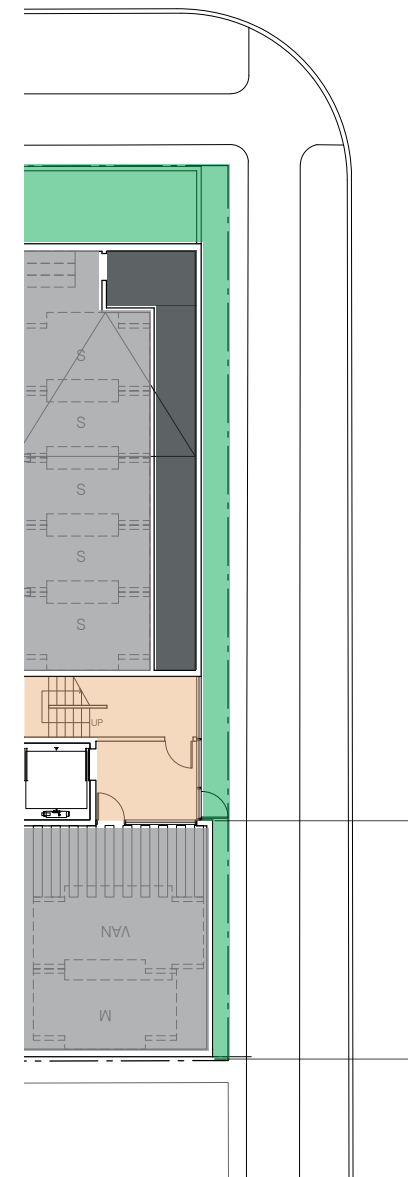
- Block-long, recessed pedestrian lighting increases the site safety and highlights the interpretative works and landscaping.

DC4-A/D Materials

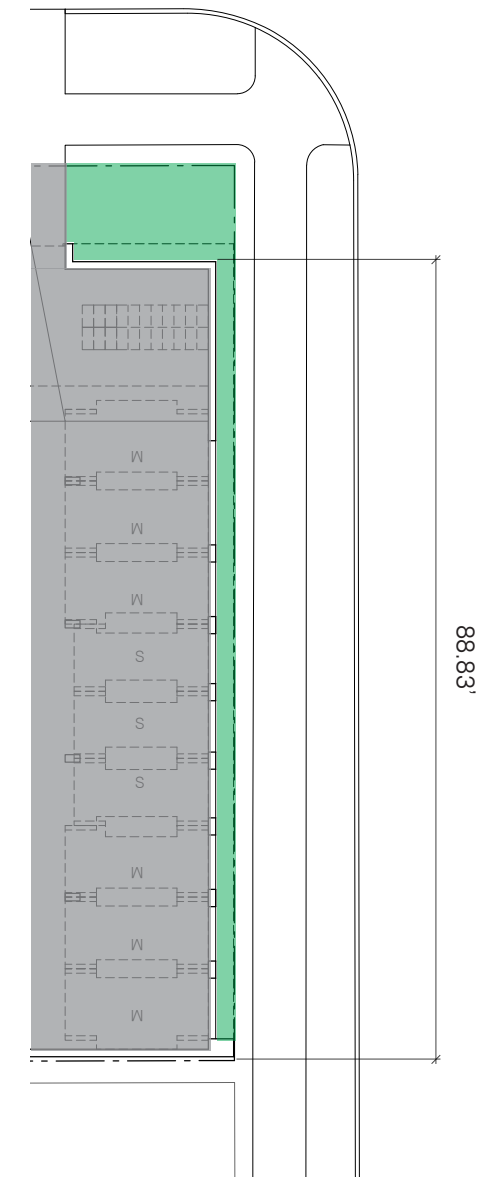
- The ensemble of durable architectural materials, appropriate landscaping, lighting, and interpretative works will thrive under the conditions of an adjacent urban highway.



Concept A:
Code Compliant



Concept B:
Departure



Concept C:
Departure

concept B & C // departures

Standard

SMC 23.47A.014.B.3. Setbacks

For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, or that abuts a lot that is zoned both commercial and residential if the commercial zoned portion of the abutting lot is less than 50 percent of the width or depth of the lot, as follows:

