



1726 - 1750 19TH AVE

MUP Recommendation Packet | Project #3032760-LU/#3032763-LU | January 3, 2023

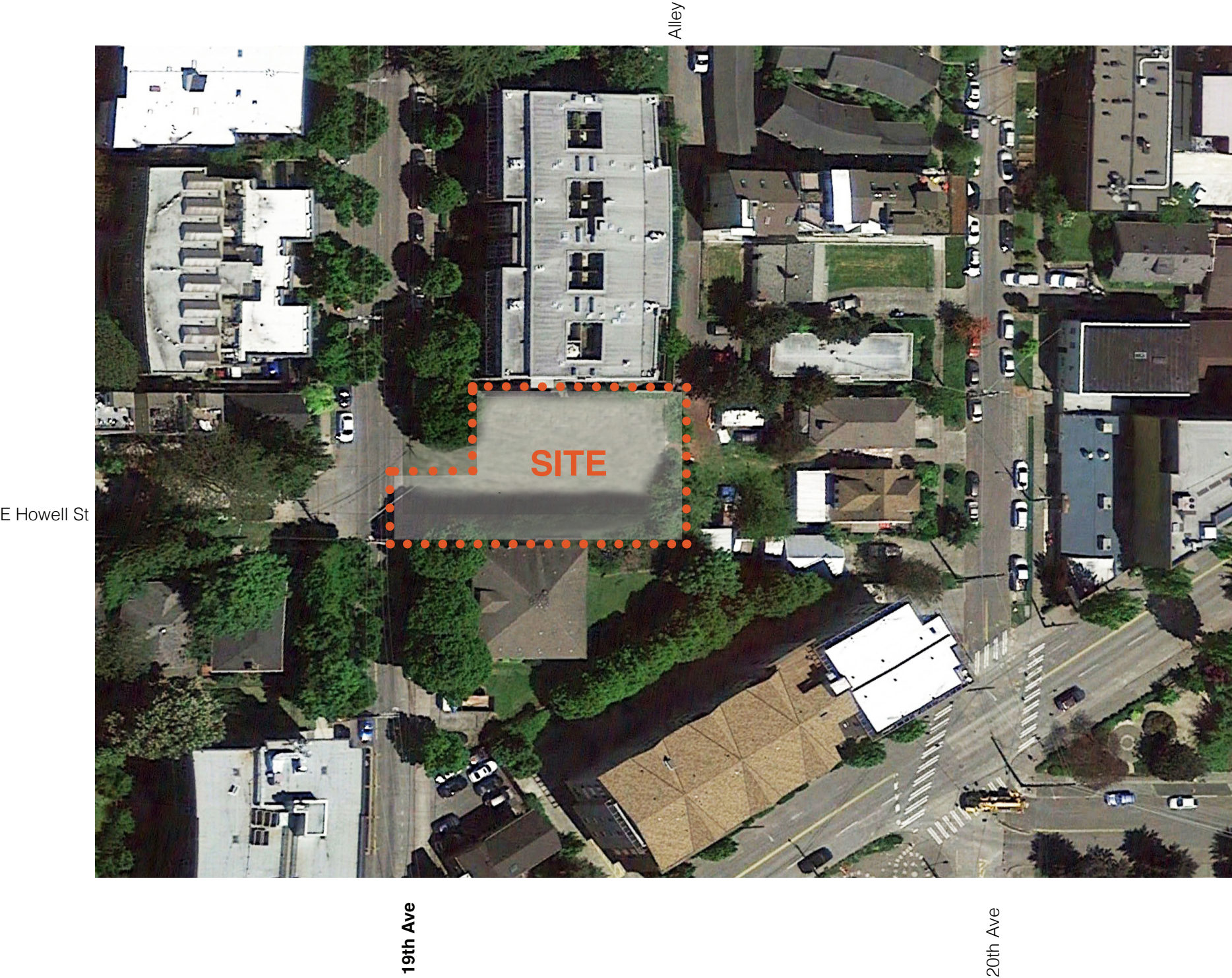
b9 architects

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OBJECTIVES - 1726

For 1726 19th Ave, project #3032763-LU, construct (9) four-story townhouse units over shared parking garage.

Number of Units	9
Number of Parking Spaces	11
Number of Long Term Bike Parking Spaces	9
Gross Floor Area	22,251 sf (FAR and Garage Area)

TEAM

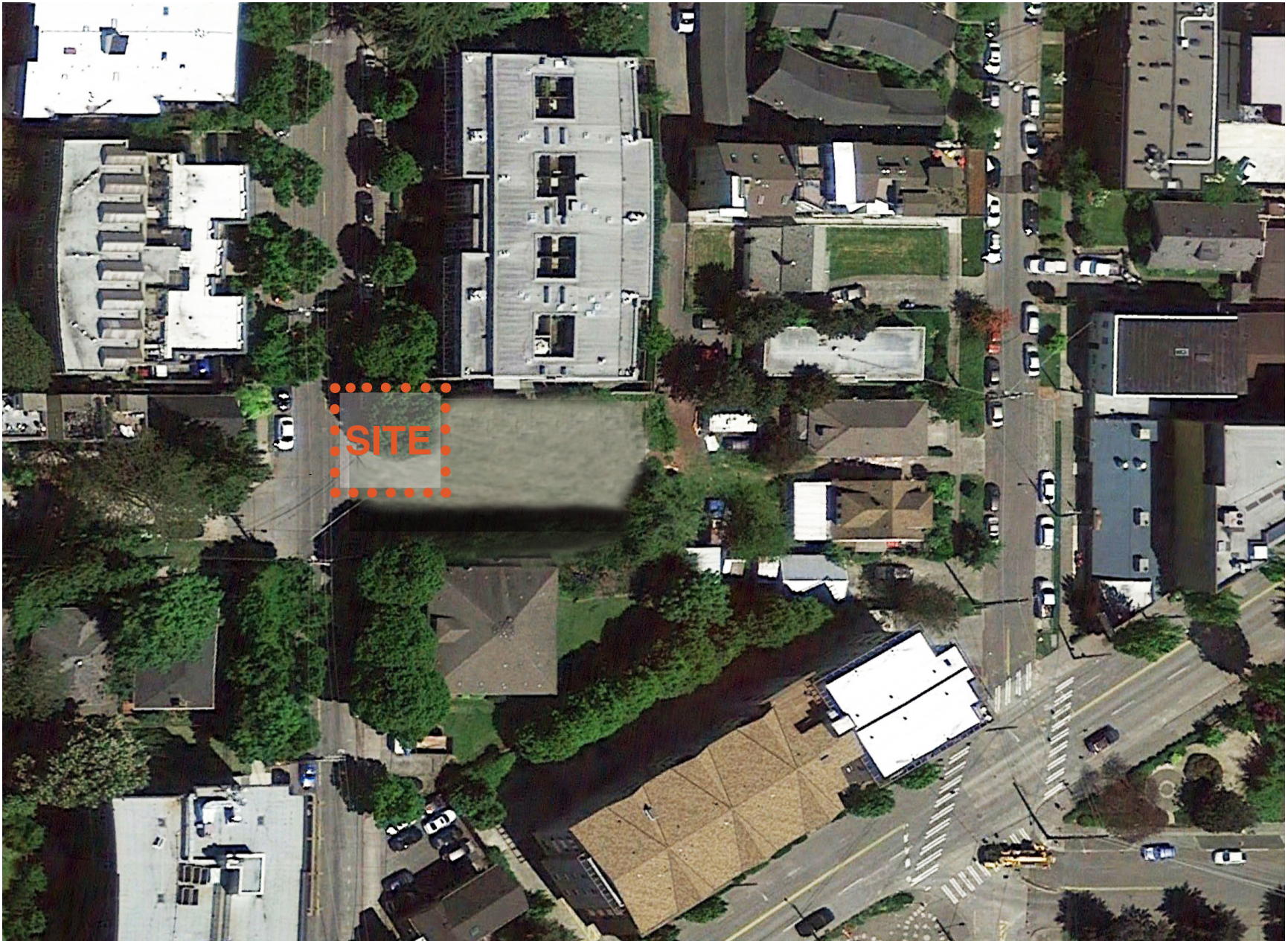
ARCHITECTS	b9 architects
DEVELOPER	CRE Chehalis Development LLC
STRUCTURAL	AHBL
GEOTECHNICAL	Pangeo Inc.
LANDSCAPE	Root of Design
CIVIL	Blueline

OBJECTIVES - 1750

For 1750 19th Ave, project #3032760-LU, construct (3) three-story rowhouse units over basements.

Number of Units	3
Number of Parking Spaces	3
Number of Long Term Bike Parking Spaces	3
Gross Floor Area	5,101 sf (FAR)

E Howell St



Alley

19th Ave

20th Ave

E Madison St

E Olive St



ZONING SUMMARY

23.47A.004 PERMITTED USES:

- Residential use permitted outright

23.47A.013 FLOOR AREA RATIO:

- Allowable FAR 3
Standards of SMC 23.47A.013.B Table A
- Underground stories and portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, are exempt from far limits.

23.47A.012 STRUCTURE HEIGHT:

- Base max height for NC zones = 40'-0"
- Additional 4'-0" per 23.47A.012.C.2
- Additional 16'-0" per 23.47A.012.C.4.f

23.47A.014 SETBACKS AND SEPARATIONS:

- NA

23.47A.024 AMENITY AREA: :

- The required amount of amenity area is equal to 5 percent of the total residential gross area.
- All residents shall have access to at least one common or private amenity area.
- Amenity areas shall not be enclosed.
- Parking areas, vehicular access easements, and driveways do not qualify as amenity areas, except that a woonerf may provide a maximum of 50 percent of the amenity area if the design of the woonerf is approved through a design review process pursuant to Chapter 23.41.
- Common amenity area shall be minimum 250 square feet and have a minimum horizontal dimension of 10 feet
- Private balconies and decks shall have a minimum area of 60 square feet, and no horizontal dimension shall be less than 6 feet.
- Rooftop areas excluded because they are near minor communication utilities and accessory communication devices, pursuant to subsection 23.57.012.C.1.d, do not qualify as amenity areas.

23.47A.005 STREET LEVEL USES:

- No restrictions for residential uses at street level per SMC 23.47A.005

23.47A.008 STREET LEVEL STANDARDS:

- BLANK FACADES:
Per SMC 23.47A.008.A.2, blank segments of the street-facing facade between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width.

The total of all blank facade segments may not exceed 40 percent of the width of the facade of the structure along the street.

Street-level street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.
- RESIDENTIAL STREET LEVEL REQUIREMENTS:
Per SMC 23.47A.008.D.1 at least one of the street-level street-facing facades containing a residential use shall have a visually prominent pedestrian entry.

Per SMC 23.47A.008.D.2 the floor of a dwelling unit located along the street-level street-facing facade shall be at least 4 feet above or 4 feet below sidewalk grade or be set back at least 10 feet from the sidewalk.

23.47A.016 LANDSCAPING

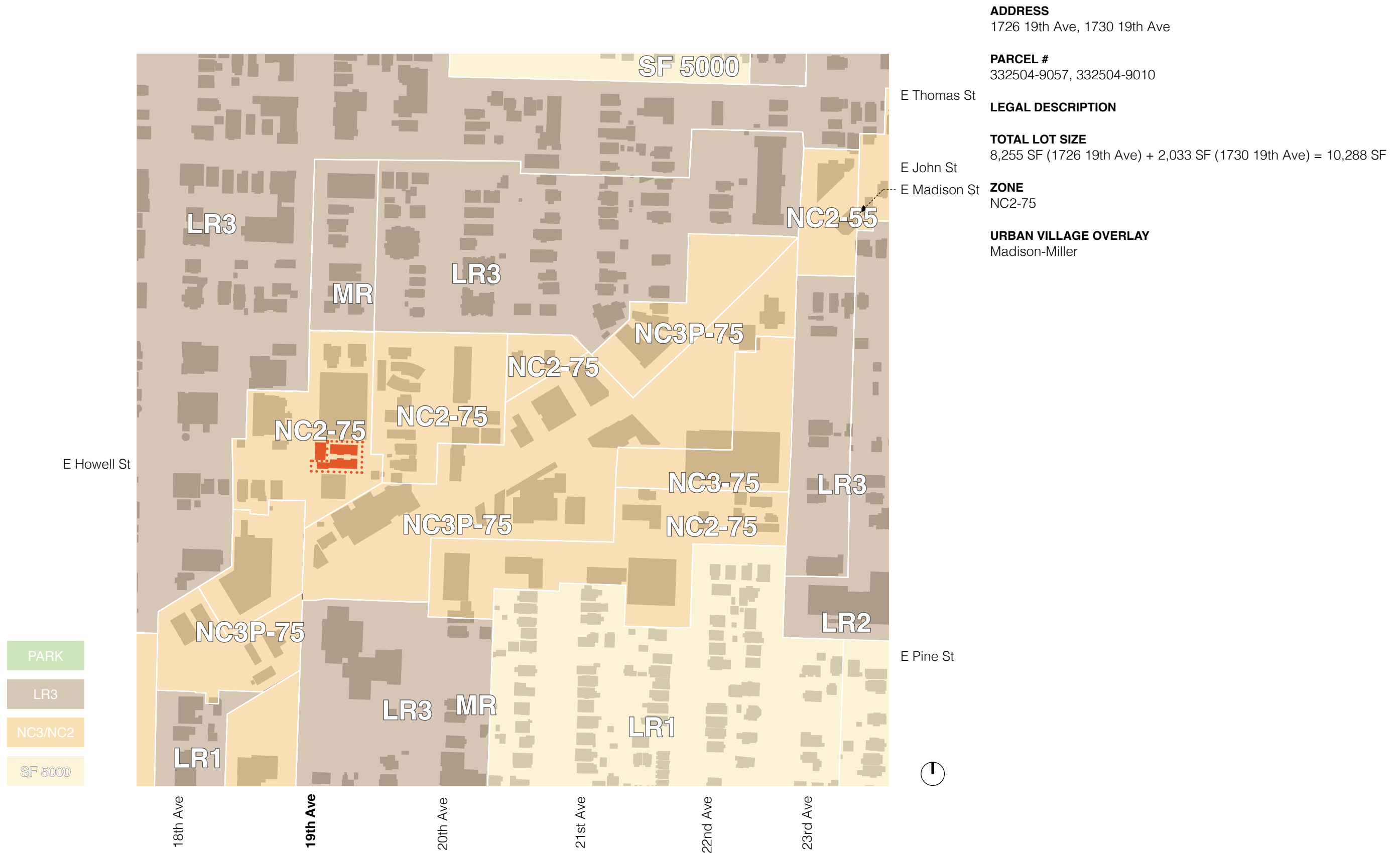
- Achieve a Green Factor score of 0.3 or greater per site

23.54.040 TRASH AND RECYCLING STORAGE:

- Residential units: 9-15 units = 150 square feet of storage area per site

23.54.015.K BICYCLE PARKING

- LONG TERM PARKING REQUIREMENT : 1 Per dwelling unit and per SEDU
- SHORT TERM PARKING REQUIREMENT :1 Per 20 dwelling units.
- Long term bicycle parking shall be located where bicyclists are not required to carry bicycles on stair to access the parking
- Provide full weather protection for all required long-term bicycle parking.



NEIGHBORHOOD CONTEXT



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LOT BOUNDARY ADJUSTMENT

LEGAL DESCRIPTION

PARCEL A

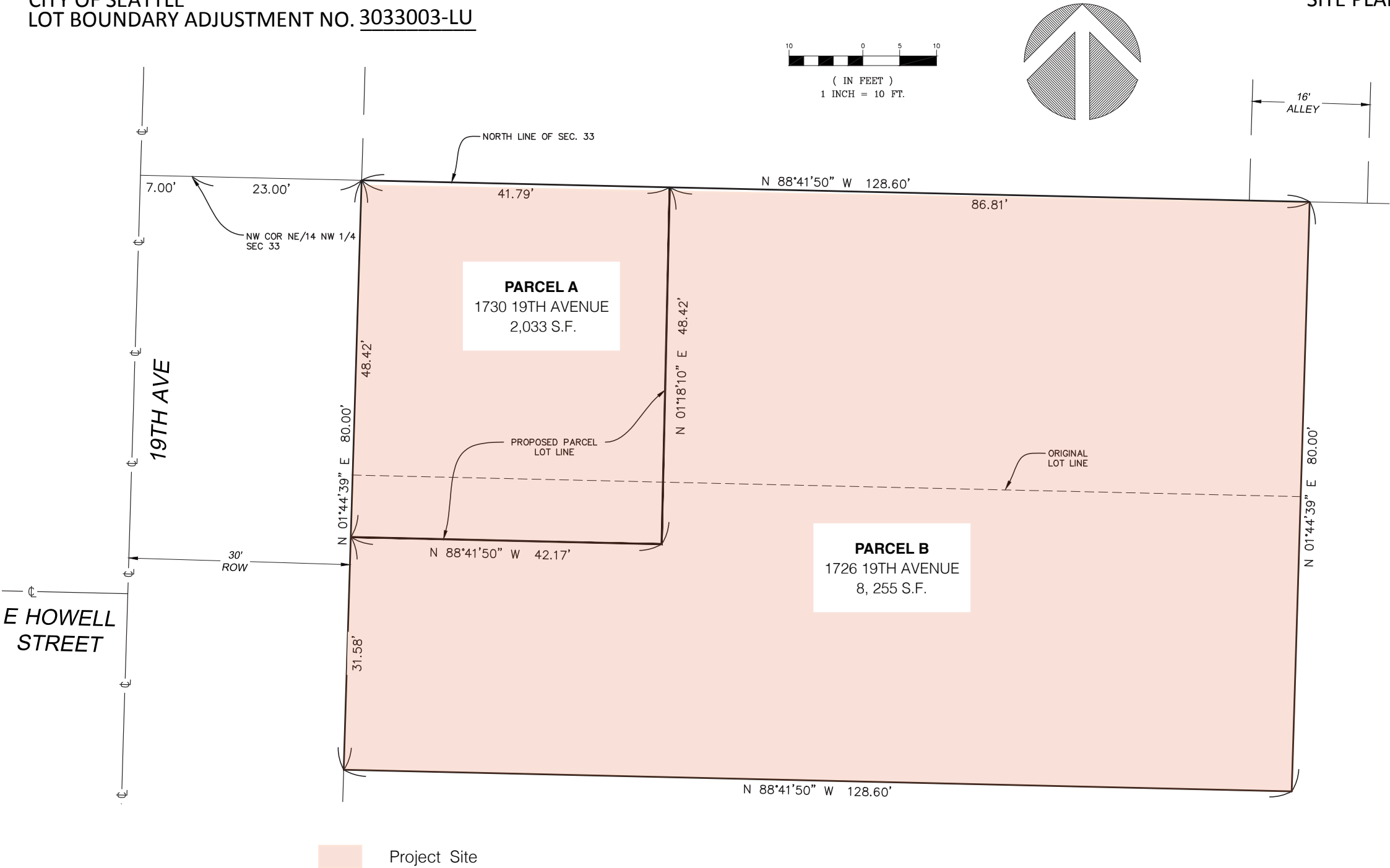
THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID SUBDIVISION;

THENCE SOUTH 88 41 50 EAST, ALONG THE NORTH LINE OF SAID SUBDIVISION, 23.00 FEET, TO A POINT ON THE EAST LINE OF THAT PORTION OF SAID SECTION 33 CONDEMNED IN KING COUNTY SUPERIOR COURT CAUSE NO. 36308, BEING A POINT ON THE EAST MARGIN OF 19TH AVE AND BEING THE POINT OF BEGINNING; THENCE SOUTH 01 44 39 WEST, ALONG SAID EAST LINE, 48.42 FEET;
THENCE SOUTH 88 41 50 EAST 42.17 THENCE NORTH 01 18 10 EAST 48.42 FEET, TO A POINT ON SAID NORTH LNE; THENCE NORTH 88 41 50 WEST, ALONG SAID NORTH LINE, 41.79 FEET, TO THE POINT OF BEGINNING.

