

MADISON BOYLSTON

ADR RECOMMENDATION

10.25.2019 | 16-061 | 3032298-LU

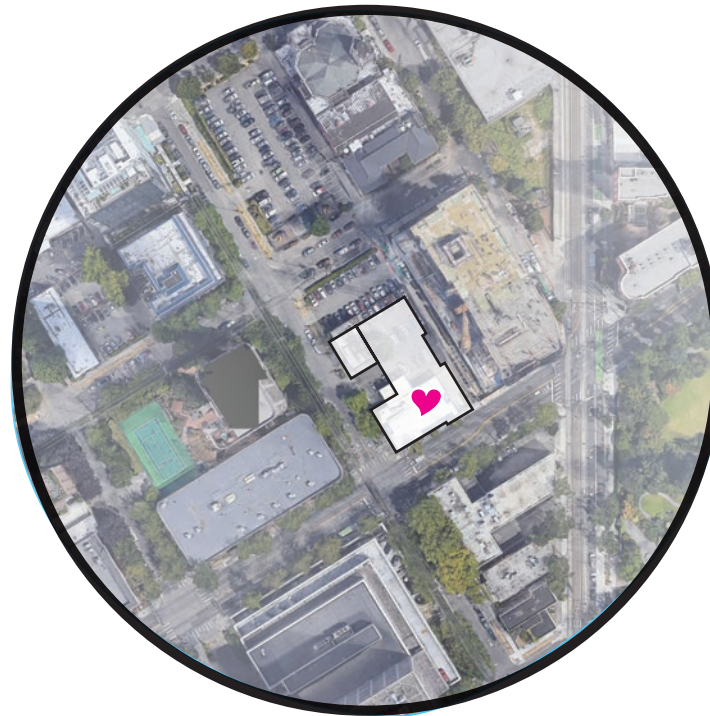




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INNOVATIVE JOINT DEVELOPMENT PARTNERSHIP



ARCHITECT



WEBER THOMPSON

LANDSCAPE ARCHITECT

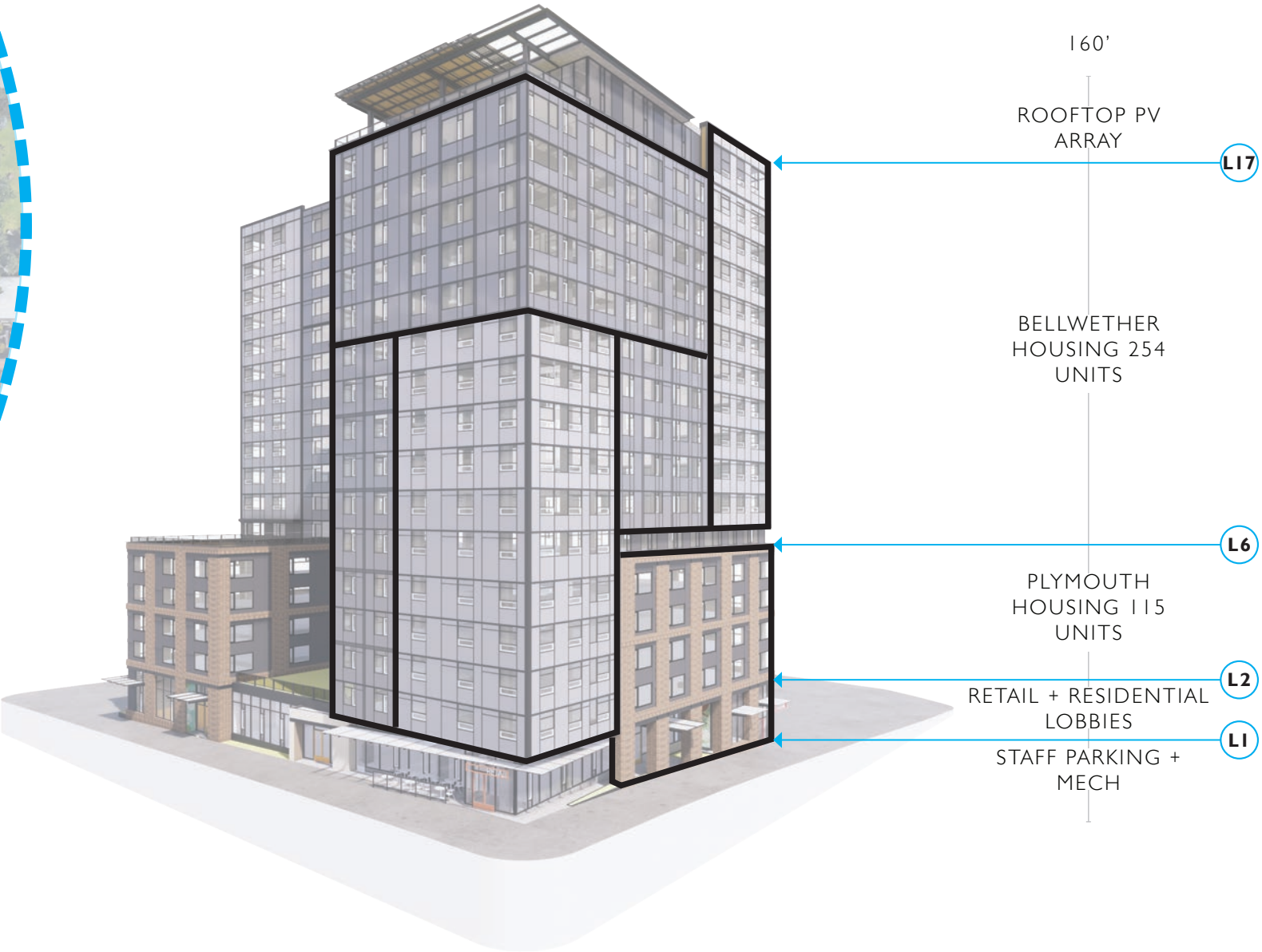
HEWITT



PROJECT STATISTICS



RETAIL – 5,200 SF +
COMMUNITY ROOM – 1,050 SF
PLYMOUTH HOUSING RESIDENTS – 111 units 3 staff units 66,240 SF
BELLWETHER HOUSING RESIDENTS – 254 units 168,550 SF
TOTAL BUILDING – 253,500 SF
STAFF PARKING – 5 Stalls accessed off Alley
LOADING BAY – Accessed off Alley for deliveries and move-in



How do we design for Seattle’s first affordable High Rise in over 50 years that sets a precedent for bringing needed housing to the market?

Bellwether Housing is Seattle’s largest nonprofit affordable housing developer with 32 affordable properties (2,100 homes), including seven in the First Hill Neighborhood.

Plymouth Housing has been developing permanent supportive housing in Seattle since 1980. They have 14 affordable properties (1,100 homes) and currently owns property in the First Hill neighborhood.

By 2022, this high-density building will add 369 affordable housing units to Seattle’s growing First Hill neighborhood.

We are developing an impactful design that is up to code while targeting efficiency and affordability.

Despite tight budgetary restrictions, Madison/Boylston will include community amenities for its residents and durable finishes.

We have incorporated design elements based on the recommendations of community members such as open space, pedestrian-friendly side streets and concentrated density along Madison Street.

PLYMOUTH HOUSING + BELLWETHER HOUSING JOINT DEVELOPMENT PARTNERSHIP

Plymouth Housing and Bellwether Housing have formed an innovative partnership to jointly develop Madison/Boylston, Seattle’s first affordable high-rise in over 50 years. By 2022, this high-density building will add 369 affordable housing units to Seattle’s growing First Hill neighborhood.

There are notable aspects of this project that distinguish it from other high-rise projects. First, Madison/Boylston’s design and layout will be constrained by the public dollars allocated to it. We are developing an impactful design that is up to code while targeting efficiency and affordability. Second, this high-rise will be serving low-income residents who will pay below-market rents. Thus, operating revenue will be less than comparable market-rate projects. Despite tight budgetary restrictions, Madison/Boylston will include community amenities for its residents and durable finishes.

Plymouth Housing and Bellwether Housing have incorporated design elements based on the recommendations of community members. The First Hill community identified open space, pedestrian-

friendly side streets and concentrated density along Madison Street as desired design elements of Madison/Boylston.

Plymouth Housing was founded in 1980 to address the problem of homelessness in downtown Seattle and surrounding neighborhoods. Plymouth’s unique focus on pairing high-quality housing with supportive social services has impacted thousands of lives, enabling residents to achieve stability in housing and avoid a return to homelessness. Plymouth operates more than 1,100 apartments in Seattle, with the newest, Plymouth on First Hill, opened in 2017. At Madison/Boylston, Plymouth will be providing 115 homes to seniors over the age of 55 who have previously experienced homelessness. The traumas of homelessness often exacerbate and cause many health complications and can make managing chronic conditions nearly impossible. Plymouth has formed strong partnerships with nearby health institutions on First Hill, and in addition to providing homes for these vulnerable seniors, will also be able to provide on-site medical

care as well as ample space in the building for community activities and case management services.

Bellwether Housing builds and manages high quality affordable housing so that people of diverse backgrounds and incomes can thrive in Seattle’s increasingly high-cost housing market. Bellwether’s 32 buildings serve Seattle households that earn up to 60% of the area median income. They are home to large and small families, seniors, people with disabilities and many others. Madison/Boylston will provide 254

By 2022, this high-density building will add over 350 affordable housing units to Seattle’s growing First Hill neighborhood.

new homes for individuals and families who are struggling to afford a place to live in Seattle.

Plymouth Housing and Bellwether Housing are committed

to turning this publicly-funded development into a triumphant affordable housing landmark, while being conscious of the limited public resources available.

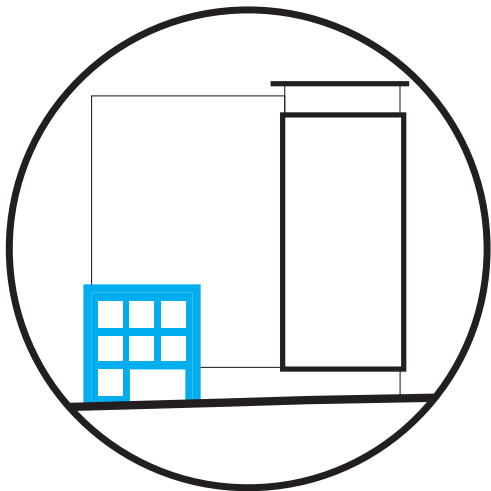


PROJECT VISION

PLYMOUTH HOUSING AND BELLWETHER HOUSING'S VISION FOR MADISON/BOYLSTON IS TO:

- + Maximize the **housing opportunities** for their broad range of residents and their needs.
- + Incorporate **sustainable building strategies** to ensure long term success of maintenance and operational budgets.
- + Create successful, income generating, highly visible **grade-related retail**.
- + Deliver on the public funder requirements **on time and within budget**.
- + Construct a building that integrates with the neighborhood and can be a **source of pride** for the hundreds of residents who will call it home.

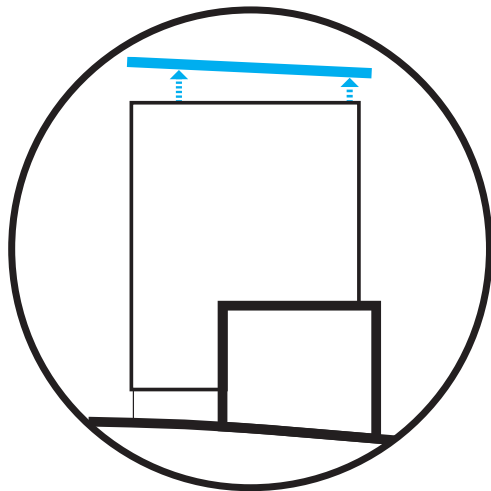
TOGETHER THE TEAM DEVELOPED THREE GUIDING THEMES FOR THIS PROJECT:



HOME



PLACEMAKING



LIGHTNESS



PROJECT OBJECTIVES

INNOVATIVE DEVELOPMENT SOLUTION BRINGING AFFORDABLE HOUSING TO SEATTLE

GIVEN THE COMPLEX PROGRAMMING AND FUNDING REQUIREMENTS OF THIS DEVELOPMENT, THERE ARE KEY DESIGN ELEMENTS THAT ARE REQUIRED TO BE INCORPORATED INTO THIS PROJECT:

1. MAINTAIN **PHYSICAL** AND **VISUAL** SEPARATION BETWEEN PLYMOUTH HOUSING AND BELLWETHER HOUSING PROGRAMS

- Fair Housing policies require the team does everything possible on the design side to make these two projects as physically separate as possible, including different entrances/lobbies.
- HUD has specific requirements in order for projects to be designated as Senior Housing, at least 80% of the units must be rented to individuals 55+ years old.
- Operationally each housing provider is responsible for controlling and monitoring residence of their facilities; the separation of lobbies and spaces are key in ensuring secure sites for both providers.

2. GROUND LEVEL ACCESS AND THE LOWER LEVEL PROGRAM LOCATION IS REQUIRED FOR PLYMOUTH HOUSING PROJECT

- Due to security and potential medical needs of the Plymouth Housing's senior residents, this program requires ease of access to grade.

3. SOUND TRANSIT PURCHASE & SALES TERMS

- 5,000 SF of retail space to be provided
- Site provide 100% affordable housing
- Affordability to be set at 60% of the AMI
- Site to include retail and community space to be available to the First Hill community
- Site to include Family Units



PLYMOUTH HOUSING FIRST HILL

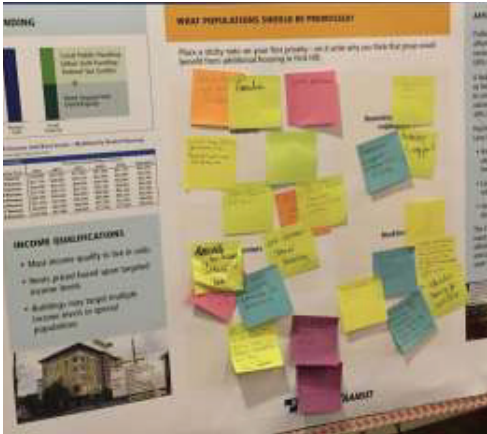
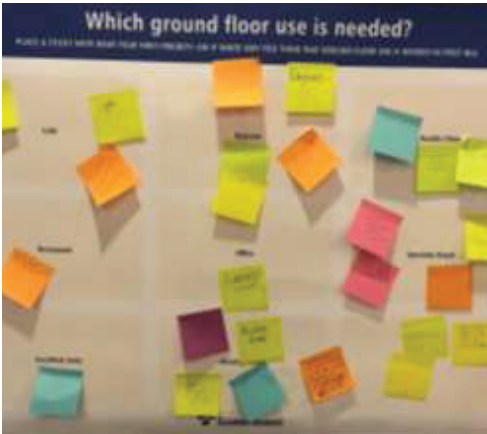


BELLWETHER HOUSING RESIDENTIAL ENTRY

Community amenities include vibrant retail along Madison Street and a meeting room for neighborhood use.



SOUND TRANSIT
COMMUNITY MEETING
6/5/2017



GUIDANCE AND FEEDBACK INCORPORATED INTO THE PROJECT FROM PUBLIC OUTREACH:

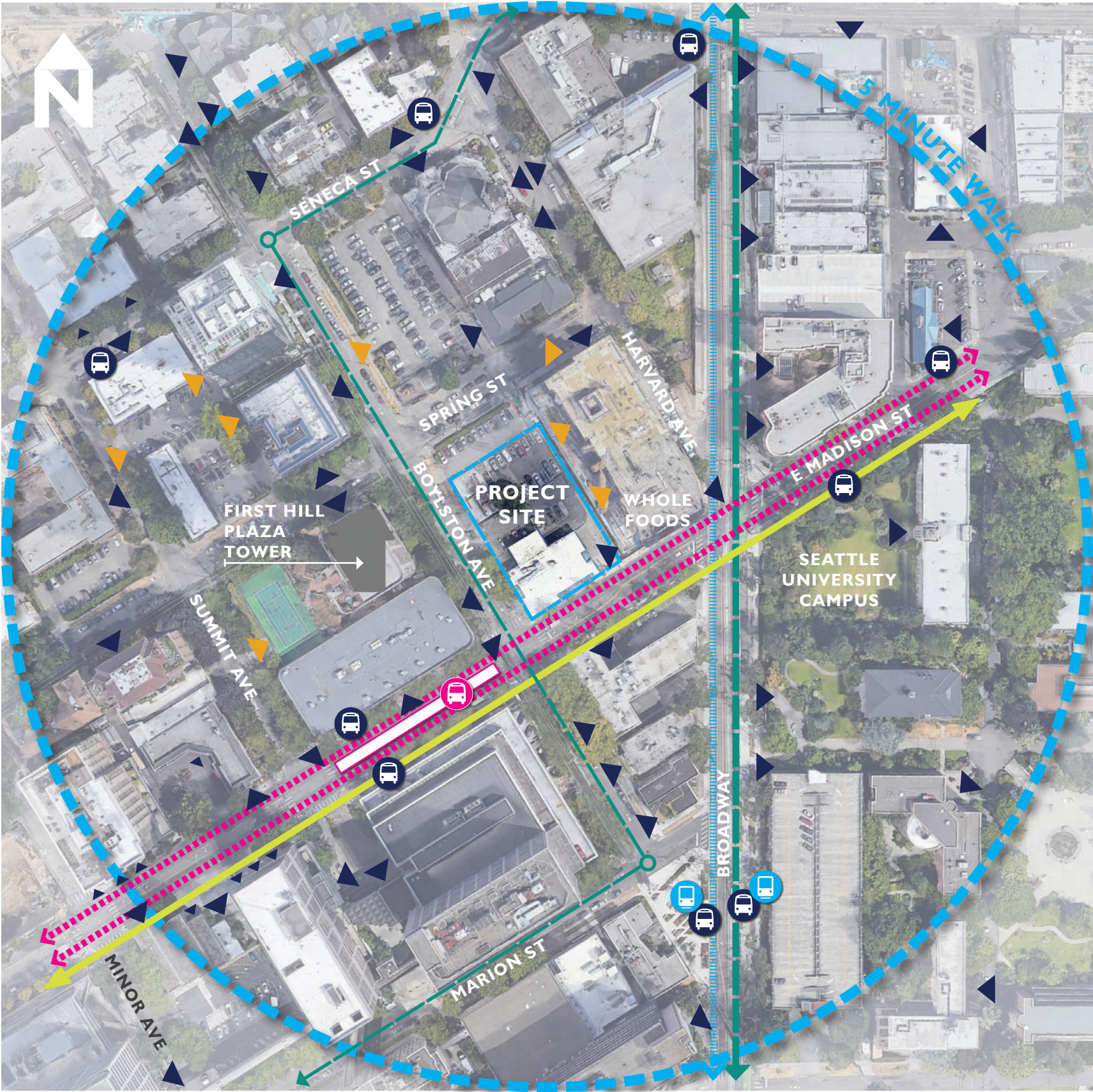
- Site provide 100% affordable housing
- Community space available to First Hill Community
- Site to include Family Units
- Senior Housing
- Security
- Desire for "quiet, walking-friendly side streets"
- Housing for families is "central to preserving a vibrant, diverse neighborhood for all"

- Support for a café or restaurant: explained that a café would offer much-needed gathering space and contribute to a sense of community
- Specialty Retail space
- "Some set back and gathering social space between building and sidewalk"
- Provide a tall and setback residential tower along Boylston



IMAGE CAPTION

CONTEXT ANALYSIS



CONSTRAINTS

- SHALLOW WATER TABLE.
- ADJACENT MEDICAL CLINIC CREATES NEED FOR ENHANCED SAFETY FEATURES.
- FIRST HILL PLAZA TOWER IS ROUGHLY 150'+ TALLER.
- NEIGHBOR TO THE EAST HAS WINDOWS FACING THE SITE.
- NO PARKING OR DROP OFF ZONE ALONG MADISON

OPPORTUNITIES

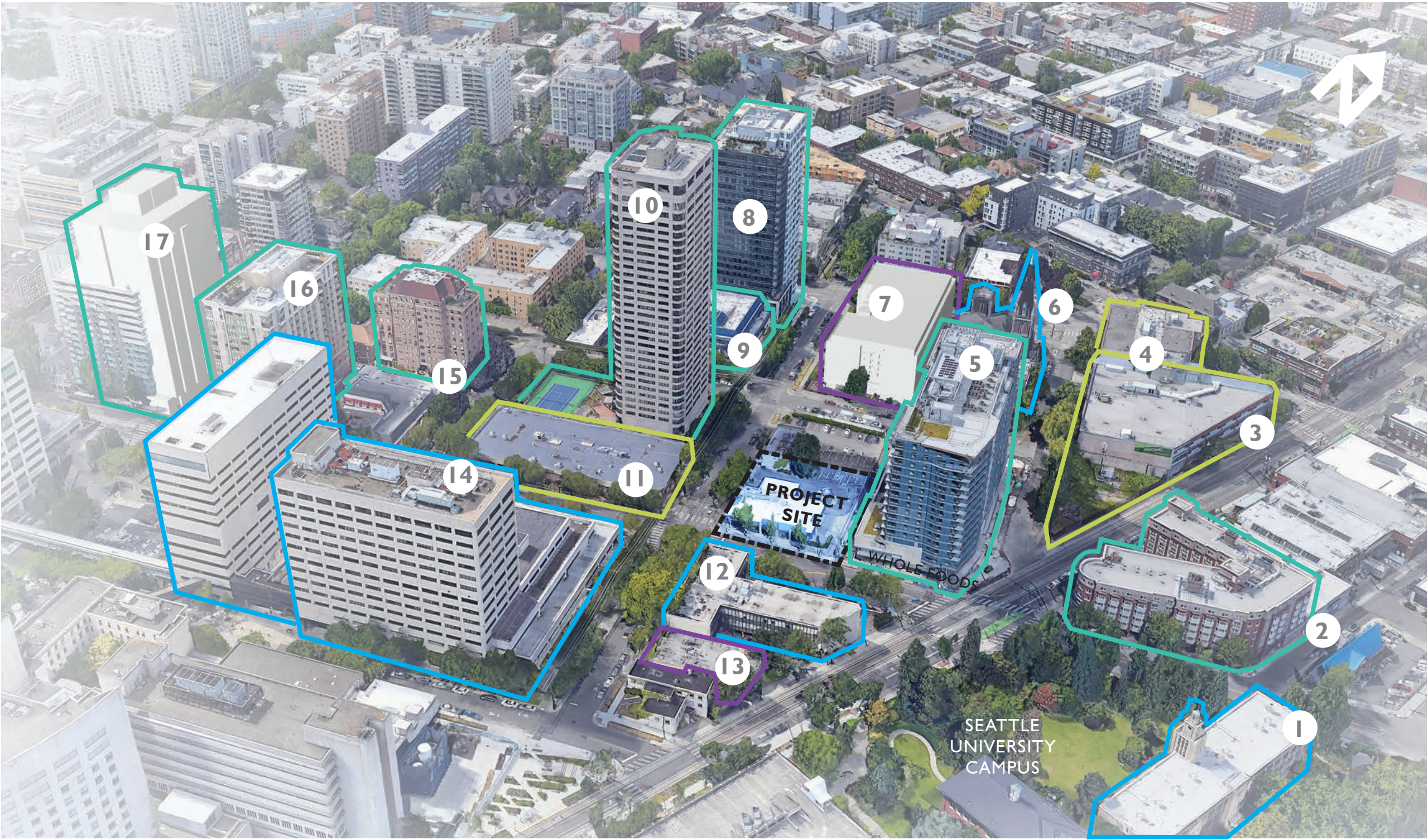
- ACCESS TO PIKE/PINE CORRIDOR.
- ACTIVE PEDESTRIAN ENVIRONMENT.
- PROXIMITY TO WHOLE FOODS MARKET, TO DEVELOP SUPPORTING RETAIL ALONG MADISON
- PROXIMITY TO FIRST HILL STREET CAR ON BROADWAY (2 MIN WALK) + FUTURE RAPID RIDE STATION (1 MIN WALK) + LIGHT RAIL (1 MIN WALK TO BROADWAY STATION)
- GREAT PROXIMITY TO HOSPITALS AND EMPLOYMENT.

LEGEND

- ▶ PEDESTRIAN BUILDING ENTRIES
- ▶ AUTOMOTIVE BUILDING ENTRY
- 🚌 BUS STOP
- 🚊 FUTURE RAPID RIDE STATION
- 🚊 SURFACE RAIL STATION
- ↔ PRINCIPAL ARTERIAL
- ↔ FUTURE BUS ONLY RAPID RIDE LANE
- 🚊 SURFACE RAIL TRANSIT LINE
- ↔ MAJOR BIKE ROUTES
- 🚶 SHARROW (STREETS WITH SHARED CAR/BIKE LANE MARKINGS)



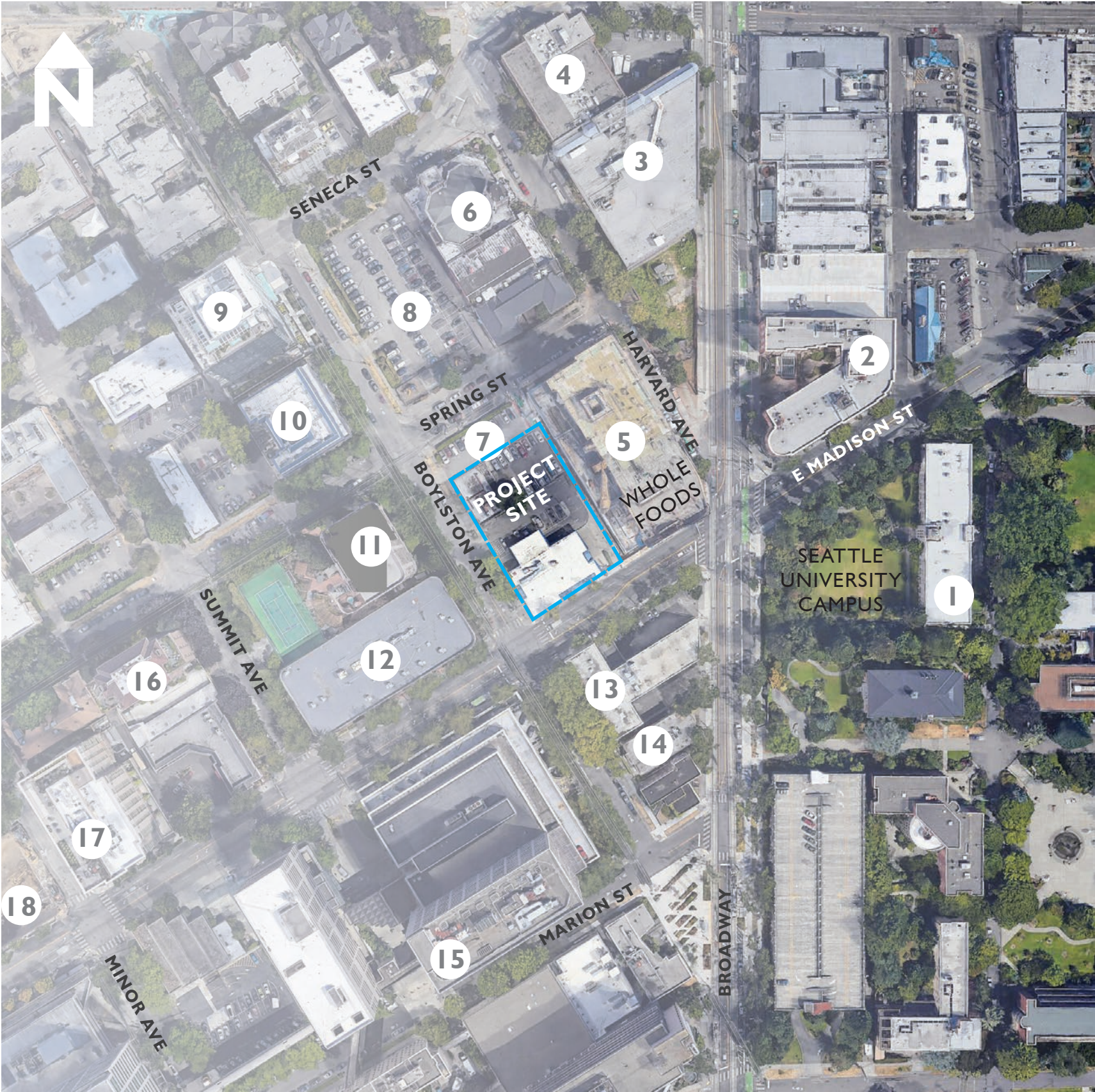
CONTEXT ANALYSIS



- 1 SEATTLE UNIVERSITY ADMINISTRATION BUILDING (3 STORY)
- 2 SILVER CLOUD HOTEL – SEATTLE BROADWAY (6 STORY)
- 3 THE POLYCLINIC (3-5 STORY)
- 4 THE POLYCLINIC (2-4 STORY)
- 5 THE DANFORTH – RESIDENTIAL APARTMENTS (17 STORY)
- 6 SEATTLE FIRST BAPTIST (3 STORY)
- 7 PLANNED PROJECT ZONING ENVELOPE – RESIDENTIAL (8 STORY)
- 8 LUMA – RESIDENTIAL CONDOS (24 STORY)
- 9 HILLTOP COURT APARTMENTS (5 STORY)
- 10 FIRST HILL PLAZA APARTMENTS + PARKING GARAGE (35 STORY)
- 11 FIRST HILL PLAZA COMMERCIAL (1 STORY)
- 12 SWEDISH MEDICAL OFFICES (2 STORY)
- 13 REZONE – PLANNED MIXED-USE BUILDING (13 STORY)
- 14 SWEDISH FIRST HILL CAMPUS (13 STORY)
- 15 TWELVE TWENTY THREE SPRING ST CONDOS (12 STORY)
- 16 COPPINS WELL APARTMENTS (16 STORY)
- 17 THE PERRY APARTMENTS (16 STORY)

OFFICE / COMMERCIAL RESIDENTIAL + LODGING INSTITUTIONAL PLANNED PROJECTS PROJECT SITE

CONTEXT ANALYSIS



ADMINISTRATION BUILDING



SILVER CLOUD HOTEL



THE POLYCLINIC



THE POLYCLINIC

CONTEXT ANALYSIS



THE POLYCLINIC



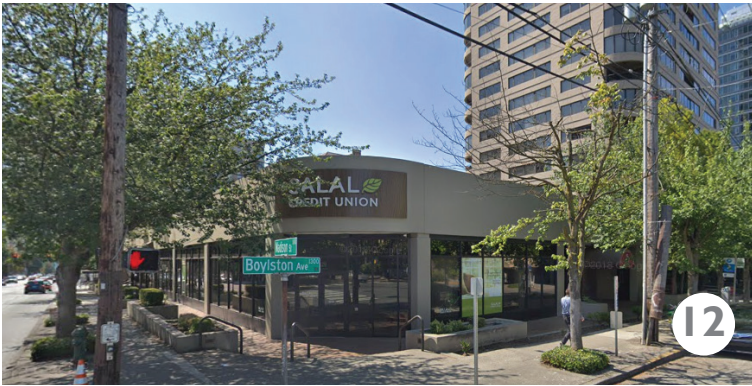
HILLTOP APARTMENTS



FIRST HILL PLAZA CONDO TOWER



THE DANFORTH APARTMENTS



FIRST HILL PLAZA



TWELVE TWENTY THREE SPRING ST



SEATTLE FIRST BAPTIST



SWEDISH FAMILY MEDICINE



COPPINS WELL



LUMA CONDOS

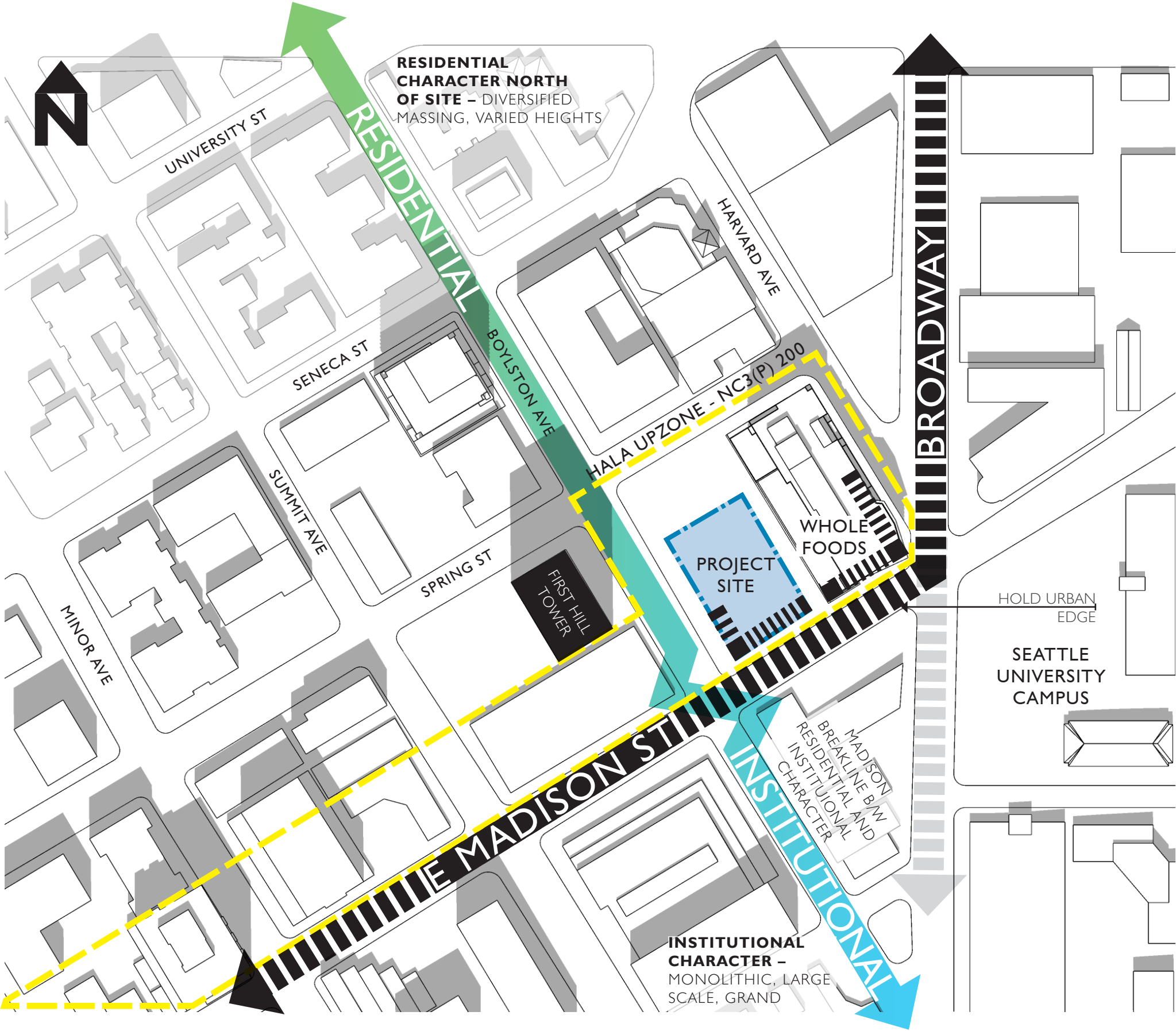
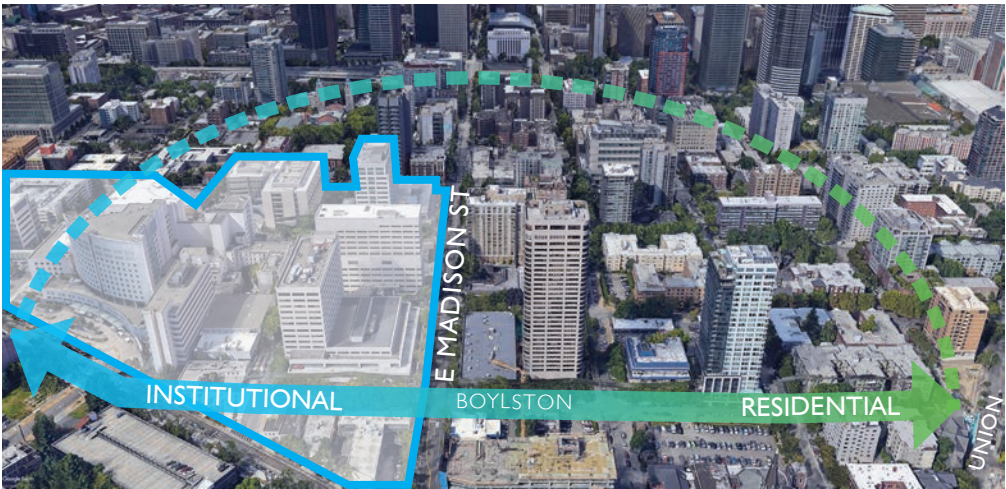


SWEDISH FIRST HILL CAMPUS

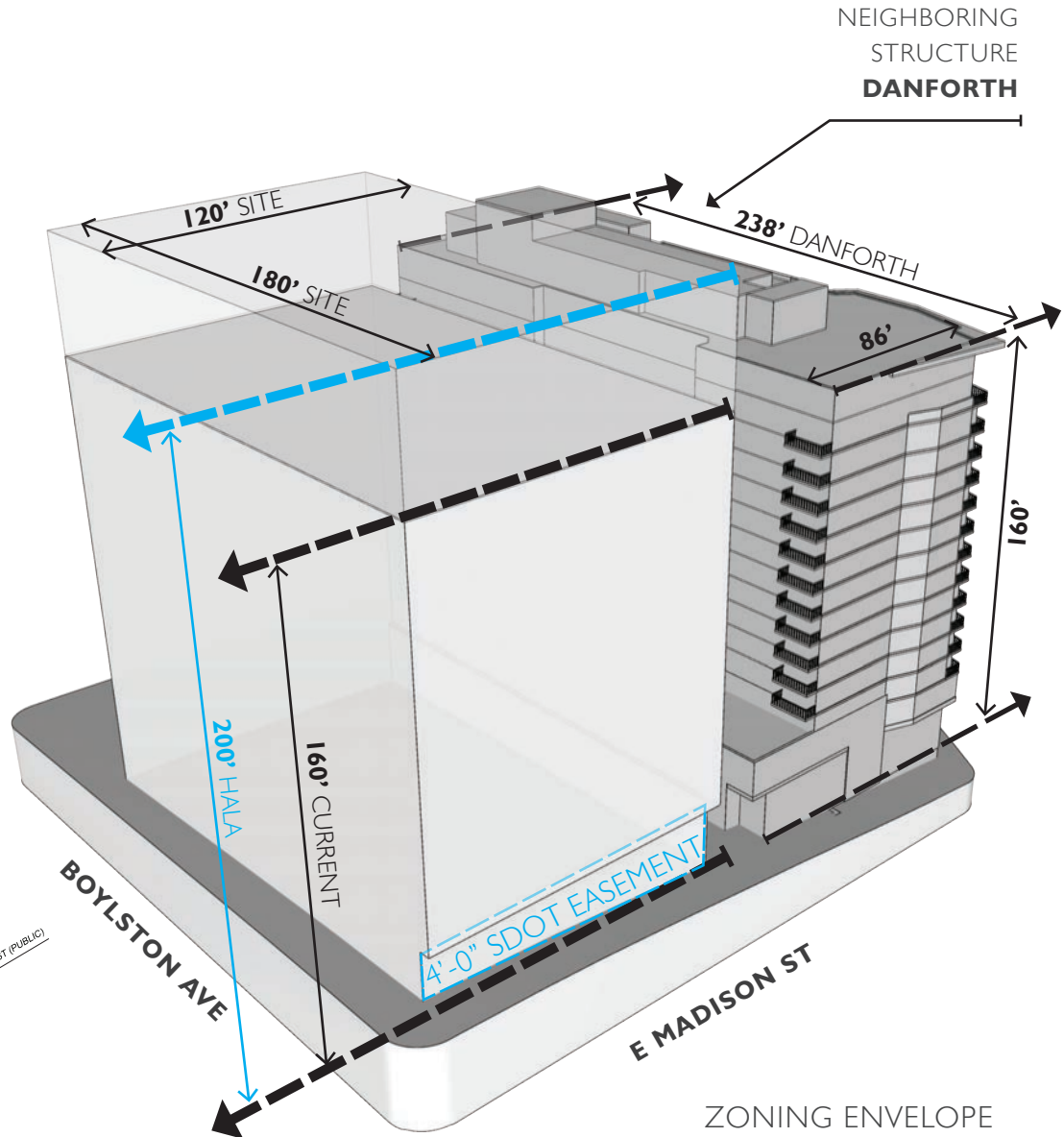
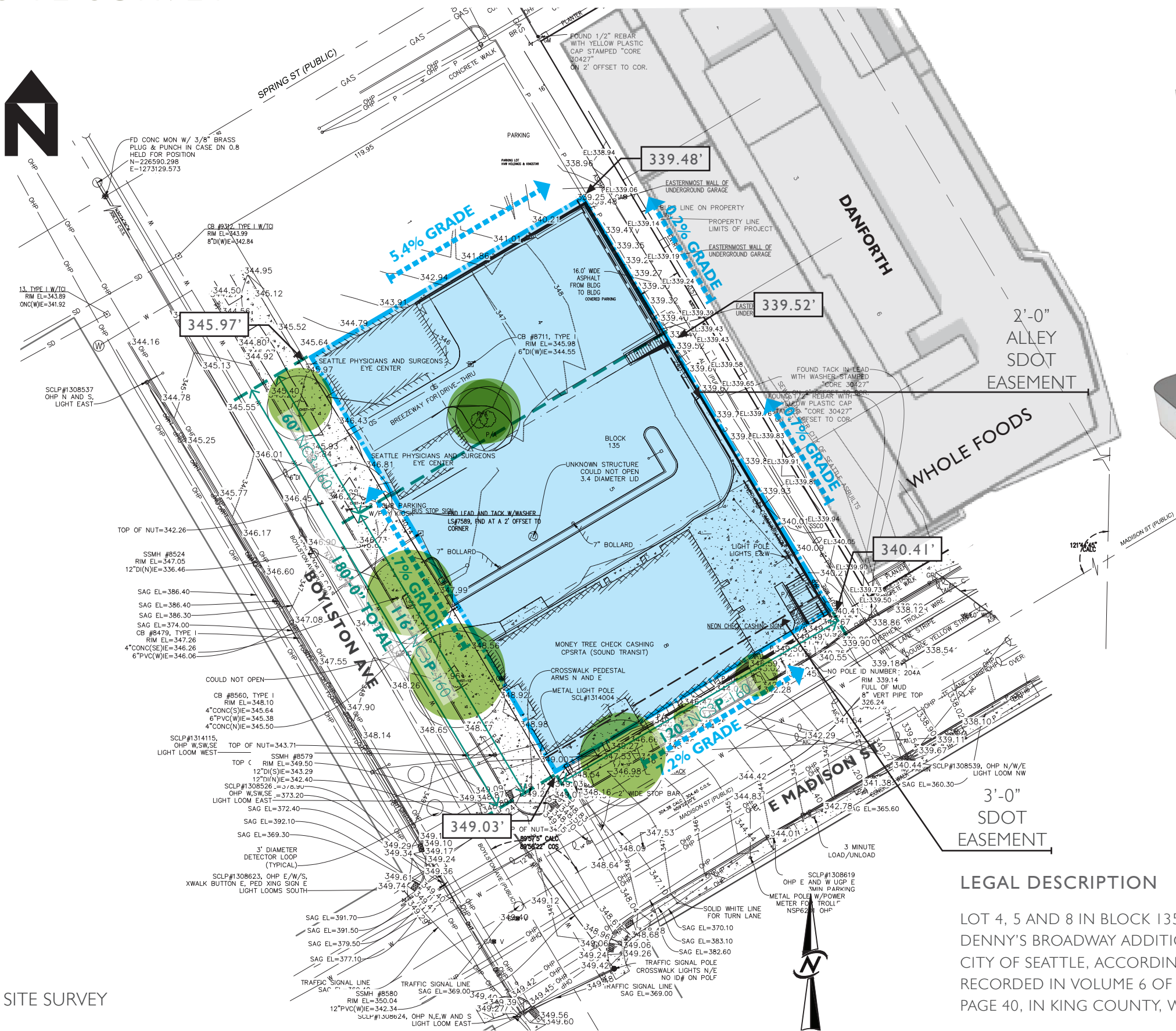


THE PERRY RESIDENTIAL APARTMENTS

CONTEXT ANALYSIS



SITE SURVEY



LEGAL DESCRIPTION

LOT 4, 5 AND 8 IN BLOCK 135 OF A.A. DENNY'S BROADWAY ADDITION TO THE CITY OF SEATTLE, ACCORDING TO PLAT RECORDED IN VOLUME 6 OF PLATS AT PAGE 40, IN KING COUNTY, WASHINGTON.

SITE SURVEY

CONTEXT ANALYSIS – HOUSING



HOUSING CONTEXT MODERN HIGH RISE

Throughout First Hill newer and upcoming high-rise residential towers are influencing an evolving character of the neighborhood. One major trend has emerged with podium datums and accentuated ground levels paired with simple patterned treatment of towers. These projects are the current trend for highrise projects that this project more closely aligns to.

FILIGREE LEVEL DETAIL
AT TOWER WITH
BOLDER ORNAMENT
AND DETAILS AT BASE



CONTEXT ANALYSIS – HOUSING

HOUSING CONTEXT: EXISTING HIGH RISE AND NEW MID-RISE WITH HISTORIC WAREHOUSE STYLES

Existing high rise projects including the first hill plaza condos have a delineated base from the upper level. The First Hill Plaza Tower comes from an era of brutalist aesthetic with little ornamentation and no reference to the historic material context instead associating more to the institutional styles of the neighborhood. Newer mid-rise projects coming online and under the East Design Review Board are taking on a stylistic reference to autorow era mid-rise structures of the Pike-Pine corridor.



