

Thistle Court Apartments

April 23, 2018



DEVELOPMENT OVERVIEW & OBJECTIVES

Development Overview:

The proposed project is located at 4920 S Thistle Street, approximately one-half block west of Rainier Avenue South. The site is situated in the Rainier Beach Residential Urban Village and zoned LR-3.

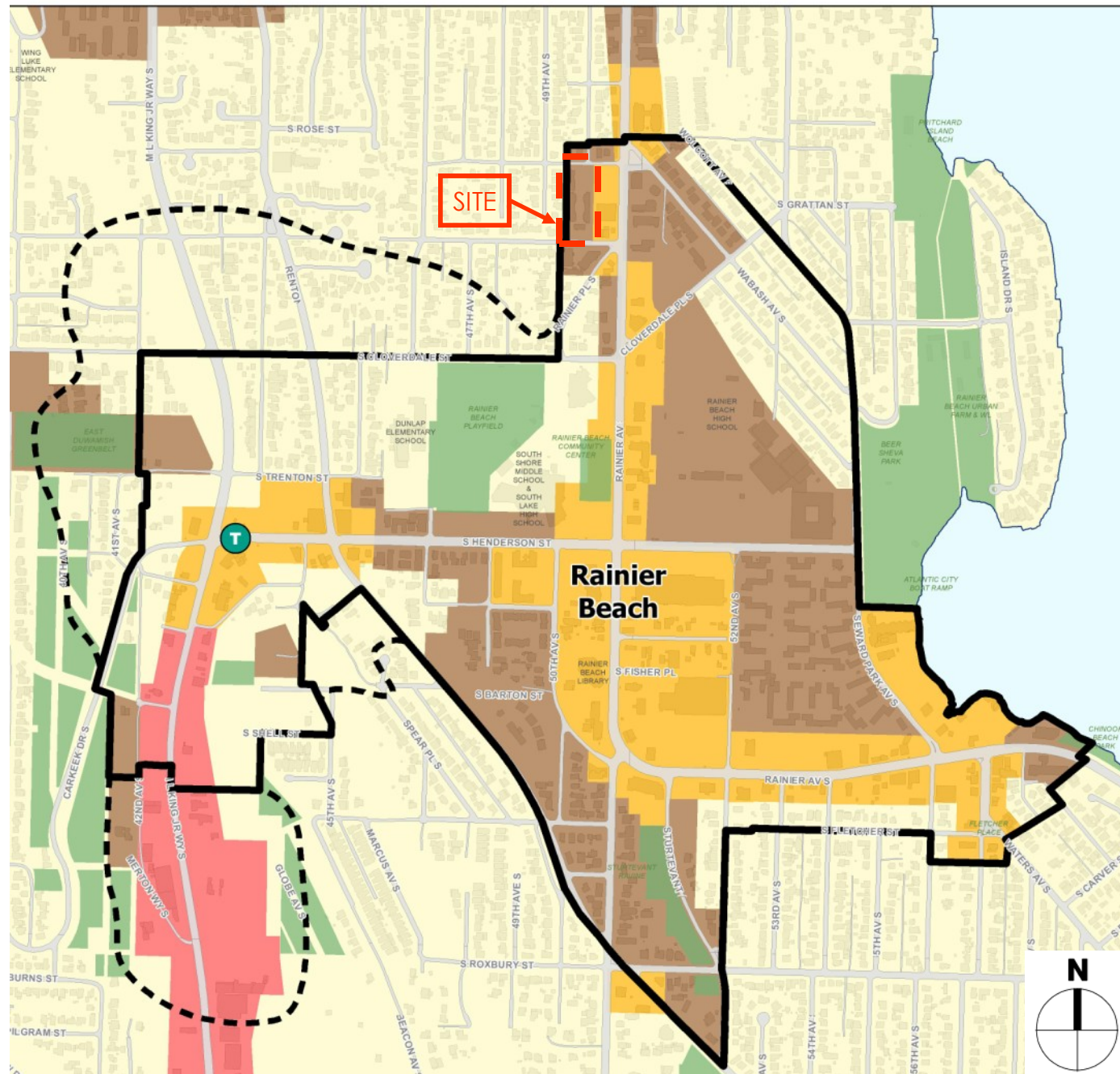
- (1) four-story Apartment building with a subterranean Parking Garage level for a total of approximately 70,000 SF
- Option A unit mix: (5) Studio units, (23) 1-Bedroom units and (30) 2-Bedroom units, for a total of 59 apartments
- Option B unit mix : (6) Studio units, (23) 1-Bedroom units and (25) 2-Bedroom units, for a total of 54 apartments
- Option C unit mix:(7) Studio units, (15) 1-Bedroom units and (33) 2-Bedroom units, for a total of 55 apartments
- Secured Parking: Options A & C offers 29 stalls. Option B offers 31 stalls
- Secure Bicycle storage for 15 bikes provided at Lobby level with access to the outdoors
- Family Play Area and outdoor recreation areas

Development Objectives:

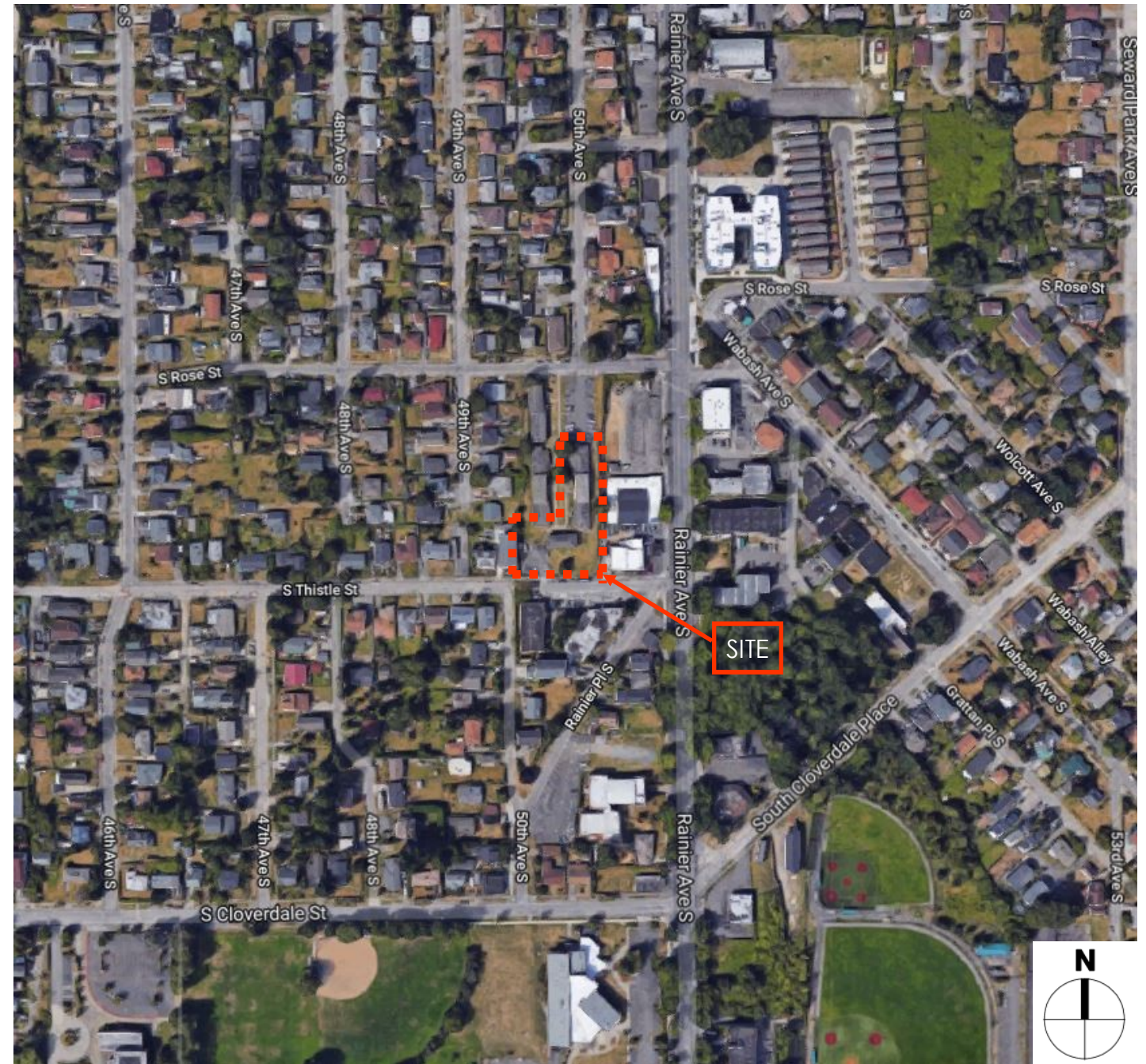
- Provide new, family-focused living options to the Rainier Beach community
- Contribute a significant new development to an otherwise unorganized and somewhat dilapidated street and neighborhood.
- Improve South Thistle Street's function, safety and appearance by connecting the segment of unimproved right of way, adding attractive landscaping and fostering visual connection between the building and streetscape
- The project's design and form draws upon successful cues from the neighborhood and urban design principles

RAINIER BEACH RESIDENTIAL URBAN VILLAGE

Rainier Beach Residential Urban Village





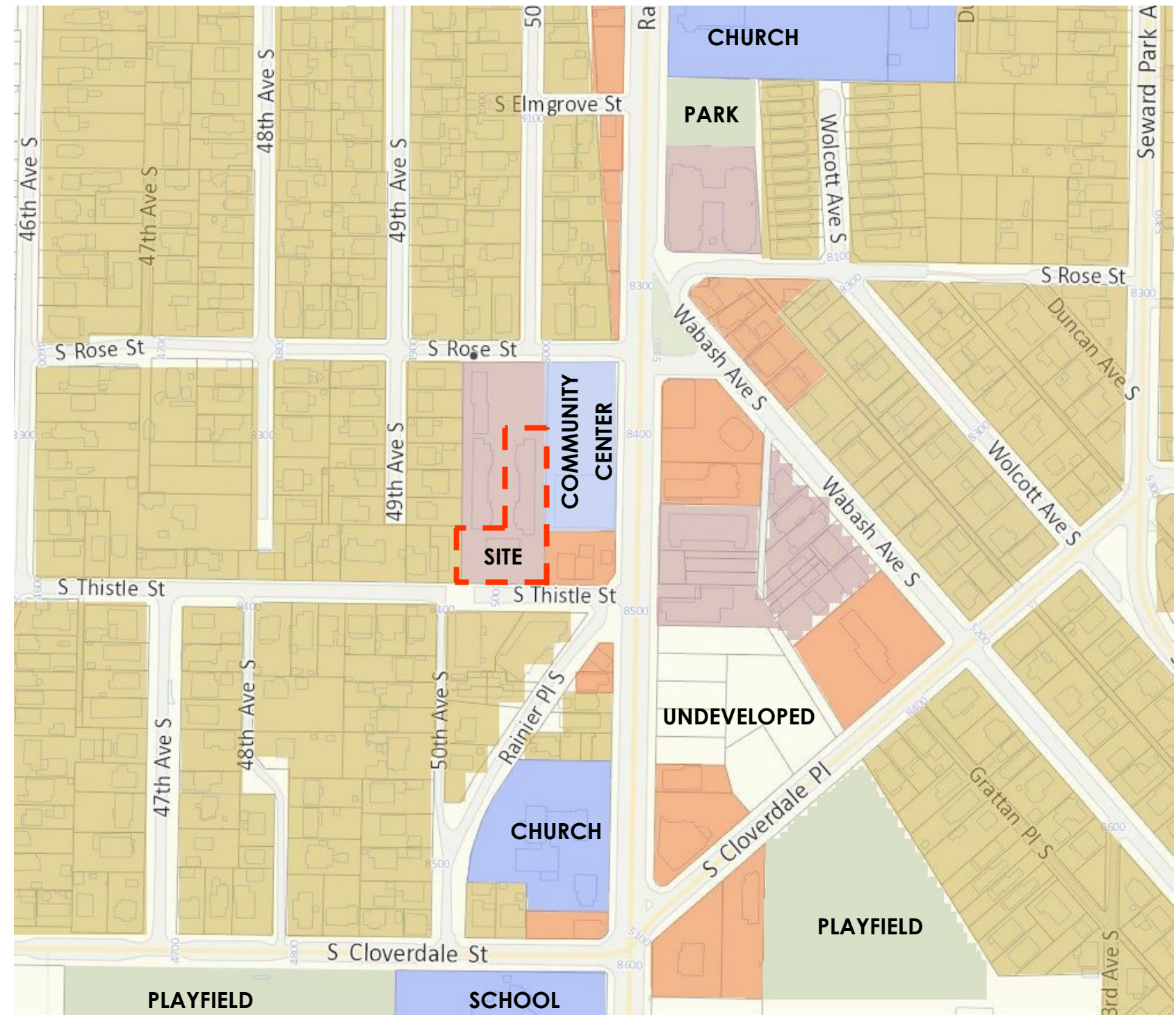
SITE : AERIAL VIEW



VICINITY MAP WITH EXISTING USES

Legend: Existing Land Uses

- | | |
|--|--|
|  Single Family Uses |  Playfield/Park Area Uses |
|  Multi-Family Uses |  Institutional Uses |
|  Commercial Uses | |

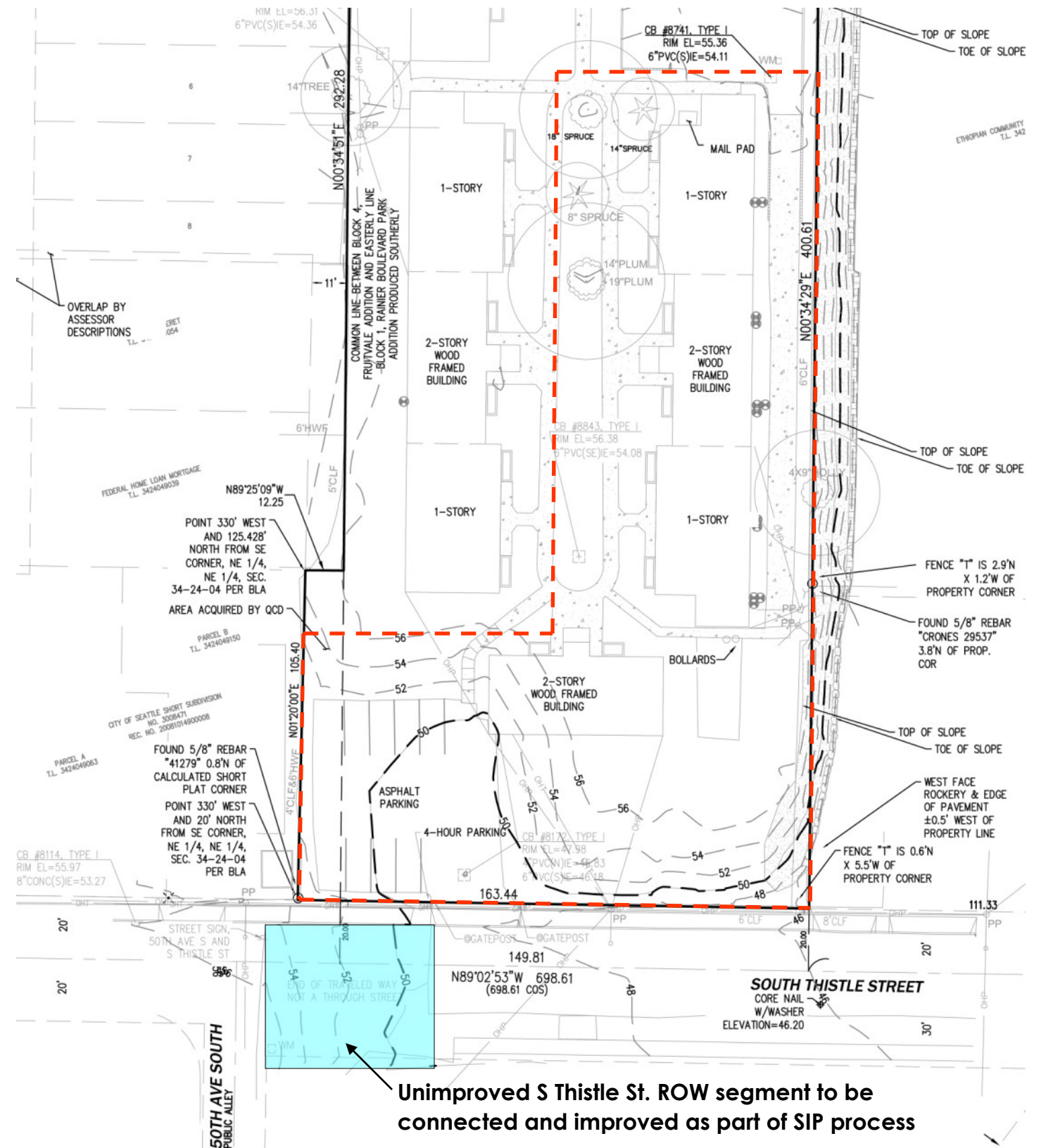


SITE PLAN

Tax ID Number 3424049061

Lot Size 28,592 SF

Note: Short Plat under SDCI review #011539-18PA indicated in plan : - - - - -



SITE AND STREETScape PHOTOS



SITE PHOTO LOCATIONS



7



1



2



3



4



5



6



8



9



10

S. THISTLE ST. STREETScape



RAINIER AVE S.