PARCEL B

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID SUBDIVISION:
THENCE SOUTH 88 41 50 EAST, ALONG THE NORTH LINE OF SAID SUBDIVISION 23.00 FEET, TO A POINT ON THE EAST LINE OF THAT PORTION OF SAID SECTION 33 CONDEMNED IN KING COUNTY SUPERIOR COURT CAUSE NO. 36308, BEING A POINT ON THE EAST MARGIN OF 19TH AVE; THENCE SOUTH 01 44 39 WEST , ALONG SAID EAST LIN, 48.42 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88 41 50; THENCE NORTH 01 18 10 EAST 48.42 FEET, TO A POINT ON SAID NORTH LINE; THENCE SOUTH 88 41 50 EAST, ALONG SAID NORTH LINE, 86.81 FEET, TO A POINT THAT IS 151.60 FEET EAST OF SAID NORTHWEST CORNER; THENCE SOUTH 01 44 39 WEST 80.00 FEET; THENCE NORTH 88 41 50 WEST 128.60 FEET, TO A POINT ON SAID EAST LINE; THENCE NORTH 01 44 39 EAST, ALONG SAID EAST LINE, 31.58 FEET, TO THE POINT OF BEGINNING.

CITY OF SEATTLE LOT BOUNDARY ADJUSTMENT NO. 3033003-LU





ARCHITECTURAL CONTEXT



① Rowhomes on 20th Ave



② Townhomes on 20th Ave



③ Apartments on 22nd Ave and E Madison



④ Apartments on 22nd Ave and E Madison



⑤ Apartments on 20th Ave



⑥ Townhomes on E John St and 20th Ave



⑦ Townhomes on E Denny Way near 20th Ave



⑧ Townhomes on 20th Ave near Denny



ADJACENT USES



① Safeway and Starbucks on Madison St



② Apartments on 19th Ave



③ Miller Park on E Thomas St



④ Single Family Home on 19th Ave and E Glen st



⑤ Townhouses on 19th and E Glen St



⑥ Apartment Building on E Madison St



⑦ Thudsuan Kitchen and Bar on E Madison St and 19th



⑧ Office on 20th Ave

EXISTING CONDITIONS

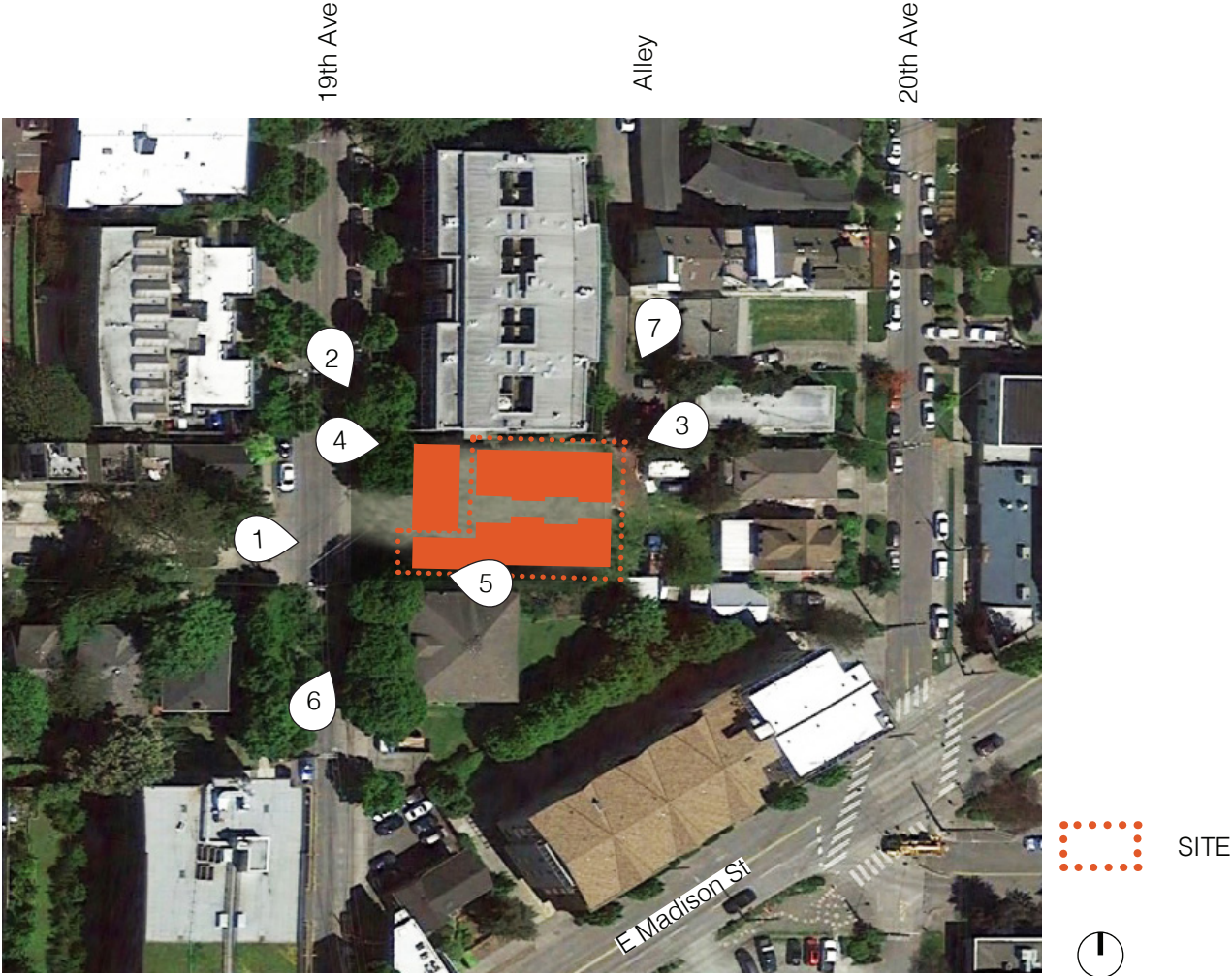
The project site is 128.60' east-west deep by 80.00' north-south. Currently no existing structures are on the site. They were demolished under Demolition Permit #6657051-DM.

The two sites, 1726 and 1730 19th Avenue, are under common ownership. The sites are to be developed concurrently under project #3032517-EG/6701530-CN and #3032762-EG/6701528-CN.

Currently, a mix of multifamily structures bound the site to the west. A 3-story, condominium structure built in 2004 bounds the site to the north. The adjacent two sites to the east are proposing 4-story townhouse structures under Project #3029632-EG/3029633-EG and Project #6624395-CN/#6624397-CN. A 2-story apartment structure owned by Mount Zion, built in

1901, is located immediately south of the site. This structure will be demolished and replaced with a 6-story apartment building under project # 6737277-CN. The site's topography descends approximately 10 feet from the west property line along 19th Avenue to the east property line at the rear of the site and has the potential for views to the east of Lake Washington, the Cascades, and Mt. Rainier beyond.

The site is located mid-block on 19th Avenue in the Capitol Hill neighborhood, between E Denny Street to the north and E Madison Street to the south, at the termination of E Howell Street from the west. The site has great access to the transit and shops along E Madison Street and is located 0.3 miles south of Miller Playfield and Community Center.



1 View from 19th Ave looking towards East



2 View from 19th Ave looking towards Southeast



③ View from Alley looking Northeast property line condition



④ View looking at North property line condition



⑤ View looking at South property line condition

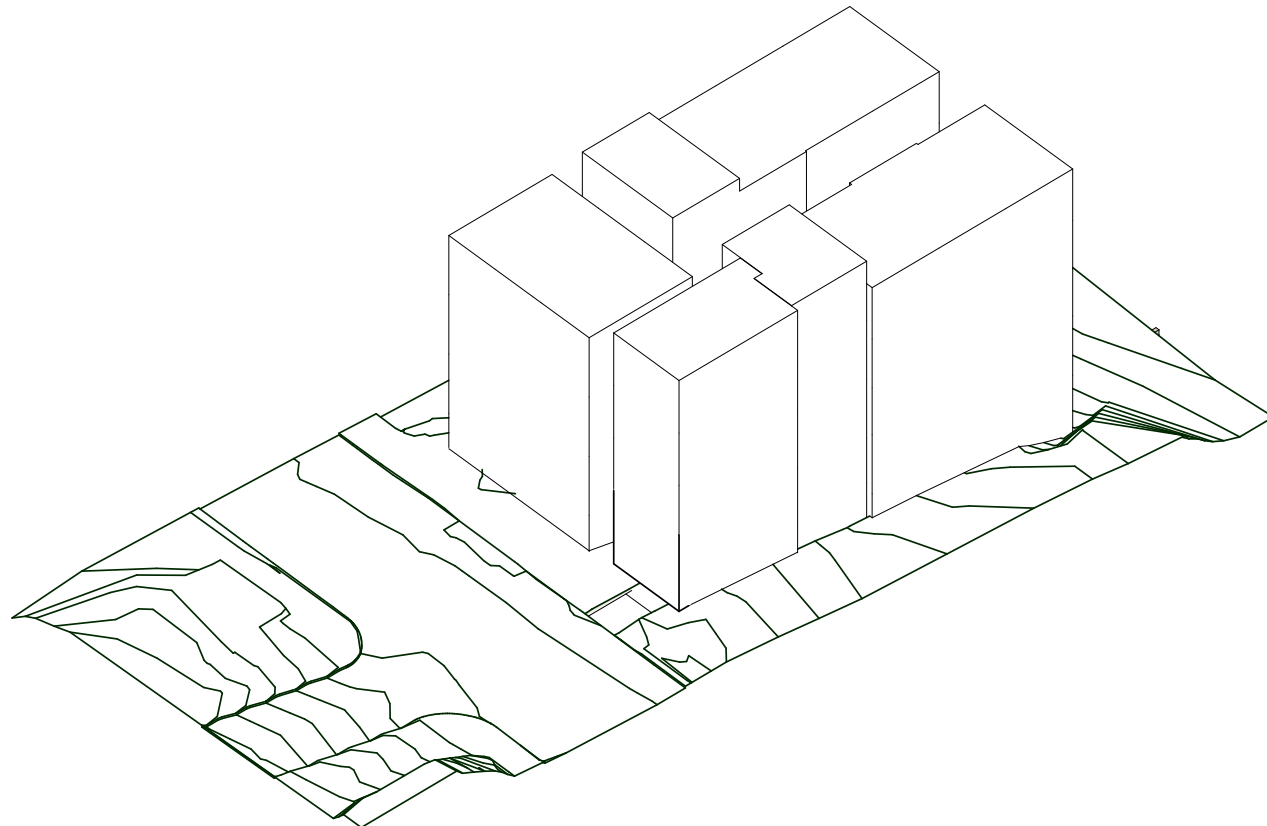


⑥ View from 19th Ave looking towards Northeast



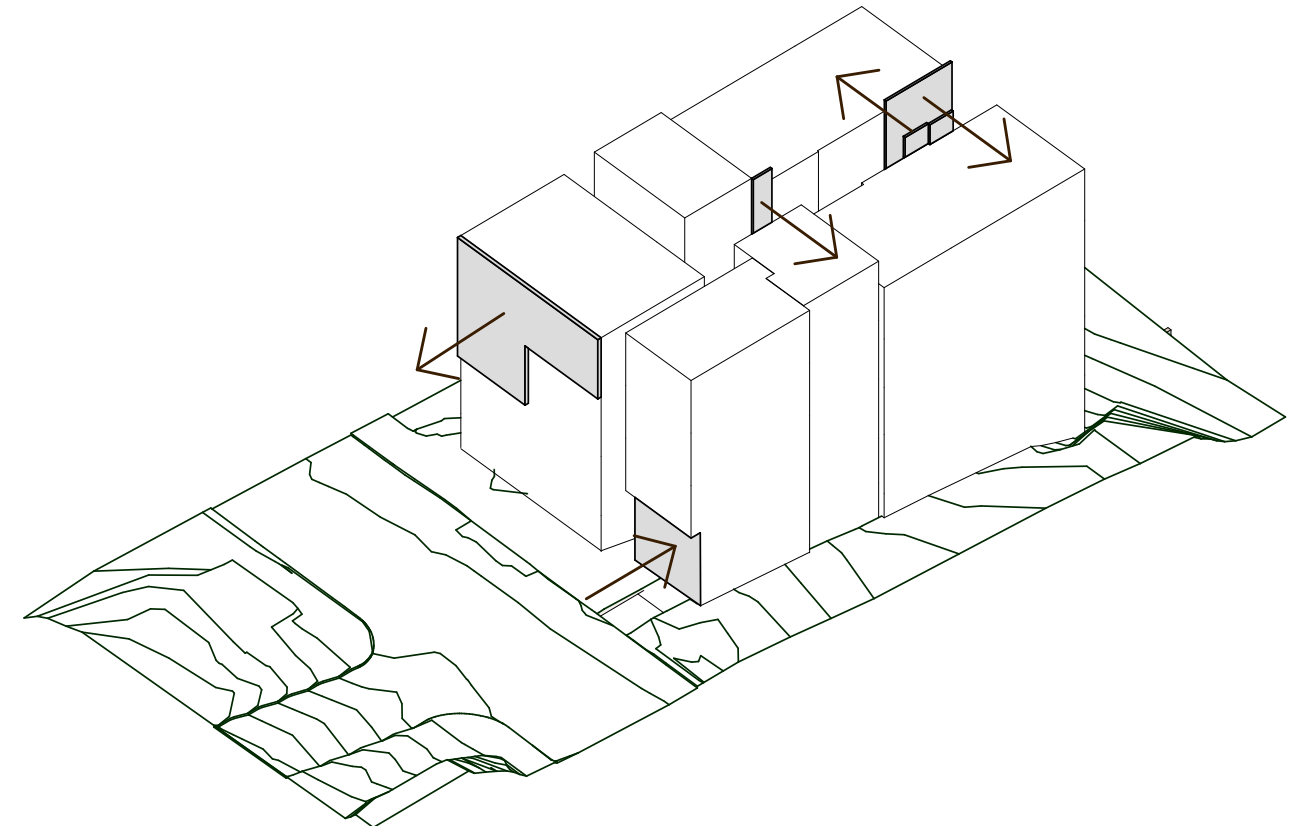
⑦ View from the Alley looking to South

DESIGN EVOLUTION



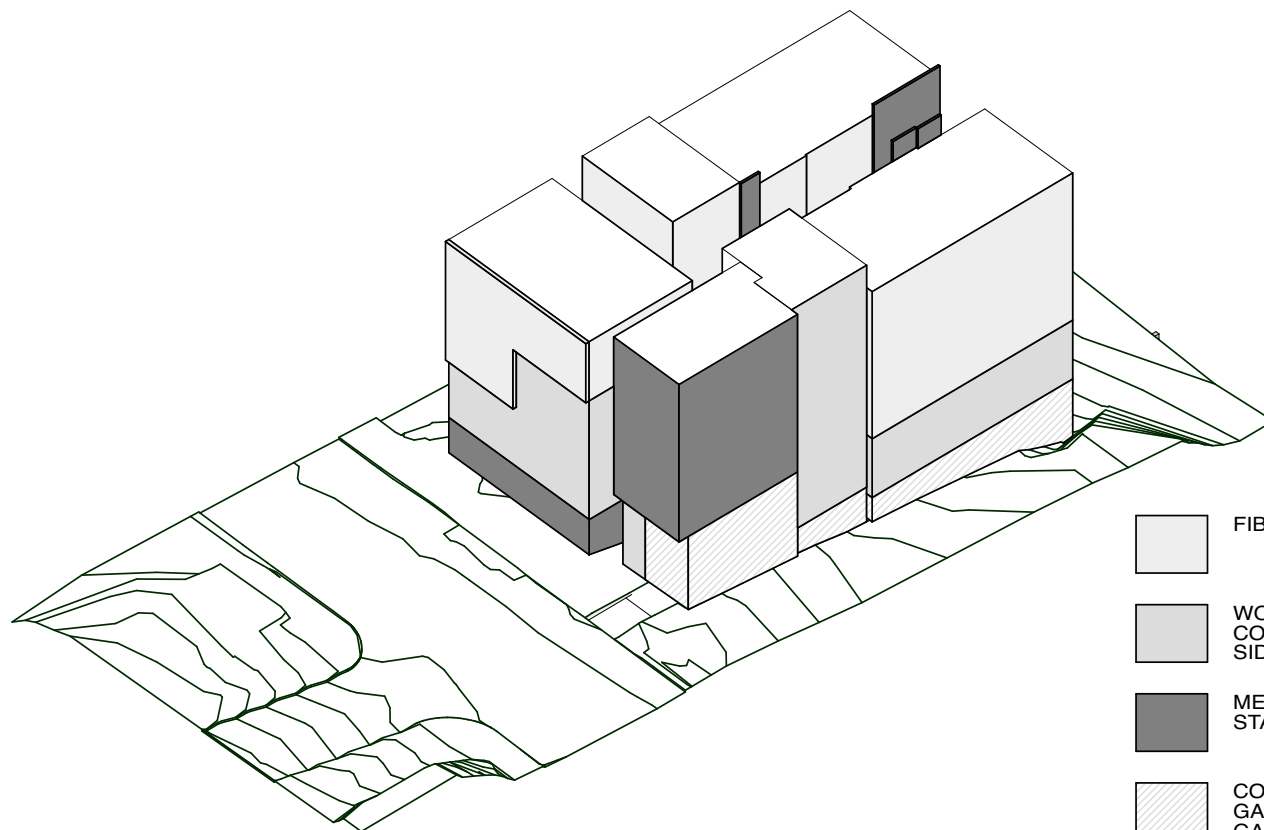
DESIGN PROPOSAL AT EDG

- A shared below grade garage is provided, opening up the center of the site for a shared courtyard at grade
- Three separate structures engage the central courtyard and 19th Avenue
- The courtyard space is oriented in the east-west direction creating a potential spatial relationship with the proposed development to the east under separate ownership.
- Street-level facades for the five-unit structure are located at the code-required 10 feet from the sidewalk and the three-unit structure is located 4 feet above the sidewalk grade
- Proposed massing at the courtyard creates a generous shared courtyard space that engages the units and the pedestrian access.
- Side Setbacks provide light and air to adjacent neighbors.



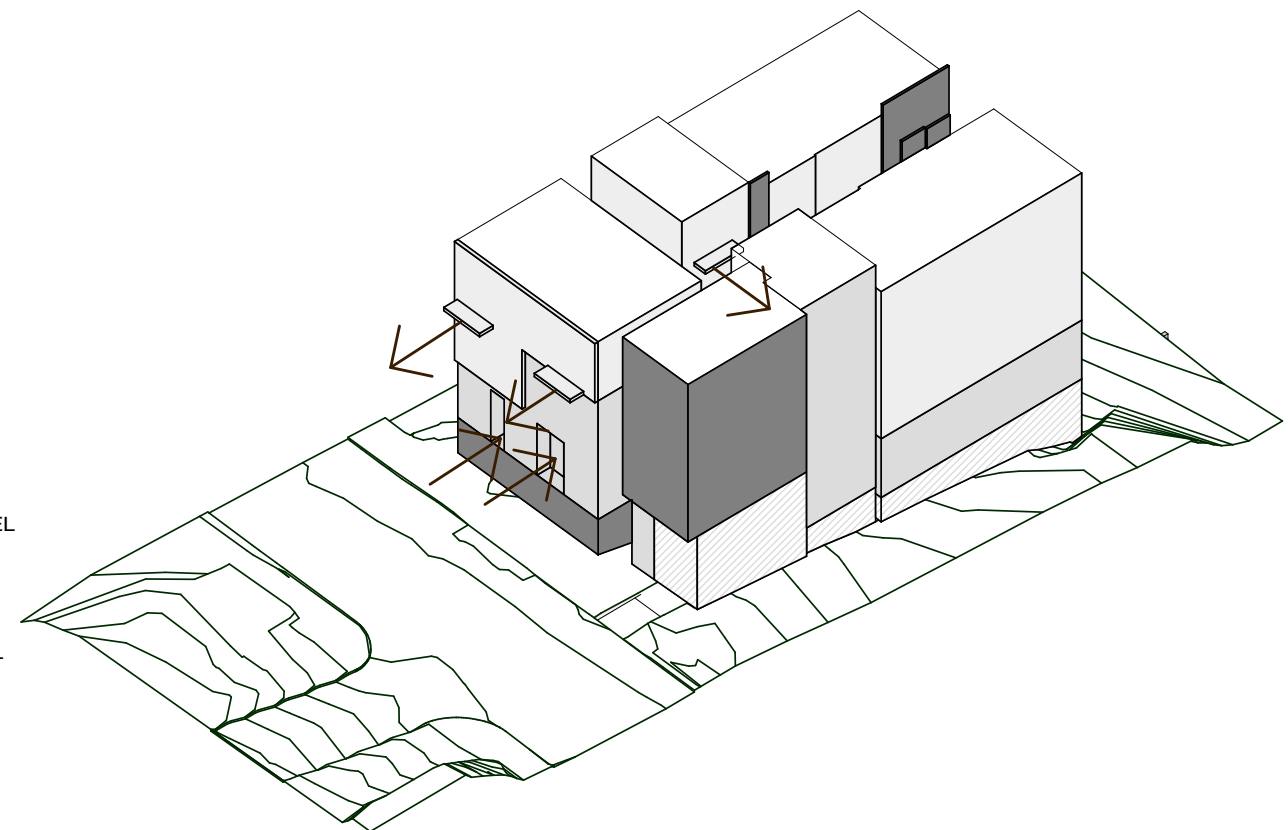
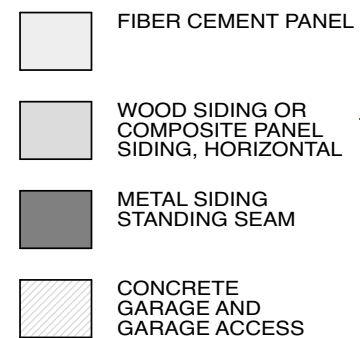
PLANE CHANGES

- More plane changes implemented at entrances and at prominent material changes



MATERIAL TREATMENT

- A palette of three primary building materials is used to add texture to the facades
- Material treatment, scale, and texture of the facade along 19th are expressed similarly in the shared courtyard



BALCONIES AND ENTRIES

- Balconies and recessed entries add texture to the streetscape and the courtyard
- The balconies along 19th are expressed similarly in the shared courtyard

SUMMARY OF GUIDANCE

1726 19th Avenue - Project Number 3032760-LU

DESIGN CONCEPT, MASSING, ARCHITECTURAL CONTEXT, AND CHARACTER

The design and siting of the new residential development should complement the established context, be compatible with modern and existing architectural context and respect adjacent properties.