FIRST HILL PLAZA CONDO TOWER



THE BROADSTONE



THE BROADSTONE



TWELVE TWENTY THREE
SPRING ST



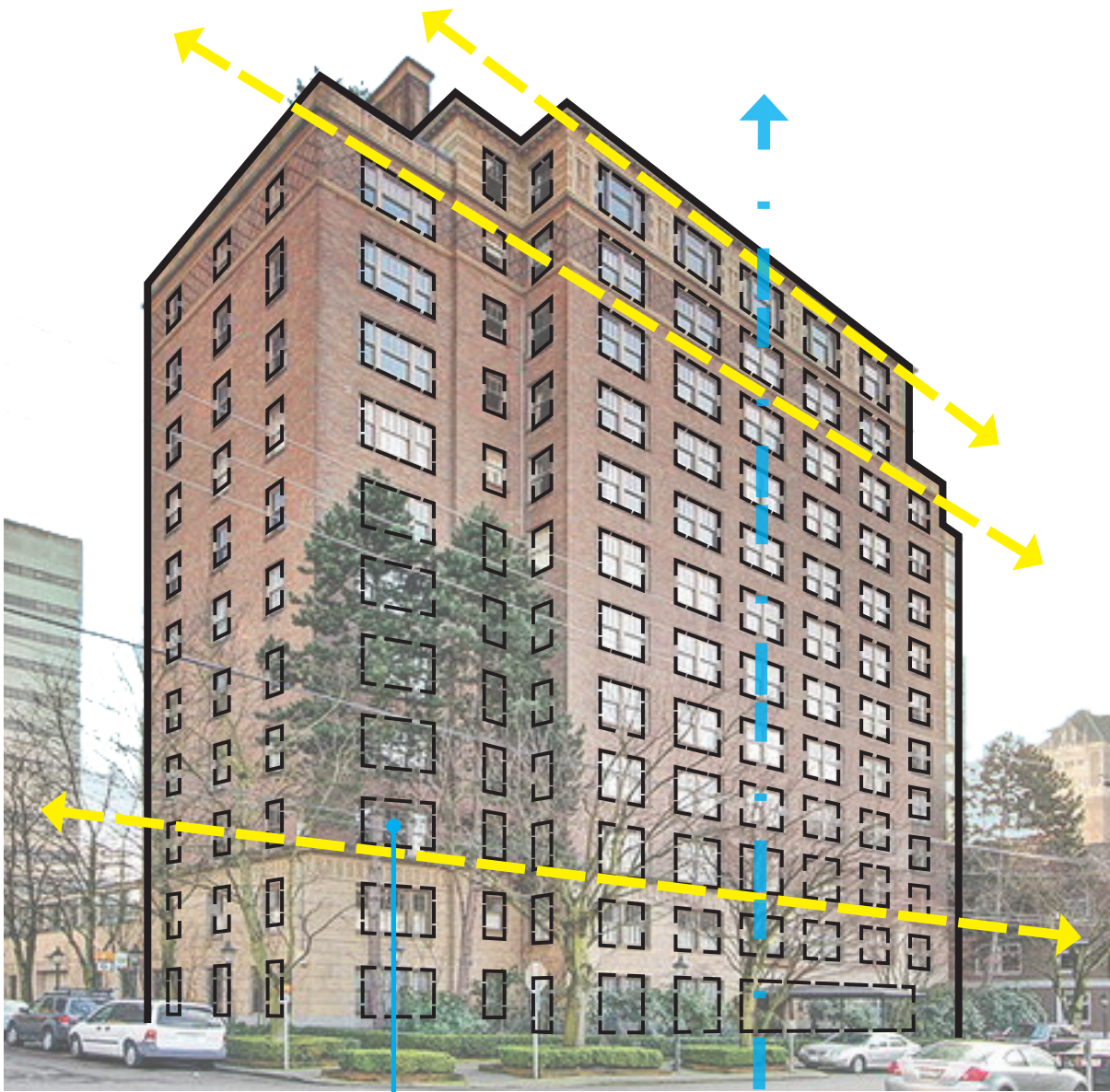
1103 SUMMIT AVENUE



COPPINS WELL

Coppins Well and Twelve Twenty Three Spring St have a similar look; a nod to the historic character of First Hill brick structures.

CONTEXT ANALYSIS – HOUSING | FIRST HILL PUNCHED OPENINGS



THE MARLBOROUGH – 1220 BOREN AVENUE

ARTICULATION: Punched openings across a consistent mass create a fabric texture that works as a back drop to the neighborhood and provides pedestrian scale patterning.

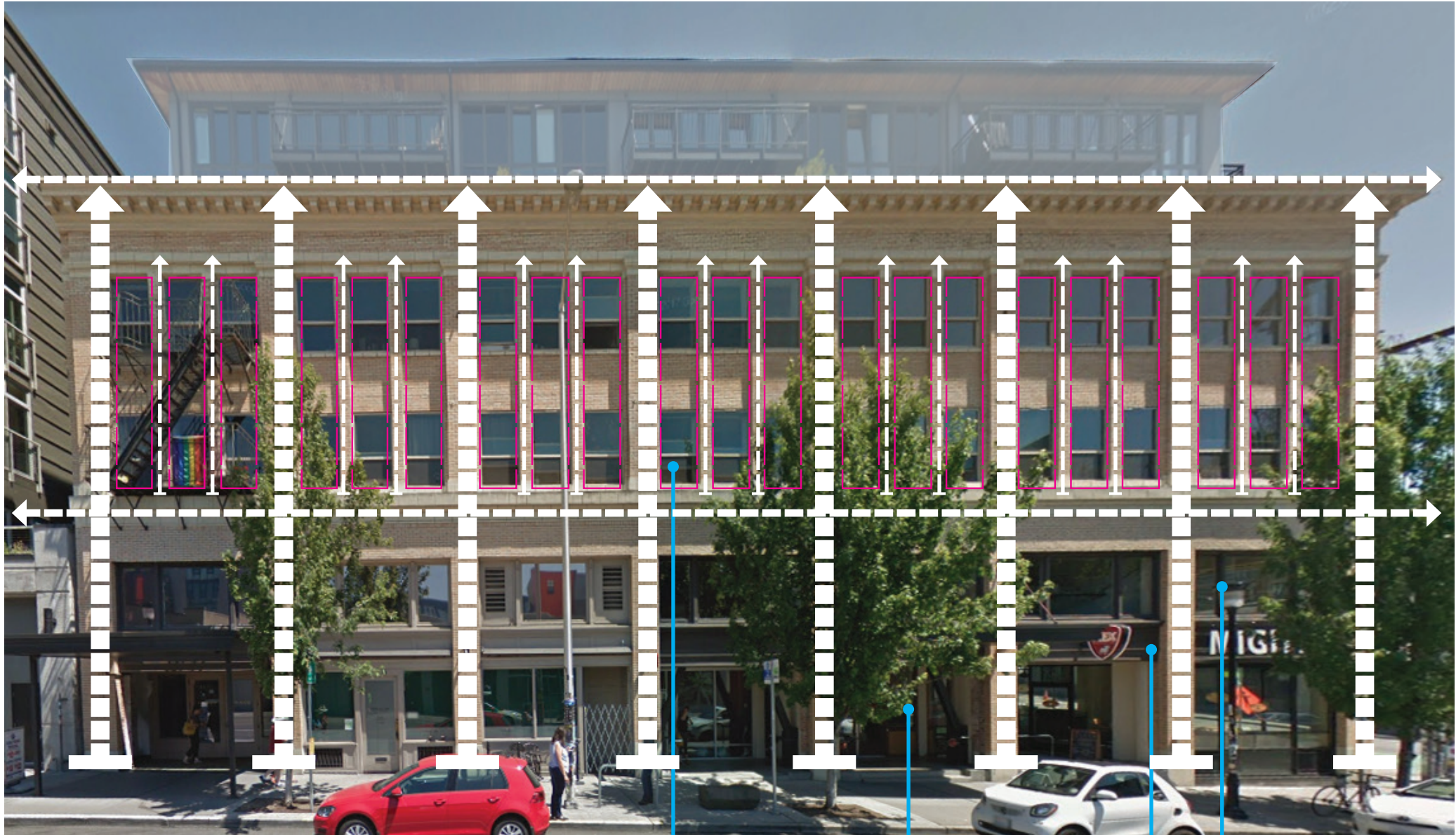


TWELVE TWENTY THREE SPRING ST

PROPORTIONS: Verticals in facade break down overall scale, but maintain Base, Middle, Top historic model for composition

ARTICULATION: A mix of vertical and horizontal punched openings across a consistent mass create a fabric texture that works as a back drop to the neighborhood.

CONTEXT ANALYSIS – HOUSING | CAPITOL HILL BRICK GRID STRUCTURES



BETKINS STORAGE WAREHOUSE WEST ELEVATION - 12TH AVE

WINDOWS: 3-window
punched opening
articulation at upper levels

PROPORTIONS: Frequent verticals and
vertical orientation of openings

TWO-STORY EXPRESSION
OF WINDOWS

TOWER PRECEDENTS



Referencing forms with a modern articulated massing with podium expression at base.



Provide clean detailing with modern interpretation of historic cornices and historic reference of material through color and texture – not trying to match, but complement.



Maintain simple massing with sophisticated color palette and complimentary design languages between back mass and broken down mass at street frontage



SIMPLE MASSING WITH SEPARATE AND COMPLEMENTARY PODIUM EXPRESSION. TOWER DETAILING ORDERED AND SIMPLE BUT PROVIDES PATTERN AND INTEREST.



GROUND LEVEL PRECEDENTS



Provide corner retail and defensible spill out space at base of tower expression



PEDESTRIAN REALM

The existing character along Madison has little variation in building edges to sidewalk. The proposed project is looking to create a unique and varied ground level that highlights retail earmarked for restauranteurs and supports retail that pairs well with the adjacent Whole Foods' entry as well as create unique and welcoming entries for the future residents of 1400 Madison.



Prioritize scale and the sense of arrival for residents with bright and transparent lobbies.



EARLY DESIGN GUIDANCE + PRIORITIZED DESIGN GUIDELINES

1. MASSING & CONTEXT

- a. Staff notes that massing options 2 and 3 are equally compelling, but ultimately supports Option 3, the applicant’s preferred massing option, provided that there is thorough study and further development in response to the guidance discussed herein. **Staff is particularly concerned about the recessed ground level at the south corner, shadow impacts on the upper-level terraces, and the proportions of the two interlocking masses.** These concerns may be better addressed in Option 2; study Option 2 and apply to the evolution of Option 3.
- b. Staff appreciates the detailed analysis of the residential and institutional architectural context. In response to public comment, Staff requests more information on **how the proposal is designed to fit within the context of the existing streetscape along the north side of Madison St., particularly to the west.** Staff specifically **prioritizes Design Guideline CS2-D-1, Existing Development and Zoning.** Provide a streetscape elevation and study existing ground and upper level setbacks at the Recommendation phase. (CS2, CS2-D-1, CS3, DC2-C-3)
- c. Staff supports the interlocking volumes concept, but questions its execution. **Strengthen the expression of the interlock by incorporating a legible setback** between the base and tower mass. Document the depth of the setback in section, plan and pedestrian eye-level perspectives at the Recommendation phase. See additional guidance, regarding the treatment of the two volumes below. (DC2, DC2-A, DC2-D-1).
- d. Staff is **concerned about the squat proportions of the two interlocking volumes**, and the perceived bulk and scale of the L-shaped tower mass. Staff notes that the majority of the glassy tower precedent imagery on page 22 of the EDG packet have vertically elongated proportions and forms. (DC2, DC2-B-1)
- e. Staff directs further study of the proportions of the base mass and the scale as it relates to the pedestrian realm. Study extending the base along Madison St or around the entirety of the building envelope, similar to massing options 1 and 2. **Visually ground the volume and strengthen the expression of the concept by extending the treatment of the base mass to grade.** (DC2, DC2-B-1, DC2-D-1)
- f. Staff **does not support the design of the recessed retail at the south corner as it lacks a strong connection to the street**, fails to ground the mass and creates an awkward massing pinch-point, which is exacerbated by the 17-story mass above. Staff notes that the treatment of this corner in massing Option 2 may be more successful. See additional guidance regarding the street-level corner use below. (CS2-C-1, DC2-A-1)

2. FAÇADE TREATMENT

- a. Staff **supports the use of contrasting materials to strengthen the interlocking mass concept and respond to the mixed historic and modern residential context in a unified expression.** Staff supports the design intent illustrated in the precedent images of the Cyrene and the Post on page 22 of the EDG Packet. (DC2, DC4-A)

- b. Staff **supports the intent to organize the façade composition in a manner that expresses “neighborhoods”** within the structure, but is concerned that proposed horizontal banding contributes to the awkward proportions. In response to public comment, study how the façade treatment and unique detailing will create visual interest, contribute to a residential character, establish attractive proportions, and differentiate the mass from other glass spandrel buildings within the First Hill neighborhood. **Staff specifically prioritizes Design Guideline DC2-B-1, Façade Composition.** (DC2, DC2-B-1, DC2-C-1, DC2-D-2)
- c. Staff **supports the use of operable windows to provide visual interest and residential character**, and specifically **prioritizes Design Guideline DC2-C-1, Visual Depth and Interest.** (DC2-C-1)
- d. In agreement with public comment, **Staff recommends the use of a high quality, robust and durable material, such as masonry, on the base mass.** The material choice and application should **visually ground the base, establish a fine-grained scale and texture, and be informed by the historic residential context.** Staff specifically prioritizes Design Guidelines **DC4-A, Exterior Elements and Finishes, and DC2-D-2, Texture, and states that high quality materiality and detailing are demanded by this scale of envelopment and critical to the success of the architectural expression.** (DC2-D-2, DC4-A-1).
- e. In response to public comment, Staff notes that **thoughtful detailing of the material transition between the two interlocking volumes is critical** to the successful execution of the architectural concept. Provide details depicting this transition at the Recommendation phase. (DC4-A-1)
- f. To strengthen the expression of the interlock and respond to public comment, **wrap the material treatment of the base mass onto the north and alley facades. Staff specifically prioritizes Design Guideline DC2-B-2, Blank Walls.** (DC2-B-1, DC2-B-2)

3. STREET-LEVEL USES & ENTRY EXPERIENCE

- a. Staff generally supports the street-level plan of massing Option 3, but is concerned about the retail spill-out space at south corner. To better activate the public realm and create a strong street edge, **Staff recommends extending the interior retail space to the corner and incorporating additional street-facing retail entries along Madison St.** Consider shifting the retail spill-out space onto Boylston St, a quieter street. **Staff specifically prioritizes Design Guidelines CS2-B-2, Connection to the Street, and PL3-C-1, Porous Edge.** (CS2-B-2, CS2-C-1, PL3-C-1)
- b. Staff supports the glazed retail corner at the alley. (PL3-C-1)
- c. Staff supports the dual residential entries and slightly elevated entry condition on Madison St. Continue to study the configuration of the access ramp as guidance regarding the corner is resolved. Ramping should be well integrated into the entry experience and street frontage. (CS2-B-1, PL2-A-1, PL3-A-1)

- d. The **residential entry on Madison St should be designed to be identifiable and visually distinctive from the retail frontage.** Explore how the mass and façade composition may help achieve this guidance. Staff specifically **prioritizes Design Guidelines PL3-A-1, Design Objectives, and PL3-A-2, Common Entries.** (PL2-D, PL3-A-1, PL3-A-2)
- e. Staff supports the stepped retail floor plates, as it is a successful response to grade change along the Madison St frontage. (CS1-C, CS2-B-1)

4. OPEN SPACE

- a. Staff is **concerned about shadow impacts on the level 2 and level 5 terraces resulting from the portion of the mass along Madison St and potential future development on adjacent sites.** Staff specifically prioritizes **Design Guideline CS1-B-2, Daylight and Shading.** Provide an updated shadow study that includes potential future development at the Recommendation phase. (CS1-B-2)
- b. Staff **preliminarily supports the rationale for the requested departure from amenity area enclosure requirements**, provided that the combined exterior and interior common amenity areas meet the minimum square footage requirement. **Staff specifically prioritizes Design Guidelines DC3-A-1, Interior/Exterior Fit; DC3-B-1, Meeting User Needs; and DC3-B-4; Multifamily Open Space. Exterior and interior amenity areas should be sized for usability, promote interaction, and relate well to each other.** (DC3, DC3-A-1, DC3-B-1, DC3-B-4)
- c. In response to SDOT comment, **Staff specifically prioritizes PL1-B, Walkways and Connections. Design the streetscape to support large pedestrian volumes and contribute to a walkable neighborhood.** (PL1-B)

5. VEHICULAR ACCESS IMPACTS

- a. Staff is concerned about the highly exposed parking and loading area off the alley and questions how it relates to the human-scale and adjacent alley-level uses. **Minimize the visual impact of this large void on building aesthetics**, the adjacent development and the public realm. **Staff specifically prioritizes Design Guidelines DC1-C-2, Visual Impacts, and DC1-C-4, Service Uses.** (DC1-C-2, DC1-C-4)
- b. **Staff is concerned about safety and security along the alley**, particularly along the large recessed parking area, and specifically **prioritizes Design Guidelines PL2-B-2, Lighting for Safety, and DC4-C-2, Avoiding Glare.** Demonstrate how lighting of the parking area will be designed to minimize impacts on alley-facing residential units. (PL2-B-2, DC4-C-2)
- c. In response to SDOT comment, Staff notes that the site is well served by multiple modes of public transit and is located in a highly walkable neighborhood. Since parking is not required, consider internalizing, reducing or eliminating parking as part of the response to prior guidance. (DC1-C-1, DC1-C-2, DC1-C-4)

RECOMMENDATION RESPONSE TO EDG COMMENTS



DC2 ARCHITECTURAL CONCEPT

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

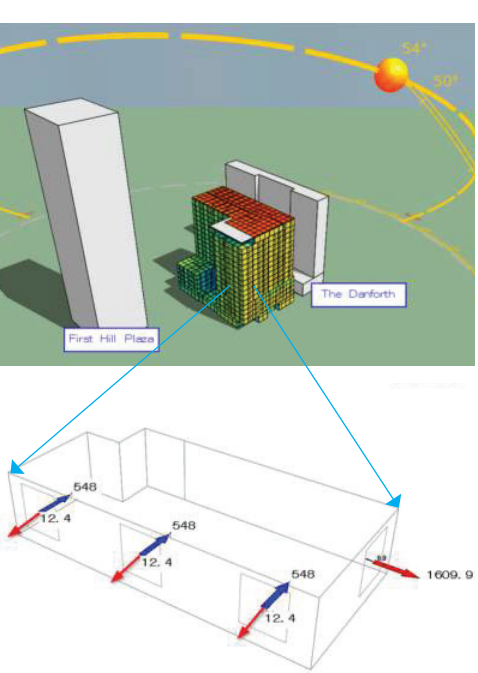


CS2– B2 CONNECTION TO THE STREET AND PL3 – CI, POROUS EDGE



CSI– B2 DAYLIGHT AND SHADING

Maximize daylight for interior and exterior spaces and minimize shading on adjacent sites through the placement and/or design of structures on the site.



1A MASSING & CONTEXT – PROPORTIONS

RESPONSE – PROPORTIONS: The proportions of the tower have been honed and the detailing and patterning of the interlocking volumes have been strengthened by creating a vertical expression as opposed to the horizontal expression presented at EDG. Additional skin treatment and refinement of the design have improved the proportion and scale of the project and strengthened the parti.

The podium along Madison now anchors itself through a masonry expression that snakes through the building carrying its proportions on the north and south frontages. The tower language still continues down to the corner, helping to create the interlocking concept and becoming a physical manifestation of the two housing providers coming together in this joint venture affordable housing project.

1A MASSING & CONTEXT – RECESSED RETAIL

RESPONSE – RECESSED RETAIL: The recessed retail at the main corner of Madison and Boylston has been reduced significantly to create visibility into the corner retail by relocating restaurant seating along Boylston and minimizing the residential access terrace to be part of the overall pedestrian experience. This locates the retail closer to Madison, and defines an “outdoor living room” for a restaurateur to inhabit along Boylston, a concept developed through consultation with a retail broker to provide differentiated retail space along Madison. The existing context accommodates only quick-serve retail as there is no defensible space between the building and sidewalk for restaurants to occupy. This retail space is earmarked for a local restaurateur as a gathering spot for the local community.

1A MASSING & CONTEXT – SHADOW IMPACTS

RESPONSE – SHADOW IMPACTS: The self-shading structure aids in the reduction of heat-gain within units. An extensive analysis has been completed through grant-backed research to prove out sustainable solutions; deemed HOPS (Highrise Optimal Performance Study). The analysis presented the overheating of residential units in the summer over 30 days. The goal moving forward with the preferred Option 3 presented at EDG is to rely on the passive cooling through self-shading and to provide an enhanced envelope with careful location of operable windows to allow for natural ventilation in the warmer summer months. Envelope improvements will also help retain heat in the units during the colder months. Option 2 presented at EDG would significantly impact overheating of units by increasing solar exposure; this puts more tenants at risk for overheating and presents cost-prohibitive mechanical solutions to cool the building during the summer months.

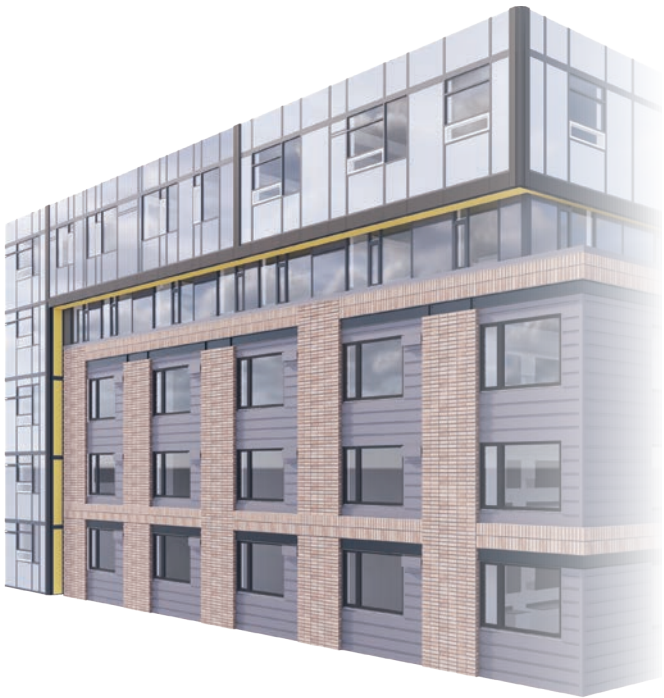
The preferred massing provides strategically located amenity space, designed to prioritize the wellness of community and create opportunities for gathering and residential interaction; “Both urban and rural green environments simultaneously improve self-esteem and mood; self-esteem describes a person’s sense of worth or value, which significantly impacts health and performance; mood is a factor of daily life that indicates mental health and strongly influences one’s feelings, ability to appreciate the moment, coping skills, and quality of life.” (Barton 2009) All units were considered in the design for daylight and view potential. Perimeter windows light the hallways of the Plymouth levels (level 2-5) – “Daylight has been shown to positively impact those with various types of mental illness” (Edwards 2002, Joseph 2006, Ulrich 2008).

RECOMMENDATION RESPONSE TO EDG COMMENTS



CS2-D-1, EXISTING DEVELOPMENT & ZONING

Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition. Note that existing buildings may or may not reflect the density allowed by zoning or anticipated by applicable policies. surroundings.



DC2-A+D MASSING + SCALE

Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept.



TWELVE TWENTY THREE SPRING ST



DC2- BI FAÇADE COMPOSITION

Ensure that all facades are attractive and well proportioned through the placement and detailing of all elements, including bays, fenestration, and materials, and any patterns created by their arrangement. On sites that abut an alley, design the alley façade and its connection to the street carefully.

1B MASSING & CONTEXT – FIT WITHIN THE CONTEXT

RESPONSE: The stepping down of the massing to the north along Boylston is essential in responding to the height and scale of the neighborhood. The articulation of the massing along Boylston and Madison are treated with a regular vertical brick column articulation that establishes a rhythm indicative of historic bay structures in Capitol Hill and brick structures throughout First Hill. The corner of the site, where this bay structure is interrupted, opens up from the rhythmic brick structure to present a glassy transparent retail space at the base that rotates towards Madison to draw in pedestrians, supporting and strengthening the interlock parti. Through warm coloration, patterned materials with simple details and strategically located canopies, the pedestrian experience is enhanced, offering a retail experience currently missing along the Madison ROW. This is stylistically reminiscent of Coppins Well, two blocks west of the site, a project seen as a successful modern interpretation of the historic style of the neighborhood by members of FHIA.

1C MASSING & CONTEXT – HUMAN SCALE

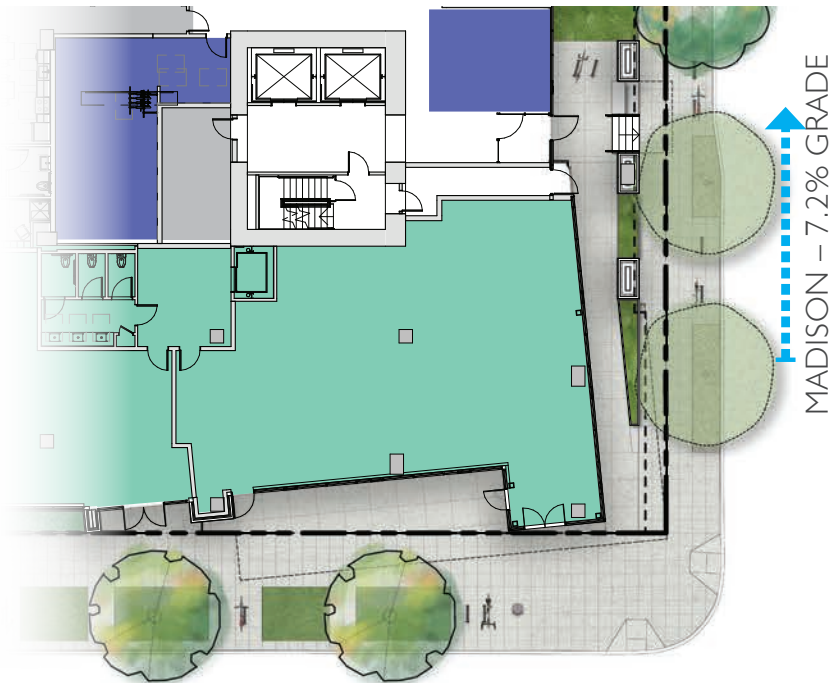
RESPONSE: The interlock expression and legible setback between base and tower mass have been addressed by introducing a gasket between the masonry base along Madison and the upper level window wall. The base meets grade at the SDOT 4' setback and a gasket sets back from the masonry base to create a transition between the two feet of separation from the window wall.

1D & E MASSING & CONTEXT – FAÇADE COMPOSITION + HUMAN SCALE

RESPONSE: In the EDG presentation we documented context analyses showing opposing trends between high-end high-rise multifamily projects throughout First Hill and mid-rise project echoing character of the auto-row era of Capitol Hill and nearby historical contexts. Separately from the context analysis we identified local and national precedents we have identified as providing inspiration. We are not necessarily pulling inspiration from the high-end high-rise product, but rather a complement to the historic character of the neighborhood in a modern way. The Post Seattle has similar proportions to this project and showcases a humble but sophisticated solution to working with modern materials against historic structures. The goal is to develop architecture that is approachable, welcoming and feels like home; we are not attempting to achieve a vertical glassy expression.

The podium design and interlock scheme has been strengthened through fenestration, material and massing refinements. The fenestration of the tower has developed a language of interlocking zones using two-tone coloration and vertical and horizontally expressed windows to create a building fabric. This is indicative of historic housing models throughout First Hill; the skin of the towers historically are treated as fabric and carry simple proportions and rhythms to establish this character. We are incorporating this methodology through modern materials in the tower and providing depth and interest at grade through a modern interpretation of historic brick structure using patterned warm brick work and repetitious window patterns as seen in nearby historic apartments.

RECOMMENDATION RESPONSE TO EDG COMMENTS



CS2 – C1 CORNER SITES + DC2 – A1 SITE CHARACTERISTICS & USES



DC2 MASSING & DC4 – A BUILDING MATERIALS

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.



DC2 –B1 FAÇADE COMPOSITION + DC2 – C1 VISUAL DEPTH AND INTEREST

Create visual interest, contribute to a residential character, establish attractive proportions, and differentiate the mass from other glass spandrel buildings within the First Hill neighborhood. AND operable windows to provide visual interest and residential character.

1F MASSING & CONTEXT – CORNER SITES AND SITE CHARACTERISTICS

RESPONSE : The project team has studied this through multiple iterations; working through the architecture and landscape to develop the design to respond to this guidance. The key to this we believe is moving the seating area (commercial living room) to Boylston, but still maintaining an activated frontage along Madison. The corner retail entry has been moved to the corner and angled to present itself to Madison, a desired vantage point for any retailer. The design team, retail broker, and community are confident in the ability of this design solution to draw-in retailers (i.e. create community and draw from pedestrians). Furthermore the articulation of the upper façade treated as a fabric, works to lighten the feeling of this corner.

2A FAÇADE TREATMENT – MATERIALS + PRECEDENTS

RESPONSE: Both Cyrene and The Post are serving as the stronger precedents for this project. We have developed a patterned façade with complementary colorations assigned to either the vertical volumes within the façade, or background connecting volumes within the façade. Furthermore, the operable window patterns create a subtle textural fabric of the tower, a strategy employed by both projects mentioned above.

2B+C FAÇADE TREATMENT – FAÇADE COMPOSITION

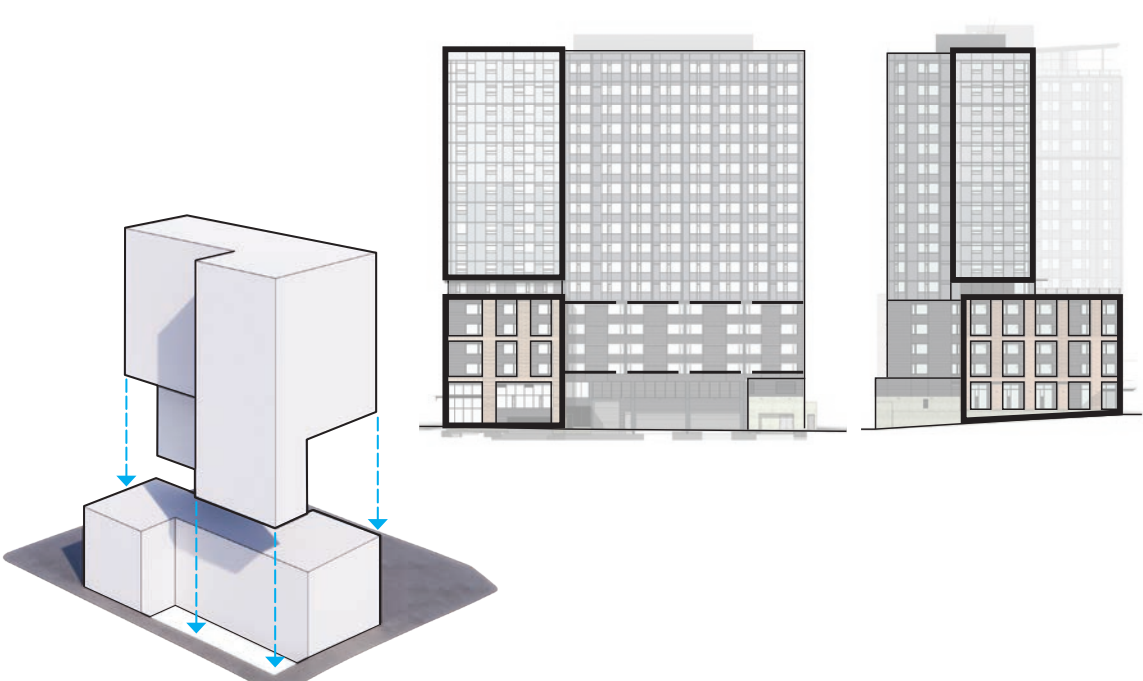
RESPONSE: We have worked to develop a simple yet effective solution to the façade patterning that supports the interlock scheme and the breaking down of the tower scale into neighborhoods; improving the skyline, providing interest and variation in a subtle and refined manner. As mentioned previously, the horizontal treatment presented at EDG was abandoned and a vertical expression of the tower enhances the interlock parti by breaking down the scale of the upper volumes. Coloration is indicative of brick throughout First Hill and echoes the warehouse style structures of Capitol Hill. The use of a charcoal grey mullions combine with the spandrel, metal and brick coloration provides interest and contrast allowing the building facades to become a fabric backdrop to the neighborhood as opposed to the newer silver/metallic towers of the neighborhood.

Our design solution celebrates the windows, utilizing color contrast and orientation of windows to create patterning and residential scale in the façade – Operable window frames are white, the standard mullion color is a charcoal grey.

RECOMMENDATION RESPONSE TO EDG COMMENTS



DC4-A, EXTERIOR ELEMENTS & FINISHES Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. + **DC2-D-2, TEXTURE** Design the character of the building, as expressed in the form, scale, and materials, to strive for a fine-grained scale, or “texture”.



DC2-B2 BLANK WALLS
Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept.



CS2-B-2, CONNECTION TO THE STREET Identify opportunities for the project to make a strong connection to the street & carefully consider how the building will interact w/ the public realm + **PL3-C-1, POROUS EDGE** Engage passersby w/ opportunities to interact visually w/ the building interior using glazing & transparency...make a physical & visual connection b/w people on the sidewalk & retail activities in the building.

2D & E FAÇADE TREATMENT – EXTERIOR DETAILS + TEXTURE

RESPONSE: Quality, long-lasting, low maintenance materials are also a housing provider priority. The brick masonry expression and coloration is linked to the neighborhood context. Infill metal panel within the brick bay structure and along the alley is pre-finished and is a composite panel ensuring clean/flat installation that will not oil can. Window wall provides a long-lasting superior aesthetic and has been designed within its constraints to celebrate the parti and create a patterned façade. See material details in the packet for more information.

see details of the gasket transition of window wall to the brick base, especially along Madison where this transition is fully exposed. The base otherwise meets up with the window wall at the back inset of the courtyard facing Boylston and along the interior property line to the North. This is handled through a coloration change, allowing the darker window wall expression to recess back, creating relief from the base to the upper level fenestration/expression.

2F FAÇADE TREATMENT – EXTERIOR ELEMENTS & FINISHES + TEXTURE

RESPONSE: The development of the design has strengthened the parti. The following presentation includes diagrams and further design development showcase the interlock concept expression. The material treatment and proportion of the Madison façade is reflected on the north elevation, along the abutting property edge. This north edge is an interior lot line condition, but we are electively providing equal treatment of the façade as the adjacent lot is currently used as a parking lot with no current plans for development, however is viable for development. This material transition is effective in design and locates quality materials throughout and pedestrian scale materials within the pedestrian realm.

The east alley façade maintains the brick material and expression at the base as it wraps to the Madison façade. The glassy treatment at this building’s alley corner reflects the massing and glazing of the adjacent Danforth building; providing a retail friendly treatment across from an entry to Whole Foods Market. Minimal blank walls exist, however, the “blank” wall along at the east edge of the north elevation (adjacent the alley) is the location of the transformer room, requiring direct access to the alley. The six foot setback at the north property line accommodates a storm-water planting area, a strategy to help mitigate the site’s storm-water to the highest capacity possible and to provide foundation screening via plantings.

3A STREET-LEVEL USES/ENTRY – RETAIL CONNECTION

RESPONSE: As mentioned in prior guidance, tied to massing, we have relocated the retail seating area to Boylston. The retail frontage is angled toward Madison and main entry doors are located at the prime corner. Additional street facing entries along Madison have not been added as the retail spaces are the correct sizes for target tenant uses with entries in ideal locations vetted by a retail broker. Additionally added entries would not be possible to meet finished floor slabs as well as accommodate ADA required accessible entries given the steep slope of the Madison grade. Retail entry doors are highlighted with color to draw character and attention to these locations. The retail frontage along Madison is treated with continuous storefront with operable windows located

RECOMMENDATION RESPONSE TO EDG COMMENTS



PL3-C-1, POROUS EDGE

Engage passersby w/ opportunities to interact visually w/ the building interior using glazing & transparency...make a physical & visual connection b/w people on the sidewalk & retail activities in the building.

3B STREET-LEVEL USES/ENTRY – ALLEY RETAIL CORNER

RESPONSE : The design maintains the glazed retail corner wrapping to the alley from Madison.



PL3 – A1 ENTRIES

Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight and lobbies visually connected to the street. Scale and detail them to function well for their anticipated use and also to fit with the building of which they are a part, differentiating residential and commercial entries with design features and amenities specific to each.

3C&E STREET-LEVEL USES/ENTRY – MADISON STEPPED ENTRIES

RESPONSE : The refined design has studied the residential entry to promote a porch like environment at Madison and Boylston. The access terrace along the Madison frontage has shifted and angled; this angle splays towards the Bellwether lobby porch, creating a more open and inviting visual pathway to and from this entry. It is also now separate from the retail seating area around the Boylston side and is supported by plantings as well as defined by a colonnade.

The stepped retail floor plates along Madison have been maintained providing a 15' floor to floor (14' 4" cler) height west corner retail space and a double height retail space at the east alley corner retail – 22' floor to floor (21' 4" clear).



PL3 – A2 COMMON ENTRIES

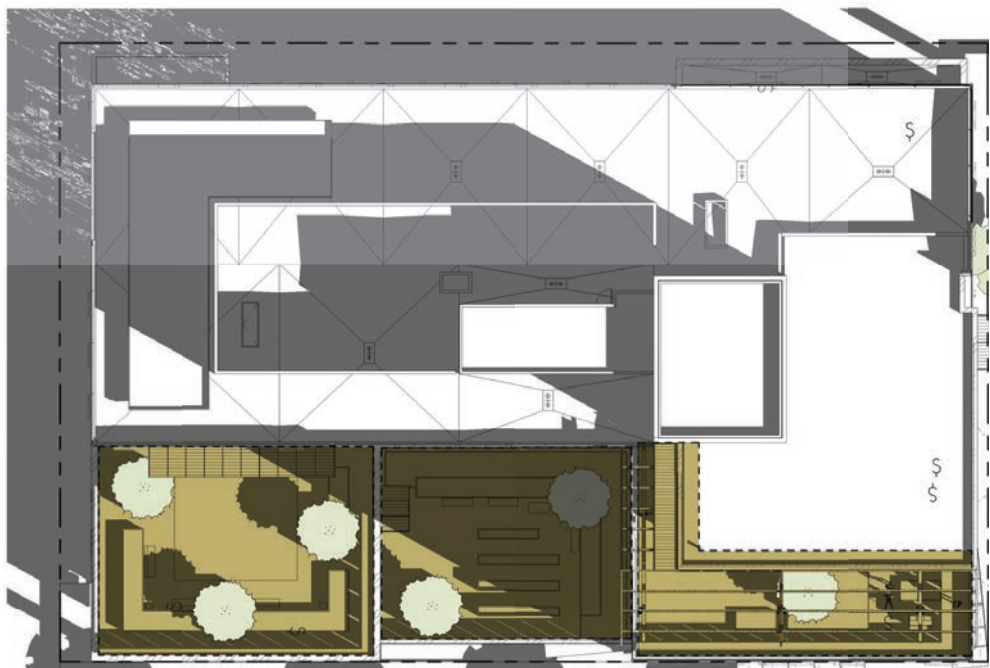
Design the entry as a collection of coordinated elements including the door(s), overhead features, ground surface, landscaping, lighting, and other features. Consider: a. overhead shelter: canopies, porches, building extensions; b. transitional spaces: stoops, courtyards, stairways, portals, arcades pocket gardens, decks; c. ground surface: seating walls; special paving, landscaping, trees, lighting; d. building surface/interface: privacy screens, upward-operating shades on windows, signage, lighting.

3D STREET-LEVEL USES/ENTRY – RESIDENTIAL ENTRIES

RESPONSE : In addition to the vertical/elevational separation from Madison, the Bellwether residential entry is setback roughly 13' within the 5-story brick expression and incorporates landscape buffering, identifiable canopies treated in low gauge painted metal covering in contrast to the milk-glass canopies of the retail entries, and is marked by a planned mural within the deep planting area between Retail C and the Bellwether porch. Whereas, in contrast, retail entries reach toward and are set as close as possible to the street frontages.

The Plymouth residential entry is defined separately from the retail spaces by being incorporated into the 5-story brick expression along Boylston, a defining mural will be located adjacent to this entry door, the canopy coverage mimics the look of the Bellwether entry, creating a language of residential vs retail along the base with equal treatment that reflects Bellwether entry.

RECOMMENDATION RESPONSE TO EDG COMMENTS



CSI– B2 DAYLIGHT AND SHADING

Maximize daylight for interior and exterior spaces and minimize shading on adjacent sites through the placement and/or design of structures on the site.



PLI-B WALKWAYS AND CONNECTIONS

Provide ample space for pedestrian flow and circulation, particularly in areas where there is already heavy pedestrian traffic or where the project is expected to add or attract pedestrians to the area.



DCI-C-2, VISUAL IMPACTS

DCI-C-4, SERVICE USES

PL2-B-2, LIGHTING FOR SAFETY

DC4-C-2, AVOIDING GLARE

4A OPEN SPACE – SHADOW IMPACTS

RESPONSE : See response for “SHADOW IMPACTS” Massing and Context 1a. The self-shading of the structure support sustainability measures, works well with programmed amenity uses while not impacting outdoor amenity spaces during their prime utilization times. Due to the orientation of the site, the shadow impact of the Level 5 play terrace is minimal, as this will be utilized for afternoon and evenings. The preferred building form also minimizes shadow impacts to the north neighbor by stepping down the building to the north. The resulting shadows on the L2 terrace also provide a variety of shaded and sunny areas which is more appropriate for the senior residents of Plymouth Housing.

4C OPEN SPACE – PEDESTRIAN VOLUMES

RESPONSE : Supporting large pedestrian volumes and contributing to a walkable neighborhood is also a goal of the project. To create a viable pedestrian realm spaces along the perimeter of the project have been placed. 1400 Madison welcomes the First Hill community to the project through retail spaces with a feature outdoor seating area at the corner retail space, a community room and the surrounding landscape . As part of SDOT standards, the project is maintaining an easement of 4'-0" along Madison to align with the sidewalk setback incorporated at the Danforth. The inset masonry language along the Madison podium aligns to this easement and strengthens the interlock parti as the above tower language steps forward into the easement 2'-0" to create depth around this material change and expression. At the ground plane, landscape defines and softens the ROW edge and allow for more green space at the base of the project on property along Madison, and both on property and in the ROW along Boylston.

5A&B VEHICULAR ACCESS IMPACTS – SAFETY AND LIGHTING

RESPONSE : Safety and access are equally important to the development team. The team has incorporated an enclosed/secured parking area along the alley. Overhead operable roll-up doors along the alley façade are integrated into a metal-framed bay organization. The Madison retail frontage returns into the alley to reflect the adjacent Whole Foods retail alley entry. The alley is well lit in keeping with the entire perimeter of the project through sconces and spot lighting along Madison, and wall pack lighting along the alley and north facades.

Controlled access along the alley has been added including roll-up door access to a loading zone as well as staff parking. All access is secured. Staging and trash pick-up has been coordinated with and approved by SPU.



DCI-C . PARKING AND SERVICE USES

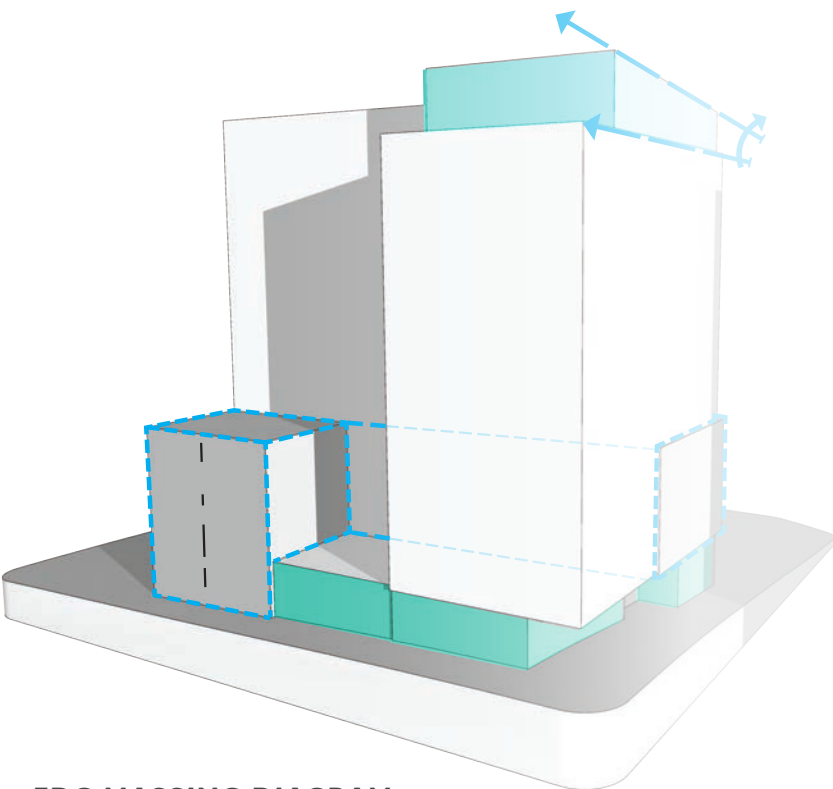
Reduce the visual impacts of parking lots, parking structures, entrances, and related signs and equipment as much as possible. Consider breaking large parking lots into smaller lots, and/or provide trees, landscaping or fencing as a screen. Design at-grade parking structures so that they are architecturally compatible with the rest of the building and streetscape.

5C VEHICULAR ACCESS IMPACTS – PARKING AND SERVICE USES

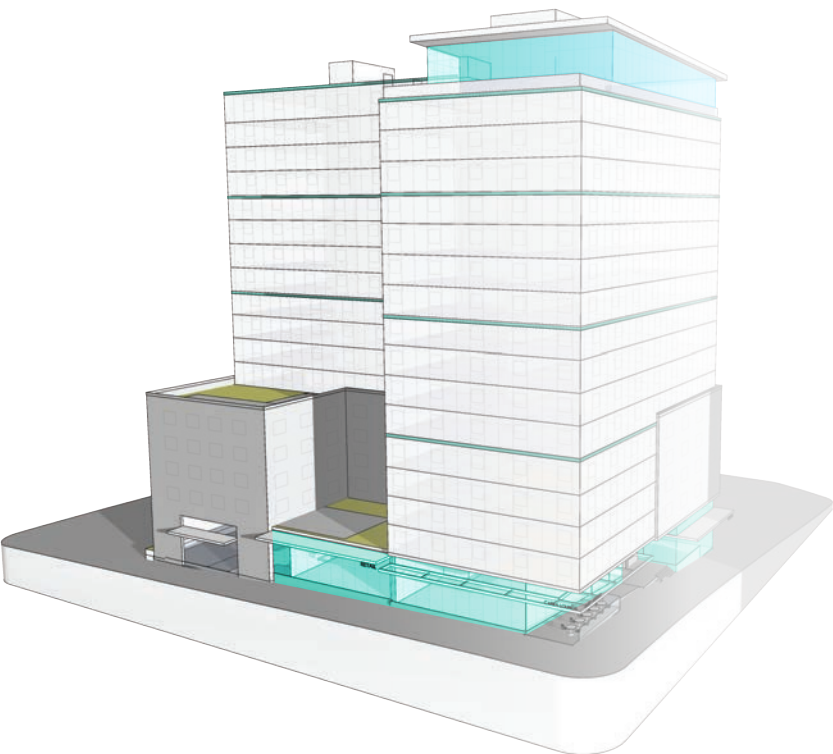
RESPONSE : Given the density of units and services provided by the housing providers there is a direct need for parking for the operations staff. There is a need for 20 stalls for staff, however through operational discussions the development team has reduced this to five parking stalls and the Loading bay.

- 1. STRENGTHEN THE EXPRESSION of the interlocking volumes concept by incorporating a legible setback between the base and tower mass to further differentiate the two. Consider extending the base material to the ground for the Boylston Ave retail portion of the west façade to further emphasize the upper level massing interrupting the base at the corner.
- 2. RETAIL ENTRIES ALONG MADISON – Staff supports the reconfiguration of the retail space at the corner and inclusion of spillover space along Boylston Ave. However, Staff recommends incorporating an additional street-facing retail entry along Madison St to improve connectivity to the space.
- 3. VEHICULAR ACCESS IMPACTS – Minimize the visual impact of the large void on east façade at the parking and loading area.

