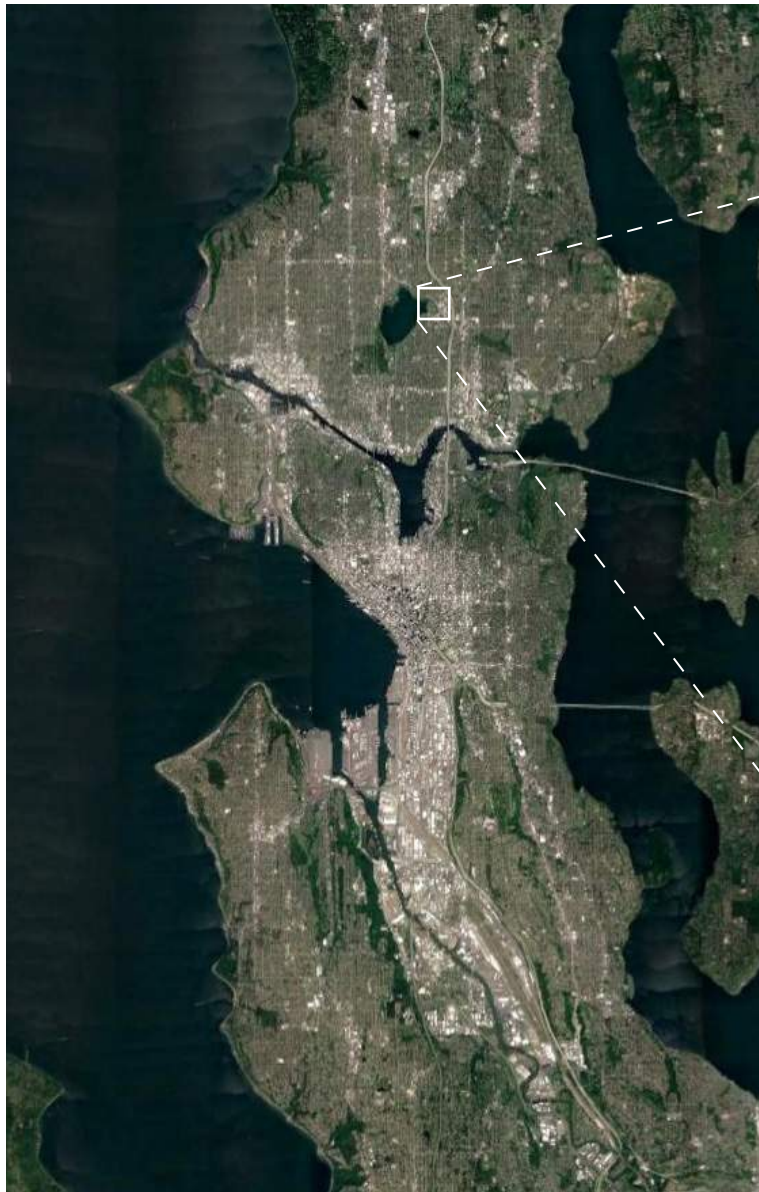


444 NE RAVENNA BLVD

Early Design Guidance
 SEPTEMBER 24, 2018
 SDCI Project #3032229-EG

APPLICANT TEAM:
 Owner: Flatiron Properties
 Architect: Johnston Architects LLC
 Landscape: Karen Kiest Landscape Architects

GREEN LAKE



PARCEL:
9528103705

ADDRESS:
444 NE RAVENNA BLVD

SITE AREA:
18,000 sf (approximately 200' deep x 90' wide)

ZONING:
Currently zoned as NC2-40; but HALA upzone to NC2-75 (M1) is proposed, anticipated passage 2018 (Green Lake Residential Urban Village)