- a. In consideration of the design evolution analysis and three massing options illustrated in the EDG design packet, SDCI staff (Staff) supports the preferred design scheme (referenced as “Alternative 3”) and has determined that design Alternative 3 may move forward to Master Use Permit (MUP) submittal with the following guidance:
 - i. Staff appreciates the robust courtyard analysis inclusive of precedent images, and the specific architectural strategies that the design team traditionally utilizes to design courtyard developments (pgs. 32-33). It is important that this same level of design is applied to the townhouse buildings’ exterior facades. In addition to the courtyard-facing facades, Staff expects to review further development of the buildings’ exterior-facing facades inclusive of modulation, fenestration, secondary elements and unit articulation; with the intent to provide interest to facades that will be visible by pedestrians and surrounding developments. (DC2.A, DC2.B, DC2.C, DC2.D)
 - ii. Staff generally supports the siting of the overall massing. However, Staff has concerns with the street-facing upper-level massing. Additional discussion concerning this subject is found in item #2.c.i (CS2.C.2)
 - iii. Staff appreciates the applicant’s design intent to orient the building massing in an east-west direction to create a potential spatial relationship with the residential development planned at the property east of the subject site. However, it is imperative that the future massing design be respectful of surrounding properties. Staff expects the applicant to explain and demonstrate how the new townhouse development will respond to those adjacency pressures (i.e. privacy, light, outdoor activities, etc.). Provide a cross elevation to the overall overlay of the existing/future neighboring buildings’ elevations with the proposed design to illustrate how they juxtapose (window study). An elevation/perspective view is the preferred method to illustrate how the design meets this guidance. (CS2.D, PL3.B, DC3.B.3)
- b. Staff expects the future design to be compatible with both modern and existing architectural context. Staff advises the applicant to be mindful of the neighborhood context and building material guidelines during the selection of exterior materials and color palette. (CS3.A, CS3.I.iv CAPITOL HILL, DC4.II CAPITOL HILL)



- a. The proposal has developed the preferred scheme from Early Design Guidance, Alternative Option 3, integrating design strategies to provide a residentially scaled project. The proposed design uses the courtyard and architectural strategy analysis provided in the Early Design Guidance packet to articulate a building mass that provides relief along the pedestrian level with distinct volumes that express focal points such as building ends, courtyard entries and individual units.
 - i. All exterior facades of the proposed development have been equally considered. The analysis included in the Early Design Guidance packet has been referenced, with a strong focus on activating the adjacent 19th Avenue streetscape, the shared pedestrian walkway and the central courtyard. Material variation is used to articulate massing modulation, unit expressions and to introduce elements of human scale to all project facades. Fenestration and secondary architectural elements, such as decks and canopies add further interest and activity. (DC2.A, DC2.B, DC2.C, DC2.D)
 - ii. See below at Item #2.c.i (CS2.C.2)
 - iii. The massing orientation has been maintained, in order to provide access from 19th Avenue to the central courtyard. The courtyard is oriented east-west to provide a private visual and spatial connection to the courtyard proposed in the adjacent project under construction to the east at 1711 and 1715 20th Avenue, as well as a continuous mid-block void. This is a unique solution to urban infill housing at this scale. The design team has maintained a strong commitment to balancing this design concept with the adjacency pressures, respectful of adjacent properties. Privacy elevations have been included with the Master Use Permit submittal that demonstrate this approach. (CS2.D, PL3.B, DC3.B.3)
- b. The design proposal is compatible with the surrounding architectural context. Utilizing a combination of materials throughout the proposed facades, the project’s modern design is forward-thinking and respectful. Durable and maintainable materials articulate unit and building volumes. A strong base of a horizontal high-quality stained wood cladding grounds the project visually with a lighter panel material at the upper floors. Occasional elements of darker standing seam vertical metal siding provide contrast and help to articulate individual units. (CS3.A, CS3.I.iv CAPITOL HILL, DC4.II CAPITOL HILL)

19th AVENUE FRONTAGE AND TREES

- a. SDCI expects to review an ensemble of elements (doors, canopies, railings, hardscape, landscaping, glazing, seating, screening, etc.) that encourage interest at the streetlevel and clarify building entries/edges. Conceptual lighting designs proposed for the building's street facing and surrounding façades should also be offered during the ADMINISTRATIVE EARLY DESIGN GUIDANCE #3032517-EG Page 5 of 21 MUP phase of design development. (PL2.B, PL3.A, PL3.B, DC4.C, DC4.I CAPITOL HILL, D4.II CAPITOL HILL)
- b. Staff supports the centralized pedestrian path between the project site and the residential proposal to the north. Staff questions how the site circulation will occur at the varied elevations between the proposed neighboring projects and within the courtyard itself. This aspect of the design should be clarified in the next design iteration. (DC3.B.4, DC3.I.ii CAPITOL HILL)
- c. Upon review of the tree survey and arborist report provided in the design packet (pgs. 26-27) and the supported design scheme (Alternative 3), Staff's comments pertaining to trees are as follows:
- i. Staff, in consideration of public comment, also observes that the upper-level massing abutting 19th Avenue may negatively impact the viability/health of the existing stately tree that is currently oriented near the site's southeast corner protruding over the sidewalk and onto the project site; and strongly encourages that this tree be preserved. Staff recognizes that this tree is considered a "Street Tree" because it is planted in the 19th Avenue right-of way. Thus, the Seattle Department of Transportation (SDOT) has purview over Street Trees and potential street improvements. Staff expects the applicant to address this concern directly with SDOT during the initial Master Use Permit (MUP) review process and provide street improvement design specifics (Street Trees, landscaping, pavement, design elements, etc.)/SDOT feedback during the Recommendation phase of review. (DC3.I.v CAPITOL HILL, DC3.II CAPITOL HILL)



ii. The arborist report identifies several trees on the subject site that are planned to be removed and other trees offsite on surrounding properties that are planned to remain and be protected. Staff anticipates that tree replacement will be required per SMC 25.11.090 (Tree Replacement). Staff acknowledges that further consultation between the applicant's arborist, SDCI reviewers (zoning and tree experts) is necessary before Staff can offer any design feedback related to these trees. Thus, Staff requests that the applicant address this requirement directly with identified key SDCI reviewers during the initial MUP review process and provide tree replacement specifics/ tree protection measures during the Recommendation phase of review. Ultimately, Staff expects to review a quality landscape design that distinguishes the selected replacement trees and illustrates the placement of these trees, preferably onsite. (DC3.II.iii CAPITOL HILL, DC4.D)

SUMMARY OF GUIDANCE

19th AVENUE FRONTAGE AND TREES, CONTINUED

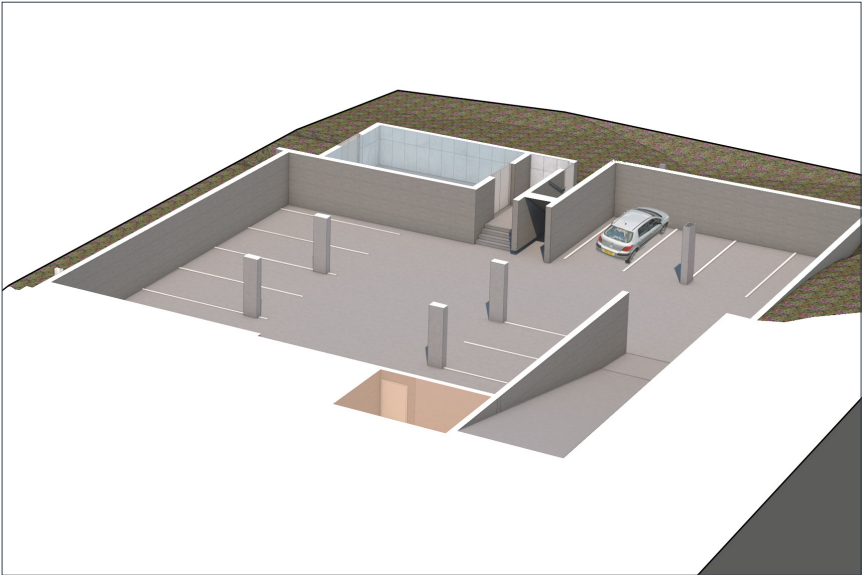
- a. Along 19th Avenue the design proposal, which includes the adjacent, dependent 1730 19th Avenue, integrates an ensemble of elements that further support the overall massing and design concept while expressing individual units. Raised entries, overhead weather protection and individual and shared stoops support a lively, active street frontage and create opportunities for security and eyes on the street. Planters, benches and landscaping further define the building edge while providing a transition to 19th Avenue, consistent with the adjacent condominiums. Exterior decks and street level fenestration further activate the streetscape connecting to interior spaces. A conceptual lighting plan has been included with the Master Use Permit submittal. (PL2.B, PL3.A, PL3.B, DC4.C, DC4.I CAPITOL HILL, D4.II CAPITOL HILL)
- b. A central pedestrian path connects 19th Avenue to the internal courtyard for all residents and visitors. It creates an inviting composition of planters, landscape and hardscape that activate this circulation space and the streetscape along 19th Avenue. Contrasting hardscape defines the path which connects the proposed project and the adjacent development at 1730 19th Avenue. The elevation difference between entry circulation path and central courtyard has been minimized and a ramp provides the transition. The design proposal provides a visual connection only to the adjacent development currently due to the change in elevation between the two courtyards and the projects being under different ownership. The courtyard provides access to all interior unit entries, as well as rear access to the street-facing units. A covered stair at the east end of the courtyard provides a feature that connects to the shared below grade parking for all units A second stair has been provided as well near the west edge of the courtyard between the 1730 site and the 1726 site as required by the building code. In all, the courtyard and shared pedestrian path have been articulated to create an active and inviting human-scaled space the that further reduces the scale of the project. Stoops, raised entries and patio areas provide integrated transitions between units and the common exterior spaces. (DC3.B.4, DC3.I.ii CAPITOL HILL)



- C. i. The upper level massing projection has been eliminated as part of a response to other guidance on the adjacent parcel. This resolved the concerns about the relationship between interior space at the first floor. Instead, the lowest level is now partially below grade, with the first floor lifted four feet above sidewalk level. This lowered the overall height of the street facing triplex on the adjacent site at 1730 19th Avenue by a half story and created a larger buffer for the adjacent street trees. Recommendations from a certified arborist have been incorporated into the design proposal to ensure that existing street trees have adequate protection measures. Specific design comments from SDOT provided during the initial Master Use Permit review will be reviewed and addressed with SDOT directly. (DC3.I.v CAPITOL HILL, DC3.II CAPITOL HILL)
- ii. Recommendations from a certified arborist have been incorporated into the design proposal to ensure that existing trees in the right of way have adequate protection measures. The adjacent site to the south is currently under construction and all trees on that site adjacent to our site have been removed under their permit. A landscape plan is provided with the submitted Master Use Permit application and will be provided in the Design Review Recommendation Packet. The landscape plan provides designs for the courtyard spaces with trees, planting, seating areas and porches to define public and private spaces. Planting areas and entry porches at the street-facing facade that supports place-making and resident interaction. (DC3.II.iii CAPITOL HILL, DC4.D)

VEHICULAR ACCESS, PARKING AND WASTE STORAGE LOCATION

- a. In reviewing the site survey and considering the design intent to create onsite parking, Staff understands the need to allow vehicular access to garage parking via 19th Avenue. Staff expects that special attention to pedestrian safety be prioritized and incorporated in the next design iteration. (DC1.B.1)
- b. Staff expects that the garage door screening treatment to be carefully designed for pedestrian scale and visual interest, due to its dominance of the street-level street facing façade abutting 19th Avenue. (CS2.I.iii CAPITOL HILL, DC1.C.2, DC4.II CAPITOL HILL) ADMINISTRATIVE EARLY DESIGN GUIDANCE #3032517-EG Page 6 of 21
- c. Staff is pleased that the shared waste storage location is planned to be located within the parking garage and be accessible by waste providers from the alley. (DC1.C.4)



- a. One curb cut is provided on site to 14 parking stalls located within a shared below-grade parking garage. The vehicular access is separated from the private unit entries and common pedestrian walkway along 19th Avenue. Access to the unit above the driveway directly engages the 19th Avenue streetscape so all street facing units have entries visible from the street. Landscape elements, including planters, provide a physical barrier between the driveway and shared pathway. (DC1.B.1)
- b. The garage door is located in the southwest corner of the site, away from pedestrian access points. In addition,the garage door has been set back 10 feet from the front lot line and to reduce the presence of the door. Landscape planters provide a physical and textured buffer between the garage door and the pedestrian pathway. Furthermore the garage door is proposed to be textured, with an open metal frame, diminishing the amount of blank wall along the street edge. (CS2.I.iii CAPITOL HILL, DC1.C.2, DC4. II CAPITOL HILL)
- c. As noted in the Early Design Guidance packet, shared solid waste storage is located below grade,within the shared parking garage. Waste service providers will access the waste storage area from the alley that terminates at the northern edge of the site. This will reduce the impact waste storage and collection has on adjacent structures, pedestrian areas and vehicular traffic. Seattle Public Utilities has reviewed the proposed waste area and has provided an approval letter. (DC1.C.4)

SUMMARY OF GUIDANCE

1730 19th Avenue - Project Number 3032763-LU

DESIGN CONCEPT, MASSING, ARCHITECTURAL CONTEXT, AND CHARACTER

The design and siting of the new residential development should complement the established context, be compatible with modern and existing architectural context and respect adjacent properties.

- a. Although the applicant’s materials illustrate a lack of massing variation amongst the presented design options for this mid-block project site, Staff has determined that the applicant’s preferred design scheme (referenced as “Alternative 3”) may move forward to Master Use Permit (MUP) submittal with the following guidance:
 - i. Staff observes that the eastern rear residential entries to each townhouse unit are unresolved and need further study. (PL3.A, PL3.B)
 - ii. Staff has concerns with the street-facing upper-level massing which appears to be closer to the street edge in comparison to the existing developments abutting 19th Avenue. Staff expects the applicant to examine the setbacks of the adjacent/nearby existing structures along the 19th Avenue block frontage and demonstrate design methods that can reinforce the established siting pattern and provide solar access to the neighboring properties, particularly the residential development to the north (19th Avenue Lofts Condominium). Additional discussion concerning this subject is found in item #2.b.i. (CS2.C.2, CS2.D.5, DC3.I.iv CAPITOL HILL)
 - iii. It is imperative that the future massing design be respectful of surrounding properties. Staff expects the applicant to explain and demonstrate how the new townhouse development will respond to those adjacency pressures (i.e. privacy, light, outdoor activities, etc.). Providing a cross elevation to the overall overlay of the existing/future neighboring buildings’ elevations with the proposed design to illustrate how they juxtapose (window study). An elevation/perspective view is the preferred method to illustrate how the design meets this guidance. (CS2.D, PL3.B)



- a. The proposal has developed the preferred scheme from Early Design Guidance, Alternative Option 3, integrating design strategies to provide a 3-story residentially scaled structure. The proposed design uses the courtyard and architectural strategy analysis provided in the Early Design Guidance packet on the dependent adjacent site at 1726 19th Avenue to articulate a building mass that provides relief along the pedestrian level with distinct volumes that express focal points such as building ends, courtyard entries and individual units.
 - i. Each townhouse unit has a rear door that has been minimized, with the lowest floor now set partially below grade, creating a 3-story residential structure that is consistent with the adjacent loft condominium structure. This resulted from lowering the structure to provide increased access to light and air to adjacent structures. Lowering the structure allows the design to include enhanced glazing and raised front entry stoops at the street-level facades, connecting the active interior living spaces to the street. In addition paving and landscape provides a buffer to this lowered floor entry Condition.
 - ii. The proposed project responds to the established building elevations, height, and setback of the adjacent 19th Avenue Loft Condominiums. In response to guidance, the proposed structure height has been reduced to create a 3-story structure, with the building mass lowered. The lowest floor has been set into the ground as a partially below grade basement, consistent with the adjacent loft condominium structure. This provides increased access to light and air along the streetscape and features a rhythm of raised entry stoops along the street. This strategy supports a lively, active street frontage and provides the opportunity for security and eyes on the street, also consistent with the adjacent condominium structure. This expression of entry continues through to the inner courtyard space and at the entries of the units on the adjacent, dependent proposal, which are accessed from the shared courtyard, supporting a holistic approach to the design across the two dependent sites. (CS2.C.2, CS2.D.5, DC3.I.iv CAPITOL HILL)
 - iii. The massing orientation has been maintained, in order to provide access from 19th Avenue to the shared central courtyard between the proposed project and 1726 19th Avenue. The courtyard is oriented east-west to provide a private visual and spatial connection to the courtyard proposed in the adjacent project townhouse development proposed to the east at 1711 and 1715 20th Avenue, as well as a continuous mid-block void. This is a unique solution to urban infill housing at this scale. The design team has maintained a strong commitment to balancing the design concept with the adjacency pressures, respectful of adjacent properties. Privacy elevations have been included with the Master Use Permit submission that demonstrate this approach. Furthermore roof decks are setback from adjacent structures to the north and south. (CS2.D, PL3.B, DC3.B.3)

**DESIGN CONCEPT, MASSING, ARCHITECTURAL
CONTEXT, AND CHARACTER**

b. Staff expects the future design to be compatible with both modern and existing architectural context. Staff advises the applicant to be mindful of the neighborhood context and building material guidelines during the selection of exterior materials and color palette. (CS3.A, CS3.I.iv CAPITOL HILL, DC4.II CAPITOL HILL)



b. The design proposal is compatible with the surrounding architectural context. Utilizing a combination of materials throughout the proposed facades, the project's modern design is forward-thinking and respectful. Durable and maintainable materials articulate unit and building volumes. A strong base of a horizontal high-quality stained wood cladding grounds the project visually with a lighter panel material at the upper floors. Occasional elements of darker standing seam vertical metal siding provide contrast and help to articulate individual units. (CS3.A, CS3.I.iv CAPITOL HILL, DC4.II CAPITOL HILL)



b9 project at the corner of Mercer Street and Malden Avenue in Capitol Hill. This project has similar entry openings.

