

# 6th Avenue North Townhomes

1017/1021 6th Avenue North

DCI Project #3032240-EG / #6654810

Administrative Design Review Packet

October 1, 2018



425-444-2941

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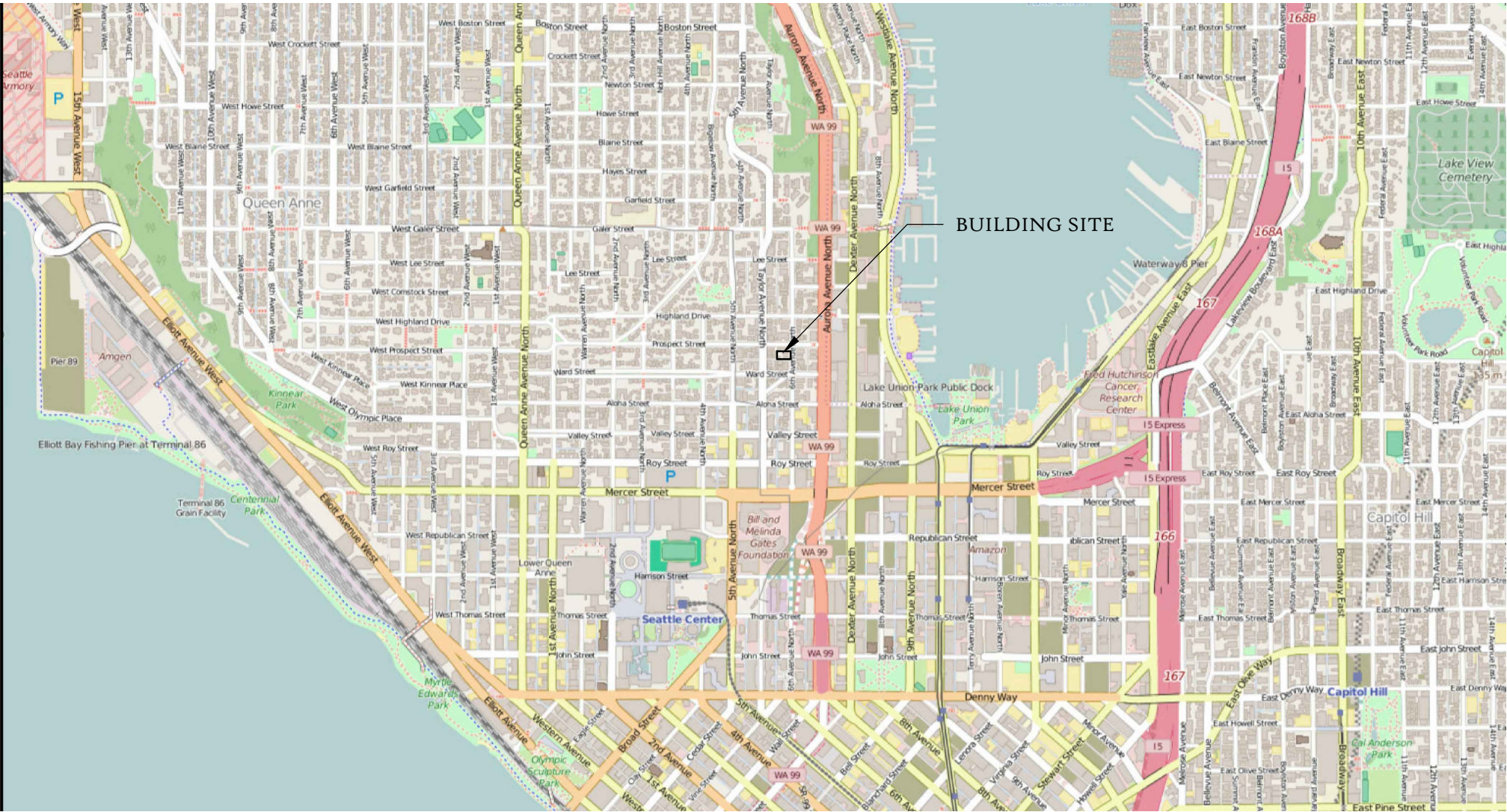


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Vicinity Map



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DEVELOPMENT OBJECTIVES:

PROJECT DESCRIPTION:

- 1. Demolish two existing adjacent single family residential structures and their corresponding garages.
- 2. Construct eight new three-story townhome units, including:
  - A. Six contiguous units over six contiguous garages, accessed from the existing alley between Prospect and Ward Streets.
  - B. Two freestanding units on grade.

Proposed Units:	8
Proposed Structure Height:	± 52'
Proposed Commercial Area:	0 SF
Proposed Parking Stalls:	11
Proposed GROSS FLOOR AREA:	17,004 SF
Floor 0:	3,148 SF
Floor 1:	4,261 SF
Floor 2:	4,395 SF
Floor 3:	4,323 SF
Floor 4:	877 SF

DEVELOPMENT OBJECTIVES:

The goal of the development is to provide multi-family housing that fits the historic character of the neighborhood and coexists with both the single- and multi-family structures in the vicinity. There were no official public comments about this development. Past comments centered around concerns about building height and proposed parking (both for and against).



Vicinity Aerial Perspective Photo



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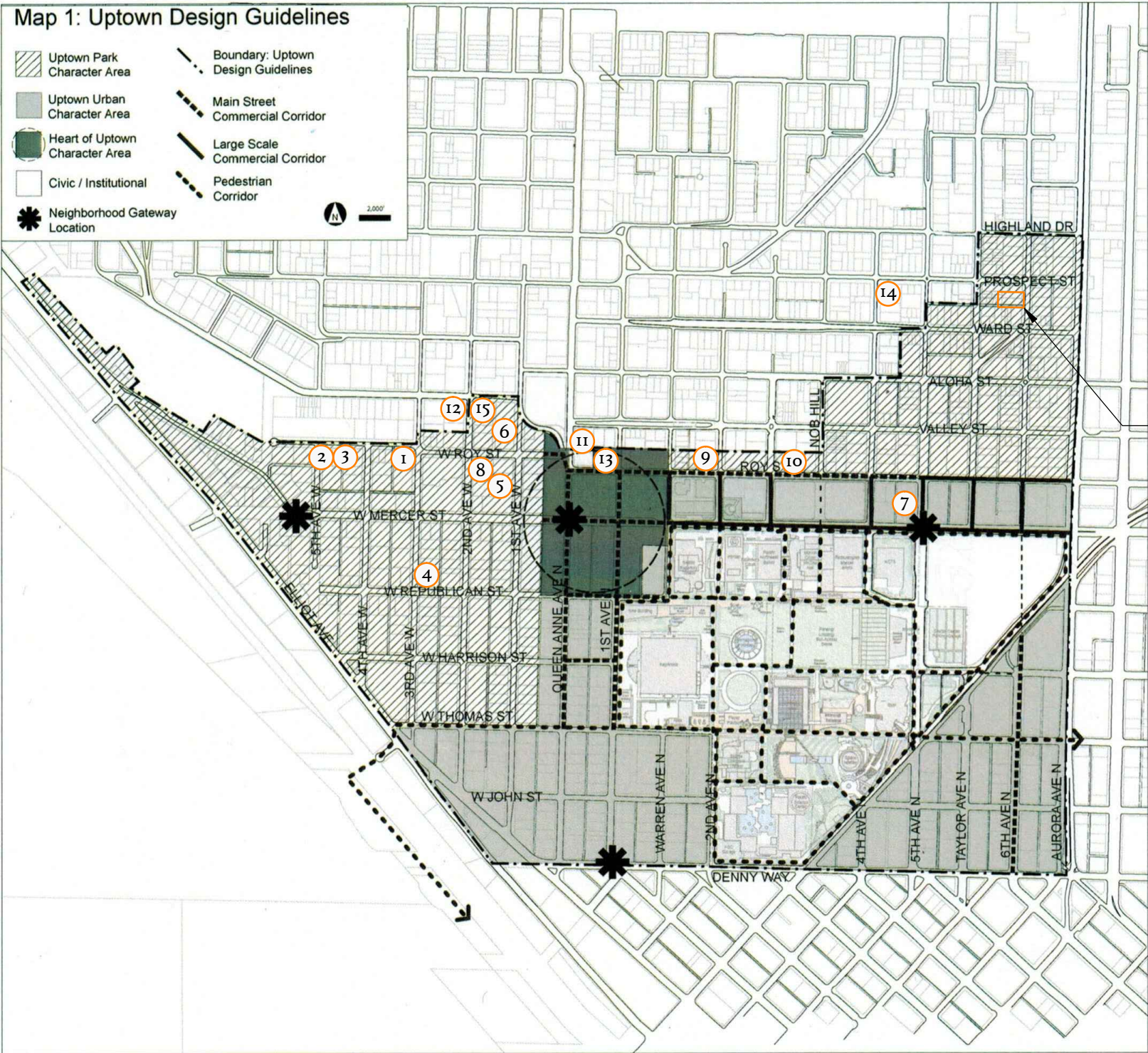
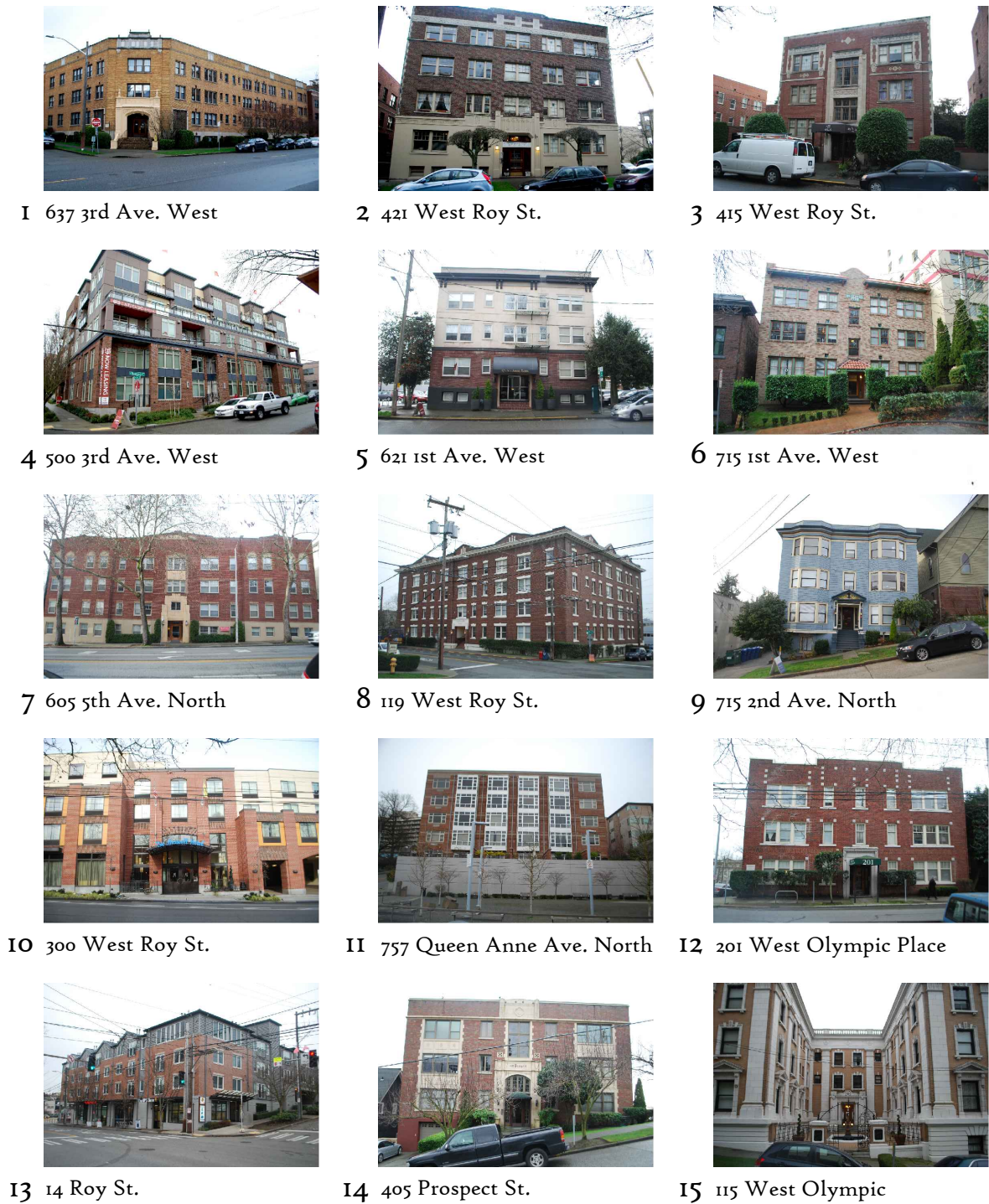
URBAN DESIGN ANALYSIS:  
Uptown Neighborhood Context

The proposed building site falls within the Uptown Park Character Area (UPCA), a subset of the Uptown Neighborhood Overlay District, a designated Seattle Urban Center. The UPCA contains primarily 1-4 story single and multi-family residential buildings, including many of Seattle's historic brick apartment buildings.



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Uptown Neighborhood District Map



URBAN DESIGN ANALYSIS:  
Neighborhood Vicinity Photos

The area immediately around the building site contains mostly multi-story, multi-family apartment and condominium buildings of many different styles, with one and two story single family residences mixed in.



I 1018 Taylor Ave. North



2 554 Prospect St.



3 566 Ward St.



4 1106 Taylor Ave. North



5 500 Aloha St.



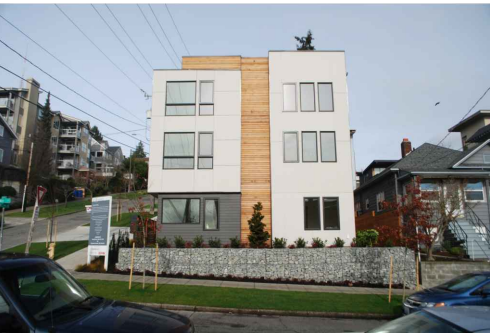
6 812 5th Ave. North



7 812 5th Ave. North



8 560 Aloha St.



9 1002 5th Ave. North



10 1001 Taylor Ave. North



11 1022 Taylor Ave. North



12 625 Aloha St.



13 923 Ward St.



14 566 Prospect St.



Neighborhood Aerial Map



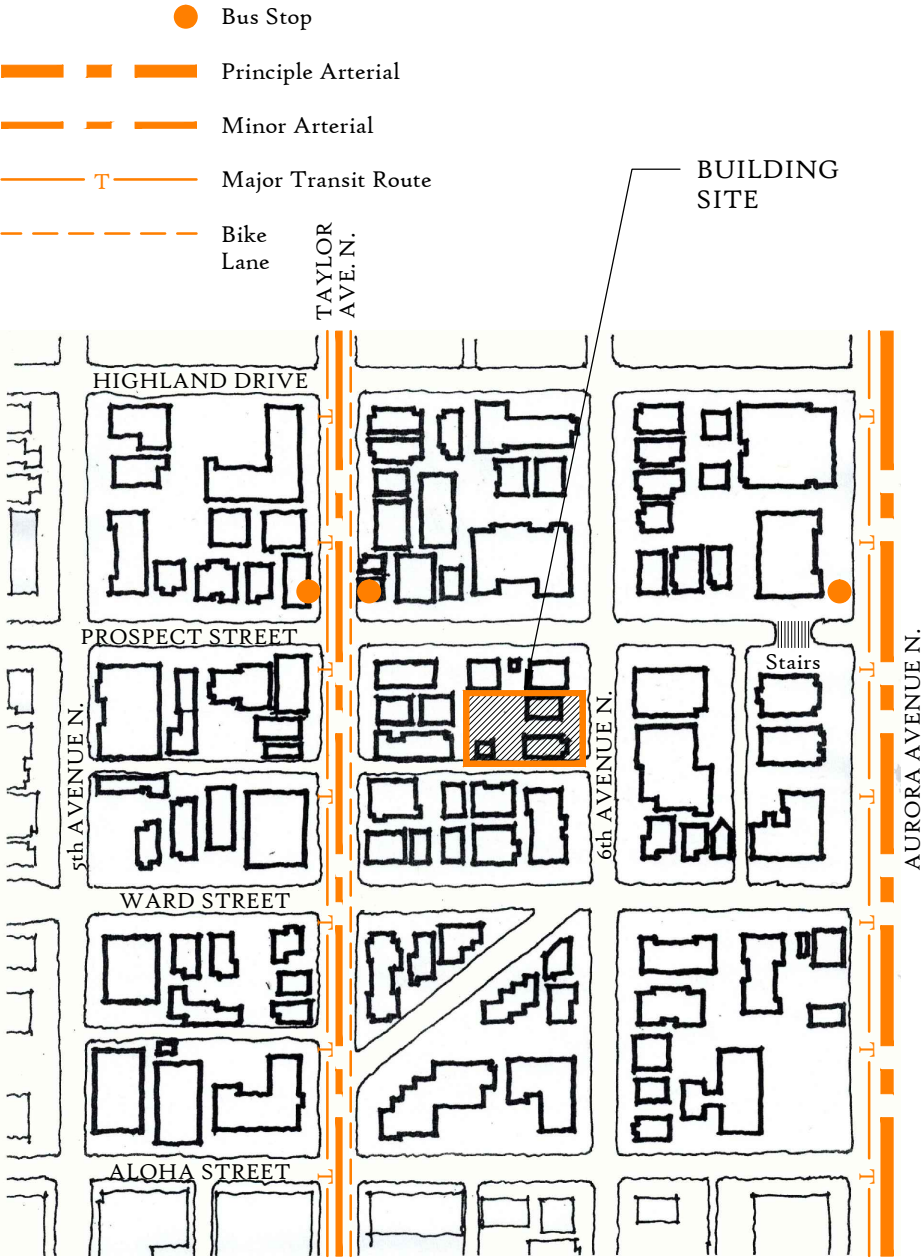
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# URBAN DESIGN ANALYSIS: Neighborhood Transit, Zoning and Use Maps

The proposed building site falls within the Uptown Park Character Area, a subset of the Uptown Overlay District. This Area consists primarily of single and multi-family residential buildings. Many of the City's historic brick apartment buildings can be found in this neighborhood.



Neighborhood Transit Map



Neighborhood Zoning Map



Neighborhood Use Map



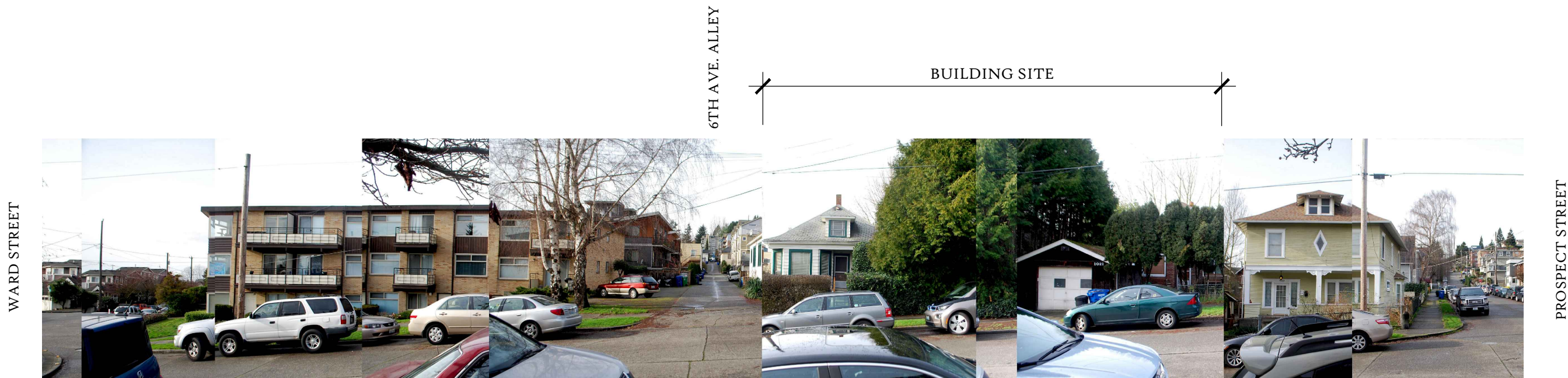
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SITE CONTEXT ANALYSIS:  
6th Avenue Streetscapes



6th Avenue North (Looking West)

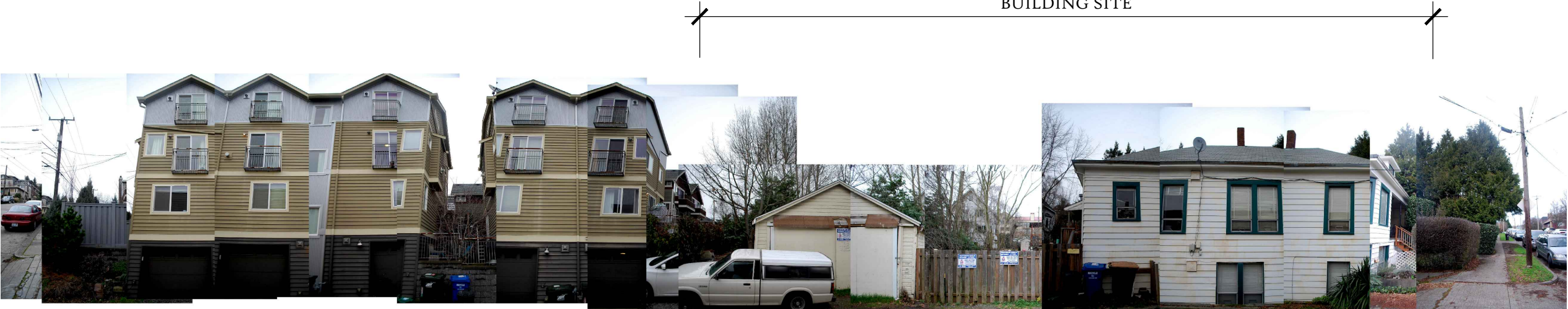


6th Avenue North (Looking East)



SITE CONTEXT ANALYSIS:  
6th Avenue Alley Streetscapes

TAYLOR AVENUE NORTH



6th AVENUE NORTH

6th Avenue Alley (Looking North)

6TH AVENUE NORTH



TAYLOR AVENUE NORTH

6th Avenue Alley (Looking South)



SITE CONTEXT ANALYSIS:  
Site Views



East

South

West



West

North

East



SITE ANALYSIS:  
Site Survey/Current Conditions

SITE DESCRIPTION:

The building site sits on the west side of 6th Avenue North, on the north side of the alley between Prospect Street and Ward Street, just north of the Seattle Center, in a neighborhood primarily comprised of multi-family apartments and condos, with one and two-story single family residences mixed in.