RAINIER PLACE S.

SOUTH THISTLE STREET - FACING SOUTH

UNIMPROVED R.O.W.
SEGMENT ON SOUTH
THISTLE STREET

PROJECT SITE



UNIMPROVED R.O.W.
SEGMENT ON SOUTH
THISTLE STREET

SOUTH THISTLE STREET - FACING NORTH

RAINIER AVE S.

LOCAL DESIGN PRECEDENTS



Mixed Use and Mid-Rise Apartments



Low-Rise Apartments



Single Family



Duplexes



Commercial



Industrial

LOCAL DESIGN PRECEDENTS



Medhane-Alem Evangelical Church



Emerald City Bible Fellowship



South Lake High School



Life Change Church



Seward Park Apartments



Nina Hair Salon

LOCAL MULTIFAMILY DESIGN PRECEDENTS



Rose St Apartments : Note façade modulation, roof lines, fiber cement cladding and simple geometry



Rose St Apartments : Note façade modulation, roof lines, fiber cement cladding and simple geometry



Valley Commons Apartments : Note simple geometry and Regular fenestration patterns



Emerald City Commons : Note façade modulation, roof lines, fiber cement cladding and simple geometry



Emerald City Commons : Note façade modulation, roof lines, fiber cement cladding and simple geometry



Emerald City Commons : Note façade modulation, roof lines, fiber cement cladding and simple geometry

ZONING DATA & SUMMARY

Seattle Land Use Section	Code	Proposed
23.45.510 Floor Area Ratio	<p>Maximum FAR in LR3 for apartments if inside an urban village: 1.5 or 2.0 if meeting standards of 23.45.510. C.</p> <p>Floor Area exempt from FAR for apartments in LR zones which qualify for the higher FAR limit: Portions of a story that extend no more than 4' above existing or finished grade whichever is lower</p>	<p>Lot area: 28,592 SF Maximum FAR allowed: 28,592 SF x 2.0 = 57,184 SF FAR proposed: Option A: 54,687 SF Option B: 53,970 SF Option C: 56,031 SF Note: The majority of Parking area FAR is exempt.</p>
24.45.512 Density Limits	LR3 density limit for apartments: 1 unit in 1,200 SF of lot area or no limit if meeting standards of 23.45.510.C.	Maximum density allowed: 28,592 SF / 1,200 SF = 24 units or No Limit Units Proposed: Option A : 59 Option B : 54 Option C: 55
23.45.514 Structure Height	Maximum base height for apartments for principle structures is 40' in LR3 zones inside urban villages provided the lot is separated by 50' from any single-family zoned lot. Stair penthouses allowed to extend 15' above the maximum allowed base height. 50' setback from Single Family Zones above 30'	Proposed: building heights shall comply with code requirements
23.45.518 Setbacks	<p>Apartment Setbacks Front setback: 5' minimum Rear setback: 15' minimum Side setback for facades 40' or more in length: 7' average, 5' minimum</p>	<p>Front setback: 3'-1" at Lobby mass (all Options) Rear setback: 15' minimum, 12' at Options A, B & C (N. wall W. wing only) Side setback for facades more than 40': 5'-0" minimum, average 7'-0" minimum. (all Options compliant)</p>
23.45.522 Amenity Area	<p>Minimum amenity area for apartments: 25% of lot area For apartments a minimum of 50% of the amenity area is required on ground level and shall be common amenity area. No common amenity area shall be less than 250 SF and the amenity area shall have a minimum dimension of 10'.</p>	<p>Minimum required Amenity area: 28,592 SF x 25 % = 7,148 SF <u>Proposed:</u> Option A: 11,027 SF of common amenity area Option B: 11,074 SF of common amenity area Option C: 11,179 SF of common amenity area</p>
23.45.514 landscaping Standards	Green Factor Requirement: Green Factor score or 0.6 or greater	Proposed: landscaping shall achieve a minimum Green Factor score of 0.6
23.45.527 Structure Width & Façade Length	<p>Apartment requirements: Maximum allowed structure width: 150' Maximum façade length within 15' of a side lot line: 65% or lot depth</p>	<p>Proposed maximum structure width: 140' Maximum allowed façade length: 260' x 65% = 169' Proposed: Option A: 163' Option B: 180' Option C: 163'</p>
23.54.015 Table B Parking for Residential Uses	Required Parking for residential uses in multi-family zone within an urban village if use is located with 1,320 feet to the nearest transit stop of a street with frequent transit service: no minimum requirement	<p>No parking required. 29 parking stalls are proposed within Parking Garage for Options A & C, 31 stalls for Option B</p>
23.54.015 Table D Parking for Bicycles	For multi-family structures 1 bike stall per 4 dwelling units	Total required and proposed: 15 bicycling parking stalls within Parking Garage level

DESIGN GUIDELINES

DESIGN GUIDELINE	DESCRIPTION	HOW THE DESIGN GUIDELINE IS ADDRESSED
Context and Site		
CS1 Natural Systems and Site Features	B. Sunlight and Natural Ventilation	By orienting the building on a North-South axis, all Options take advantage of the sun's path. The building's orientation manages southern solar gain from to the greatest extent possible. Natural ventilation will be maximized with large openings including sliding doors and Juliette railings for Options B & C.
CS1 Natural Systems and Site Features	D. Plants and Habitat	Existing on-site landscape is largely grass. Proposed landscape will be an attractive, varied and low-maintenance plan. Landscape shall be designed to achieve a Green Factor score of 0.6 minimum per SMC requirements. The alignment of the structure to the eastern property line allows maximum landscaped open space along the western property line, opening the skyline and amenity areas to the adjacent SF5000 zone.
CS2 Urban Pattern and Forms	D. Height, Bulk and Scale	The neighboring buildings predominantly low rise multi-family structures mostly 2 stories in height as well as single family homes. All proposed Options are 4-story structures utilizing the allowable heights and façade lengths for this zone. The proximity of the adjacent SF5000 zone requires that the forth floor sets back in plan in plan 50'. This reduction in bulk and scale alleviates impacts to existing single family structures west of the site. Modulation of the planes and parapet heights reduces the perception of scale. Roofline parapets are held as low as practicable to reduce the perception of height.
Public Life		
PL1 Connectivity	B. Walkways and Connections	All proposed Options include the connection of the disconnected segment within Thistle Street along the frontage. This connection will improve access for the neighborhood at large. Sidewalk improvements including street trees will link on-site pathways and enhance and improve the pedestrian experience.
PL2 Walkability	A. Accessibility	All proposed options provide direct and equal access to the building from the street, garage and site for all inhabitants. Preferred Option C features an enhanced entry form, entries are sheltered by large canopies connected to the sidewalk designed as a semi-public transition/seating area.
PL3 Street Level Interaction	A. Entries	All Options propose covered entries using canopies and material accents to make entry points identifiable and visually connected to the street. Preferred option C has an articulated Lobby form with a longer, enhanced canopy form. Semi public seating areas at the Lobby sidewalk connections encourage streetscape interaction.
PL4 Active Transportation	B. Planning ahead for Bicyclists	All Options propose a secured bike storage room with bike racks inside the building. The bike storage room is equally easily accessible from the exterior of the building and the Parking Garage.

DESIGN GUIDELINES

DESIGN GUIDELINE	DESCRIPTION	HOW THE DESIGN GUIDELINE IS ADDRESSED
Design Concept		
DC2 Architectural Concept	A. Massing	All Options explore canopies at entries, modulated facades and stepped massing at forth floor. Options B & C include Juliette balconies, All Options include an enhanced lobby and common areas within the main entry, adjacent to the sidewalk.
DC2 Architectural Concept	B. Architectural Façade Composition	The modulation in all Options lend itself to application of various façade materials and colors. A variety of materials and colors will be selected and applied on all facades.
DC3 Open Space Concept	B. Multifamily Open Space	Proposed Open Space is configured to be contiguous and maximized to accommodate a variety of uses.
DC4 Exterior Elements and Finishes	A. Exterior Finish materials	The proposed cladding of lap and panel siding takes cues from existing adjacent existing structures. A vibrant color palette is being explored, taking cues from local existing color schemes.
DC4 Exterior Elements and Finishes	D. Trees, Landscape and Hardscape materials	The proposed landscape will be a variety of plant and tree species, hardscape materials will be selected to compliment the building and address its context. Concepts of Place Making and security are elements that will inform the Exterior design. A minimum Green Factor score of 0.6 will be achieved.

SITE CONSTRAINTS: DEAD END RIGHT OF WAY



Site

Dead End at S Thistle to be connected and improved

Dead End from S Thistle St



Dead End from S Thistle St



Trash dumping along sidewalk at Dead End



Existing streetscape experience includes trash, abandoned cars and uneven sidewalk






View of Dead End from S 50th St



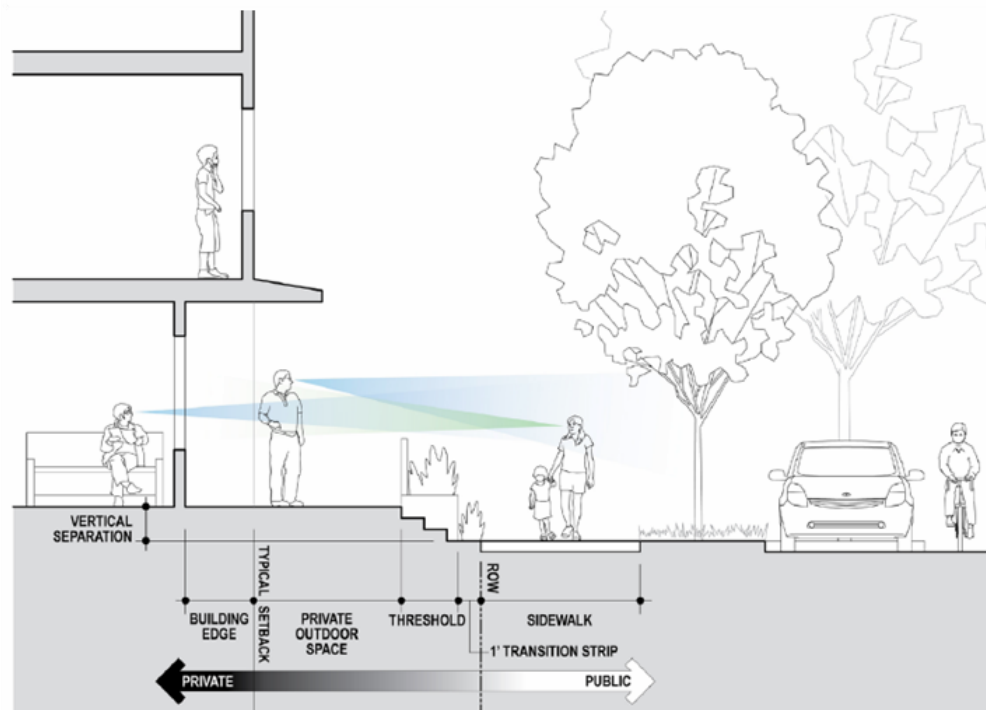
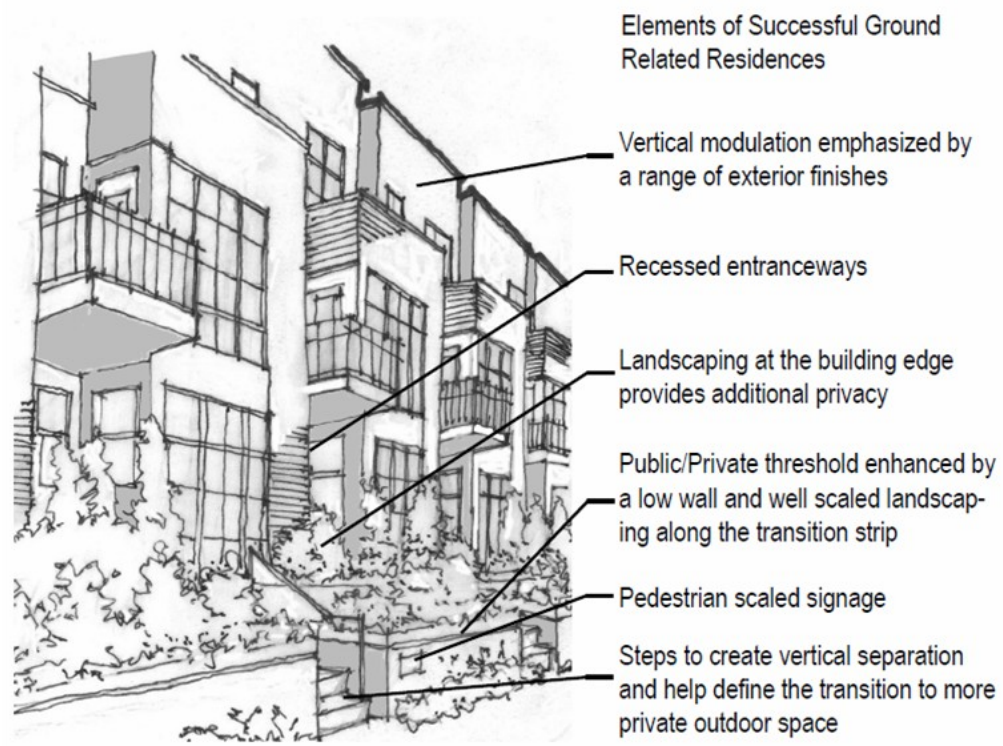
Encampment and history of crime activity adjacent to Dead End

ARCHITECTURAL MASSING CONCEPTS

OPTION ANALYSIS : COMPARISON

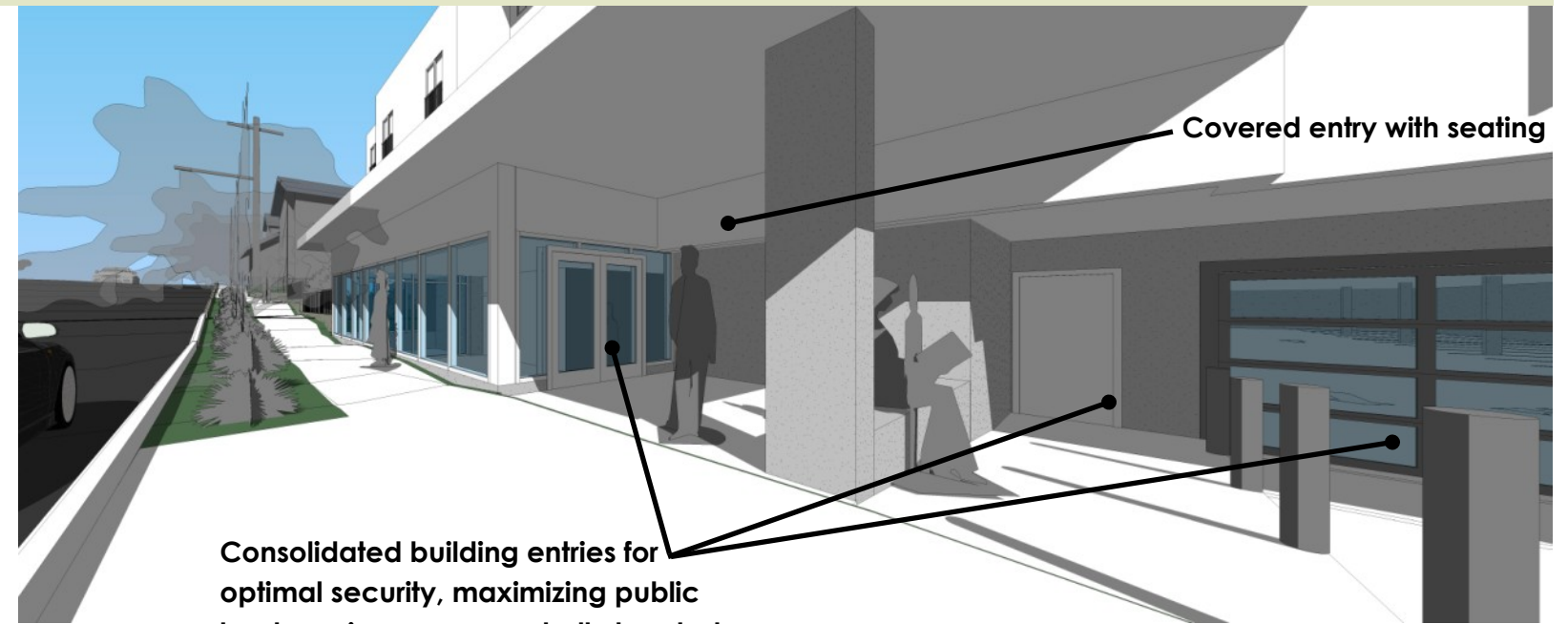
	3D VIEW	UNIT MIX	FAR & TOTAL GFA	AMENITY AREA	DEPART.	OPPORTUNITIES	CONSTRAINTS
OPTION A		Total number of units: 59 units 23 1-Bedroom units 30 2-Bedroom units 5 Studio units	Max FAR allowed: 75,184 SF GFA FAR proposed: 54,687 SF GFA	Required: 7,148 SF Proposed: 11,027 SF	Yes	<ul style="list-style-type: none"> • Highest unit yield • Expressive street-facing Lobby mass adjacent to sidewalk • Common Roof Deck at Floor 4 • Private balconies engage play area 	<ul style="list-style-type: none"> • No Juliette balconies • Departures required • Irregular lot dimensions and topography • Unimproved S Thistle St segment along frontage
OPTION B		Total number of units: 54 units 23 1-Bedroom units 25 2-Bedroom units 6 Studio units	Max FAR allowed: 75,184 SF GFA FAR proposed: 53,970 SF GFA	Required : 7,148 SF Proposed: 11,074 SF	Yes	<ul style="list-style-type: none"> • Southwestern amenity open space engages Thistle Street frontage • Juliette balconies for façade texture • Expressive street-facing Lobby mass with roof decks above engage streetscape • Common Roof Deck at Floor 4 • Private balconies engage play area 	<ul style="list-style-type: none"> • Long building skyline visible from Rainier Avenue • Departures required • Irregular lot dimensions and topography • Unimproved S Thistle St segment along frontage
OPTION C : PREFERRED		Total number of units: 55 units 15 1-Bedroom units 33 2-Bedroom units 7 Studio units	Max FAR allowed: 75,184 SF GFA FAR proposed: 56,031 SF GFA	Required: 7,148 SF Proposed: 11,179 SF	Yes	<ul style="list-style-type: none"> • Expressive street-facing Lobby mass with roof decks above engage streetscape • Juliette balconies for façade texture • Common Roof Deck at Floor 4 • Private balconies engage play area 	<ul style="list-style-type: none"> • Departures required • Irregular lot dimensions and topography • Unimproved S Thistle St segment along frontage