SUMMARY OF GUIDANCE

19th AVENUE FRONTAGE AND TREES

- a. SDCI expects to review an ensemble of elements (doors, stoops, canopies, railings, hardscape, landscaping, glazing, screening, etc.) that encourage interest at the street level and clarify building entries/edges. Conceptual lighting designs proposed for the building's street facing and surrounding façades should also be offered during the MUP phase of design development. (PL2.B, PL3.A, PL3.B, DC4.C, DC4.I CAPITOL HILL, D4.II CAPITOL HILL)
- b. Upon review of the tree survey and arborist report provided in the design packet (pgs. 26-27) and the supported design scheme (Alternative 3), Staff's comments pertaining to trees are as follows:
 - i. Staff, in consideration of public comment, also observes that the upper-level massing abutting 19th Avenue may negatively impact the viability/health of the existing stately tree that is currently oriented near the site's west side protruding over the sidewalk and onto the project site; and strongly ADMINISTRATIVE EARLY DESIGN GUIDANCE #3032762-EG Page 5 of 20 encourages that this tree be preserved. Staff recognizes that this tree is considered a "Street Tree" because it is planted in the 19th Avenue right-of-way. Thus, the Seattle Department of Transportation (SDOT) has purview over Street Trees and potential street improvements. Staff expects the applicant to address this concern directly with SDOT during the initial Master Use Permit (MUP) review process and provide street improvement design specifics (Street Trees, landscaping, pavement, design elements, etc.)/SDOT feedback during the Recommendation phase of review. (DC3.I.v CAPITOL HILL, DC3.II CAPITOL HILL)
- c. Staff is concerned with the conceptual street-level floor plan comprised of areas (bathroom, closet and bedroom) that necessitate minimal glazing to provide privacy and security to residents. Staff expects the future design to include interior spaces (i.e. den, flex space) that can accommodate enhanced glazing on the street-level facades. (PL2.B, PL3.B)
- d. Staff appreciates the applicant's intent to locate waste receptacles offsite in the shared waste storage room located in the neighboring townhouse development proposal's parking garage southeast of the project site. Staff is unsure that this offsite arrangement is compliant with solid waste location and access standards per the Land Use Code. Ultimately, it is important that the residential trash receptacles be located and screened away from pedestrian areas and the future design should address this concern appropriately. (DC1.C.4)



- a. Along 19th Avenue the design proposal, which includes the adjacent, dependent 1726 19th Avenue, integrates an ensemble of elements that further support the overall massing and design concept while expressing individual units. Raised entries, overhead weather protection and individual and shared stoops support a lively, active street frontage and create opportunities for security and eyes on the street. Planters, benches and landscaping further define the street edge across both project frontages while providing a transition to 19th Avenue, consistent with the adjacent condominiums. Exterior decks and street level fenestration further activate the streetscape connecting to interior spaces. A conceptual lighting plan has been included with the Master Use Permit submittal. (PL2.B, PL3.A, PL3.B, DC4.C, DC4.I CAPITOL HILL, D4.II CAPITOL HILL)
- b.
 - i. Recommendations from a certified arborist have been incorporated into the design proposal to ensure that existing street trees have adequate protection measures. Specific design comments from SDOT provided during the initial Master Use Permit review will be reviewed and addressed with SDOT directly. (DC3.I.v CAPITOL HILL, DC3.II CAPITOL HILL)
- c. As noted previously, the proposed height has been reduced to three stories, with the building mass lowered to provide increased access to light and air to adjacent structures. The lowest floor has been set into the ground, consistent with the adjacent loft condominium structure. Lowering the structure allows the design to include enhanced glazing and entry stoops at the street-level facades, connecting the active interior living spaces to the street. (PL2.B, PL3.B)
- d. As noted in the Early Design Guidance packet, shared solid waste storage is located below grade, within the adjacent shared parking garage. Waste service providers will access the waste storage area from the alley that terminates at the northern edge of the adjacent site. This will reduce the impact waste storage and collection has on adjacent structures, pedestrian areas and vehicular traffic. Seattle Public Utilities has reviewed the proposed waste area and has provided an approval letter. (DC1.C.4)

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DESIGN CONCEPT, MASSING, ARCHITECTURAL CONTEXT, AND CHARACTER

RESPONSE TO GUIDANCE

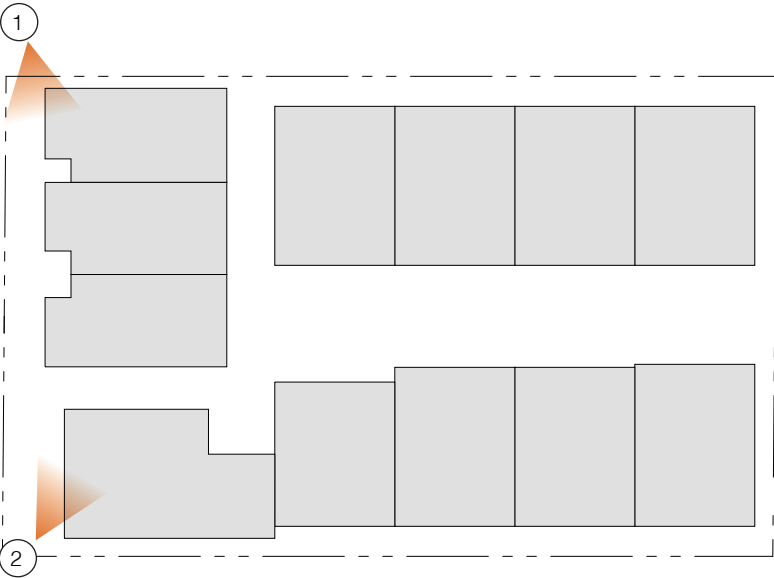
- The massing of the proposed scheme has been developed to further encourage interaction through a network of open spaces and exterior circulation. The central courtyard, strong street edge, and west facade modulation have been retained and refined in response to guidance.

SUPPORTED GUIDELINES

CS2-C: Relationship to the Block
CS2-D: Height, Bulk, and Scale



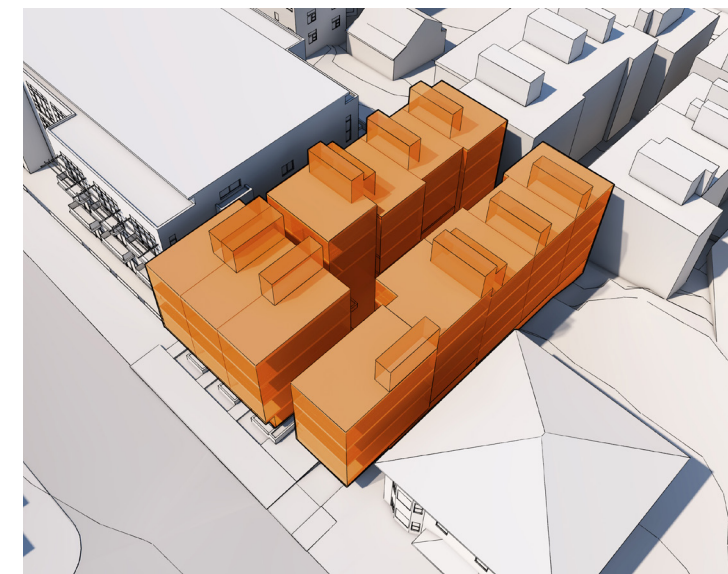
Street View looking Southwest at EDG



1. Street View looking Southwest



2. Aerial View from Southwest



Aerial View looking from at EDG

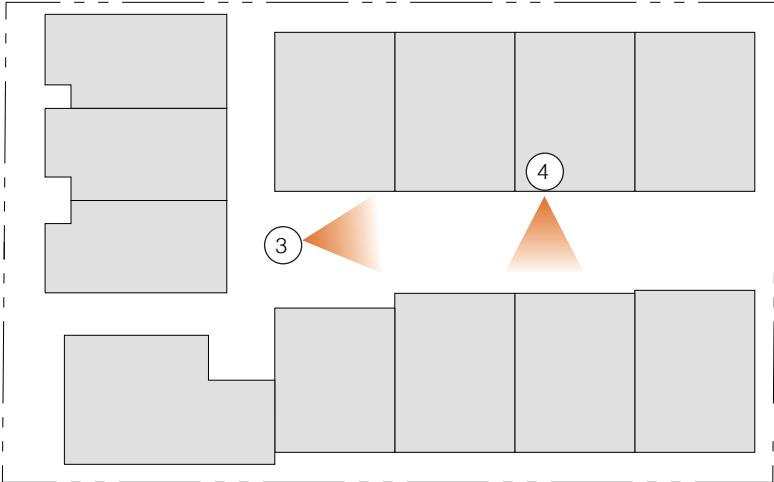
DESIGN CONCEPT, MASSING, ARCHITECTURAL CONTEXT, AND CHARACTER

RESPONSE TO GUIDANCE

- The massing of the proposed scheme has been developed to further encourage interaction through a network of open spaces and exterior circulation. The central courtyard, strong street edge, and west facade modulation have been retained and refined in response to guidance.

SUPPORTED GUIDELINES

CS2-C: Relationship to the Block
CS2-D: Height, Bulk, and Scale



3. Courtyard View looking East



4. South Elevation of Courtyard

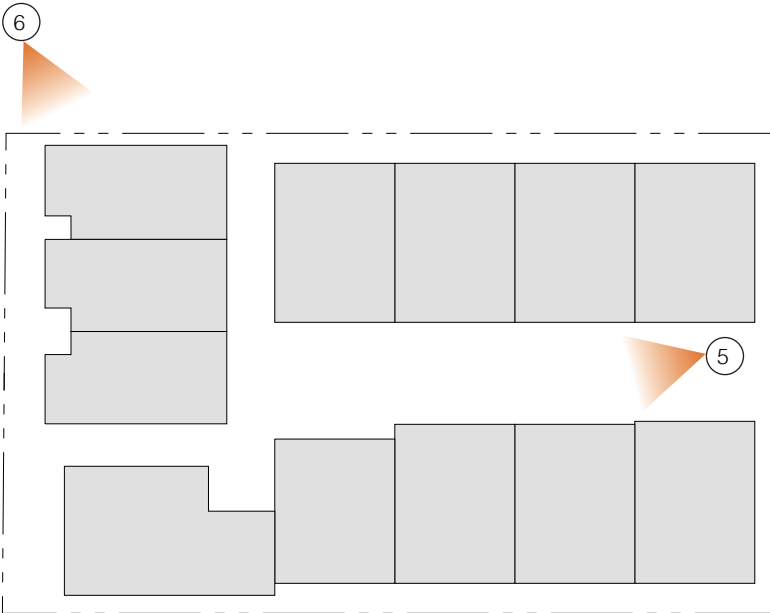
DESIGN CONCEPT, MASSING, ARCHITECTURAL CONTEXT, AND CHARACTER

RESPONSE TO GUIDANCE

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SUPPORTED GUIDELINES

CS2-C: Relationship to the Block
CS2-D: Height, Bulk, and Scale



5. Courtyard View looking West



6. Aerial View looking Southeast

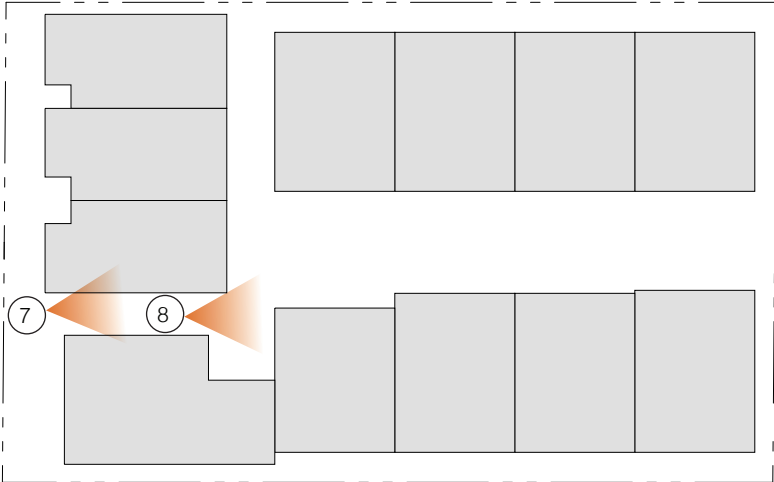
DESIGN CONCEPT, MASSING, ARCHITECTURAL CONTEXT, AND CHARACTER

RESPONSE TO GUIDANCE

- The massing of the proposed scheme has been developed to further encourage interaction through a network of open spaces and exterior circulation. The central courtyard, strong street edge, and west facade modulation have been retained and refined in response to guidance.

SUPPORTED GUIDELINES

CS2-C: Relationship to the Block
CS2-D: Height, Bulk, and Scale

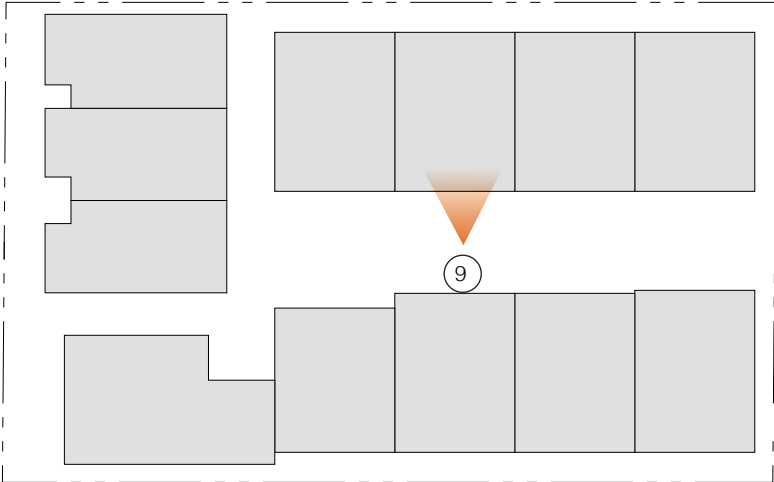


7. View from 19th looking into Courtyard



8. View from Entry Passage looking into Courtyard

DESIGN CONCEPT, MASSING, ARCHITECTURAL CONTEXT, AND CHARACTER

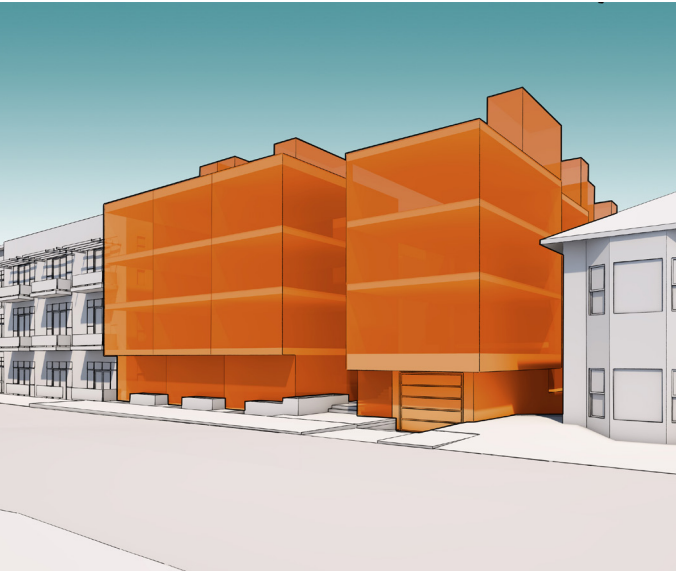


9. North Elevation of Courtyard

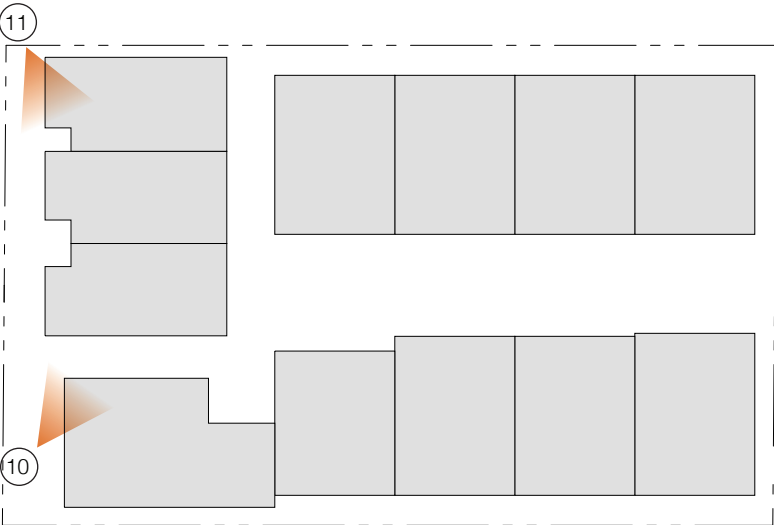
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19TH AVENUE FRONTAGE AND TREES

In response to the planner’s guidance, the design proposal is further developed in relationship to the neighboring structure to the east, also designed by the applicant, with particular attention paid to the visual and spatial connections between the courtyards.



Street View looking Northeast at EDG



10. Street View looking Northeast



11. Street View looking Southeast

19TH AVENUE FRONTAGE AND TREES

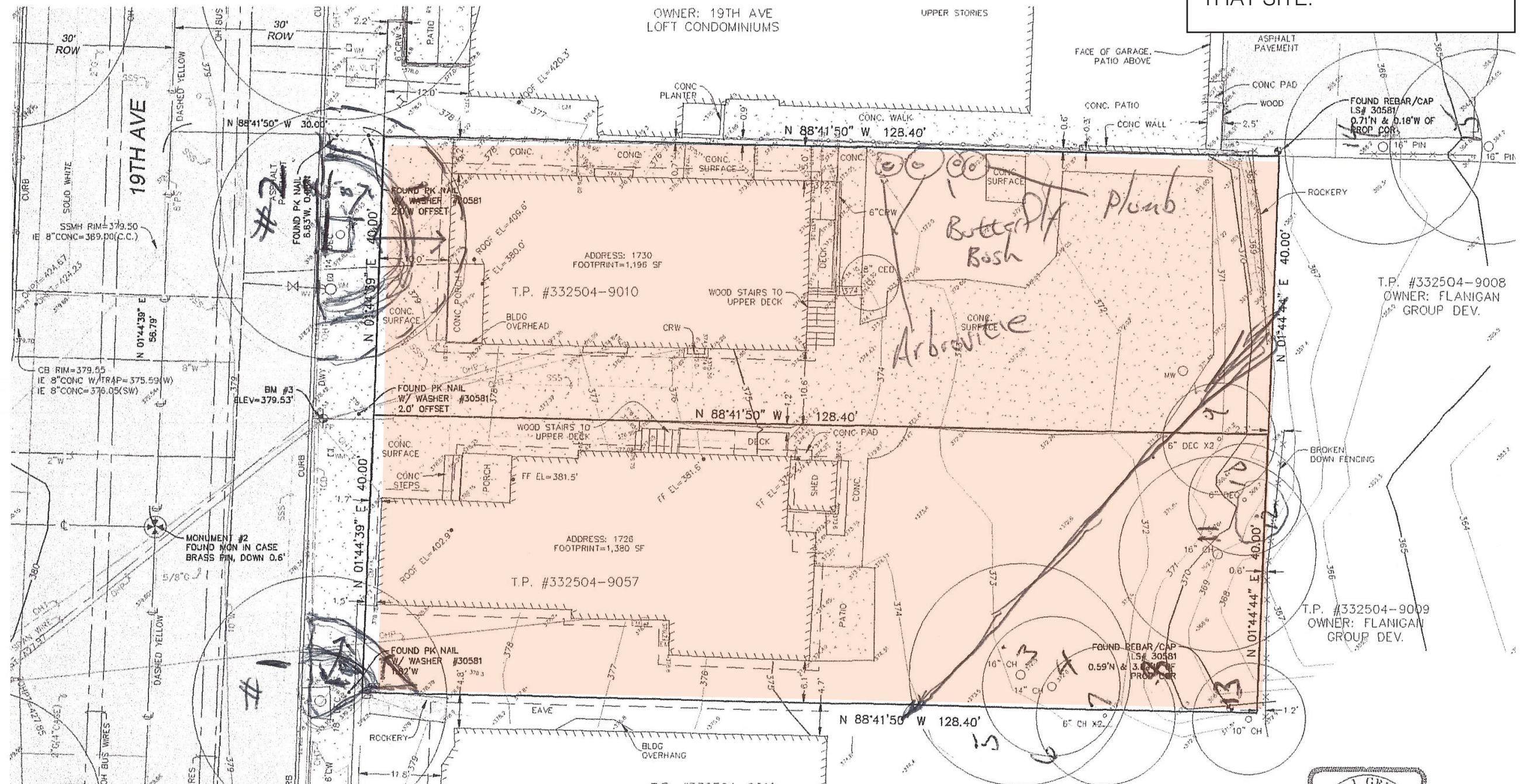
In response to the planner’s guidance, the design proposal is further developed in relationship to the neighboring structure to the east, also designed by the applicant, with particular attention paid to the visual and spatial connections between the courtyards.



12. Street View looking East

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Project Site



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19TH AVENUE FRONTAGE AND TREES

1726 19TH AVE ARBORIST REPORT



Andrew Lyon,
ISA certified arborist, PN-6446A
ISA Tree Risk Assessment Qualified

5459 26th Ave SW
Seattle WA 98106
206-734-0705

9/12/2019 revised 6/22/2021 and 7/11/2022

Arborist Inventory Report for:
1726 19th Ave
Seattle WA

This report includes all trees at least 6" in diameter at breast height (DBH) on or within 5' of this lot. The trees are numbered and located according to the attached tree map. The DBH was determined by taking the circumference of the trees and dividing it by 3.14.