- ZONING:LR3 (M)
- SITE AREA:10,239 SF
- SITE CONSTRAINTS:

1. The site rises six feet from alley to Prospect St. along 6th Avenue North.
2. Existing adjacent structures crowd the site on three sides, including a two-story SFR to the northeast, a three-story SFR to the northwest, and three-story and four-story multi-family buildings to the west and across the alley to the south.
3. The site is primarily alley-oriented, with smaller exposure along 6th.
4. Street parking is limited in the neighborhood.

OPPORTUNITIES:

1. Slope allows elevated ground floor, requiring less excavation for ground-level parking, providing more privacy for lower floors, and creating southern view opportunities at the upper floors.
2. Site length along alley allows maximum southern exposure for units and roof decks.



I Existing SFR (1021)



2 Existing SFR @ Alley (1017)



3 View of NW Property Corner



4 6th Ave. View from SE



5 Alley View from West



6 North PLine Looking East



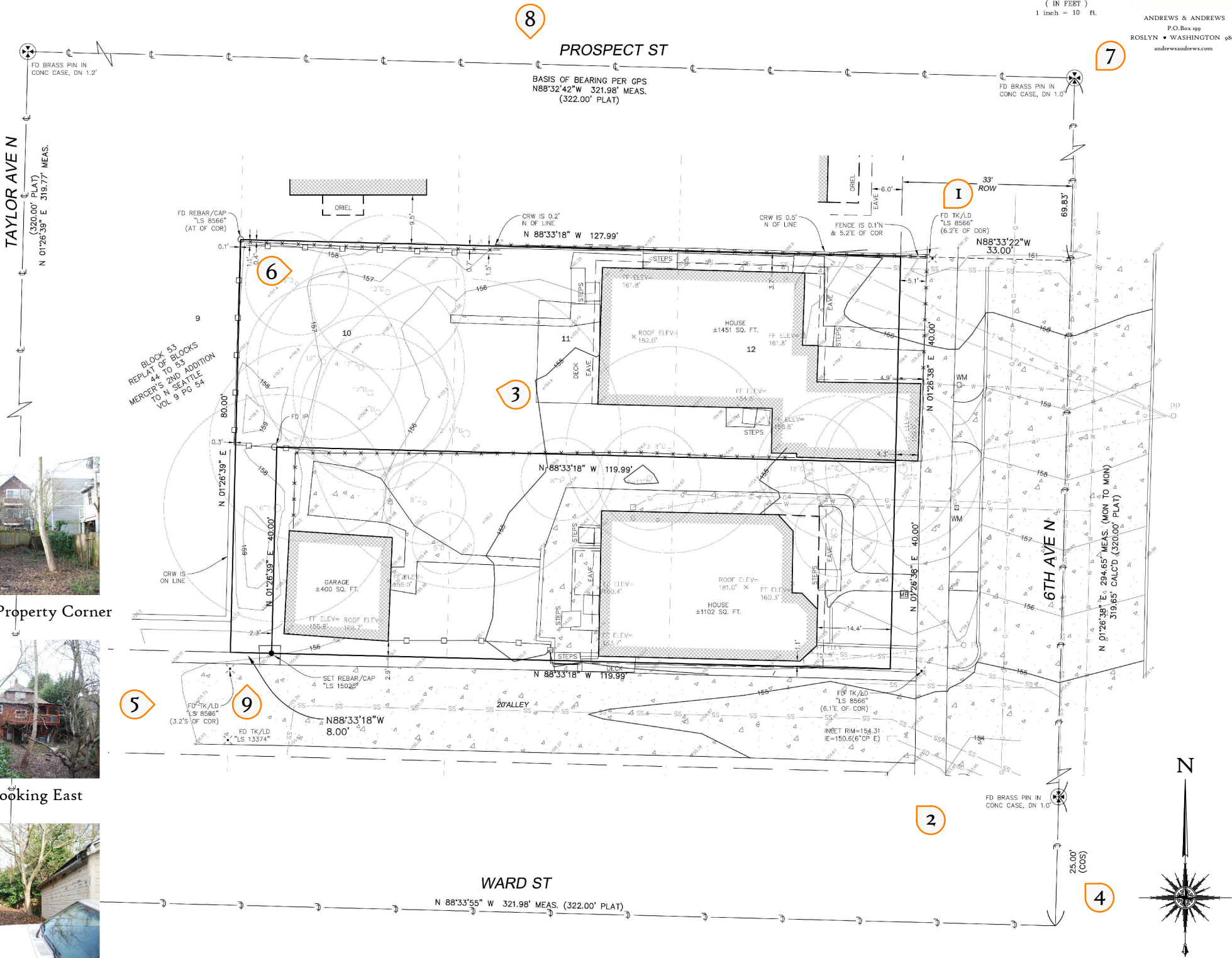
7 6th Ave. View from NE



8 View from North (between existing SFRs)



9 West PLine from Alley - Top of Proposed Ramp



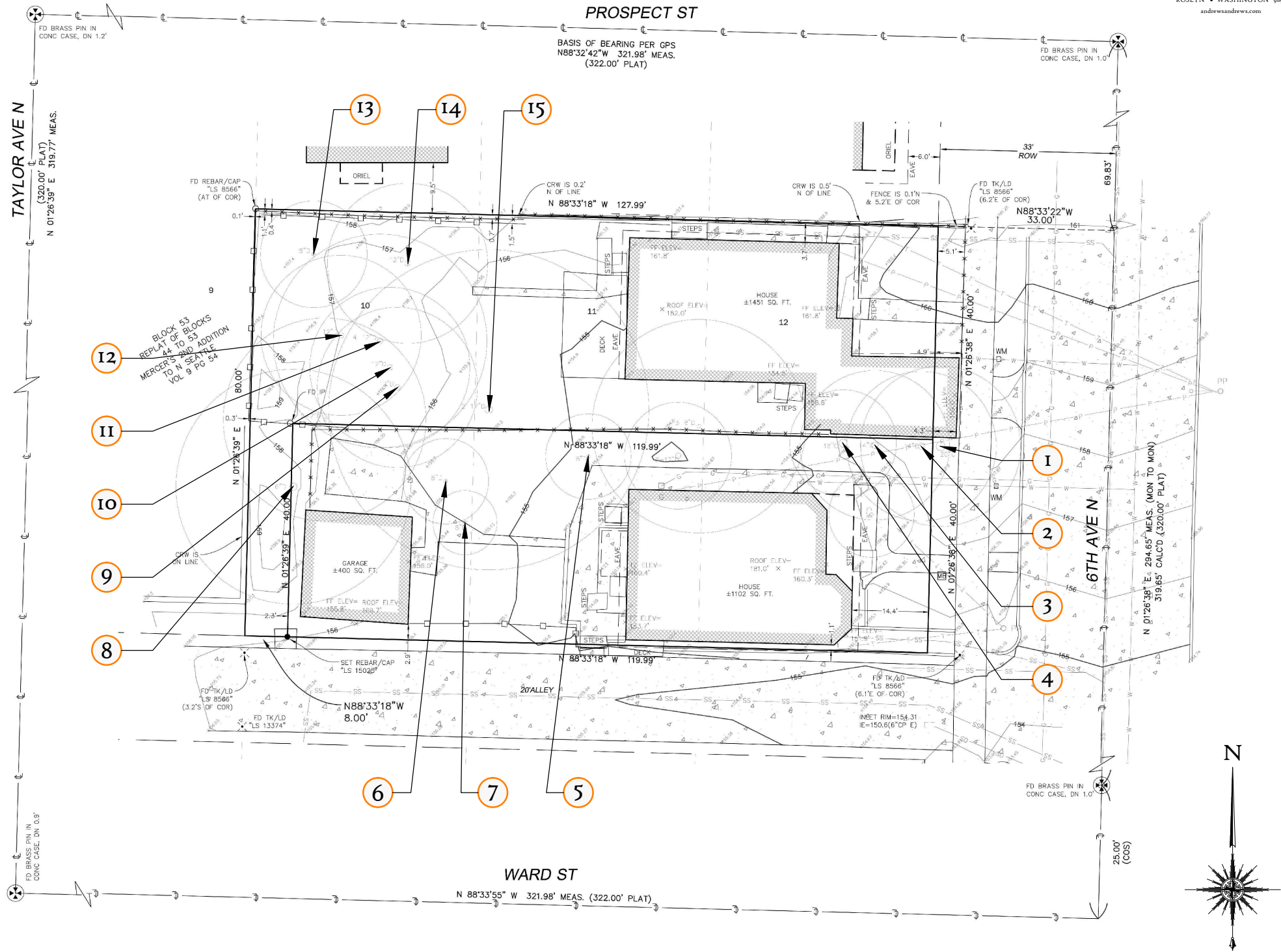
SITE SURVEY



SITE ANALYSIS:  
Existing Tree Survey

Arborist Report prepared by:  
John Kenney, Steep Slope Tree Consulting (1/27/2015)

Observations					
Tree #	Species (federal code)	Size inches	Exceptional	Drip line radius all sides unless noted in feet (For Exceptional and border trees )	Tree condition poor,fair, good
1	western red cedar, <i>Thuja plicata</i>	21.5	No		Poor, topped
2	western red cedar, <i>Thuja plicata</i>	16	No		Poor, topped
3	western red cedar, <i>Thuja plicata</i>	14.3	No		poor
4	western red cedar, <i>Thuja plicata</i>	20.3	No		poor
5	apple tree, <i>Malus spp</i>	9.5	No		fair
6	apple tree, <i>Malus spp</i>	8	No		poor
7	flowering cherry, <i>Prunus serrula</i>	9	No		poor
8	northern red oak, <i>Quercus rubra</i>	15	No		Good seems like a good candidate for retention
9	Lombardy poplar, <i>Populus nigra</i>	14	No		good
10	Lombardy poplar, <i>Populus nigra</i>	12.5	No		good
11	Lombardy poplar, <i>Populus nigra</i>	15	No	good	
12	Lombardy poplar, <i>Populus nigra</i>	11,12,14,12=24.6	No		fair
13	common pear, <i>Pyrus communis</i>	8	No		poor
14	Lombardy poplar, <i>Populus nigra</i>	12	No		good
15	Lombardy poplar, <i>Populus nigra</i>	12.5,20,3=23.8	No		Poor, one large leader removed



TREE SURVEY



SITE ANALYSIS:  
Zoning Criteria/Design Guidelines

ZONING CRITERIA:

Site Area:	10,239 SF	
Zone:	LR3 (M)	
ECA:	None	
Proposed Use:	8 Townhome Units	
F.A.R.:	2.2 x 10,239 = 20,478 SF	(23.45.517 Table A)
Density:	Unlimited	(23.45.517 Table B)
Height:	-50' Base height - 5' Pitched roof allow. w/min. 6 : 12 slope - 4' Parapet allowance - 10' Stair penthouse allow. < 15% roof area - 16' Elev. penthouse allow. < 15% roof area	(23.45.517 Table C) (23.45.514.D.4) (23.45.514.H) (23.45.514.J.4) (23.45.514.J.4)
Building Width:	150' Maximum	(23.45.527)
Facade Length:	130' x .65 = 84.5' Maximum length	(23.45.527)
Setbacks:	Front = 7' Avg./5' Min. Sides = 7' Avg./5' Min. Rear = 7' Avg./5' Min. Between Buildings = 10' Above 54' (Streetside) = 16'	(23.45.518 Table A)   (23.45.518.F.1) (23.45.518.L?)
Parking:	0 Stalls Required	(23.54.015 Table B)
Bike Storage:	.25/Unit x 8 Units = 2 Required	(23.54.015 Table D)
Amenity Area:	25% Lot Area Req'd. = 2,560 SF 50% Common Area @ Grade = 1,280 SF 10' min. dim., 250 SF Min. Area for Common Amenity Areas	(23.45.522)
Tree Protection:	No Significant Trees on Site per Arborist Report	
Landscaping:	.6 Required Green Factor 3 Required Street Trees	(23.45.524.2.a)
Waste Area:	84 SF Required Min. 7' Horizontal Dimension	(23.54.040 Table A)

UPTOWN PARK NEIGHBORHOOD DESIGN GUIDELINES

CS1: Natural Systems and Site Features

Design concept proposes three separate buildings, spaced to maximize light and natural ventilation. A three story townhouse building sits along the south property line, keeping the largest and tallest building mass on the downhill side, with two smaller, shorter building masses uphill, adjacent to the neighboring structures to the north. While the buildings step down in height as they move uphill, the main floors step up with the rising grade, with a central access path on grade with the existing sidewalk. Units in the south building all face south, to maximize sunlight and potential southern views. Building on the north side are spaced apart to create a common central courtyard, and to maintain the openness and privacy of the outdoor spaces of the neighbors to the north. Bioretention planters along the central interior sidewalk are planted to highlight units entries and provide visual interest along the main circulation path.

CS2: Urban Pattern and Form

The overall design goal is for the proposed structure to fit in with the existing immediate neighborhood multi-family structures, which vary largely in size, scale and style, while also paying homage to the historic neighborhood character. Park-like landscaped planting strips run between 6th Ave. and the existing sidewalk, to help soften the impact of the buildings at the street. A strong vertical gable with continuous concrete base holds the highly visible corner at 6th Ave and the alley. The long alley elevation on the south is modulated with repeating garage doors in the concrete base, a repeating pattern of projecting window bays and gabled parapet walls, and horizontal division of colors. A pedestrian-scaled colonnade between buildings draws the eye and announces entry at the sidewalk. A grouping of buildings (rather than a single larger building) breaks down the overall scale of the project, with the larger, taller mass downhill and away from the neighboring structures.

CS3: Architectural Context and Character

Proposed design seeks to reinforce - through form, material and detailing - continuity with existing historic single and multi-family structures in the larger Uptown Park Character area, while also fitting in with the more recent residential apartment buildings in the immediate neighborhood. Projecting window bays, color variations, and architectural detailing provide visual articulation to the proposed design.

PL1: Connectivity

A central Common Amenity Area is defined by the three proposed buildings, resulting in its alignment with the open space between the two neighbors on the north, thus creating a larger perceived continuous open space. There is a planted landscape strip between the street and sidewalk, and between the sidewalk and the proposed buildings. There is a wire mesh gate/fence system at the entry colonnade to provide site security while maintaining visibility to the common areas beyond.

PL2: Walkability

The main covered entry colonnade opens at sidewalk level on 6th Ave N.; it spans between the two buildings, and is scaled and detailed to enhance its prominence. Individual unit entrances occur between raised planters at the common interior sidewalk.

PL3: Street-Level Interaction

The lowest heated level of alley-facing units sits a full story above alley level, preserving privacy from the public way. Individual unit entries all occur along the protected interior walkway. The front entry of the building takes design cues from historic apartment buildings in the neighborhood: symmetry, proximity of entry to sidewalk, enhanced detailing, etc. Tenant interaction is enhanced through a central outdoor common area/walkway.

PL4: Active Transportation

The main entry on 6th Avenue North falls within two blocks of a southbound bus stop on Aurora Avenue North (a Principle Arterial), and within one block of both north and southbound bus stops on Taylor Avenue North (a Minor Arterial). All major and minor streets in the immediate neighborhood have sidewalks on both sides, connecting the site to Aurora Avenue on the east, the Uptown neighborhood on the north and west, and multiple mixed use and commercial amenities, including the Seattle Center, to the south. Secure bike storage is provided next to the trash enclosure at garage level on the west side.

DC1: Project Uses and Activities

Secure automobile parking is provided at alley level under the south building, accessed from the alley. Small planting areas are provided between garage doors to help soften the alley facade.

DC2: Architectural Concept

To provide visual depth and interest consistent with the historical context, the proposed design includes bay windows, honest built-up parapets, defined cornice lines, and divided-lite windows with traditionally detailed door and window trim. The one-story covered entry colonnades at east and west exhibit enhanced detailing, and provide prominent human scaled entry points.

DC3: Open Space Concept

Landscaping is designed to flank individual unit entry points, define common areas and paths of travel, soften building edges, and decorate streetscapes.

DC4: Exterior Elements and Finishes

In an effort to fit in with both the historic apartment buildings and the single family homes in the immediate neighborhood, the proposed design features a strong continuous concrete base with horizontal grooving, painted fiber cement horizontal lap siding, and painted wood trim at doors, windows, covered entries, and cornices.



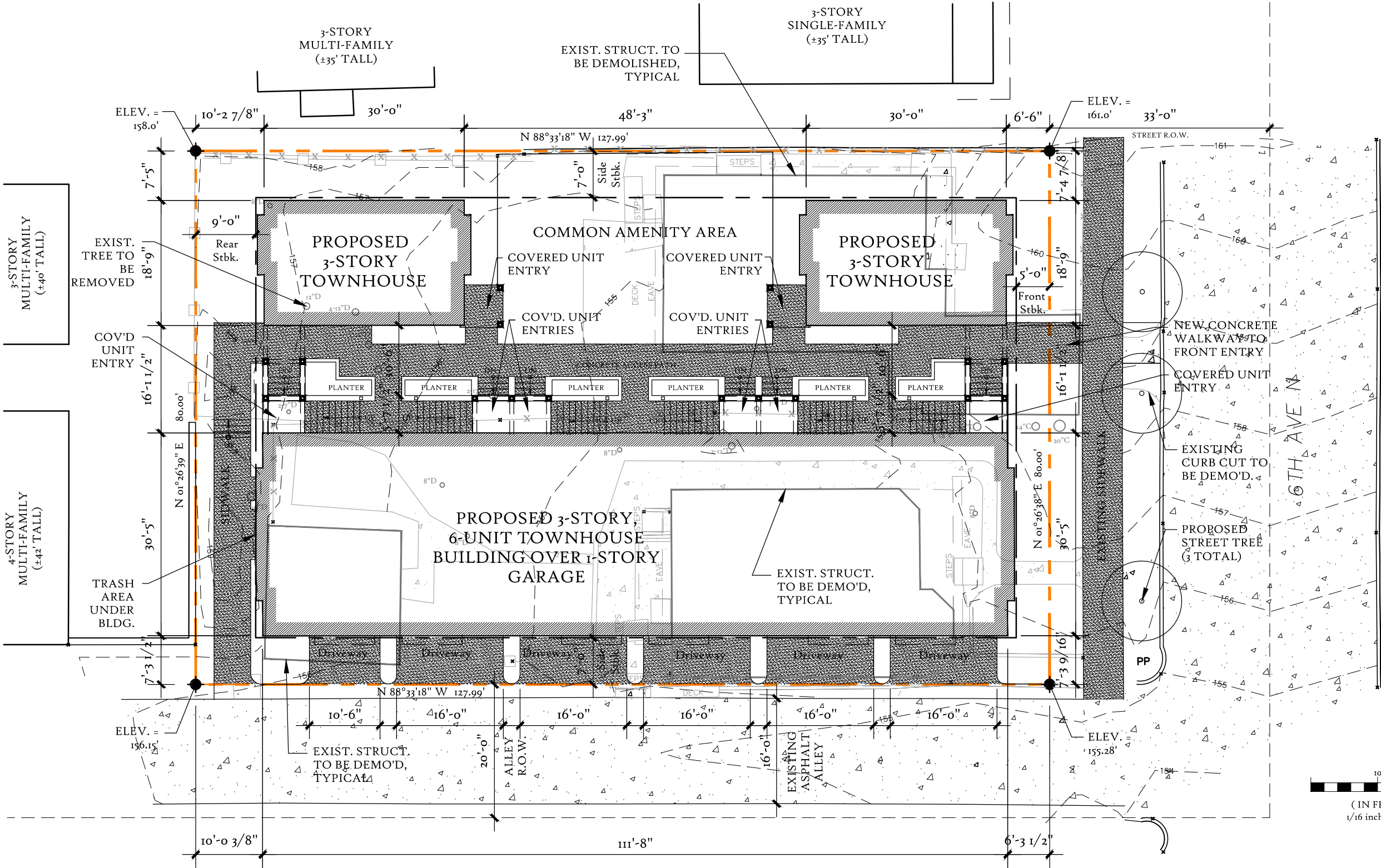


SITE PLAN (DEVELOPMENT CONCEPT #3)



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PARCEL #: 545830-0790

LEGAL DESCRIPTION:

THE NORTH 40 FEET OF THE SOUTH 80 FEET OF LOTS 10, 11, AND 12 AND THE WEST 8 FEET OF THE SOUTH 40 FEET OF LOT 10, BLOCK 53, REPLAT OF BLOCKS 44 TO 53, MERCER'S SECOND ADDITION TO NORTH SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 9 OF PLATS, PAGE 54, RECORDS OF KING COUNTY, WASHINGTON.