DESIGN STRATEGIES - ENHANCED STREETSCAPE INTERACTION

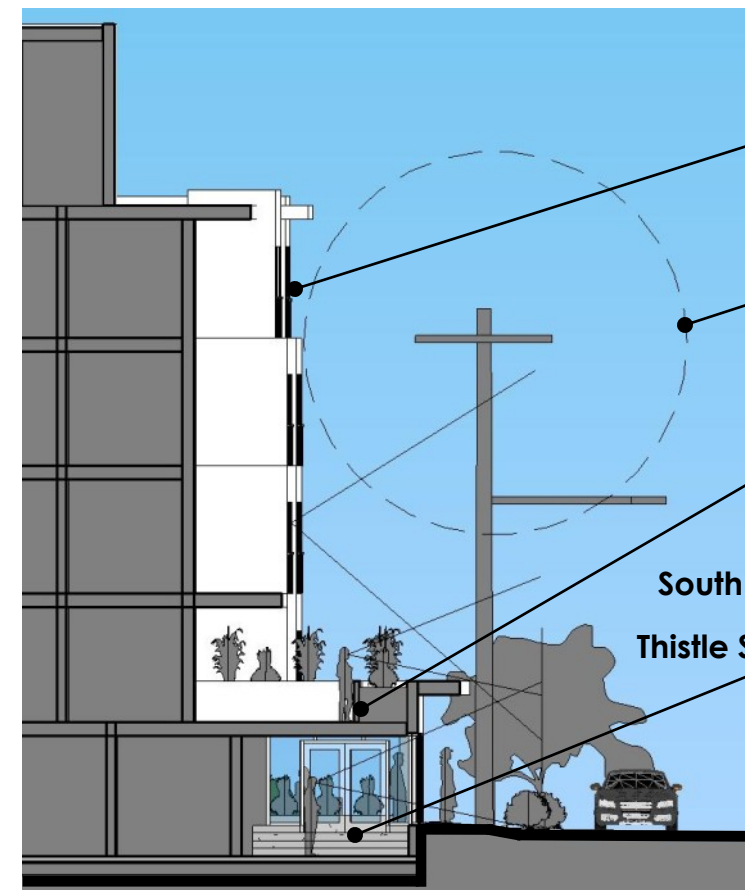


Successful ground related housing employs vertical and horizontal separation to achieve an appropriate transition from public to private property.