According to the guidelines in the Director's Rule 2008, there are no groves on or overhanging these lots. There are no Exceptional trees on or overhanging these lots.

1. European Hornbeam *Carpinus betulus* 'Fastigieta' DBH 17.5", 35' tall with an 11' drip line and a 5' 6" Critical Root Zone. This street tree is in good health and is to be retained and protected by fencing the unpaved area on the lot and in the right of way that is within 8' of this tree. The fence shall be 6' chain link fencing and shall be posted with SDOT's tree protection signs. There shall be no site disturbance, traffic, storage of materials, or washing of materials inside these two protection areas though out the development project. Any excavation within 3' of the protection fence shall be done by hand with shovels with care taken to cleanly cut or prune any encountered roots and not to rip or tear them.
2. Emerald Green Arborvitae *Thuja occidentalis* 'Smaragd' DBH 4", 7' tall with a 3' drip line. This shrub is to be removed.
3. Italian Plum *Prunus cocomilia* DBH 12", 11' tall with an 8' drip line. This tree is to be removed.
4. Italian Plum *Prunus cocomilia* DBH 9", 10' tall with a 5' drip line. This tree is to be removed.
5. Italian Plum *Prunus cocomilia* DBH 9", 15' tall with an 8' drip line. This multi-stemmed tree is on the neighboring property to the south and is to be retained. It will not be affected by the development.
6. Italian Plum *Prunus cocomilia* DBH 11", 18' tall with a 10' drip line. This multi-stemmed tree is on the neighboring property to the south and is to be retained. It will not be affected by the development.
7. Italian Plum *Prunus cocomilia* DBH 11", 10' tall with a 3-10' drip line. This two-stemmed tree is in poor condition. It is to be removed.
8. Italian Plum *Prunus cocomilia* DBH 7", 16' tall with a 6' drip line. This tree is to be removed.



Andrew Lyon,
ISA certified arborist, PN-6446A
ISA Tree Risk Assessment Qualified

5459 26th Ave SW
Seattle WA 98106
206-734-0705

9. Italian Plum *Prunus cocomilia* DBH 11", 12' tall with a 6' drip line. This two-stemmed tree is to be removed.
10. Italian Plum *Prunus cocomilia* DBH 6", 7' tall with a 3' drip line. This tree is to be removed.
11. Common Apple *Malus domestica* DBH 13" 25' tall with a 15' drip line. This tree is to be removed.
12. Italian Plum *Prunus cocomilia* DBH 6", 18' tall with a 7' drip line. This tree is tagged as number 1005. It is to be removed.
13. Italian Plum *Prunus cocomilia* DBH 10", 15' tall with a 5' drip line. This tree is in decline. It is to be removed.
14. Emerald Green Arborvitae *Thuja occidentalis* 'Smaragd' DBH 4", 7' tall with an 3' drip line. This shrub is to be removed.
15. Butterfly Bush *Buddleja davidii* DBH 5" 7' tall with a 5' dripline. This shrub is to be removed.

If you have any questions about these trees, please feel free to contact me. This report was prepared by:

Andrew Lyon

Andrew Lyon
ISA Certified Arborist PN-6446A
Tree Risk Assessment Qualified CTRA #512



Andrew Lyon,
ISA certified arborist, PN-6446A
ISA Tree Risk Assessment Qualified

5459 26th Ave SW
Seattle WA 98106
206-734-0705

1726 19th Ave Tree Chart

Tree Number	Common Name	Total DBH inches	Exceptional?	On Property	Remove or Retain
1	European Hornbeam	17.5	No	ROW	Retain and protect
2	Emerald Arborvitae	4	No	Yes	Remove
3	Italian Plum	12	No	Yes	Remove
4	Italian Plum	9	No	Yes	Remove
5	Italian Plum	9	No	No	Retain
6	Italian Plum	11	No	No	Retain
7	Italian Plum	11	No	No	Remove
8	Italian Plum	7	No	Yes	Remove
9	Italian Plum	11	No	Yes	Remove
10	Italian Plum	6	No	Yes	Remove
11	Common Apple	13	No	Yes	Remove
12	Italian Plum	6	No	Yes	Remove
13	Italian Plum	10	No	No	Remove
14	Emerald Green Arborvitae	4	No	Yes	Remove
15	Butterfly Bush	5	No	Yes	Remove

1730 19TH AVE ARBORIST REPORT



Andrew Lyon,
ISA certified arborist, PN-6446A
ISA Tree Risk Assessment Qualified

5459 26th Ave SW
Seattle WA 98106
206-734-0705

6/12/2019 revised 7/7/2022

Arborist Inventory Report for:
1730 19th Ave
Seattle WA

This report includes all trees at least 6" in diameter at breast height (DBH) on or within 5' of these lots. The trees are numbered and located according to the plans.

According to the guidelines in the Director's Rule 2008, there are no groves on or overhanging this lot. There are no Exceptional trees on or overhanging this lot.

1. European Beech *Carpinus betulus 'Fastigieta'* DBH 17.5", 30' tall with an 11' drip line and a 5' 6" Critical Root Zone. This street tree is in good health and is to be retained and protected. The area within 4'8" of the tree shall be fenced with 6' high chain link fencing and posted with SDOT's tree protection signs. There shall be no site disturbance, traffic, storage of materials, or washing of materials inside the protection area though out the development project. Any excavation within 2' of the protection fence shall be limited to a depth of 6" and done by hand with shovels with care taken to cleanly cut or prune any encountered roots and not to rip or tear them.

If you have any questions about these trees, please feel free to contact me. This report was prepared by:
Andrew Lyon

Andrew Lyon
ISA Certified Arborist PN-6446A
Tree Risk Assessment Qualified CTRA #512

1730 19th Ave Tree Chart

Tree Number	Common Name	Total DBH inches	Exceptional?	On Property	Remove or Retain
1	European Beech	17.5	No	ROW	Retain and protect

Trees teach us that it's important to have roots, grow where you're planted, and be flexible. If you really believe in something, don't be afraid to go out on a limb ☺

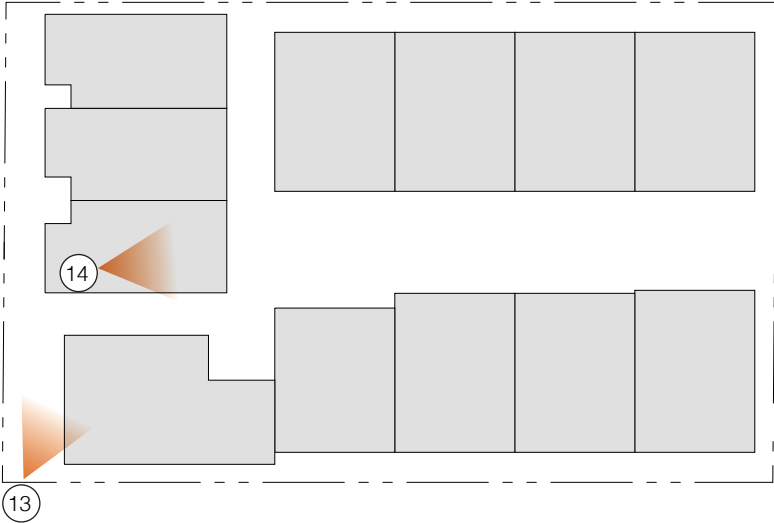
VEHICULAR ACCESS AND PARKING

RESPONSE TO GUIDANCE

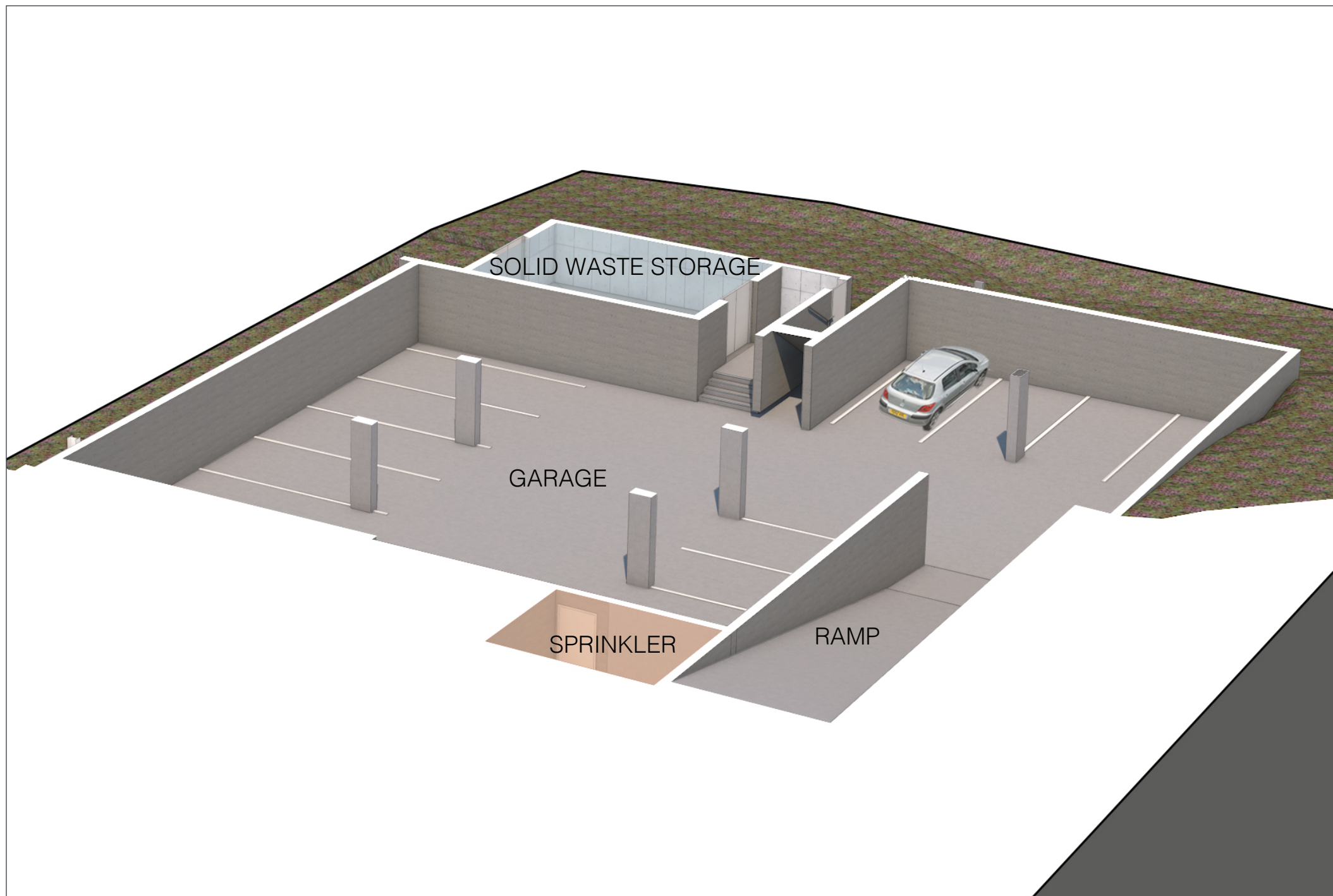
- The massing of the proposed scheme has been developed to further encourage interaction through a network of open spaces and exterior circulation. The central courtyard, strong street edge, and west facade modulation have been retained and refined in response to guidance.

SUPPORTED GUIDELINES

CS2-C: Relationship to the Block
CS2-D: Height, Bulk, and Scale



13. Street View looking North



14. Aerial View of Garage looking Northeast

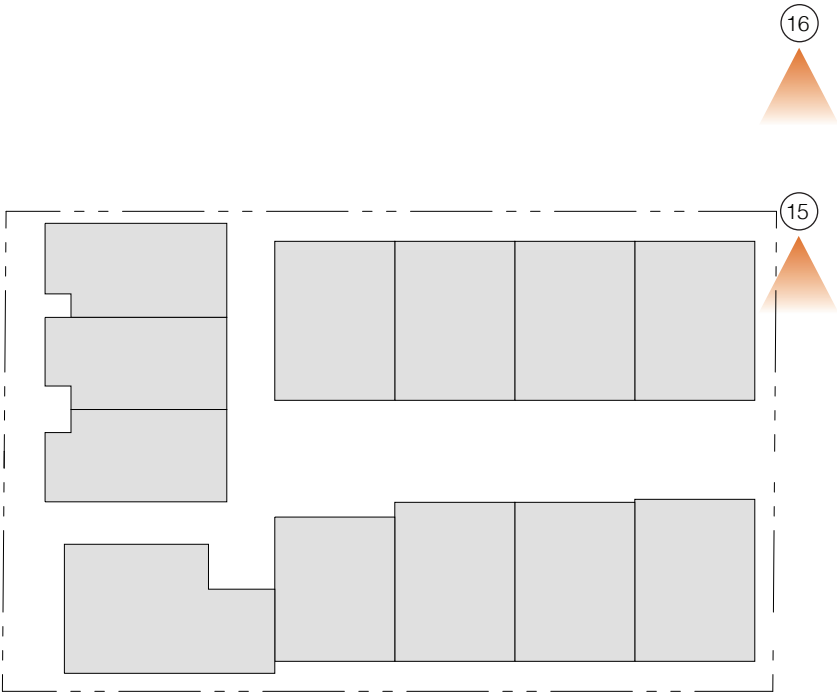
WASTE STORAGE LOCATION

RESPONSE TO GUIDANCE

- The massing of the proposed scheme has been developed to further encourage interaction through a network of open spaces and exterior circulation. The central courtyard, strong street edge, and west facade modulation have been retained and refined in response to guidance.

SUPPORTED GUIDELINES

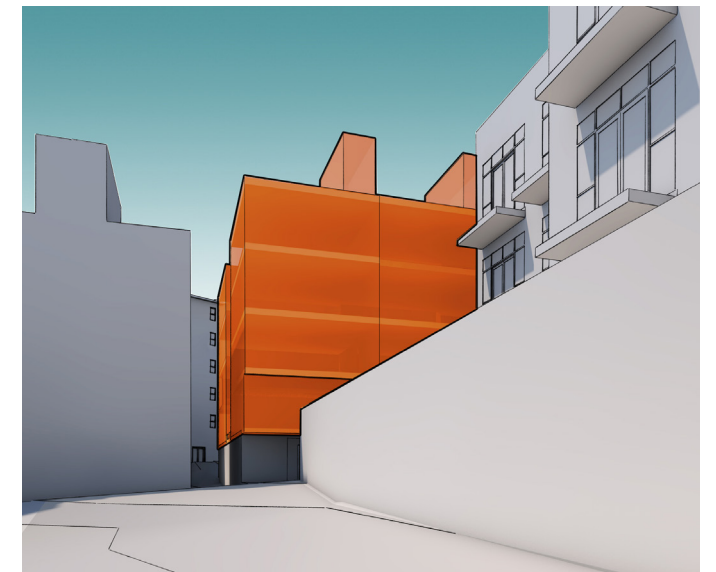
CS2-C: Relationship to the Block
CS2-D: Height, Bulk, and Scale