PARCEL #: 545830-0770

LEGAL DESCRIPTION:

THE SOUTH 40 FEET OF LOTS 10, 11, AND 12 OF BLOCK 53, REPLAT OF BLOCKS 44 TO 53, MERCER'S SECOND ADDITION TO NORTH SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 9 OF PLATS, PAGE 54, RECORDS OF KING COUNTY, WASHINGTON.



DEVELOPMENT CONCEPT #1

CONCEPT 2 DESCRIPTION:

A 19-unit, 4-story, flat roofed apartment building with stepped parapet and cornice, over a 19-stall underground parking garage. Common Amenity Areas are provided in the northwest corner at ground level, and on an accessible central flat roof deck.

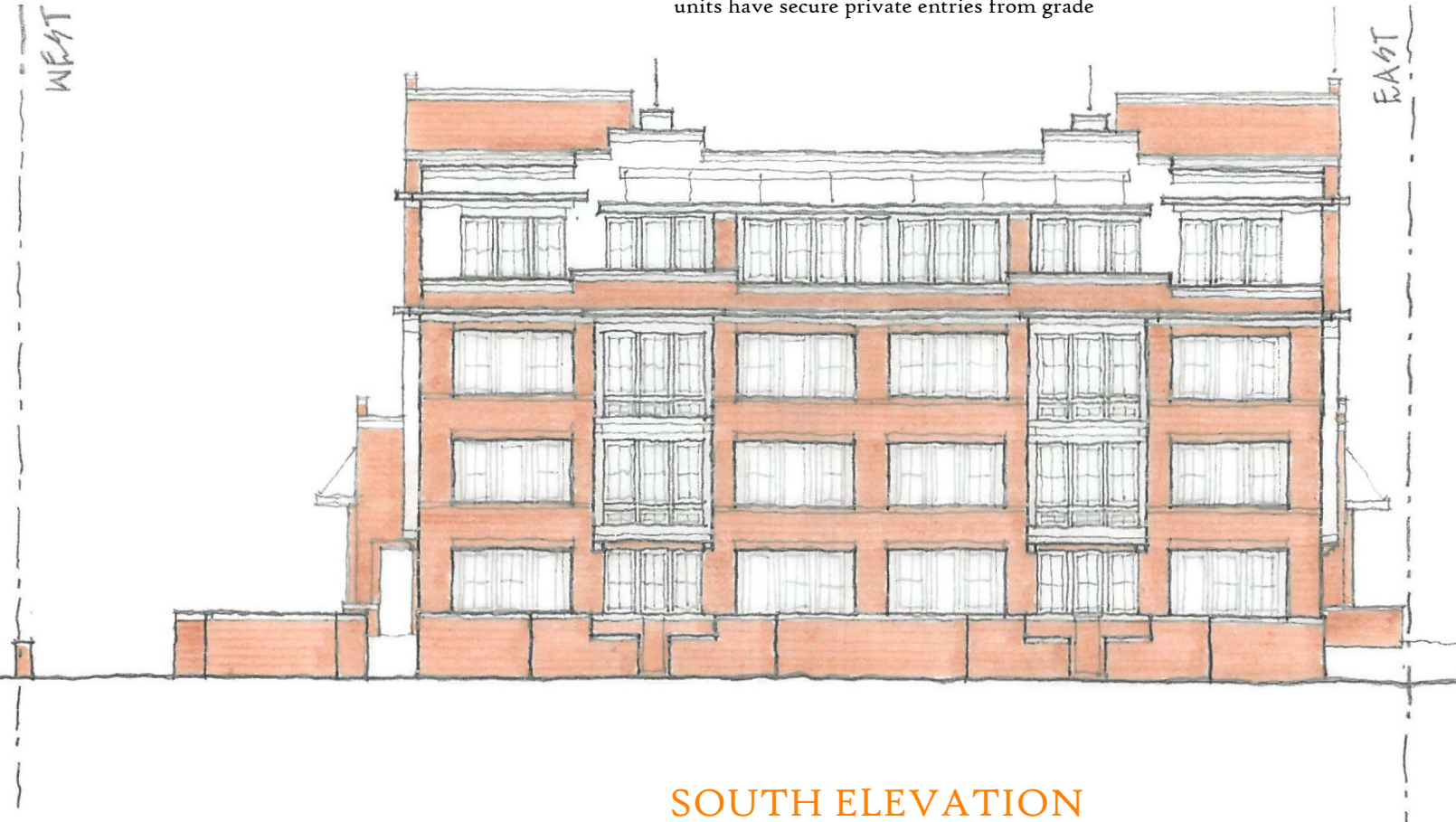
DESIGN ELEMENTS:

- A prominent vertical brick entry at 6th Ave., with entry door emphasized by stepped brick wall and steel awning.
- A 3-story brick base, with projecting window bays and recessed private decks providing visual depth.
- Stepped back stucco fourth story with south-facing roof deck.
- Brick "chimney" stair penthouses to access common roof deck
- Units grouped predominantly on the south side; ground floor units have secure private entries from grade



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Neighborhood Design Precedents:



- Brick base with stucco wall above
- Strong projecting cornice below continuous parapet



- Three story brick facade
- Vertical window composition
- Entry emphasized by detail at ground level, parapet
- Grade level entry onto sloped sidewalk



- Stepped parapet above detailed entry
- Traditional window muntins
- Strong cornice band



- Material transition at set back top floor
- Roof decks above brick apartment base
- Steel Awnings
- Wood window bay in brick wall



- Symmetrical facade with recessed south-facing decks
- Vertical window bays



- Steel awnings at entries
- Ground level unit entries with gates and fences
- Wood bay windows in brick walls, with muntins



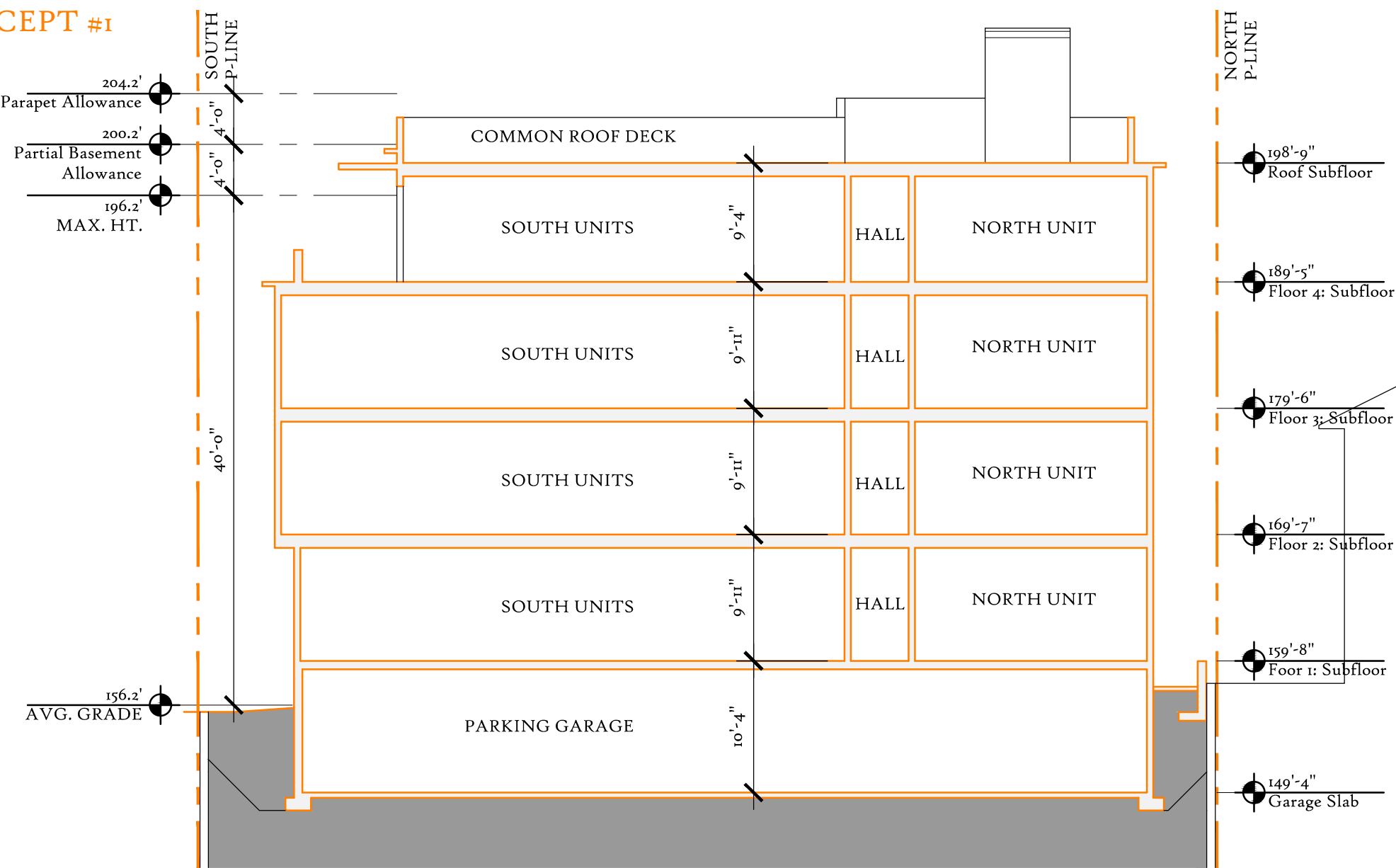
- Repeating window bays
- Top floor steps back with private roof decks



- Strong vertical window composition
- Roof deck



DEVELOPMENT CONCEPT #1



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BUILDING SECTION



View From the Southwest



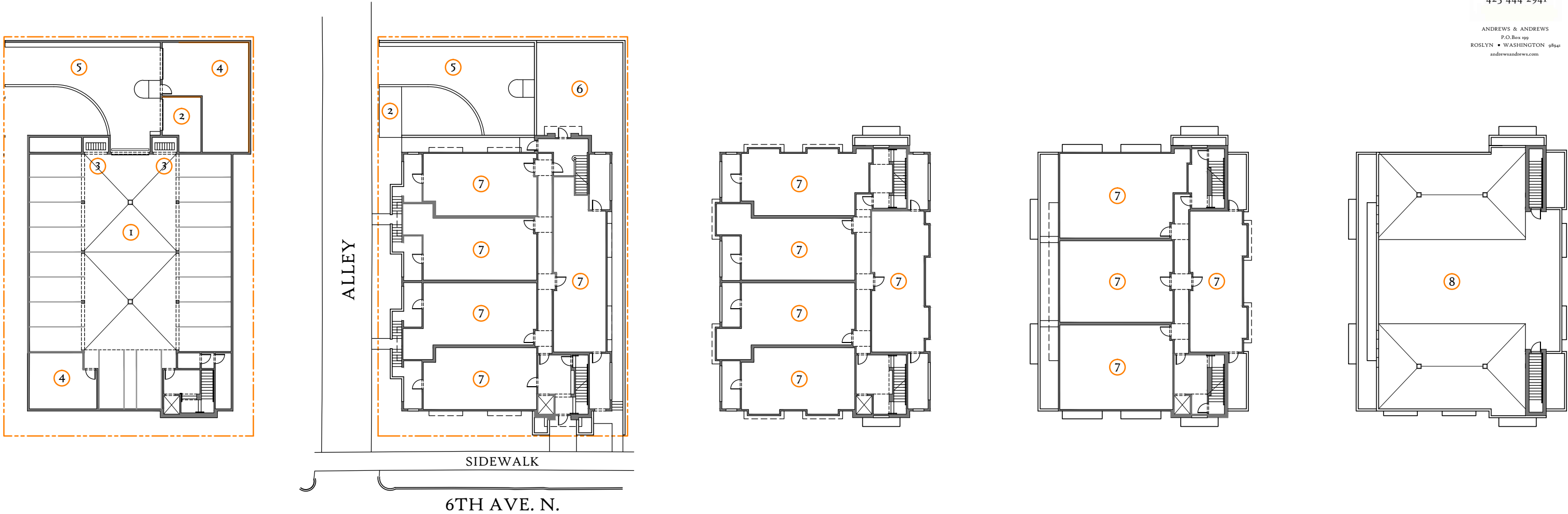
View From the Southeast



View From the Northeast



DEVELOPMENT CONCEPT #1



GARAGE PLAN (Below Grade)

FIRST FLOOR PLAN

2nd & 3rd FLOOR PLANS

4th FLOOR PLAN

ROOF PLAN

CONCEPT 3 DATA:

F.A.R.:	19,723 SF (20,478 Maximum) Not including Garage Level < 4' Below Finished Grade
Density:	19 Units
Height:	42'-6 1/2" Base Height @ Roof Deck (Use Partial Bsmnt. Ht. Allow.) 46'-1 1/2" Overall Height @ Typical Parapet (Use 4' Allowance) 53'-0" Stair Penthouse Height (Use 10' Allowance)
Parking:	19 Stalls
Bike Storage:	16 Stalls
Amenity Area:	4,492 SF Total (2,560 SF Min. Required) 2,548 SF Common Ground Floor/Roof area (1,280 SF Min. )
Deviation Requested:	4' Additional Height for Decorative Stepped Parapets Above 4th Floor South Exterior Deck Doors (see Sheet 24).

ADVANTAGES:

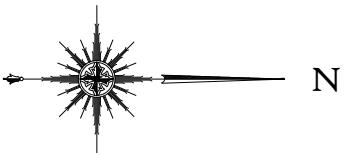
- 1. More Parking Stalls than other Concepts.
- 2. Greater overall Common Amenity Area than other Concepts.
- 3. More south facing units/private decks than other Concepts, with fewer north-facing.
- 4. All ground-level units have direct access to finished grade.
- 5. Asymmetrical street facade provides visual interest.
- 6. Better direct access to ground level Amenity Area.

DISADVANTAGES:

- 1. Fewer corner units with double exposure.
- 2. Reduced ground-level Common Areas and planting area.

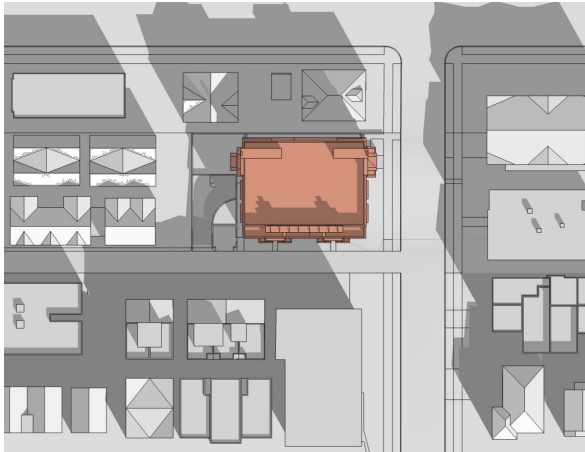
DRAWING KEY:

- 1 GARAGE
- 2 WASTE/RECYCLING AREA
- 3 BIKE RACK
- 4 STORAGE/MECHANICAL
- 5 DRIVEWAY
- 6 COMMON AMENITY AREA
- 7 UNIT
- 8 COMMON ROOF DECK

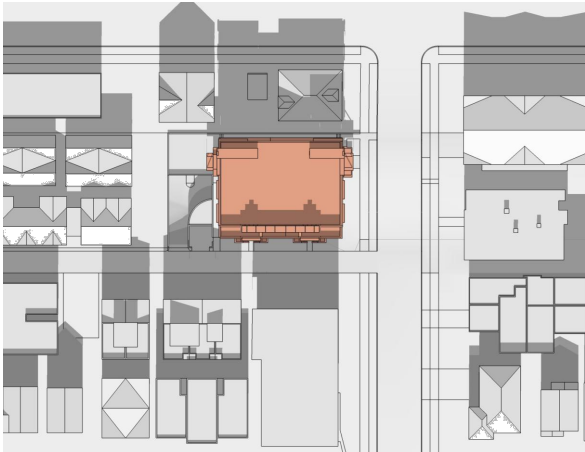




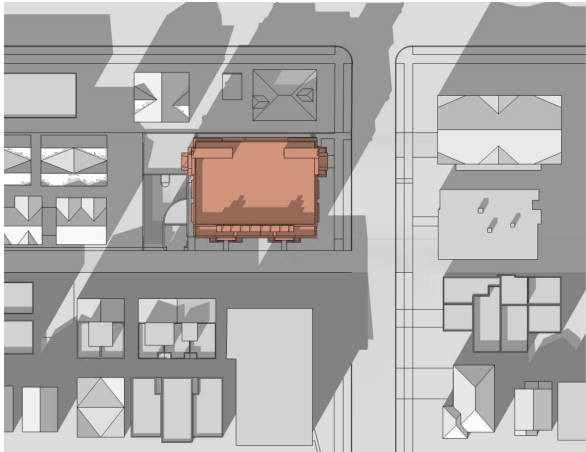
DEVELOPMENT CONCEPT 1:  
Shadow Studies



December 21, 10 AM



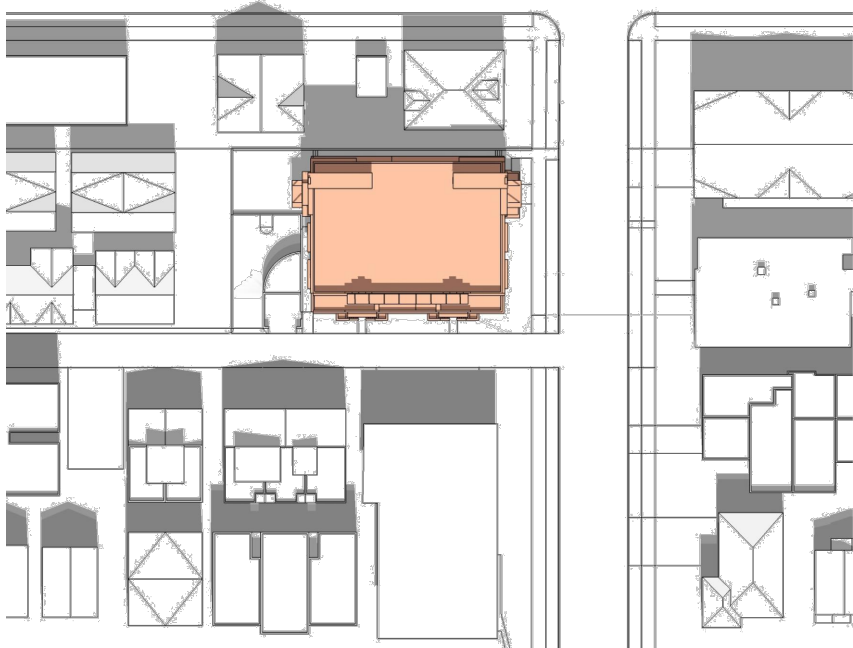
December 21, 12 PM



December 21, 2 PM



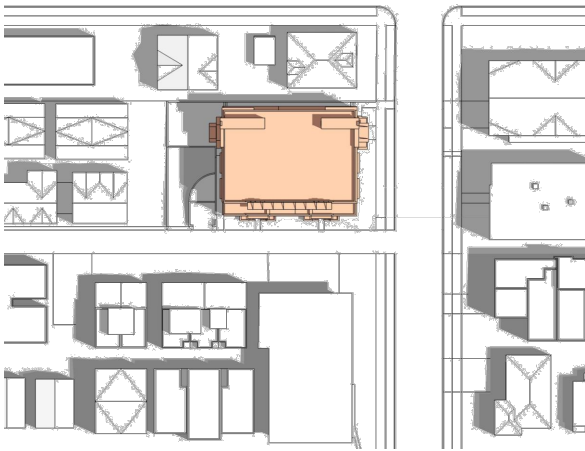
March/September 21, 10 AM



March/September 21, 12 PM



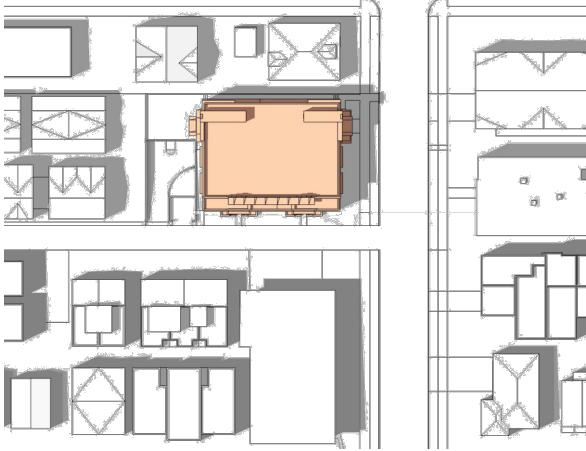
March/September 21, 2 PM



June 21, 10 AM



June 21, 12 PM



June 21, 2 PM



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DEVELOPMENT CONCEPT 2

CONCEPT 2 DESCRIPTION:

A 19-unit, 4-story, symmetrical apartment building with multiple-gabled roof system, over a 16-stall underground parking garage. Common Amenity Areas are provided in the northwest corner at ground level, and on an accessible central flat roof deck.