RESPONSE – PART I



EDG MASSING DIAGRAM

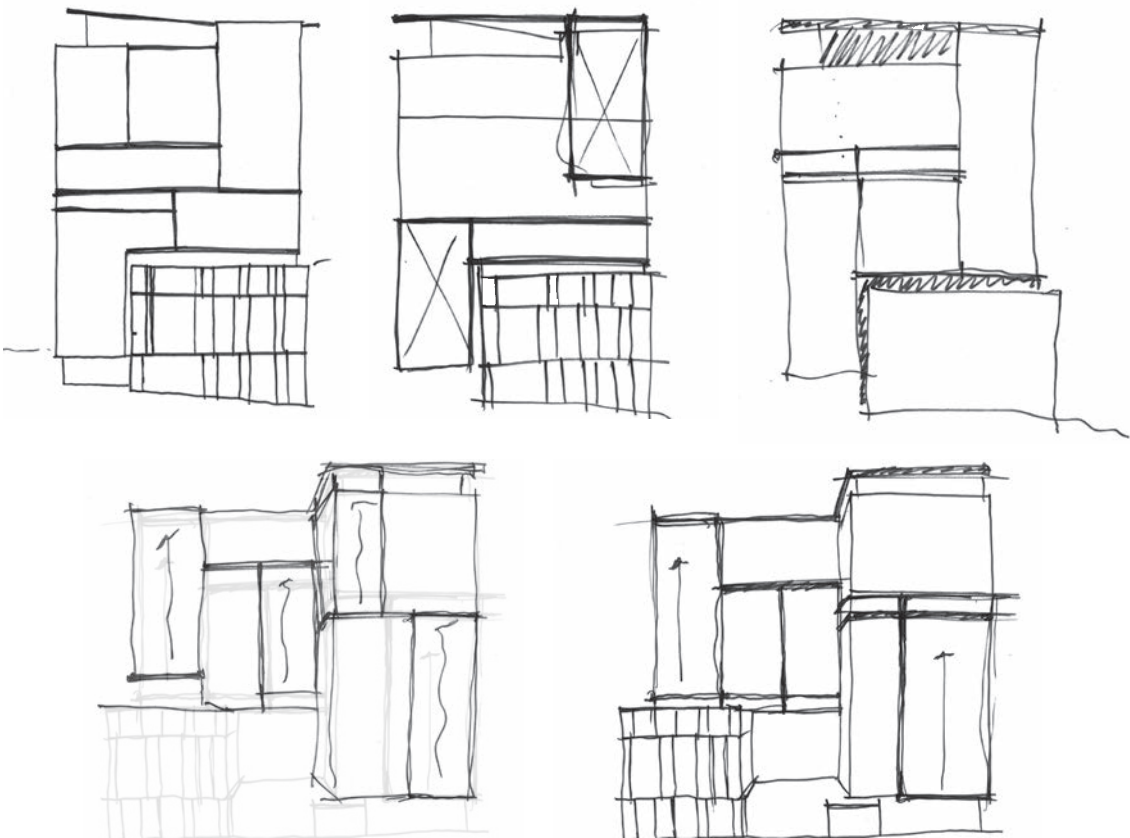


EDG MASSING WITH IMPLIED ARTICULATION

I. **Strengthen the expression of the interlocking volumes concept** by incorporating a legible setback between the base and tower mass to further differentiate the two.

Consider extending the base material to the ground for the Boylston Ave retail portion of the west façade to **further emphasize the upper level massing interrupting the base at the corner.**

EDG TO REC



REC MASSING DEVELOPMENT

Introduced a reveal at level six, creating a transition from podium to tower along Madison. Vertical edges of this transition are highlighted in yellow to bring subtle sophisticated brightness and interest to the expressed movement of mass.

Strengthened interlock expression through the treatment of the tower window wall; **creating balance though a vertical expression** of the facade, enhanced by **mimicking setbacks at the upper level amenity and main retail corner.** The corner retail space dynamically shifts towards Madison carrying through a similar language of window patterning from the tower with the inclusion of operables providing scale. The tower expression stops short of the ground level creating lift at the corner with an expressive canopy providing cover for outdoor restaurant space along Boylston.



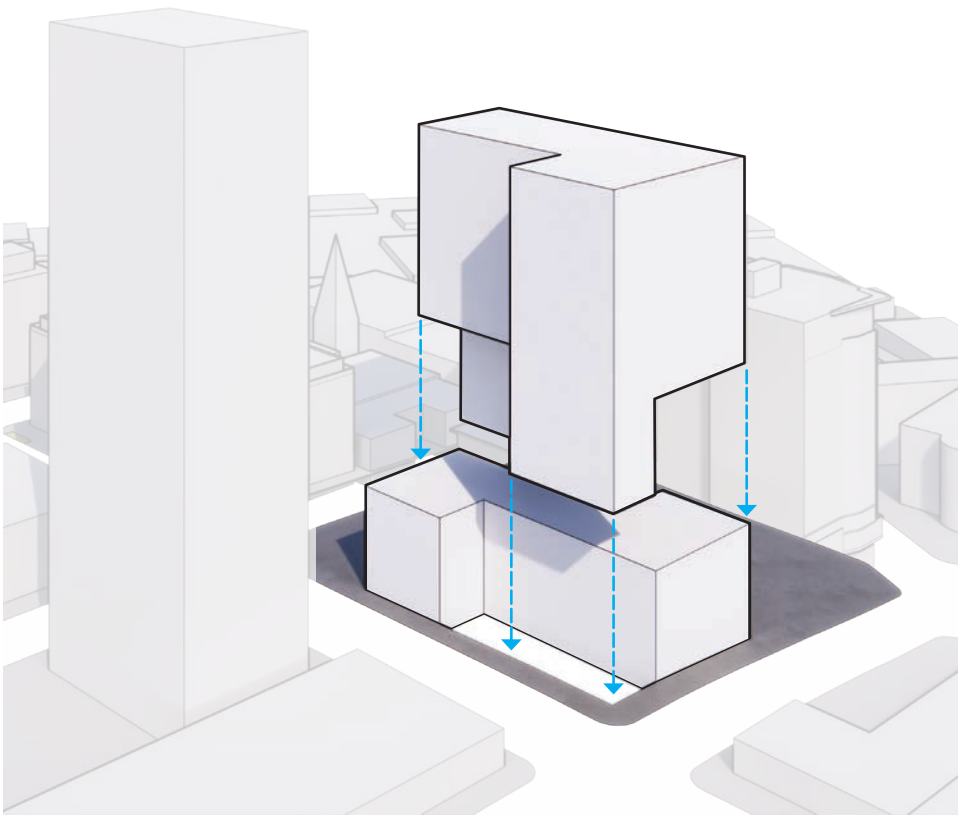
REC MASSING AND ARTICULATION

RESPONSE – MASSING DIAGRAM

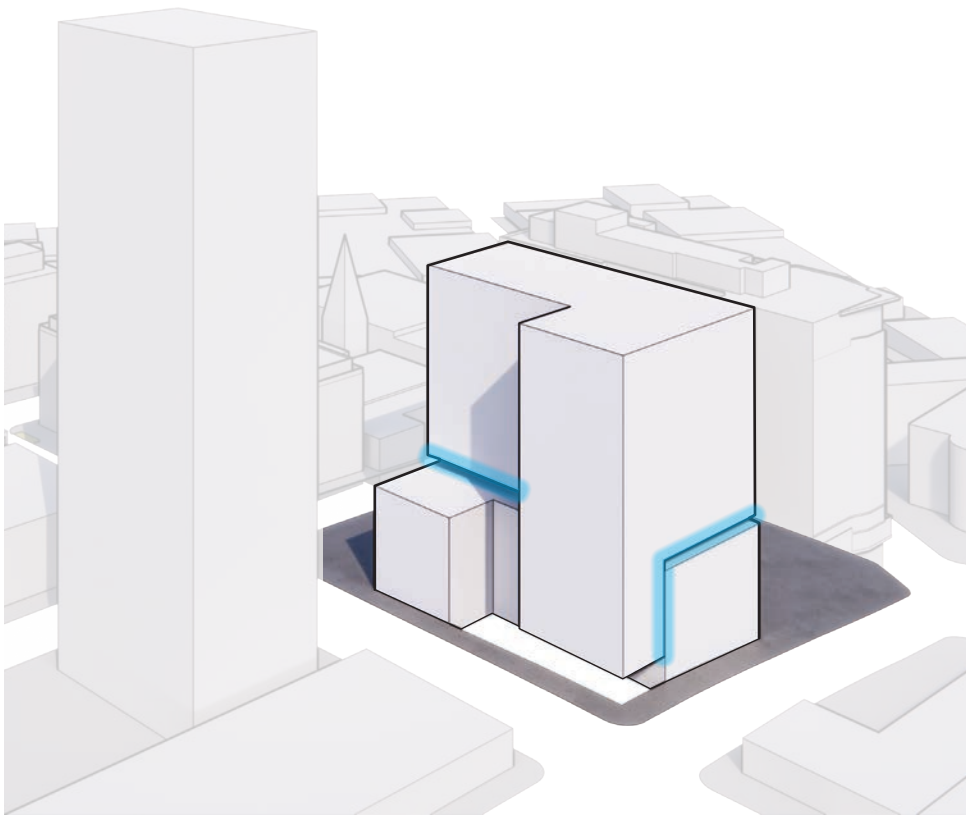
1A MASSING & CONTEXT | PROPORTIONS

The proportions of the tower have been honed and the detailing and patterning of the **interlocking volumes have been strengthened by creating a vertical expression** as opposed to the horizontal expression presented at EDG. Additional skin treatment and refinement of the design have improved the proportion and scale of the project and strengthened the parti.

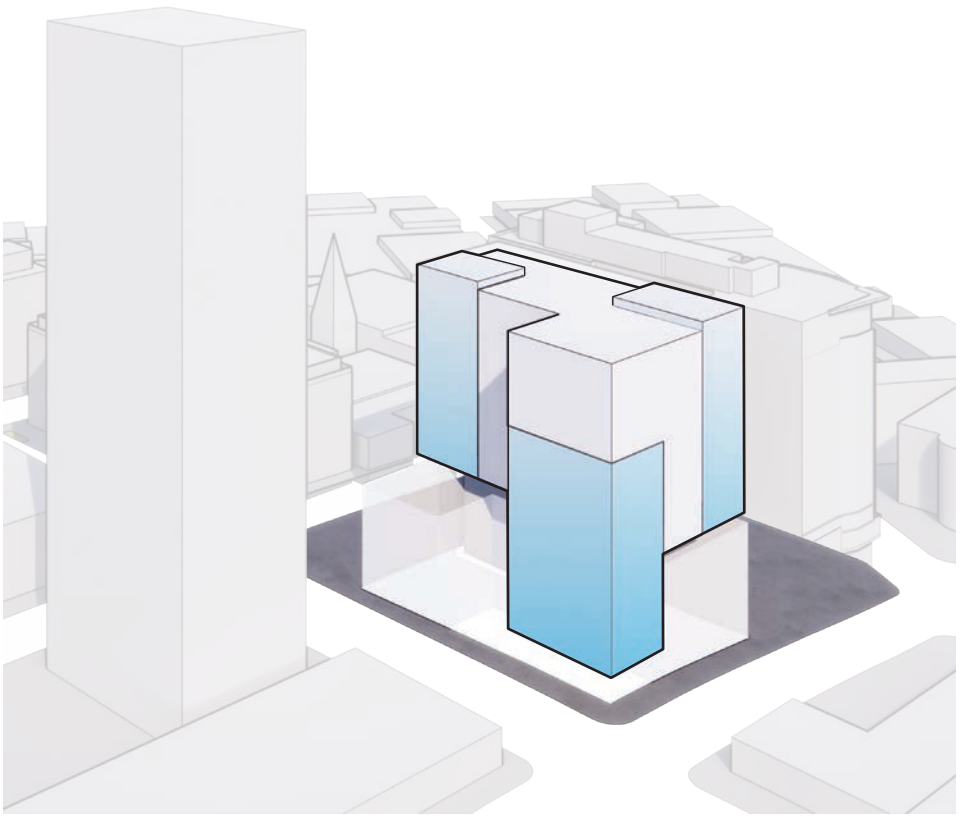
The podium along Madison now anchors itself through a masonry expression that snakes through the building carrying its proportions on the north and south frontages. The tower language continues down to the corner as a **symbolic gesture of the interlocking concept** and becoming a physical manifestation of the two housing providers coming together in this joint venture affordable housing project.



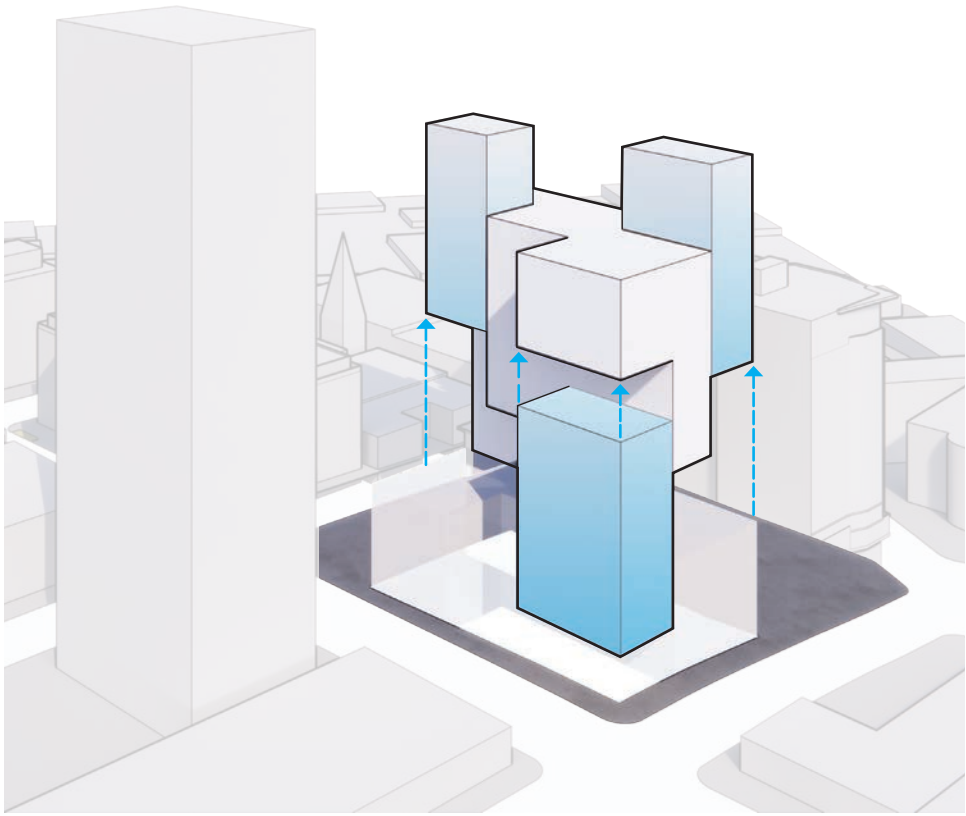
1 INTERLOCK OF BASE AND TOWER



2 EXPRESS JOINT BETWEEN EXPRESSIONS

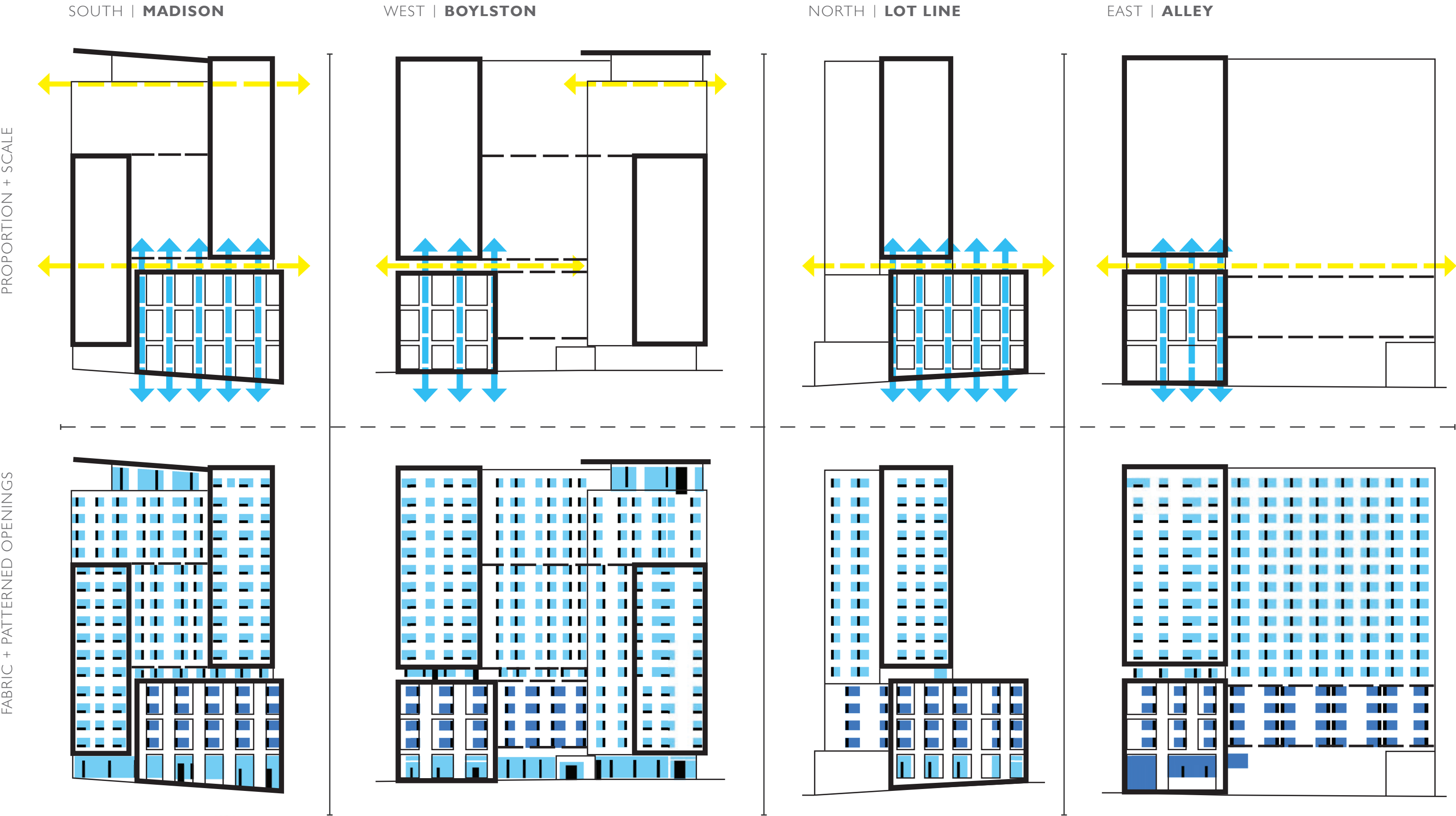


3 REDUCE SCALE OF TOWER FORM

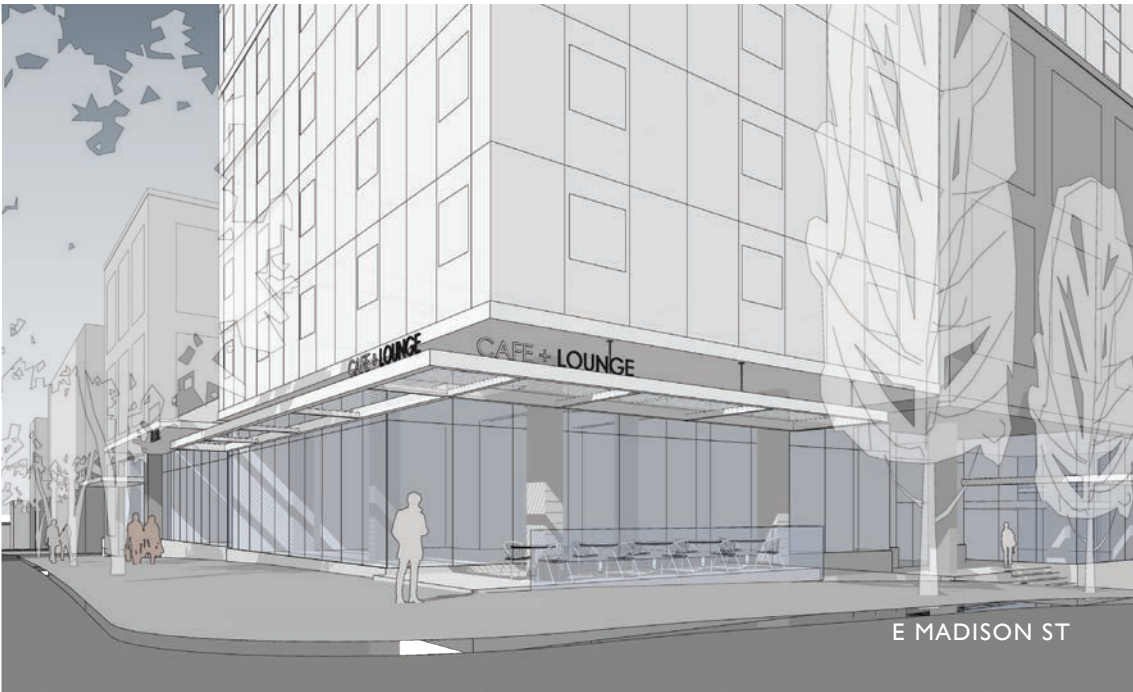


4 VERTICAL EXPRESSION OF TOWERS CREATES LIFT

RESPONSE – PROPORTION + SCALE + FABRIC



RESPONSE – MADISON RETAIL ENTRIES



PEDESTRIAN VIEW SW



PEDESTRIAN VIEW SE

- 2. Retail Entries Along Madison – Staff supports the reconfiguration of the retail space at the corner and inclusion of spillover space along Boylston Ave. However, Staff recommends incorporating an **additional street-facing retail entry along Madison St to improve connectivity to the space.**

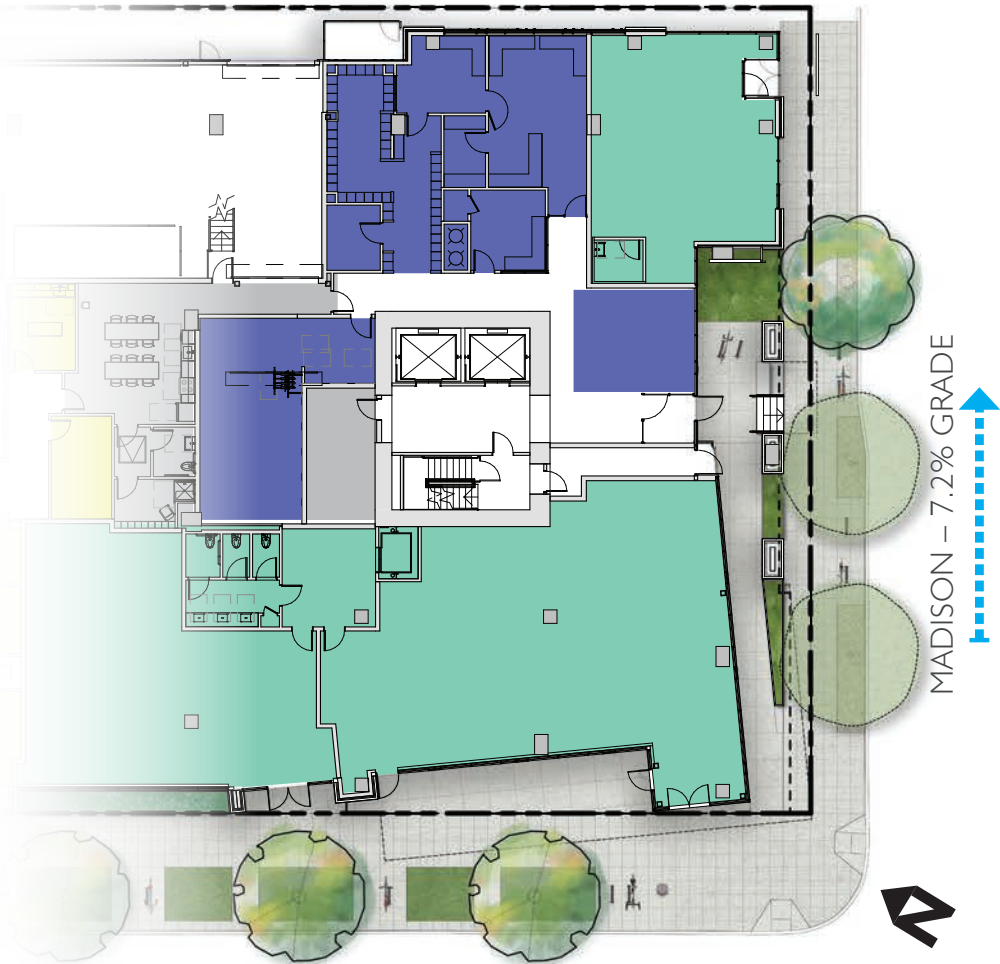
EDG TO REC

Madison slopes to the east at a 7.2% grade. The open retail frontage at the West end of Madison hosts a sloped pedestrian path for an ADA accessible entry for Bellwether residents, adding a door into the retail directly along Madison is in conflict with keeping an **easy and inviting entry sequence** for residents as well as retail patrons.

To acomodate this request, the main entry to the primary retail corner is placed on Boylston but skews towards Madison and is within a few feet of the street frontage. The retail spaces along both Madison and Boylston maintain high transparency with visual and physical access.



MAIN CORNER LOOK UP BOYLSTON



RESPONSE – MADISON RETAIL ENTRIES



MAIN CORNER LOOKING DOWN MADISON



BOYLSTON SECTION_RETAIL A SPILL OUT SPACE ALONG

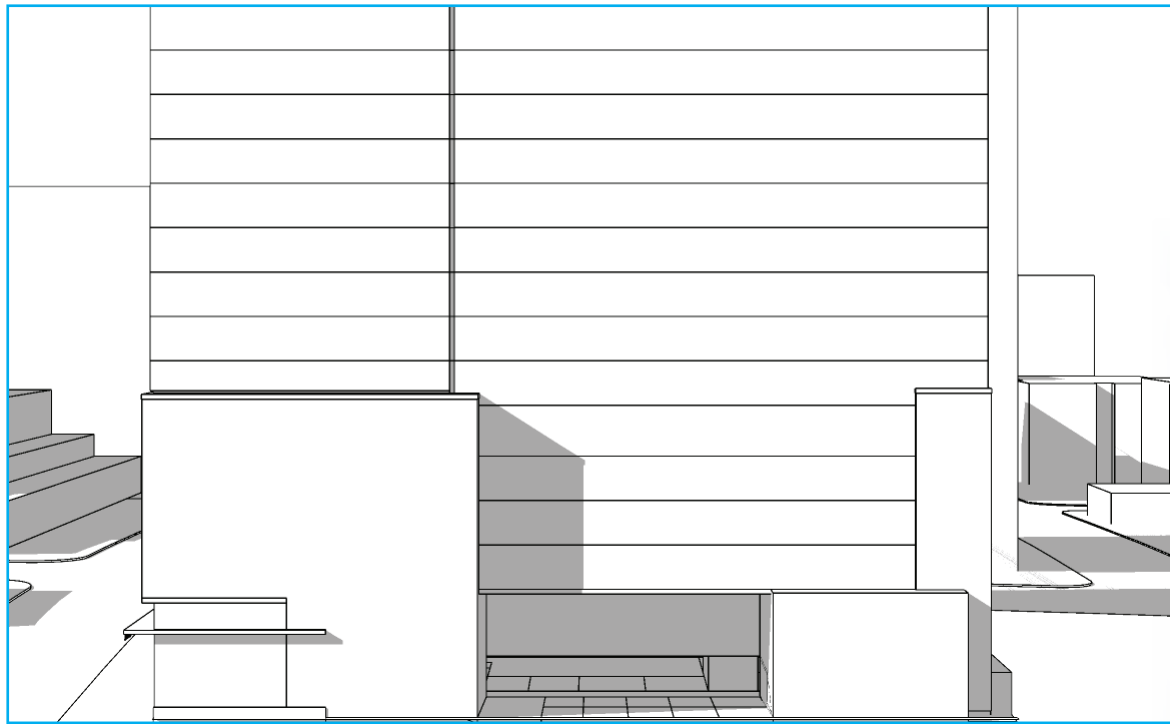


MADISON SECTION_RETAIL A



RETAIL ENTRY AT ALLEY ACCROSS FROM WHOLEFOODS

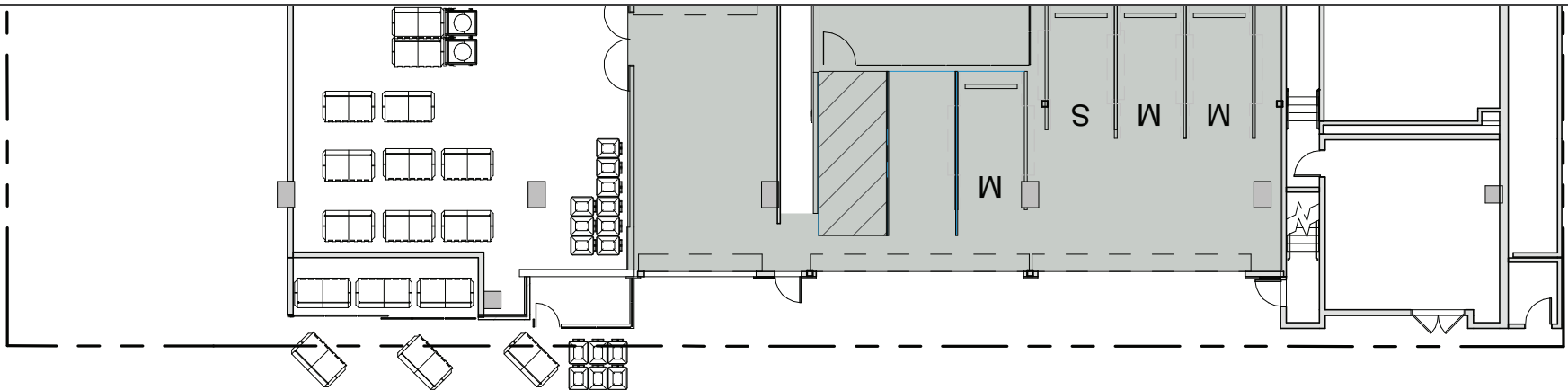
RESPONSE – ALLEY FACADE



- 3. Vehicular Access Impacts – Minimize the visual impact of the large void on east façade at the parking and loading area.

EDG TO REC

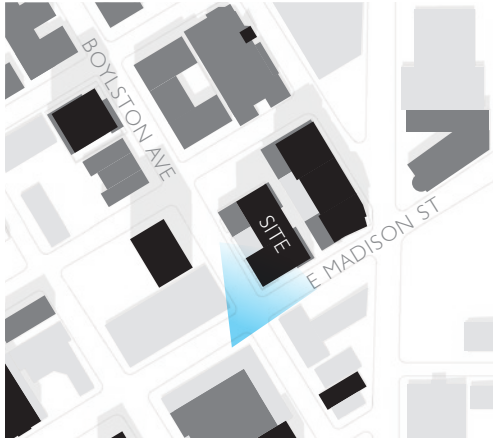
Controlled access along the alley has been added including roll-up door access to a loading zone as well as staff parking. All access is secured. Staging and trash pick-up has been coordinated with and approved by SPU.



PROPOSED DESIGN



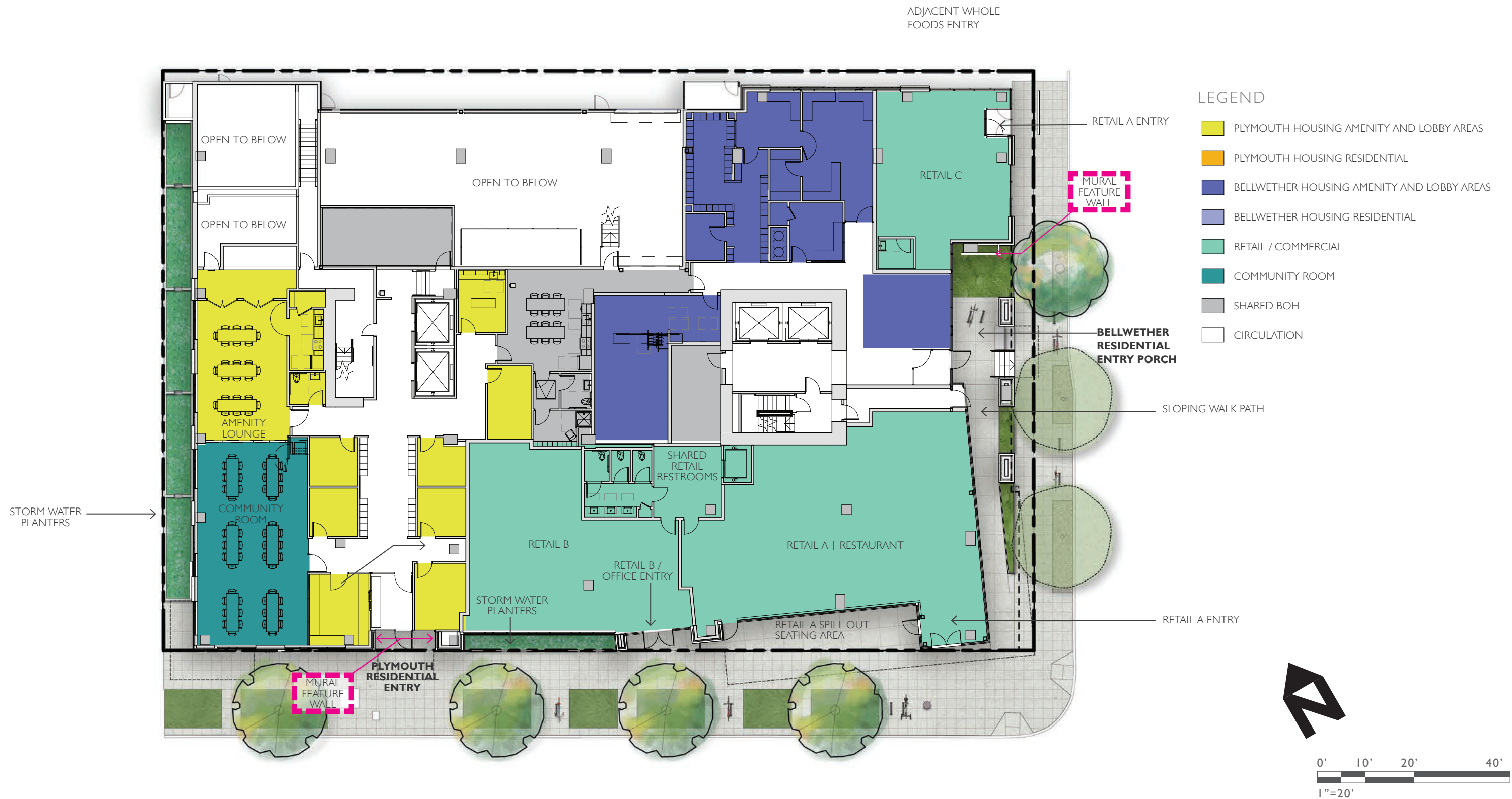
TOWER VIEW FROM MADISON LOOKING NORTHEAST



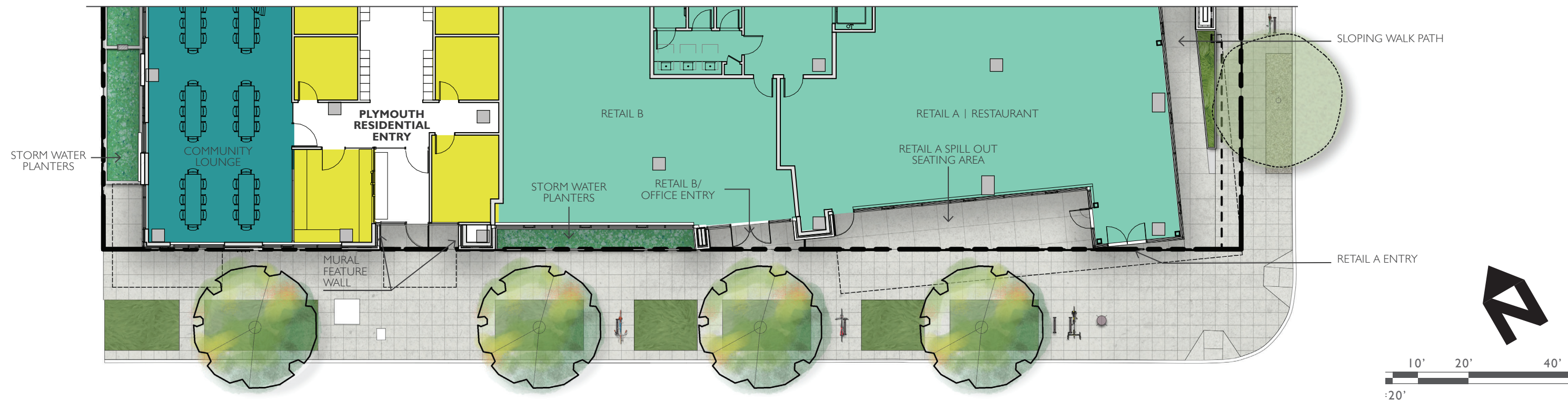
LEGEND

- PLYMOUTH HOUSING AMENITY AND LOBBY AREAS
- PLYMOUTH HOUSING RESIDENTIAL
- BELLWETHER HOUSING AMENITY AND LOBBY AREAS
- BELLWETHER HOUSING RESIDENTIAL
- RETAIL / COMMERCIAL
- COMMUNITY ROOM
- SHARED BOH
- CIRCULATION

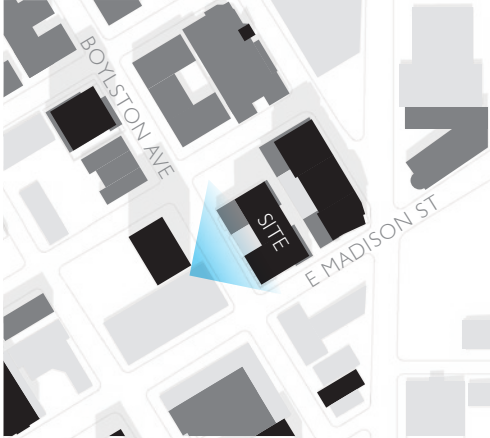
SITE PLAN



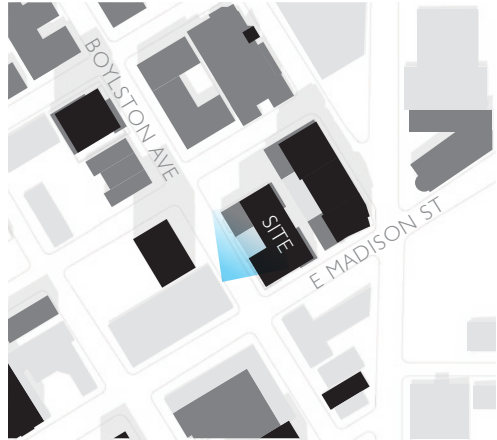
GRADE LEVEL PLAN / ELEVATION STUDY – BOYLSTON



BOYLSTON ELEVATION VIEW



MIDWAY RETAIL ENTRY ON BOYLSTON



RETAIL + L2 TERRACE SECTION ALONG BOYLSTON



RESIDENTIAL ENTRY ON BOYLSTON – PLYMOUTH HOUSING



RESIDENTIAL ENTRY ON BOYLSTON – PLYMOUTH HOUSING



RESIDENTIAL + RETAIL ENTRY ON BOYLSTON – PLYMOUTH HOUSING



MAIN RETAIL CORNER AT MADISON + BOYLSTON



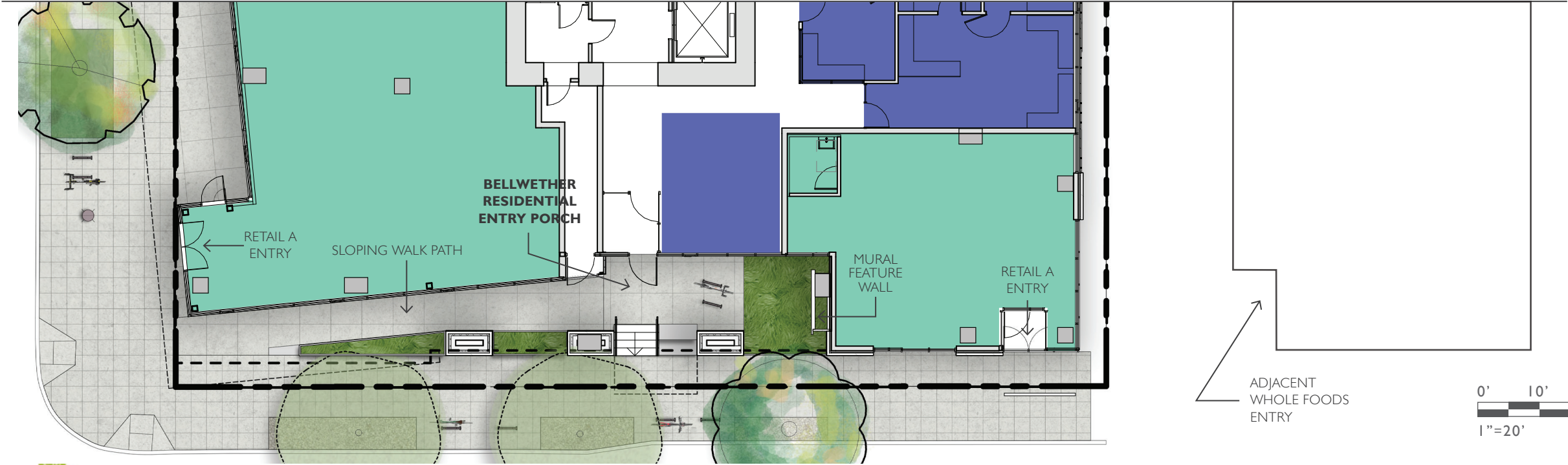
MAIN RETAIL CORNER AT MADISON + **BOYLSTON**



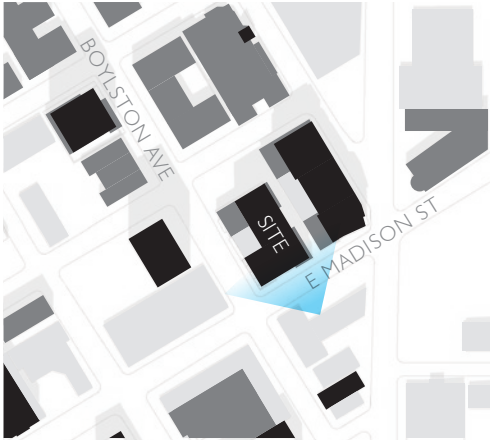
MAIN RETAIL CORNER AT **MADISON** + BOYLSTON



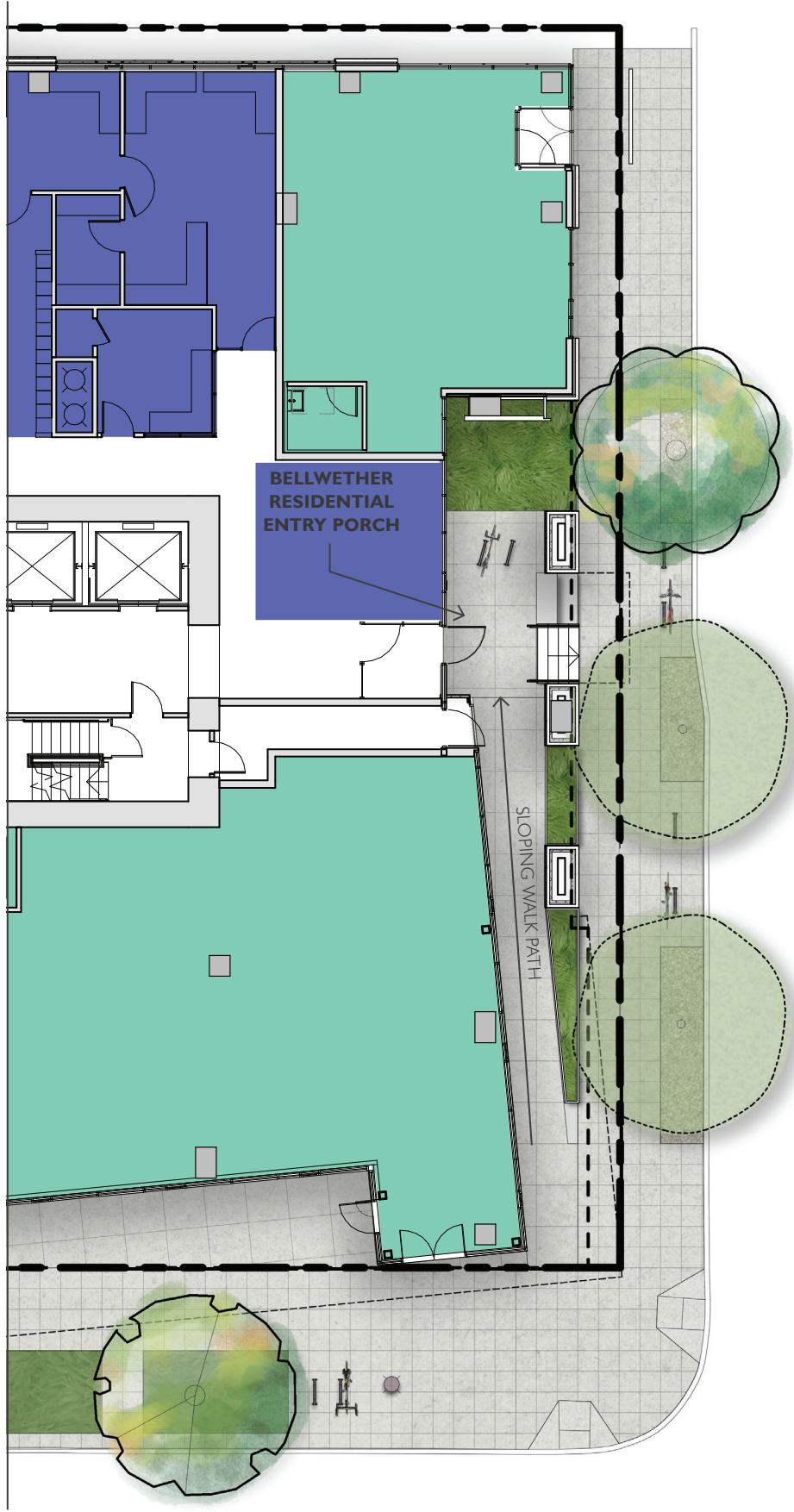
GRADE LEVEL PLAN / ELEVATION STUDY – MADISON



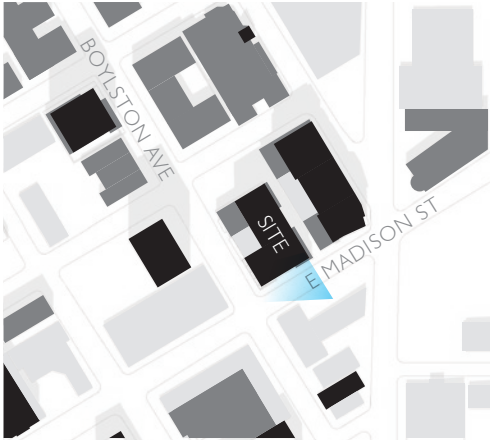
MADISON ELEVATION VIEW



MAIN RETAIL CORNER AT MADISON – RESIDENT ACCESS WALK PATH



RESIDENTIAL ENTRY ON MADISON – BELLWETHER HOUSING



RESIDENTIAL ENTRY ON MADISON – BELLWETHER HOUSING



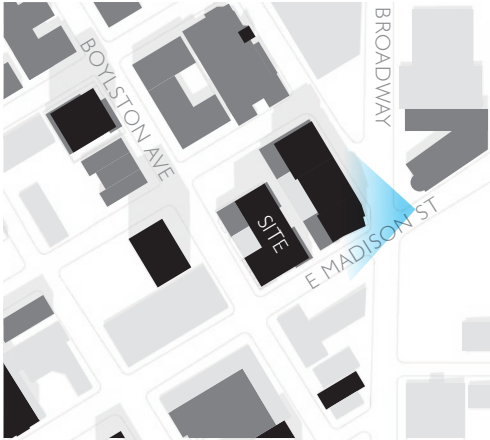
MADISON EAST RETAIL CORNER AND PODIUM VIEW