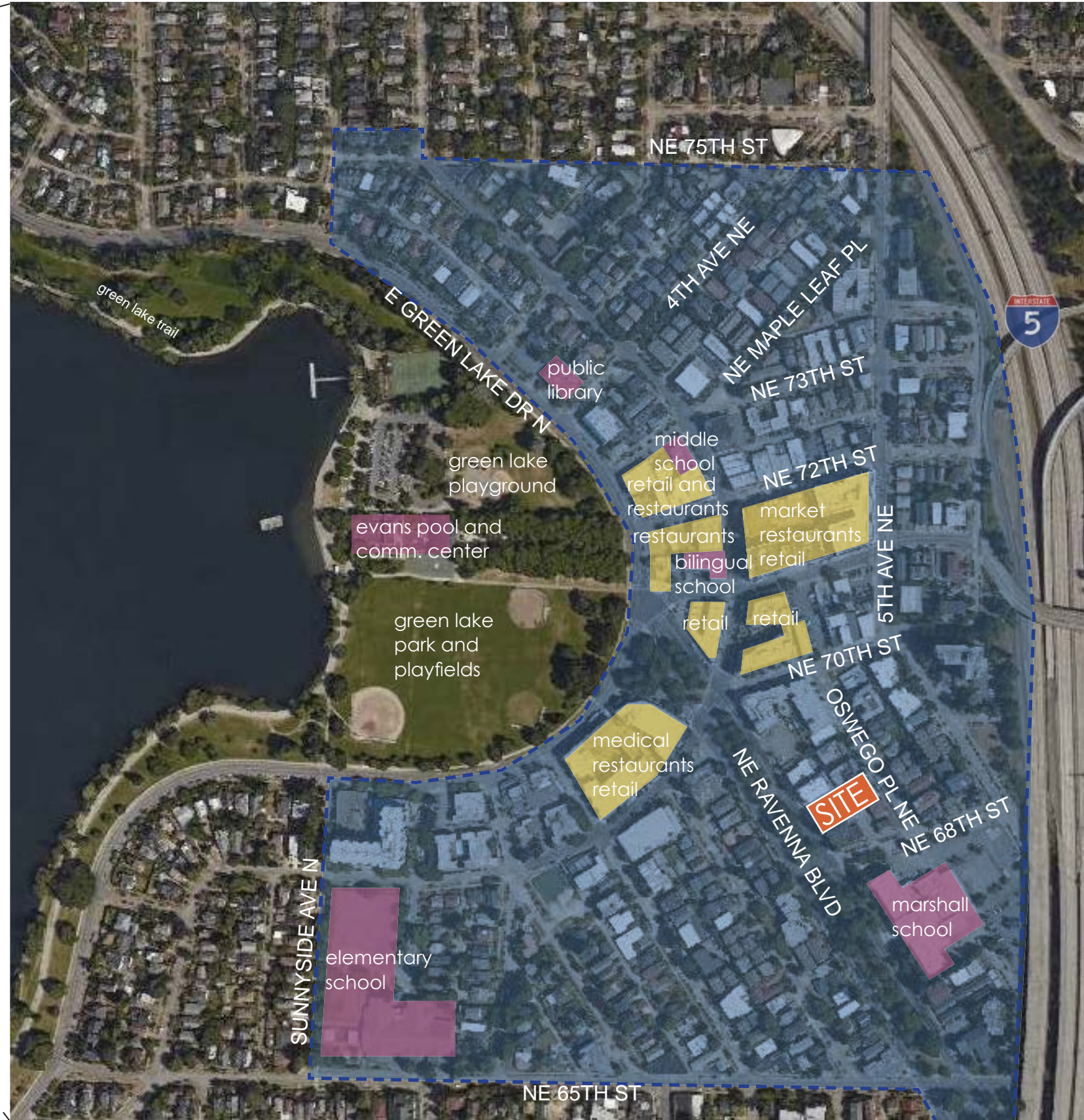
PROJECT DESCRIPTION:

Proposal for new 7-story mixed use building with 1 level of sub-surface parking. Development objective is 116 units.