DESIGN ELEMENTS:

- A prominent vertical entry gable at 6th Ave., with entry door emphasized by stepped brick wall and steel awning.
- A 2-story stucco wall band above a brick base, capped by wood-sided residential gables and shed dormers.
- Projecting 2-story window bays at all sides, with recessed private decks on the south and north.
- Roof decks behind stepped parapets at fourth floor.
- Brick "chimney" elevator penthouse to access common roof deck



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Neighborhood Design Precedents:



- Brick base with residential forms, materials above
- Vertical bays emphasize units
- Top floor set back to create private roof decks



- Three-story wood sided residential mass above one-story brick base
- Residential chimney forms
- Pitched roof



- Symmetrical south side
- Vertical window bays
- Recessed south-facing decks



- Residential forms set back above brick apartment front
- Vertical residential element to emphasize entry
- Steel Awnings



- Single family residential scale
- Symmetrical half-timber and stucco gables



- Steel awnings, defensible space at entries
- Wood-trimmed bay windows w/muntins, low slope roofs



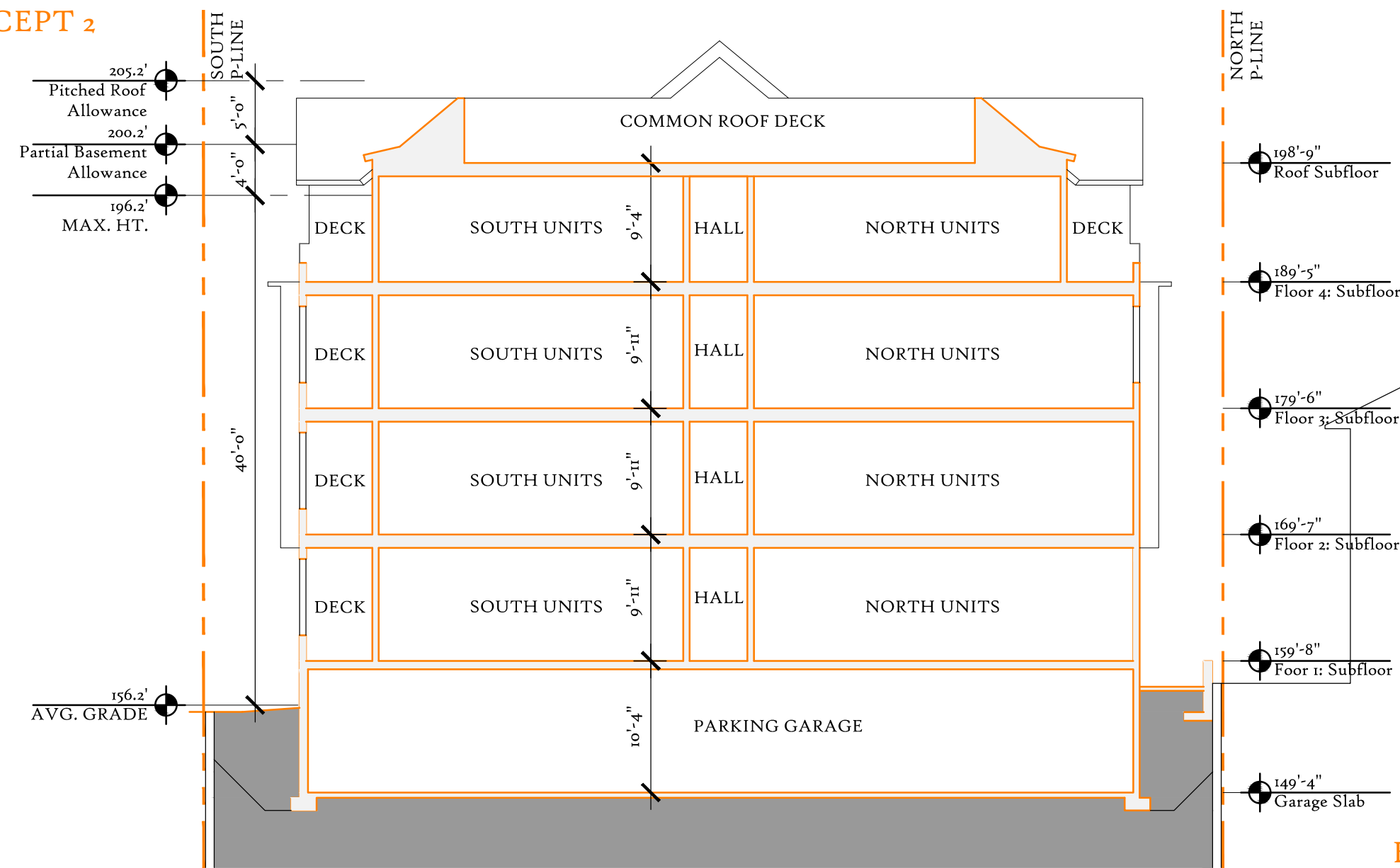
- Overall rectangular shape with roof deck
- Repeating vertical window bays



- Strong parapet
- Vertical window composition
- Detailed stone entry
- Classical symmetry



DEVELOPMENT CONCEPT 2



BUILDING SECTION

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View From the Southwest



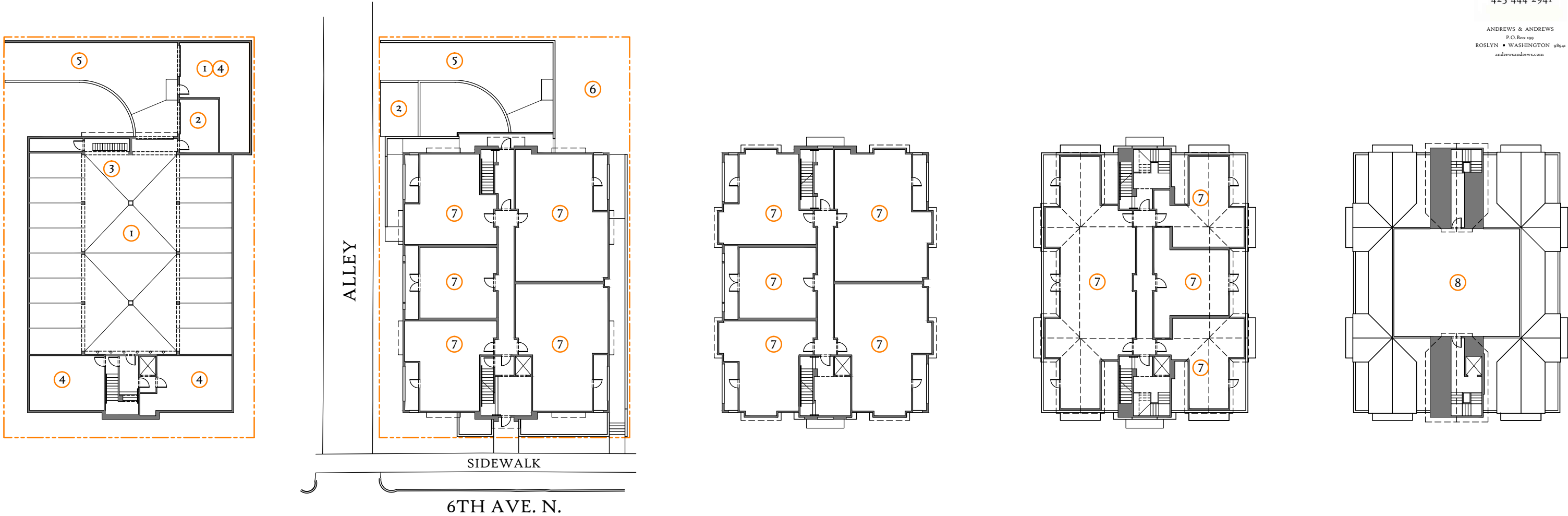
View From the Southeast



View From the Northeast



DEVELOPMENT CONCEPT 2



GARAGE PLAN (Below Grade)

FIRST FLOOR PLAN

2nd & 3rd FLOOR PLANS

4th FLOOR PLAN

ROOF PLAN

CONCEPT 2 DATA (Full Code Compliance):

F.A.R.:	18,768 SF (20,478 Maximum) Not including Garage Level < 4' Below Finished Grade
Density:	19 Units
Height:	41'-3" Base Height (Use Partial Basement Ht. Allowance) 47'-7 1/2" Overall Height (Use Pitched Roof Allowance) 52'-2" Stair Penthouse Height (Use 10' Allowance) 55'-2" Elevator Penthouse Height (Use 15' Allowance)
Parking:	16 Stalls
Bike Storage:	15 Stalls
Amenity Area:	4,088 SF Total (2,560 SF Min. Required) 2,148 SF Common Ground Floor/Roof area (1,280 SF Min.)
Departures Requested:	None

ADVANTAGES:

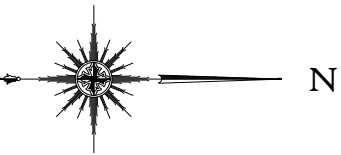
1. Forms and materials balance single family residential neighborhood informality with older classical formality.
2. Horizontal material divisions help reduce perceived building height.
3. Provides more parking stalls, more south-facing units than Concept 1.
4. Layout maximizes corner units with windows on two sides.
5. Allows for Common Amenity Area on the roof.

DISADVANTAGES:

1. No direct street-level unit access provided.
2. Full 4-story street facade is largest proposed building mass at 6th Ave. North.

DRAWING KEY:

- ① GARAGE
- ② WASTE/RECYCLING AREA
- ③ BIKE RACK
- ④ STORAGE/MECHANICAL
- ⑤ DRIVEWAY
- ⑥ COMMON AMENITY AREA
- ⑦ UNIT
- ⑧ COMMON ROOF DECK

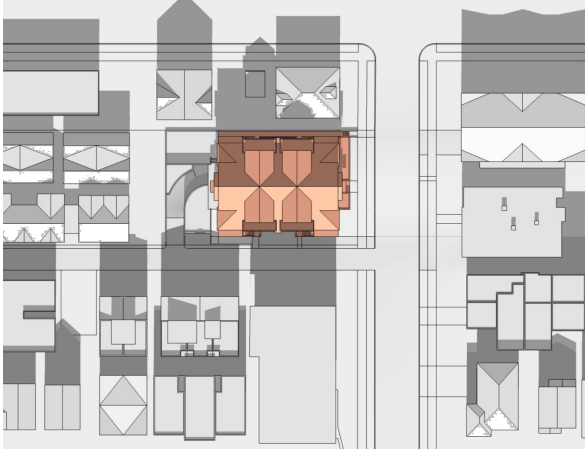




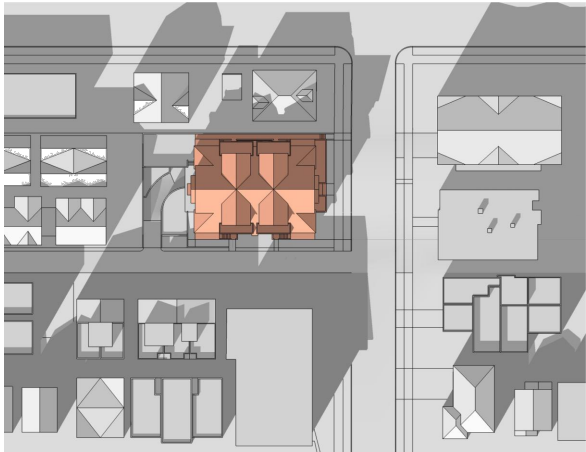
DEVELOPMENT CONCEPT 2:  
Shadow Studies



December 21, 10 AM



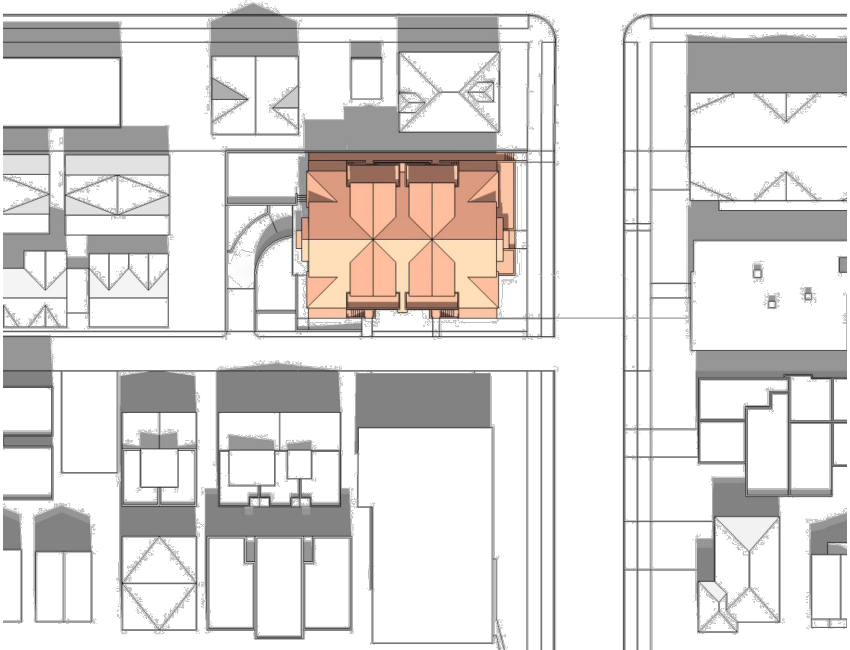
December 21, 12 PM



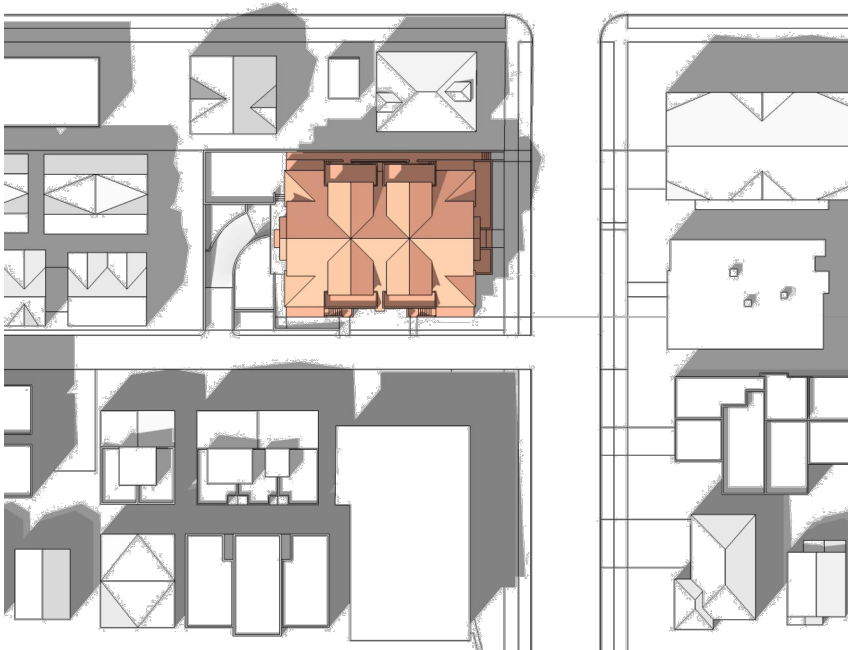
December 21, 2 PM



March/September 21, 10 AM



March/September 21, 12 PM



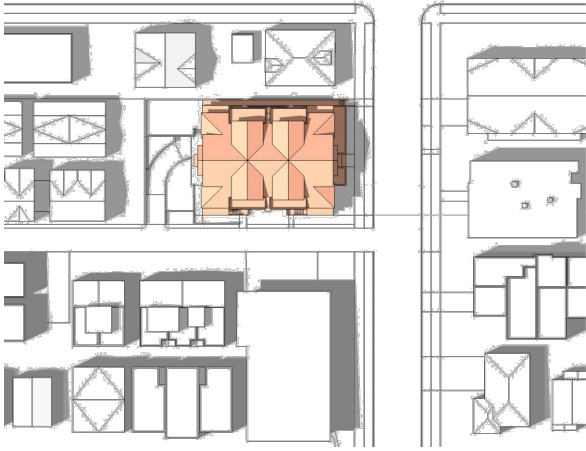
March/September 21, 2 PM



June 21, 10 AM



June 21, 12 PM

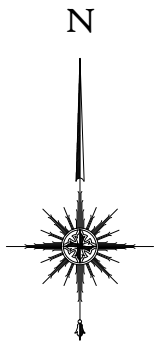


June 21, 2 PM



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DEVELOPMENT CONCEPT #3 (PREFERRED)

CONCEPT DESCRIPTION:

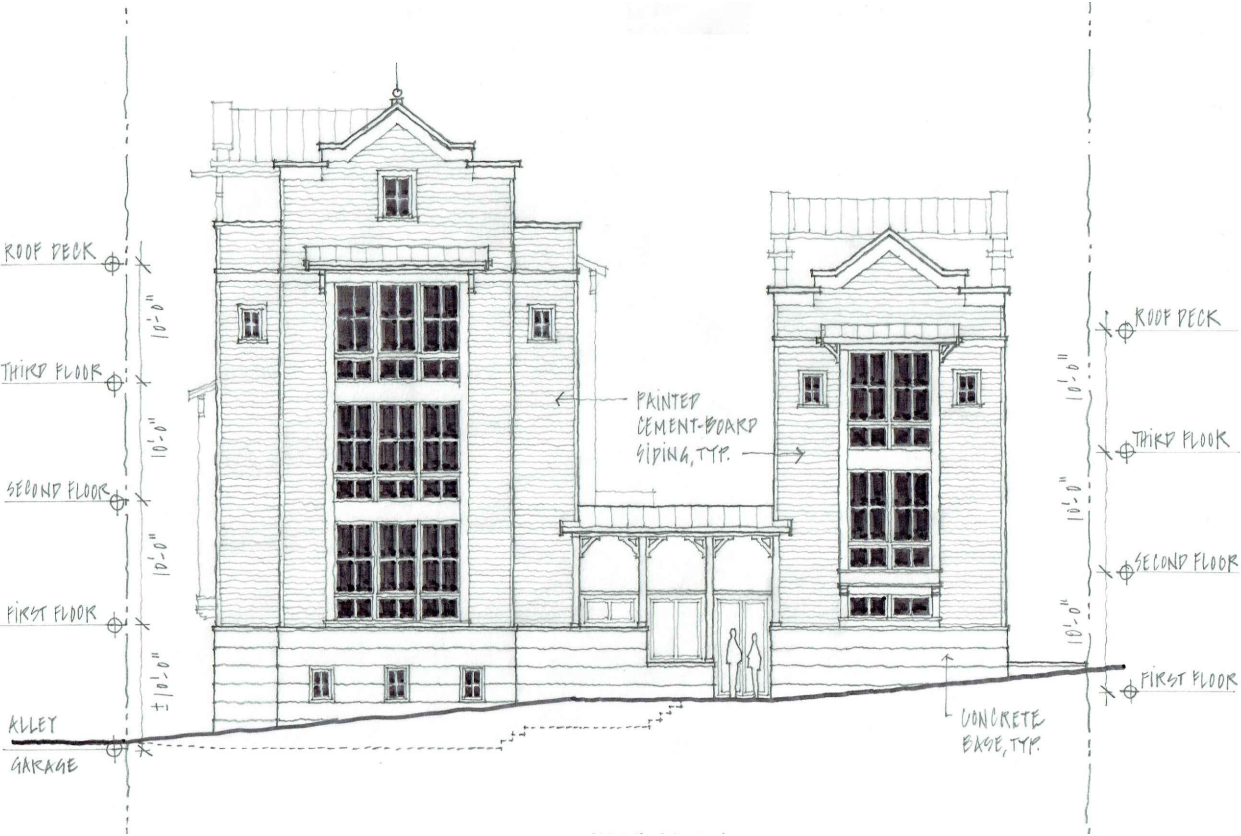
A 6-unit, 3-story townhouse building with parking below, and (2) 3-story, stand-alone townhouse buildings, all connected by a central east/west access walkway. Common Amenity Area is provided between the buildings on the north side.