MADISON EAST RETAIL C SECTION



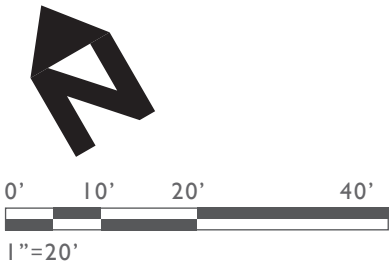
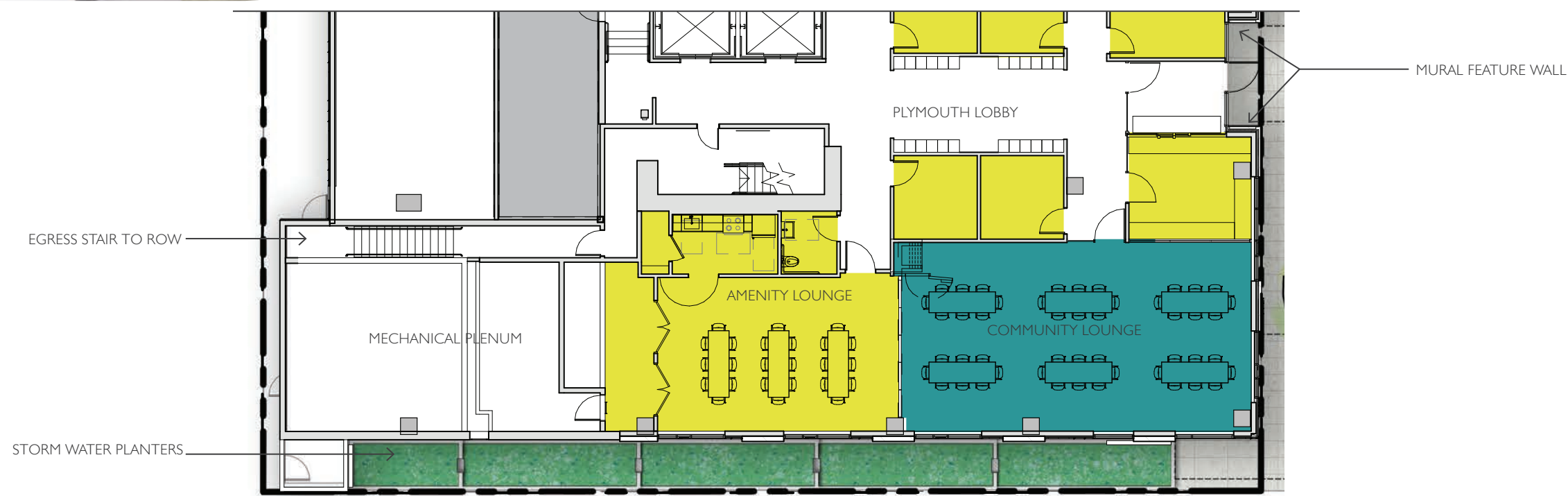
OVERALL TOWER VIEW – MADISON APPROACH FROM BROADWAY



EVENING RENDERING – ALLEY RETAIL CORNER



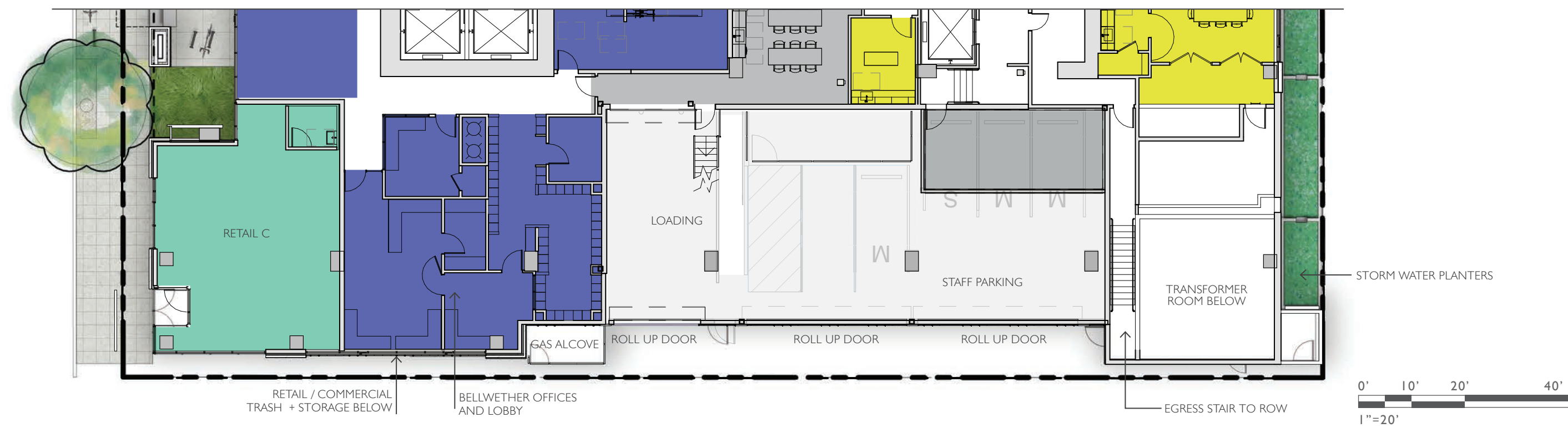
GRADE LEVEL PLAN / ELEVATION STUDY – NORTH INTERIOR PROPERTY LINE



OVERALL TOWER VIEW – NW ON BOYLSTON



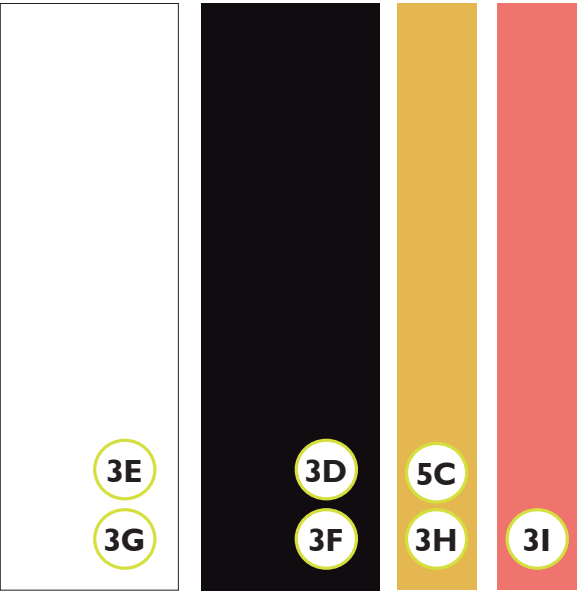
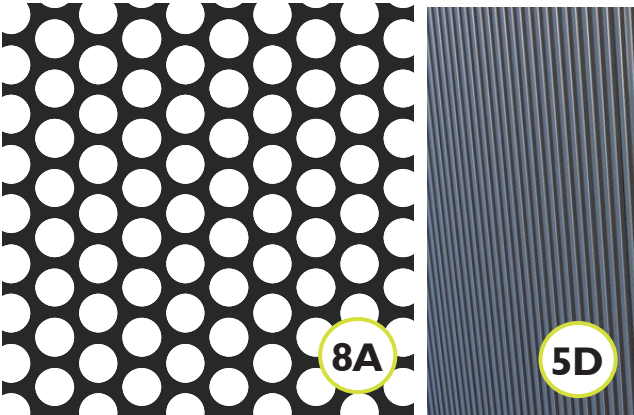
GRADE LEVEL PLAN / ELEVATION STUDY – ALLEY



MATERIALS

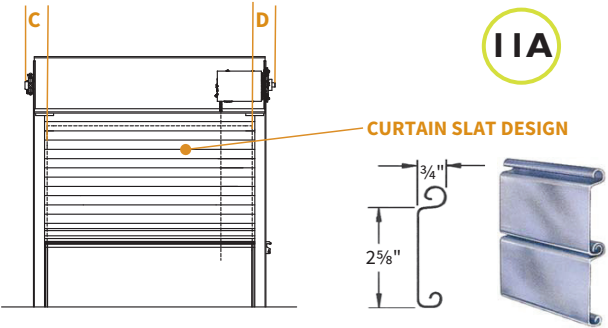


MATERIAL KEY AND MATERIALS – PODIUM

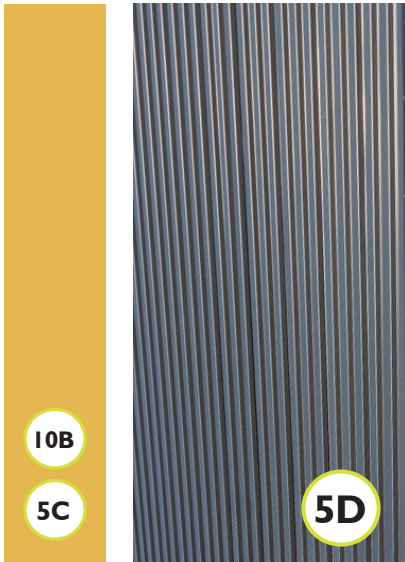
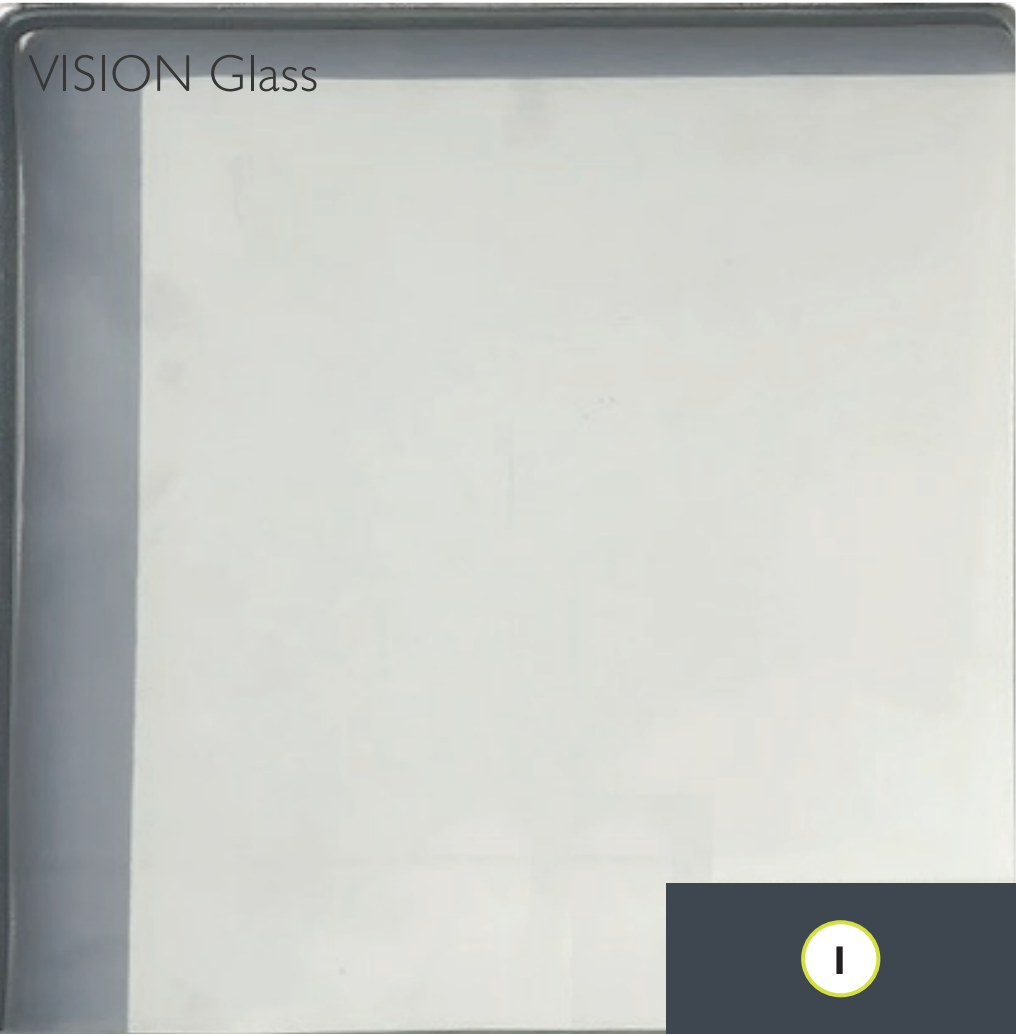


MATERIAL LEGEND

- 1A VISION GLASS | CLEAR
- 3D VINYL WINDOW FRAME | COLOR: BLACK
- 3E VINYL WINDOW FRAME | COLOR: WHITE
- 3F STOREFRONT MULLION | COLOR: BLACK
- 3G STOREFRONT AWNING WINDOW/DOOR | COLOR: WHITE
- 3H STOREFRONT DOOR FRAME | COLOR: YELLOW
- 3I STOREFRONT DOOR FRAME | COLOR: TOMATO
- 4A BRICK | COLOR: TAN TERRA MISSION | PATTERN: STACK BOND WITH 1/2" RELIEF AT EVERY OTHER
- 4B BRICK | COLOR: TAN TERRA MISSION | PATTERN: SOLDIER COURSING
- 4C BRICK | COLOR: IVORY
- 5B METAL PANEL – ALUMINUM 2" HORIZONTAL REVEAL | COLOR: DARK GREY
- 5C ALUMINUM SLAT SOFFIT | COLOR: YELLOW
- 5D HORIZ CORRUGATED BOX RIB | COLOR: DARK GREY
- 6A CONCRETE | FINISH: ARCHITECTURAL
- 7A SPLIT FACE CMU | COLOR: NATURAL
- 8A RAILINGS - STEEL STANCHION W/ METAL MESH | COLOR: DARK GREY
- 8C RAILINGS - ALUMINUM STANCHION W/ GLASS | COLOR: PRE-FINISHED BLACK
- 9C STOREFRONT LOUVER | COLOR: BLACK
- 9D BREAKSHAPE METAL EXHAUST HOOD | COLOR: MATCH ACM COLOR
- 10A CANOPY - EDGE FRAMED GLASS | COLOR: TRANSLUCENT MILK WHITE
- 10B CANOPY - REVERSE BOX RIB ROOFING | TOP COLOR: COOL REGAL WHITE | SOFFIT COLOR: PAINTED YELLOW
- 11A SPECIALTY EQUIPMENT - ROLL-UP DOOR (SOLID OR SLATED) | COLOR: CLEAR ANODIZED
- 12A METAL CHANNEL/BRICK LINTLE EXPRESSION | COLOR: PAINTED DARK GREY



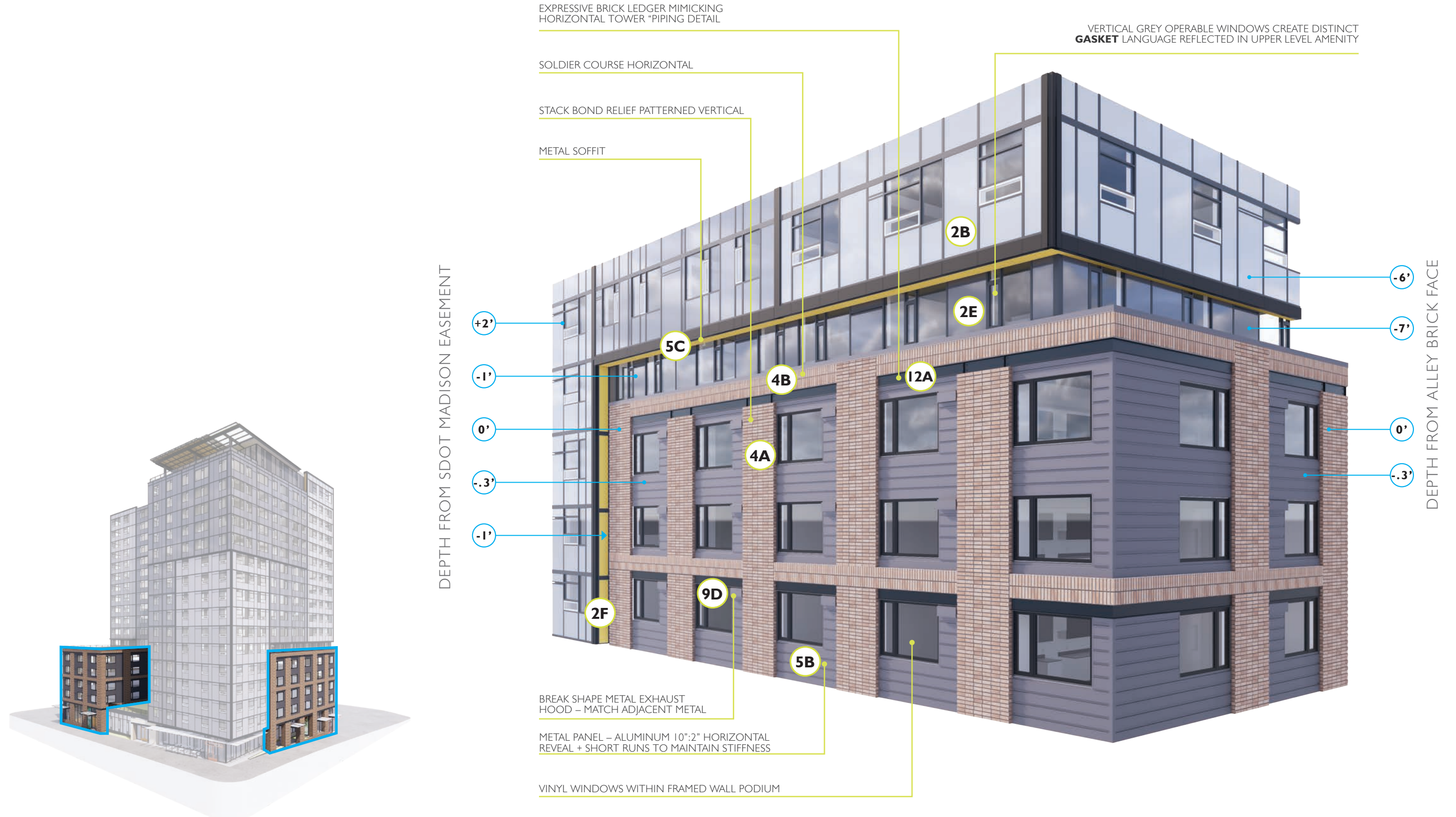
MATERIAL KEY AND MATERIALS – UPPER LEVELS



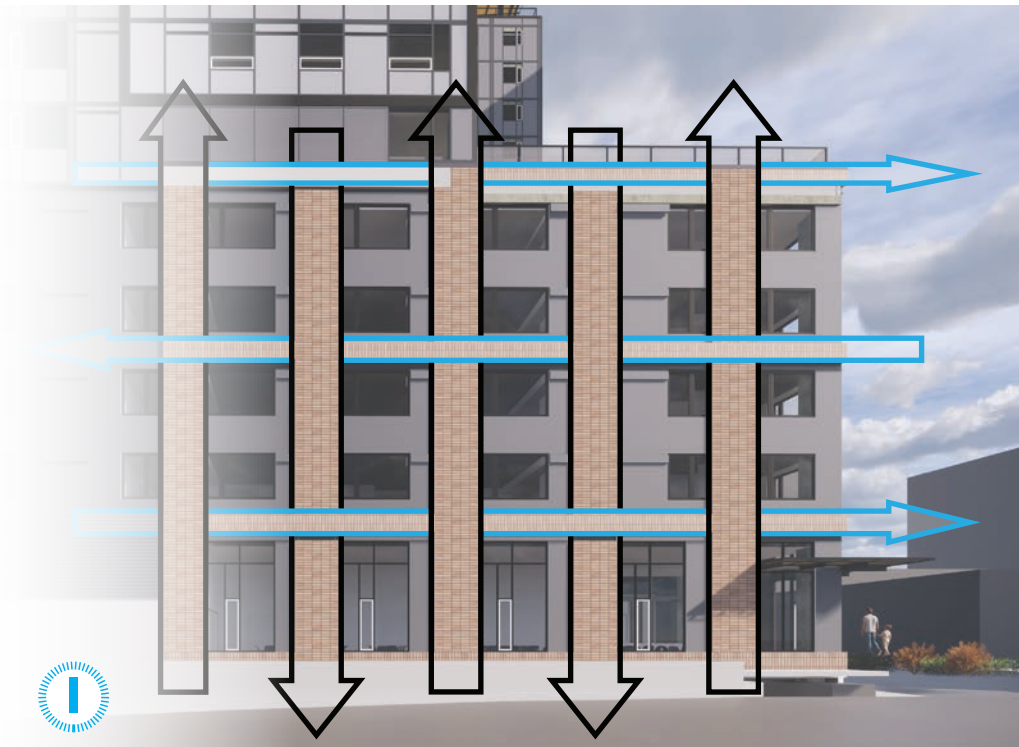
MATERIAL LEGEND

- 1 VISION GLASS | CLEAR
- 2A SPANDREL GLASS | COLOR: LIGHTEST BLUE-GREY
- 2B SPANDREL GLASS | COLOR: LIGHT BLUE-GREY
- 2C SPANDREL GLASS | COLOR: MEDIUM BLUE-GREY
- 2D SPANDREL GLASS | COLOR: DARK BLUE-GREY
- 2E SPANDREL GLASS | COLOR: DARKEST BLUE-GREY
- 2F SPANDREL GLASS | COLOR: YELLOW
- 3A WW MULLION | COLOR: CHARCOAL GRAY
- 3B WW MULLION | COLOR: BLACK
- 3C WW MULLION | COLOR: WHITE
- 5B METAL PANEL – ACM TRIM SYSTEM | COLOR: SLATE
- 5C ALUMINUM SLAT SOFFIT | COLOR: AUGUST SUN (YELLOW)
- 5D HORIZ CORRUGATED BOX RIB | COLOR: DARK GREY
- 6A CONCRETE | FINISH: ARCHITECTURAL
- 8C RAILINGS - ALUMINUM STANCHION W/ GLASS | COLOR: PRE-FINISHED BLACK
- 9A WW SLOT LOUVER EXHAUST | COLOR: MATCH ADJACENT SPANDREL
- 9C WW STANDARD LOUVER | COLOR: MATCH ADJACENT SPANDREL
- 10B CANOPY - REVERSE BOX RIB ROOFING | TOP COLOR: COOL REGAL WHITE | SOFFIT COLOR: PAINTED YELLOW

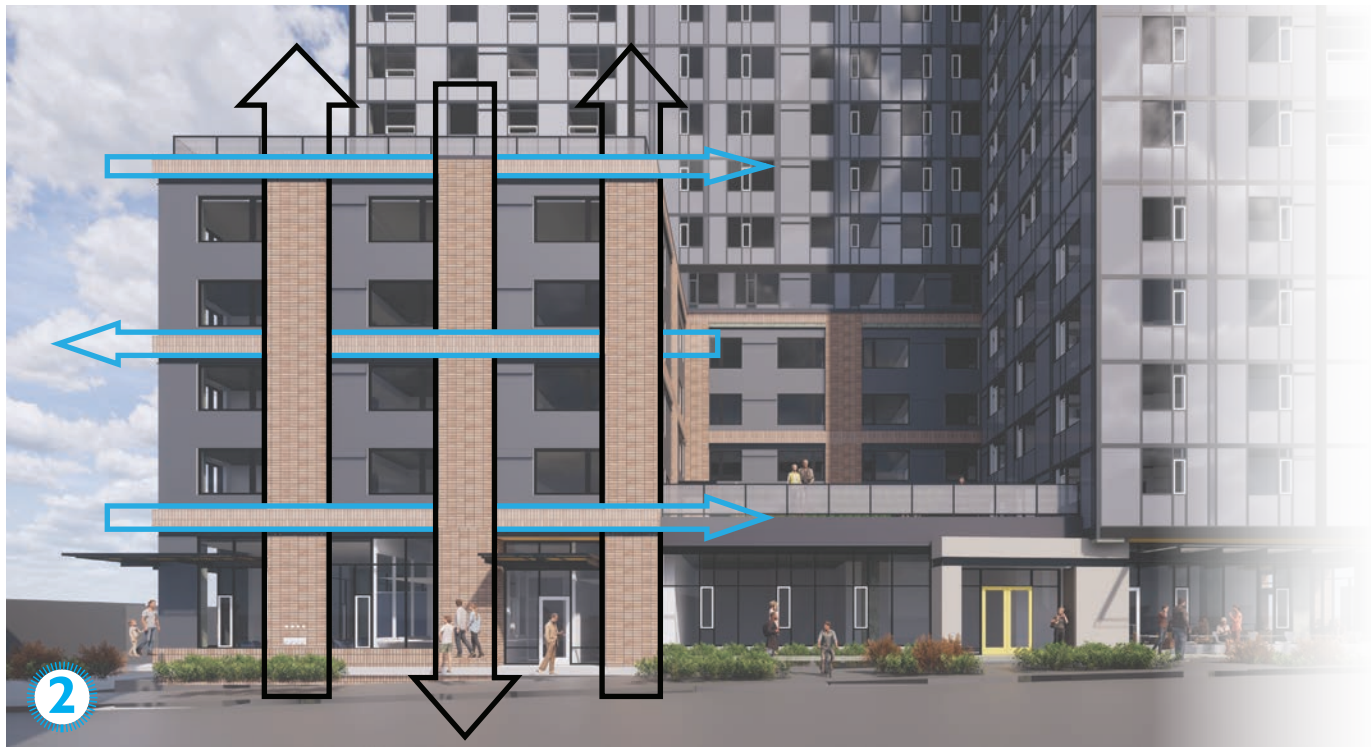
FACADE DETAILS AND MATERIALS



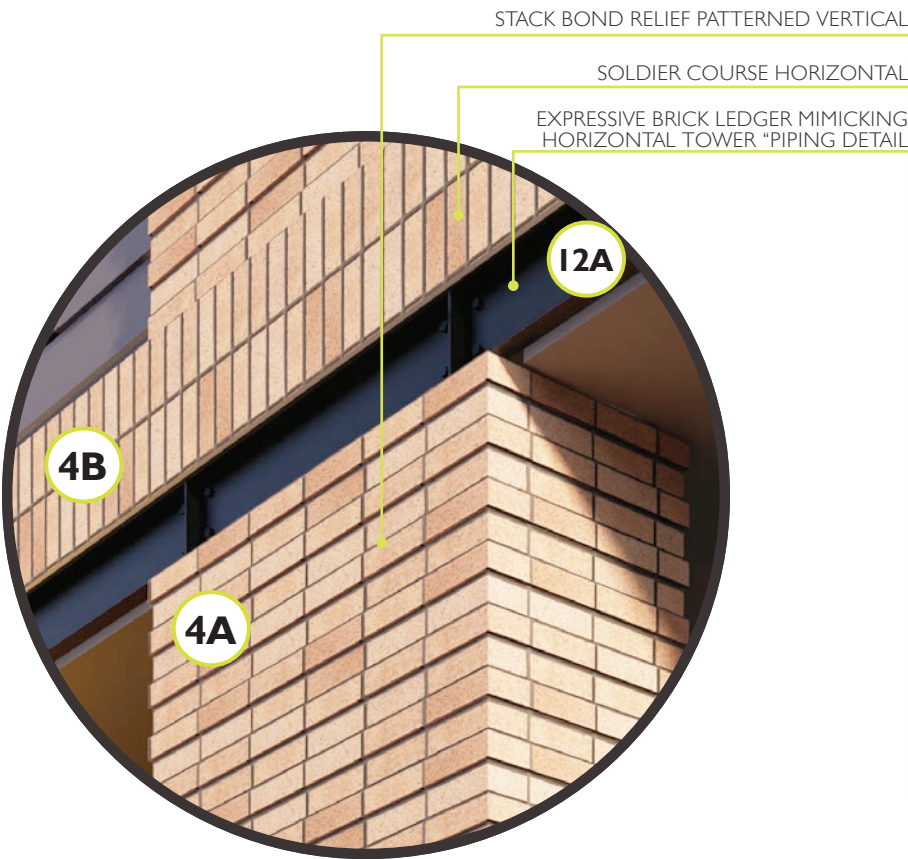
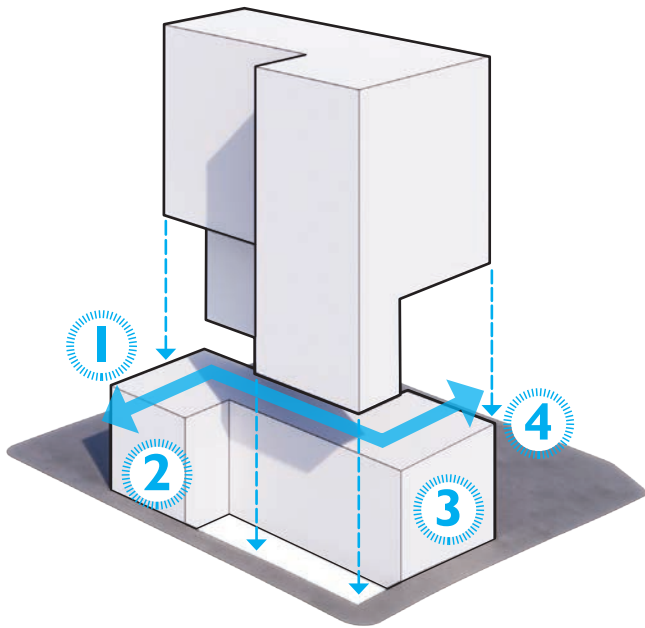
FACADE DETAILS AND MATERIALS – BRICK PATTERNING



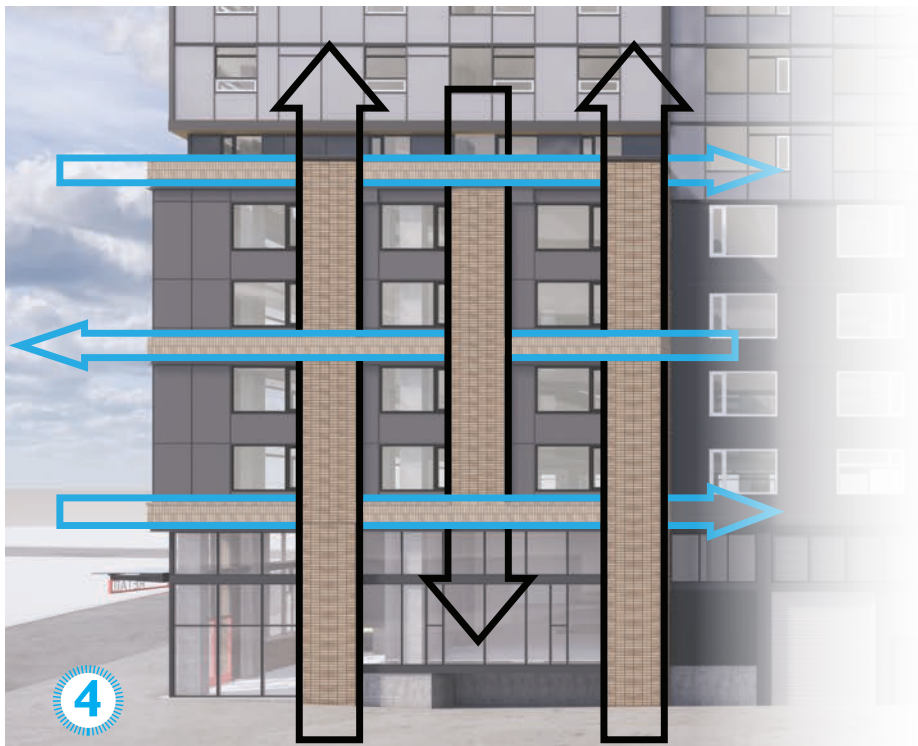
NORTH | LOT LINE



WEST | BOYLSTON



SOUTH | MADISON



EAST | ALLEY

MATERIAL KEY AND MATERIALS



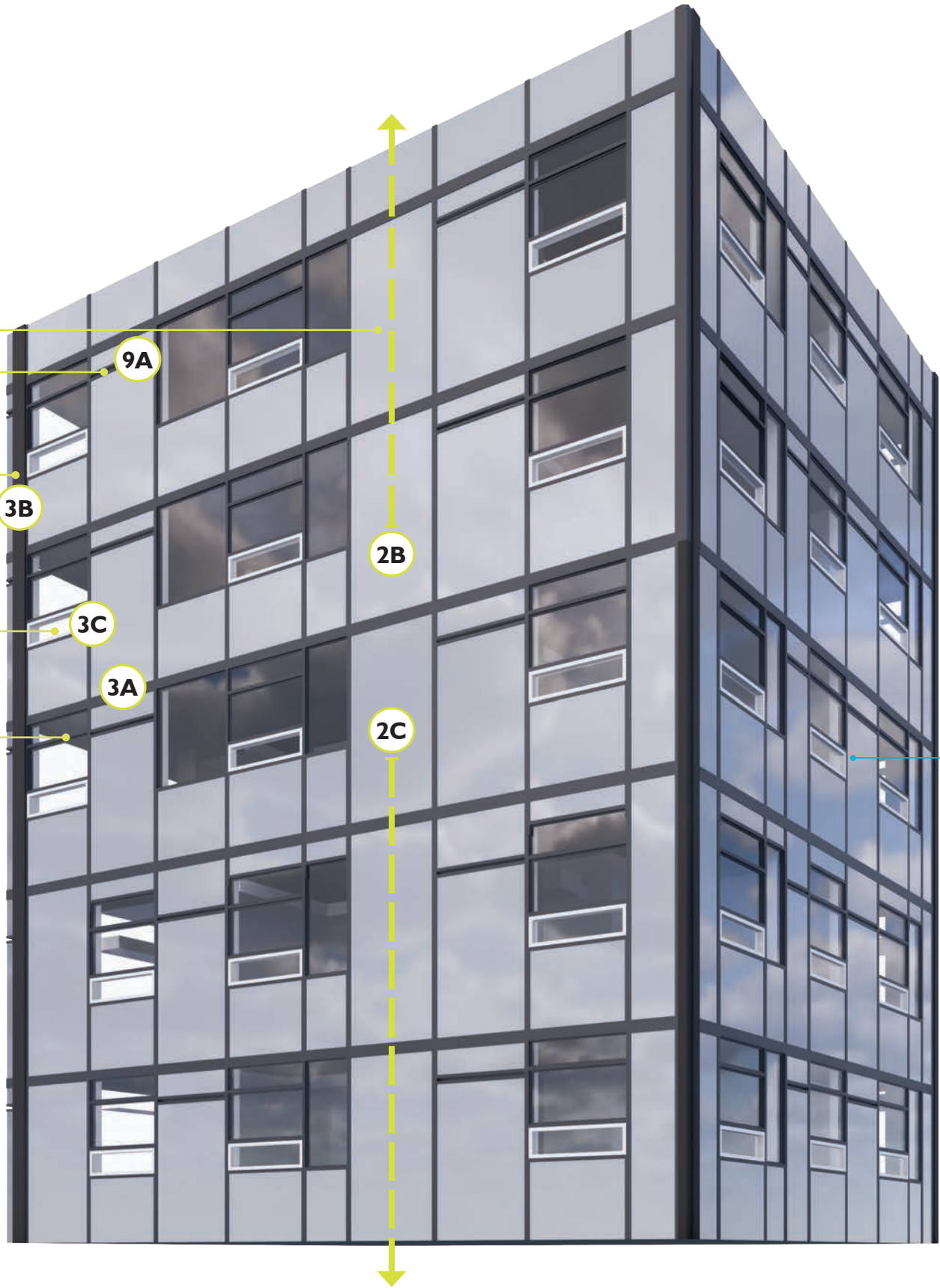
OMBRE TREATMENT OF TOWER EXPRESSION

SLOT VENT MATCH ADJACENT SPANDREL

METAL TRIM "PIPING" DEFINING VOLUMES

HORIZONTAL WHITE WINDOW DISTINGUISHES CHARACTER OF VERTICAL TOWER VOLUMES

UPPER MULLION AT OPERABLE WINDOW UNIT ENHANCES DISTINCTIVE HORIZONTAL FABRIC



DEPTH FROM SDOT MADISON EASEMENT

FACADE DETAILS AND MATERIALS



OMBRE TREATMENT OF TOWER EXPRESSION

VERTICAL MULLIONS AT OPERABLE WINDOW UNIT ENHANCES DISTINCTIVE VERTICAL FABRIC

VERTICAL WHITE WINDOW DISTINGUISHES CHARACTER OF DEFINED TOWER BACKGROUND REGIONS

METAL TRIM "PIPING" DEFINING VOLUMES



SLOT VENT MATCH ADJACENT SPANDREL

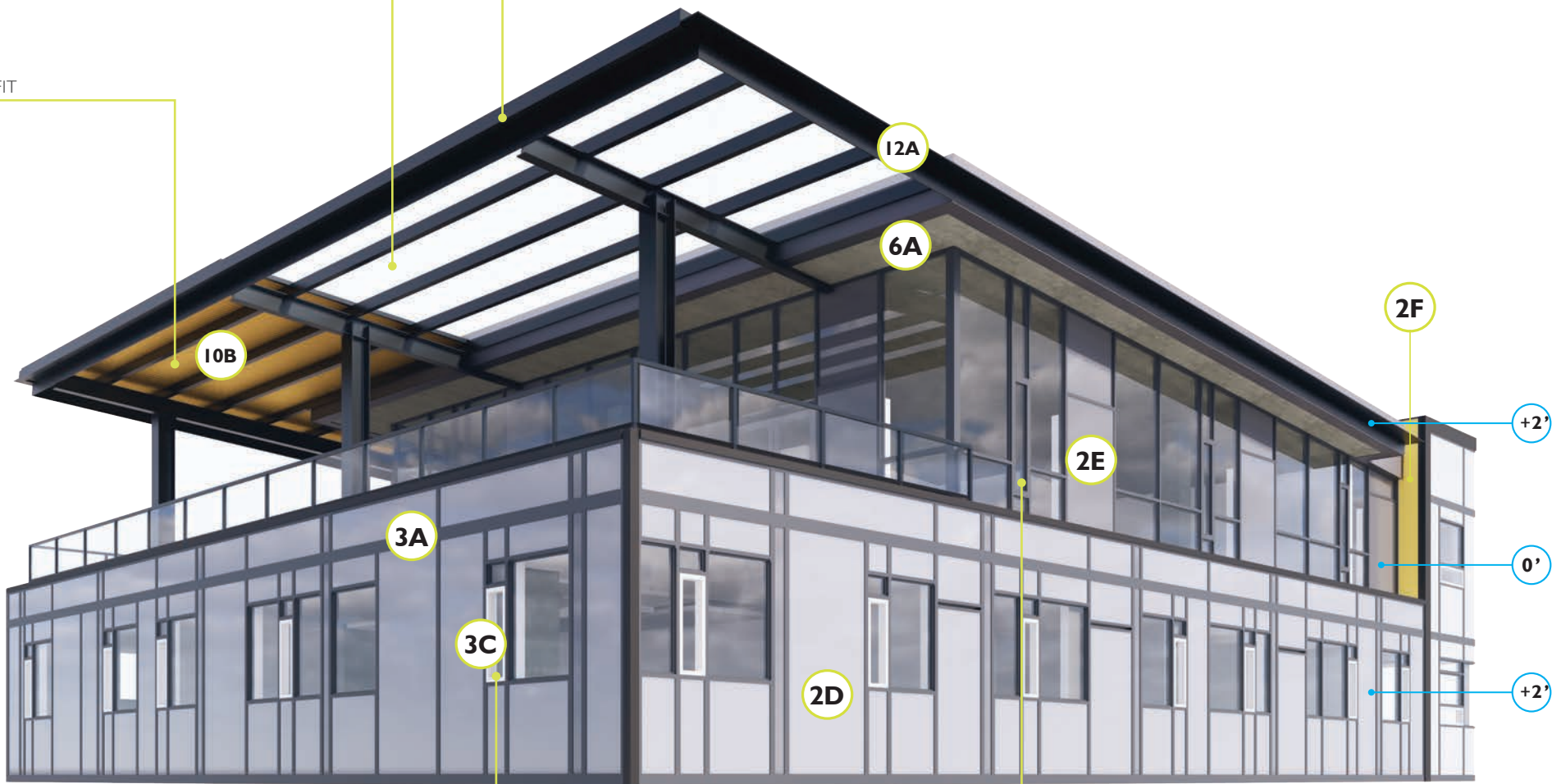
DEPTH FROM SDOT MADISON EASEMENT

MATERIAL KEY AND MATERIALS

SLOPED CANOPY FOLLOWS SLOPE OF AMENITY ROOF – EXPRESSES LIFT AND ACTS AAS A SYMBOLIC GESTURE OF WELCOMING TO FIRST HILL

OPEN AIR BETWEEN STRUCTURE, ALLOWS FOR SUN LIGHT AND ACTS AS A SCALING OVERHEAD PLANE ALLOWING FOR DAYLIGHT ACCESS WHILE DEFINING AN OUTDOOR ROOM

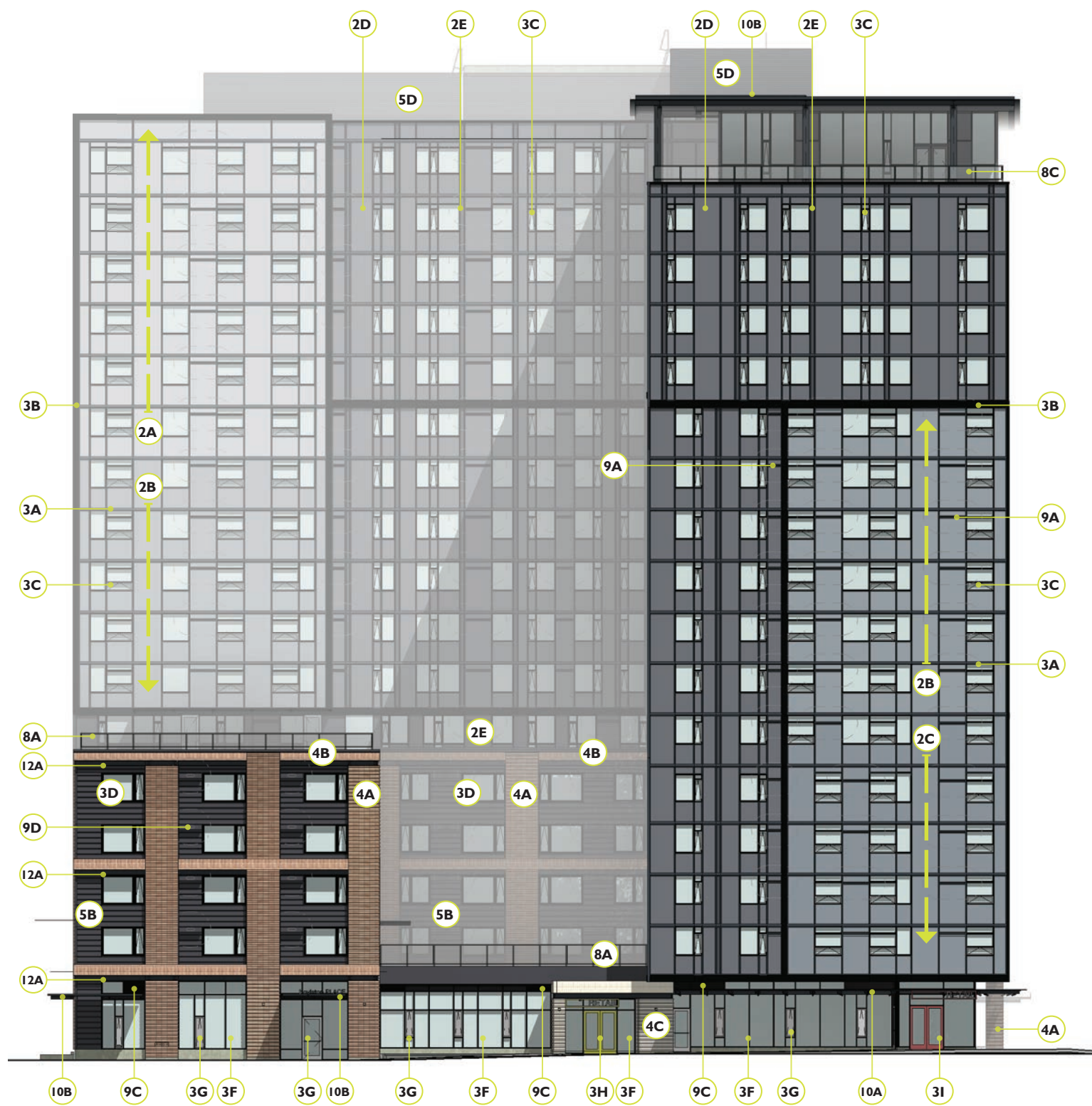
METAL SOFFIT



VERTICAL WHITE WINDOW DISTINGUISHES CHARACTER OF DEFINED TOWER BACKGROUND REGIONS

VERTICAL GREY OPERABLE WINDOWS CREATE DISTINCT LANGUAGE THAT IS REFLECTED IN THE **GASKET** BETWEEN THE TOWER AND BASE

ELEVATIONS – WEST



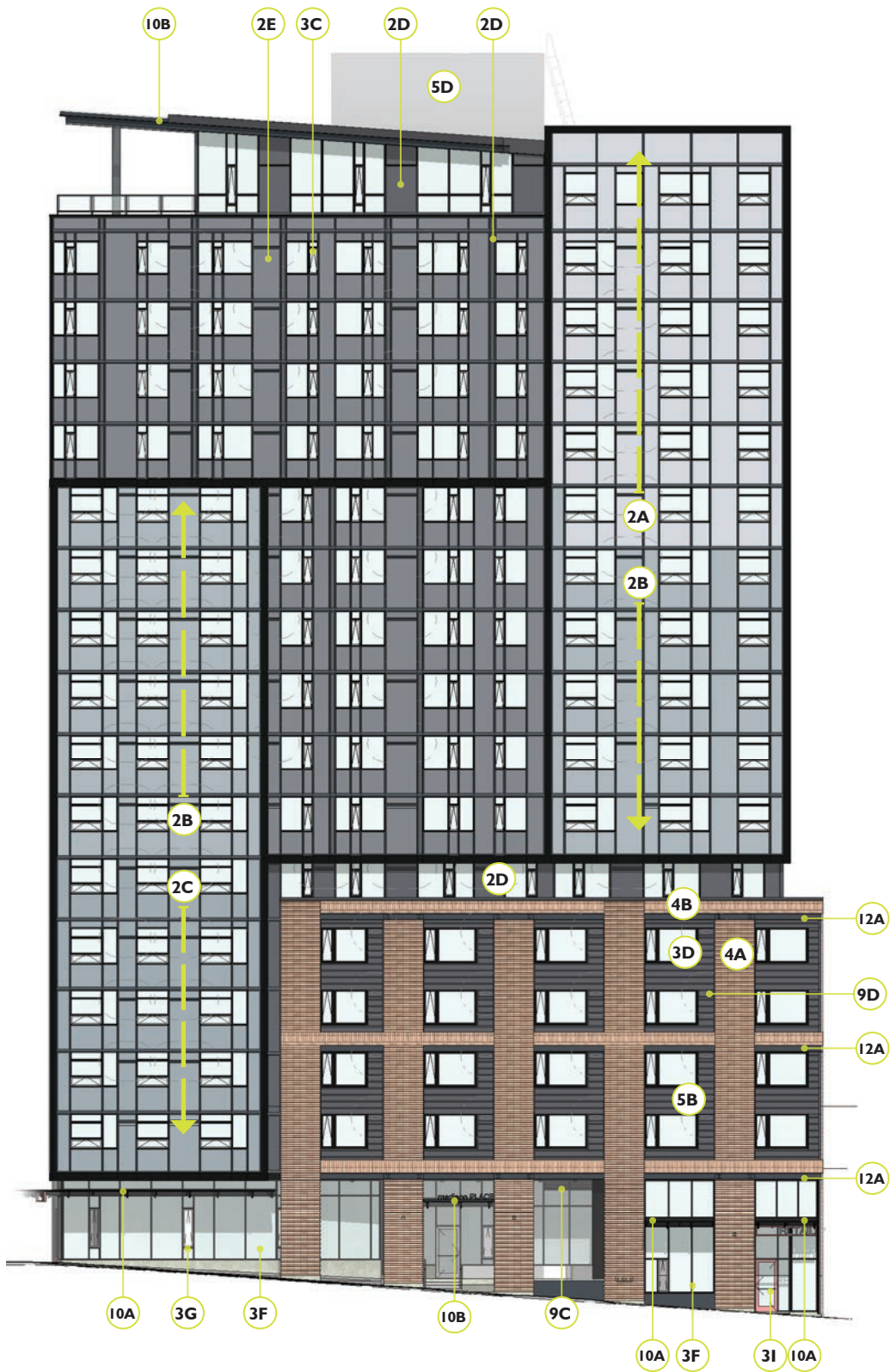
WEST ELEVATION | 1:25

MATERIAL LEGEND

- 1A VISION GLASS | CLEAR
- 2A 2A SPANDREL GLASS | COLOR: LIGHTEST BLUE-GREY
- 2B SPANDREL GLASS | COLOR: LIGHT BLUE-GREY
- 2C SPANDREL GLASS | COLOR: MEDIUM BLUE-GREY
- 2D SPANDREL GLASS | COLOR: DARK BLUE-GREY
- 2E SPANDREL GLASS | COLOR: DARKEST BLUE-GREY
- 2F SPANDREL GLASS | COLOR: YELLOW
- 3A WW MULLION | COLOR: CHARCOAL GRAY
- 3B WW MULLION | COLOR: BLACK
- 3C WW MULLION | COLOR: WHITE
- 3D VINYL WINDOW FRAME | COLOR: BLACK
- 3E VINYL WINDOW FRAME | COLOR: WHITE
- 3F STOREFRONT MULLION | COLOR: BLACK
- 3G STOREFRONT AWNING WINDOW/DOOR | COLOR: WHITE
- 3H STOREFRONT DOOR FRAME | COLOR: YELLOW
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- 4B BRICK | COLOR: TAN TERRA MISSION | PATTERN: SOLDIER COURSING
- 4C BRICK | COLOR: IVORY
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- 5C ALUMINUM SLAT SOFFIT | COLOR: AUGUST SUN (YELLOW)
- 5D HORIZ CORRUGATED BOX RIB | COLOR: DARK GREY
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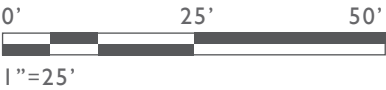
ELEVATIONS – SOUTH + NORTH