15. Alley View Looking South

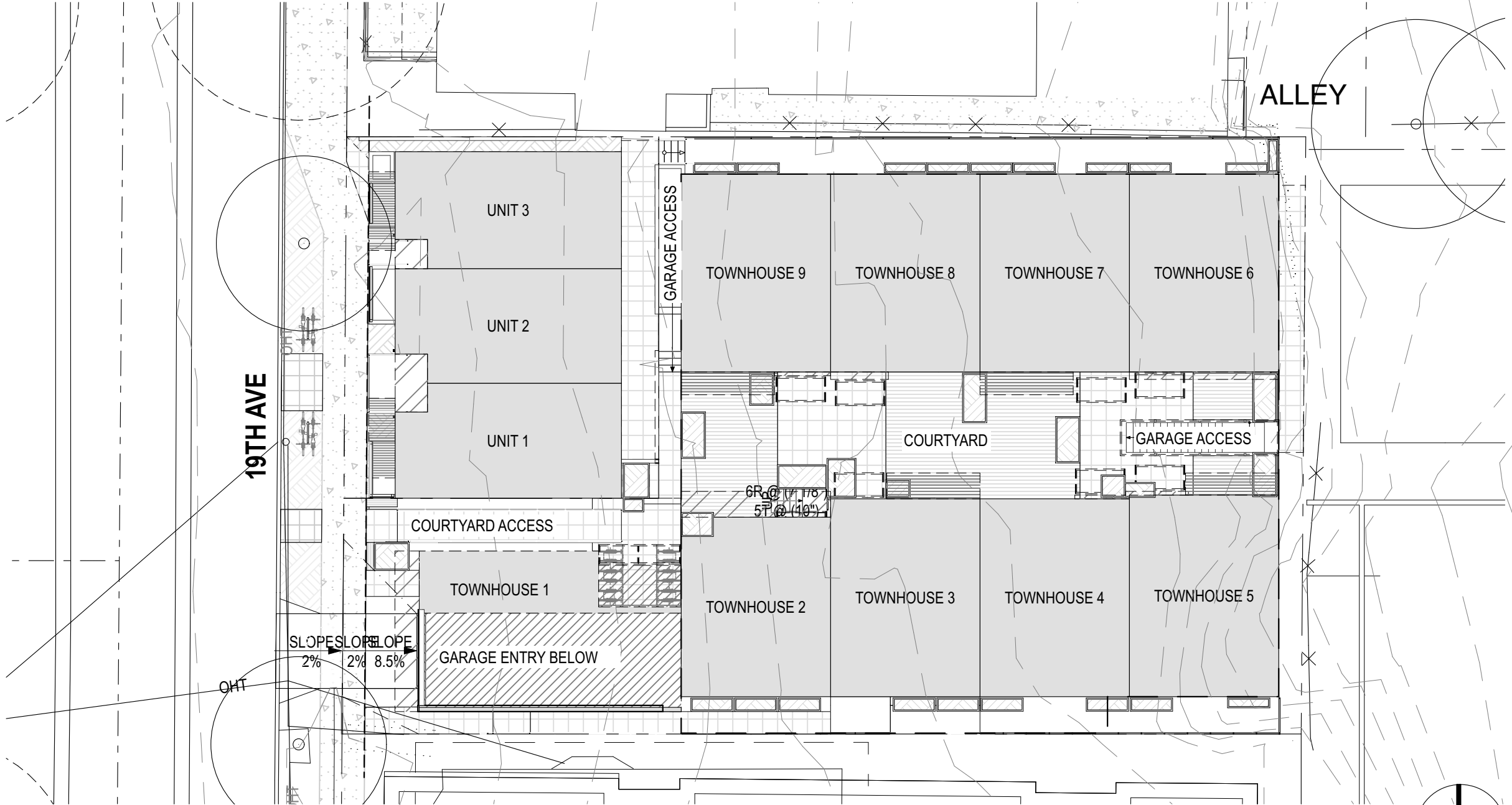


16. Alley View Looking South



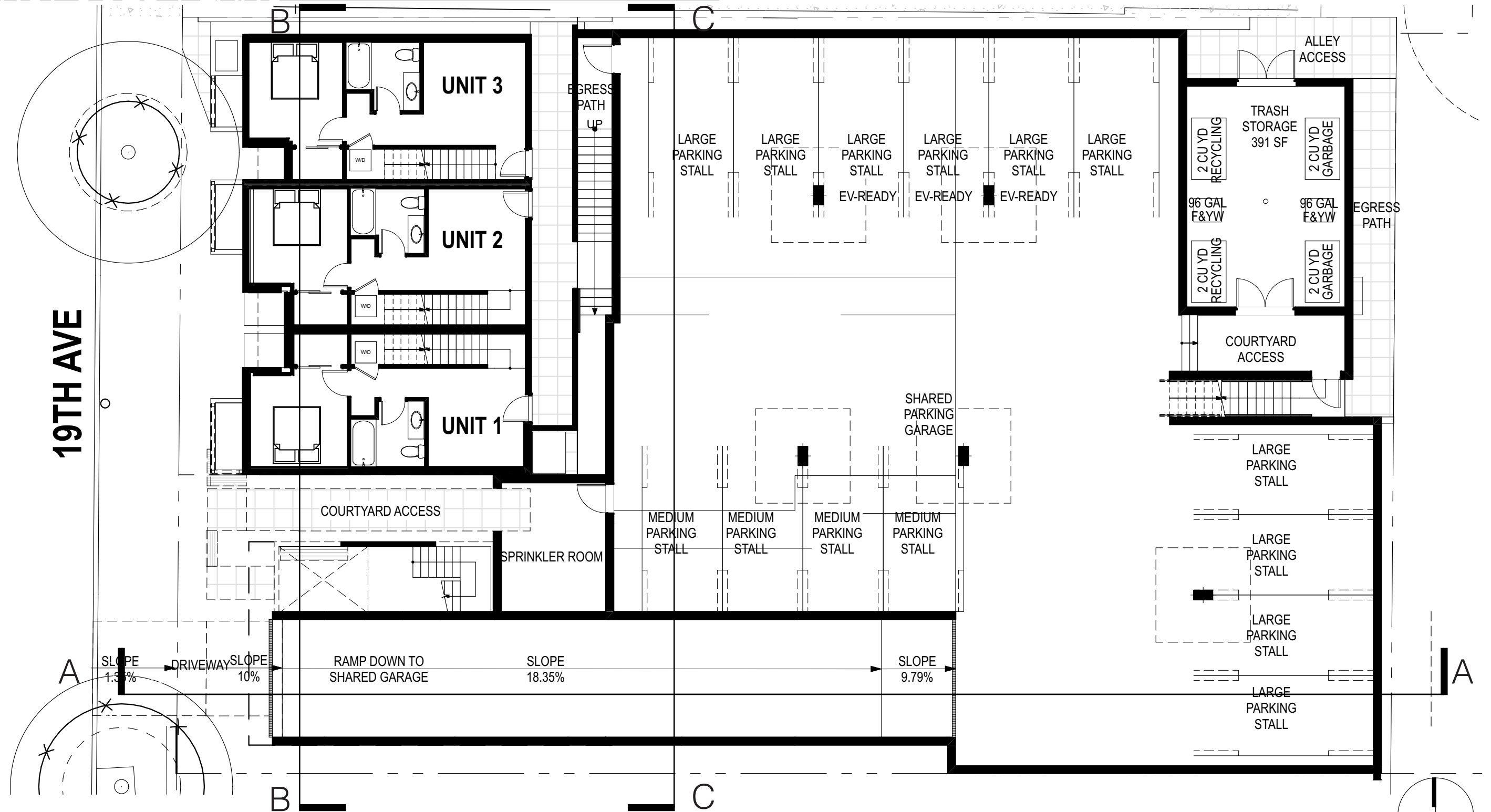
Alley View looking South at EDG

SITE PLAN



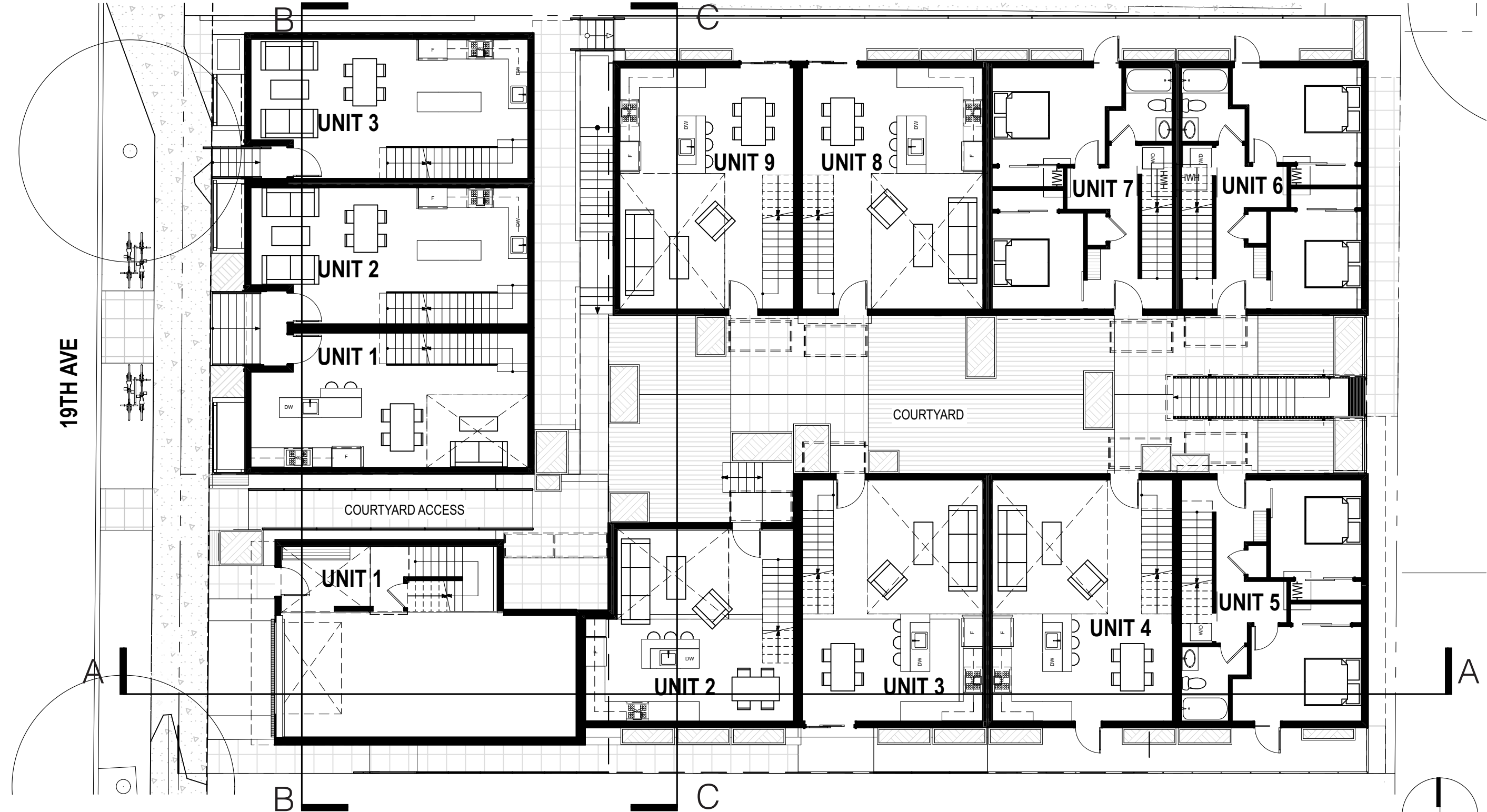
1 SITE PLAN
SCALE: 1/16" = 1'-0"

PROPOSED PLANS



1 GARAGE PLAN
SCALE: 3/32" = 1'-0"

PROPOSED PLANS



2 FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"



3

SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"

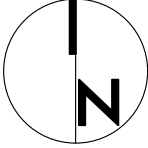
PROPOSED PLANS



4

THIRD FLOOR PLAN

SCALE: 3/32" = 1'-0"





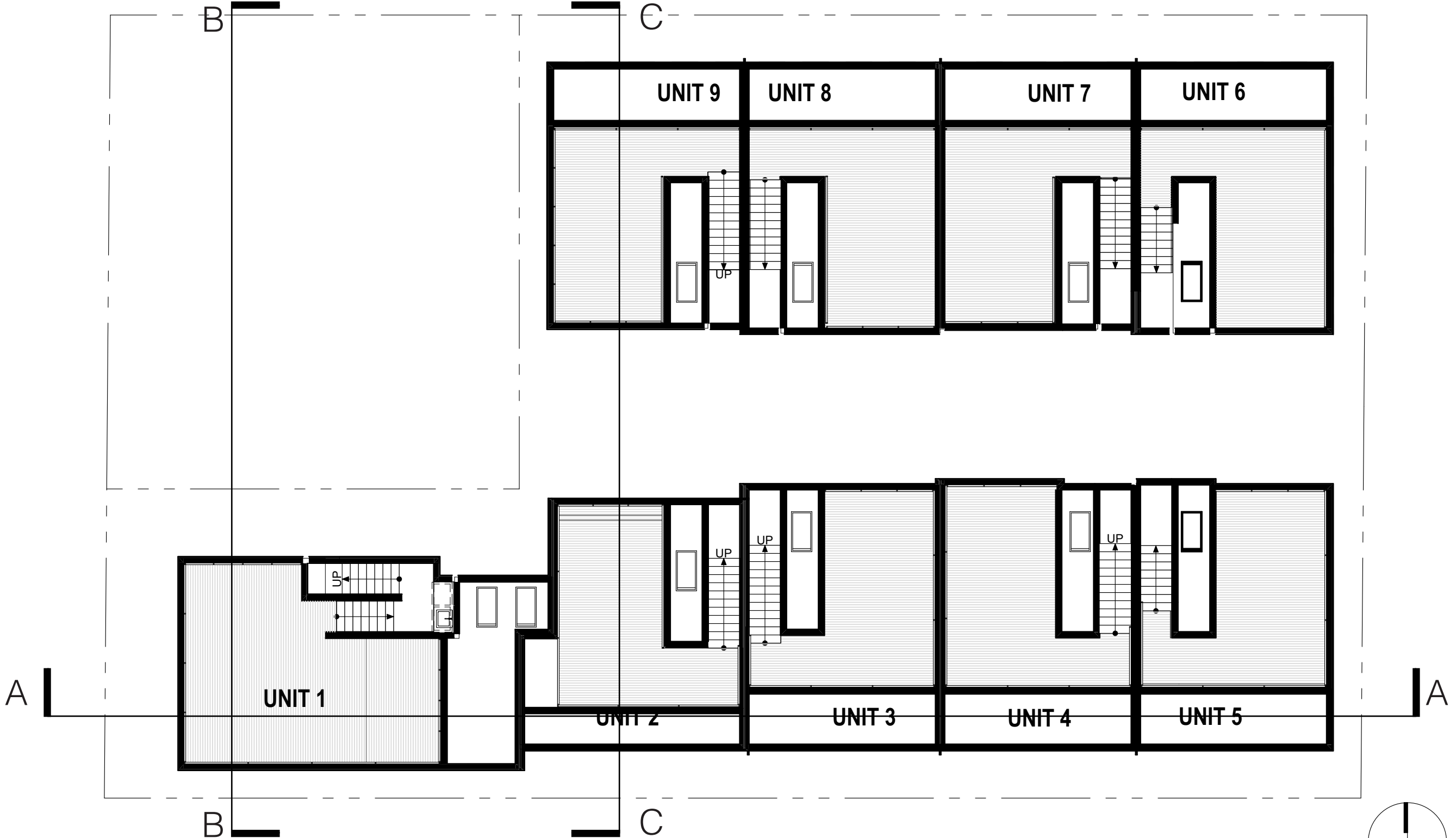
5

FOURTH FLOOR PLAN

SCALE: 3/32" = 1'-0"

0 8' 16' 24'

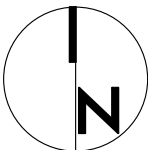
PROPOSED PLANS



6

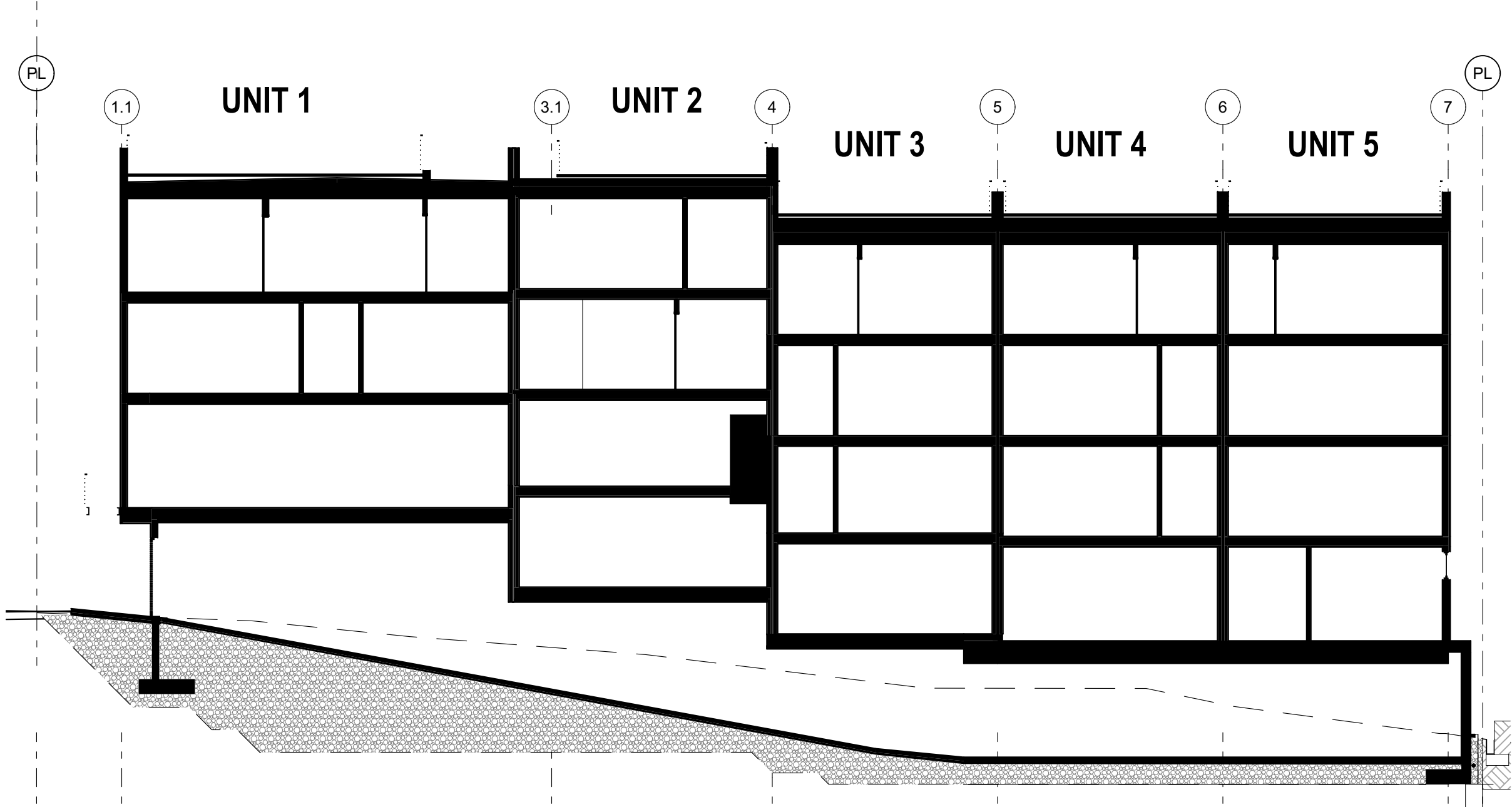
ROOF PLAN

SCALE: 3/32" = 1'-0"



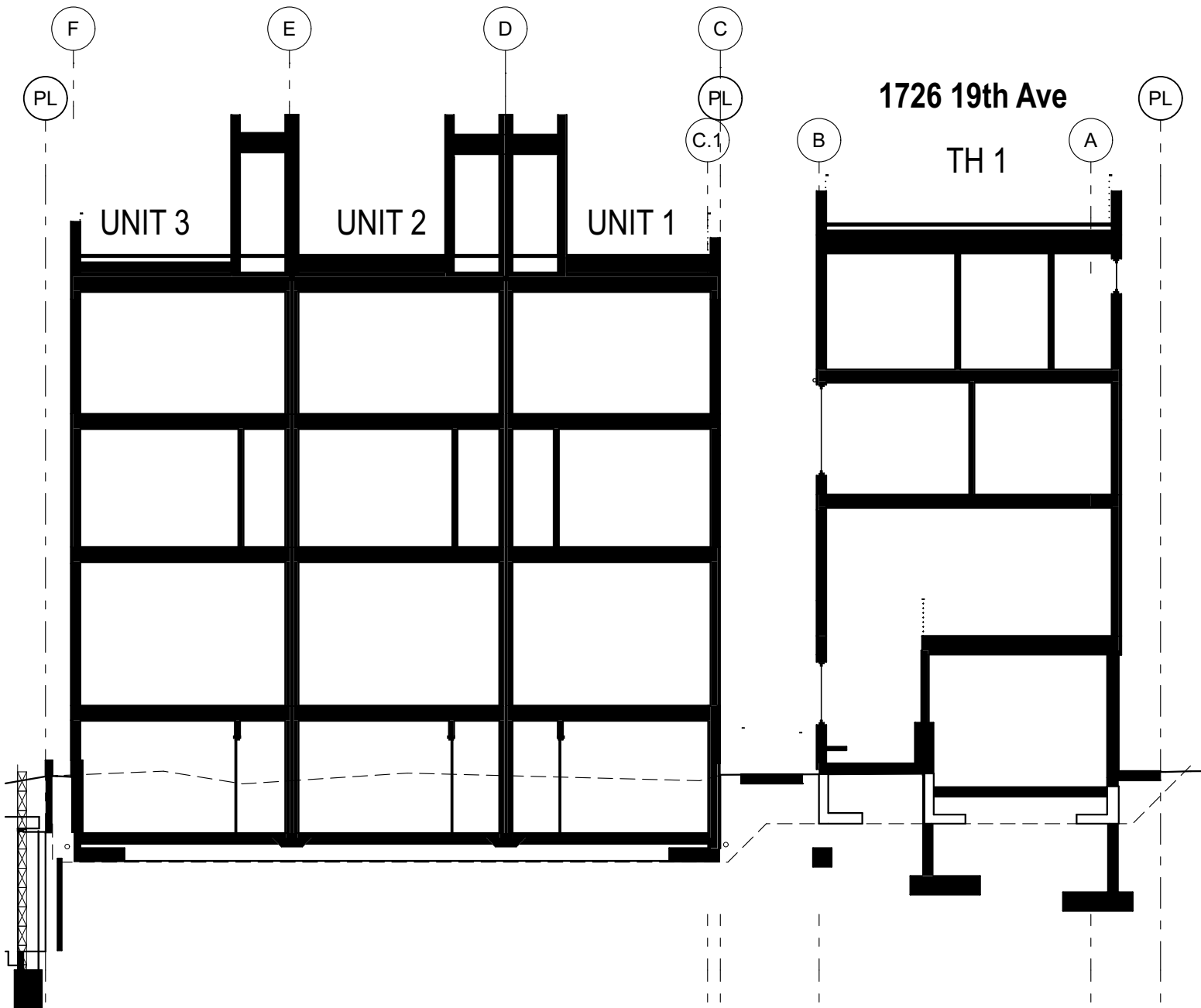
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BUILDING SECTIONS

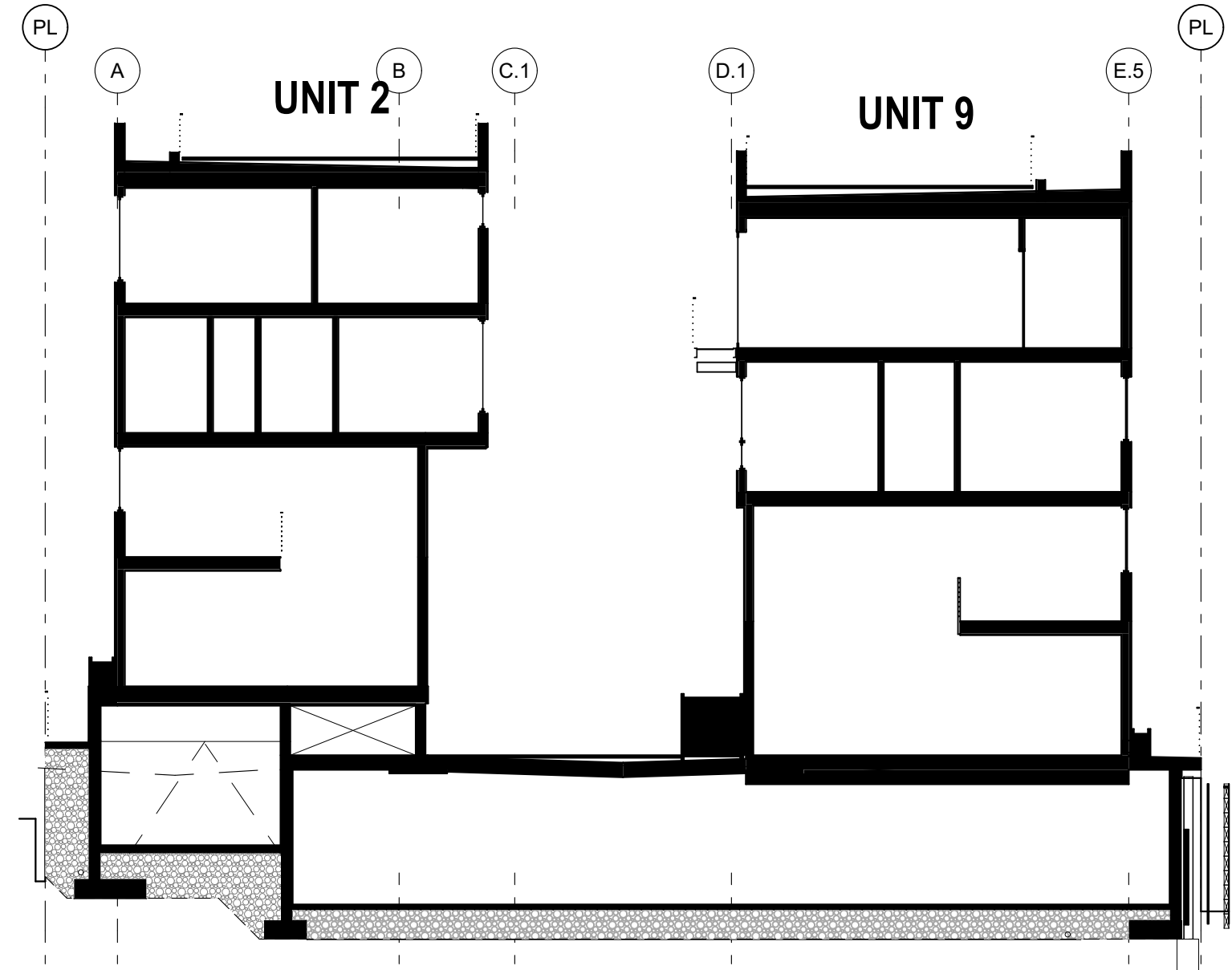


1 EAST-WEST LONGITUDINAL SECTION A-A
SCALE: 3/32" = 1'-0"



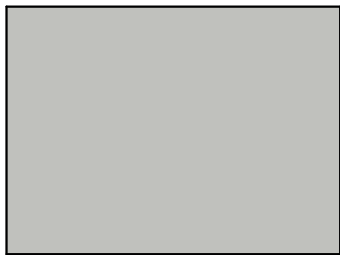
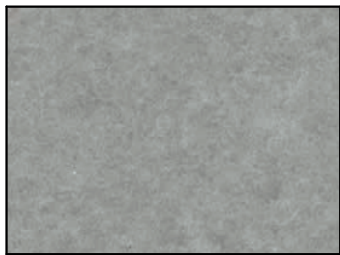


1 NORTH-SOUTH TRANSVERSE SECTION B-B
 SCALE: 3/32" = 1'-0"
 0 8' 16' 24'



2 NORTH-SOUTH TRANSVERSE SECTION C-C
 SCALE: 3/32" = 1'-0"
 0 8' 16' 24'

RENDERED ELEVATIONS



1.