DESIGN ELEMENTS:

- A prominent vertical gable at 6th Ave., with a secondary vertical gable at the stand-alone unit to the north. Entry is emphasized by a covered entryway with gate, spanning between the buildings.
- A 1-story concrete base, capped by wood-sided residential gabled structures.
- Projecting 2-story window bays.
- Roof decks behind stepped parapets at fourth floor.
- Gabled stair penthouses to access private roof decks.



SOUTH ELEVATION



EAST ELEVATION

Neighborhood Design Precedents:



- Brick base with residential forms, materials above
- Vertical bays emphasize units
- Top floor set back to create private roof decks



- Three-story wood sided residential mass above one-story brick base
- Residential chimney forms
- Pitched roof



- Symmetrical south side
- Vertical window bays
- Recessed south-facing decks



- Residential forms set back above brick apartment front
- Vertical residential element to emphasize entry
- Steel Awnings



- Single family residential scale
- Symmetrical half-timber and stucco gables



- Steel awnings, defensible space at entries
- Wood-trimmed bay windows w/muntins, low slope roofs



- Overall rectangular shape with roof deck
- Repeating vertical window bays



- Strong parapet
- Vertical window composition
- Detailed stone entry
- Classical symmetry

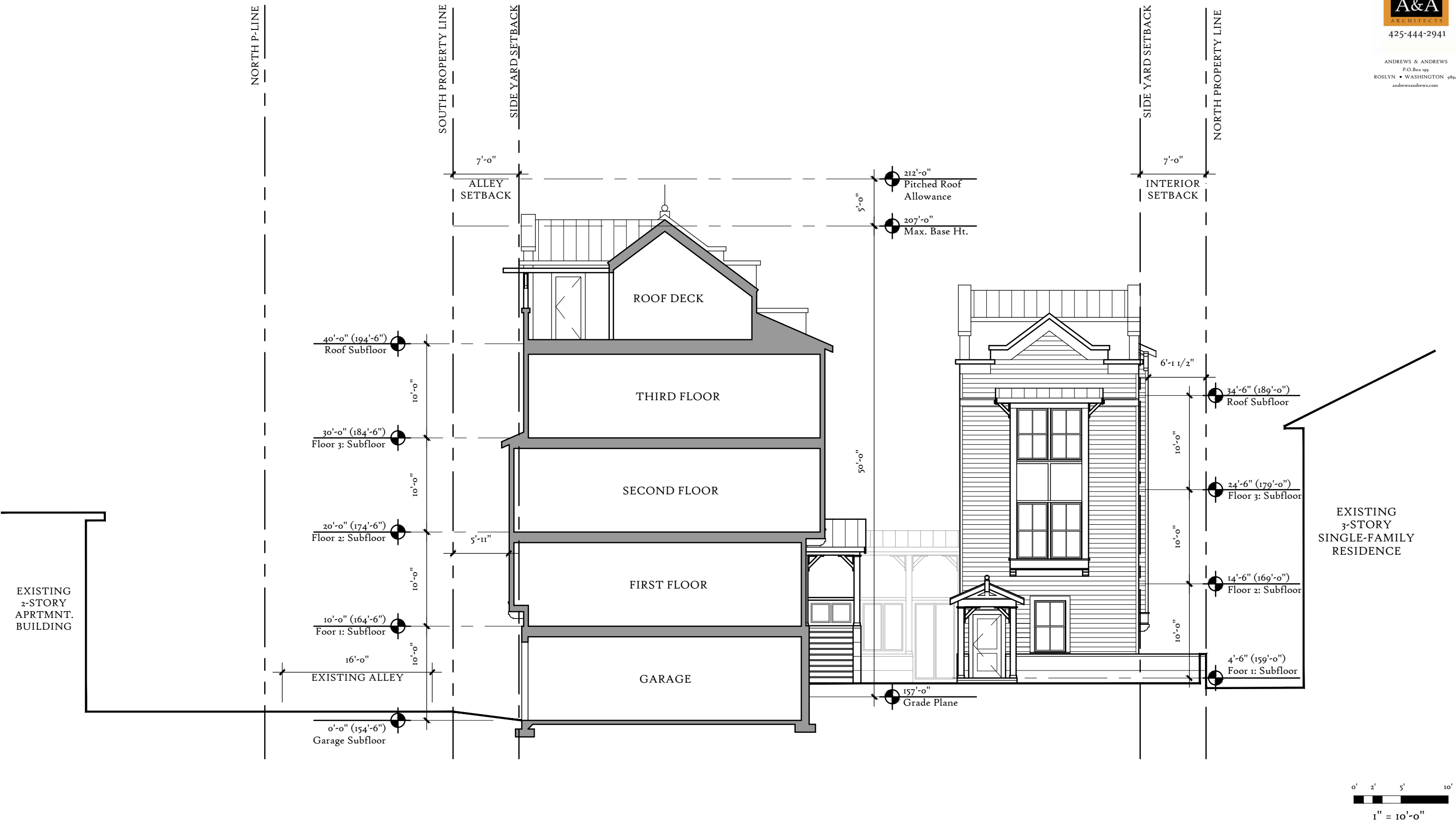


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DEVELOPMENT CONCEPT 3: BUILDING SECTION



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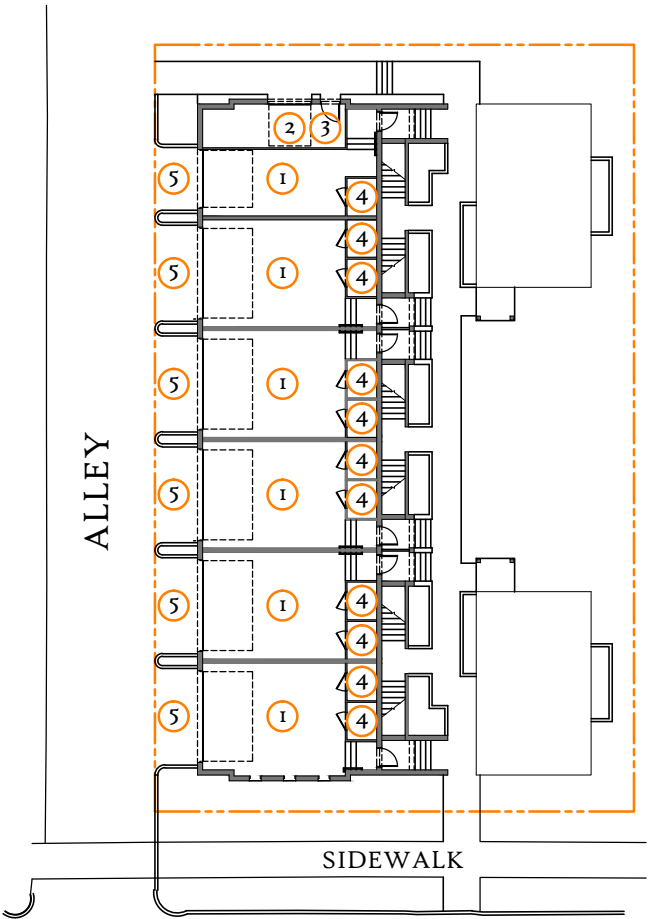


DEVELOPMENT CONCEPT 3

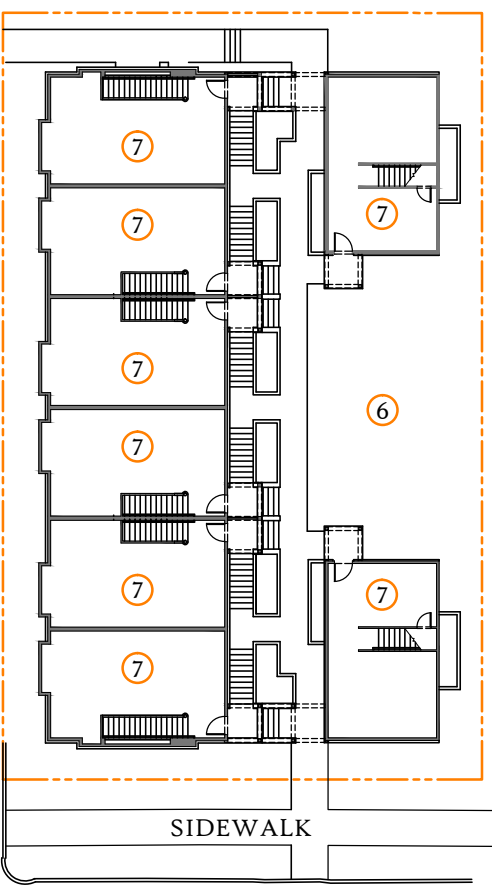


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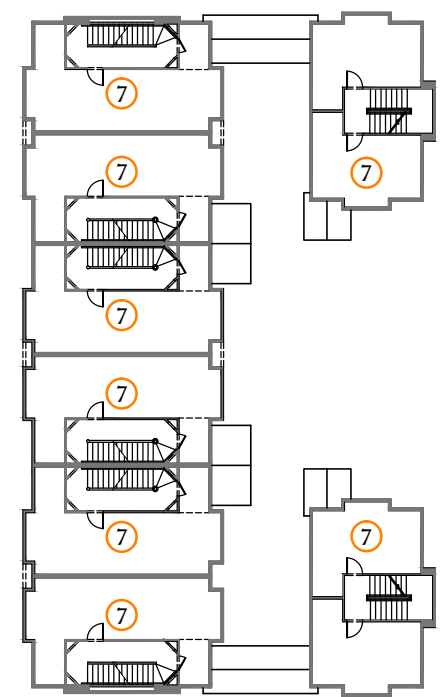
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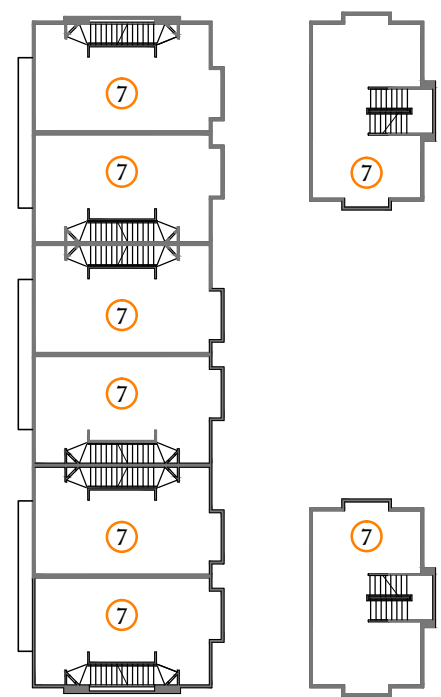
6TH AVE. N.  
GARAGE PLAN



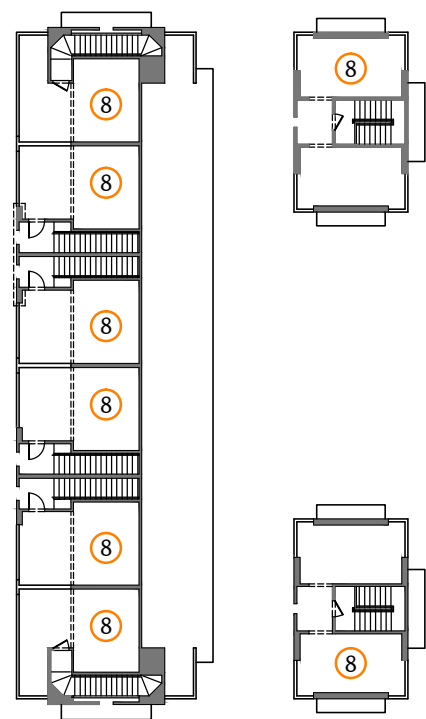
6TH AVE. N.  
FIRST FLOOR PLAN



2nd FLOOR PLAN



3rd FLOOR PLAN



ROOF PLAN

CONCEPT 3 DATA :

F.A.R.:	17,400 SF (22,526 Maximum) (Includes Garage Level)
Density:	8 Units (Unlimited Maximum)
Height:	46'-7" Base Height (50' Maximum) 51'-11" Overall Height (Use Pitched Roof Allowance) 51'-11" Stair Penthouse Height (Use 10' Allowance)
Parking:	11 Stalls
Bike Storage:	2 Spaces
Amenity Area:	3,703 SF Total (2,560 SF Min. Required) 1,649 SF Common Area @ Ground Floor (1,280 SF Min.)
Departures Requested:	16' Streetside Setback Over 44' Above Finished Grade

ADVANTAGES:

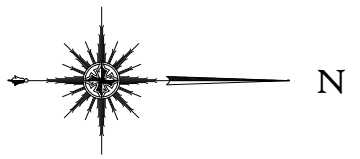
1. Smaller scale multiple buildings fit with single family residential neighborhood scale.
2. Parking @ alley grade reduces scale of excavation during construction.
3. Reduced unit count, fewer parking stalls reduce impact on neighborhood.
4. Smaller, lower structures to the north reduce impact on neighbors to the north.
5. Common Amenity Area to the north reduces mass of structure at the north property line.

DISADVANTAGES:

1. No direct street-level unit access provided.
2. Structure sits closer to condominium building to the west.

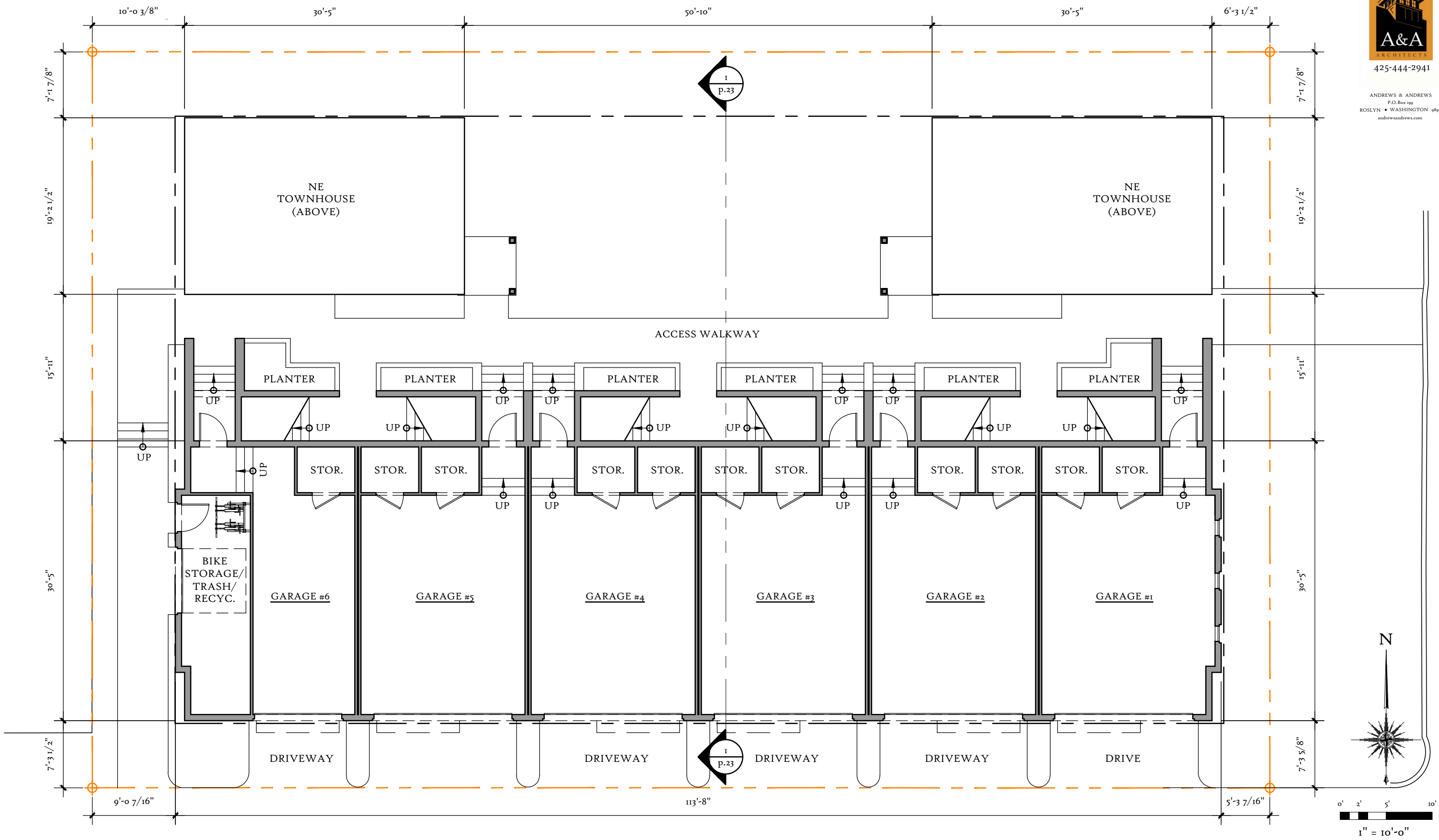
DRAWING KEY:

- ① GARAGE
- ② WASTE/RECYCLING AREA
- ③ BIKE RACK
- ④ STORAGE/MECHANICAL
- ⑤ DRIVEWAY
- ⑥ COMMON AMENITY AREA
- ⑦ UNIT
- ⑧ PRIVATE ROOF DECK