SOUTH ELEVATION



NORTH ELEVATION



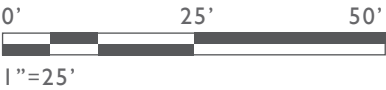
ELEVATIONS – EAST



EAST ELEVATION

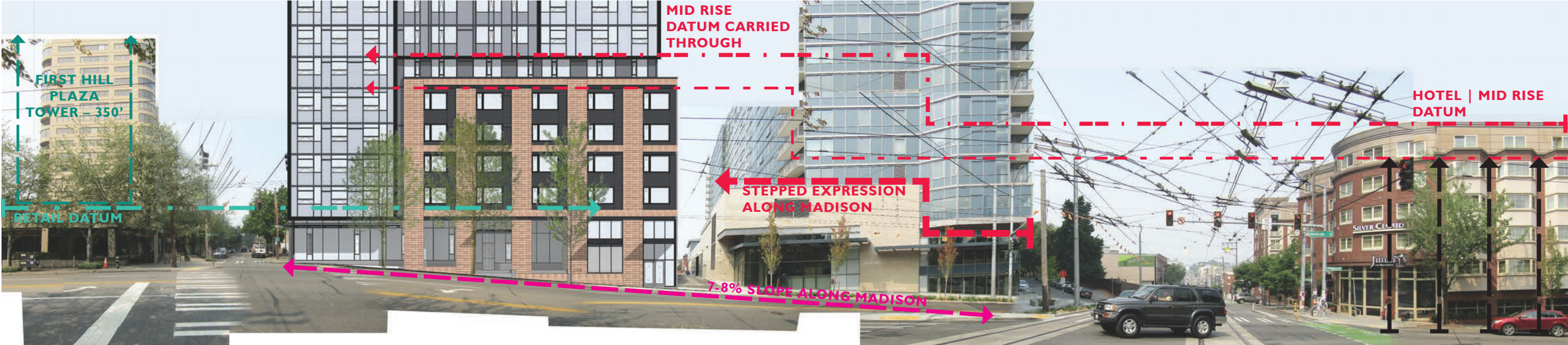
MATERIAL LEGEND

- 1A VISION GLASS | CLEAR
- 2A 2A SPANDREL GLASS | COLOR: LIGHTEST BLUE-GREY
- 2B SPANDREL GLASS | COLOR: LIGHT BLUE-GREY
- 2C SPANDREL GLASS | COLOR: MEDIUM BLUE-GREY
- 2D SPANDREL GLASS | COLOR: DARK BLUE-GREY
- 2E SPANDREL GLASS | COLOR: DARKEST BLUE-GREY
- 2F SPANDREL GLASS | COLOR: YELLOW
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- 3F STOREFRONT MULLION | COLOR: BLACK
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- 12A METAL CHANNEL/BRICK LINTLE EXPRESSION | COLOR: PAINTED DARK GREY



CONTEXT ANALYSIS

SITE – SE FACADE



VERTICAL GRID EXPRESSION

MADISON STREET ELEVATION NORTH

OPPOSITE SITE – SE FACADE



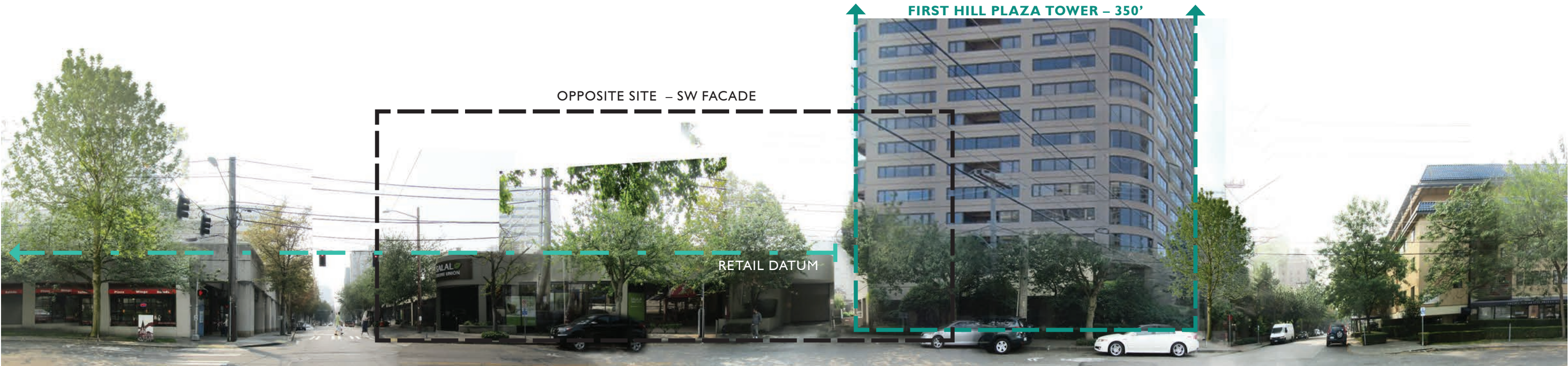
MADISON STREET ELEVATION SOUTH

CONTEXT ANALYSIS

SITE – SW FACADE



BOYLSTON STREET ELEVATION EAST



BOYLSTON STREET ELEVATION WEST

SIGNAGE DESIGN

RESIDENTIAL SIGNAGE

- Residential Signage –
- simple, understated design
 - pre-made product
 - mounted on top of canopy
 - address numbers can be mounted on the facade



PLYMOUTH ENTRY



BELLWETHER ENTRY

RETAIL SIGNAGE

- Retail Signs –
- mounted below canopy
 - airy, letters mounted inside frame



- Additional Retail Signage –
- simple window graphics to reinforce brand
 - pedestrian-level signage on window or door



RETAIL A



RETAIL B



RETAIL C

LANDSCAPE



LANDSCAPE - AT GRADE

LEGEND

- 01

STANDARD CONCRETE SIDEWALK PAVING WITH 2'X2' SCORING
- 02

CONCRETE PAVING ON SITE WITH SPECIALTY FINISH AND SCORING
- 03

CONCRETE STAIRS WITH INTEGRATED LIGHTING & SEAT STEPS
- 04

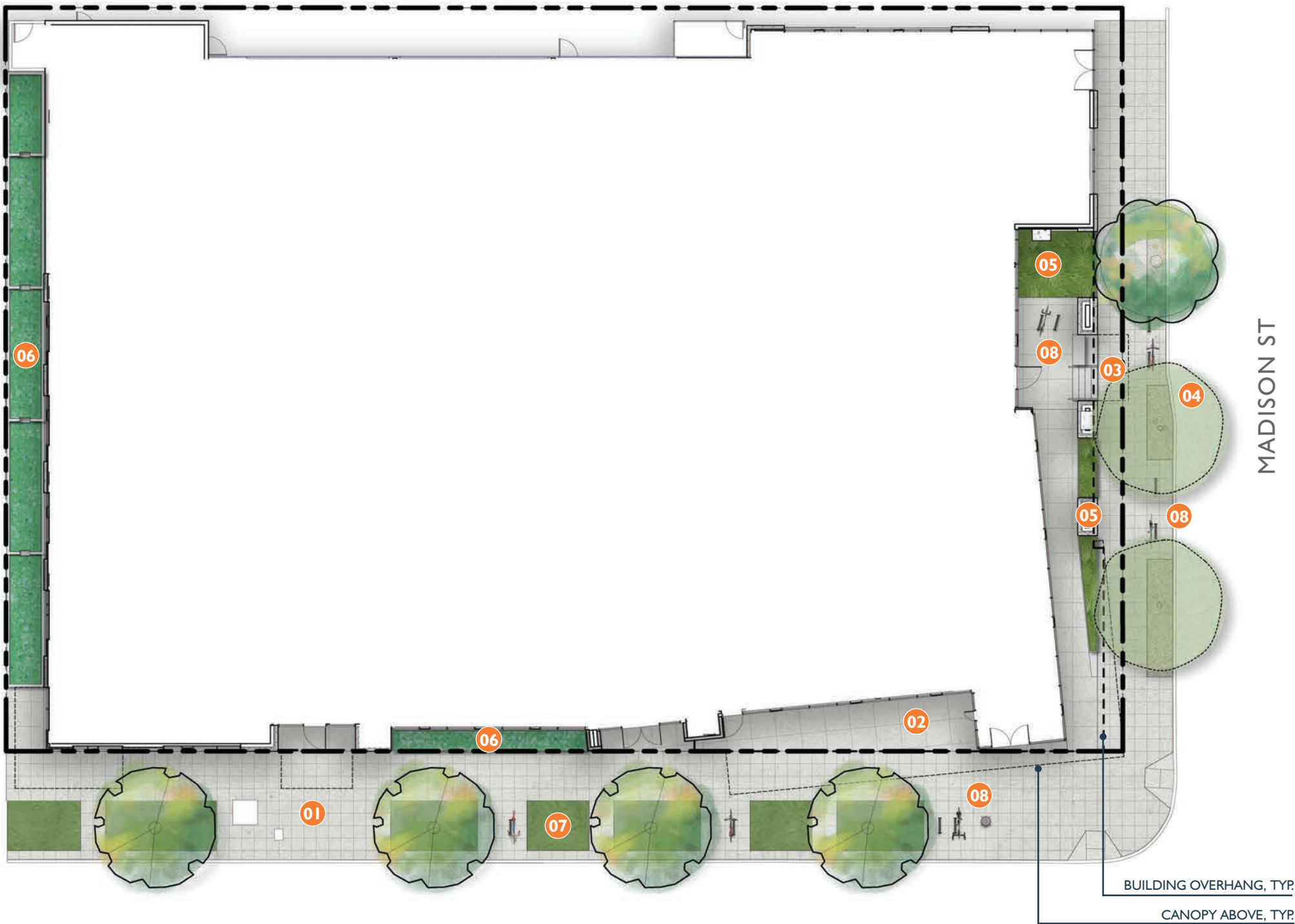
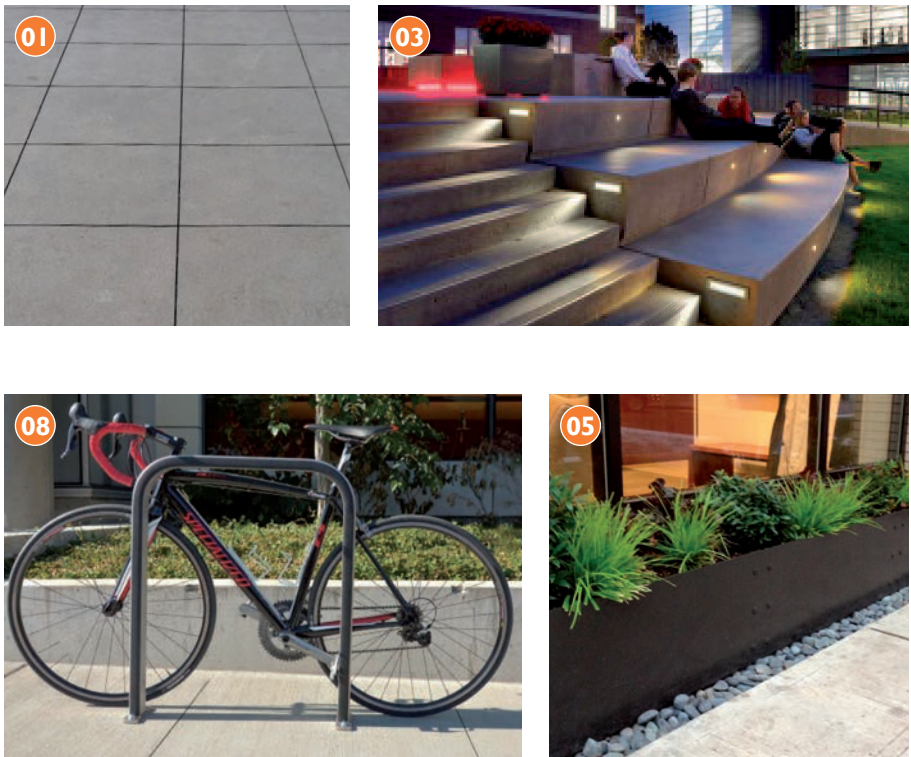
FLEXIBLE POROUS PAVING AT EXISTING STREET TREES
- 05

RAISED PLANTING AREA WITH METAL PLANTER WALLS
- 06

BIORETENTION PLANTERS
- 07

FLUSH PLANTING AREAS IN RIGHT OF WAY
- 08

BIKE PARKING



BOYLSTON AVE

MADISON ST

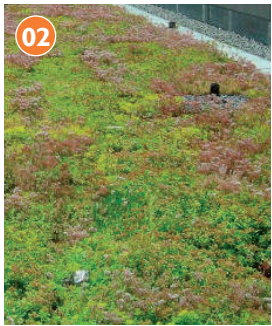
BUILDING OVERHANG, TYP.
CANOPY ABOVE, TYP.



LANDSCAPE - L02 & L06

LEGEND

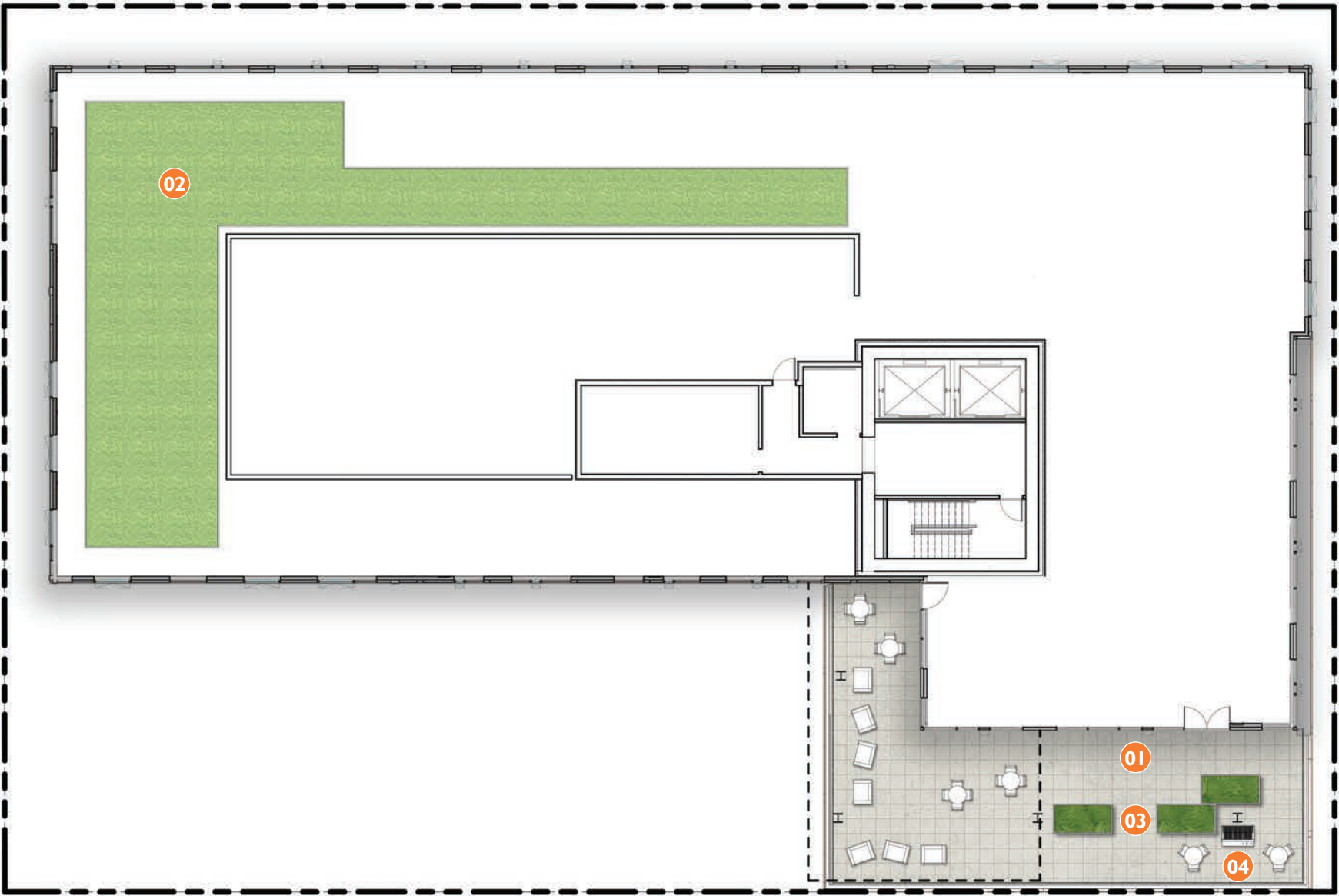
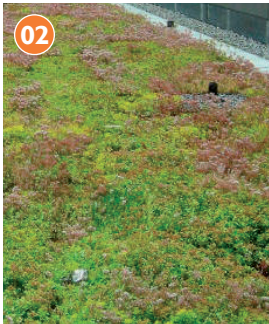
- 01 PEDESTAL PAVERS
- 02 EXTENSIVE GREEN ROOF
- 03 MODULAR RAISED METAL PLANTERS
- 04 BIORETENTION PLANTERS
- 05 TENANT GARDEN PLOTS
- 06 WOODEN BENCHES



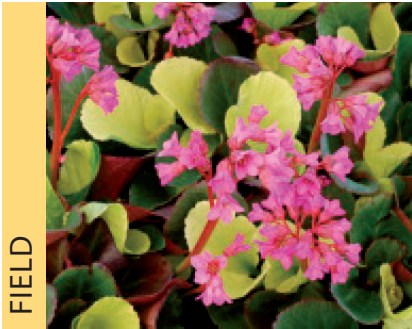
LANDSCAPE - LI7 & ROOF

LEGEND

- 01 PEDESTAL PAVERS
- 02 EXTENSIVE GREEN ROOF
- 03 MODULAR RAISED METAL PLANTERS
- 04 MOVABLE FURNITURE



LANDSCAPE - PLANTING PALETTE



FIELD

Bergenia cordifolia 'Lunar Glow'
Lunar glow elephant ears



STRUCTURE

Mahonia eurybracteata 'Soft Caress'
Soft caress mahonia



ACCENTS

Carex oshimensis 'Everillo'
EverColor® everillo sedge



FIELD

Prunus laurocerasus 'Mt Vernon'
Mt Vernon laurel



Hemerocallis 'Stella D'oro'
Stella D'oro daylily



STRUCTURE

Raphiolepis umbellata 'Minor'
Dwarf yeddo hawthorn



FIELD

Liriope spicata
Creeping lilyturf



ACCENTS

Acanthus mollis
Bear's breech



FIELD

Liriope spicata
Creeping lilyturf



STRUCTURE

Lonicera pileata
Privet honeysuckle



ACCENTS

Ligularia stenocephala 'The Rocket'
Rocket ligularia



Gunnera manicata
Gunnera

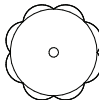
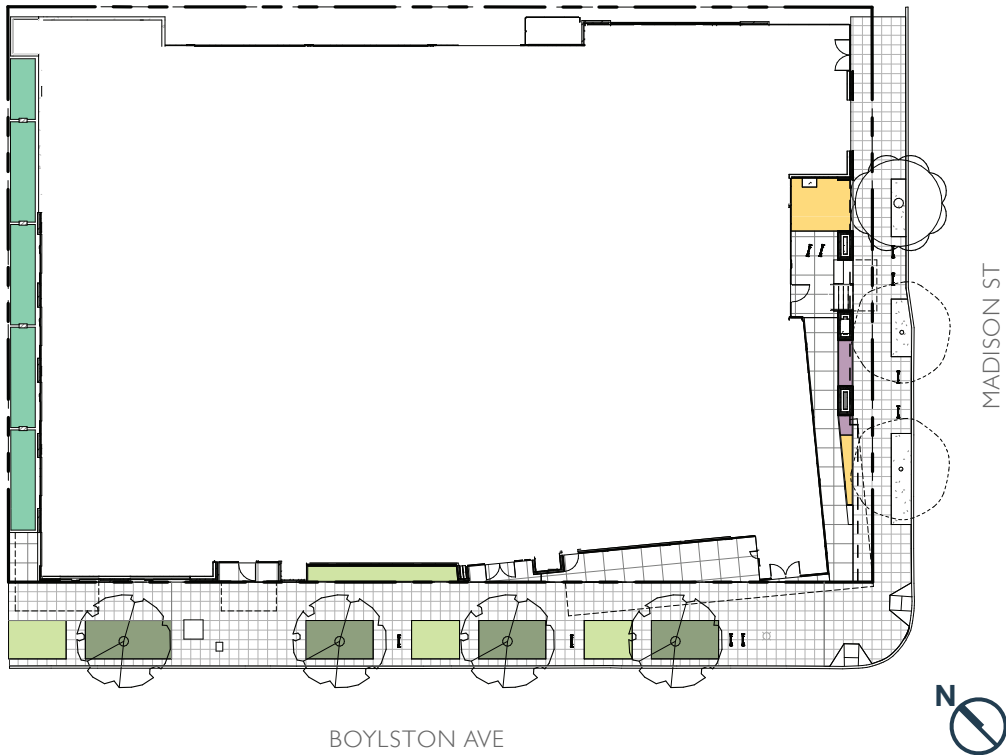


FIELD

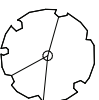
Acorus gramineus 'Ogon'
Golden variegated sweet flag



Juncus patens 'Elk Blue'
Elk blue rush



Acer x freemanii 'Armstrong'
Armstrong red maple



Zelkova serrata 'Green Vase'
Japanese zelkova

LANDSCAPE - PLANTING DIAGRAM



Pachysandra terminalis
Japanese spurge



Prunus laurocerasus 'Mt Vernon'
Mt Vernon laurel



Carex oshimensis 'Everillo'
EverColor® everillo sedge



Liriope spicata
Creeping lilyturf



Raphiolepis umbellata 'Minor'
Dwarf yeddo hawthorn



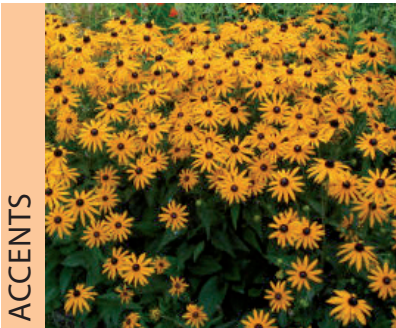
Clethra alnifolia 'Hummingbird'
Hummingbird sweetspire



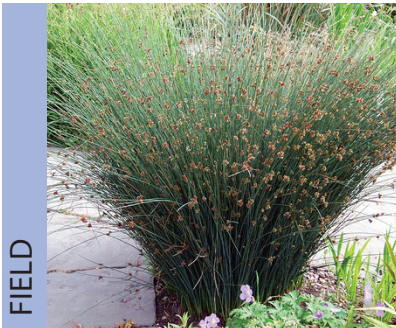
Rubus pentalobus
Creeping bramble



Nassella tenuissima
Mexican feather grass



Rudbeckia fulgida 'Little Goldstar'
Little goldstar black-eyed Susan



Juncus patens 'Elk Blue'
Elk Blue California gray rush



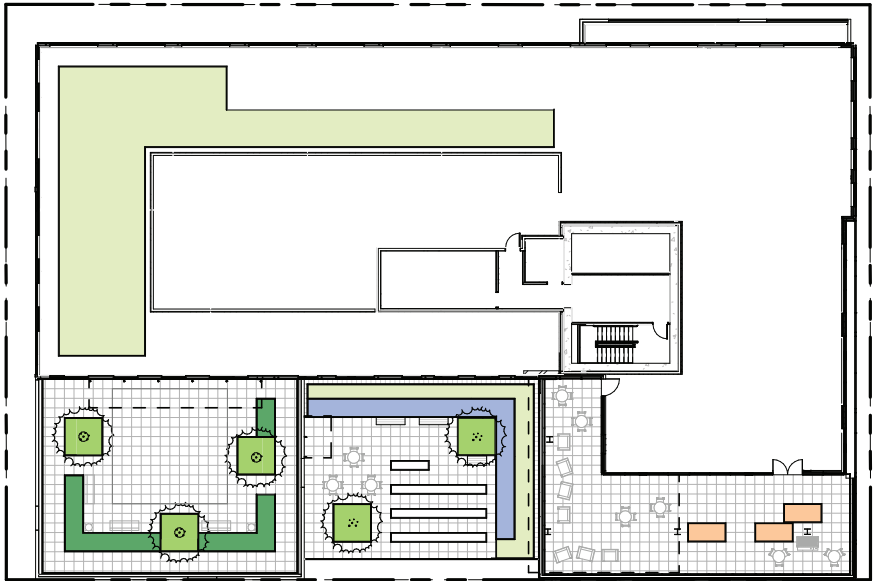
Mahonia aquifolium
Tall Oregon grape



Cornus sericea 'Farrow'
Arctic fire red-twig dogwood



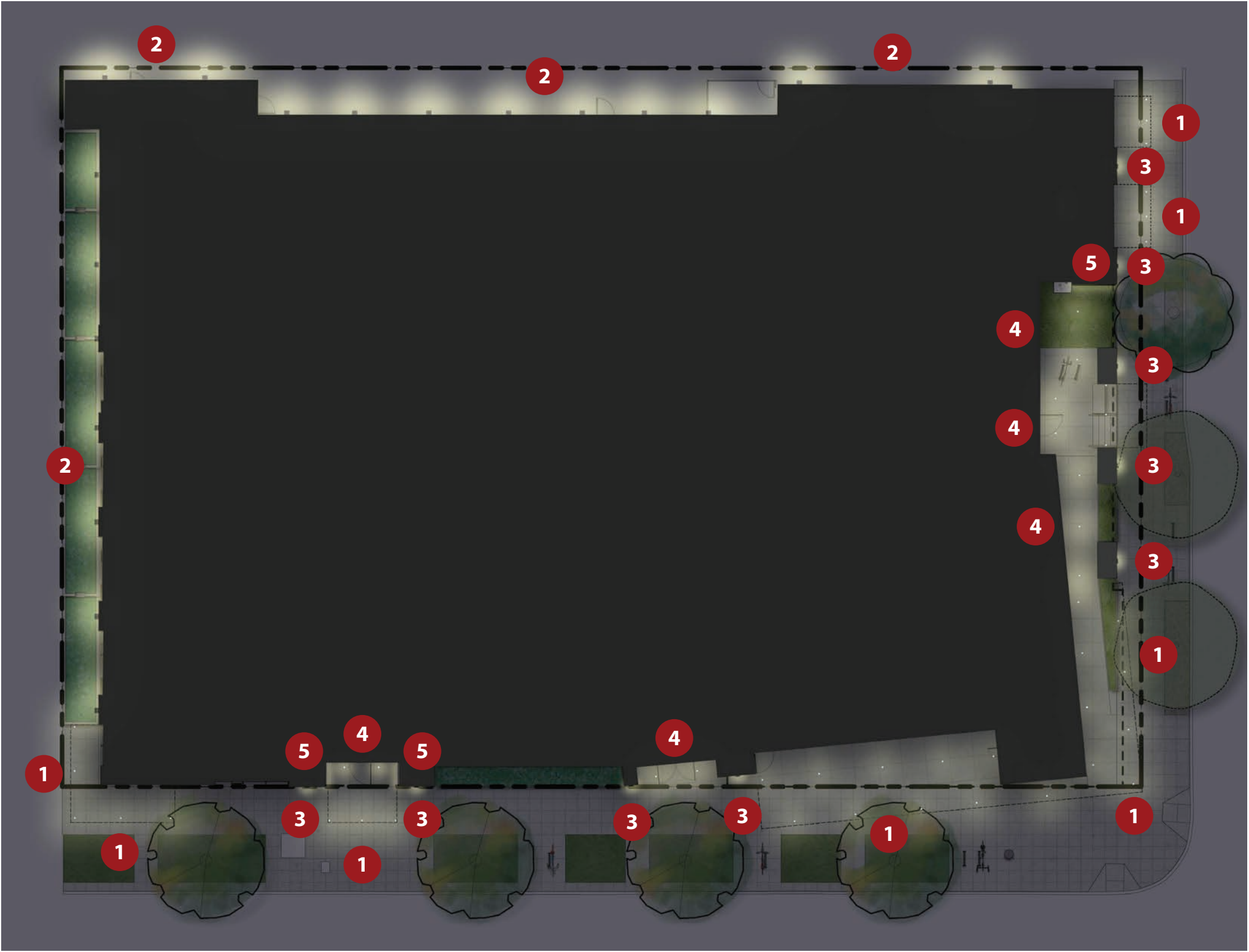
Iris ensata 'Variegata'
Variegated Japanese iris



Acer palmatum 'Osakazuki'
Japanese maple



STREET LEVEL LIGHTING PLAN



- 1 Adjustable Surface Mount Canopy Downlights provide ambient illumination along walking paths.



- 2 Rectilinear Surface Mount Luminaire with wide distribution are provided at north & east alley ways and walkways for safety and security.



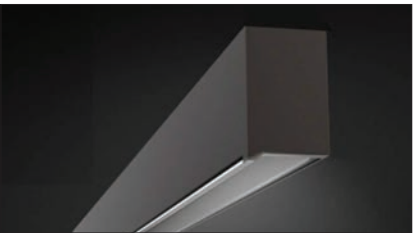
- 3 Rectangular Surface Mount Luminaire with indirect/direct illumination at building facade and columns provide residential entry wayfinding.



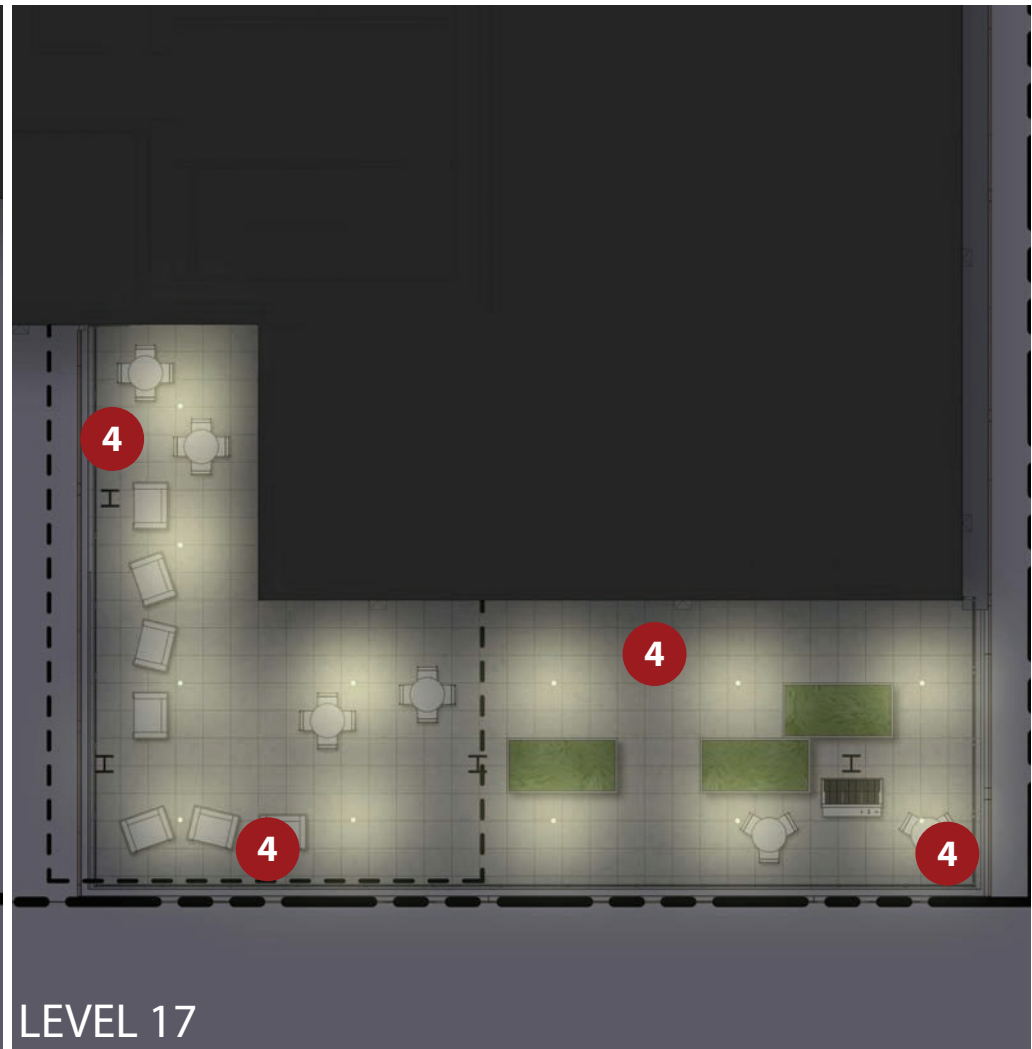
- 4 Recessed Canopy Downlights provide ambient illumination at building entries.



- 5 Surface Mount Linear Luminaire highlight art murals at residential entries.



L2/L6/L17 LIGHTING PLAN



1 Adjustable Surface Mount Canopy Downlights provide ambient illumination at building entries and Level 6 play area.



2 Step Lights Recessed into planters provide low level illumination along walking paths.



3 Adjustable Stake-Mounted Uplights gently highlight tree canopies and help create a sense of space.



4 Surface Mount High Output Downlights in double height canopy illuminate amenity seating and BBQ areas.



DEPARTURES



DEPARTURE #1 - AMENITY INT/EXT REQUIREMENT

EDG REPORT: **Staff indicates preliminary support the requested departure** from amenity area enclosure requirements provided that the combined exterior and interior common amenity areas meet the minimum square footage requirement. Staff supports the design-based rationale. Exterior and interior amenities should be useably sized, promote interaction, and relate well to each other. (DC3-A-I, Interior/Exterior Fit; DC3-B-I, Meeting User Needs; DC3-B-4; Multifamily Open Space)



COMMON RECREATION AREAS				
	LEVEL	INTERIOR	EXTERIOR	TOTAL
PLYMOUTH HOUSING	TOTAL REQUIRED - 5% OF GROSS RESIDENTIAL AREA	DEPARTURE REQUESTED	68,489.13 SF x 5% = 3,424.46SF	
	LEVEL 1	1,614.61 SF	0 SF	
	LEVEL 2	595.92 SF	1,862.84 SF	
	TOTAL PROVIDED	2,210.53 SF	1,862.84 SF	4,073.37 SF
			54.4% OF REQ'D AMENITY	118.9% OF REQ'D AMENITY
BELLWETHER HOUSING	TOTAL REQUIRED - 5% OF GROSS RESIDENTIAL AREA	DEPARTURE REQUESTED	165,970.16 SF x 5% = 8,298.51 SF	
	LEVEL 1	967.36 SF	1,107.83 SF	
	LEVEL 6	347.26 SF	2,139.03 SF	
	LEVEL 17	2,497.77 SF	1,544.20 SF	
	TOTAL PROVIDED	3,812.39 SF	4,791.06 SF	8,603.45 SF
			57.9% OF REQ'D AMENITY	103.7% OF REQ'D AMENITY
COMBINED	TOTAL REQUIRED - 5% OF GROSS RESIDENTIAL AREA		234,459.30 SF x 5% = 11,722.97SF	
	TOTAL PROVIDED	6,022.92 SF	6,653.90 SF	12,676.82 SF
			56.8% OF REQ'D AMENITY	108.1% OF REQ'D AMENITY

LAND USE CODE REQUIREMENT [23.47A.024 – Amenity Area]:

- A. Amenity areas are required in an amount equal to 5 percent of the total gross floor area in residential use, except as otherwise specifically provided in this Chapter 23.47A. Gross floor area, for the purposes of this subsection 23.47A.024.A, excludes areas used for mechanical equipment and accessory parking. For the purposes of this subsection 23.47A.024.A, bioretention facilities qualify as amenity areas.
- B. Required amenity areas shall meet the following standards, as applicable:
 - 1. All residents shall have access to at least one common or private amenity area.
 - 2. Amenity areas shall not be enclosed.
 - 4. Common amenity areas shall have a minimum horizontal dimension of 10 feet, and no common amenity area shall be less than 250 square feet in size.

PROPOSED DEPARTURE:

ALLOW FOR 50% AMENITY AREA TO BE ENCLOSED

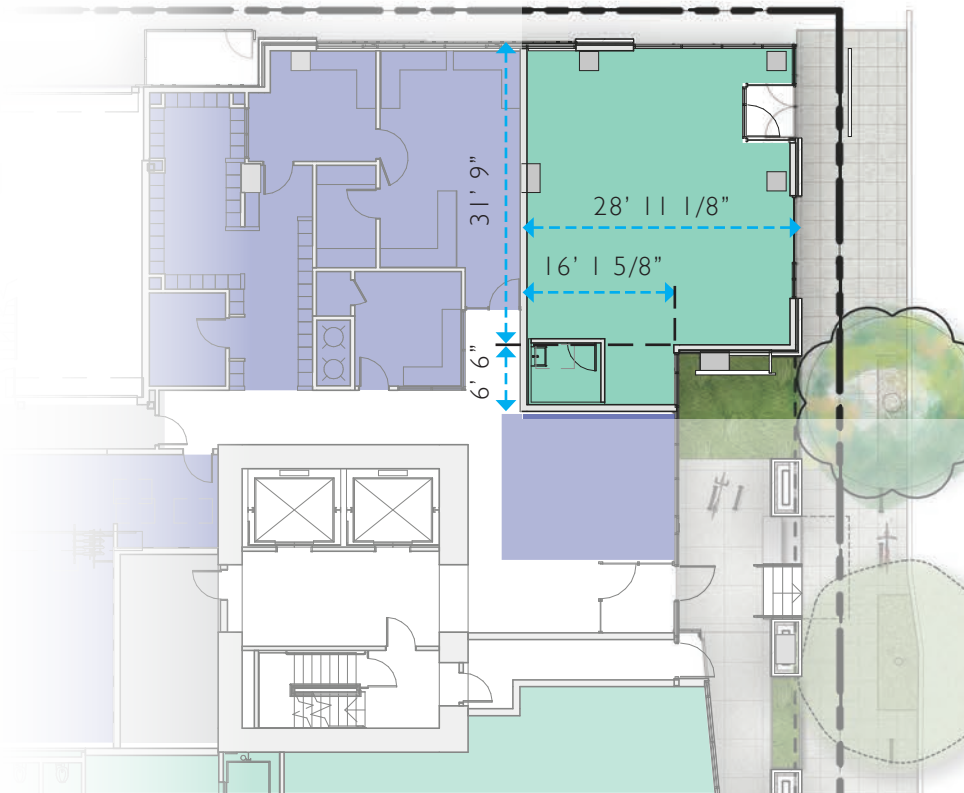
PURPOSE: The NC3P-200 zoning immediately abuts Multifamily High-Rise zone in the First Hill neighborhood.

Open space at Madison/Boylston has been located and sized carefully to alleviate the project's massing and support the project's connection to the broader community. Consideration of the sizing, location and design of the amenity program is set to align the building's amenities directly with design guidelines for open space concept meeting user needs. Plymouth Housing's Level Two interior gathering amenity program provides access to the exterior amenity area, a lushly landscaped background with planting boxes for tenant gardening use, and ample opportunities to enjoy the neighborhood view of Boylston. Bellwether Level Six interior amenity offers on-site laundry with visual access into a study lounge fronting an amenity terrace with play equipment and landscaping. Bellwether Level Seventeen interior amenity is varied with on-site laundry, a fitness center, conference room, media center, community kitchen and flexible community room that aligns to the exterior terrace **DC3-A-I (Building-Open Space Relationship: Interior/Exterior Fit)**.

Bellwether's portion of this project will include 253 residential units of workforce affordable housing, where they expect between 370-795 people to reside. Bellwether's intent is to provide appropriate facilities for their residents. Based on the understanding and insight that they have garnered over the decades providing affordable housing in Seattle, they have seen that exterior space is either under-utilized or entirely unused. Juxtaposing this, Bellwether has heard from residents that more enclosed amenity space is desired. Over the holidays and at other times during the year, Bellwether hosts building wide dinners and events for their residents. Having a community room that is large enough for 1/3-1/2 of their residents is always a goal in order to achieve these large community gathering and community building events. Bellwether also hosts homework clubs and other after school activities, job training workshops, citizenship classes and other activities in their buildings. All of these programs happen in the community rooms, so having indoor community space is integral to the programs they host for their residents, **DC3-B-I (Open Space Uses and Activities: Meeting User Needs)**.



DEPARTURE #2 - RETAIL DEPTH ON MADISON



LAND USE CODE REQUIREMENT [23.47A.008.B.3.a - STREET-LEVEL DEVELOPMENT STANDARDS/DEPTH]:

- Depth provisions for new structures or new additions to existing structures:
- a. Non-residential uses greater than 600 square feet shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level, street-facing facade.

PROPOSED DEPARTURE: ALLOW FOR AVERAGE DEPTH OF 26'-9" WITH A TYPICAL DEPTH OF 28'-11" + MINIMUM DEPTH OF 16' FOR RETAIL C

PURPOSE: Purpose: In partial due to a required SDOT easement along Madison, reduce the required average depth of retail space along Madison for Retail C, which reflects the depth of the adjacent retail entry at 25' 7" across the alley and right-sizes the retail space for the biggest opportunity to lease.

This space has been identified to target a 1,000 SF retail lease demographic that would complement the Whole Foods program across the alley. Retail C has an overall height of 22' (9' above the minimum 13' height requirement), creating a double story height within the space maintaining a well-lit and inviting commercial space with lots of visibility along Madison. This double height glazing wraps to the alley inviting more daylight, visual access to merchandise as the glazing is double sided in the space, while creating an open and safe condition at the corner entry to the alley. **CS2-b-2 Connection to the street; PL3-C-1 Porous Edge, 2 Visibility.**

An inset planting area acts as a gasket between Retail C and the residential lobby. A portion of the Retail C space aligns to the setback residential lobby and reduces the retail depth at this location to approximately 16'. This offers a visual transition between uses, which supports way-finding as well as creating landscaped edges for pedestrians to experience along Madison. **pl1-a-2 adding to Public Life. pl2-d-1 Way-finding.**

Madison has a required 4' easement that accommodates the BRT line and aligns to the neighboring easement of Tthe Danforth. This easement maintains SDOT requirements while keeping alignment with the Whole Foods storefront, yet hinders the maximum depth achievable within property boundaries. The space has been right-sized and positioned on the alley to take advantage of its locale, while increasing visual porosity through the site. **CS2-b-2 Connection to the street.**



DEPARTURE #3 - CANOPY COVERAGE

LAND USE CODE REQUIREMENT
[23.47A.008.B.4.a&b - Street-level development standards/Overhead Weather Protection]:

- Overhead weather protection:
- a. **Continuous** overhead weather protection (i.e., canopies, awnings, marquees, and arcades) is **required along at least 60 percent of the street frontage** of a structure on a principal pedestrian street,...
 - b. The **covered area shall have a minimum width of 6 feet**, unless there is a conflict with existing or proposed street trees or utility poles, in which case the width may be adjusted to accommodate such features...

PROPOSED DEPARTURE:
ALLOW FOR 56.7% CANOPY COVERAGE ALONG MADISON AND 57.4% ALONG BOYLSTON AS WELL AS DISCONTINUOUS OVERHEAD WEATHER PROTECTION.

PURPOSE: Allow for minimally reduced canopy coverage percentage along Madison and Boylston for increased visibility through the base of the project and allow for the architectural concept to connect lower and upper levels.