Façade Principles

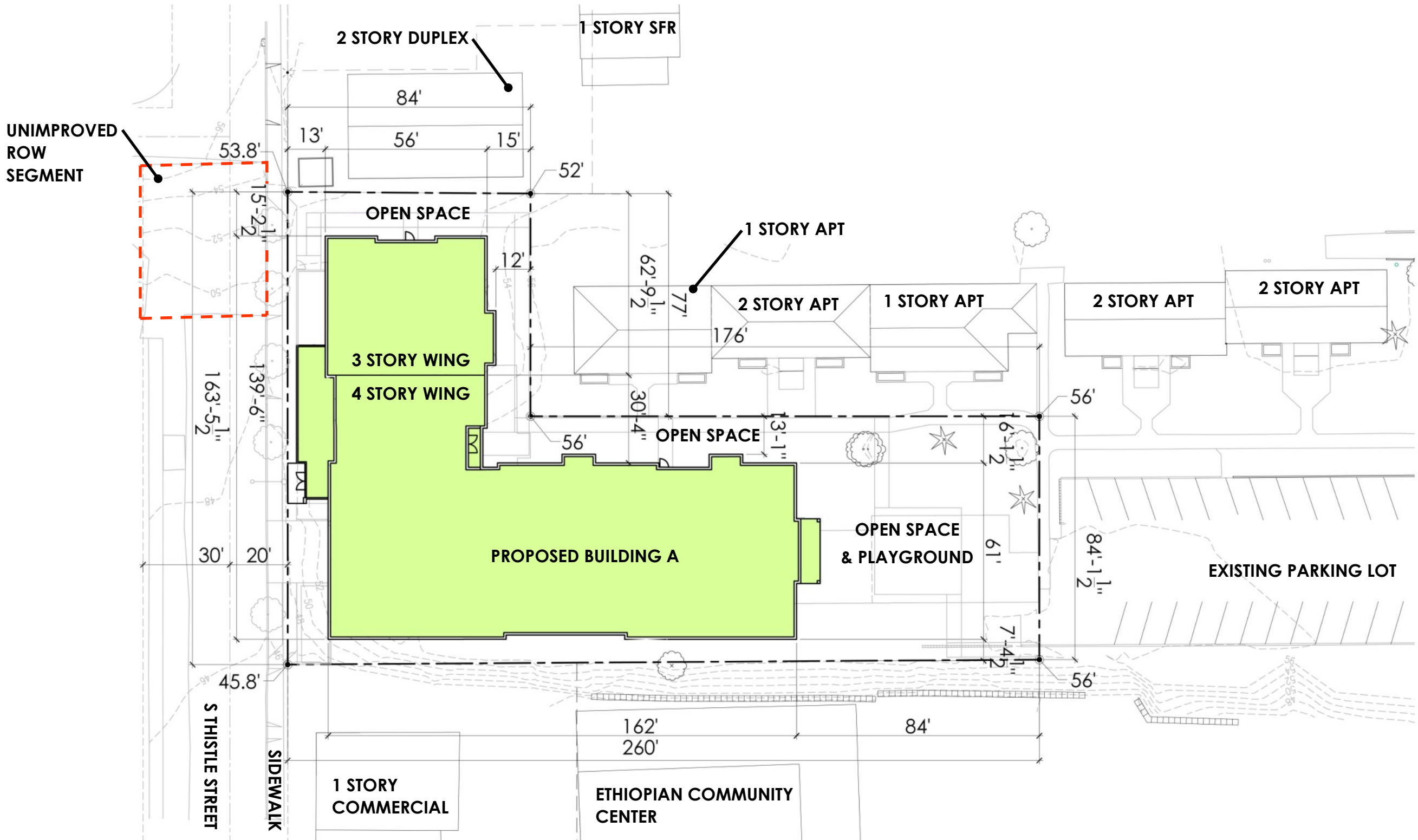


Option C - Streetscape at Lobby



Option C - Lobby to Streetscape Section

OPTION A : SITE DIAGRAM



OPTION A : SITE OVERVIEW

Residential massing

Elements face SF zone

Existing Apartments to remain

Proposed Option A

Adjacent Duplex and Single

Family structures in SF 5000

Zone

Family Play Area and Open Space

Adjacent Commercial structures

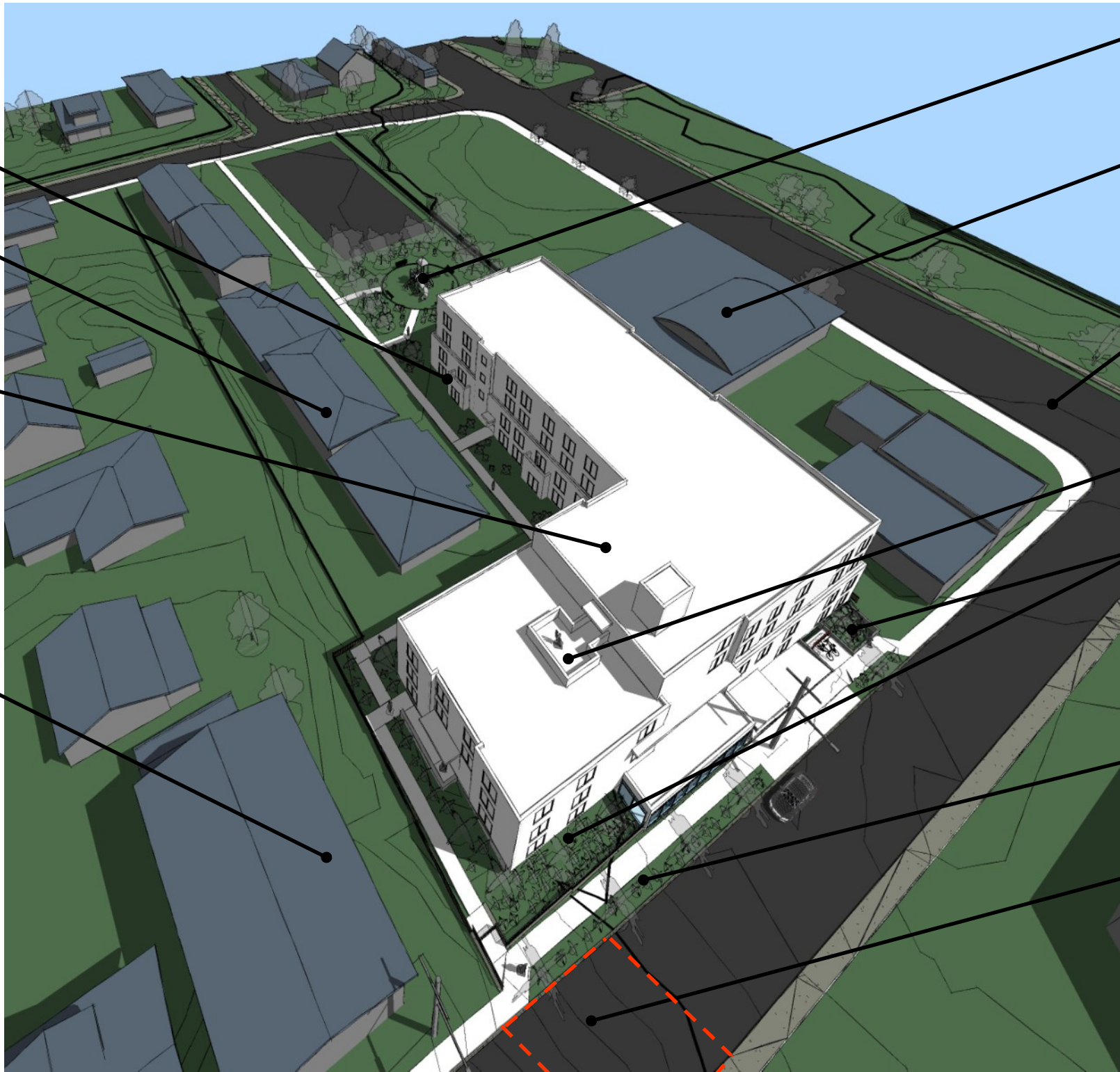
Rainier Ave South

Common Roof Deck area

Landscaped buffer zones at west and east ends of site

New sidewalk, street trees and planter strip along frontage

New segment of South Thistle Street to be connected and improved



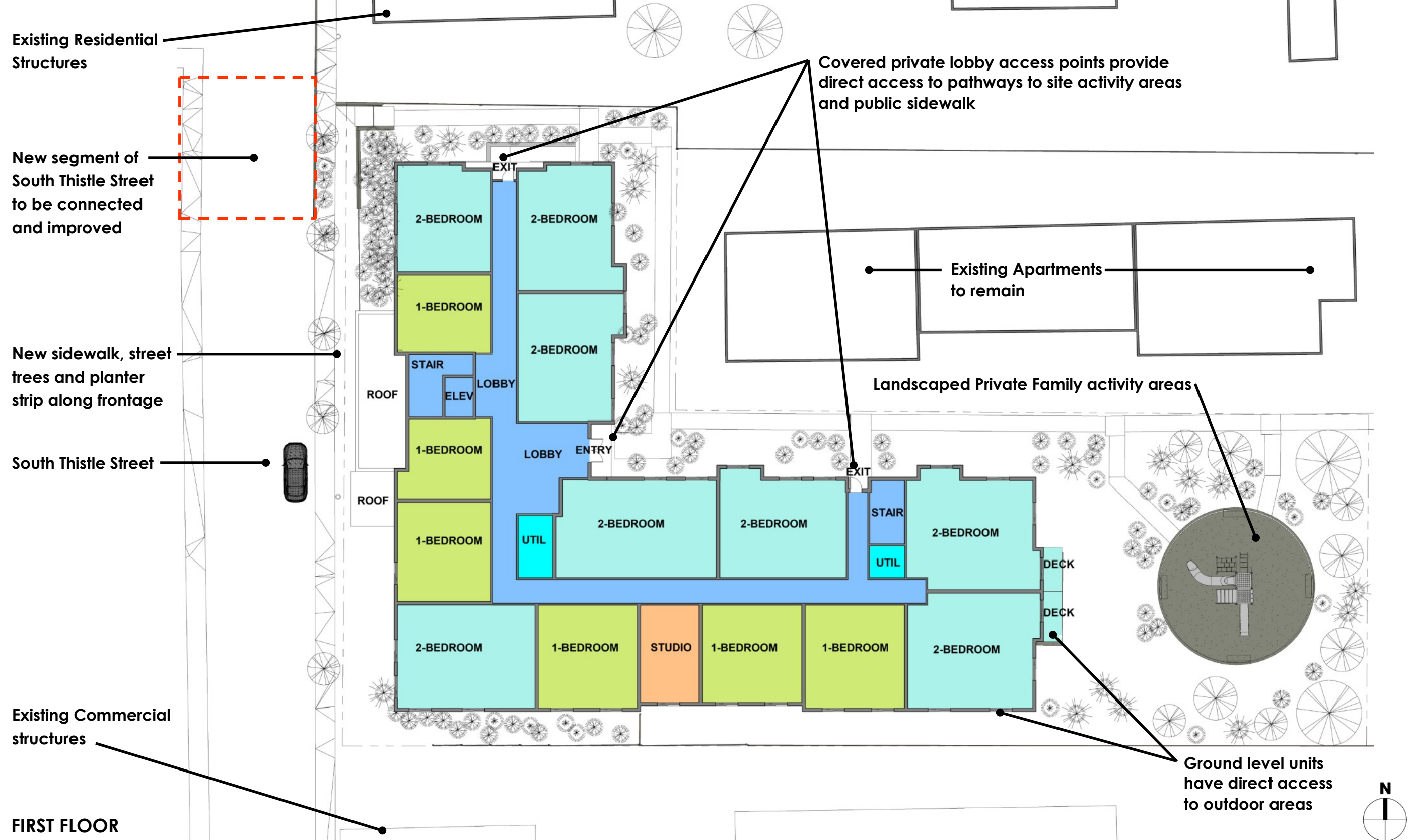
OPTION A



PARKING GARAGE

ARCHITECTURAL MASSING CONCEPTS

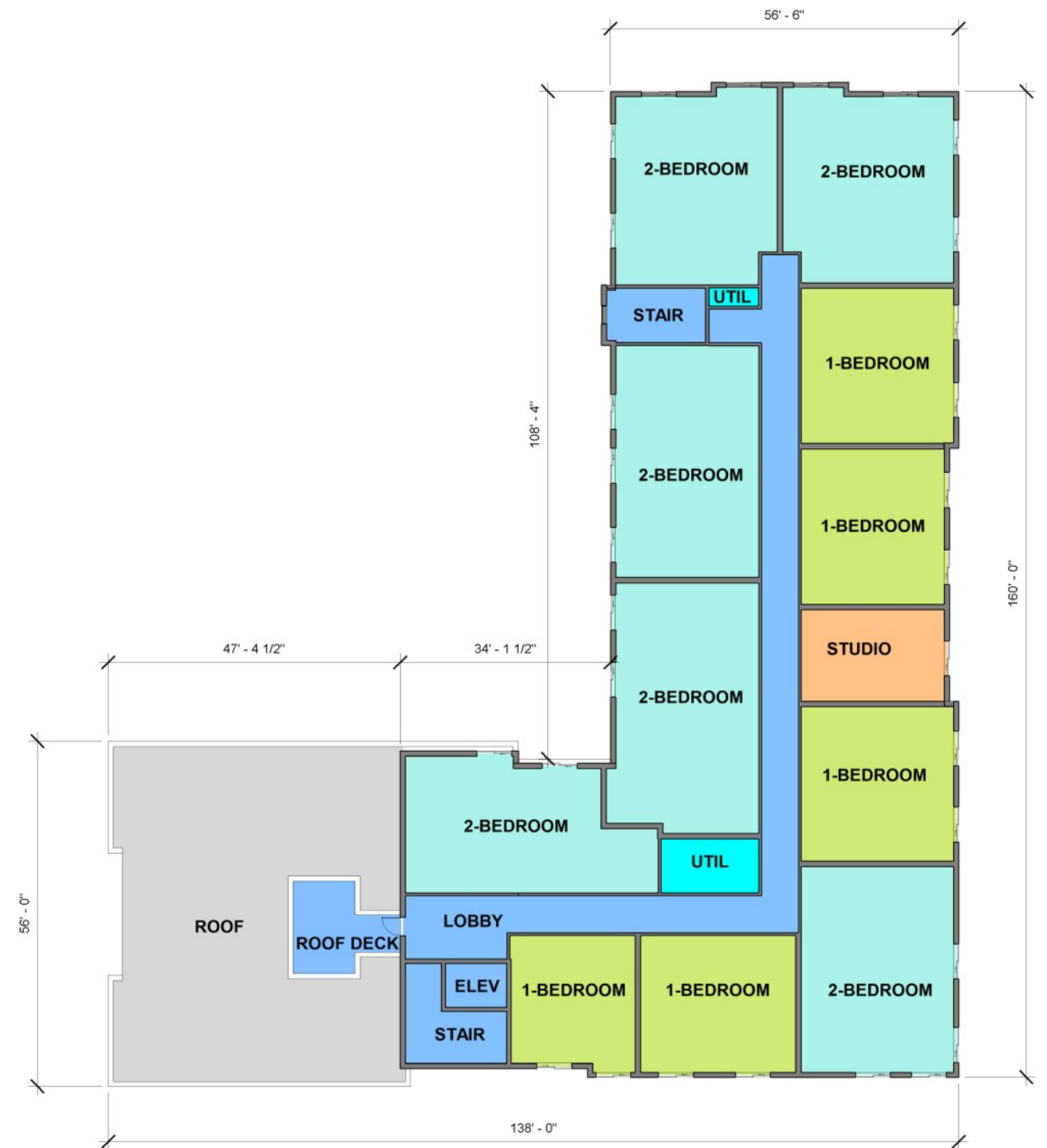
OPTION A



OPTION A



SECOND & THIRD FLOOR



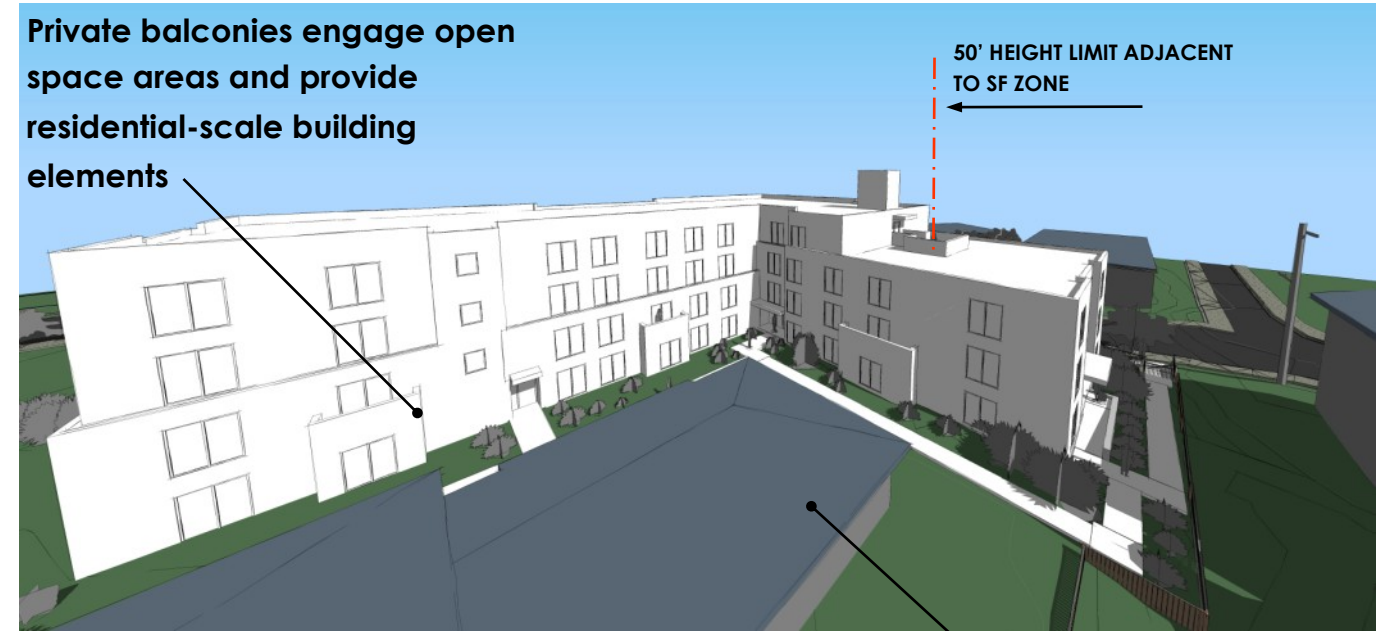
FOURTH FLOOR

ARCHITECTURAL MASSING CONCEPTS

OPTION A



Northwest 3D Street View



Southeast 3D View

EXISTING APARTMENT BUILDING TO REMAIN



Southwest 3D View

Private balconies
Engage open space
areas and provide
residential-scale
building elements

Private play and
Family activity areas



Northeast 3D Street View

OPTION A : DESIGN EVOLUTION

Current Proposal



Building A - Proposed Massing

- Simple parapet set at minimal height
- Façade step at floor 3 wraps building
- Side facades have recessed planes to break up mass
- Large plane modules separate overall mass into simple elements
- Expressive Entry Lobby massing

Design Evolution



Building A - Presentation #1 Massing

- Continuous parapet height
- Small façade modules one pop-out per unit
- Limited façade expression at Entry Lobby
- Garage door in wall plane

DRB & Public Concerns from Previous Meeting:

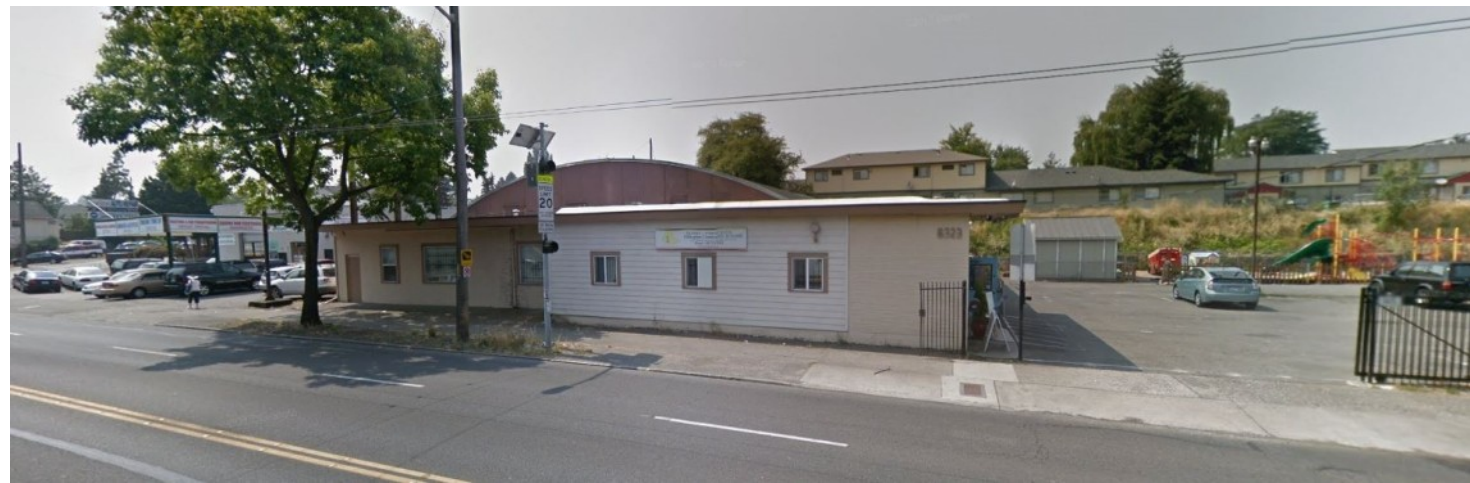
- Concerned with Street-facing façade design
- Concerned with ground-level uses, want engagement at street level
- Requested Lobby form extends to back of sidewalk to provide interaction with public streetscape
- Requested providing interior space along Thistle Street to encourage interaction with public streetscape
- Concerned with building's response to existing nearby development
- Requested massing step back at upper levels
- Requested façades facing adjacent residential development implement residential-scaled elements
- Requested building and residential units interact with on grade amenity area and playground
- Requested additional massing studies showing less modulation
- Concerned about the location of service doors along the street-facing Façade
- Concerned with activation of open space

OPTION A : DESIGN EVOLUTION

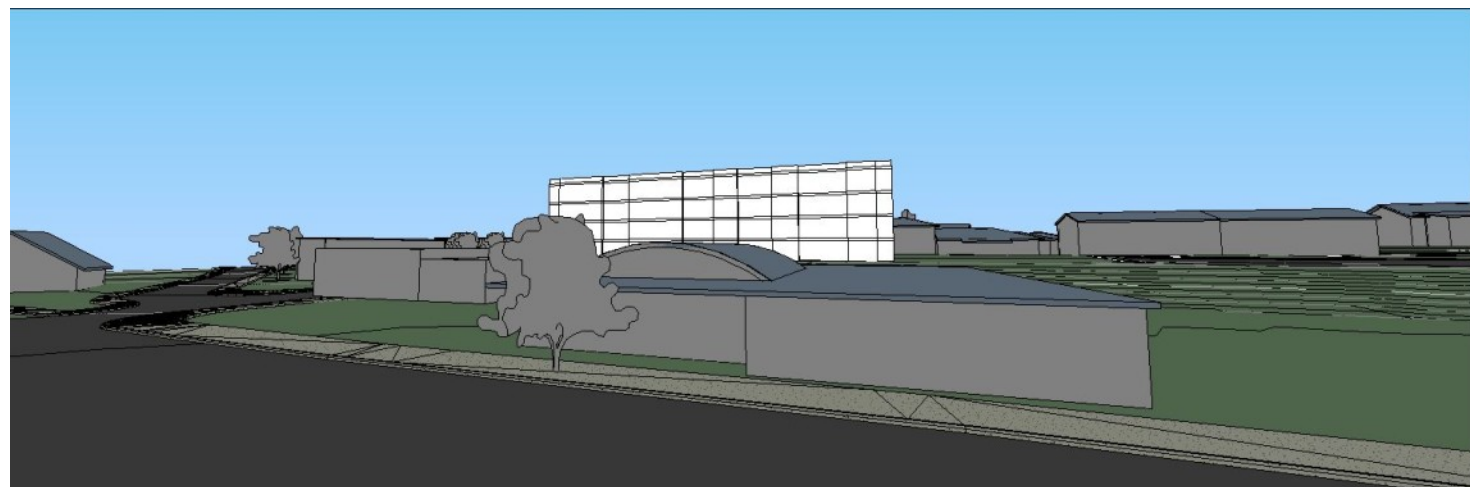
Current Proposal
Presentation #1



View from Rainier Ave S
Current Massing



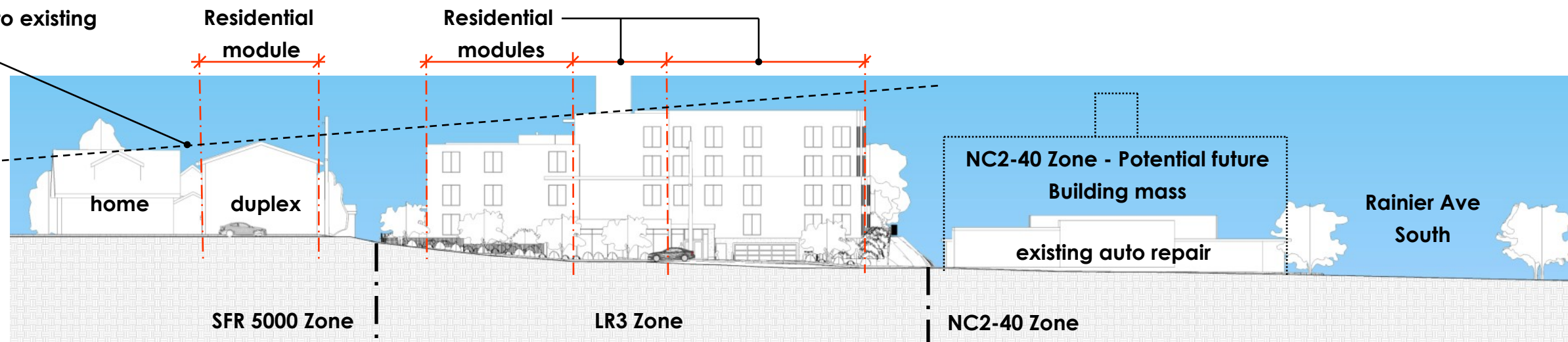
Existing view from Rainier Ave S



View from Rainier Ave S
Presentation #1 Massing

OPTION A : STREETSCAPE DIAGRAMS

Height steps down to existing residential area




S Thistle Massing Diagram



Building A - S Thistle Streetscape Elements

OPTION A : DESIGN CONCEPTS



Roof element at façade plane set back to accentuate entry

Expressed Entry and Lobby mass at back of sidewalk. Common areas and Office along sidewalk/storefront

Simple Elevator tower form in light color

Fiber cement lap siding at accent wall planes

Material and color change proposed at façade set back to create distinct "base" and "upper" forms

**Fiber cement panel at dominant wall planes:
Base Floors: Dark color
Upper Floors: Light color**

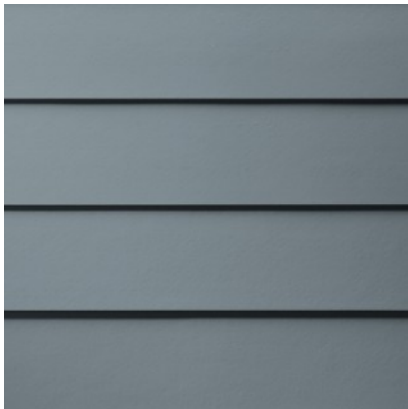

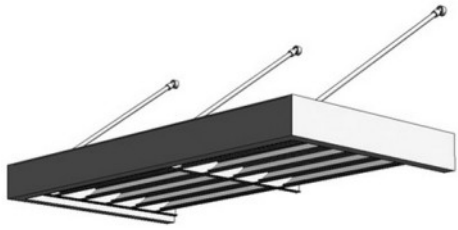

All service and trash doors have been removed from street facing facade

Garage door is recessed from main wall plane to minimize its appearance under shadow line

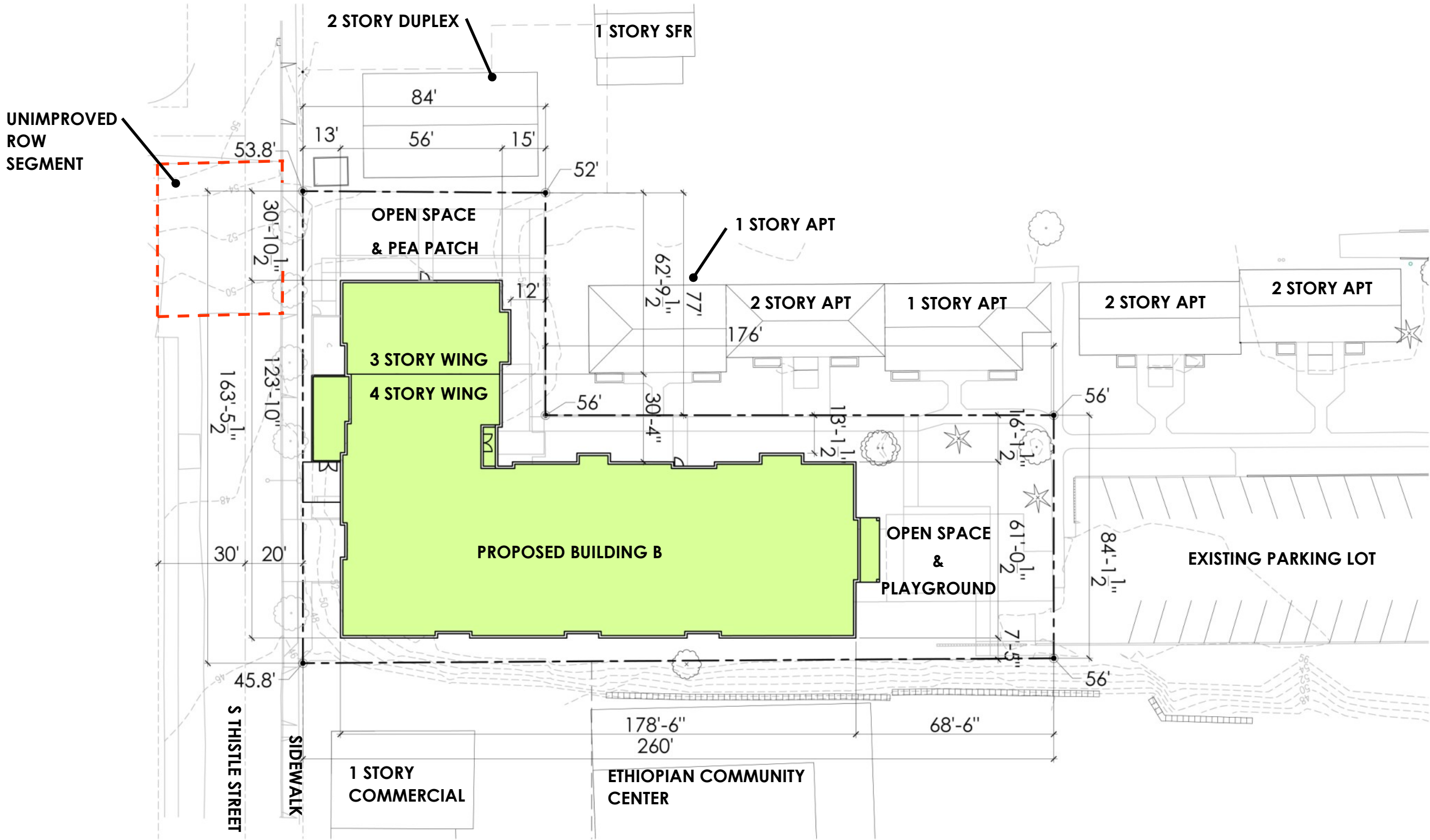
Textured concrete at entry and garage columns and walls