DEVELOPMENT CONCEPT 3: GARAGE FLOOR PLAN

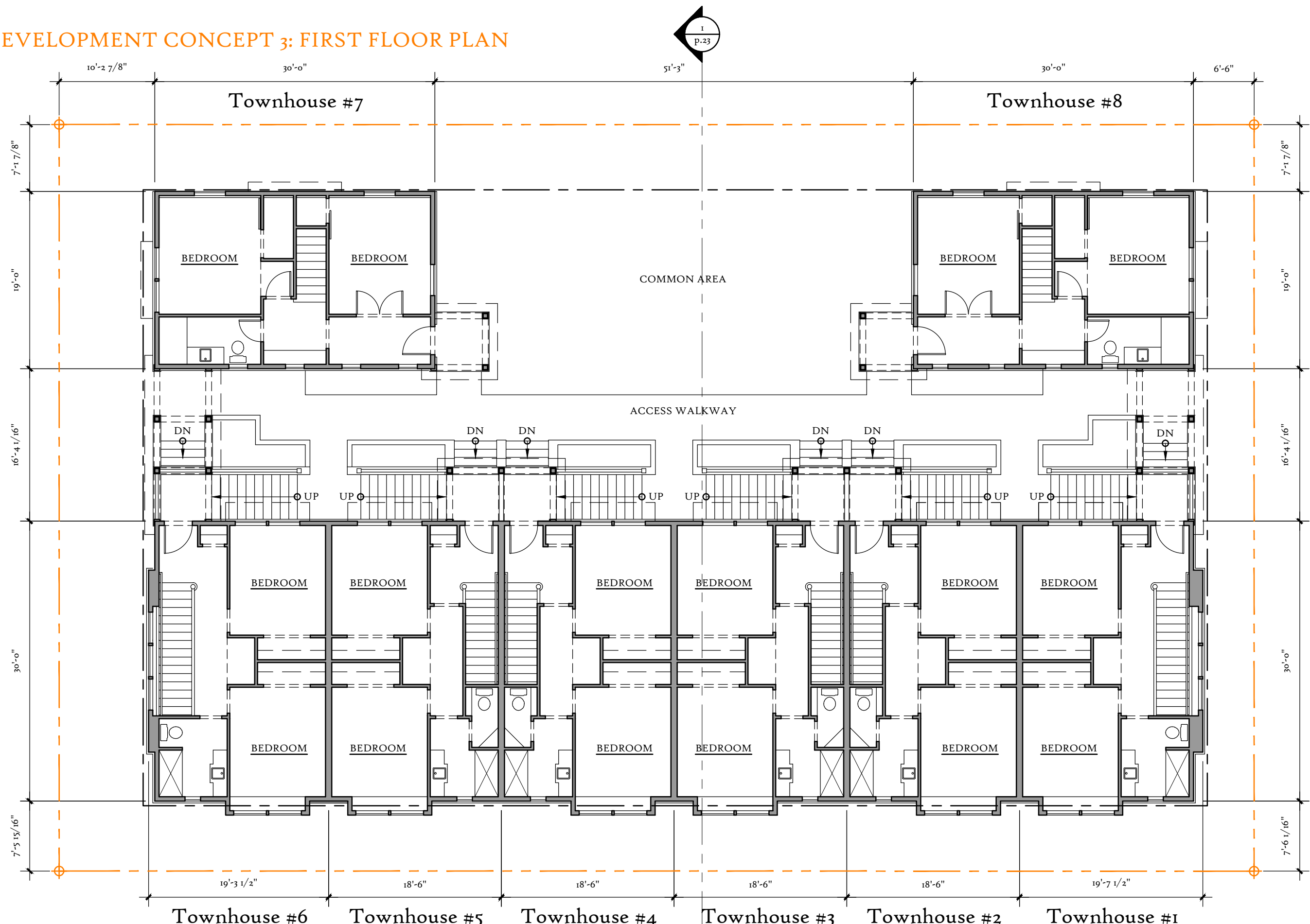


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DEVELOPMENT CONCEPT 3: FIRST FLOOR PLAN

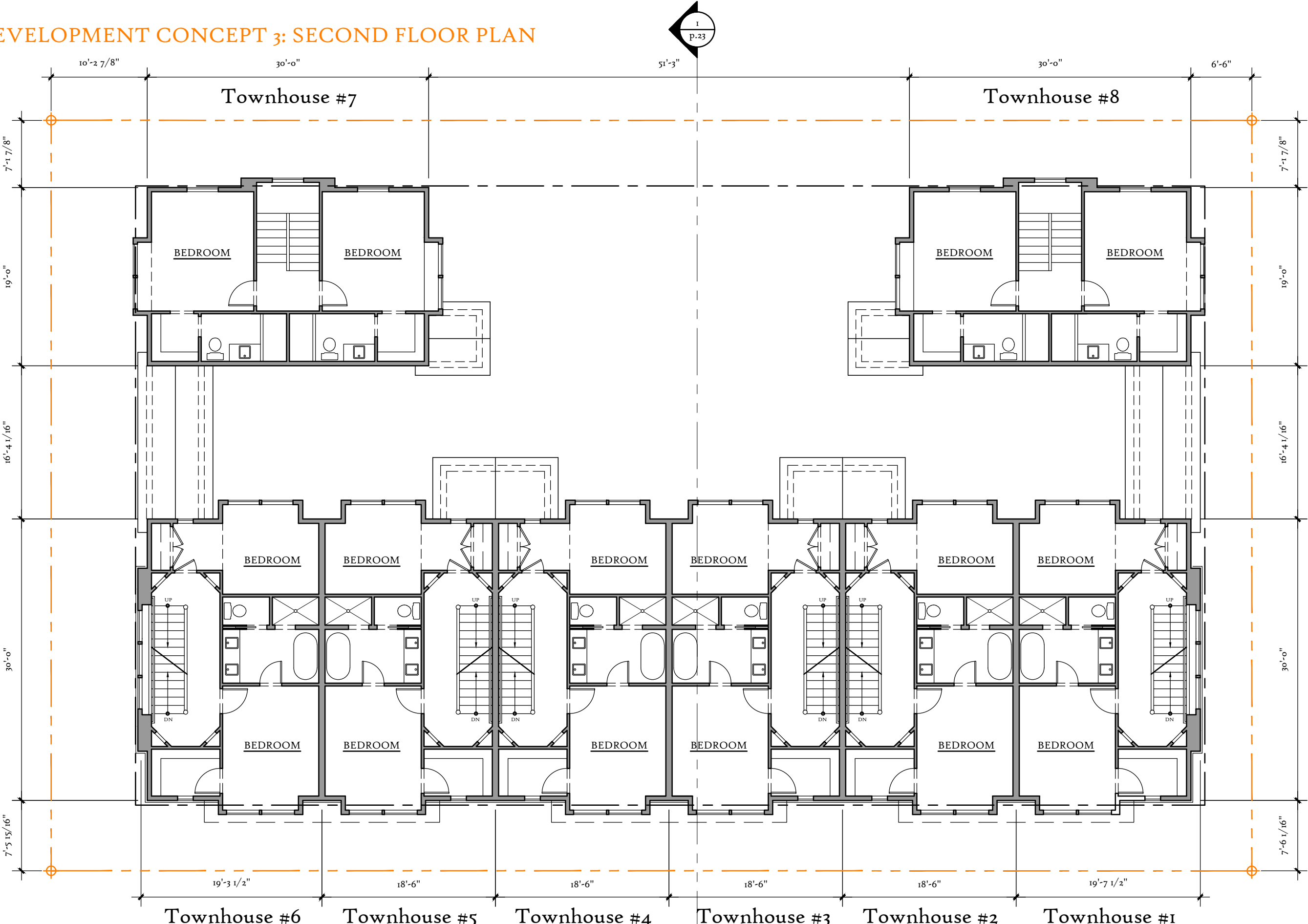


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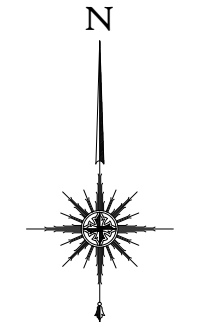


DEVELOPMENT CONCEPT 3: SECOND FLOOR PLAN



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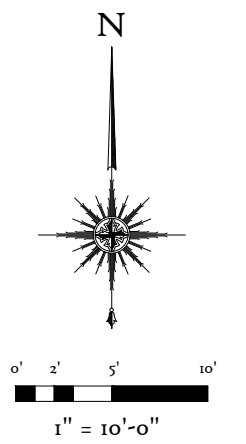
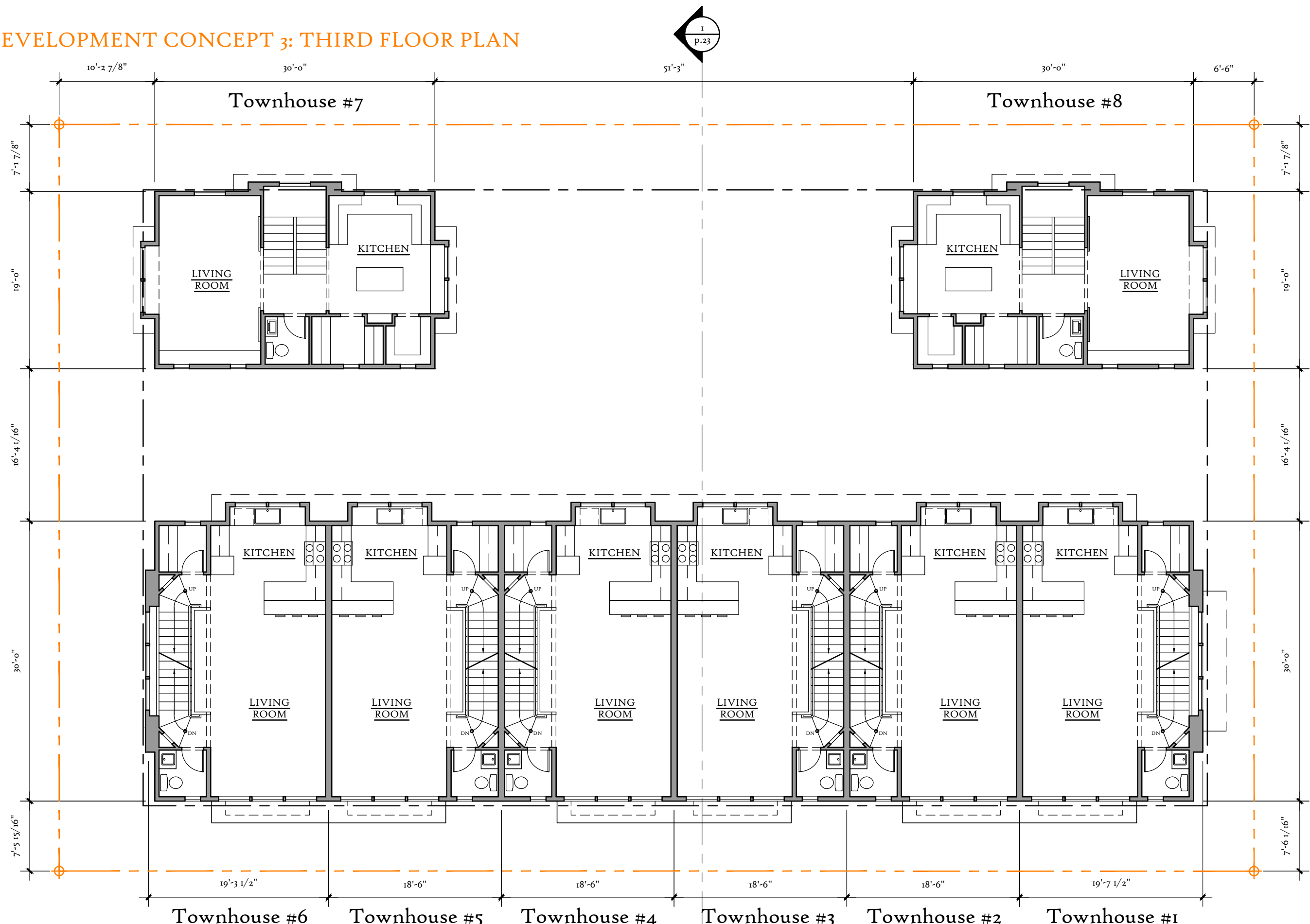
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0' 2' 5' 10'  
1" = 10'-0"

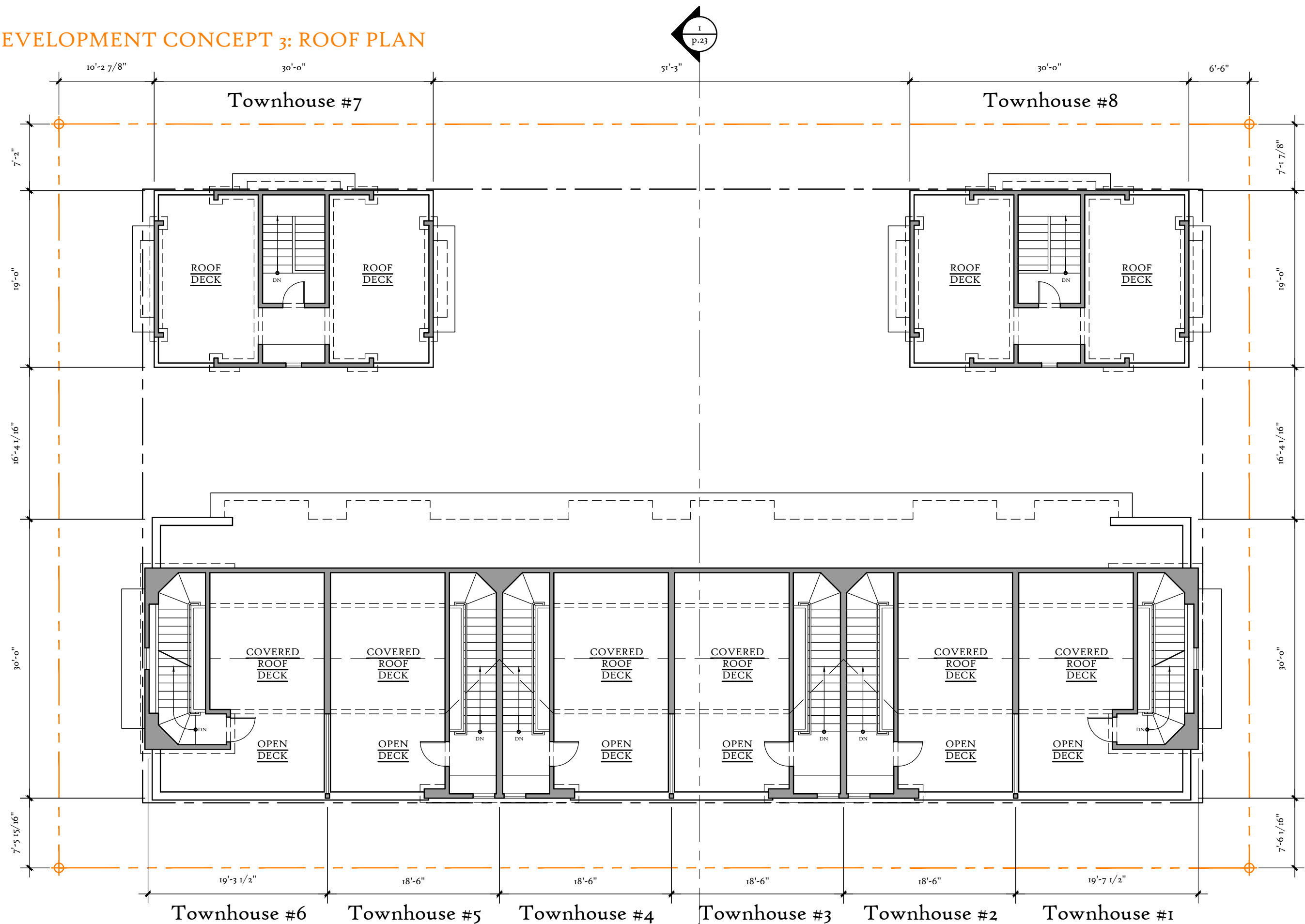


DEVELOPMENT CONCEPT 3: THIRD FLOOR PLAN





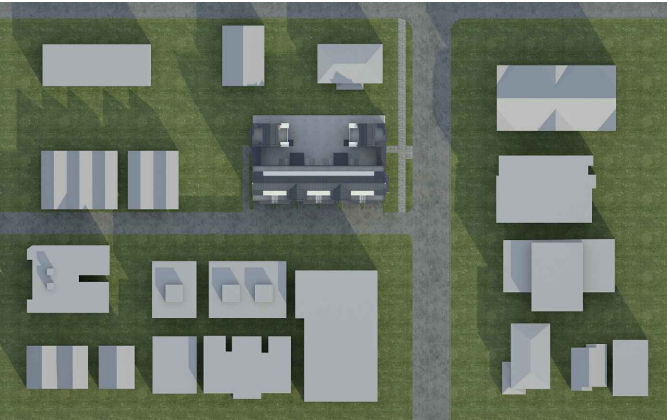
DEVELOPMENT CONCEPT 3: ROOF PLAN



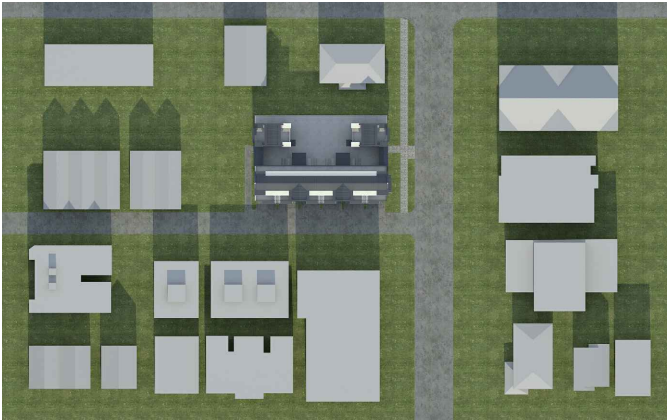
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ARCHITECTS  
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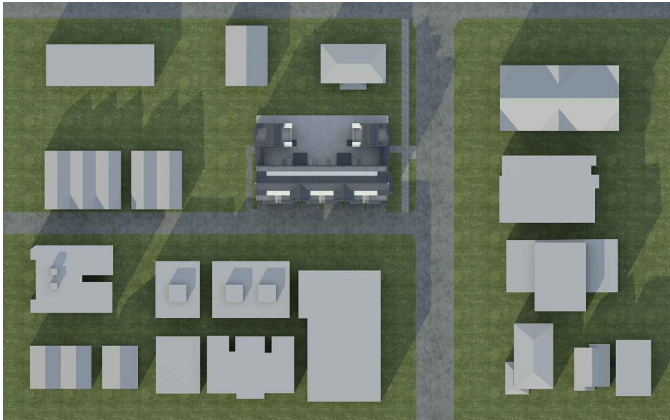
DEVELOPMENT CONCEPT 3:  
Shadow Studies



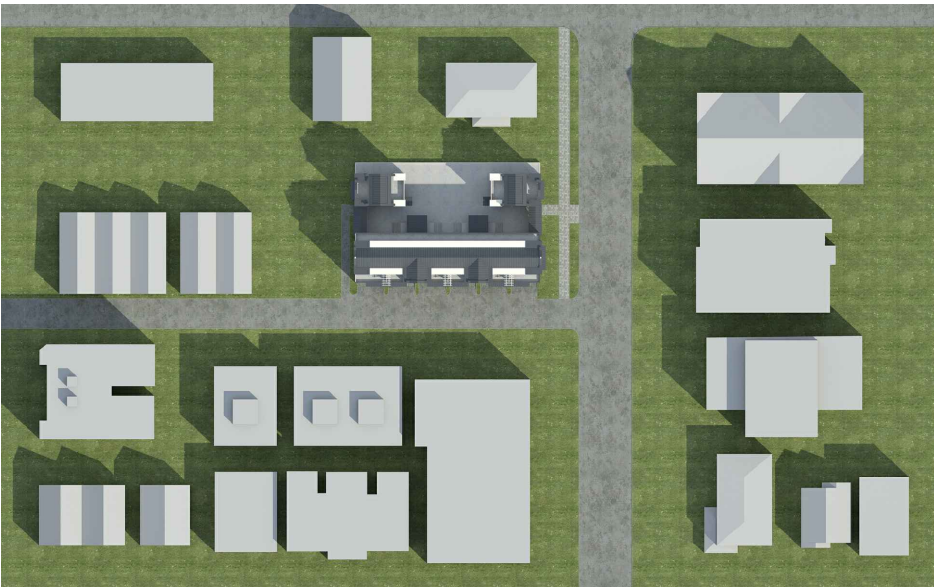
December 21, 10 AM



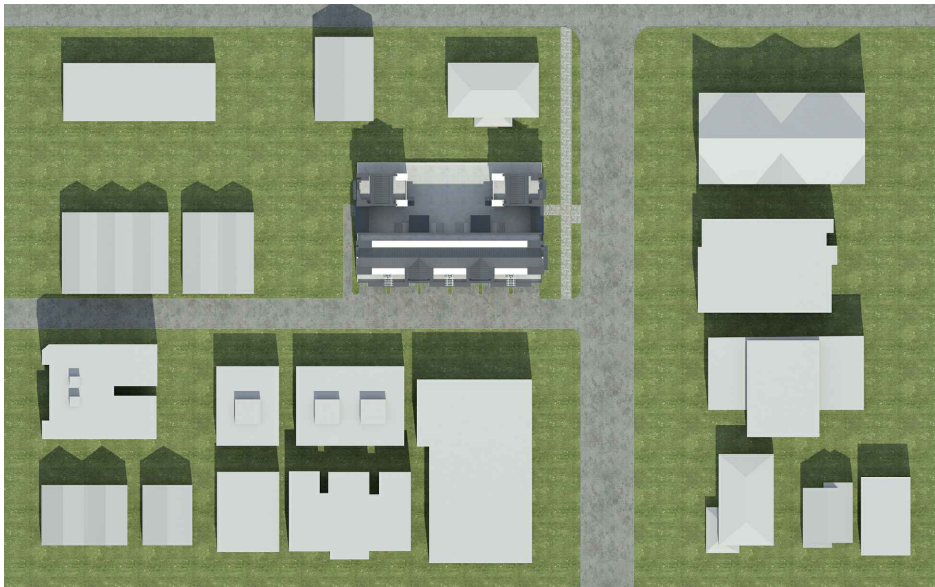
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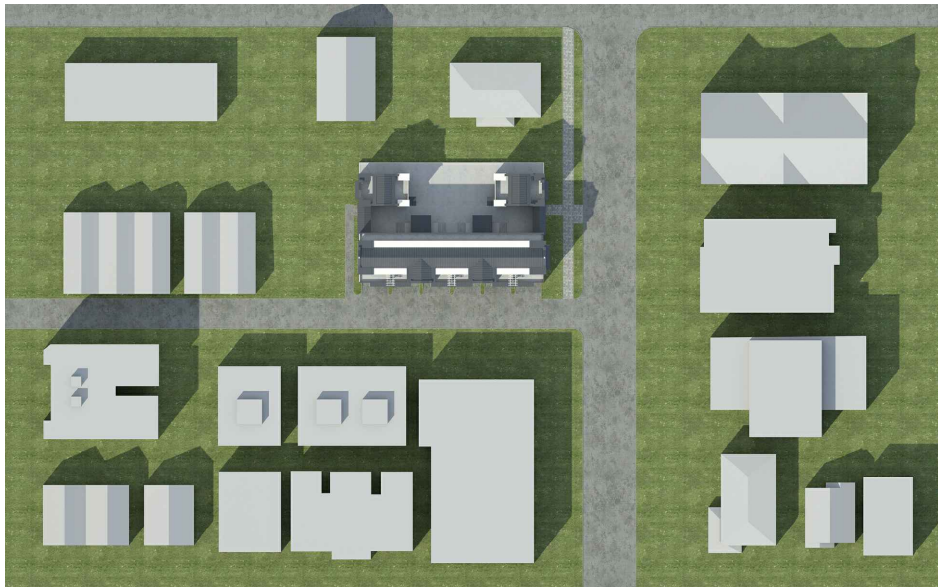
December 21, 2 PM