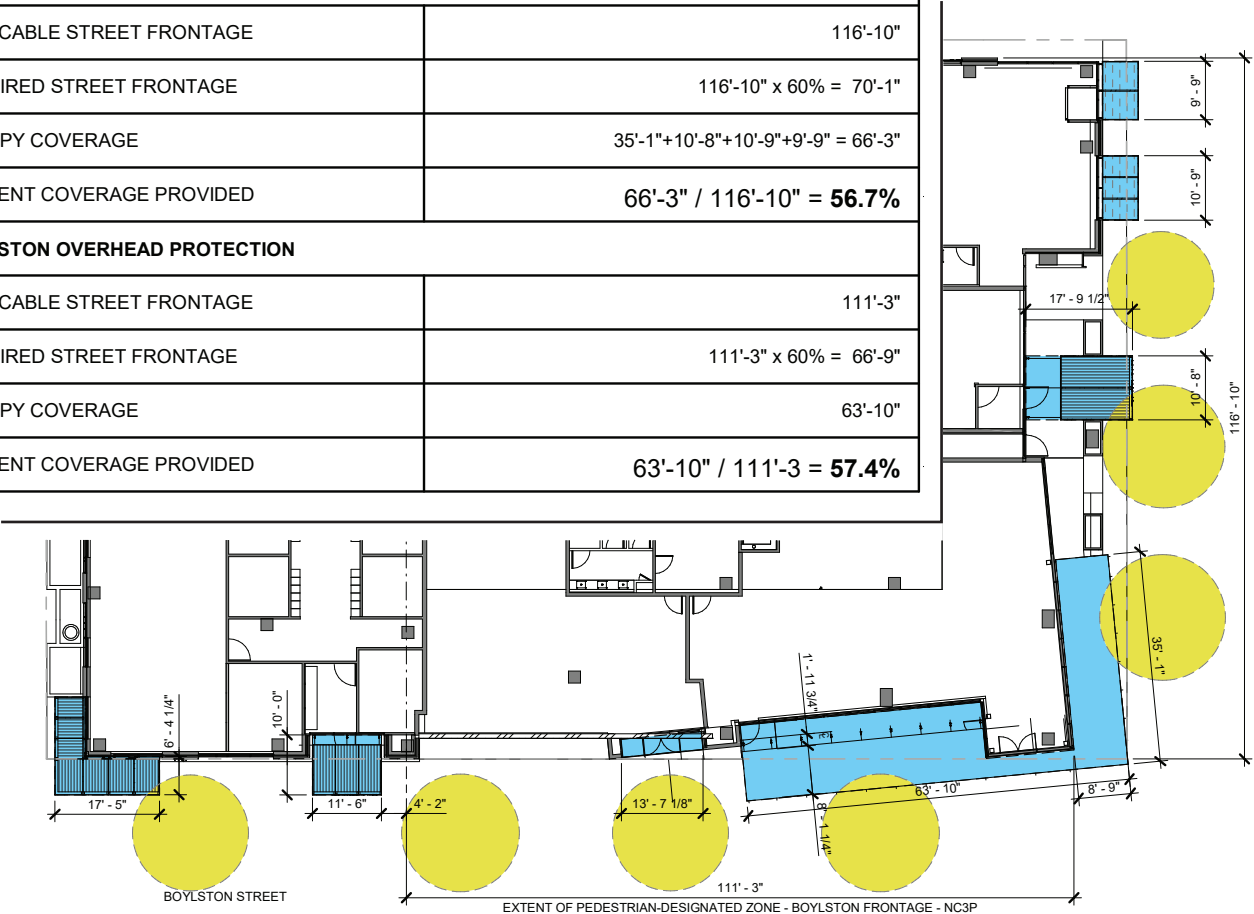
AND

Allow for dis-continuous overhead weather protection to accommodate canopy locations that strengthen entry locations and way-finding.

Following citywide guidelines for way-finding (PL2-D-I Wayfinding), a major design goal of the project is to bring clarity to the five unique entries along the Madison and Boylston; 1-Plymouth Housing Residential entry, 2-Bellwether Housing Residential Entry, 3-Retail A, 4-Retail B, and 5-Retail C. Utilizing canopies tied to architectural massing moves cue the change of use through location, scale and materiality (PL2-C 2-3 Weather Protection: Design Integration and People Friendly Spaces). The Retail A canopy shifts from the orthogonal in plan and skews towards Madison extending out towards both R.O.W.s and creating a covered outdoor room on Boylston for spill- out restaurant seating, a targeted use of this main retail corner (PLI-A-2 Adding to Public Life). Both Retail A and C utilize steel structural support with translucent milk white glass cover to allow for bright filtered light to transmit to into the entries and spill-out space along Boylston. Retail B creates a recessed entry to that contrasts with the projecting canopy of Retail A, allowing for more sunlight and relief (PL3-C-I Porous Edge). Retail C utilizes the materiality of Retail A's canopy, however it maintains the orthogonal relationship to the building and is inset into the brick grid along Madison. Both residential entry canopies utilizes a steel structure with a box rib, metal panel, yellow-painted soffit to differentiate from the retail canopies and offer a bright color for way-finding into the recessed entries of the brick grid facades.

Offset tree canopy locations provide shelter and relief between structured canopy coverage. This allows the grid structure of the building to be present in the pedestrian realm, creating repetition and rhythm to the Madison and Boylston street frontages. (PL2-C 2-3 Weather Protection: Locations and Coverage).

MADISON OVERHEAD PROTECTION	
APPLICABLE STREET FRONTAGE	116'-10"
REQUIRED STREET FRONTAGE	116'-10" x 60% = 70'-1"
CANOPY COVERAGE	35'-1"+10'-8"+10'-9"+9'-9" = 66'-3"
PERCENT COVERAGE PROVIDED	66'-3" / 116'-10" = 56.7%
BOYLSTON OVERHEAD PROTECTION	
APPLICABLE STREET FRONTAGE	111'-3"
REQUIRED STREET FRONTAGE	111'-3" x 60% = 66'-9"
CANOPY COVERAGE	63'-10"
PERCENT COVERAGE PROVIDED	63'-10" / 111'-3 = 57.4%



DEPARTURE #4 - BOYLSTON GROUND LEVEL USE

LAND USE CODE REQUIREMENT

[23.47A.005.D.i – Street-level uses/Offices]:

Depth provisions for new structures or new additions to existing structures:

Provided that no more than 30 feet of the street-level, street-facing facade of a structure may contain an office use;

PROPOSED DEPARTURE:

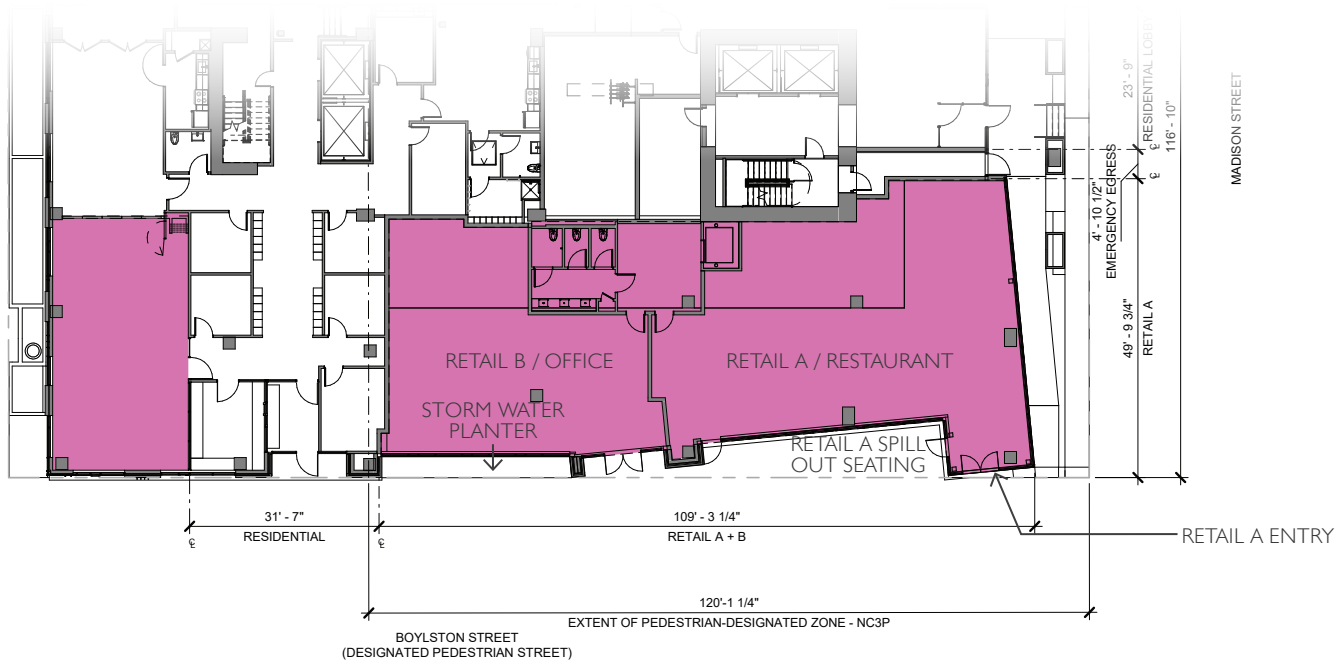
REQUEST FLEXIBILITY FOR OFFICE USE AT RETAIL B, 47' 7 3/4, ALONG BOYLSTON AVENUE.

PURPOSE: Request to increase potential office space width from 30' to 47' 7 3/4". Allow for additional 17'-7 3/4" of office use frontage for street level use along Boylston beyond the 30' maximum width allowance, as a potential alternative use to Retail B.

This ground level space is designed as flexible retail or office space. A 4' deep planting area across the glazed retail frontage with a forward approaching and separately defined entry point offers privacy to office use but openness and visibility for retail. The adjacent Retail A offers an additional 61'-6" linear feet of retail and holds the SW main corner of the proposed project. A complementary spill-out space fronting Retail A creates a living room along the side walk facing the planned planted R.O.W.(**PL1-A-2 Adding to Public Life; PL3-A-1a+1b Entries – Office/Commercial and Retail**). Allowing for flexibility of use ensures viability of leasing to fill the retail space, promoting street level interaction and activating the sidewalk and neighborhood (**PL3-C-1 Porous Retail Edges**).

While retail use is prioritized, to secure an activated street level in lieu of leasing, the Retail B space office use offers an alternative as an established neighborhood trend. Smaller office use exists on Boylston for the first block north and south of Madison, these complementary uses are supported by the medical office spaces that is are the dominant institutional character of the neighborhood.

Furthermore, the Boylston Avenue frontage is only partially within the 'Pedestrian Zone' for 120 feet out of the overall 164' 10" building frontage. 100% of the 'Pedestrian Zone' is occupied by commercial use.



RETAIL B ENTRY AND FRONTAGE



RETAIL A SPILL OUT SEATING

DEPARTURE #5 - STREET LEVEL USE ON MADISON

LAND USE CODE REQUIREMENT

[23.47A.005 C&D; Street Level Uses – Residential AND Required Uses]:

C. Residential uses at street level

I. In all NC and C zones, residential uses may occupy, in the aggregate, no more than 20 percent of the street-level street-facing facade in the following circumstances or locations:

D. In pedestrian-designated zones the locations of uses are regulated as follows:

I. Along designated principal pedestrian streets, one or more of the following uses are required along 80 percent of the street-level, street-facing facade in accordance with the standards provided in subsection 23.47a.008.c.

PROPOSED DEPARTURE:

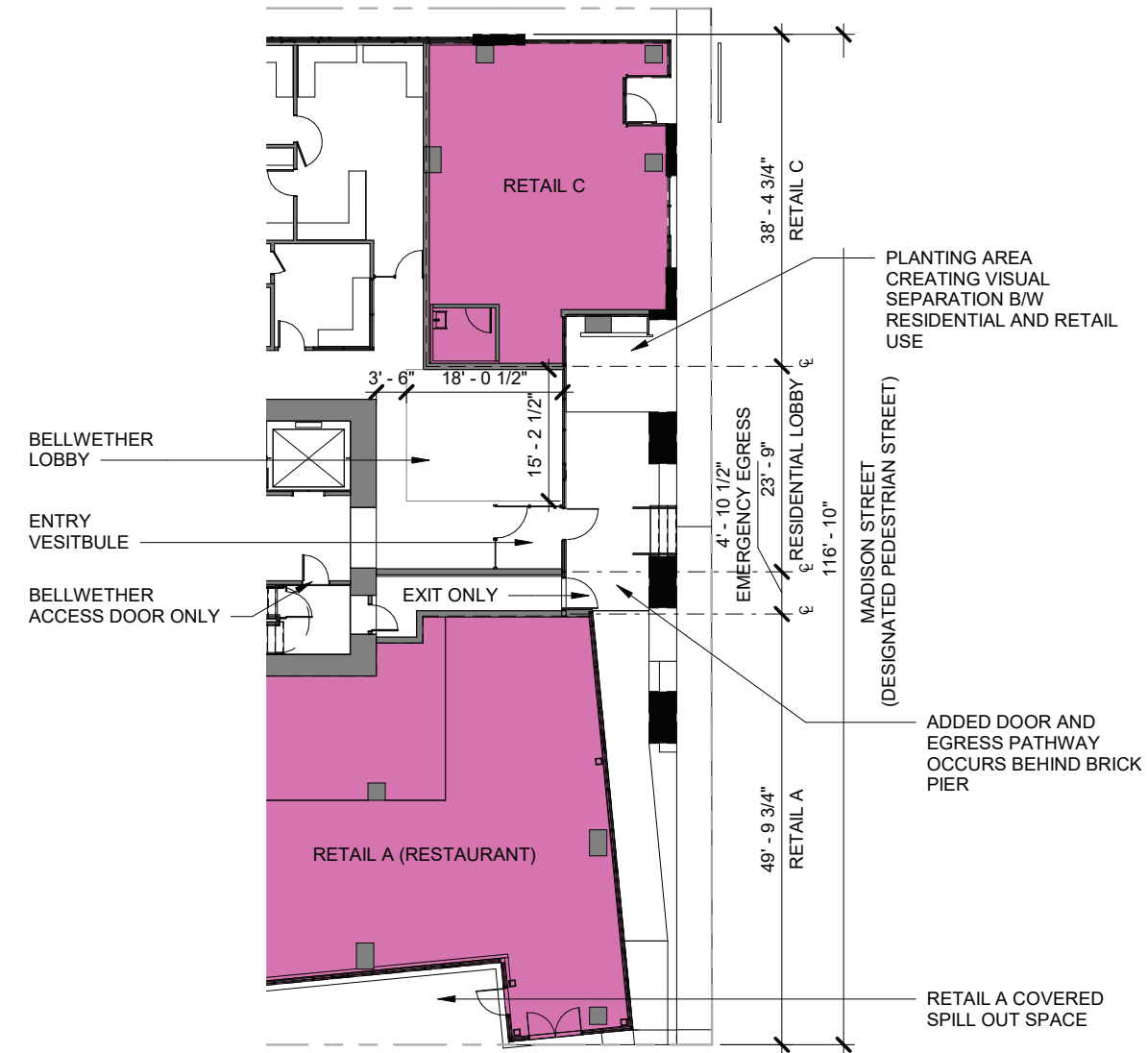
PURPOSE: Allow for minimally increased residential use along Madison to satisfy need for direct exterior egress from tower while maintaining useable gathering area for Bellwether residents.

AND

Allow for minimally reduced required street level uses along Madison to achieve functional interior space while meeting the intent of activating street life through the required street level use percentage.

To accommodate direct path of egress from the above tower, an exit only door has been added to the Madison frontage. This addition allows residents from both providers to egress directly to the exterior bypassing security issues with Plymouth residents exiting through the Bellwether lobby. In order to accommodate programming of interior and exterior casual gathering space at the lobby for Bellwether tenants – creating opportunity for building community – the previous lobby width has been maintained DC3-B-1 (Meeting User Needs).

Transparency is maintained across the frontage allowing for visual connectivity and porosity. The exit only door that increases the “residential use” along Madison is a transparent storefront door that matches the storefront coloration, allowing it to blend in and maintain high visibility into and out of ground level spaces, PL2-B-3 (Street- Level Transparency). The nearby main residential lobby door frame stands out in contrast as a white frame. The exit passage way and door is located at the end of the sloped walk path that creates an accessible entry connection from Boylston to the Bellwether entry porch, PL2-A-1 (Access for All).



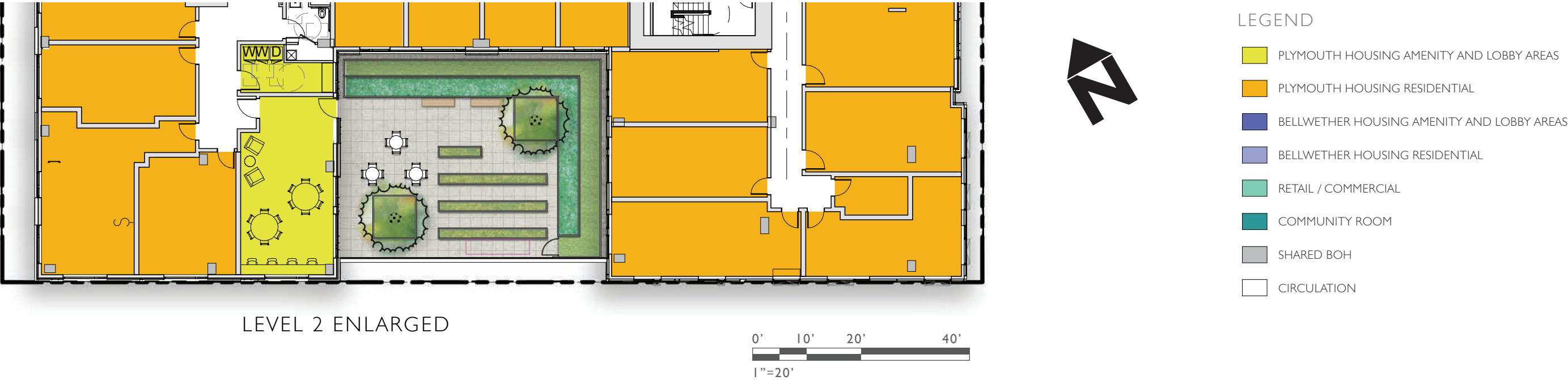
BELLWETHER ENTRY



PLANS + SECTIONS + SHADOWS

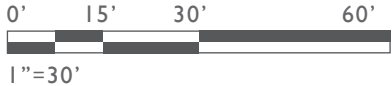
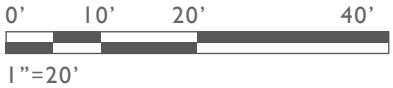
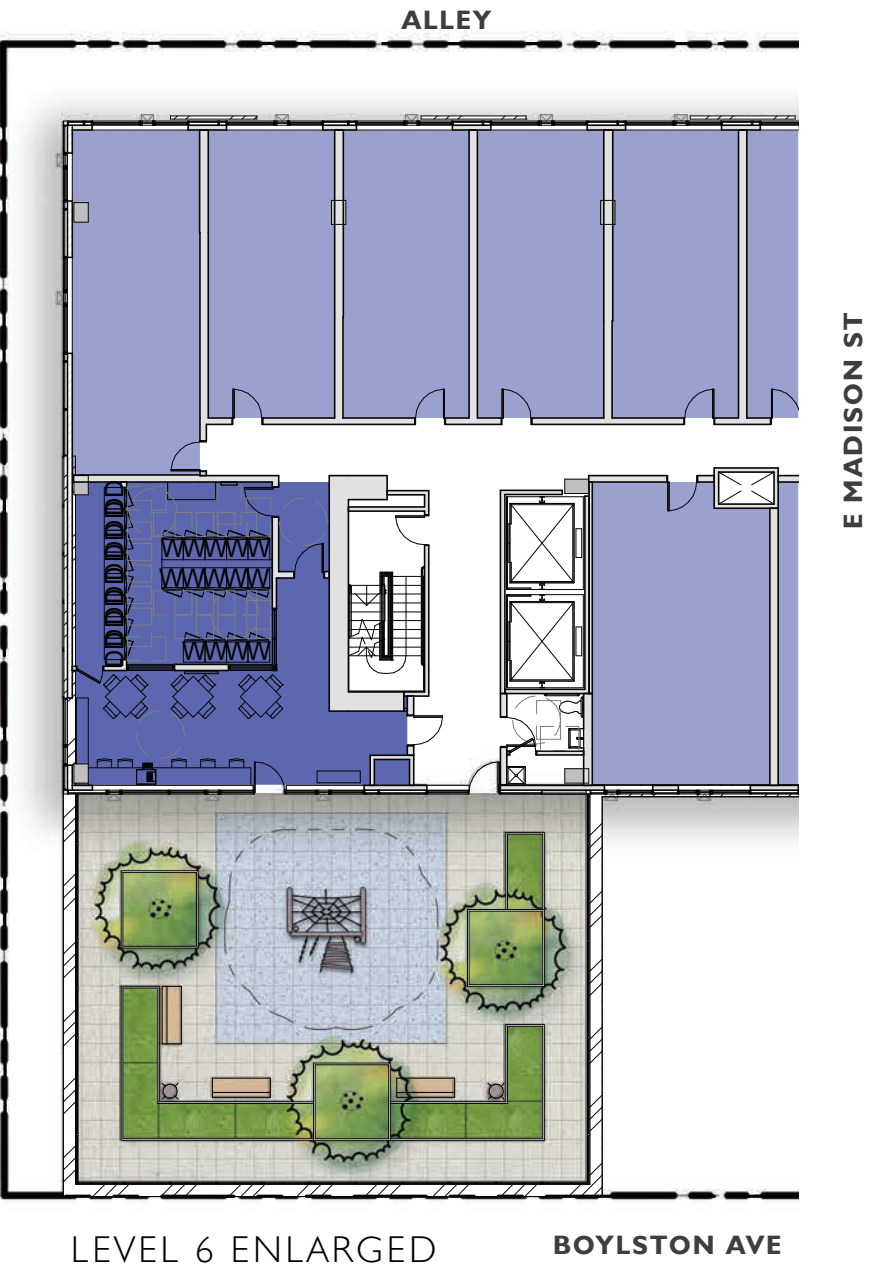
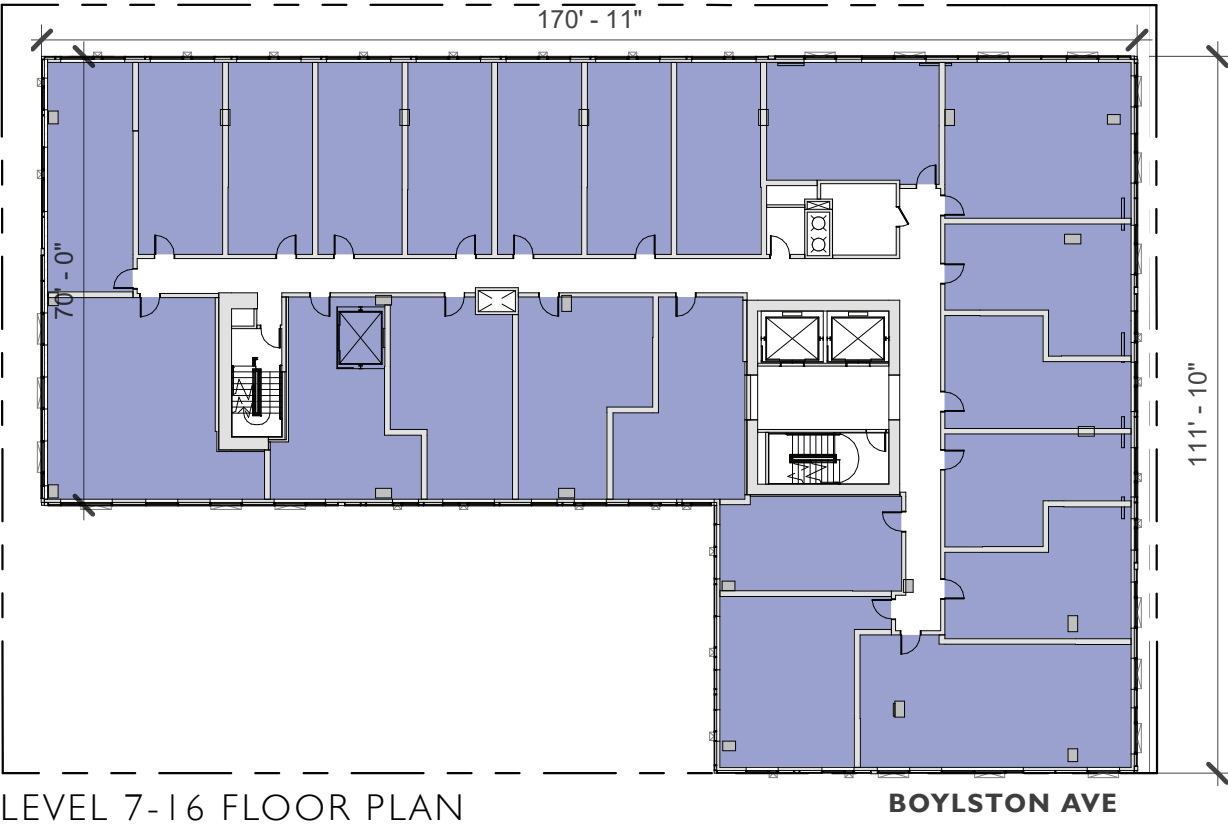
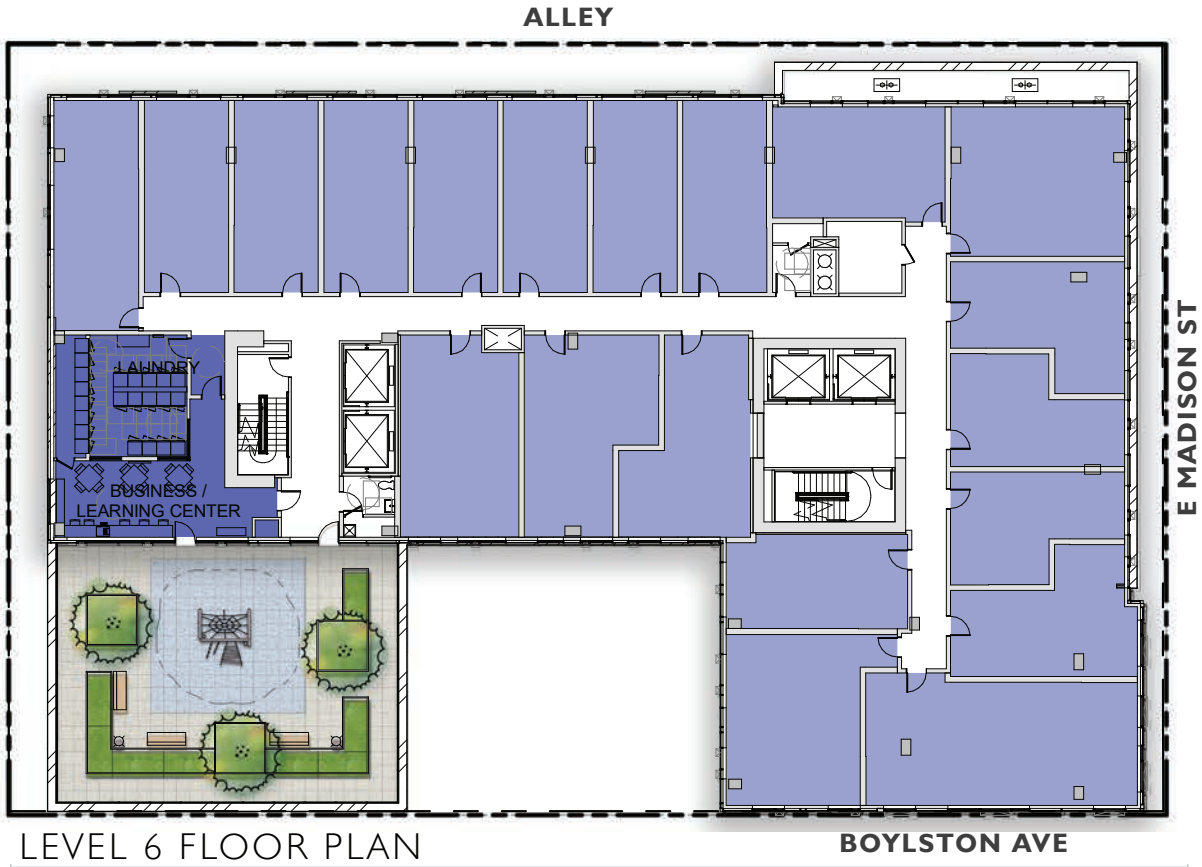


FLOOR PLAN – PLYMOUTH HOUSING L2, L3-5

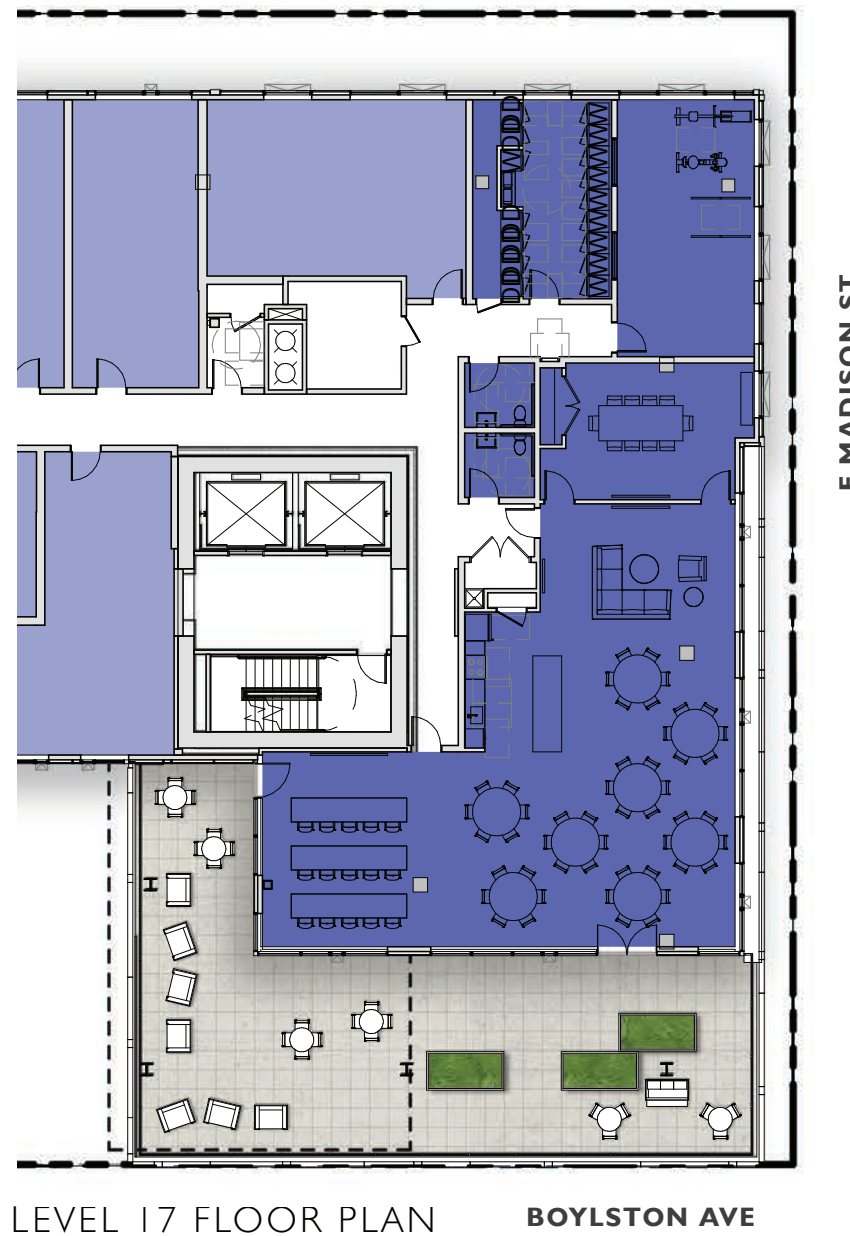
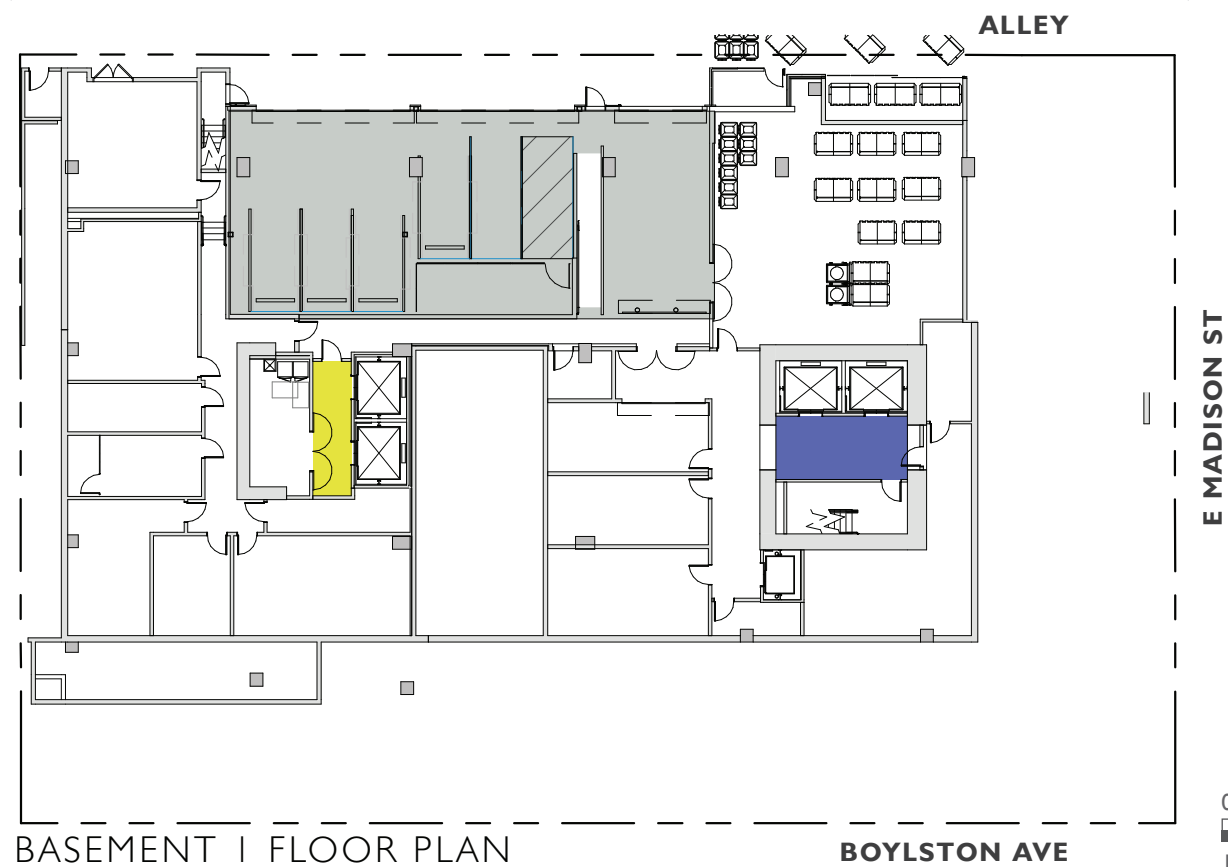
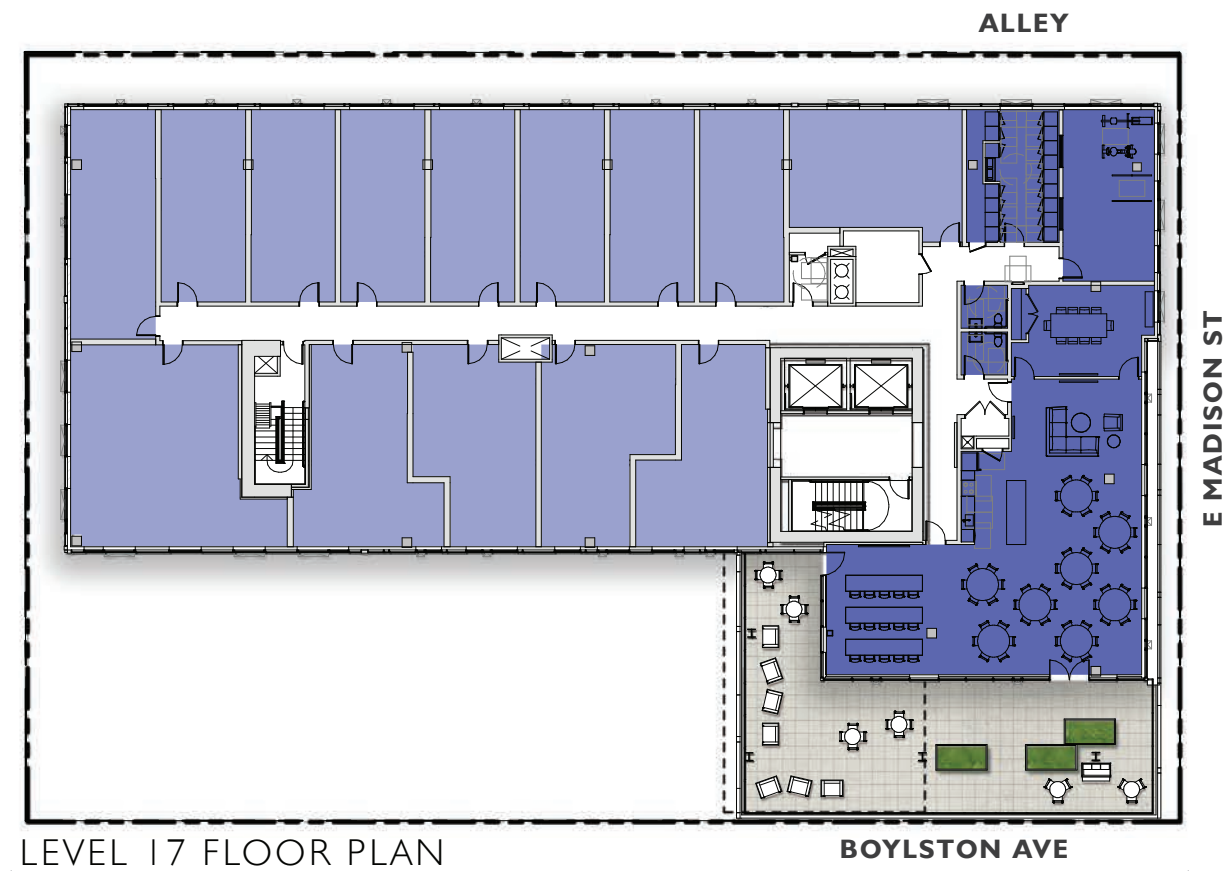


FLOOR PLAN – BELLWETHER HOUSING L6, L7-16

- LEGEND
- PLYMOUTH HOUSING AMENITY AND LOBBY AREAS
 - PLYMOUTH HOUSING RESIDENTIAL
 - BELLWETHER HOUSING AMENITY AND LOBBY AREAS
 - BELLWETHER HOUSING RESIDENTIAL
 - RETAIL / COMMERCIAL
 - COMMUNITY ROOM
 - SHARED BOH
 - CIRCULATION

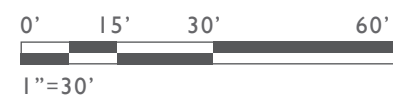
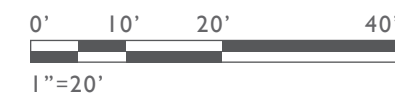


FLOOR PLAN – BELLWETHER HOUSING LI7, BI



LEGEND

- PLYMOUTH HOUSING AMENITY AND LOBBY AREAS
- PLYMOUTH HOUSING RESIDENTIAL
- BELLWETHER HOUSING AMENITY AND LOBBY AREAS
- BELLWETHER HOUSING RESIDENTIAL
- RETAIL / COMMERCIAL
- COMMUNITY ROOM
- SHARED BOH
- CIRCULATION



BUILDING SECTION – NORTH-SOUTH

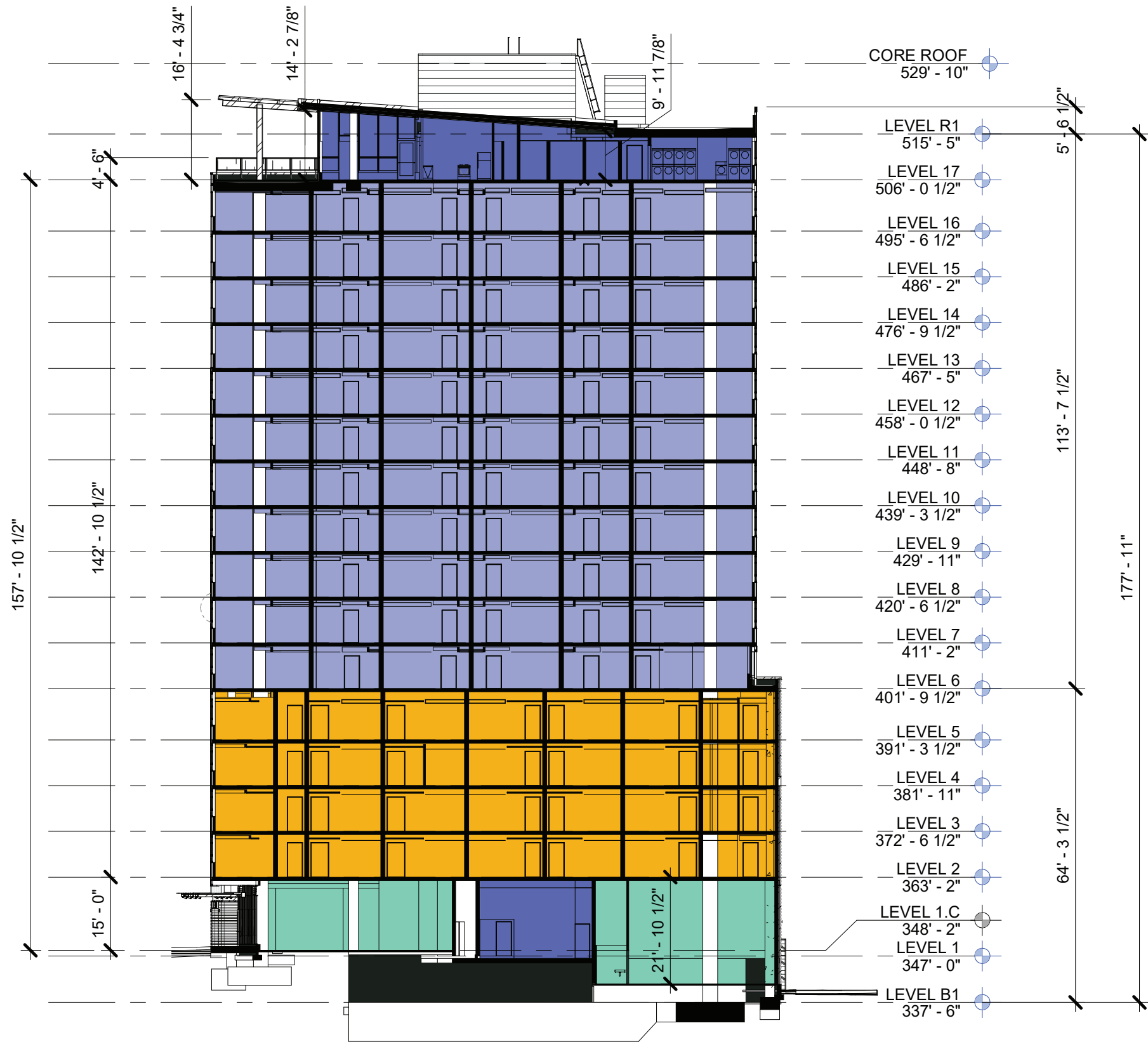
LEGEND

- PLYMOUTH HOUSING AMENITY AND LOBBY AREAS
- PLYMOUTH HOUSING RESIDENTIAL
- BELLWETHER HOUSING AMENITY AND LOBBY AREAS
- BELLWETHER HOUSING RESIDENTIAL
- RETAIL / COMMERCIAL
- COMMUNITY ROOM
- SHARED BOH
- CIRCULATION



BUILDING SECTION – EAST-WEST

- LEGEND
- PLYMOUTH HOUSING AMENITY AND LOBBY AREAS
 - PLYMOUTH HOUSING RESIDENTIAL
 - BELLWETHER HOUSING AMENITY AND LOBBY AREAS
 - BELLWETHER HOUSING RESIDENTIAL
 - RETAIL / COMMERCIAL
 - COMMUNITY ROOM
 - SHARED BOH
 - CIRCULATION



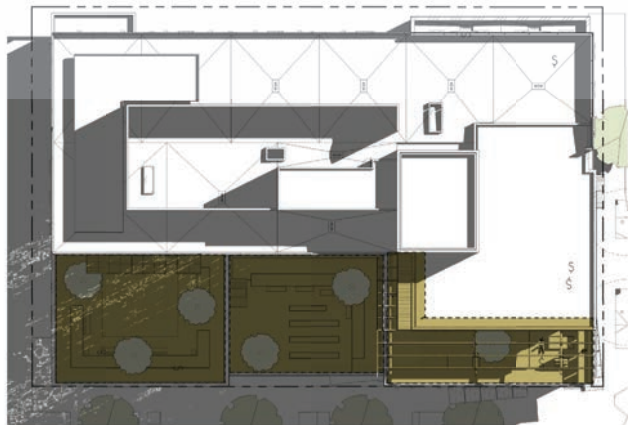
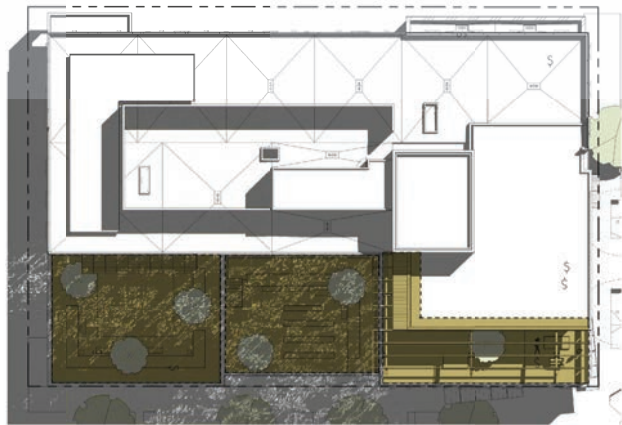
SHADOW STUDIES

SUMMER EQUINOX

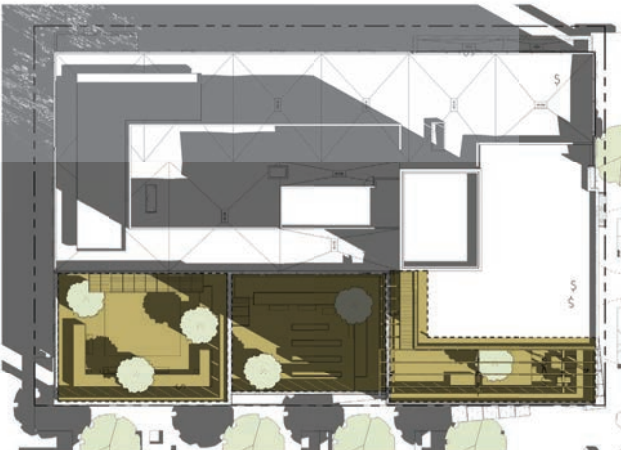
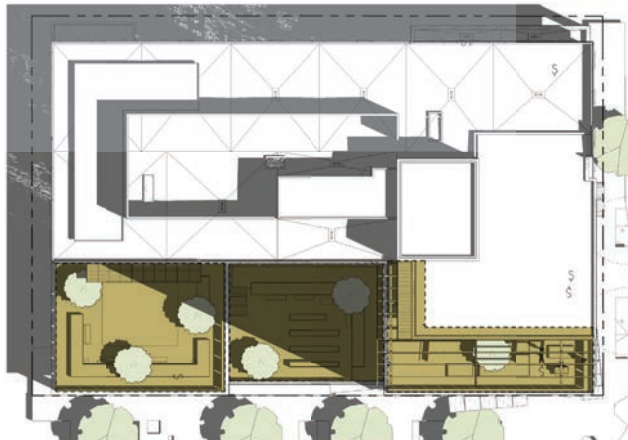
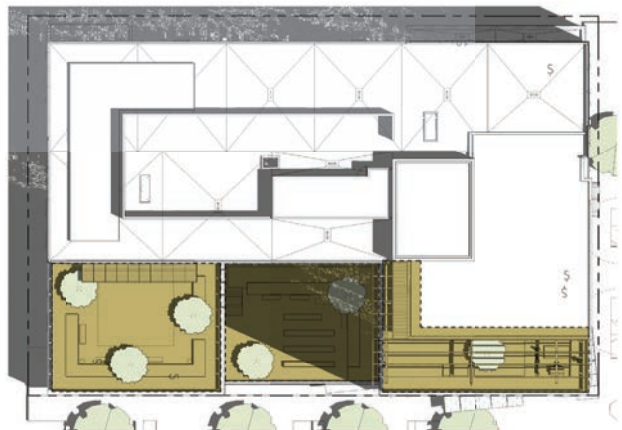
SPRING/FALL EQUINOX