All building access doors along streetscape have been consolidated to one area for optimal security, maximizing public landscaping areas, centrally located

Metal entry lobby canopy

OPTION B : SITE DIAGRAM



OPTION B : SITE OVERVIEW

Residential massing

Elements face SF zone

Existing Apartments to remain

Proposed Option B

Adjacent Duplex and Single

Family structures in SF 5000

Zone

Fenced landscaped private Open

Space along frontage

Family Play Area and Open Space

Adjacent Commercial structures

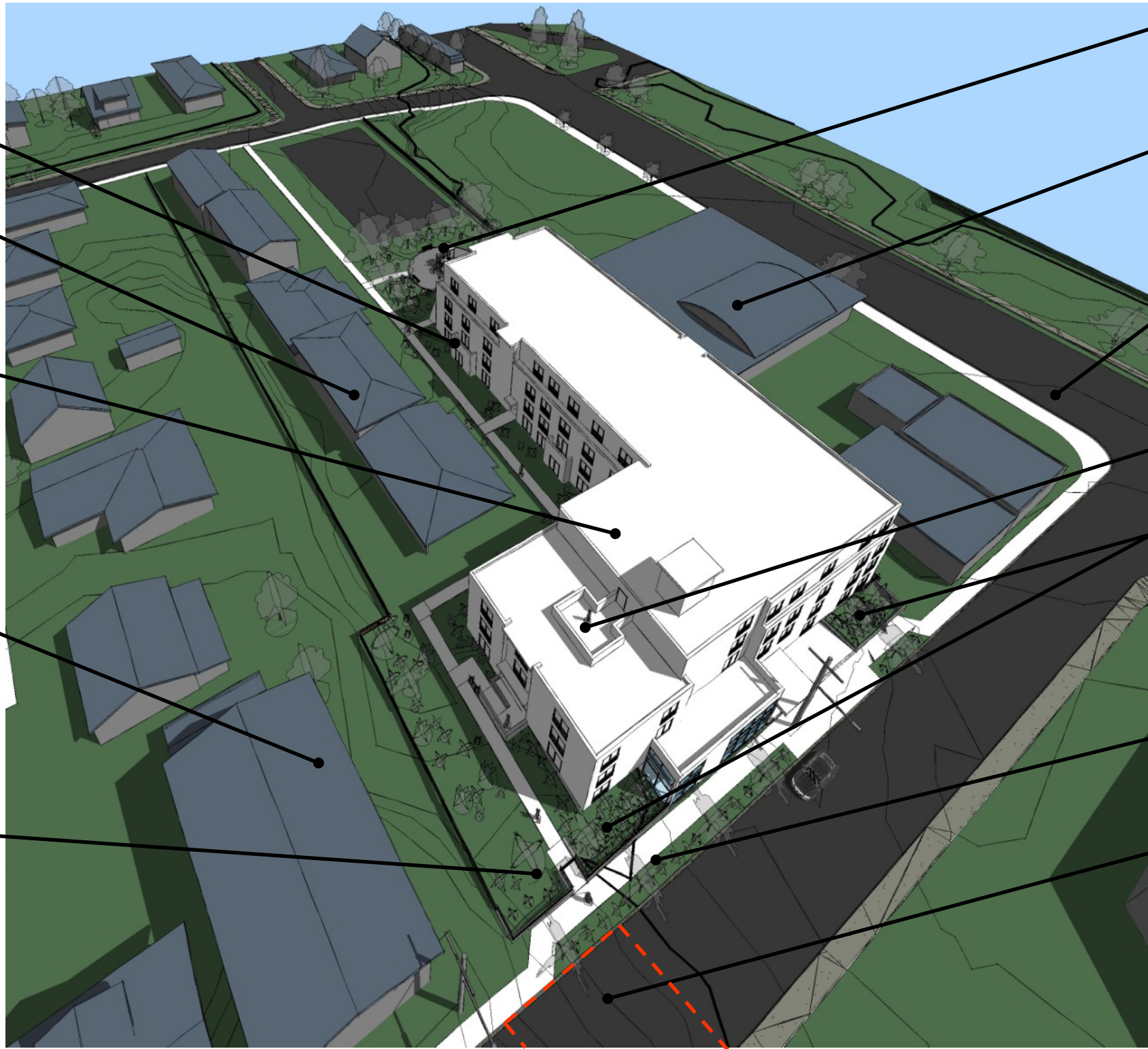
Rainier Ave South

Common Roof Deck area

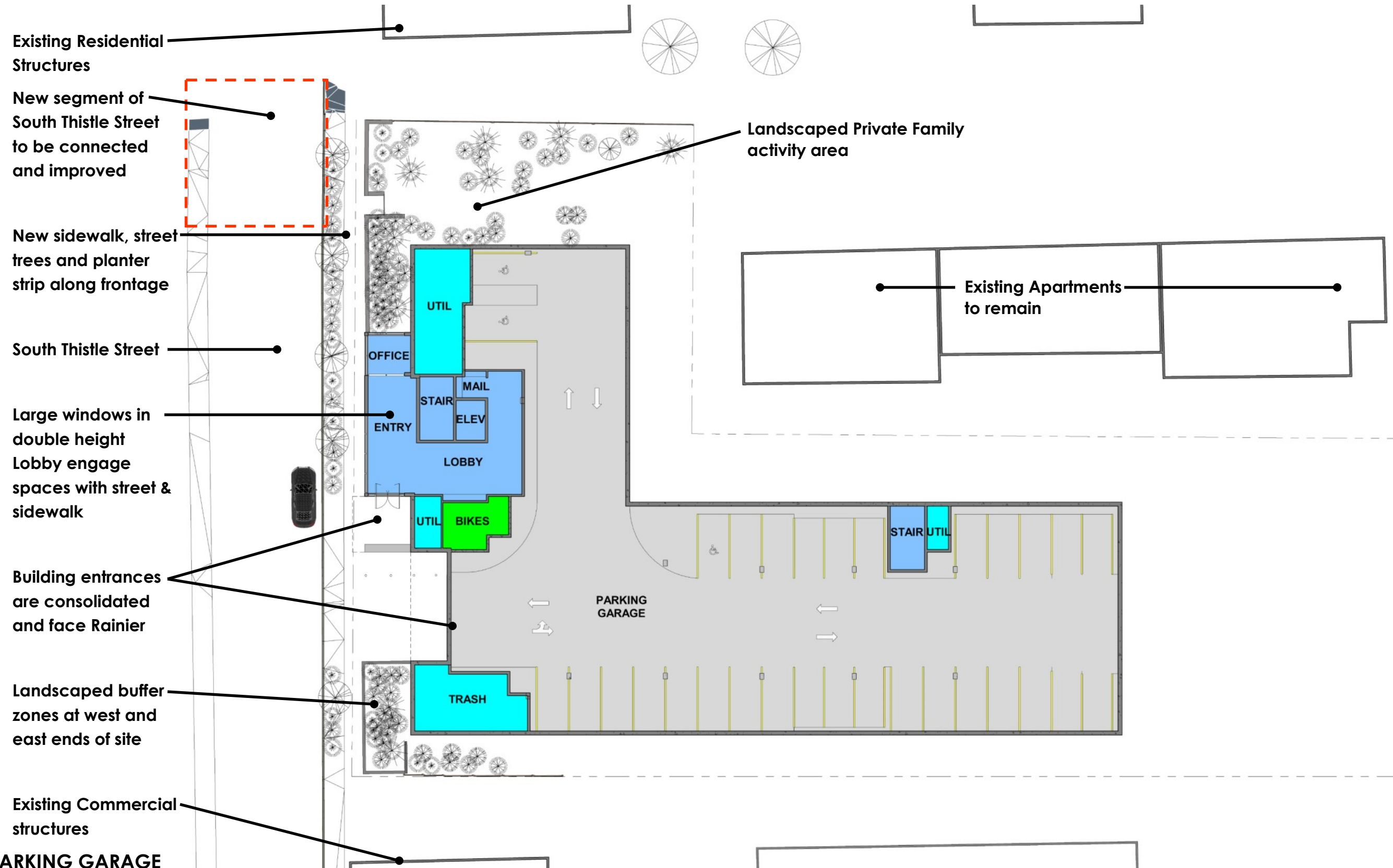
Landscaped buffer zones at west and east ends of site

New sidewalk, street trees and planter strip along frontage

New segment of South Thistle Street to be connected and improved



OPTION B



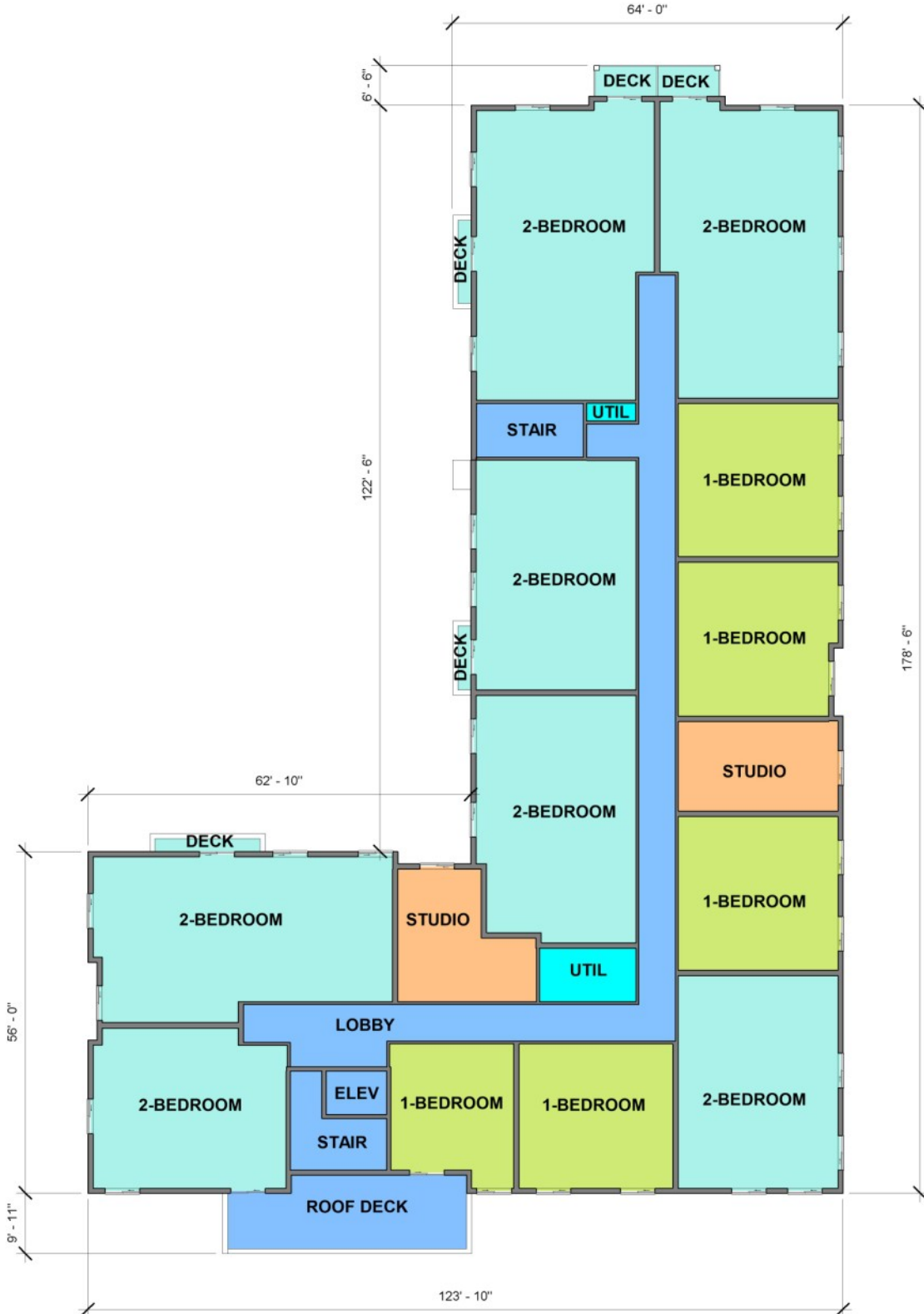
PARKING GARAGE

ARCHITECTURAL MASSING CONCEPTS

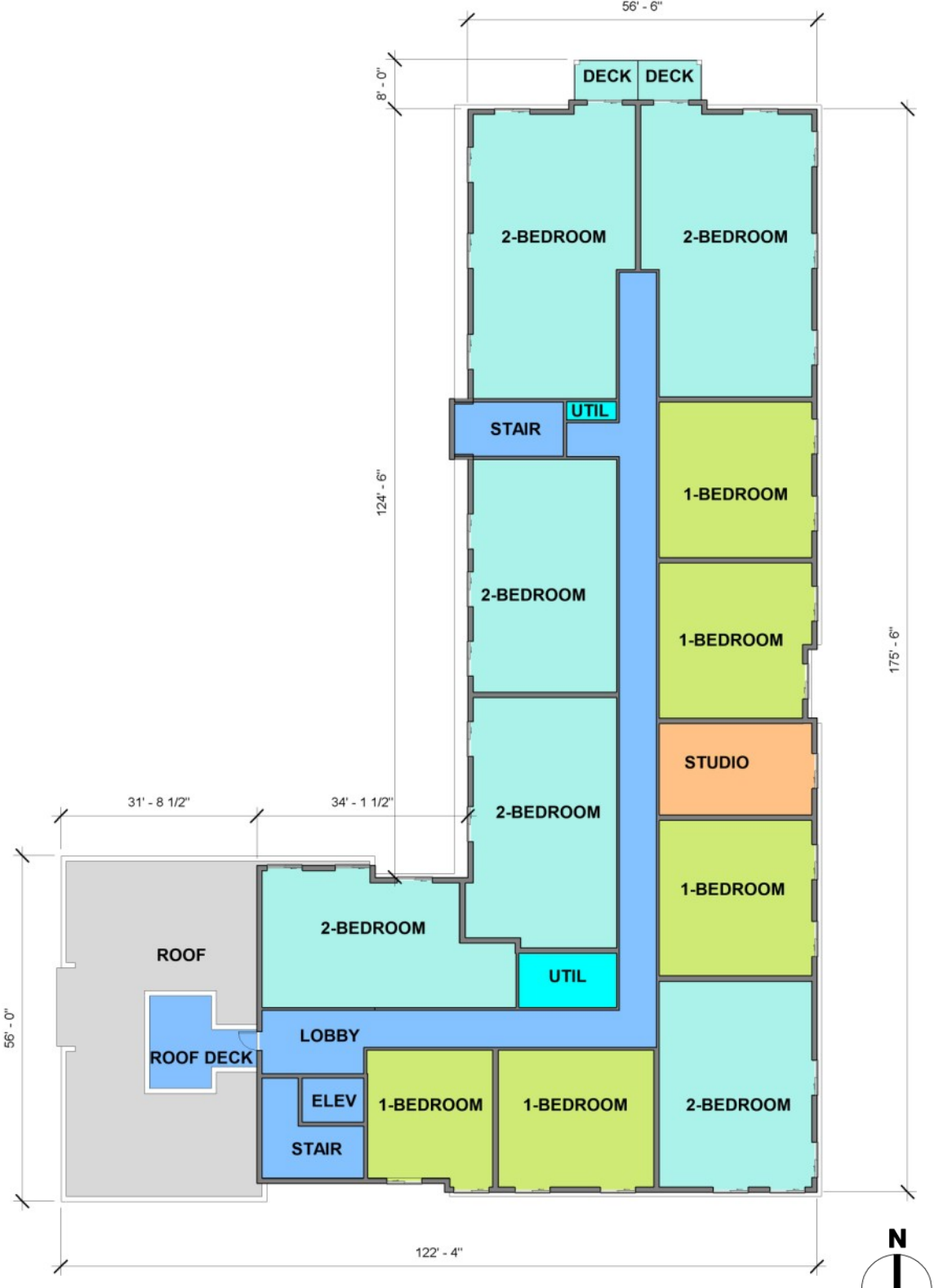
OPTION B



OPTION B



SECOND & THIRD FLOOR



FOURTH FLOOR



ARCHITECTURAL MASSING CONCEPTS

OPTION B



Northwest 3D Street View



Southeast 3D View

EXISTING APARTMENT BUILDING TO REMAIN



Southwest 3D View

Private balconies Engage open space areas and provide residential-scale building elements