March/September 21, 10 AM



March/September 21, 12 PM



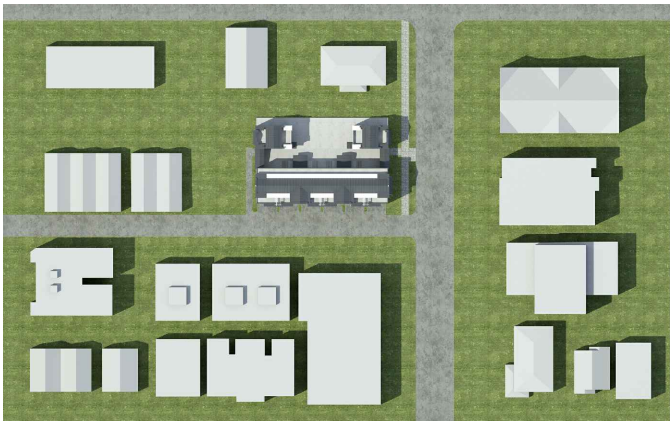
March/September 21, 2 PM



June 21, 10 AM



June 21, 12 PM



June 21, 2 PM



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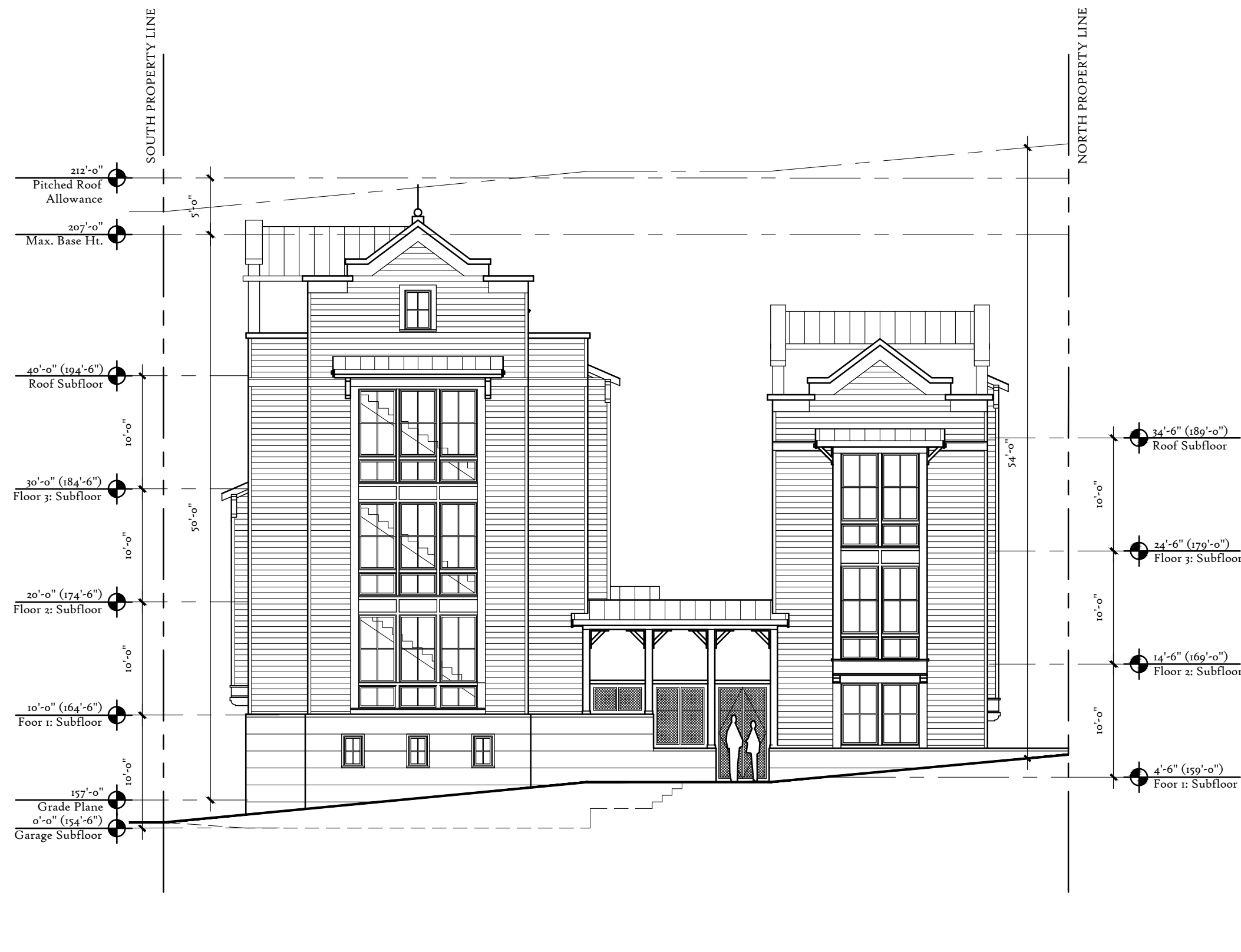
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DEVELOPMENT CONCEPT 3: EAST ELEVATION



  
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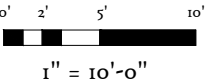


DEVELOPMENT CONCEPT 3: NORTH ELEVATION



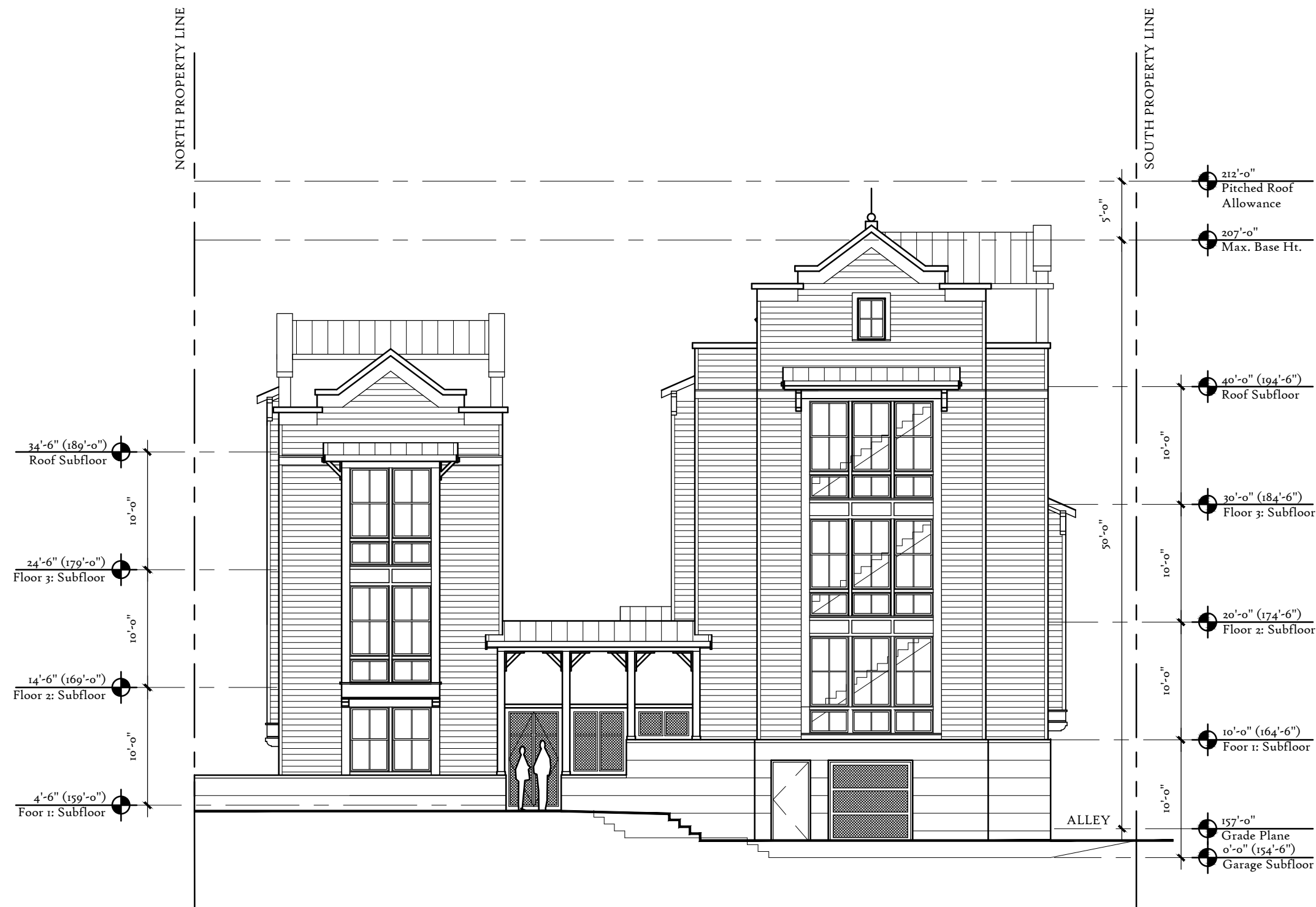
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DEVELOPMENT CONCEPT 3: WEST ELEVATION



DEVELOPMENT CONCEPT 3: SOUTH ELEVATION



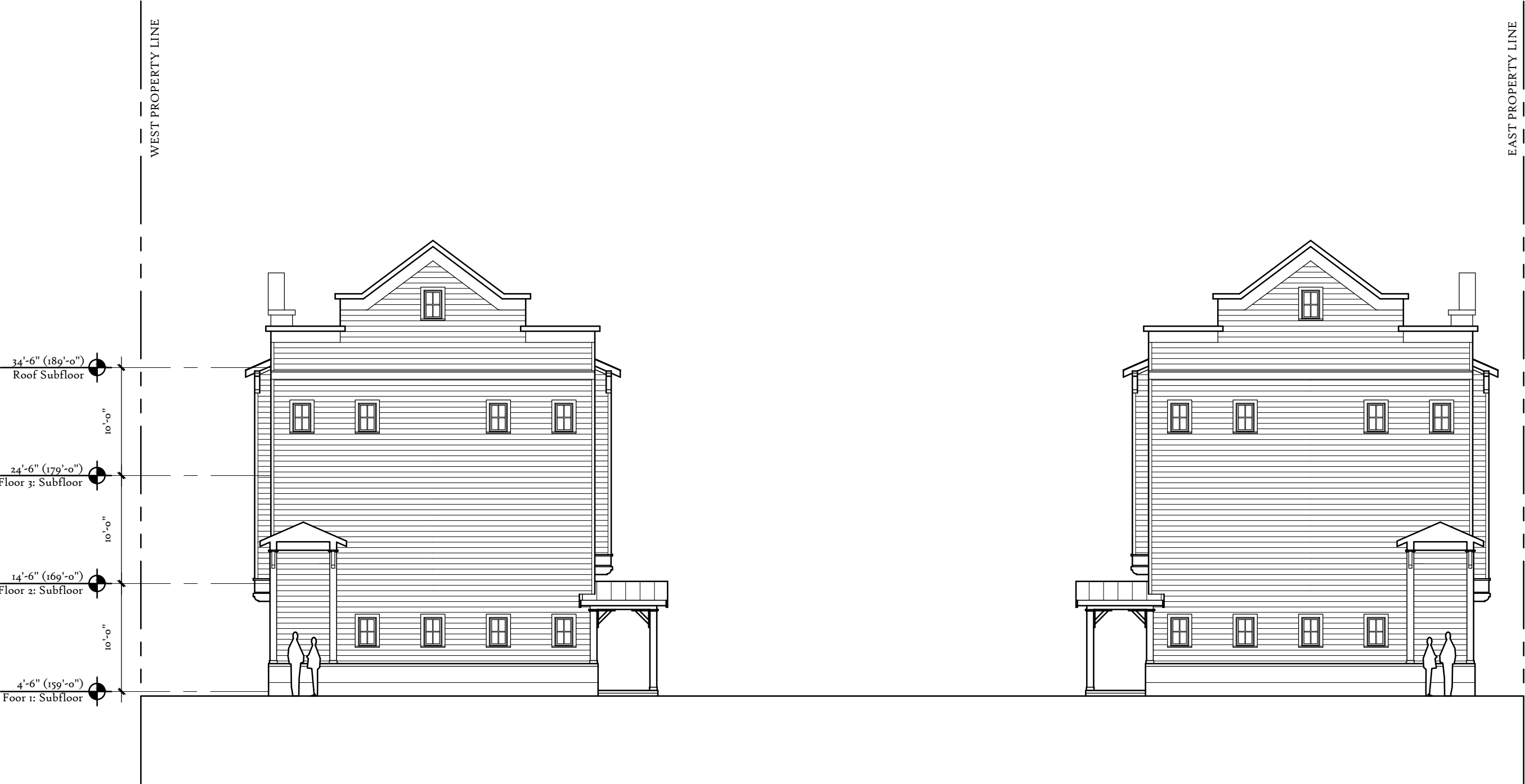
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DEVELOPMENT CONCEPT 3: SOUTH ELEVATION (North Buildings)





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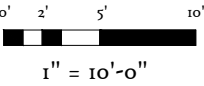
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DEVELOPMENT CONCEPT 3: NORTH ELEVATION (North Buildings)



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DEVELOPMENT CONCEPT COMPARISON

CONCEPT #1:



CONCEPT 2 DESCRIPTION:

A 19-unit, 4-story, flat roofed apartment building with stepped parapet and cornice, over a 19-stall underground parking garage. Common Amenity Areas are provided in the northwest corner at ground level, and on an accessible central flat roof deck.

OPPORTUNITIES:

- More Parking Stalls than other Concepts.
- Greater overall Common Amenity Area than other Concepts.
- More south facing units/private decks t, with fewer north-facing units
- All ground-level units have direct access to finished grade.
- Asymmetrical street facade provides visual interest.
- Better direct access to ground level Amenity Area.

CONSTRAINTS:

- Fewer corner units with double exposure.
- Reduced ground-level Common Areas and planting area.

CONCEPT #2:



CONCEPT 2 DESCRIPTION:

A 19-unit, 4-story, symmetrical apartment building with multiple-gabled roof system, over a 16-stall underground parking garage. Common Amenity Areas are provided in the northwest corner at ground level, and on an accessible central flat roof deck.

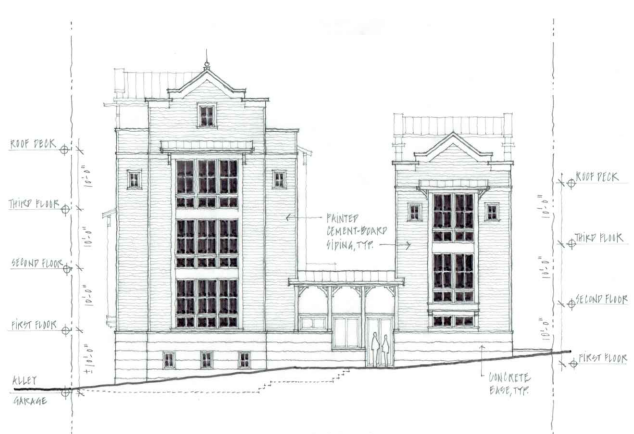
OPPORTUNITIES:

- Forms and materials balance single family residential neighborhood informality with older classical formality.
- Horizontal material divisions help reduce perceived building height.
- Provides more parking stalls, more south-facing units than Concept 1.
- Layout maximizes corner units with windows on two sides.
- Allows for Common Amenity Area on the roof.

CONSTRAINTS:

- No direct street-level unit access provided.
- Full 4-story street facade is largest proposed building mass at 6th Ave. North.

CONCEPT #3 (PREFERRED):



CONCEPT DESCRIPTION:

A 6-unit, 3-story townhouse building with parking below, and (2) 3-story, stand-alone townhouse buildings, all connected by a central east/west access walkway. Common Amenity Area is provided between the buildings on the north side.

OPPORTUNITIES:

- Smaller scale multiple buildings fit with single family residential neighborhood scale.
- Parking @ alley grade reduces scale of excavation during construction.
- Reduced unit count, fewer parking stalls reduce impact on neighborhood.
- Smaller, lower structures to the north reduce impact on neighbors to the north.
- Common Amenity Area to the north reduces mass of structure at the north property line.

CONSTRAINTS:

- No direct street-level unit access provided.
- Structure sits closer to condominium building to the west.