- NUMBER RESIDENTIAL UNITS: 116
- TOTAL COMMERCIAL: 2,075 SF
- VEHICLE PARKING: 24 SPACES
- BICYCLE PARKING: 32 SPACES

OBJECTIVE SUMMARY:

Located in the Green Lake Residential Urban Village, the project aims to foster vibrant pedestrian activity with commercial space along Ravenna, providing home for a mostly car-free population. It seeks to maintain the character of the neighborhood with modest design and materiality while the area shifts to a much denser composition.



north
 LEGEND
 PUBLIC FACILITIES
 COMMERCIAL NODES
 GREEN LAKE RESIDENTIAL URBAN VILLAGE



3-story mixed-use to NW



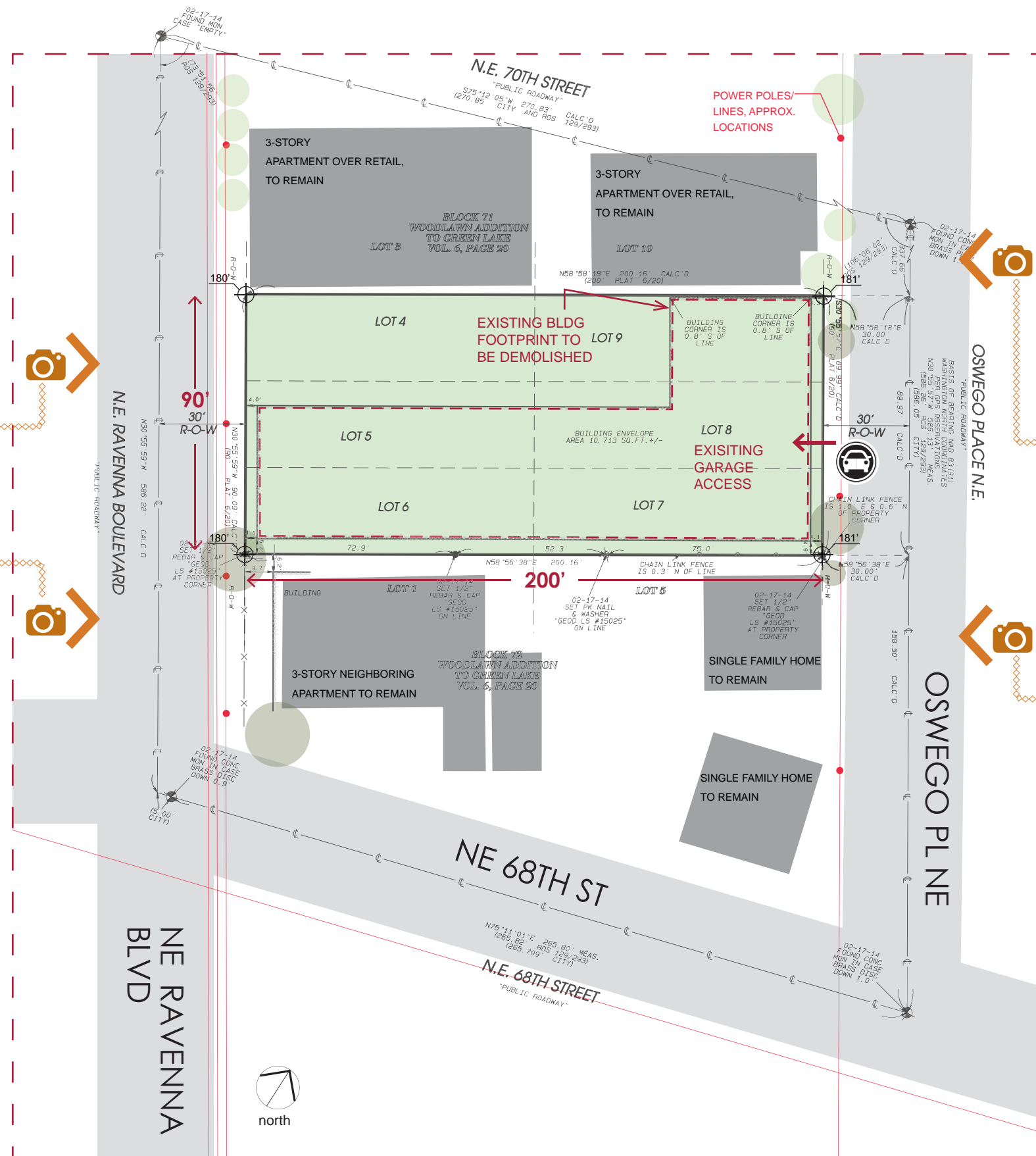
3-story mixed-use to NE



3-story apartments to SW

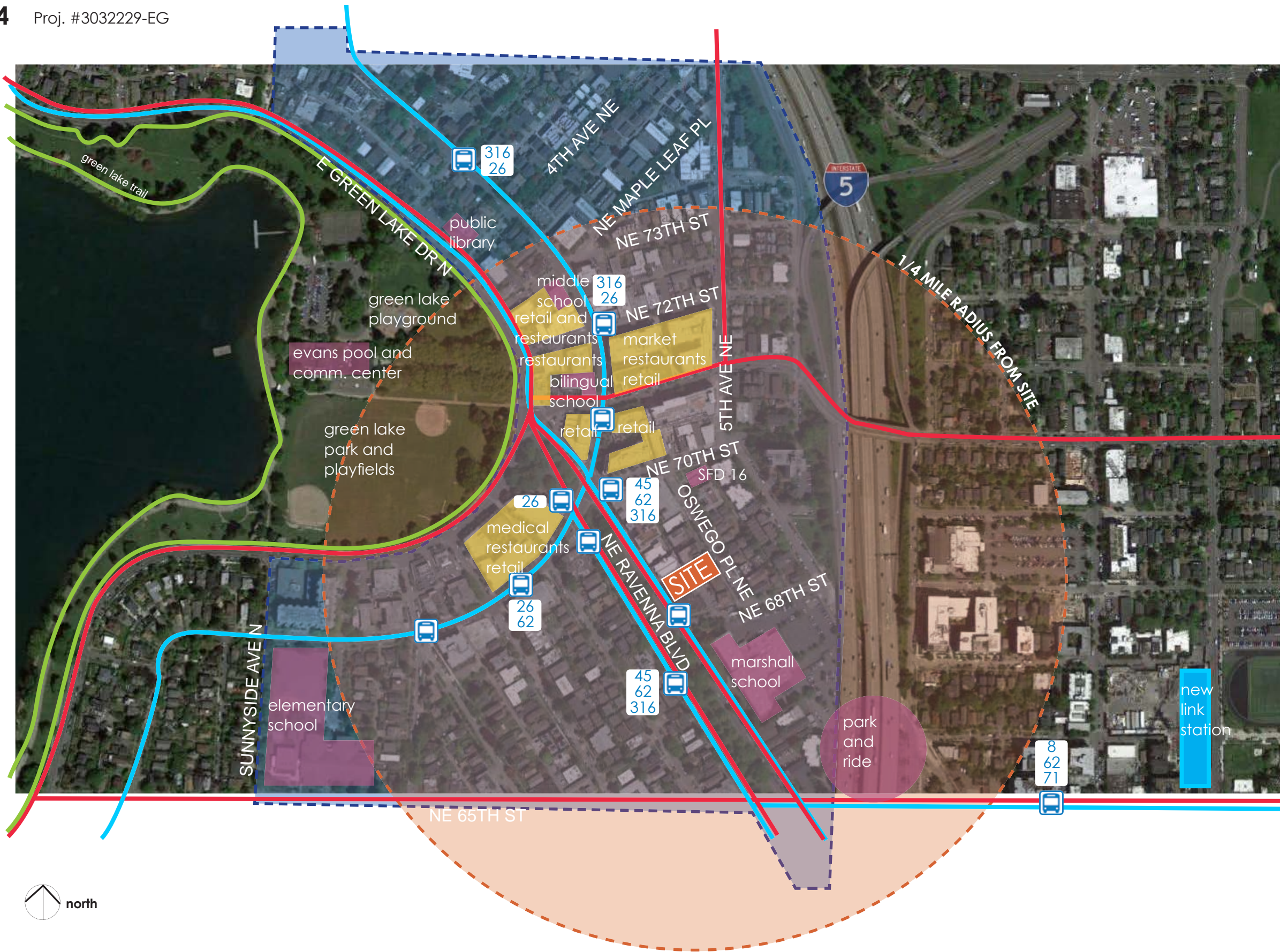


2-story single family to SE



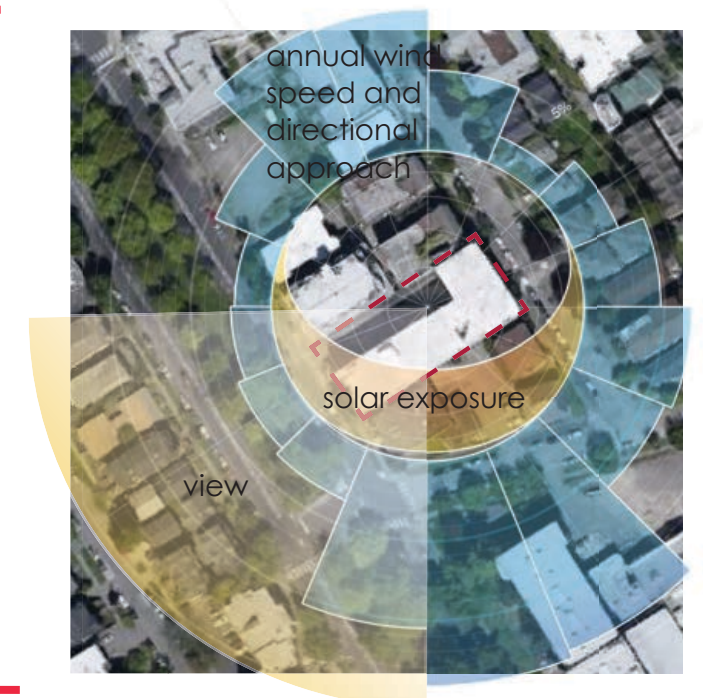
LEGAL DESCRIPTION:
 WOODLAWN ADD TO GREEN LAKE
 Plat Block: 71
 Plat Lot: 4-9
 SW-5 -25-4