METAL SIDING
STANDING SEAM, 12" WIDE
AEP SPAN - VERTICAL DESIGN
SPAN METAL ROOFING
24 GAUGE, SLATE GRAY
2.

FIBER CEMENT PANEL
2 x 10 VERTICAL
3.

FIBER CEMENT PANEL
2 x 10 VERTICAL
SW 7064 - PASSIVE
4.

SHIP LAP TIGHT-KNOT
CEDAR PRESTAINED WITH
(2) COATS OF SW 3540
MOUNTAIN ASH STAIN,
ROUGH SIDE OUT
5.

CONCRETE PAVERS
24" X 24"
6.

COMPOSITE DECKING

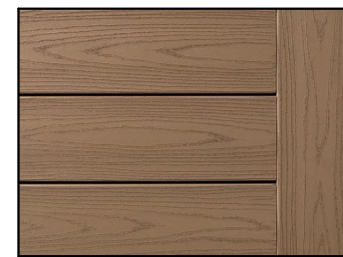


1

RENDERED WEST ELEVATION

SCALE: 3/32" = 1'-0"





1. METAL SIDING
STANDING SEAM, 12" WIDE
AEP SPAN - VERTICAL DESIGN
SPAN METAL ROOFING
24 GAUGE, SLATE GRAY

2. FIBER CEMENT PANEL
2 x 10 VERTICAL

3. FIBER CEMENT PANEL
2 x 10 VERTICAL
SW 7064 - PASSIVE

4. SHIP LAP TIGHT-KNOT
CEDAR PRESTAINED WITH
(2) COATS OF SW 3540
MOUNTAIN ASH STAIN,
ROUGH SIDE OUT

5. CONCRETE PAVERS
24" X 24"

6. COMPOSITE DECKING



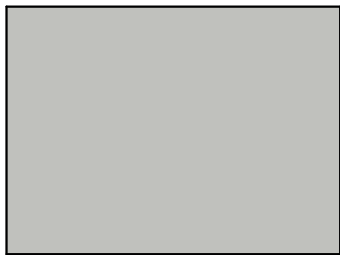
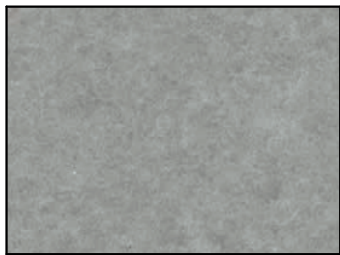
2

RENDERED SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



RENDERED ELEVATIONS



1.

METAL SIDING
STANDING SEAM, 12" WIDE
AEP SPAN - VERTICAL DESIGN
SPAN METAL ROOFING
24 GAUGE, SLATE GRAY
2.

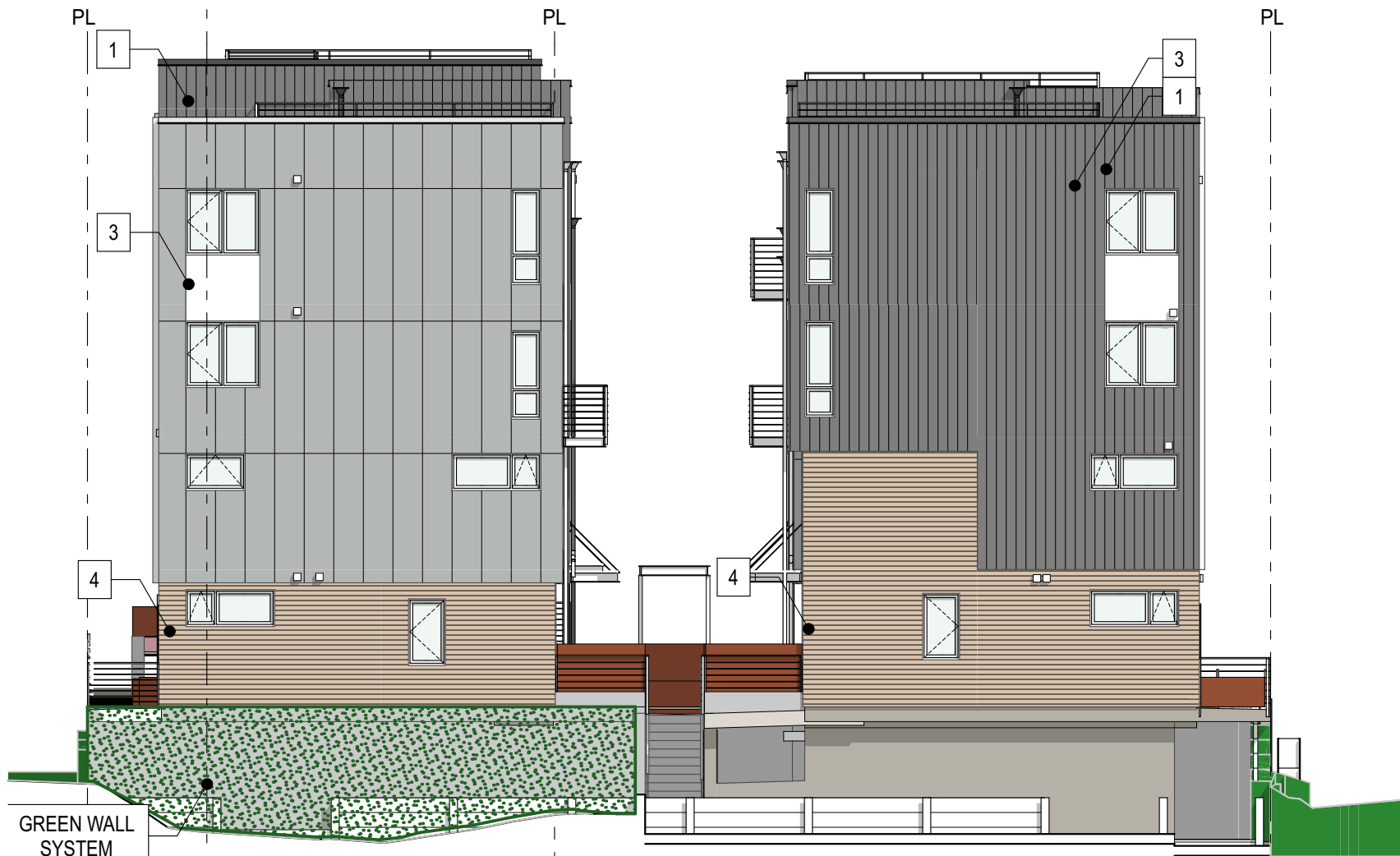
FIBER CEMENT PANEL
2 x 10 VERTICAL
3.

FIBER CEMENT PANEL
2 x 10 VERTICAL
SW 7064 - PASSIVE
4.

SHIP LAP TIGHT-KNOT
CEDAR PRESTAINED WITH
(2) COATS OF SW 3540
MOUNTAIN ASH STAIN,
ROUGH SIDE OUT
5.

CONCRETE PAVERS
24" X 24"
6.

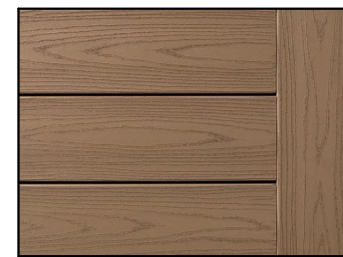
COMPOSITE DECKING



3

RENDERED EAST ELEVATION

SCALE: 3/32" = 1'-0"



1. METAL SIDING
STANDING SEAM, 12" WIDE
AEP SPAN - VERTICAL DESIGN
SPAN METAL ROOFING
24 GAUGE, SLATE GRAY

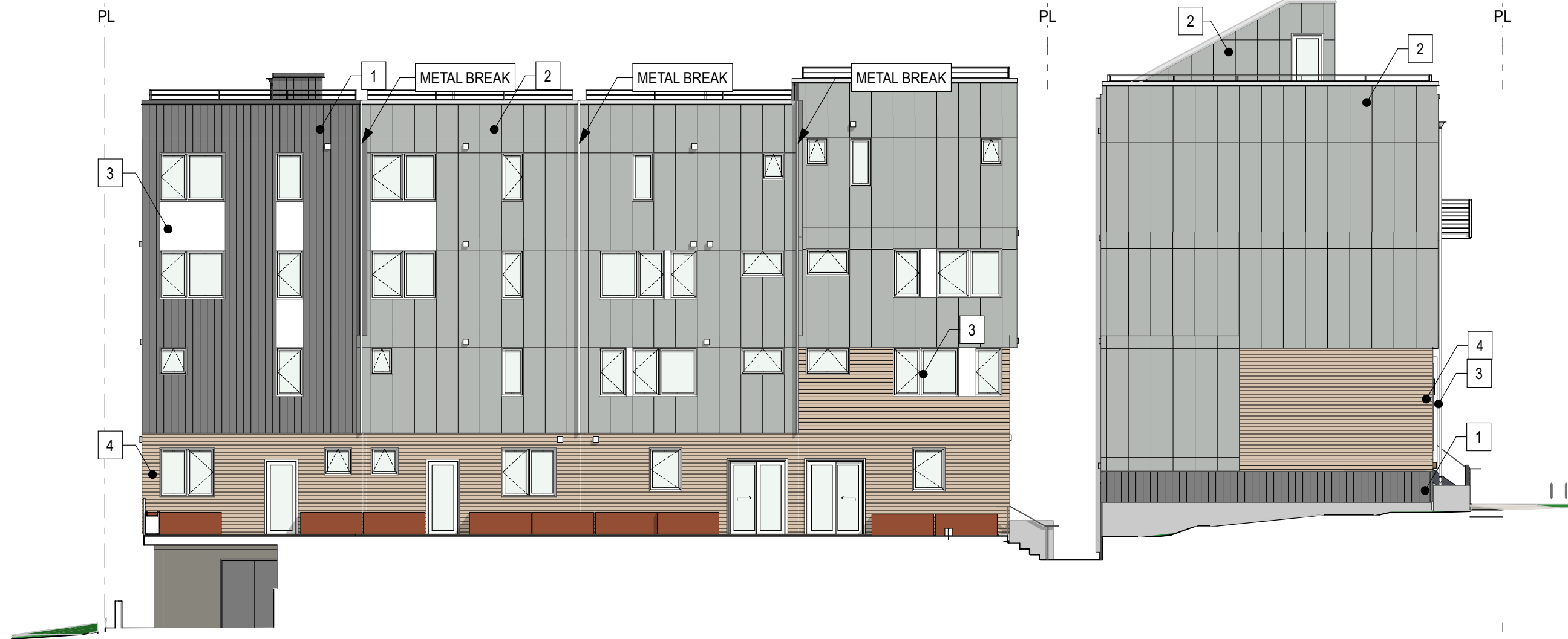
2. FIBER CEMENT PANEL
2 x 10 VERTICAL

3. FIBER CEMENT PANEL
2 x 10 VERTICAL
SW 7064 - PASSIVE

4. SHIP LAP TIGHT-KNOT
CEDAR PRESTAINED WITH
(2) COATS OF SW 3540
MOUNTAIN ASH STAIN,
ROUGH SIDE OUT

5. CONCRETE PAVERS
24" X 24"

6. COMPOSITE DECKING



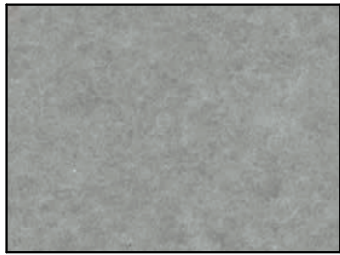
4

RENDERED NORTH ELEVATION

SCALE: 3/32" = 1'-0"



RENDERED ELEVATIONS



1. METAL SIDING
STANDING SEAM, 12" WIDE
AEP SPAN - VERTICAL DESIGN
SPAN METAL ROOFING
24 GAUGE, SLATE GRAY
2. FIBER CEMENT PANEL
2 x 10 VERTICAL
3. FIBER CEMENT PANEL
2 x 10 VERTICAL
SW 7064 - PASSIVE
4. SHIP LAP TIGHT-KNOT
CEDAR PRESTAINED WITH
(2) COATS OF SW 3540
MOUNTAIN ASH STAIN,
ROUGH SIDE OUT
5. CONCRETE PAVERS
24" X 24"
6. COMPOSITE DECKING

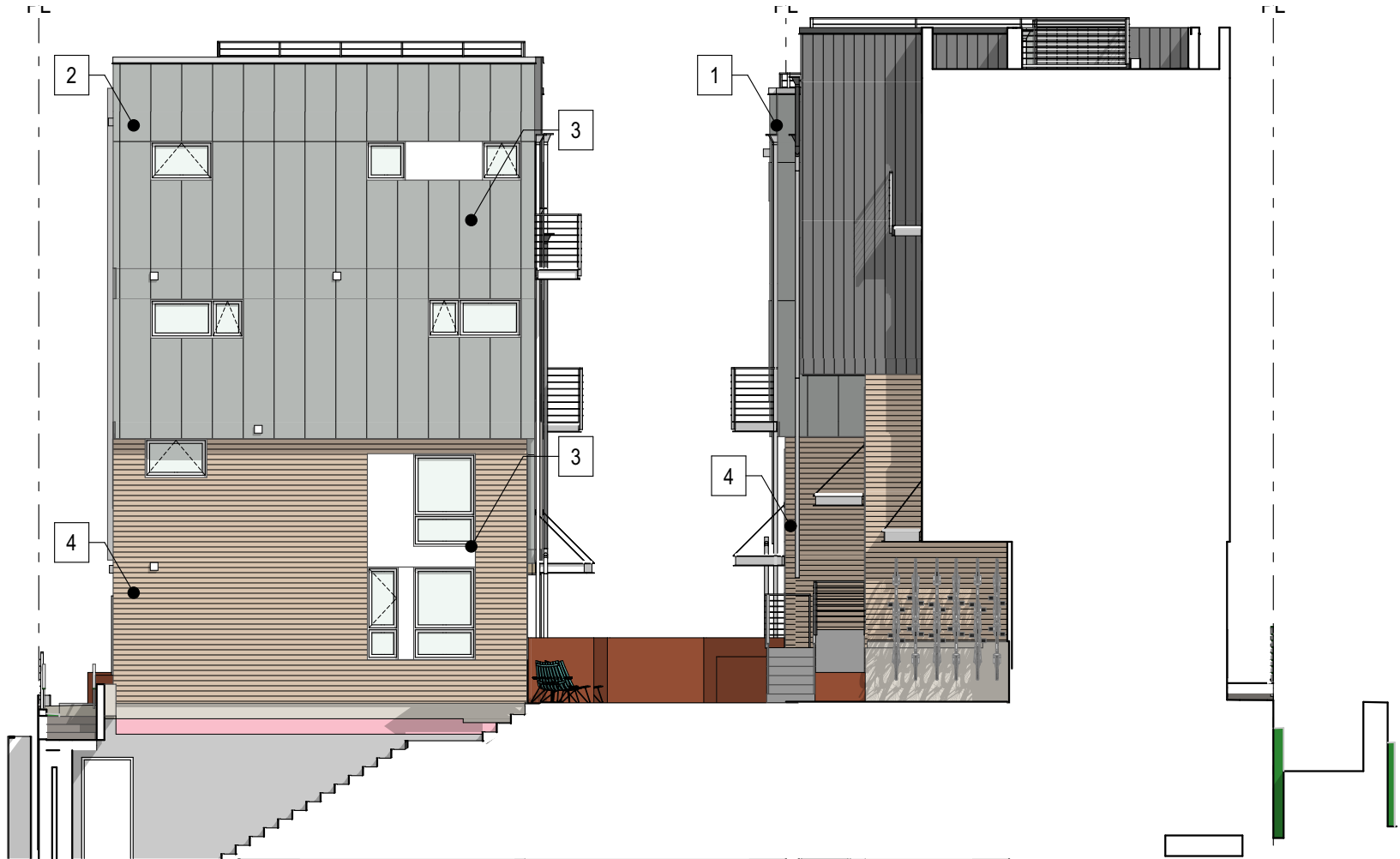


5

RENDERED EAST ELEVATION

SCALE: 3/32" = 1'-0"

0 8' 16' 24'

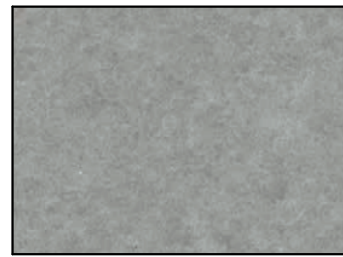


6

RENDERED WEST ELEVATION

SCALE: 3/32" = 1'-0"

0 8' 16' 24'



1. METAL SIDING
STANDING SEAM, 12" WIDE
AEP SPAN - VERTICAL DESIGN
SPAN METAL ROOFING
24 GAUGE, SLATE GRAY

2. FIBER CEMENT PANEL
2 x 10 VERTICAL

3. FIBER CEMENT PANEL
2 x 10 VERTICAL
SW 7064 - PASSIVE

4. SHIP LAP TIGHT-KNOT
CEDAR PRESTAINED WITH
(2) COATS OF SW 3540
MOUNTAIN ASH STAIN,
ROUGH SIDE OUT

5. CONCRETE PAVERS
24" X 24"

6. COMPOSITE DECKING



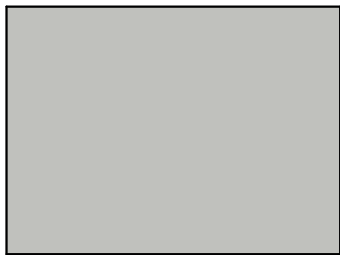
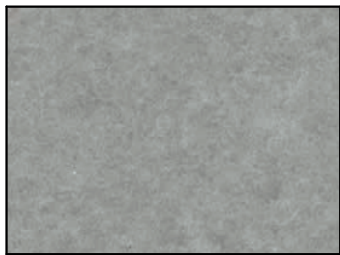
7

RENDERED COURTYARD NORTH ELEVATION

SCALE: 3/32" = 1'-0"



RENDERED ELEVATIONS



1.