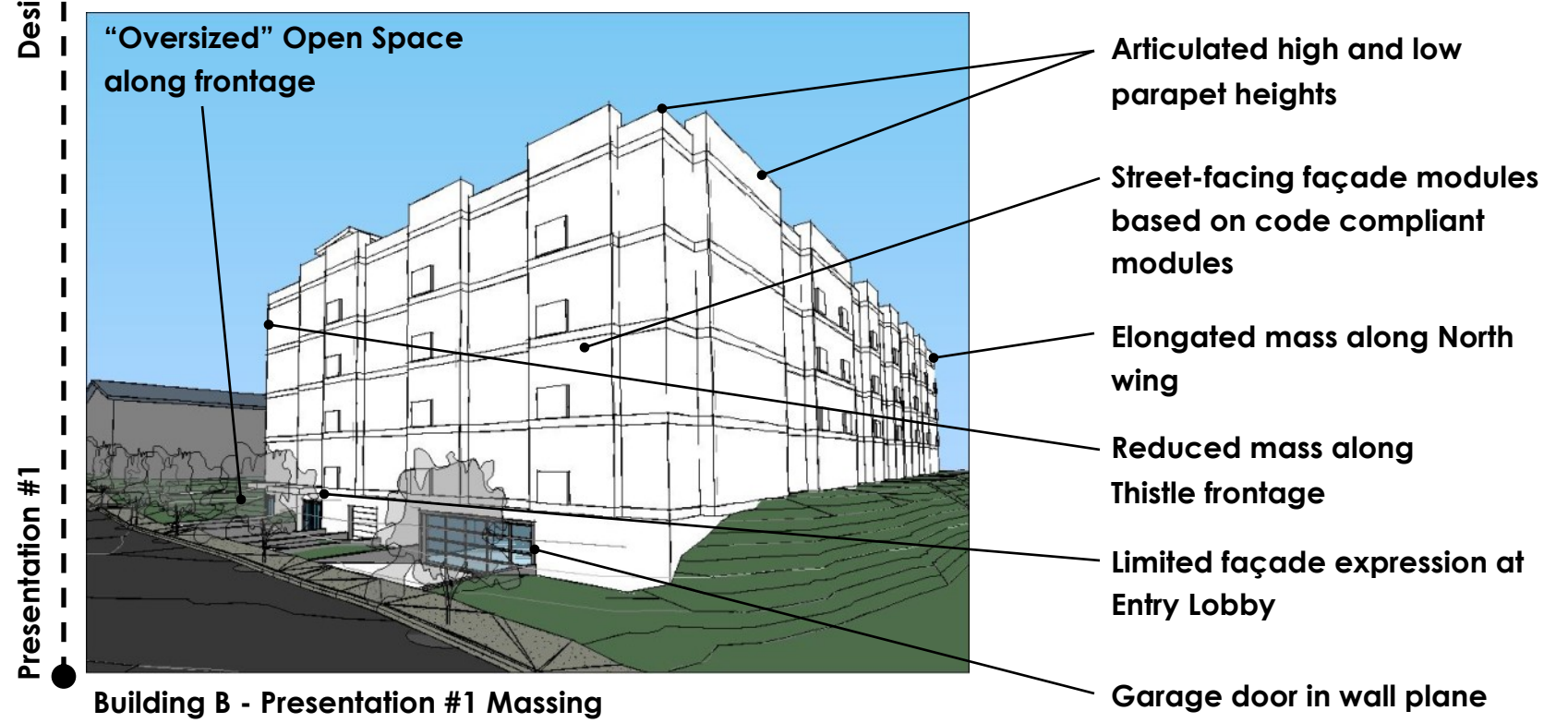
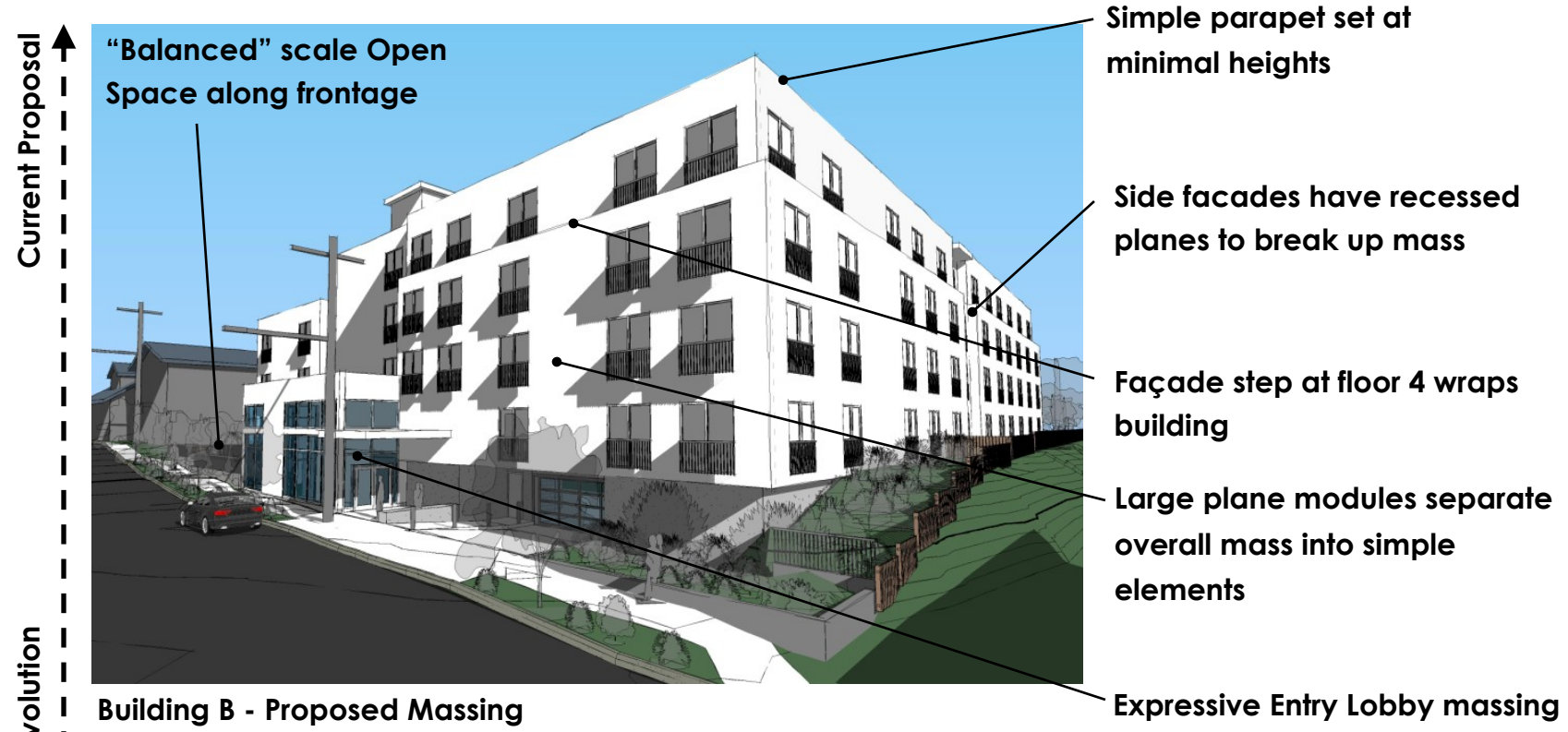
Private play and Family activity areas



Northeast 3D Street View

50' HEIGHT LIMIT ADJACENT TO SF ZONE

OPTION B : DESIGN EVOLUTION



DRB & Public Concerns from Previous Meeting:

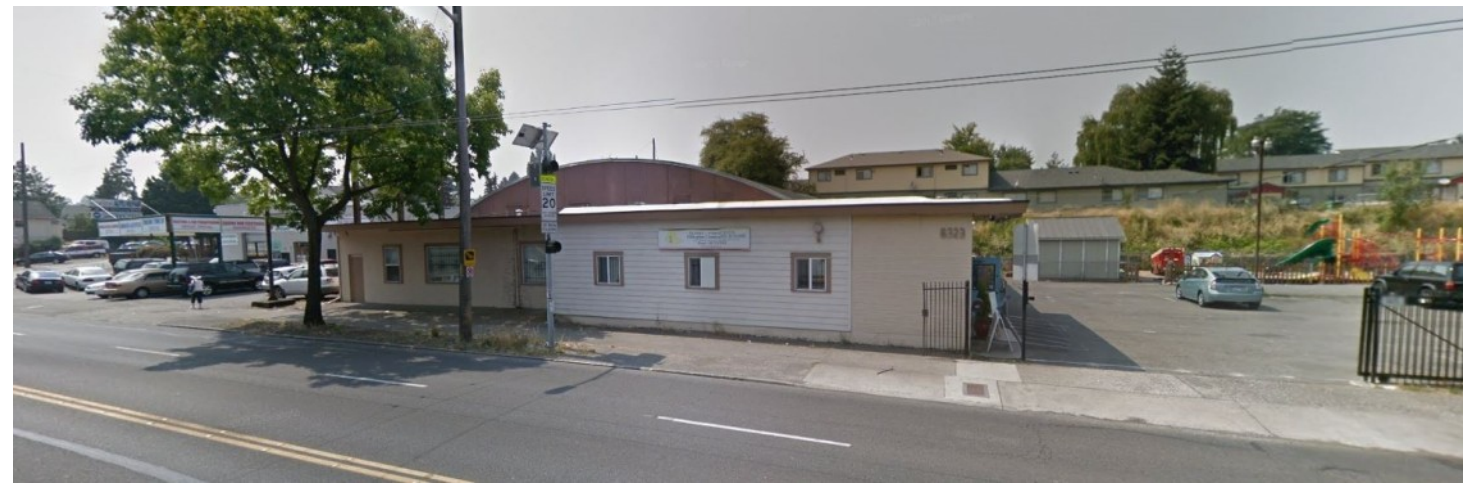
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OPTION B : DESIGN EVOLUTION

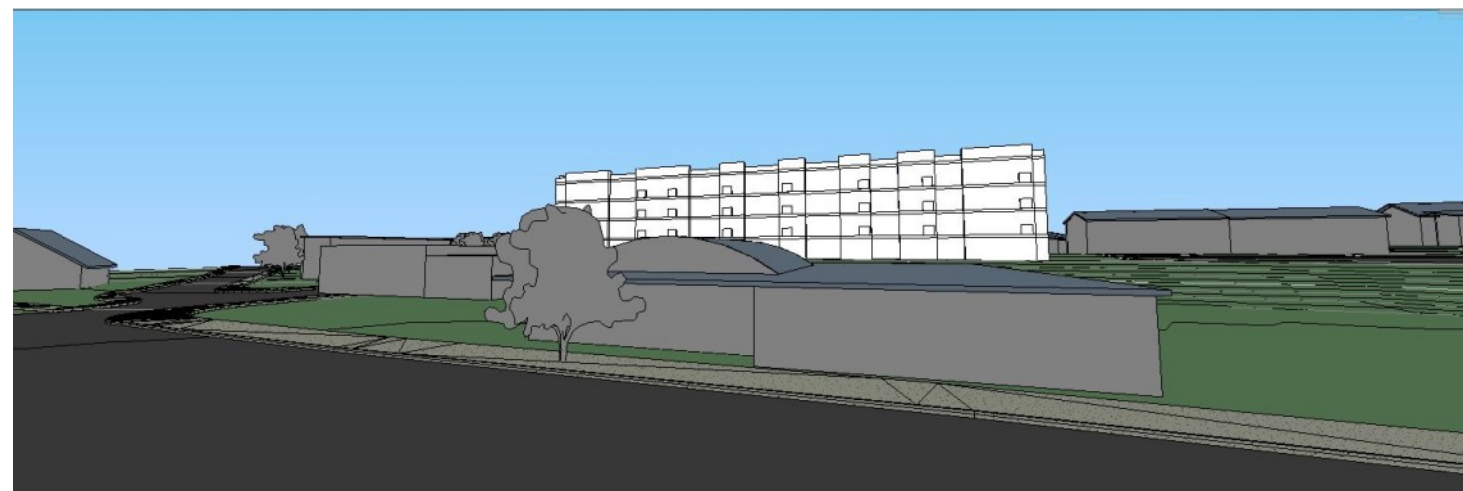
Current Proposal
Presentation #1



View from Rainier Ave S
Current Massing

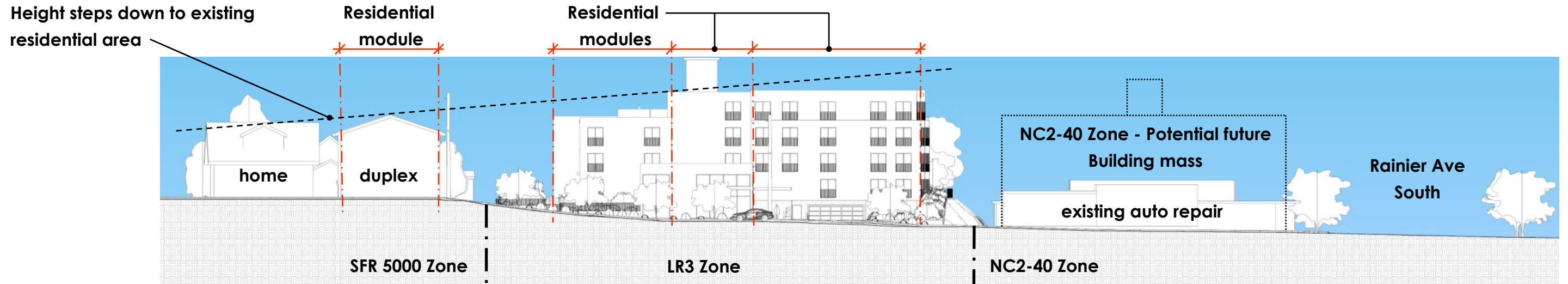


Existing view from Rainier Ave S



View from Rainier Ave S
Presentation #1 Massing

OPTION B : STREETSCAPE DIAGRAMS



S Thistle Massing Diagram

Fence at sidewalk with private gate access with landscaped buffer to adjacent single family zone

Area of new Thistle street segment

New sidewalk, street trees and planter strip

Transparent Lobby at back of sidewalk with common use and office areas

Accentuated covered Lobby Entry with seating

Landscape buffer with edge for seating



Building B - S Thistle Streetscape Elements

OPTION B - DESIGN CONCEPTS

Fiber Cement Board and Batten at select wall planes



Simple Elevator tower form in light color

Fiber cement lap siding at accent wall planes



Expressed Entry and Lobby mass at back of sidewalk. Common areas and Office along sidewalk/storefront



Textured concrete at entry

All building access doors along streetscape have been consolidated to one area for optimal security, maximizing public landscaping

Garage door is recessed from main wall plane to minimize its appearance under shadow line

All service and trash doors have been removed from street facing facade

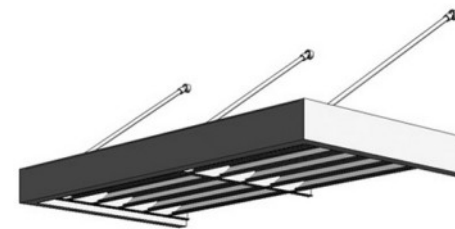


Material and color change proposed at façade set back to create distinct "base" and "upper" forms

Fiber cement panel at dominant wall planes:
Base Floors: Dark color
Upper Floors: Light color