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MATERIAL & COLOR PALETTE



MATERIAL & COLOR PALETTE BOARD

ITEM:	PRODUCT:	COLOR/STYLE:
1	SIDING 1: Hardie-Lap Cement Board Siding (6" Reveal)	Sherwin Williams "Fleur de Sel"
2	SIDING 2: Hardie-Lap Cement Board Siding (6" Reveal)	Sherwin Williams "Hale Navy"
3	TRIM: Painted Cedar (1 x 6 Typical)	Sherwin Williams "Dover White"
4	WINDOWS: Andersen 100 Series	Black
5	GATE/RAIL: Banker Wire Woven Steel Mesh w/ U-Edge Frame; Rectangular Handrail	Black Powder Coated
6	CONCRETE BASE: Poured-In-Place Concrete w/1-1/2" Horizontal Channels @ 18" O.C.	Natural Grey
7	ROOFING: Standing Seam Metal Roof	Charcoal Grey



WINDOW STUDY



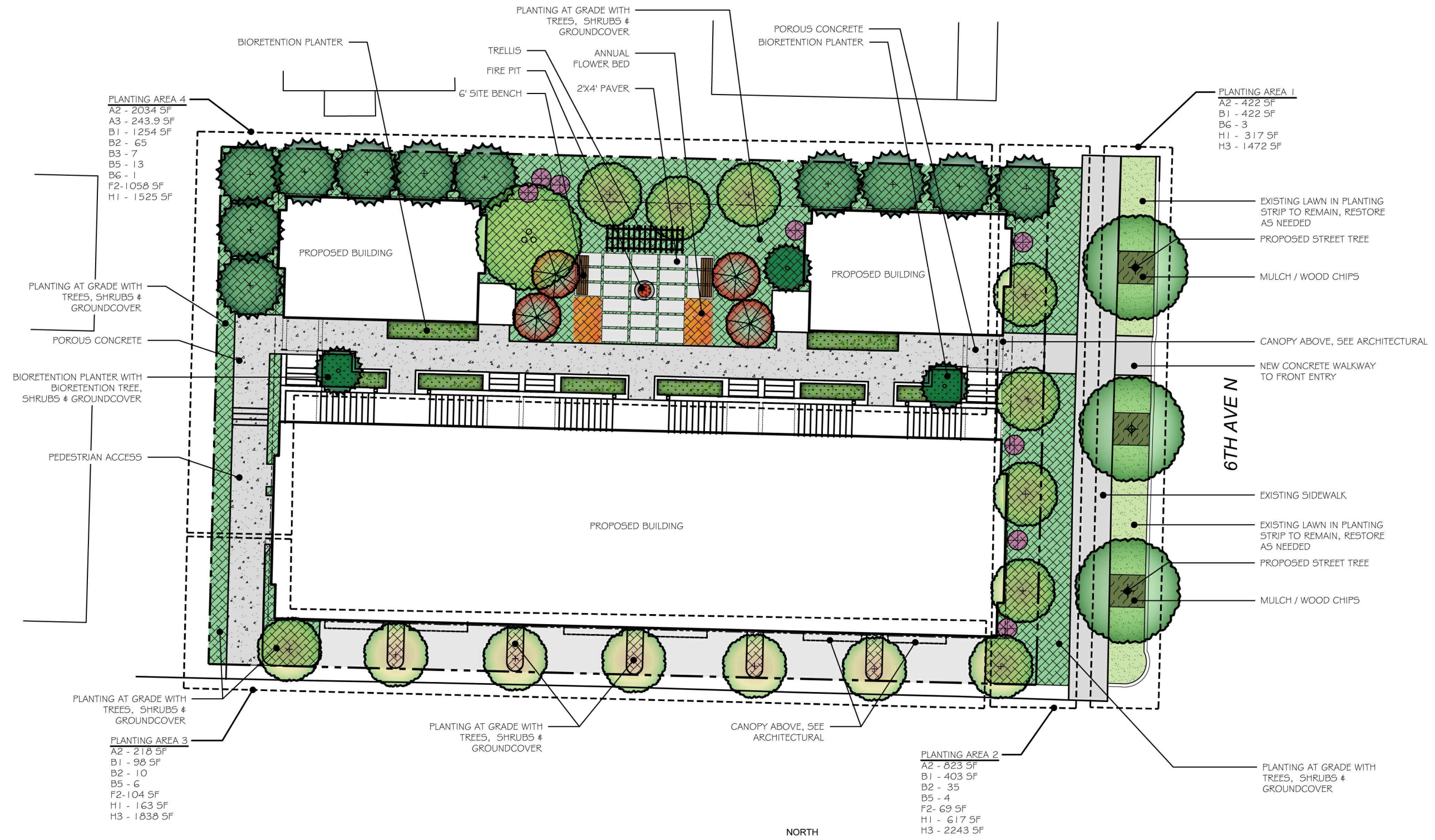
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SCHEMATIC LANDSCAPE PLAN

1 SCHEMATIC LANDSCAPE PLAN  
1/16"=1'-0"



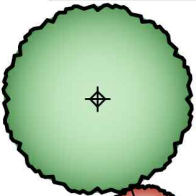

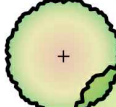
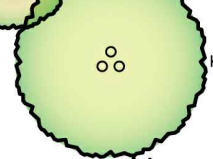




- GENERAL NOTES**
1. SEE FOLLOWING SHEET SERIES FOR PLANTING SCHEDULE, GREEN FACTOR DOCUMENTS, NOTES AND DETAILS.
  2. ALL PLANTING IN PUBLIC R.O.W. SHALL BE PER CITY OF SEATTLE STANDARD PLANS AND SPECIFICATIONS.
  3. ALL PLANTING AREAS TO RECEIVE IRRIGATION SYSTEM THAT INCLUDES TRADITIONAL IRRIGATION HEADS AND/OR DRIP IRRIGATION, SLEEVIING, LATERALS, CONTROL VALVES, GATE VALVES AND QUICK COUPLERS.
  4. MASTER CONTROLLER TO BE LOCATED IN BUILDING DURING CONSTRUCTION DOCUMENT PHASE.

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PLANTING SCHEDULE

Planting Schedule			
Symbol	Qty	Type	Size/Comments
		<b>STREET TREES</b>	
		Styrax japonicus / Japanese Snowbell	2 ½" cal., B&B
  		<b>DECIDUOUS TREES</b>	
		Acer palmatum 'Bloodgood' / Japanese Maple	1" cal., B&B
		Cornus alternifolia / Pagoda Dogwood	1" cal., B&B
		Koelreuteria paniculata / Goldenrain Tree	1" cal., B&B
 		<b>CONIFEROUS TREES</b>	
		Abies concolor / White Fir	5' min. ht., B&B
		Pinus contorta / Shore Pine	5' min. ht., B&B
		<b>BIORETENTION</b>	
		Blechnum spicant / Deer Fern	18" min. ht., see plans
		Carex obnupta / Slough Sedge	1 gal @ 12" O.C.
		<b>SHRUBS &amp; GROUNDCOVER</b>	
		Arctostaphylos uva-ursi / Kinnikinnick	1 gal @ 12" O.C.
		Blechnum spicant / Deer Fern	18" min. ht., see plans
		Cornus sericea 'Kelsey' / Kelsey Dogwood	18" min. ht., see plans
		Hydrangea macrophylla / Bigleaf Hydrangea	24" min. ht., see plans
		Ilex crenata 'Sky Pencil' / Japanese Holly	4' min. ht., see plans
		Lavandula angustifolia / English lavender	12" min. ht., see plans
		Spiraea japonica 'Goldflame' / Goldflame Spirea	18" min. ht., see plans
		Vinca minor / Dwarf Periwinkle	1 gal @ 12" O.C.
		Viburnum davidii / David's Viburnum	18" min. ht., see plans

Site Elements



Trellis



Site Bench



2x4 Paver



Fire pit



Porous Concrete



Mulch / Wood chips

PLANTING NOTES:

- ALL PLANTING AREAS ON THE GROUND-PLANE (ALL R.O.W., PLANTERS, ETC.) SHALL HAVE A TRADITIONAL IRRIGATION SYSTEM TO BE INTEGRATED WITH A CONTROLLER. RAIN SENSORS AND OTHER EQUIPMENT WILL BE INCORPORATED INTO DESIGN TO MAXIMIZE EFFICIENCY AND LOWER OVERALL MAINTENANCE.
- ALL INDEPENDENT RAISED PLANTERS SHALL HAVE DRIP IRRIGATION AND INTEGRATED WITH RESPECTIVE CONTROLLER.
- NO PLANTS TO BE INSTALLED WITHIN 2' DIA. OF PROPOSED STREET TREES.
- ALL SHRUBS AND GROUNDCOVERS TO BE LAYED OUT IN FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANT TREES IN R.O.W. PER COS STANDARD PLAN 100A.
- AMENDED SOILS IN PLANTER STRIP PER COS STANDARD PLAN 142.
- SEE CIVIL SHEETS FOR PROPOSED GRADING, STREET PROFILES AND UTILITY LOCATIONS.



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GREEN FACTOR CALCULATIONS

Revised 12/28/10

SEATTLEgreen factor

Project title: 6TH AVE TOWNHOMES

enter sq ft of parcel

Parcel size (enter this value first) \*

10,239

SCORE

0.723

Landscape Elements**		Totals from GF worksheet		Factor	Total
<b>A Landscaped areas (select one of the following for each area)</b>					
1	Landscaped areas with a soil depth of less than 24"	enter sq ft	0	0.1	-
2	Landscaped areas with a soil depth of 24" or greater	enter sq ft	3496	0.6	2,097.6
3	Bioretention facilities	enter sq ft	243.9	1.0	243.9
<b>B Plantings (credit for plants in landscaped areas from Section A)</b>					
1	Mulch, ground covers, or other plants less than 2' tall at maturity	enter sq ft	2176	0.1	218
2	Shrubs or perennials 2'+ at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants	1101320	0.3	396
3	Tree canopy for "small trees" or equivalent (canopy spread 8' to 15') - calculated at 75 sq ft per tree	enter number of plants	7525	0.3	158
4	Tree canopy for "small/medium trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	enter number of plants	00	0.3	-
5	Tree canopy for "medium/large trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	enter number of plants	235750	0.4	2,300.0
6	Tree canopy for "large trees" or equivalent (canopy spread of 26' to 30') - calculated at 350 sq ft per tree	enter number of plants	41400	0.4	560.0
7	Tree canopy for preservation of large existing trees with trunks 6"+ in diameter - calculated at 20 sq ft per inch diameter	enter inches DBH	00	0.8	-
<b>C Green roofs</b>					
1	Over at least 2" and less than 4" of growth medium	enter sq ft	0	0.4	-
2	Over at least 4" of growth medium	enter sq ft	0	0.7	-
<b>D Vegetated walls</b>					
		enter sq ft	0	0.7	-
<b>E Approved water features</b>					
		enter sq ft	0	0.7	-
<b>F Permeable paving</b>					
1	Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft	0	0.2	-
2	Permeable paving over at least 24" of soil or gravel	enter sq ft	1231	0.5	615.5
<b>G Structural soil systems</b>					
		enter sq ft	0	0.2	-
		sub-total of sq ft =		16,142	
<b>H Bonuses</b>					
1	Drought-tolerant or native plant species	enter sq ft	2622	0.1	262.2
2	Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	enter sq ft		0.2	-
3	Landscaping visible to passersby from adjacent public right of way or public open spaces	enter sq ft	5552	0.1	555
4	Landscaping in food cultivation	enter sq ft	0	0.1	-
		Green Factor numerator =		7,406	

\* Do not count public rights-of-way in parcel size calculation.

\*\* You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR 6-2009)

Revised 4/8/09

SEATTLEgreen factor

		Planting Area						
6TH AVE TOWNHOMES		1	2	3	4			TOTAL**
A1	square feet							0
A2	square feet	422	823	218	2034			3496
A3	square feet				243.9			243.9
B1	square feet	422	403	98	1254			2176
B2	# of plants		35	10	65			110
B3	# of trees				7			7
B4	# of trees							0
B5	# of trees		4	6	13			23
B6	# of trees	3			1			4
B7	# of trees							0
C1	square feet							0
C2	square feet							0
D	square feet							0
E	square feet							0
F1	square feet							0
F2	square feet		69	104	1058			1231
G	square feet							0
H1	square feet	317	617	163	1525			2622
H2	square feet							0
H3	square feet	1472	2243	1838				5552
H4	square feet							0

\* See Green Factor score sheet for category definitions  
\*\* Enter totals on the Green Factor score sheet



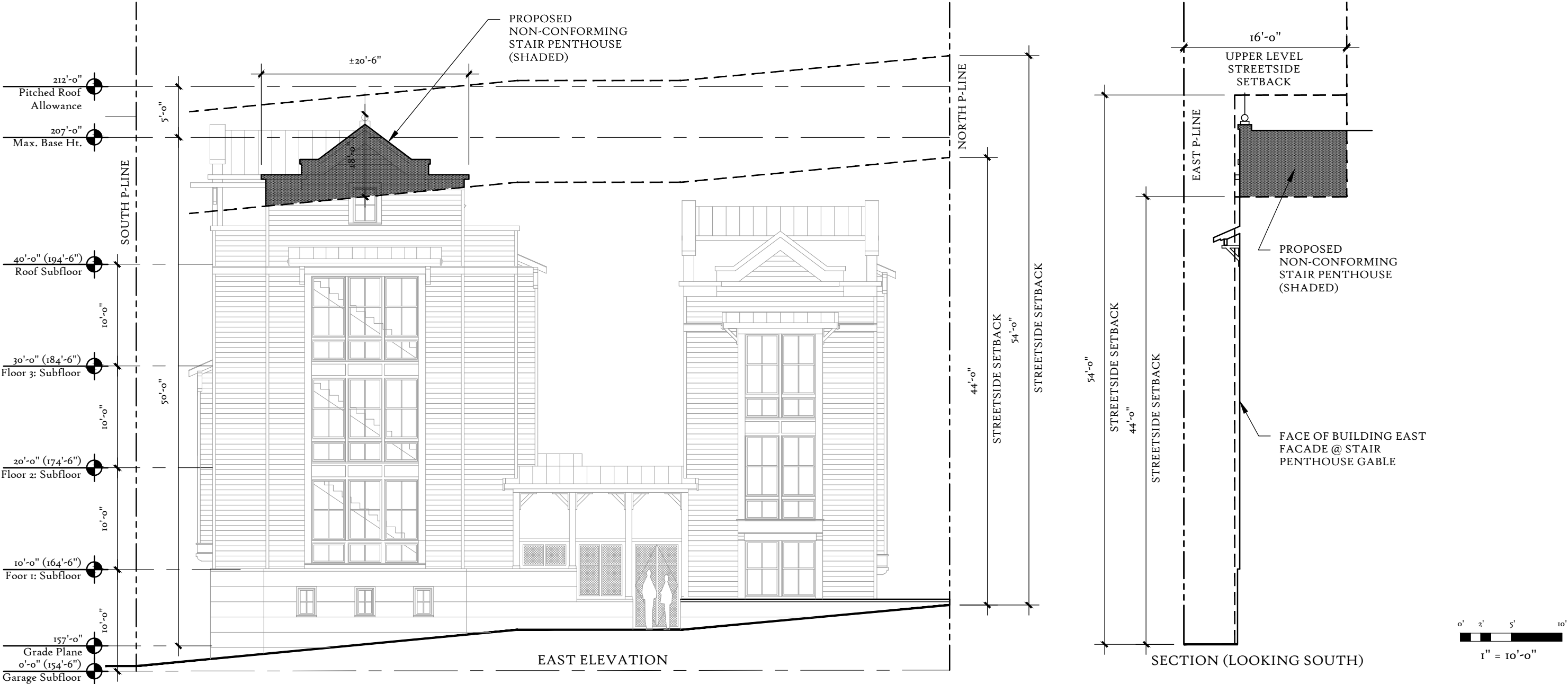
425-444-2941

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CODE DEPARTURE (CONCEPT #3)

DEPARTURE DESCRIPTION:	CODE REQUIREMENT (SMC <sub>23.45.518.L.2, 4</sub> ):	PROPOSED DEPARTURE:	RATIONALE:
TO ALLOW THE EAST UPPER LEVEL STAIR PENTHOUSE/PARAPET TO ENCROACH INTO THE REQUIRED STREETSIDE SETBACK.	In LR zones, a minimum upper-level setback from all street lot lines is required in addition to any required ground-level setback, as follows: For structures with a 40 foot height limit, the upper-level setback requirement is 16 feet above a height of 44 feet. The minimum upper-level setback shall be provided at all points along the length of the street property line as measured from finished grade. Open railings, and parapets that are predominantly transparent above a height of 1.5 feet, may be located in the required upper-level setback.	Allow the Stair Penthouse gable to continue unbroken, thereby encroaching into a required upper level streetside setback approximately 8' high and 20'-6" wide.	<p>A. The code specifically requires upper level streetside setbacks for properties with 30' and 40' base heights, but does not specify any such restriction for sites with 50' base height. Using the same formula to establish the height at which the setback begins at the 30' and 40' zones (adding 4' to the base height), the upper level setback for a 50' base height would begin at 54'. The proposed design would fully comply with this interpretation of the code.</p> <p>B. Because the upper level setback is only required on the east side, and because the proposed area of departure is for the southern building, this departure will not adversely affect available light to neighboring properties.</p>



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COMMUNITY OUTREACH



ANDREWS & ANDREWS

Early Outreach  
#3032240-EG

Date: 8/20/2018

The following documents the Early Outreach efforts by Andrews & Andrews Architects. The Outreach Plan and supporting documents were approved by Danielle Friedman on July 27<sup>th</sup>, 2018.

In Person Outreach: Multi-Pronged

1) Door to Door Canvassing – On July 30<sup>th</sup> a flyer was handed out to each address within a 500sf radius of the proposed building site.

2) Drop-in Hours – On August 17<sup>th</sup> the architect was on site at the Queen Anne Community Center\* to give out information, take comments and answer questions. Four people attended, but all declined to leave their information on the sign-in sheet. Two of the people were there as prospective buyers/tenants, and two people looked through the information, asked questions but had no specific comment.

Printed Outreach: Multi-Pronged

- 1) An ad was placed in The Queen Anne News. It ran on 8/1, 8/8, 8/15
- 2) A sign was placed at the property.

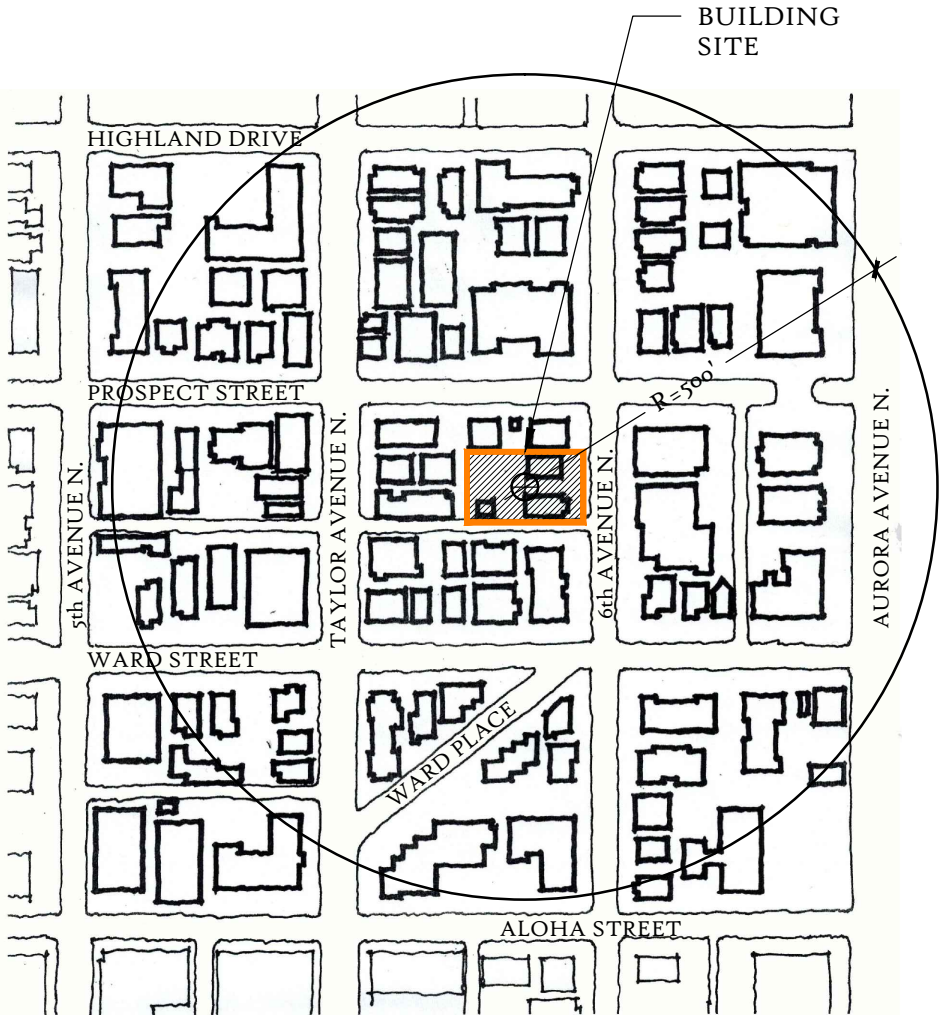
Digital Outreach: High Impact

Project Hotline was opened on July 27<sup>th</sup>

Early Outreach – Community Feedback

*I believe the light amount of comments during this round of Early Design Guidance is related to neighborhood fatigue. This site has been in some form of building permit process for over two years and has been through two public Design Review Meetings.- Jen Andrews, A&A Architects*

During this round (from July 27-Aug. 17) we received very little feedback. All the feedback we did receive was directly related to whether or not we are providing parking. When we showed them the floorplan of 8 townhomes and 11 parking spaces, all those who engaged us expressed relief.



PROPOSED:  
6th Avenue Townhomes



1017 6th Avenue North  
SDCI Project #3032240-EG

PROJECT DESCRIPTION:

Our project proposes eight three-story townhomes with private roof decks, and 11 ground-level secure parking spaces along the alley to the south.

WE WELCOME YOUR COMMENTS:

Please contact Jason Andrews at [6thAveTownhomes@gmail.com](mailto:6thAveTownhomes@gmail.com)

FOR MORE INFORMATION :

- \* Drop by our OPEN HOUSE: August 17  
6 PM - 8 PM  
Queen Anne Community Center
- \* Call our HOTLINE #: (206) 531-0250
- \* Visit the SEATTLE SERVICES PORTAL: <https://cosaccela.seattle.gov/portal>
- \* NOTICE: any information collected during the comment period may be made public.

OUTREACH STRATEGY

CONTACT AREA MAP

POSTER/FLYER