**EXISTING BUILDING
 (to be demolished):**
 Commercial
 Built 1965
 4-stories
 59,304 total gsf



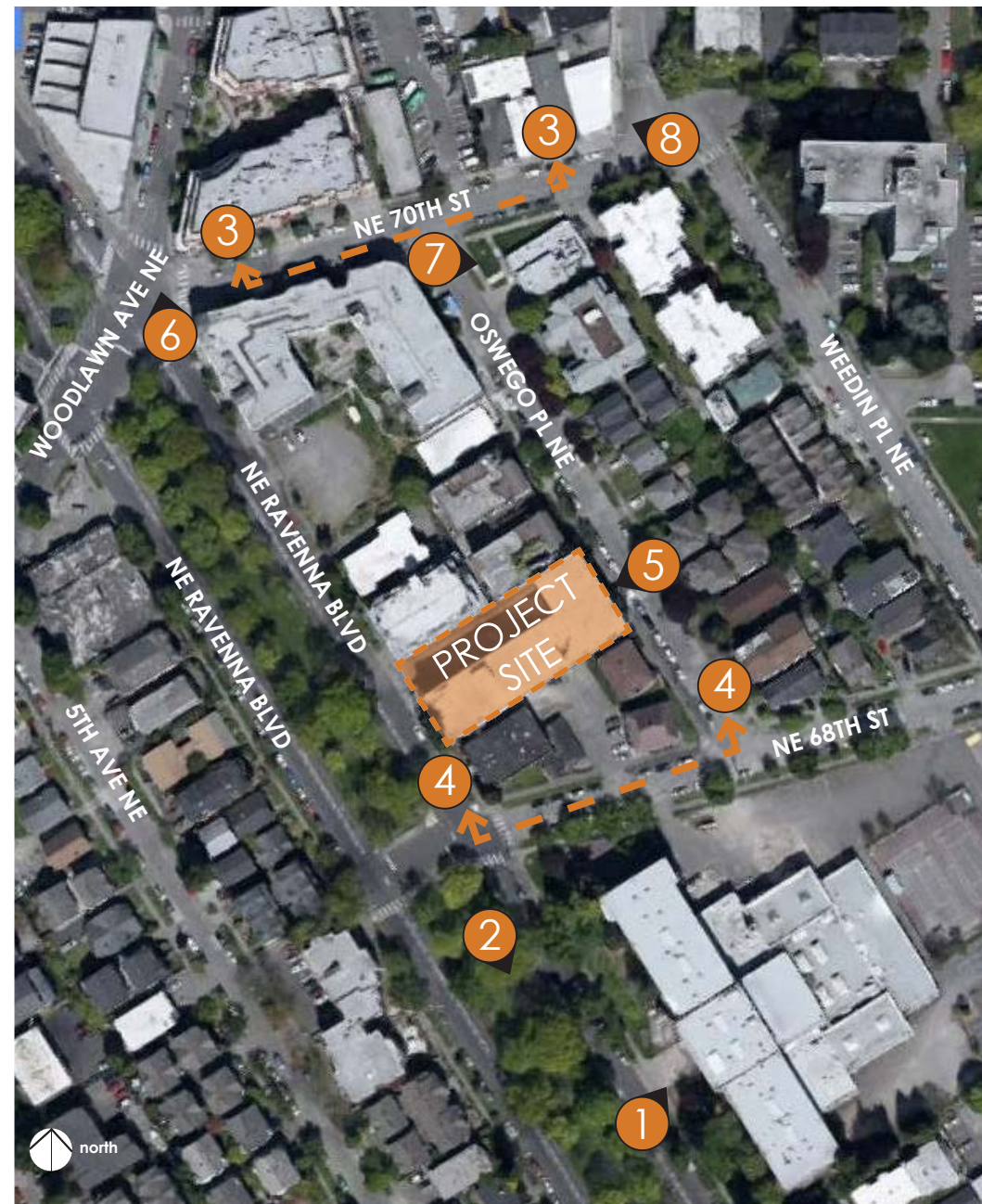
LEGEND

- PUBLIC FACILITIES
- COMMERCIAL NODES
- GREEN LAKE RESIDENTIAL URBAN VILLAGE
- PEDESTRIAN
- BIKES
- TRANSIT
- 1/4 MILE WALKING RADIUS



SITE CONTEXT:

The project site is just 2 blocks from Green Lake at the eastern edge of the lake and near the commercial center. The area consists of a mix of commercial and newer multi-family developments at the commercial core and transitions to less dense multi and single-family zones south of the site. With this vibrant mix, the project site is extremely walkable. In addition, there are several bus routes that pass close to the site, and the new light rail station planned for Roosevelt is just 1/2 mile from the site. The site's walkability, its closeness to mass transit and its proximity to Green Lake make this a very desirable location for people of many ages and interests.