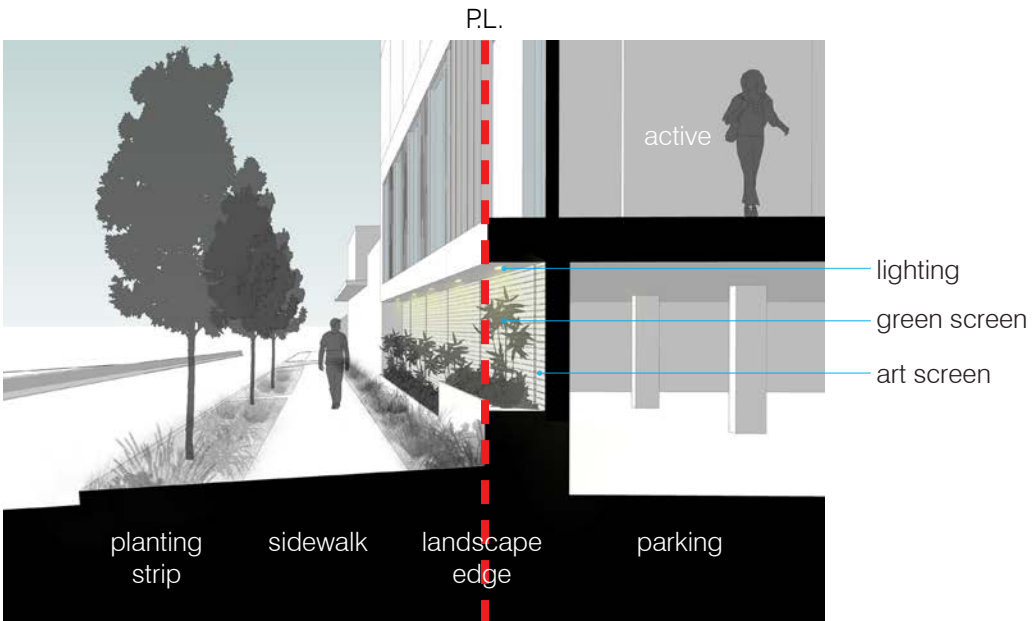
- a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet; and
- b. For each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet

Requested departures

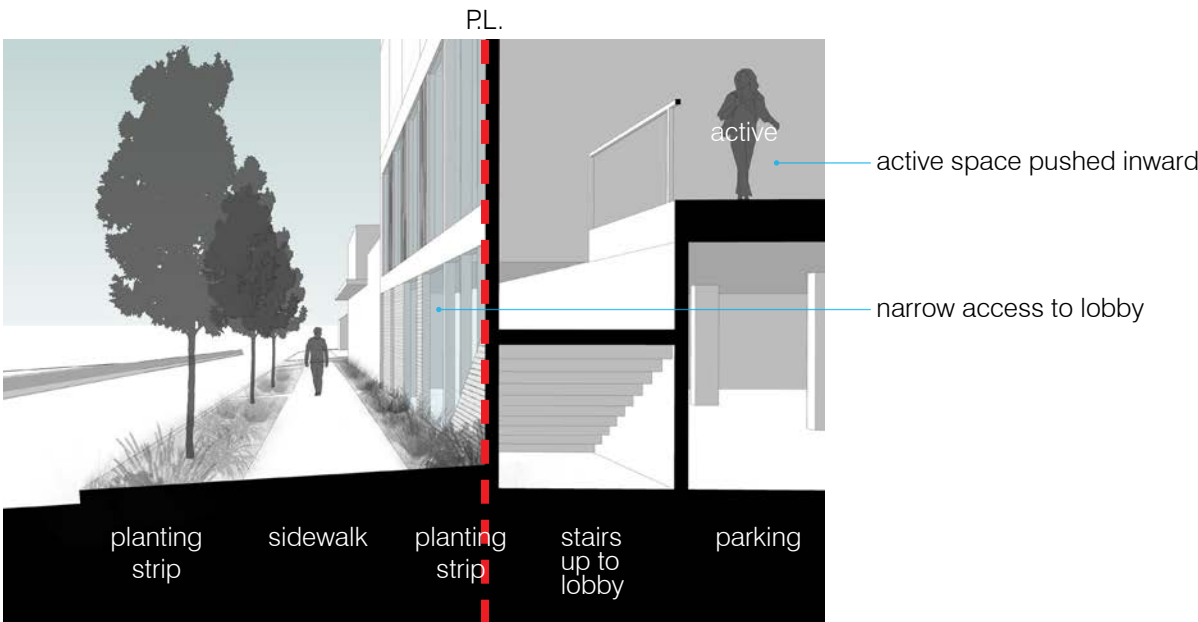
Request to allow a 15 foot setback the full height of the proposed structure's west facade. The departure will result the parapet to encroach 6" into the required setback.