WINTER EQUINOX

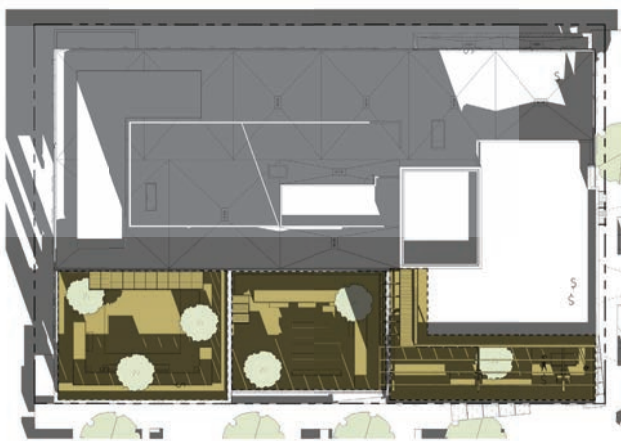
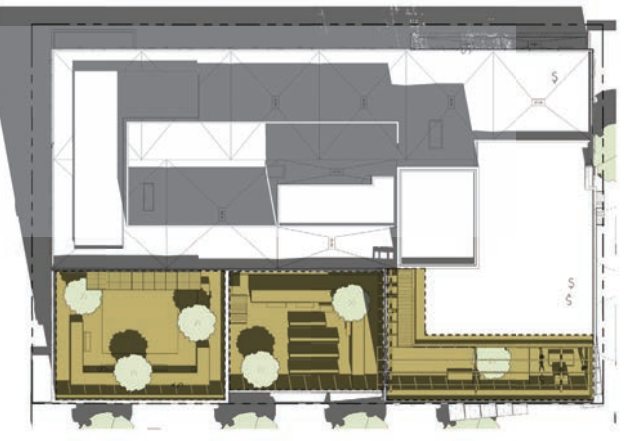
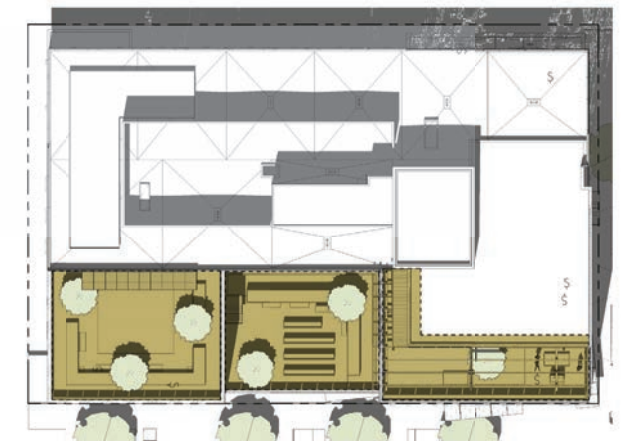
9A



12P



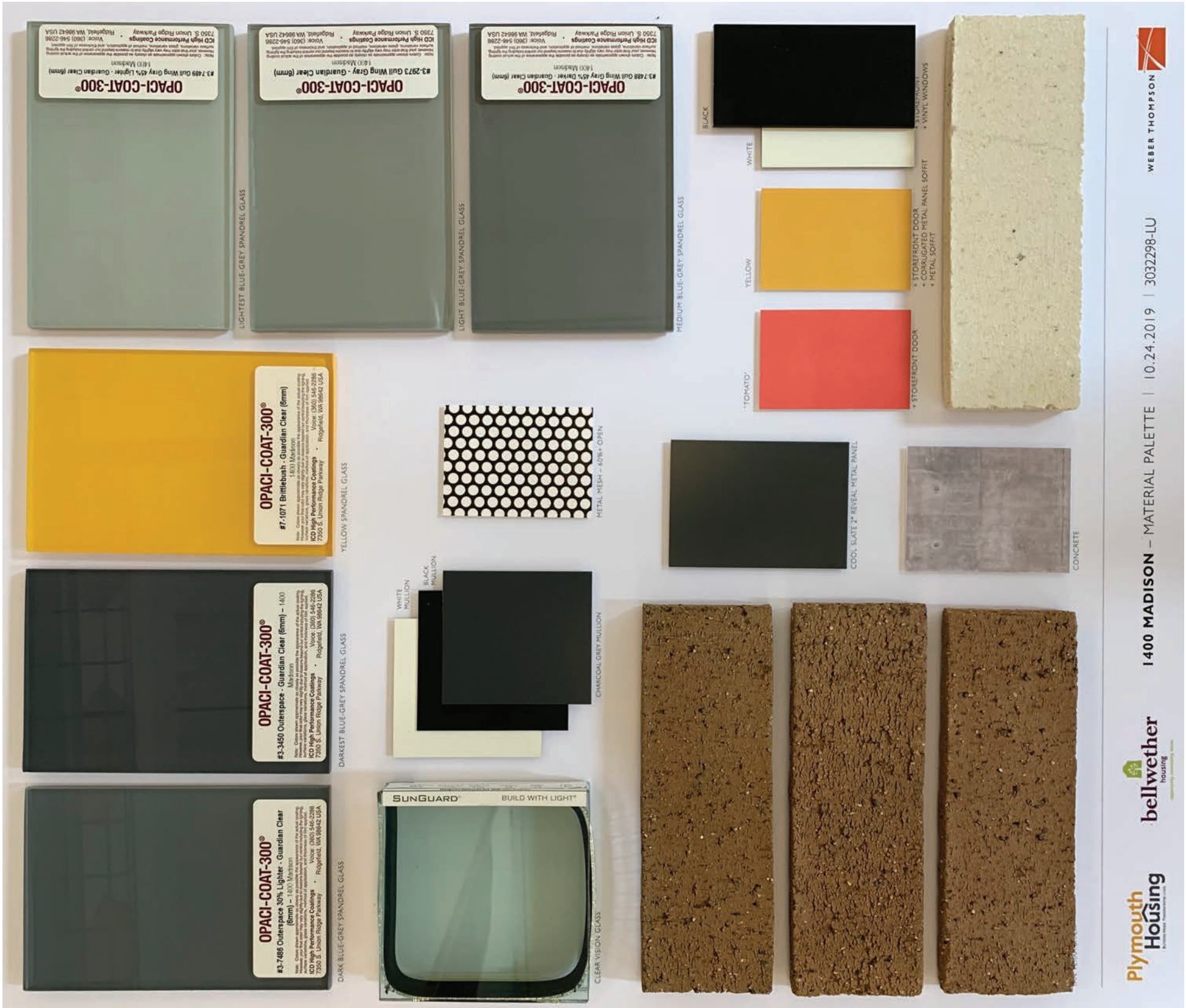
3P



APPENDIX



SUBMITTED MATERIAL BOARD



ZONING SYNOPSIS – NC3P-160 + ANTICIPATED MHA UPZONE

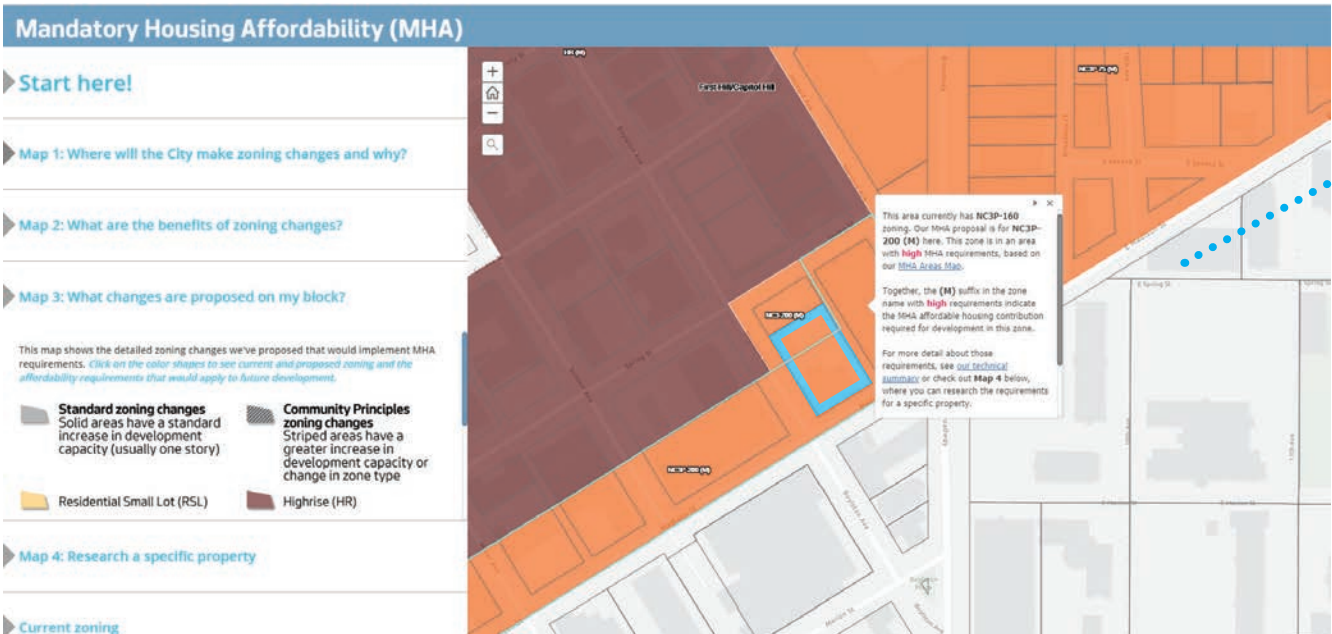
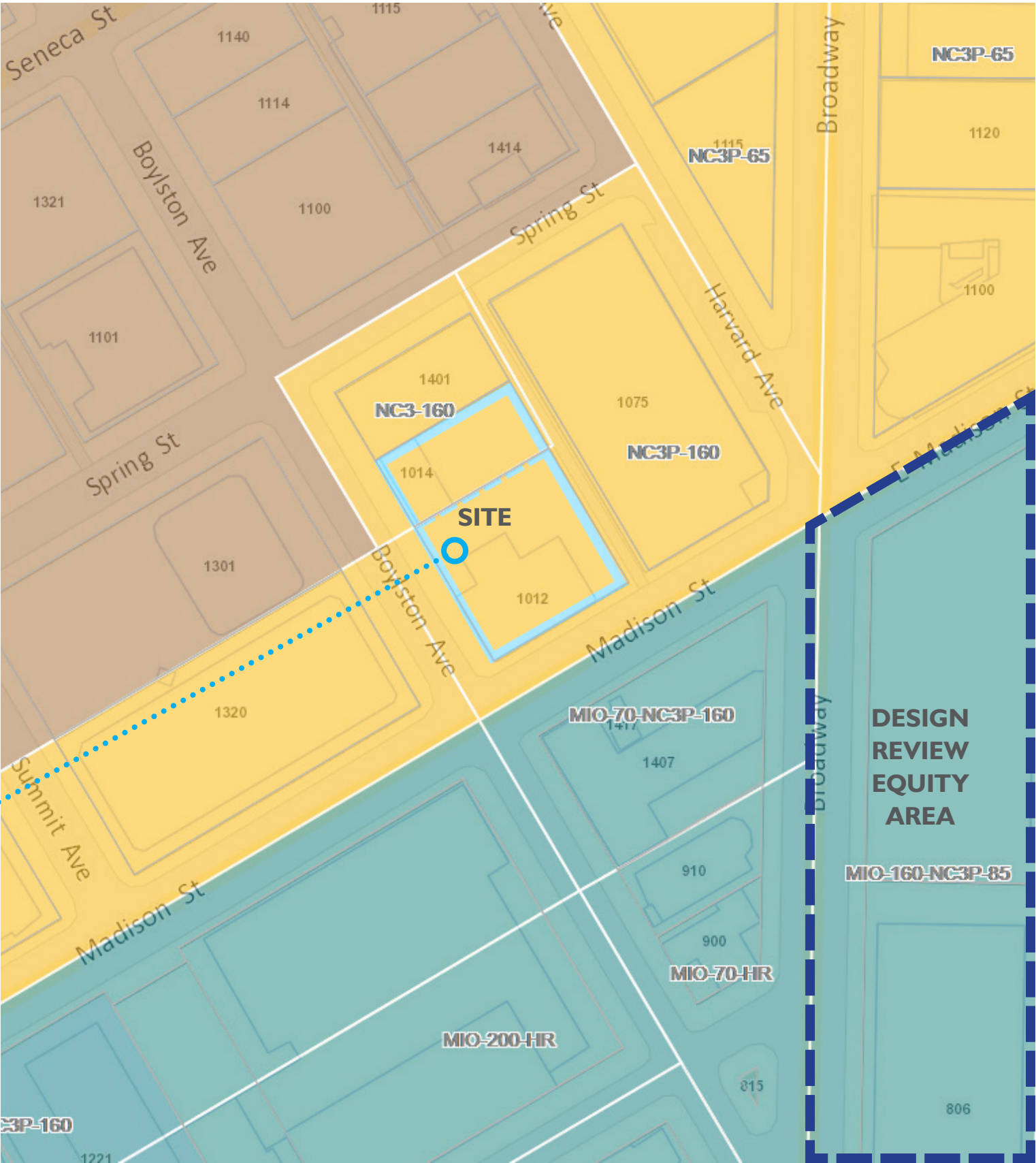
ORDINANCE SUMMARY OF APPLICABLE CHANGES TO 1400 MADISON:

The site is being upzoned from NC3P-160 to NC3P-200(M) + NC3-160 to NC3-200(M):

(M) Requires compliance with Sections 23.58B Affordable Housing Impact Mitigation program for commercial development and 23.58C Mandatory Housing Affordability for Residential Development. However there are exemptions this project will qualify for under 23.58B.020 Applicability and general requirements, see exemptions below:

23.58B.020.C: Commercial development is exempt from the requirements according to this Chapter 23.58B if the structure containing commercial uses also contains floor area in residential use that is publicly funded and/or has received an allocation of federal low-income housing tax credits, and is subject to a regulatory agreement, covenant or other legal instrument recorded on the property title and enforceable by The City of Seattle, Washington State Housing Finance Commission, State of Washington, King County, U.S. Department of Housing and Urban Development, or other similar entity as approved by the Director of Housing, which restricts at least 40 percent of the residential units to occupancy by households earning no greater than 60 percent of median income, and controls the rents that may be charged, for a minimum period of 40 years.

23.58C.025.C Exemptions. Development is exempt from the requirements of this Chapter 23.58C if it receives public funding and/or an allocation of federal low-income housing tax credits, and is subject to a regulatory agreement, covenant or other legal instrument recorded on the property title and enforceable by The City of Seattle, Washington State Housing Finance Commission, State of Washington, King County, U.S. Department of Housing and Urban Development, or other similar entity as approved by the Director of Housing, which restricts at least 40 percent of the units to occupancy by households earning no greater than 60 percent of median income, and controls the rents that may be charged, for a minimum period of 40 years.

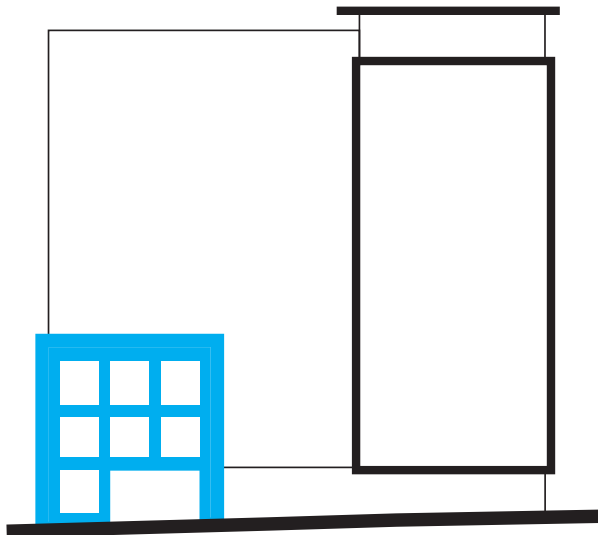
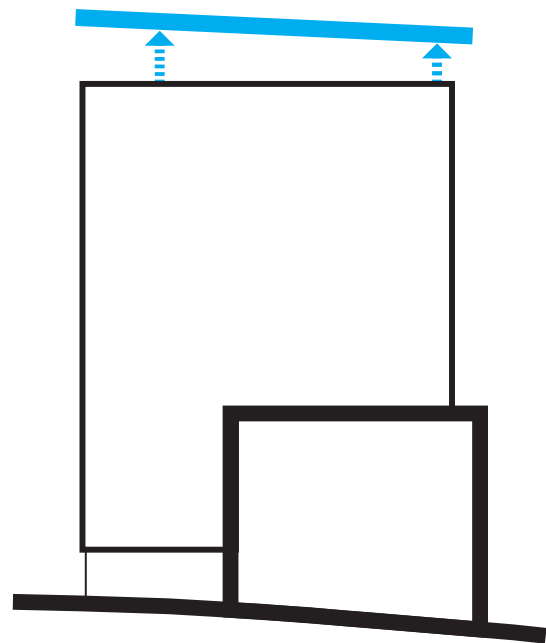


ZONING SYNOPSIS – NC3P-160 + ANTICIPATED MHA UPZONE

SMC SECTION		SUMMARY OF SECTION	MHA + NEW ORDINANACE
KING COUNTY PARCEL #'S	1978201155, 19768201160		
ZONING CLASSIFICATION	NC3P-160 / NC3-160 (HALA)		NC3P-200(M) NC3-200(M)
SITE AREA	21,600 SF		
OVERLAY DISTRICTS	First Hill Urban Center Village		
PERMITTED USES (23.47A.004)	Sales, service, medical, institutional, schools, live/work, parks, residential, etc. Live/work units permitted for up to only 20% of facade along principal pedestrian streets.		
STREET LEVEL USES (23.47A.005)	Residential uses at street level may occupy no more that 20% of street level street facing facade in a pedestrian designated zone (23.47A.005.C.1.A). Along designated pedestrian streets, one or more of the uses listed in 23.47A.005.D.1 is required (retail, medical, eating/drinking, etc.)		
DESIGNATED PEDESTRIAN STREETS (23.47A.005.D)	Boylston Avenue – Principal Pedestrian Street when not located in pike/pine overlay district Madison Street – Principal Pedestrian Street		
CONDITIONAL USES (23.47A.006.A.4)	Medical service uses over 10,000 square feet, outside but within 2,500 feet of a medical major institution overlay district boundary, may be approved as administrative conditional uses, except that they are permitted outright if included in an adopted master plan or dedicated to veterinary services.		
STREET LEVEL DEVELOPMENT STANDARDS (23.47A.008)	Blank facades may not exceed 20 feet in width (23.47A.008.1.2.B) and may not exceed 40% of the width of the facade of the structure along the street (23.47A.008.A.2.C). Street level street facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided. (23.47A.008.A.3) For non-residential street level uses, 60% of the street facing facade shall be transparent. (23.47.A.008.B.2.A) Non-residential uses shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street level street facing facade. (23.47.A.008.B.3) Non-residential uses at street level shall have a floor to floor height of at least 13 feet. (23.47A.008.B.4) Within pedestrian designated zones, a minimum of 80 percent of the width of a structure's street-level street-facing facade that faces a principal pedestrian street shall be occupied by uses listed in subsection 23.47a.005.d.1. The remaining 20 percent of the street frontage may contain other permitted uses and/or pedestrian entrances. (23.47.008.C.1)		

SMC SECTION		SUMMARY OF SECTION	MHA + NEW ORDINANACE
STREET LEVEL DEVELOPMENT STANDARDS (23.47A.008)	Where residential uses are located along a street-level street-facing facade the following requirements apply unless exempted by subsection 23.47A.008.G: <div><div>1.</div><div>At least one of the street-level street-facing facades containing a residential use shall have a visually prominent pedestrian entry; (23.47A.008.D.1) and</div></div> <div><div>2.</div><div>The floor of a dwelling unit located along the street-level street-facing facade shall be at least 4 feet above or 4 feet below sidewalk grade or be set back at least 10 feet from the sidewalk. (23.47A.008.D.2)</div></div>		
OVERHEAD WEATHER PROTECTION (23.47A.008.C.4)	Continuous overhead weather protection is required along at least 60 percent of the street frontage of a structure on a principal pedestrian street. The covered area shall have a minimum width of 6 feet, unless there is a conflict with existing or proposed street trees or utility poles. The overhead weather protection must be provided over the sidewalk, or over a walking area within 10 feet immediately adjacent to the sidewalk. The lower edge of the overhead weather protection shall be a minimum of 8 feet and a maximum of 12 feet above the sidewalk for projections extending a maximum of 6 feet. Adequate lighting for pedestrians shall be provided.		
STRUCTURE HEIGHT (23.47A.012)	160' (Stair and elevator penthouses may extend above the applicable height limit up to 16 feet. Efficient elevators may extend up to 25' above height limit).		200' New Height Efficient elevators bonus height of up to 25' removed
FLOOR AREA RATIO (23.47A.013)	Total far permitted for all uses on a lot that is occupied by a mix of uses, provided that the far limit for either all residential uses or the far limit for all non-residential uses shall not exceed the far limit established in row 1. Far = 7 Residential uses are exempt per 23.47A.013.D.6		200' = 8.25 ² Exception w/in First Hill Urban Center Max FAR = 12 (if development contains at least 4 FAR of residential use) Exemption has been removed
SETBACK REQUIREMENTS (23.47A.014)	Lots are not adjacent to, or across alley from, a residential zone, therefore, no setbacks are required. *Refer to 23.47A.014.E for permitted structures within required setbacks.		
LANDSCAPING REQUIREMENTS (23.47A.016)	Green factor of 0.3 or higher is required Street trees are required along Madison and Boylston.		
AMENITY AREA (23.47A.024)	Amenity areas are required in an amount equal to 5 percent of the total gross floor area in residential use (Refer to 23.47A.024.B for standards).		
PARKING LOCATION AND ACCESS (23.47A.032.A.2.a)	If access is not provided from an alley and the lot abuts two or more streets, access to parking shall be from a street that is not a principal pedestrian street. If parking is provided within a structure, street-level parking shall be separated from street-level, street-facing facades by another permitted use.		

EDG RESPONSE TO CITY-WIDE GUIDELINES



CS1 NATURAL SYSTEMS AND SITE FEATURES

Use natural systems and features of the site and its surroundings as a starting point for project design.

CS1-A-1 ENERGY USE | ENERGY CHOICES: At the earliest phase of project development, examine how energy choices may influence building form, siting, and orientation, and factor in the findings when making siting and design decisions.

RESPONSE: Reducing energy consumption is an important feature of the project to maintain low operating costs and reduce energy costs to tenants. Establishing a high performing product for this typology will set a precedent for similar projects to come.

CS1-C-2 TOPOGRAPHY | ELEVATION CHANGE: Use the existing site topography when locating structures and open spaces on the site. Consider “stepping up or down” hillsides to accommodate significant changes in elevation.

RESPONSE: The project is sited along Madison Avenue, a continuous sloping arterial running at the top of downtown all the way down to the waterfront of Lake Washington. The design incorporates stepped retail spaces at either edge of this street frontage with a setback residential entry, creating unique retail nodes at the main corner and across the alley from Whole Foods.

CS2 URBAN PATTERN AND FORM

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

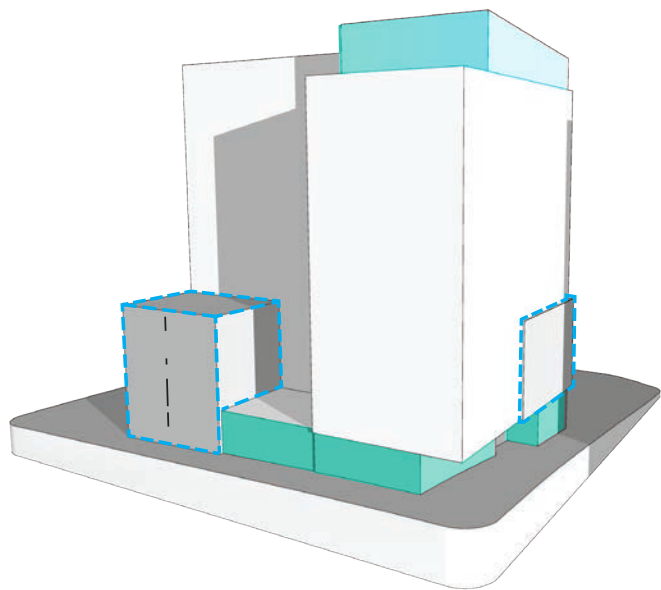
CS2-A-1 LOCATION IN THE CITY AND NEIGHBORHOOD | SENSE OF PLACE: Emphasize attributes that give Seattle, the neighborhood, and/or the site its distinctive sense of place. Design the building and open spaces to enhance areas where a strong identity already exists, and create a sense of place where the physical context is less established. Examples of neighborhood and/or site features that contributed to a sense of place include patterns of streets or blocks, slopes, sites with prominent visibility, relationships to bodies of water or significant trees, natural areas, open spaces, iconic buildings or transportation junctions, and land seen as a gateway to the community.

RESPONSE: Sense of Place is a key component of this project’s success. It is the development team’s goal to create a welcomed project into a neighborhood that carries a rich and varied history. The density of homes this project will offer lays the ground work for developing a strong sense of connection to the neighborhood physically and programmatically. With an eclectic mix of institutional uses and structures, including brutalist towers and a mix of modern and historic residential and religious architecture, this project will take the approach of creating a multistory residential project that fits into the urban fabric, while desiring to stand on its own with a stately demeanor as a marker of possibility to the greater Seattle Area.

CS2-B-2 ADJACENT SITES, STREETS, AND OPEN SPACES | CONNECTION TO THE STREET: Identify opportunities for the project to make a strong connection to the street and carefully consider how the building will interact with the public realm. Consider the qualities and character of the streetscape— its physical features (sidewalk, parking, landscape strip, street trees, travel lanes, and other amenities) and its function (major retail street or quieter residential street)—in siting and designing the building.

RESPONSE: Careful consideration of how the building meets the ground and interacts has been given. Along Boylston uses move from public to private and earmarks the prime retail corner at Madison to be leased to a restaurateur. Plymouth Housing’s main entry lobby is sited just to the north of Boylston, centered below the lower level massing that anchors to grade. Along Madison to the east, a residential entry to Bellwether Housing sets-back from the frontages and provides an interruption between focal retail spaces that book end the frontage of this street. At the alley edge along Madison, a double height retail space responds to and reflects the scale and activity of the Whole Food’s space across the alley way.

EDG RESPONSE TO CITY-WIDE GUIDELINES



CS2 URBAN PATTERN AND FORM

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.



CS3 ARCHITECTURAL CONTEXT AND CHARACTER

Contribute to the architectural character of the neighborhood.



PL1 CONNECTIVITY

Complement and contribute to the network of open spaces around the site and the connections among them.

CS2-C-1 RELATIONSHIP TO THE BLOCK | CORNER SITES: Corner sites can serve as gateways or focal points; both require careful detailing at the first three floors due to their high visibility from two or more streets and long distances. Consider using a corner to provide extra space for pedestrians and a generous entry, or build out to the corner to provide a strong urban edge to the block.

RESPONSE: The project is sited within the heart of First Hill at Madison and Boylston. Madison, an active urban street and arterial, carries uses from commercial and institutional to residential. Boylston, a relatively flat street front and a quiet connector, varies in use from residential to the north at the south edge of the Pike-Pine corridor transversely to the south a more functional and institutional character. This primary intersection is node for public use and is designed to provide visibility and significance. The massing responds by creating an urban edge along Madison, revealing a portion of the tower at the corner. The podium language that breaks down the scale of Madison carries over along the datum of Plymouth Housing’s program to the north on Boylston. Prime retail space at the corner of the site is setback from Madison as the street slopes away, capturing level vital street frontage below the tower above.

CS3-A EMPHASIZING POSITIVE NEIGHBORHOOD ATTRIBUTES

CS3-A-1 FITTING OLD AND NEW TOGETHER: Create compatibility between new projects and existing architectural context, including historic and modern designs, through building articulation, scale and proportion, roof forms, detailing, fenestration, and/or the use of complementary materials.

CS3-A-4 EVOLVING NEIGHBORHOODS: In neighborhoods where architectural character is evolving or otherwise in transition, explore ways for new development to establish a positive and desirable context for others to build upon in the future.

RESPONSE: As mentioned previously, an eclectic mix of styles and uses knit together a bit of the disparate story that is First Hill. With a heavy display of institutional uses and structures, brutalist style towers, a mix of modern and historic residential towers and mid-rise projects, the revered First Hill Baptist Church and nearby Chapel of St. Ignatius – this project is not looking to become an iconic or skyline tower building, but will add to the urban fabric as a sophisticated structure that marries contextual materials, patterns and form.

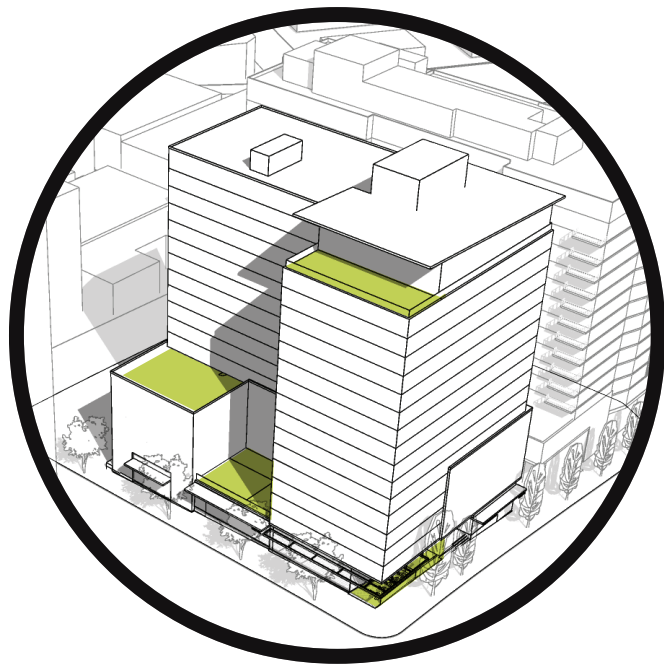
PL1-A-2 NETWORK OF OPEN SPACES | ADDING TO PUBLIC LIFE: Seek opportunities to foster human interaction through an increase in the size and/or quality of project-related open space available for public life. Consider features such as widened sidewalks, recessed entries, curb bulbs, courtyards, plazas, or through-block connections, along with place-making elements such as trees, landscape, art, or other amenities, in addition to the pedestrian amenities listed in PL1.B3.

RESPONSE: As mentioned under corner sites, a prime retail space at the corner of the main intersection is setback from Madison as the street slopes away, capturing level street frontage below the tower expression above. The preferred scheme maximizes the retail height at this corner (the lowest corner due to topographical conditions of the site), making room for architectural features and canopies that reinforce the pedestrian scale and establish an active ground level environment. The retail space adjacent to the alley is double height and capitalizes on the proximity of the secondary entry to Whole Foods across the alley.

Bellwether’s residential entry lobby, centered along Madison, sets back from the street offering relief from the uninterrupted character currently along Madison. The entry tethers into the slope along Madison integrating landscaping features and steps to blend ur the steep edge of the site.

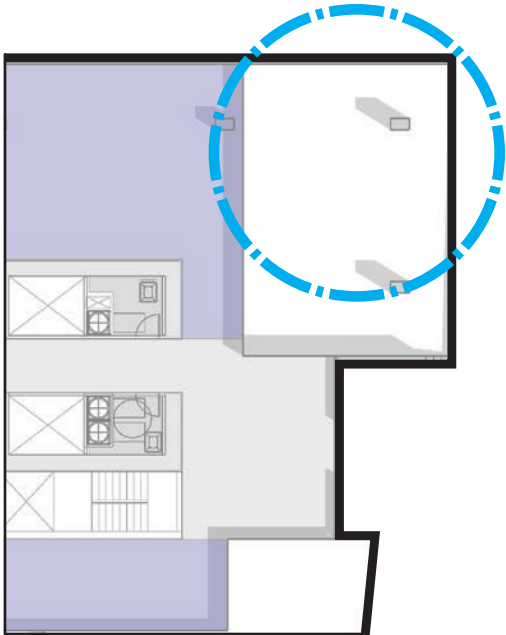
A community room off Boylston as part of Plymouth Housing’s program fronts the street and is provided as a request of the community engagement process.

EDG RESPONSE TO CITY-WIDE GUIDELINES



PL1 CONNECTIVITY

Complement and contribute to the network of open spaces around the site and the connections among them.



PL2 WALKABILITY

Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.

PL1-C-1 OUTDOOR USES AND ACTIVITIES | SELECTING ACTIVITY AREAS: Concentrate activity areas in places with sunny exposure, views across spaces, and in direct line with pedestrian routes.

RESPONSE: Within the pedestrian realm, spill out space at the SW corner of the project has been earmarked along Madison, increasing the retail height to maximize daylight. This corner has high visibility just a half block away from the planned rapid ride station.

Careful consideration for daylight access and views has made in the placement of terraces. A series of exterior spaces stagger up the tower create visual movement and connectivity. Just above street level, the Plymouth Housing amenity terrace receives significant daylight access throughout the day given the orientation to of the massing. A secondary Bellwether Housing terrace above the Plymouth podium to the north, towards the quieter Boylston Street, offers a respite from the primary amenity space at L17 as a place for families. The upper level terrace and amenity takes full advantage of daylight and views to the south with visibility from the public realm of Madison.

PL2-A-1 ACCESSIBILITY | ACCESS FOR ALL: Provide access for people of all abilities in a manner that is fully integrated into the project design. Design entries and other primary access points such that all visitors can be greeted and welcomed through the front door. Refrain from creating separate “back door” entrances for persons with mobility limitations.

RESPONSE: Accessibility and a minimal grade change zone along Boylston is prioritized for Plymouth Housing residents as well as careful consideration for access to the Bellwether Housing Lobby along Madison, a steep sloped street at 7%+. A level outdoor space for the prime retail corner is sited at the main intersection and integrates level access to Bellwether Housing Lobby from Boylston serving also as a resident through way. Madison Avenue has no parking or drop off zones along the ROW, therefore Boylston has been identified as the only means of a drop off zone.

PL2-B SAFETY AND SECURITY

RESPONSE: Identified as an important component of the community as well as the development team, a layered solution of design elements are targeted to ensure safety and security at the site. Conformance of % of street level uses is key in creating varied and active uses around the base of the project. The separation of residential lobbies on opposing street fronts allows the operators to control and secure entries and activity surrounding their entires. One of the key retail spaces across the alley wraps from Madison to the alley, helping to activate the more functional corner, taking cues from the Whole Foods entry.

Lighting along all street fronts will be an important design component as the project advances, with special attention to the alley way.

Maximizing transparency and maintaining low plantings along the ROW allows for visibility into and out of the spaces, which is not only a daylighting design aspect, but also supports safety. The corner spillout space will be defined with a semi-transparent screen, creating defensible space while maintaining openness.

EDG RESPONSE TO CITY-WIDE GUIDELINES



PL3 STREET-LEVEL INTERACTION

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

PL3-A-1 ENTRIES | DESIGN OBJECTIVES: Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight and lobbies visually connected to the street. Scale and detail them to function well for their anticipated use and also to fit with the building of which they are a part, differentiating residential and commercial entries with design features and amenities specific to each.

PL3-A-1B RETAIL ENTRIES should include adequate space for several patrons to enter and exit simultaneously, preferably under cover from weather.

PL3-A-1C COMMON ENTRIES TO MULTI-STORY RESIDENTIAL BUILDINGS need to provide privacy and security for residents but also be welcoming and identifiable to visitors. Design features emphasizing the entry as a semi-private space are recommended and may be accomplished through signage, low walls and/or landscaping, a recessed entry area, and other detailing that signals a break from the public sidewalk.

RESPONSE: The entry locations as related to the massing as well as the ground level of this project are imparative to the success of this development. In the preferred option, the location of the residential entries are separated and key in conforming to funding requirements as well as Fair Housing regulations. Residential entries are associated with specific massing elements, Plymouth Housing’s lobby is centered along the lower mass to the north and Bellwether Housing’s lobby is at the edge of the podium expression that wraps around the Madison facade. Plymouth Housing includes a specific program with a security desk and building manager’s office located at the very entry of the project. This is also the control point for access to the community room being provided and operated by Plymouth Housing.

Equally important retail spaces have been strategically located.. We will reiterate here, the spill-out space associated to the prime retail corner of the project is an important component to attract a restaurateur. The development team consulted with retail brokers to right size the retail spaces as well as locate services within the project to provide direct BOH access and provide a wet core for use of the Boylston side retail spaces.

PL3-C-1 POROUS EDGE: Engage passersby with opportunities to interact visually with the building interior using glazing and transparency. Create multiple entries where possible and make a physical and visual connection between people on the sidewalk and retail activities in the building.

PL3-C-1 VISIBILITY: Maximize visibility into the building interior and merchandise displays. Consider fully operational glazed wall-sized doors that can be completely opened to the street, increased height in lobbies, and/or special lighting for displays.

PL3-C-1 ANCILLARY ACTIVITIES: Allow space for activities such as sidewalk vending, seating, and restaurant dining to occur. Consider setting structures back from the street or incorporating space in the project design into which retail uses can extend.

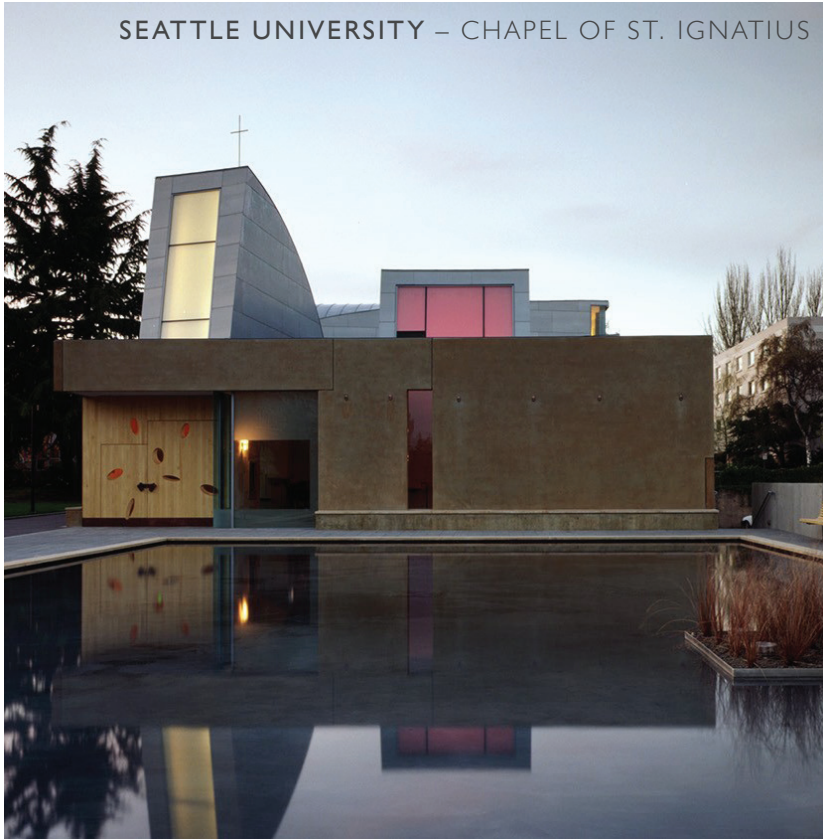
RESPONSE: Retail is seen as a primary function of the project program, not just a requirement of street level use. Its location, sizing, height and relationship to the street frontage has been carefully studied and developed into a massing to create a varied environment at the base, especially along Madison. As mentioned in the context analysis of the street level condition of Madison, the exisiting design solutions vary little in the relationship to sidewalks. The setback of the retail and variable ground level will ensure leasable spaces and activate the pedestrian realm.

CONTEXT ANALYSIS – INSTITUTIONAL



INSTITUTIONAL

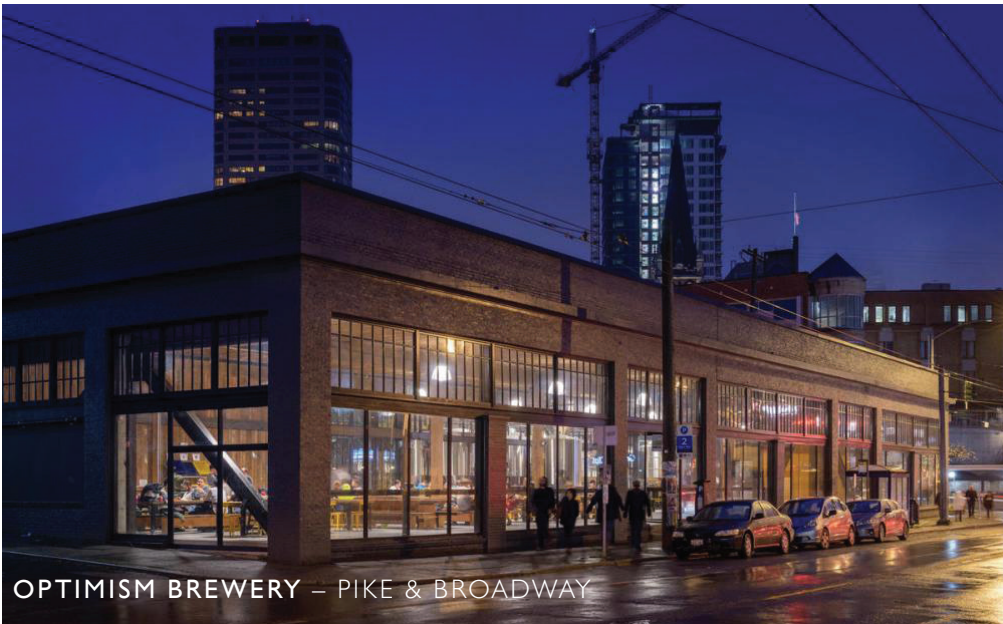
Throughout First Hill, institutional medical buildings, iconic religious structures and university buildings create the bulk of character south of Madison Avenue.



CONTEXT ANALYSIS – GROUND LEVEL



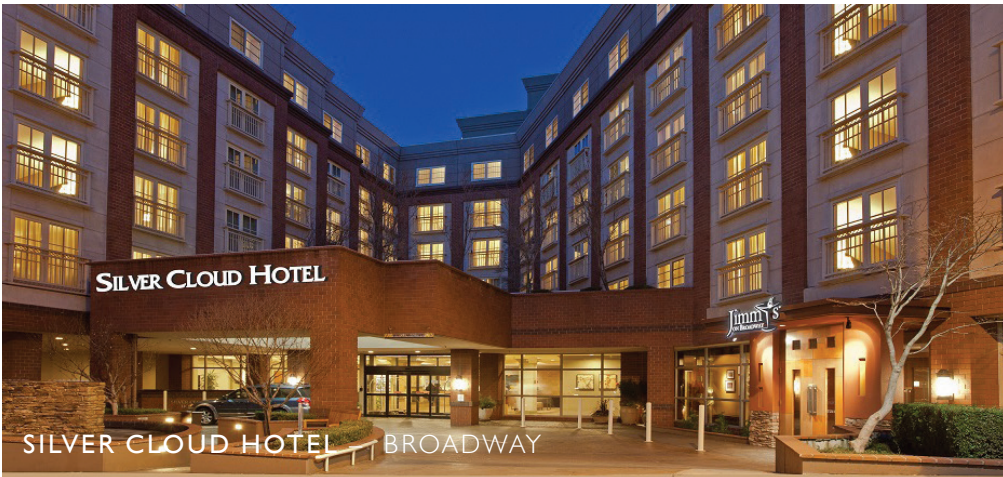
DANFORTH WHOLE FOOD'S ENTRY – MADISON & BROADWAY



OPTIMISM BREWERY – PIKE & BROADWAY



THE PERRY APARTMENTS – MADISON RETAIL FRONTAGE



SILVER CLOUD HOTEL – BROADWAY



COPPINS WELL RETAIL FRONTAGE



THE PERRY APARTMENTS – MADISON RETAIL FRONTAGE



JIMMY'S RESTAURANT + SILVER CLOUD – MADISON & BROADWAY

RETAIL AND GROUND LEVEL ENVIRONMENT

With special attention paid in analyzing the character of the pedestrian realm along Madison, as well as Broadway, it is worth noting that the nature of uses at the ground level especially along Madison serve the medical office tenants and have a quick-serve nature. Looking to the north and east of the site towards Broadway, it is apparent uses become more amenity/entertainment based. The retail environment along Madison consists of continuous storefront frontage at the sidewalk edge using tables and chairs to claim portions of the ROW with little defined defensible space. A major goal of this project is to provide active and viable retail to support activity along Madison and take advantage of the proximity to transit (including the future rapid ride stop just to the north as well as the Light Rail and multiple bus stops nearby).

CIELO APARTMENTS – GROUND LEVEL TREATMENT



AS SEEN AT EDG OPTION 3 – PREFERRED

INTERLOCK – MHA UPZONE

This third option represents a synthesis between responsive urban form while maximizing development potential for both Plymouth Housing and Bellwether Housing. Requiring a contract rezone, this project is seeking extra height and assuming FAR limits of the MHA up-zone. Specific weight has been given to breaking down the scale of the project to the north, playing off the existing and future residential character and context. The taller massing has been focused toward Madison, an urban edge that transitions from residential character to institutional. This public front is celebrated with the location of the Bellwether amenity program at LI7, physically distinct from the rest of the tower and responds to the topographical context. A podium expression along Boylston creates a visual entry cue for Plymouth Housing residents. This expression wraps around to Madison signifying the Bellwether Housing entry and also reflecting the retail form of the Whole Food Grocery in the Danforth. Entries, retail spaces, unit size and arrangement, as well as exterior spaces have been carefully orchestrated to create a strong urban design response in a cost effect manor.