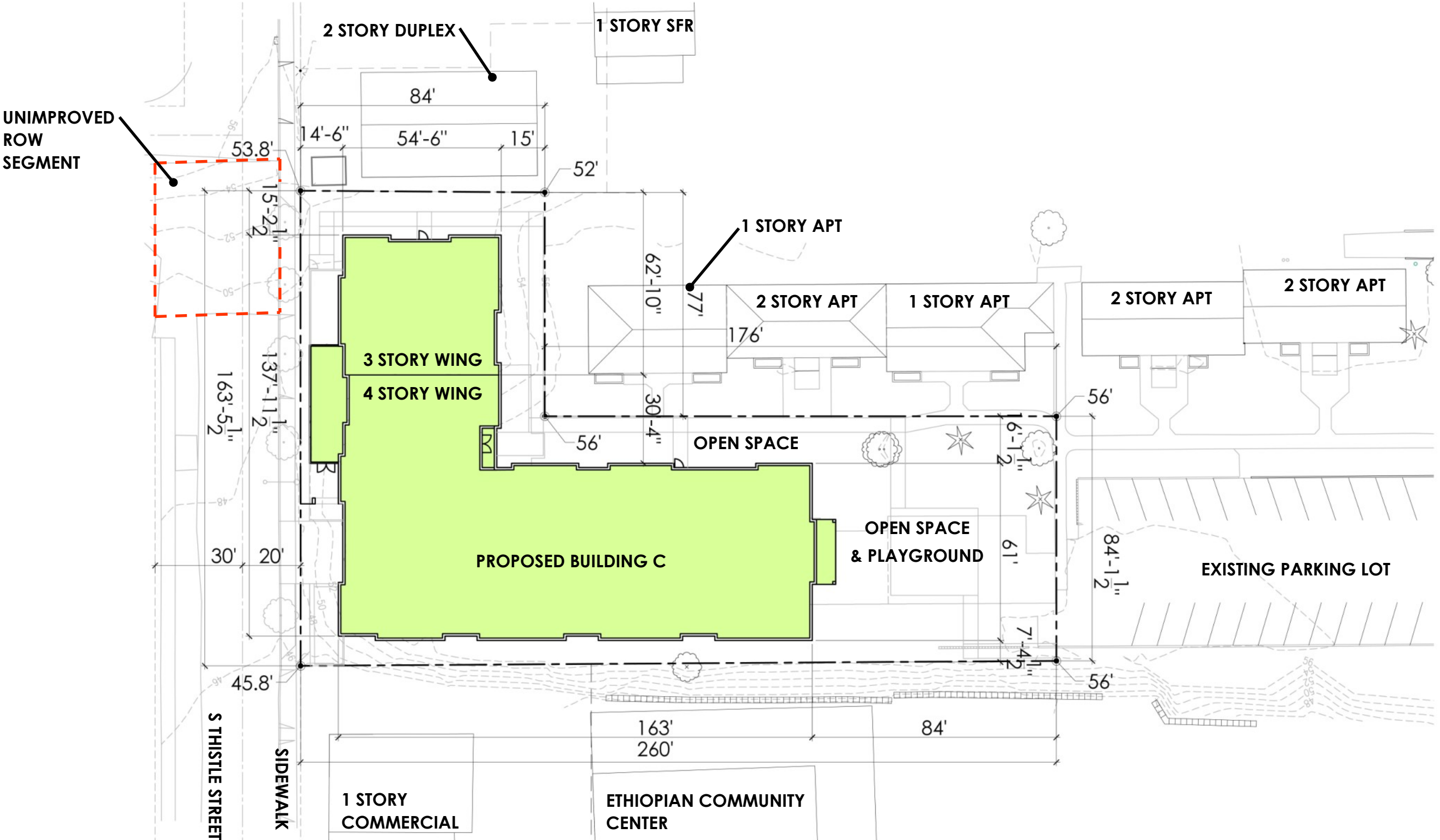


Metal Juliette railings at Living Room sliding glass doors

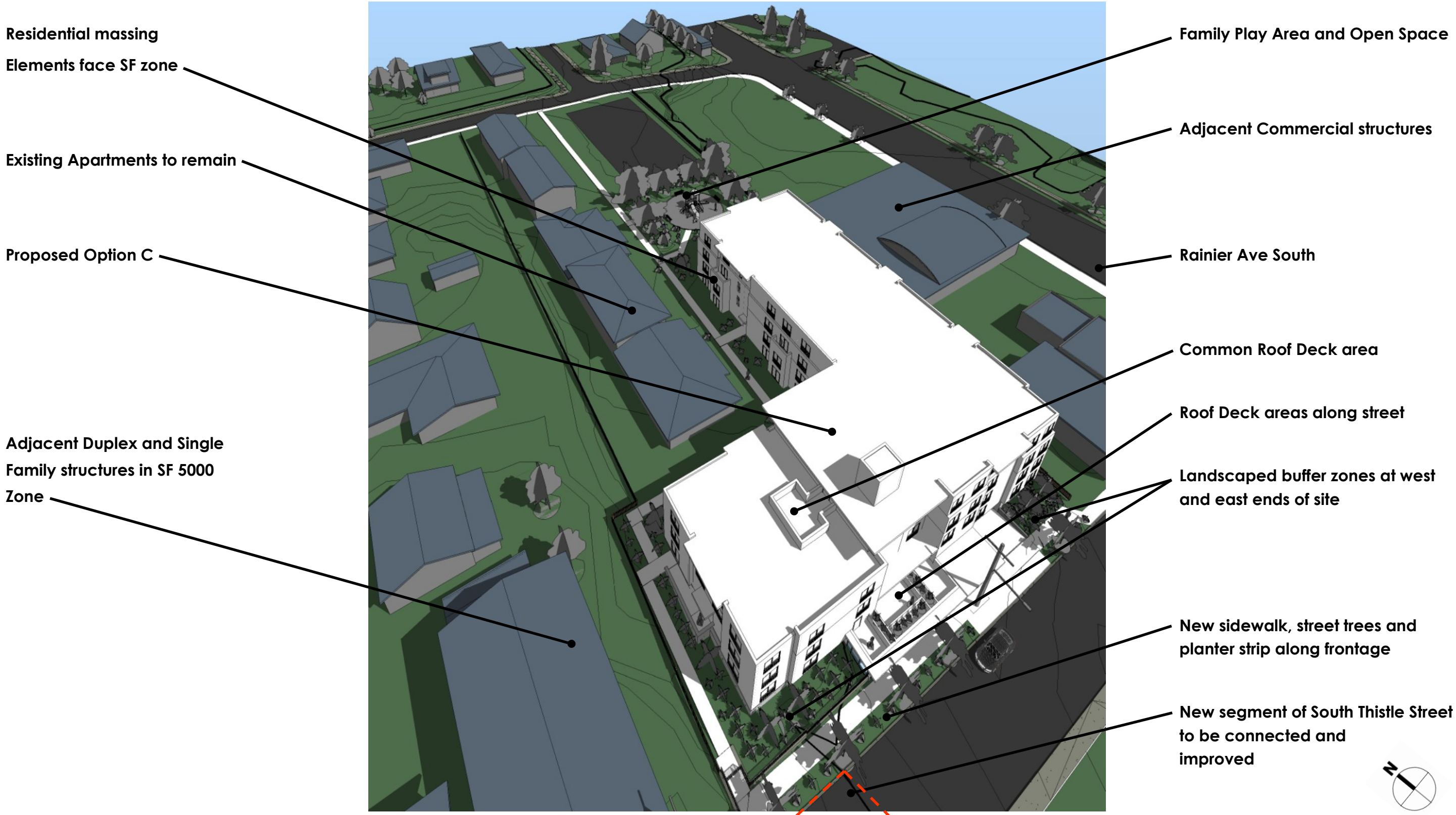


Metal entry lobby canopy

OPTION C : PREFERRED OPTION – SITE DIAGRAM



OPTION C : PREFERRED OPTION – SITE OVERVIEW



Residential massing

Elements face SF zone

Existing Apartments to remain

Proposed Option C

Adjacent Duplex and Single Family structures in SF 5000 Zone

Family Play Area and Open Space

Adjacent Commercial structures

Rainier Ave South

Common Roof Deck area

Roof Deck areas along street

Landscaped buffer zones at west and east ends of site

New sidewalk, street trees and planter strip along frontage

New segment of South Thistle Street to be connected and improved



OPTION C : PREFERRED OPTION

Existing Residential Structures

New segment of South Thistle Street to be connected and improved

New sidewalk, street trees and planter strip along frontage

South Thistle Street

Large windows in Lobby engage interior spaces with streetscape

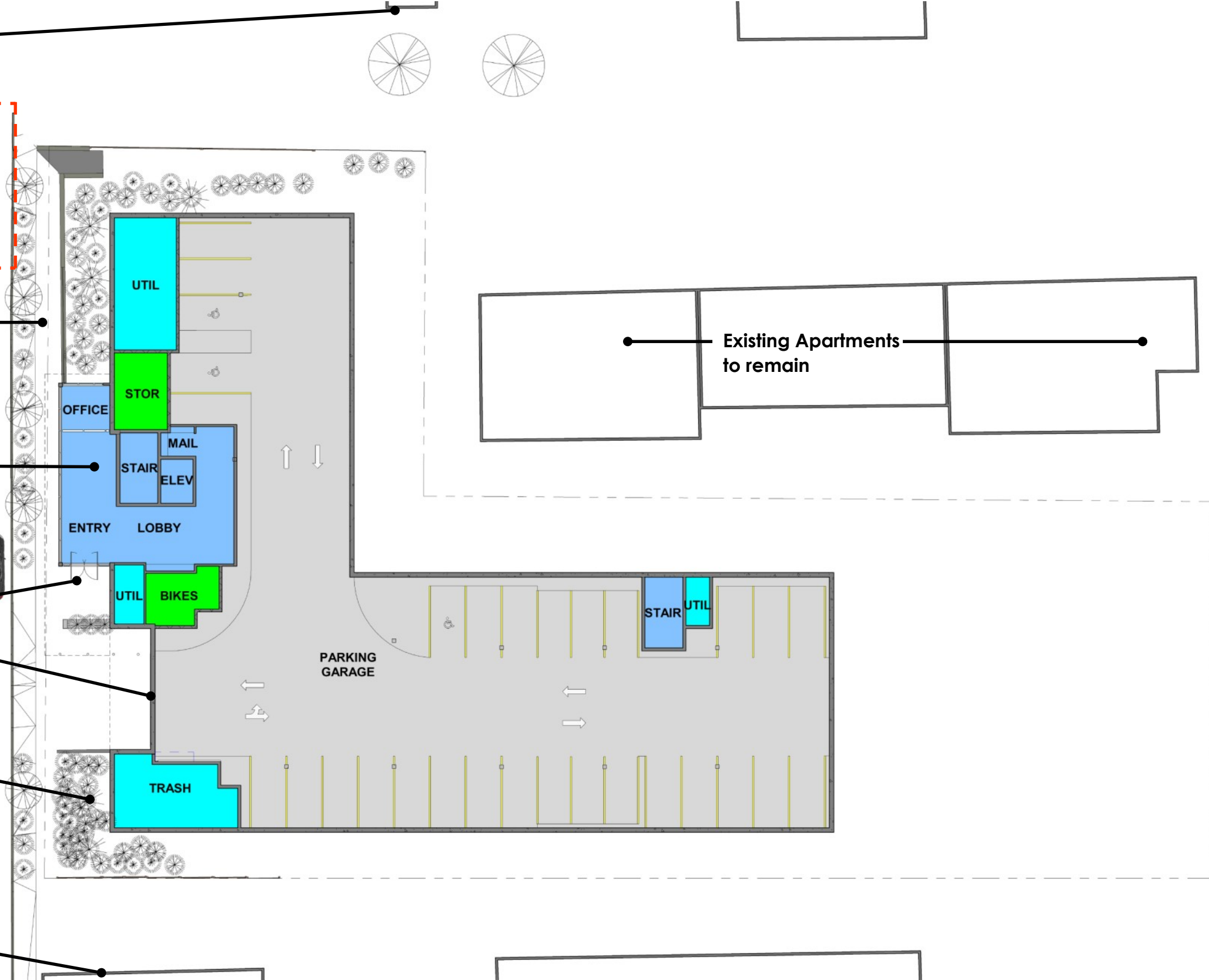
Building entrances are consolidated and face Rainier

Landscaped buffer zones at west and east ends of site

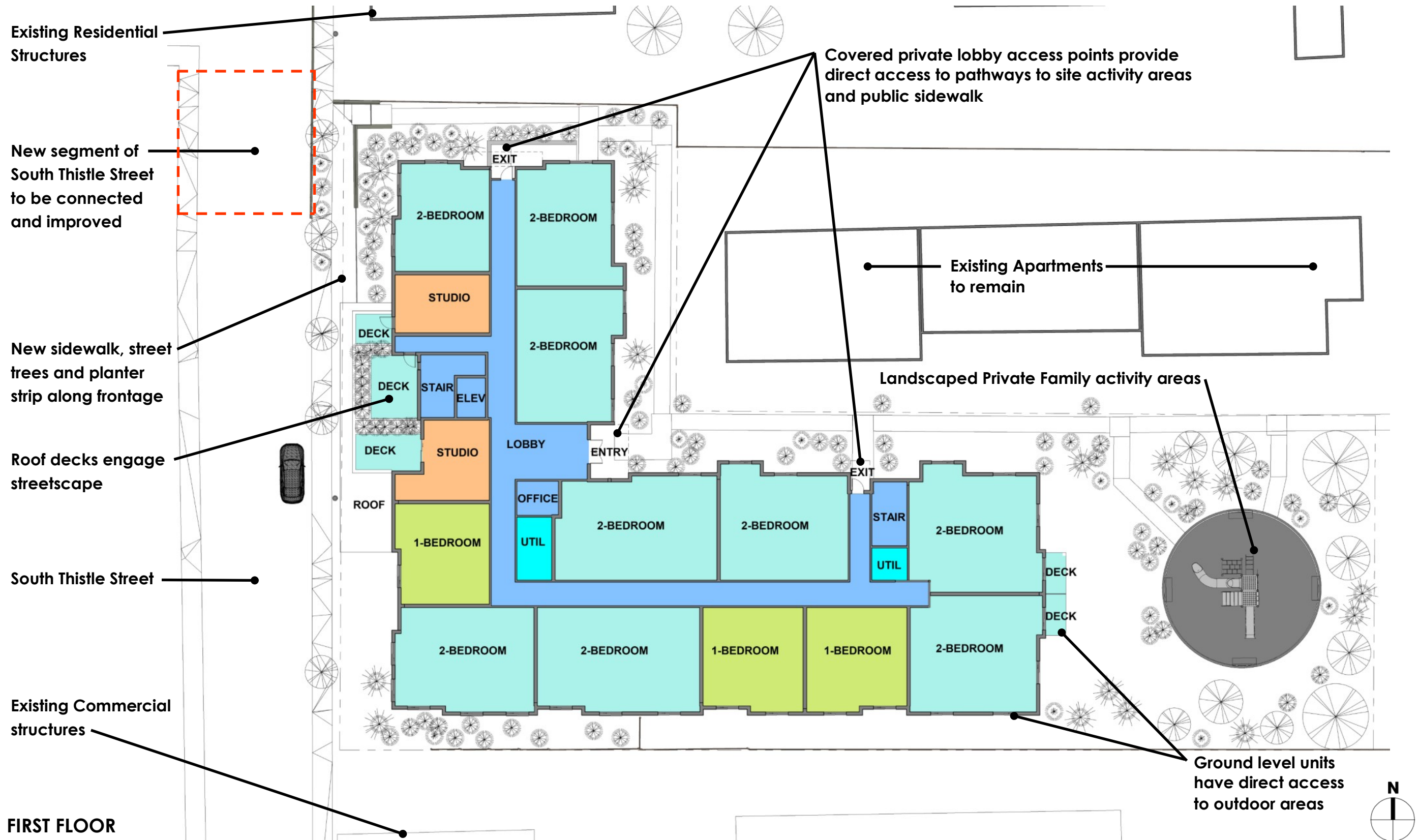
Existing Commercial structures

Existing Apartments to remain

PARKING GARAGE



OPTION C : PREFERRED OPTION



FIRST FLOOR

OPTION C : PREFERRED OPTION



SECOND & THIRD FLOOR



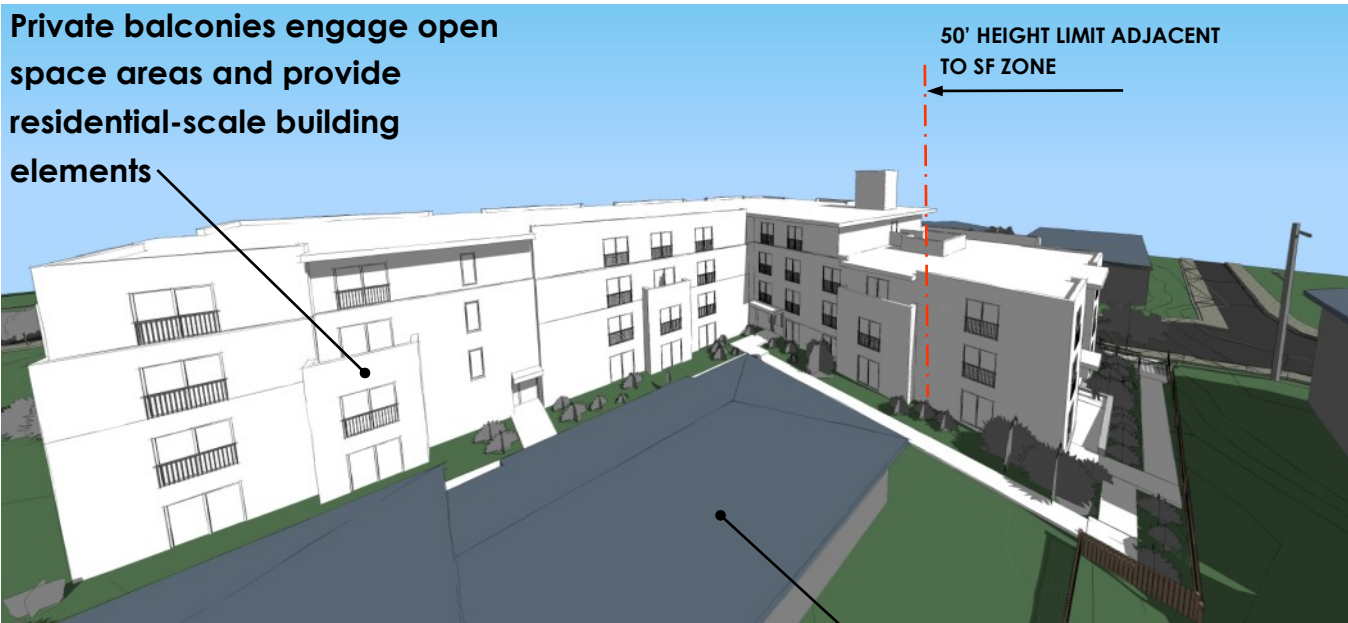
FOURTH FLOOR



OPTION C : PREFERRED OPTION



Northwest 3D Street View



Southeast 3D View



Southwest 3D View

Private balconies Engage open space areas and provide residential-scale building elements