Rationale

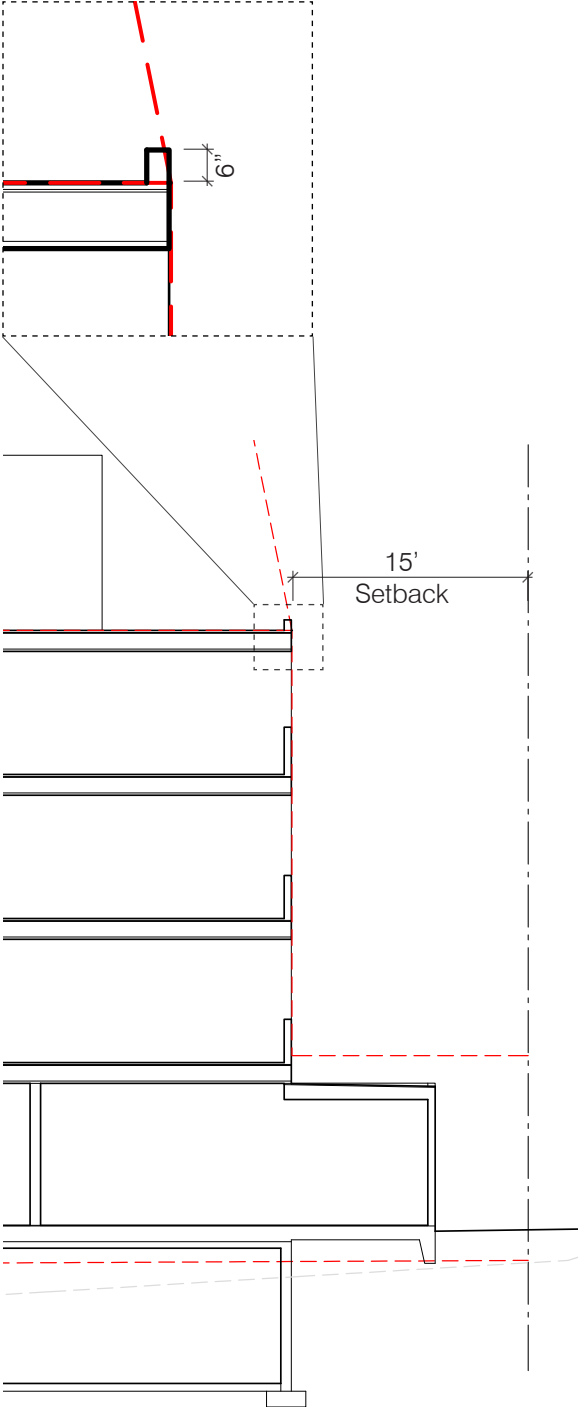
The proposed departure maintains a consistent building form. The structure, if submitted after MHA adoption, will be required to provide only a 10 foot setback and no additional setback until 65 ft above grade. A full height facade without additional setback at the upper level will be more consistent with future development.



Concept B&C: departure



Concept A: code compliant



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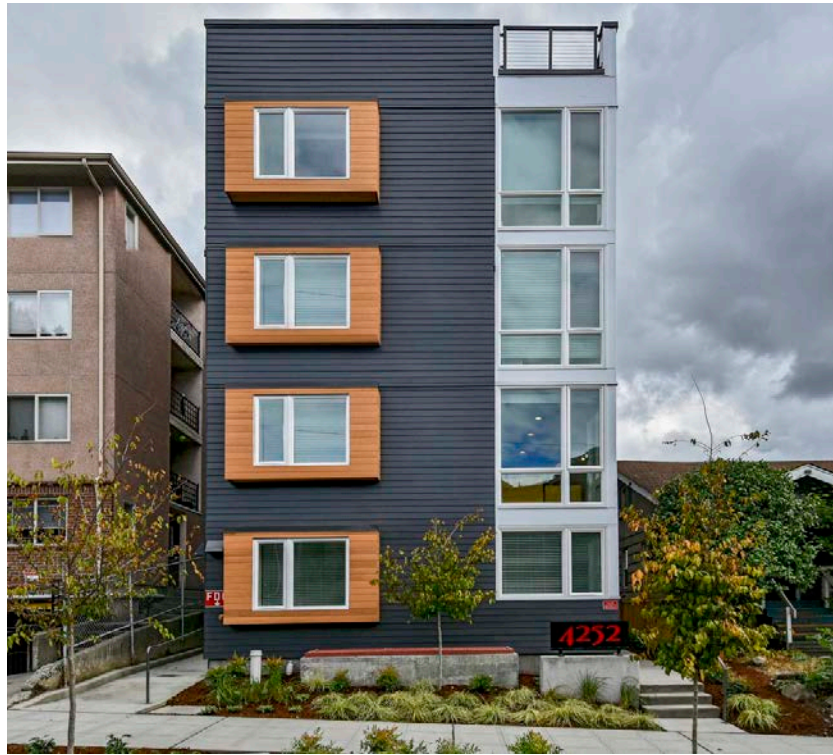
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Kamiak | The Willet apartments | Seattle WA



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