- ▼ 5,740 SF of ground floor Plymouth Housing Program Space
- ▼ 4,180 SF of ground floor Bellwether Housing Program Space
- ▼ 4,100 SF of Retail Space
- = FAR – 256,215 SF (259,200 SF max)
- = Staff Only Parking
- = 368 Total Units – 115 Plymouth + 253 Bellwether
- = 17 Levels
- = 170'-0" Tall Tower



AS SEEN AT EDG OPTION 3 – PREFERRED

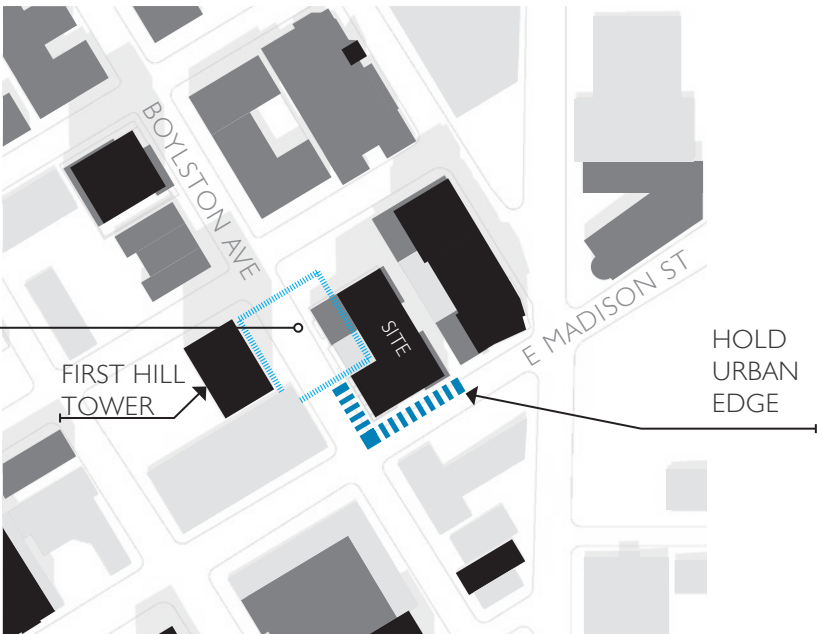
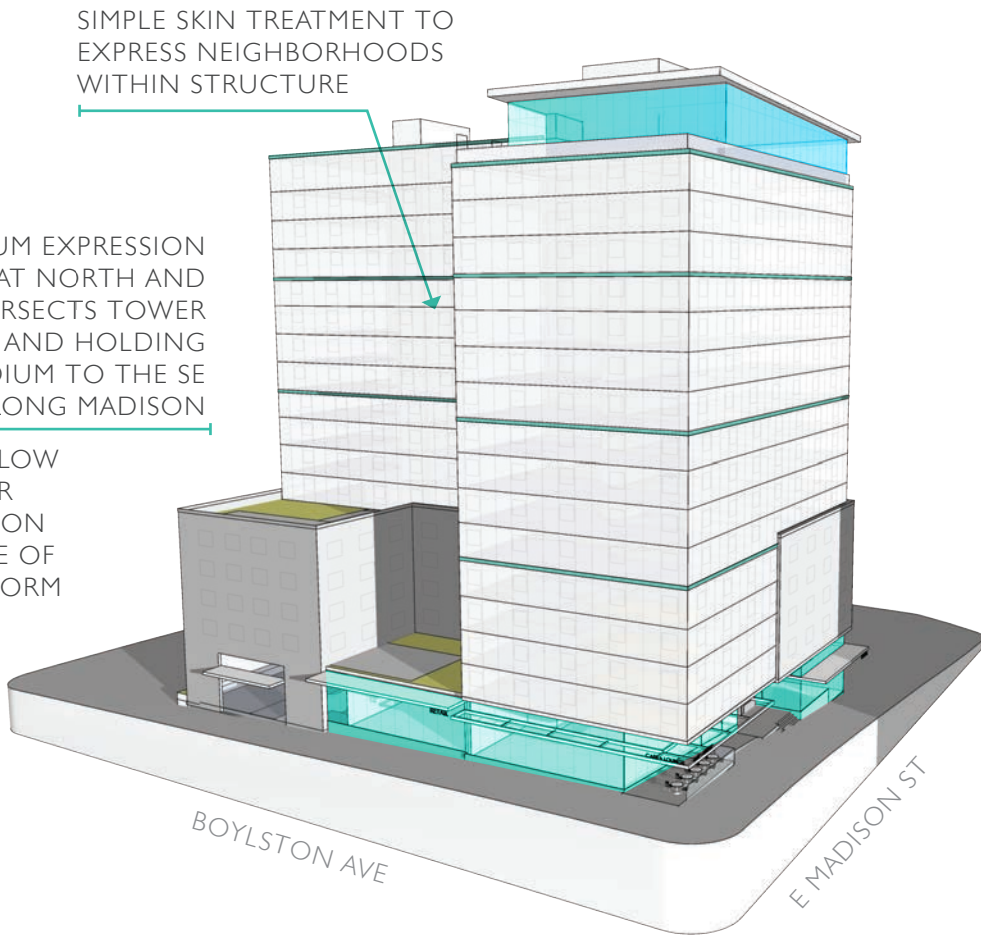
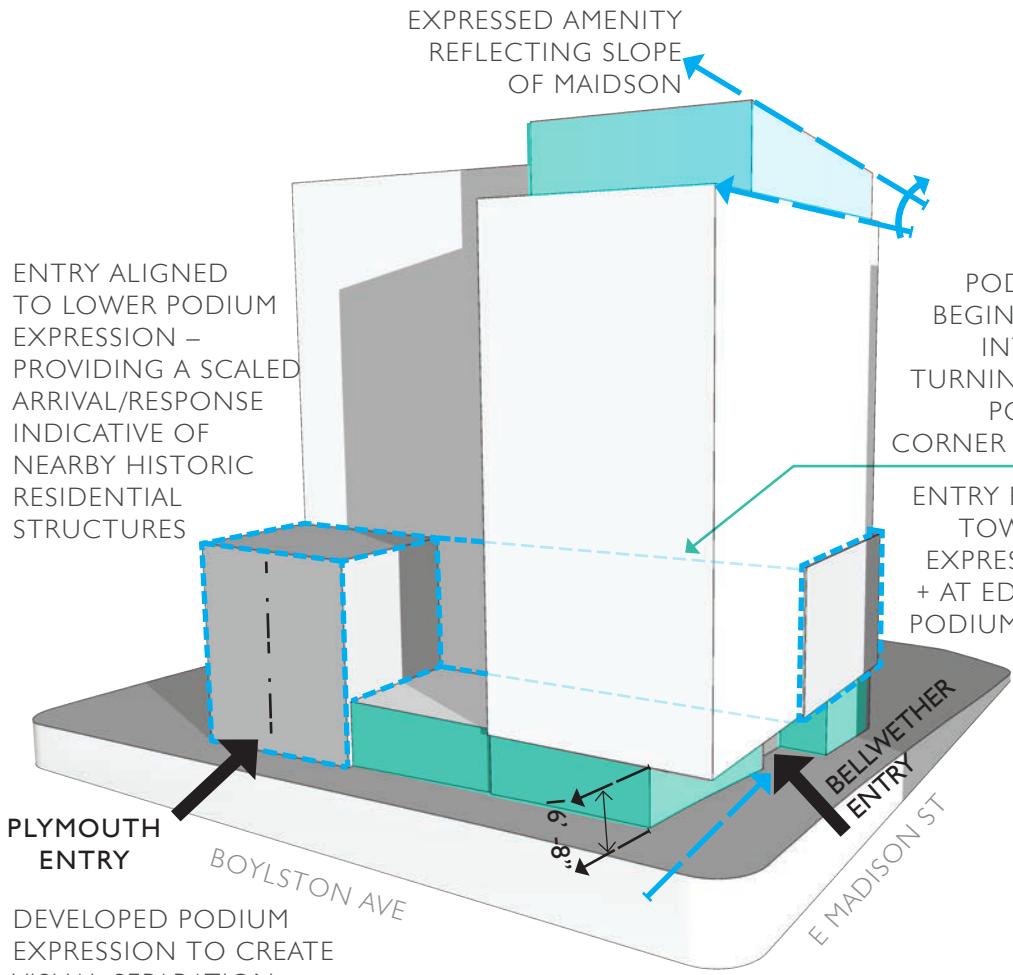
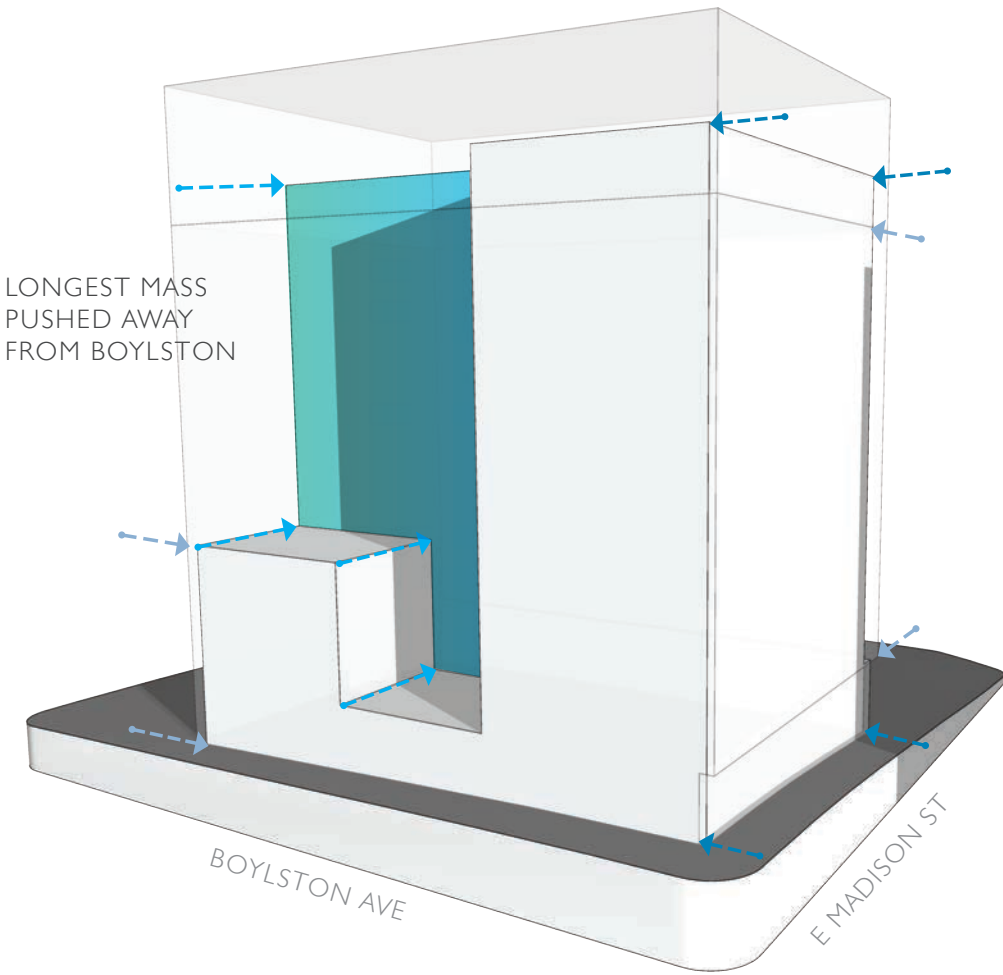


FIGURE-GROUND SITE CONCEPT DIAGRAM



REDUCED MASSING TO THE NORTH
RESPONDING TO MID-RISE RESIDENTIAL
BUILDINGS TO THE NORTH

1 ORGANIZING MASSING MOVE

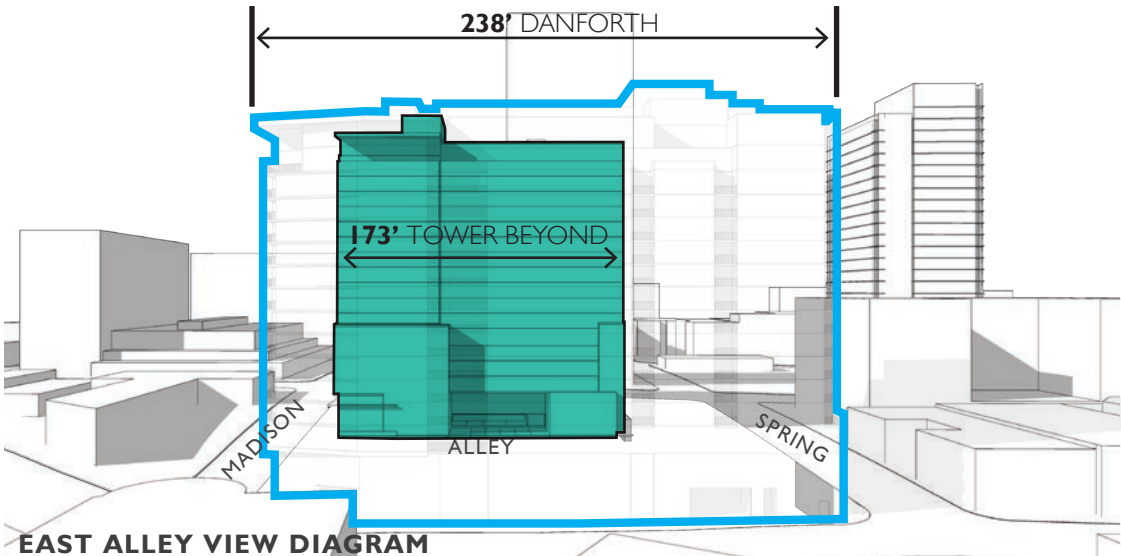
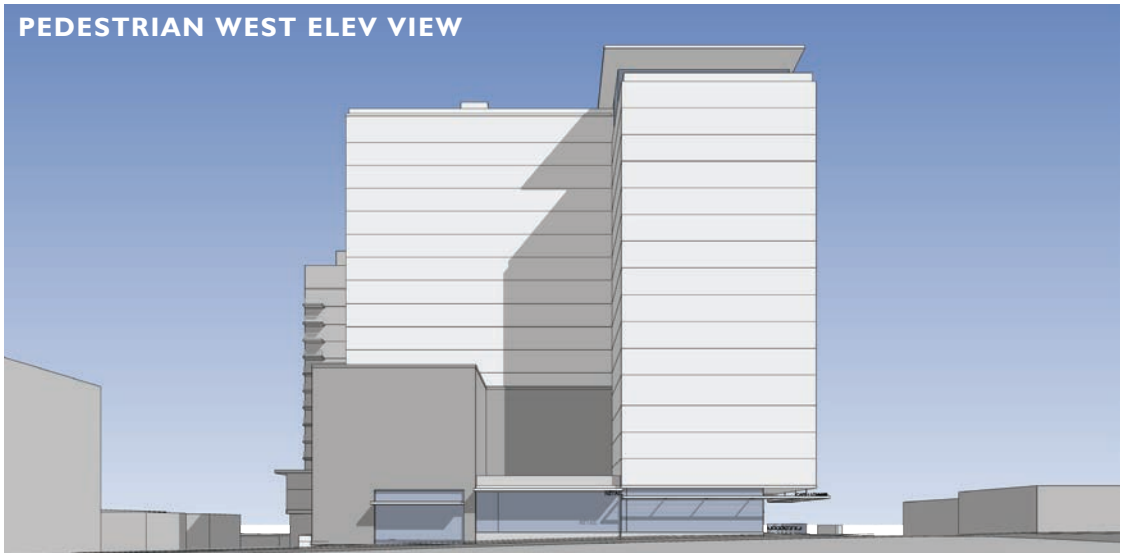
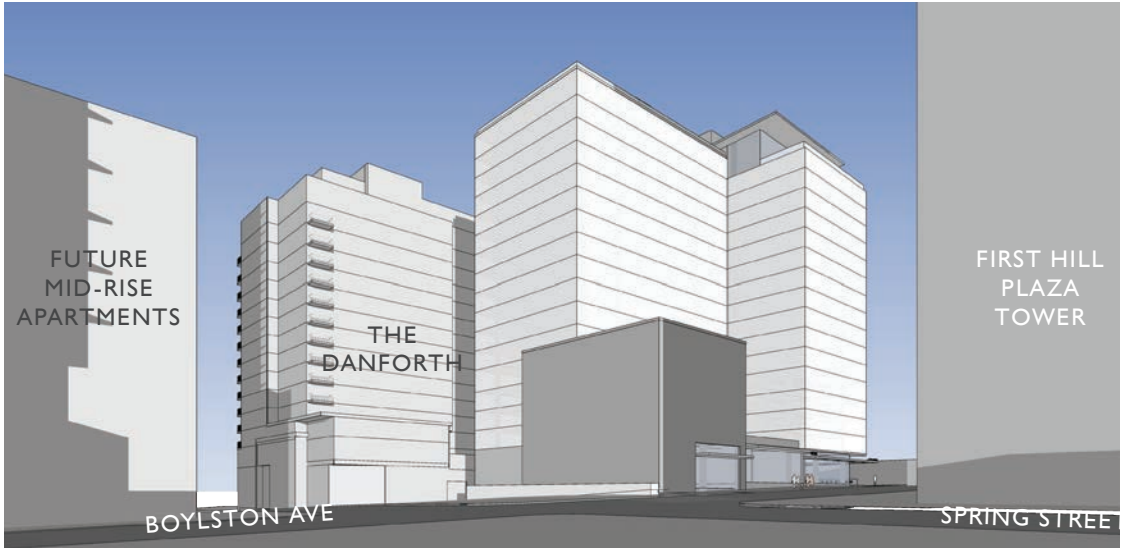
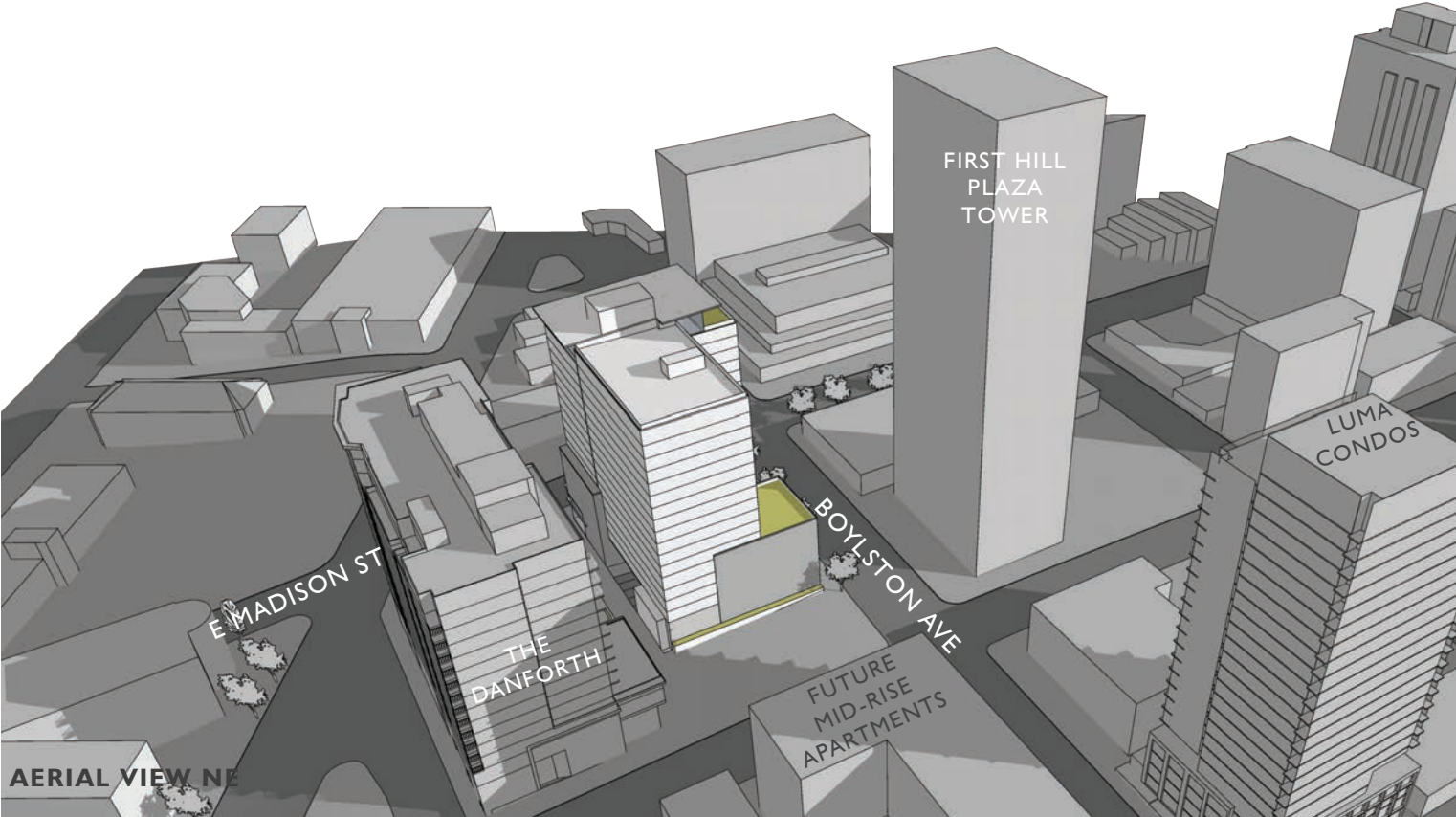
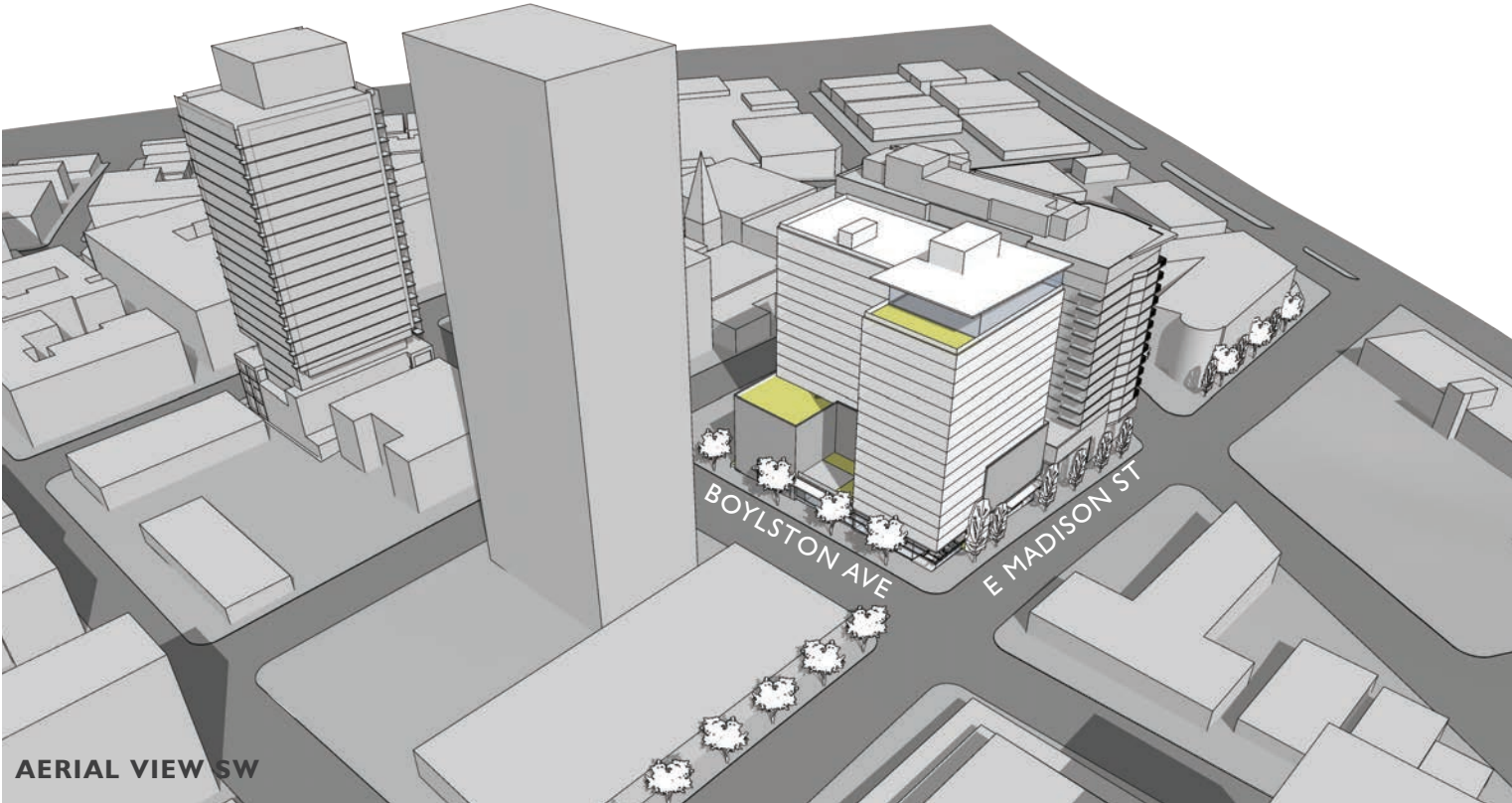
2 FURTHER MASSING REFINEMENT

SCULPTED BASE TO ALLOW
RETAIL SPILL OUT AT MAIN CORNER
AND FOR LOW GRADE ACCESS TO
BELLWETHER HOUSING'S ENTRY
LOBBY FROM BOYLSTON AVE

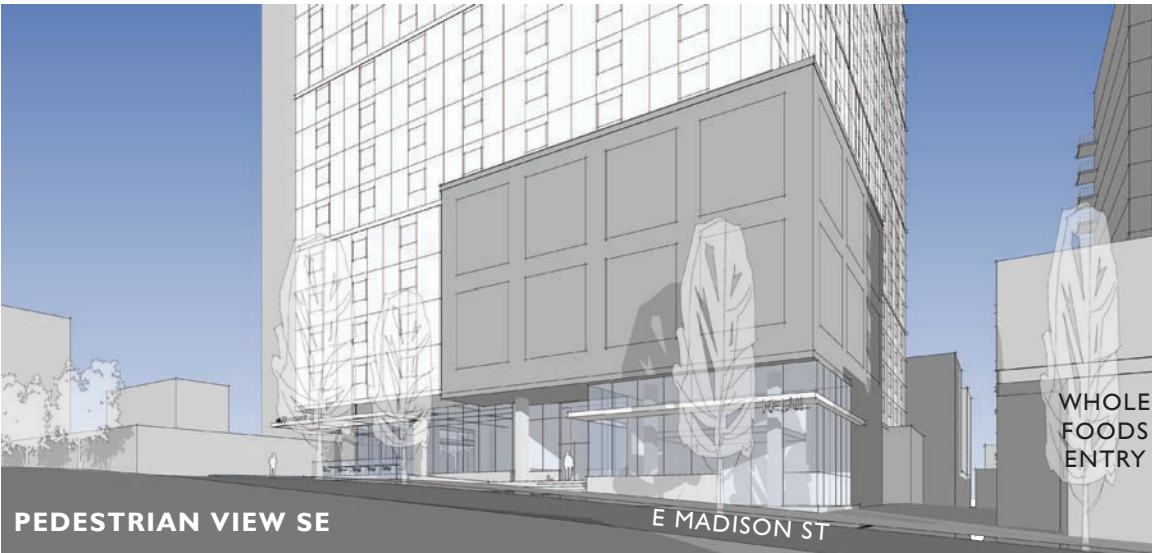
3 DESIGN ELEMENTS SUPPORTING MASSING APPROACH

CANOPIES AROUND BASE TO
STRENGTHEN PEDESTRIAN SCALE

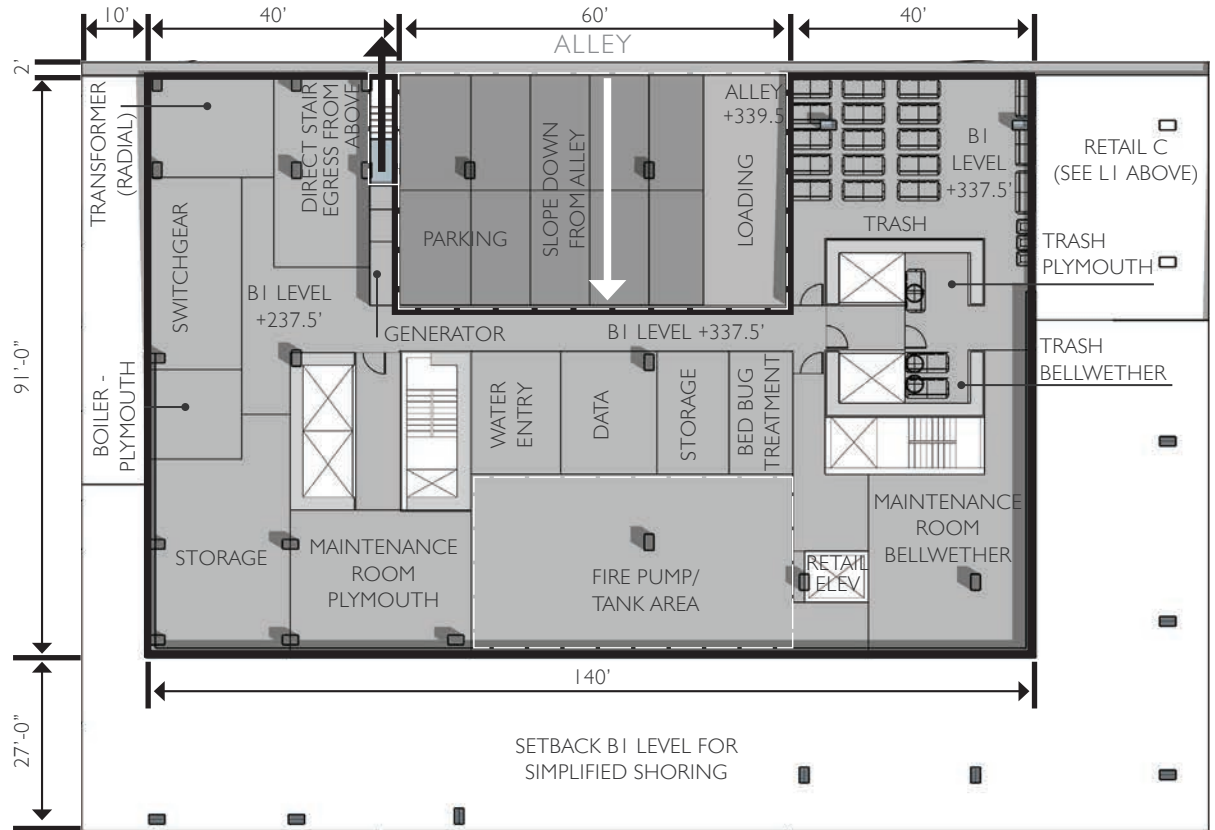
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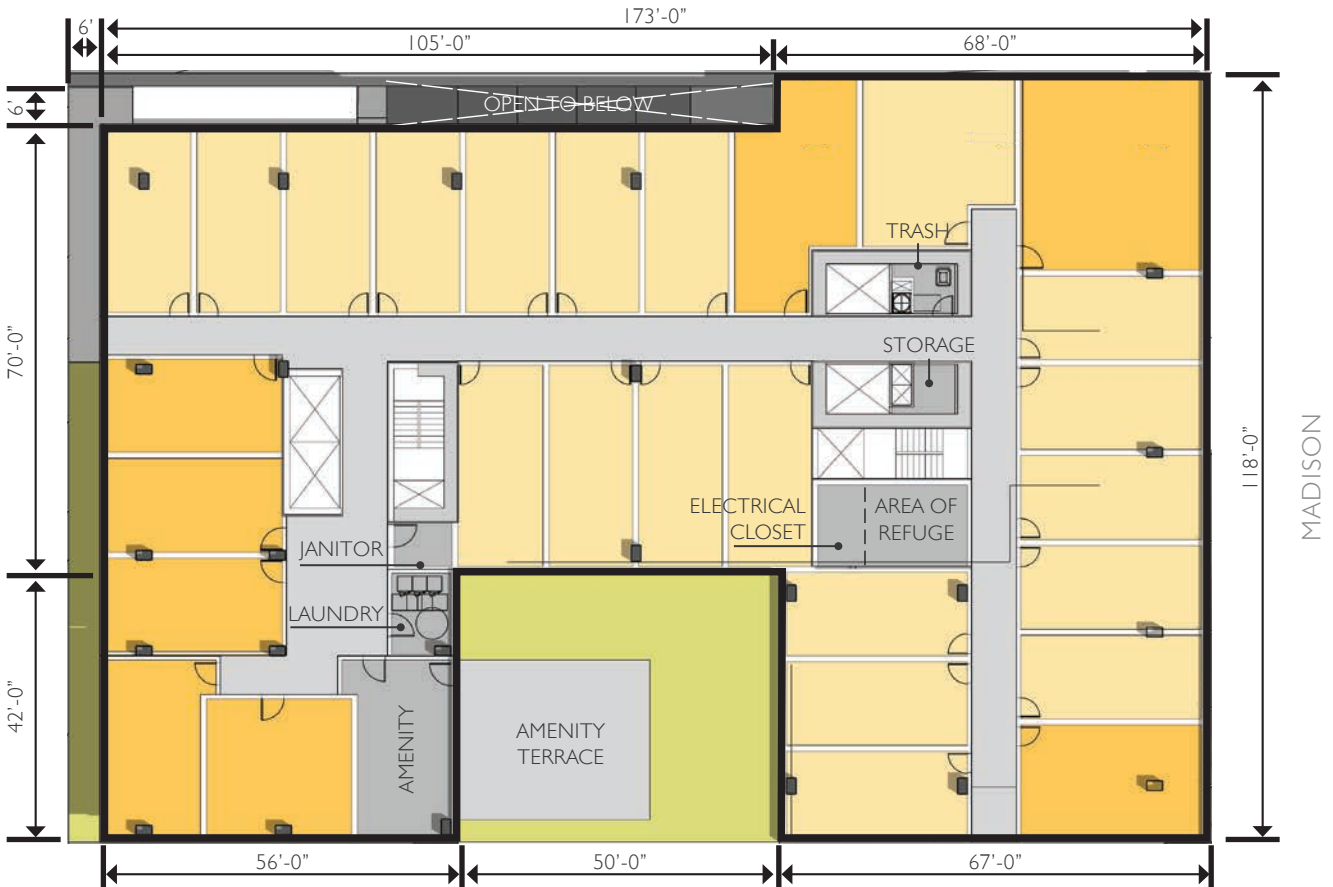
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ALLEY LEVEL BI PLAN



PLYMOUTH LEVEL: L2



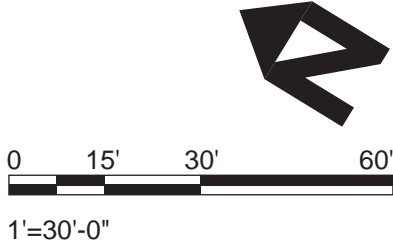
BOYLSTON STREET LEVEL LI PLAN

SEE ENLARGED LI PLAN FOR DIMENSIONS

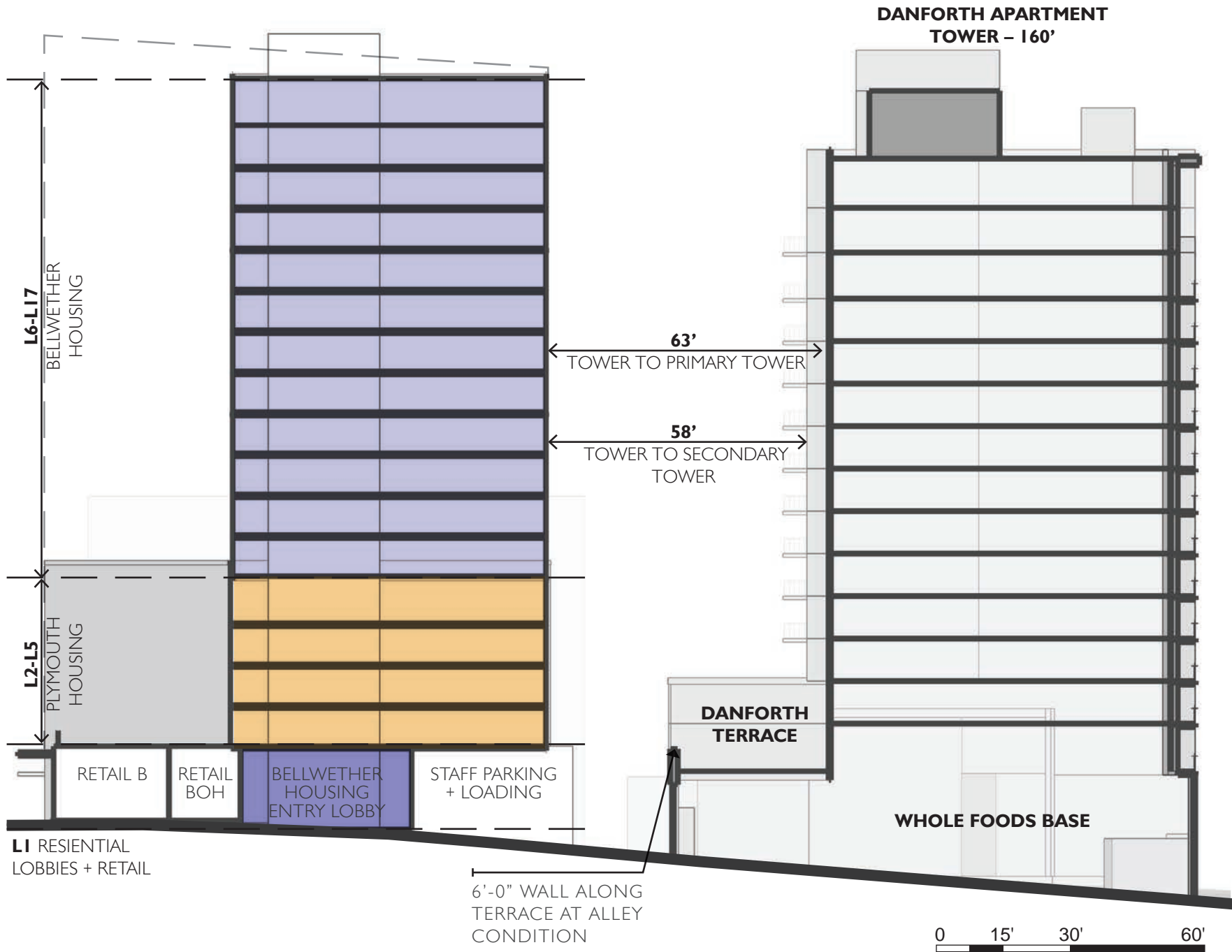
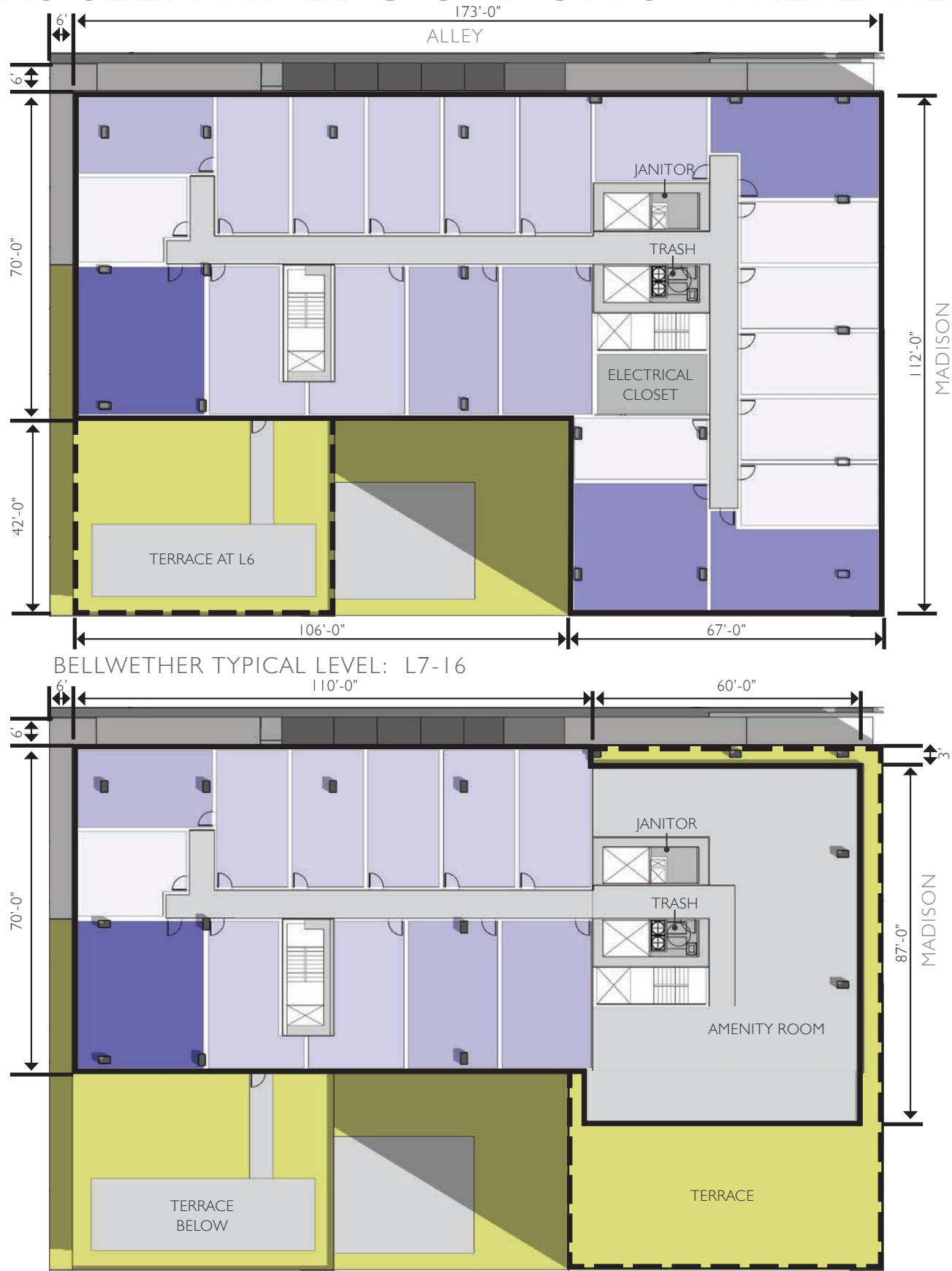


PLYMOUTH TYPICAL LEVEL: L3-L5

SEE L2 PLAN ABOVE FOR DIMENSIONS

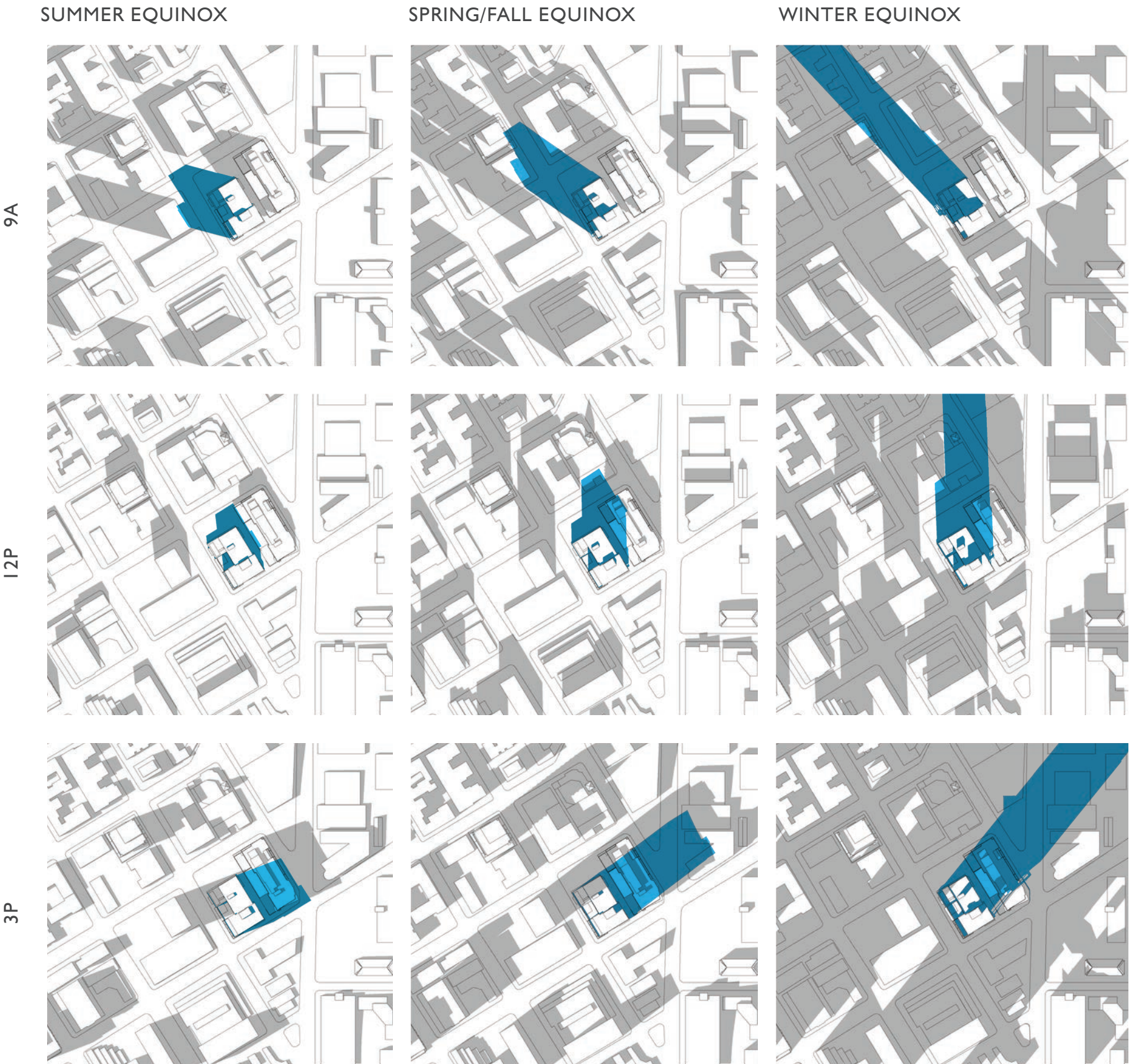


AS SEEN AT EDG OPTION 3 – PREFERRED



BUILDING SECTION

AS SEEN AT EDG SHADOW STUDIES



WEBER THOMPSON

ARCHITECTURE + INTERIOR DESIGN + LANDSCAPE ARCHITECTURE + URBAN DESIGN



ARCHITECTURE

Weber Thompson’s Architecture Design Studio has a long history of creating places with strong community spirit and a unique identity that draws people in.



INTERIOR DESIGN

At our core, we believe that a well-designed space can be practical yet beautiful, modern yet timeless. We provide the technical chops to back up our designs, and we thrive when we can work collaboratively to develop creative design solutions.



LANDSCAPE ARCHITECTURE

We believe in landscapes of exceptional creativity and thoughtfulness that are sensitive to the earth and respond to the built world around us. We specialize in rooftops, streetscapes, urban outdoor environments and the responsible mitigation of stormwater.

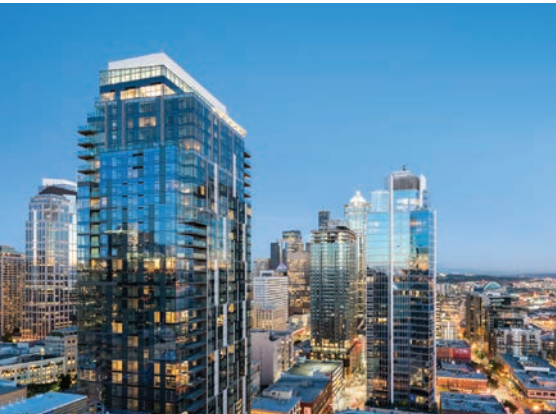


URBAN DESIGN

Urban design allows us to do what we do best: to leverage the strengths of our internal and external team to create urban destinations crated by built forms, and the spaces between them.

Over thirty years ago, two architects struck out on their own. Over the course of three decades, they built an award-winning, multi-faceted architecture firm with a balance of strong design aesthetics and pragmatism. Today, Weber Thompson is a 70+ person firm that’s changing the Seattle skyline with beautiful, high-performance buildings and landscapes that make our city a better place to live, work and visit.

PRIMARY MARKETS



HIGH RISE

Weber Thompson is the most prolific residential high-rise design team in Seattle and the Pacific Northwest. Having created dozens of high-rises with thousands of units over the last 30 years, we know the formula to create a successful vertical community.



MIXED-USE/MID-RISE

Deep experience with the Seattle process has given us knowledge of the complexities and challenges of building mixed-use and multifamily buildings. We know what it really takes to create a market responsive, made-to-last, highly functional building that attracts residents and commercial tenants alike.



COMMERCIAL OFFICE

Our commercial office team creates beautiful, high performance work places that have a positive impact on the environment and the people who use them. We engage with our client’s vision and goals to find opportunities to reflect and deepen ties with the surrounding community.



AFFORDABLE HOUSING

With all our housing projects, but our affordable projects in particular, we give special consideration to the many ways people live their lives. Our priority is to design homes that allow for flexibility, accessibility, and most importantly, dignity.



STUDENT HOUSING

Our student-targeted housing projects foster community while allowing for flexibility and providing elbow room for students to express and celebrate their differences. We consider the unique opportunities for each project, and design homes that support learning and growth.



HOSPITALITY

Weber Thompson’s hospitality designers have created respites for weary travelers, laps of luxury for those celebrating with a special night out on the town, quiet places for a working lunch, and weekend getaways that friends and family return to year after year.