Private play and Family activity areas



Northeast 3D Street View

OPTION C : PREFERRED OPTION : DESIGN EVOLUTION

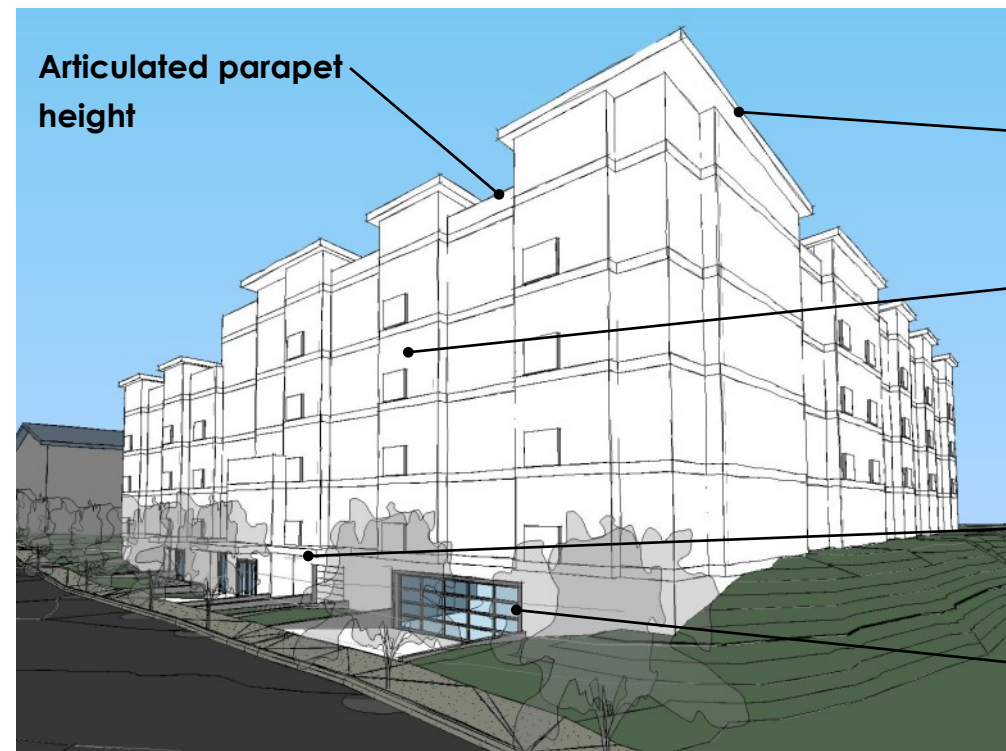
Current Proposal



Building C - Proposed Massing

- Simple parapet set at minimal heights with eaves
- Side facades have recessed planes to break up mass
- Façade step at floor 4 wraps building
- Plane modules based on adjacent home separate mass into simple elements
- Expressive Entry Lobby massing with roof deck above

Design Evolution



Building C - Presentation #1 Massing

- Articulated parapet height
- Shed roofs at façade modules
- Small façade modules, one per unit
- Limited façade expression at Entry Lobby
- Garage door in wall plane

Presentation #1

DRB & Public Concerns from Previous Meeting:

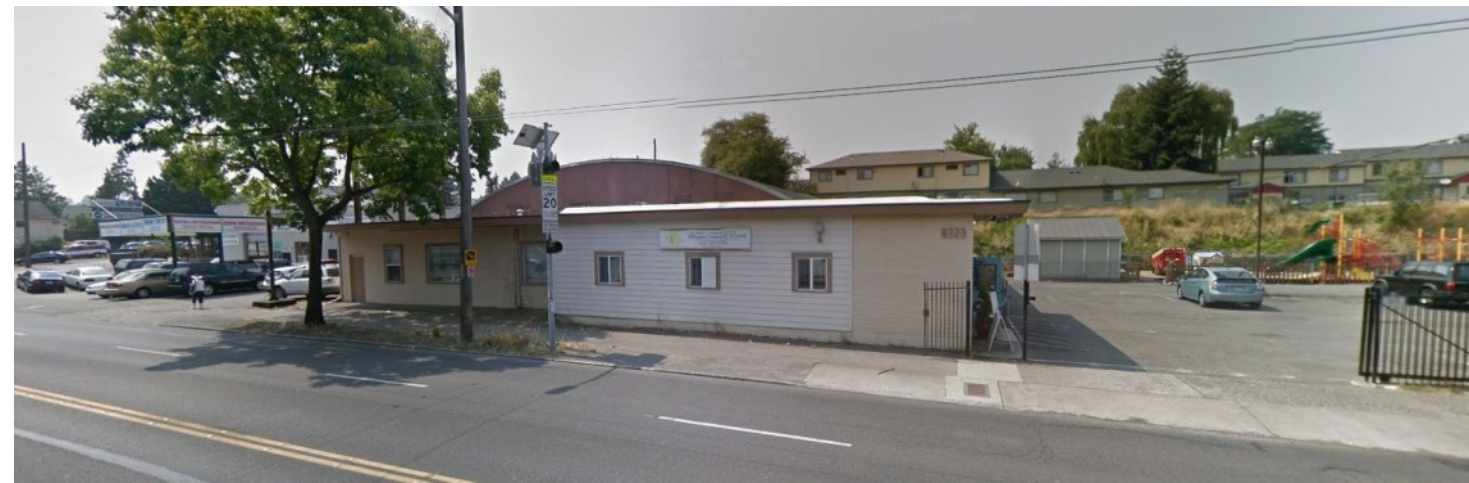
- Concerned with Street-facing façade design
- Concerned with ground-level uses, want engagement at street level
- Requested Lobby form extends to back of sidewalk to provide interaction with public streetscape
- Requested providing interior space along Thistle Street to encourage interaction with public streetscape
- Concerned with building's response to existing nearby development
- Requested massing step back at upper levels
- Requested façades facing adjacent residential development implement residential-scaled elements
- Requested building and residential units interact with on grade amenity area and playground
- Requested additional massing studies showing less modulation
- Concerned about the location of service doors along the street-facing Façade
- Concerned with activation of open space

OPTION C : PREFERRED OPTION : DESIGN EVOLUTION

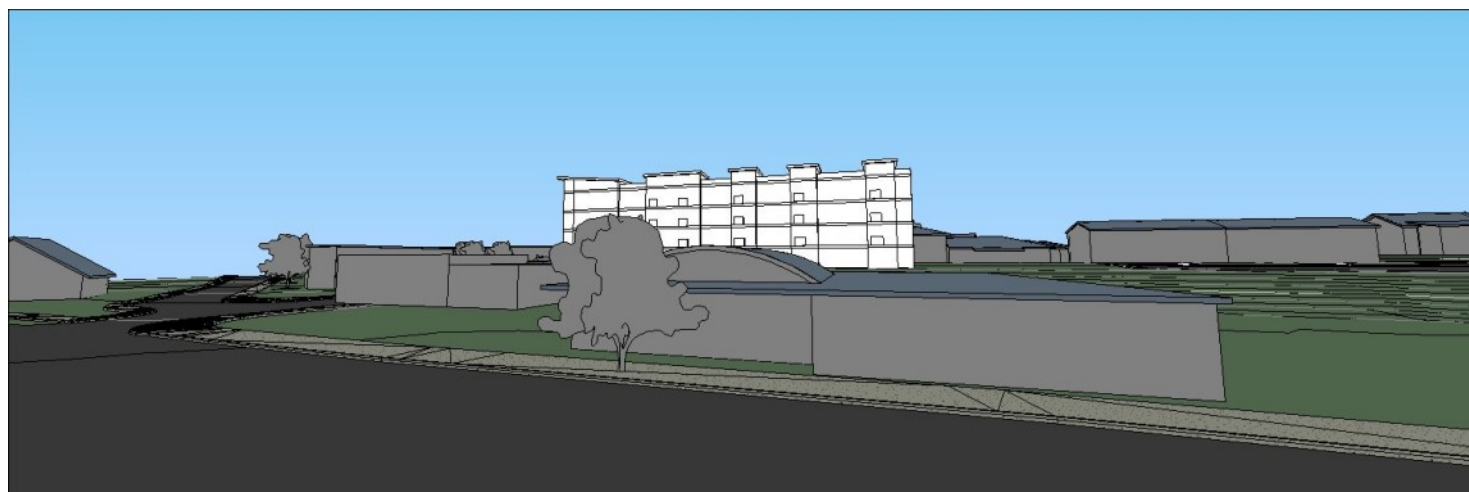
Current Proposal
Presentation #1



View from Rainier Ave S
Current Massing

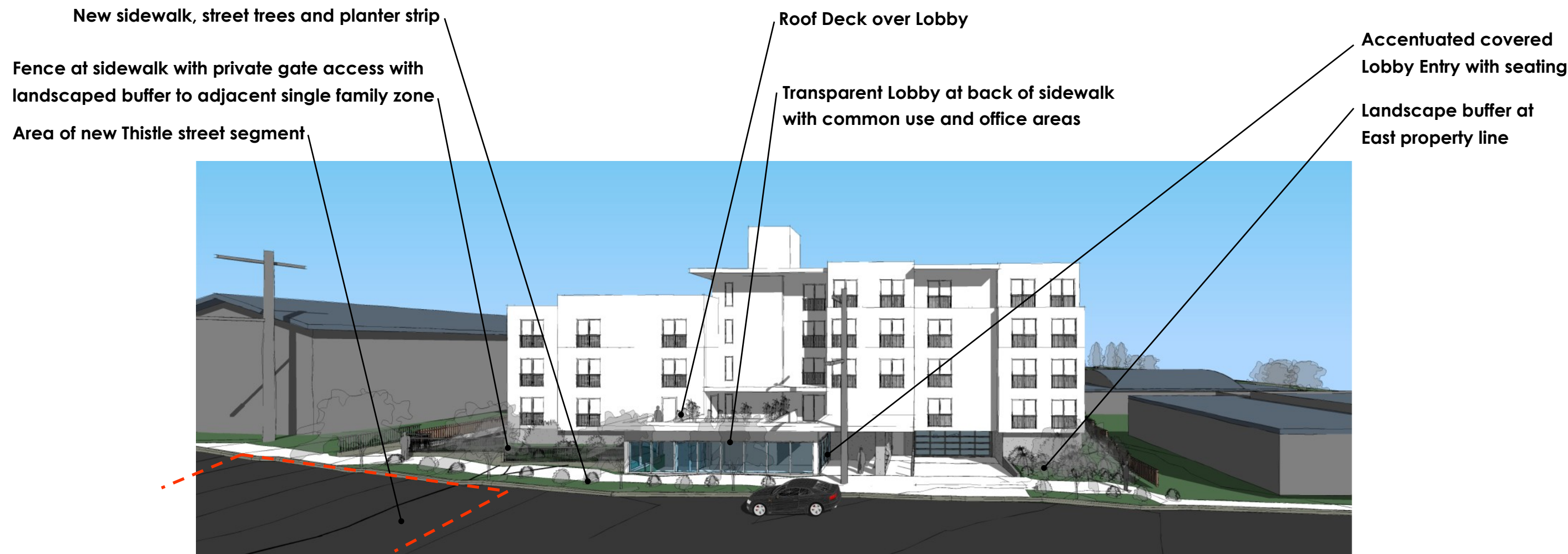
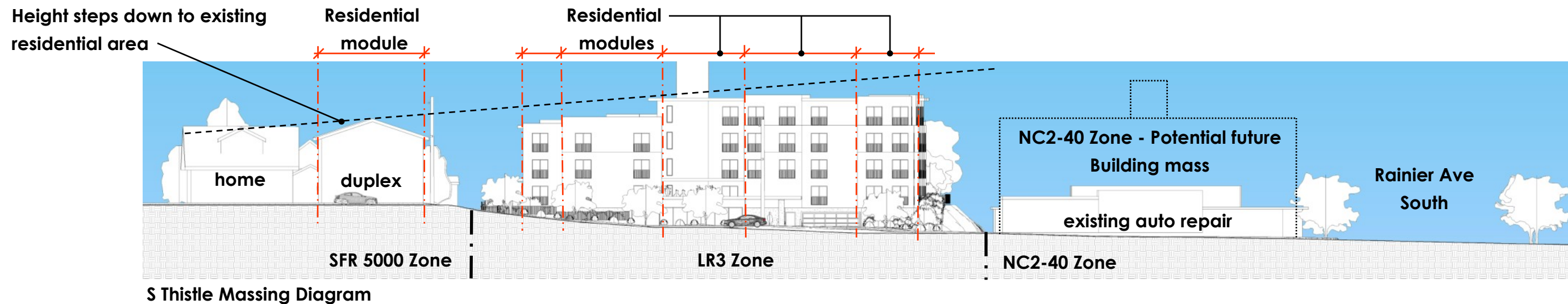


Existing view from Rainier Ave S



View from Rainier Ave S
Presentation #1 Massing

OPTION C : STREETSCAPE DIAGRAMS



OPTION C : PREFERRED OPTION : DESIGN CONCEPTS

Fiber Cement Board and Batten at select wall planes



Simple Elevator tower form in light color

Fiber cement lap siding at accent wall planes



Expressed Entry and Lobby mass at back of sidewalk. Common areas and Office along sidewalk/storefront



Textured concrete at entry

All building access doors along streetscape have been consolidated to one area for optimal security, maximizing public landscaping

Garage door is recessed from main wall plane to minimize its appearance under shadow line

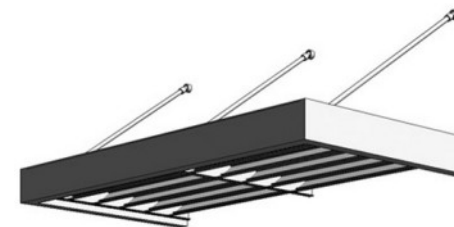
All service and trash doors have been removed from street facing facade



Material and color change proposed at façade set back to create distinct "base" and "upper" forms

Fiber cement panel at dominant wall planes:
Base Floors: Dark color
Upper Floors: Light color

Metal Juliette railings at Living Room sliding glass doors



Metal entry lobby canopy



DEPARTURE SUMMARY

Lobby wall is set to back of sidewalk



Option A Departures

DESIGN STANDARD	DEPARTURE REQUEST	RATIONALE
Option A		
SMC 23.45.518 Front Setback	Reduce front setback for Lobby and Primary entry by 2'-0". Allow 3'-0" setback	Response to DRB comment 2.a; Lobby extending to back of sidewalk creates relationship between interior and streetscape while highlighting the primary entry and lobby
SMC 23.45.518 Rear Setback	Reduce setback for one wall plane pop-out along north wall of west wing by 3'-0". Allow 19'-0" pop-out length with 12'-0" setback	Response to DRB comment 1.d; Wall pop-outs provide residential-scaled mass that relate to neighboring single family development. Helps to reduce overall scale of structure by providing ground-related forms and access to exterior spaces

Lobby wall is set to back of sidewalk

Increased façade length at north wing



Option B Departures

DESIGN STANDARD	DEPARTURE REQUEST	RATIONALE
Option B		
SMC 23.45.527.B Façade Length	Increase east façade north wing length by 9'-6" Allow façade length of 178'-6"	Response to DRB comment 4.a; To provide open space along S Thistle St frontage the north wing must elongate to preserve unit quantity
SMC 23.45.518 Front Setback	Reduce front setback for Lobby and Primary entry by 2'-0". Allow 3'-0" setback	Response to DRB comment 2.a; Lobby extending to back of sidewalk creates relationship between the interior spaces and streetscape while accentuating the primary entry and lobby
SMC 23.45.518 Rear Setback	Reduce setback for one wall plane pop-out along north wall of west wing by 3'-0". Allow 19'-0" pop-out length with 12'-0" setback	Response to DRB comment 1.d; Wall pop-outs provide residential-scaled mass that relate to neighboring single family development. Helps to reduce overall scale of structure by providing ground-related forms and access to exterior spaces

DEPARTURE SUMMARY

Lobby wall is set to back of sidewalk



Option C Departures

DESIGN STANDARD	DEPARTURE REQUEST	RATIONALE
Option C – Preferred Option		
SMC 23.45.518 Front Setback	Reduce front setback for Lobby and Primary entry by 2'-0". Allow 3'-0" setback	Response to DRB comment 2.a; Lobby extending to back of sidewalk creates relationship between interior and streetscape while highlighting the primary entry and lobby
SMC 23.45.518 Rear Setback	Reduce setback for one wall plane pop-out along north wall of west wing by 3'-0". Allow 19'-0" pop-out length with 12'-0" setback	Response to DRB comment 1.d; Wall pop-outs provide residential-scaled mass that relate to neighboring single family development. Helps to reduce overall scale of structure by providing ground-related forms and access to exterior spaces

Wall pop-outs face existing residential developments