METAL SIDING
STANDING SEAM, 12" WIDE
AEP SPAN - VERTICAL DESIGN
SPAN METAL ROOFING
24 GAUGE, SLATE GRAY
2.

FIBER CEMENT PANEL
2 x 10 VERTICAL
3.

FIBER CEMENT PANEL
2 x 10 VERTICAL
SW 7064 - PASSIVE
4.

SHIP LAP TIGHT-KNOT
CEDAR PRESTAINED WITH
(2) COATS OF SW 3540
MOUNTAIN ASH STAIN,
ROUGH SIDE OUT
5.

CONCRETE PAVERS
24" X 24"
6.

COMPOSITE DECKING



8

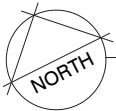
RENDERED COURTYARD SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



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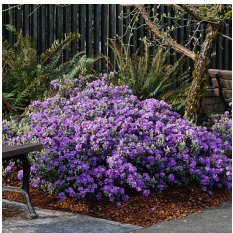
LANDSCAPE



RENDERED LANDSCAPE PLAN
SCALE: NTS



Sky Pencil Japanese Holly



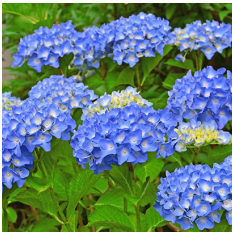
Ramapo Rhododendron



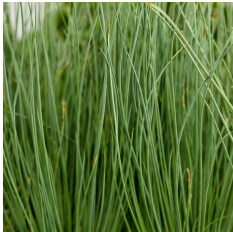
Big Blue Lilyturf



Slough Sedge



Nikko Blue Hydrangea



Soft Rush



Orange Rocket Barberry



Mahonia Soft Caress



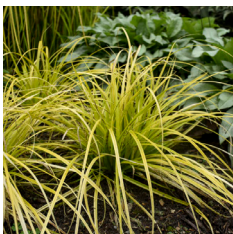
Lily of the Valley Bush



Fragrant Sarcococca



Goldenleaf Dogwood



Everillo Japanese Sedge

Material Legend



Permeable Pavers



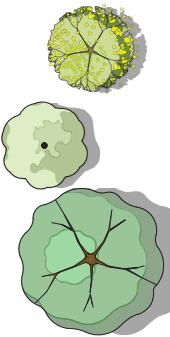
Concrete Pavers, or similar



Composite Decking, or similar

PLANT SCHEDULE .

TREES



BOTANICAL / COMMON NAME

SIZE

Acer japonicum 'Autumn Moon' / Autumn Moon Maple

1.5' Cal

Amelanchier x *grandiflora* 'Autumn Brilliance' / Autumn Brilliance Serviceberry

1.5' Cal

Cornus 'Eddie's White Wonder' / Eddie's White Wonder Dogwood Street Tree

2"- 2.5" Cal

SHRUBS



BOTANICAL / COMMON NAME

SIZE

Acorus gramineus 'Ogon' / Golden Variegated Sweetflag

1 gal

Berberis thunbergii 'Orange Rocket' / Orange Rocket Barberry

2 gal

Blechnum spicant / Deer Fern

1 gal

Carex oshimensis 'Everillo' / Everillo Japanese Sedge

1 gal



Cornus alba 'Baillhali' TM / Ivory Halo Dogwood

2 gal



Hakonechloa macra 'Aureola' / Golden Variegated Hakonechloa

1 gal



Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly

20" Ht min



Leucothoe fontanesiana 'Rainbow' / Rainbow Leucothoe

2 gal



Liriope muscari 'Big Blue' / Big Blue Lilyturf

1 gal



Mahonia eurybracteata 'Soft Caress' / Mahonia Soft Caress

2 gal



Pennisetum orientale / Oriental Fountain Grass

1 gal



Pieris japonica 'Cavatine' / Lily of the Valley Bush

3 gal



Prunus laurocerasus 'Mount Vernon' / Mount Vernon Laurel

2 gal



Rhododendron x 'Ramapo' / Ramapo Rhododendron

3 gal



Sarcococca hookeriana humilis / Dwarf Sweet Box

2 gal



Sarcococca ruscifolia / Fragrant Sarcococca

2 gal



Spiraea x *bumalda* 'Limemound' TM / Limeound Spirea

2 gal

BIORETENTION



Acorus gramineus 'Ogon' / Golden Variegated Sweetflag

1 gal



Carex obnupta / Slough Sedge

1 gal



Cornus alba 'Souchaultii' / Goldenleaf Dogwood

5 gal



Juncus effusus / Soft Rush

1 gal

VINES



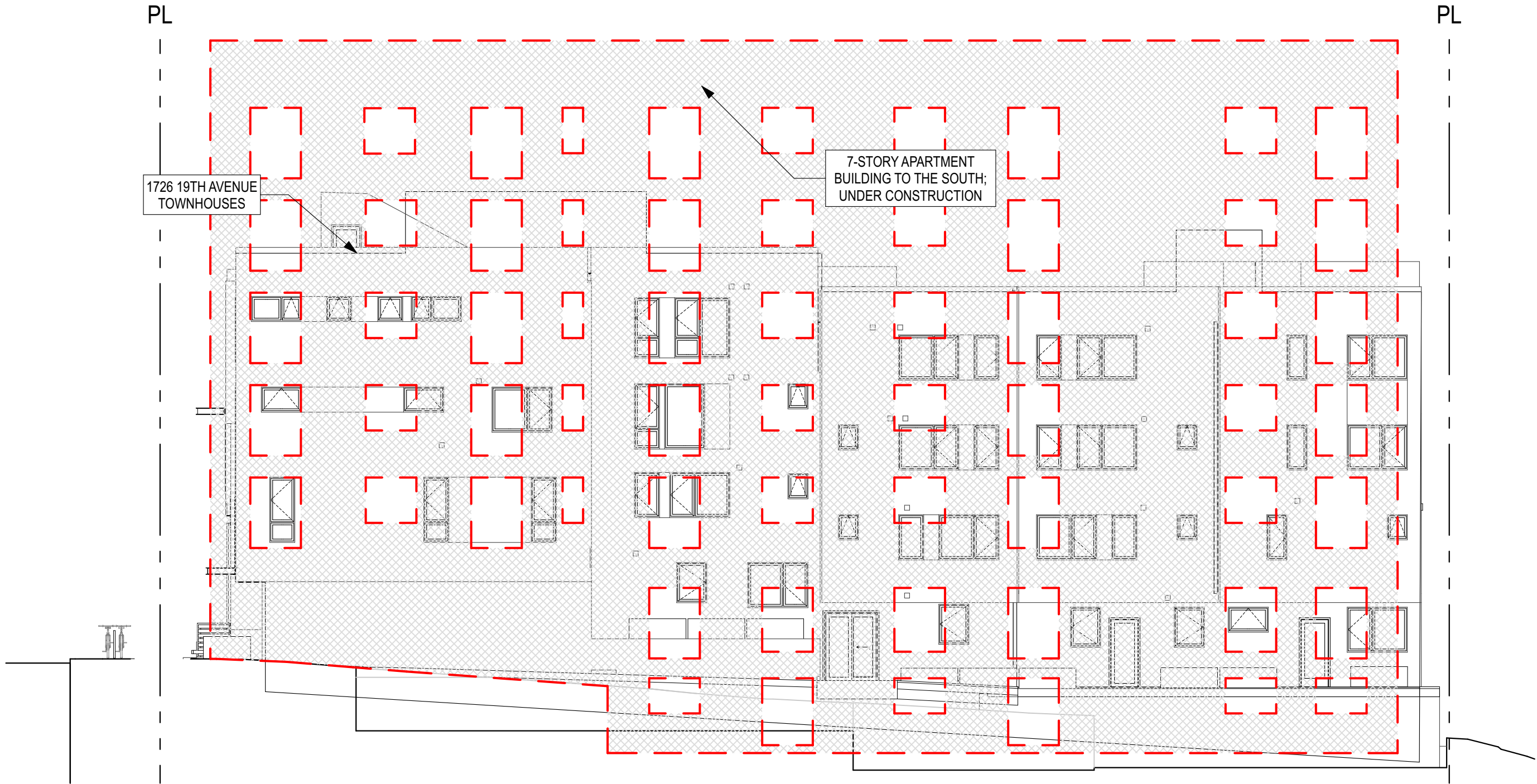
BOTANICAL / COMMON NAME

SIZE

Clematis armandii 'Snowdrift' / Evergreen Clematis

1 gal

PRIVACY ELEVATIONS

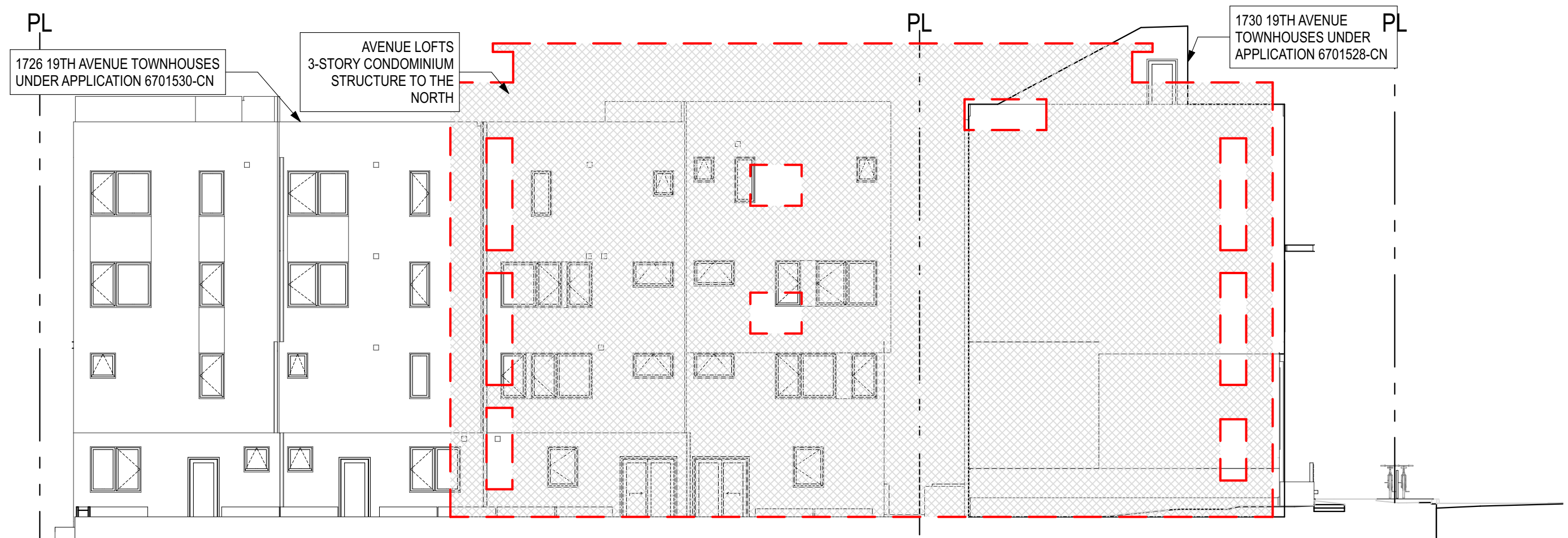


1

SOUTH PRIVACY ELEVATION

SCALE: 3/32" = 1'-0"





2

NORTH PRIVACY ELEVATION

SCALE: 3/32" = 1'-0"



PRIVACY ELEVATIONS



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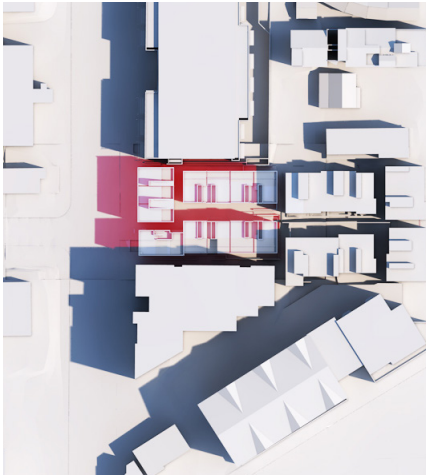
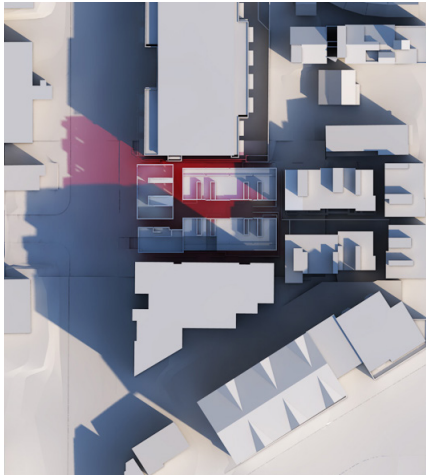
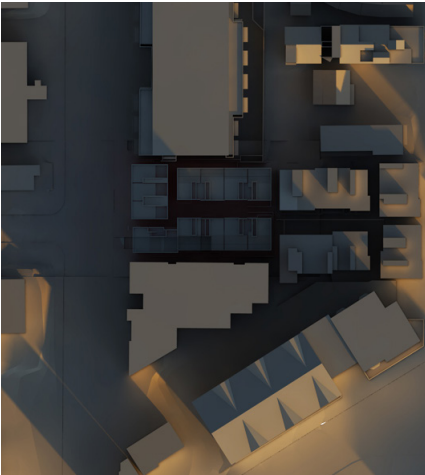
SHADOW STUDIES

DECEMBER 21

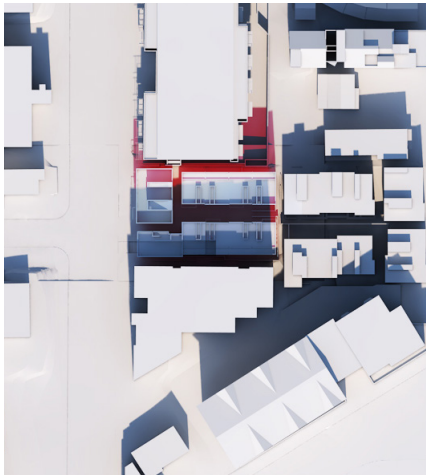
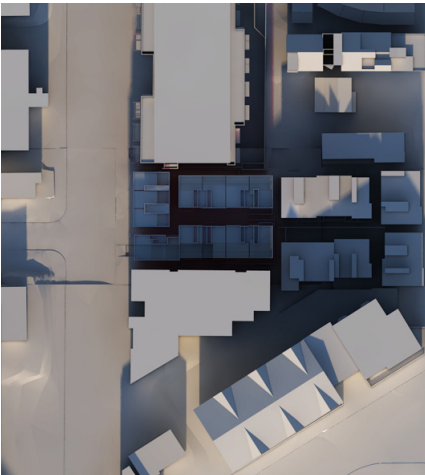
MARCH 21

JUNE 21

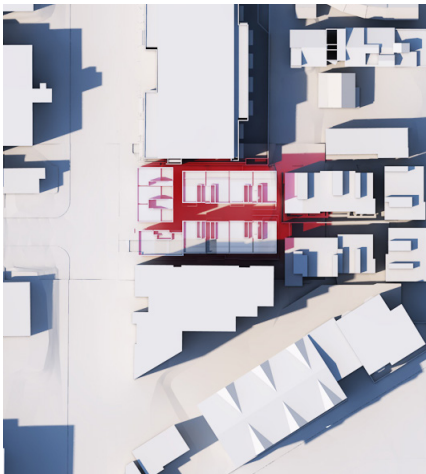
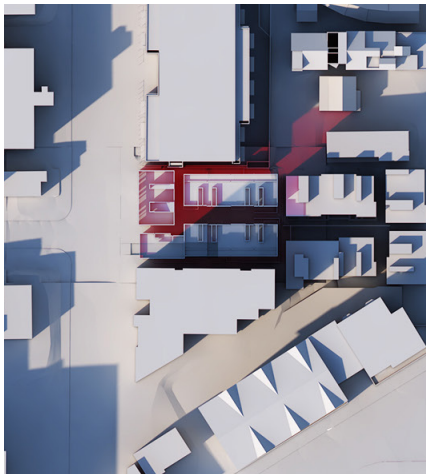
9 AM



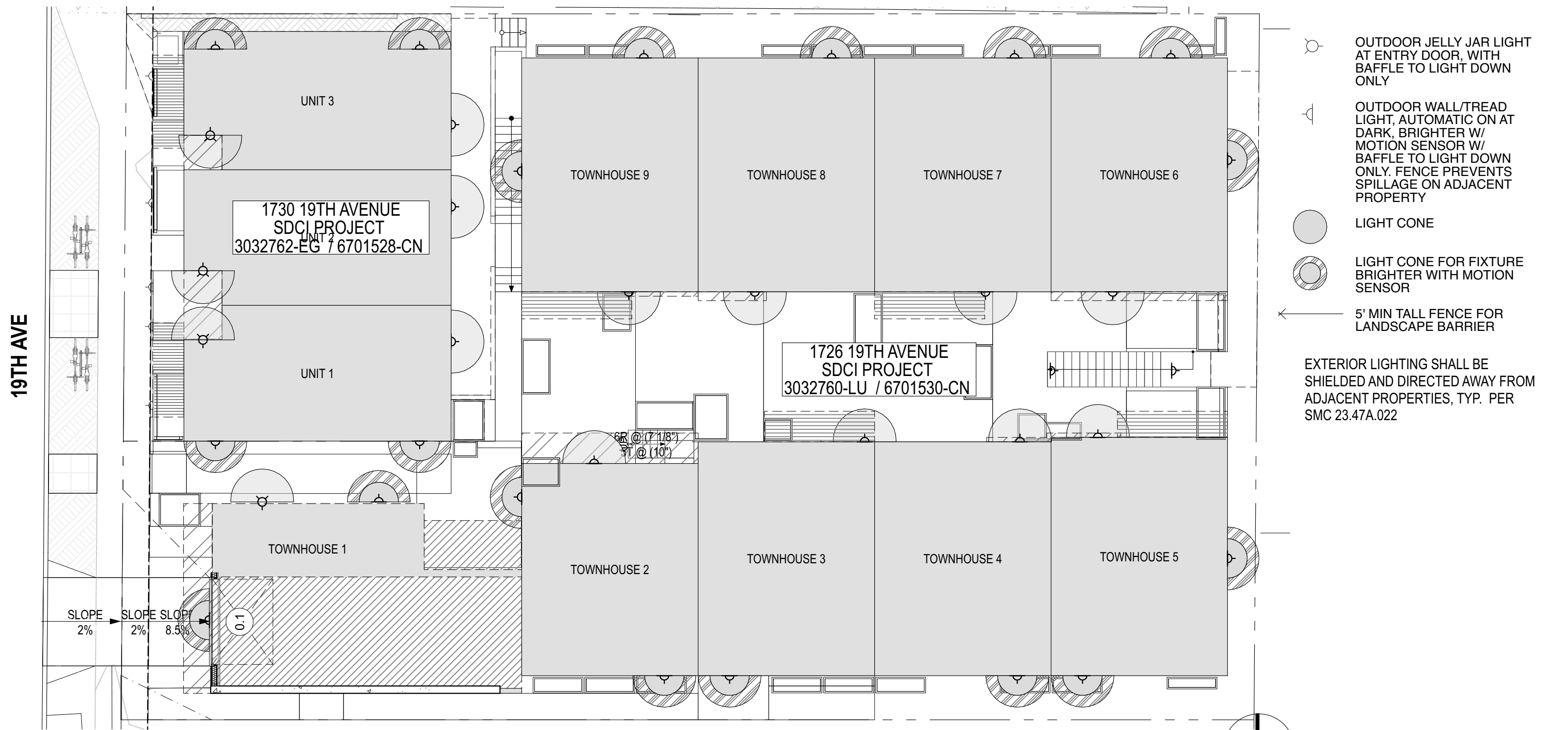
12 PM



3 PM



LIGHT AND GLARE PLAN



1

LIGHT / GLARE PLAN

SCALE: 3/32" = 1'-0"



COMPLETED WORK B9 ARCHITECTS



Townhomes at 208 25th Ave E



Townhomes at 414 12th Avenue E



Townhomes at 414 12th Avenue E



Townhomes at 1911 E Pine St



Rowhouses at E Mercer St



Townhomes on N 5th Ave