3 Looking north on NE 70th St



4 Looking north on NE 68th St



6 Mixed use and retail at Woodlawn Ave NE and NE 70th St



1 Marshall School



2 Ravenna park blocks



5 Site from Oswego Pl NE



7 Fire station located on Oswego



8 Commercial space

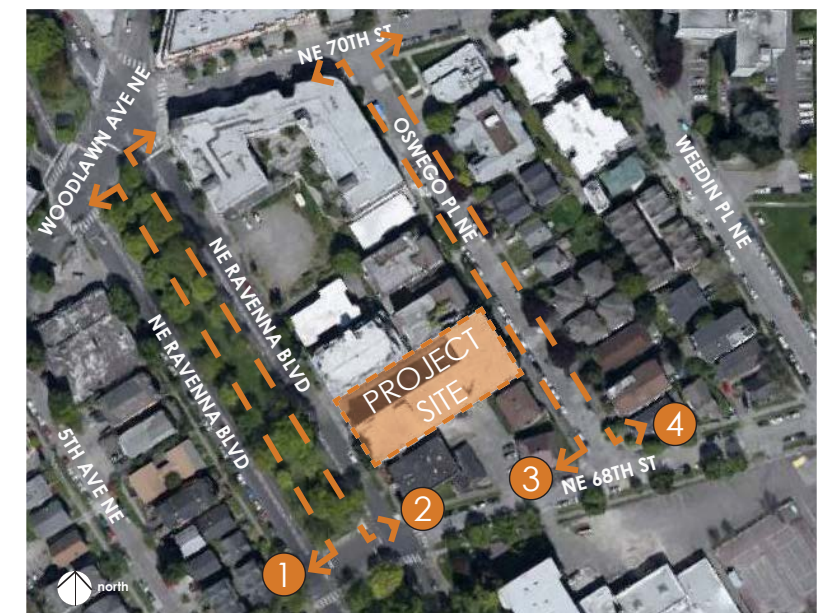
ACROSS FROM
SITE



1 Street elevation facing west on Ravenna



2 Street elevation facing east on Ravenna





3 Street elevation facing west on Oswego



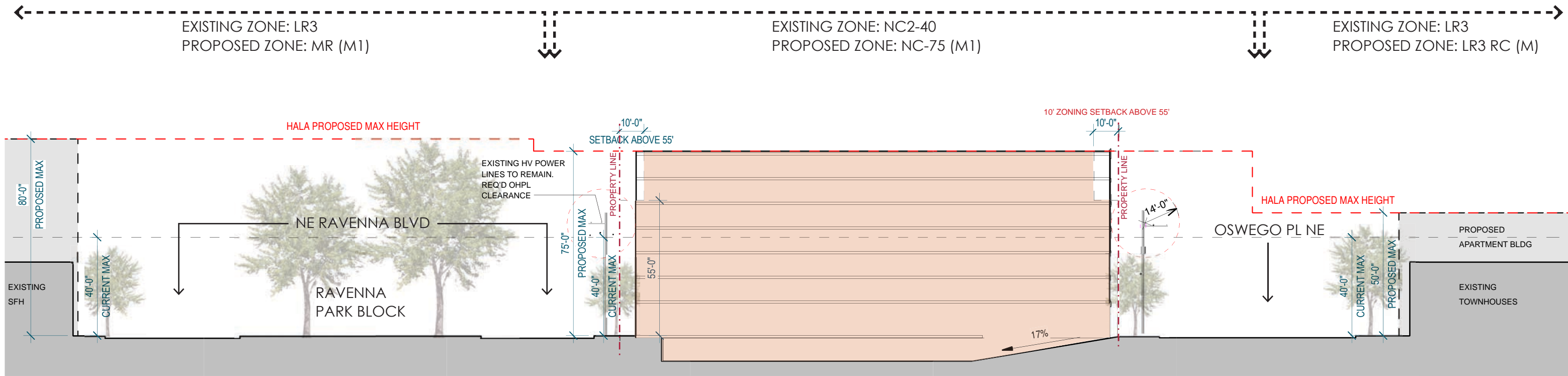
ACROSS FROM SITE



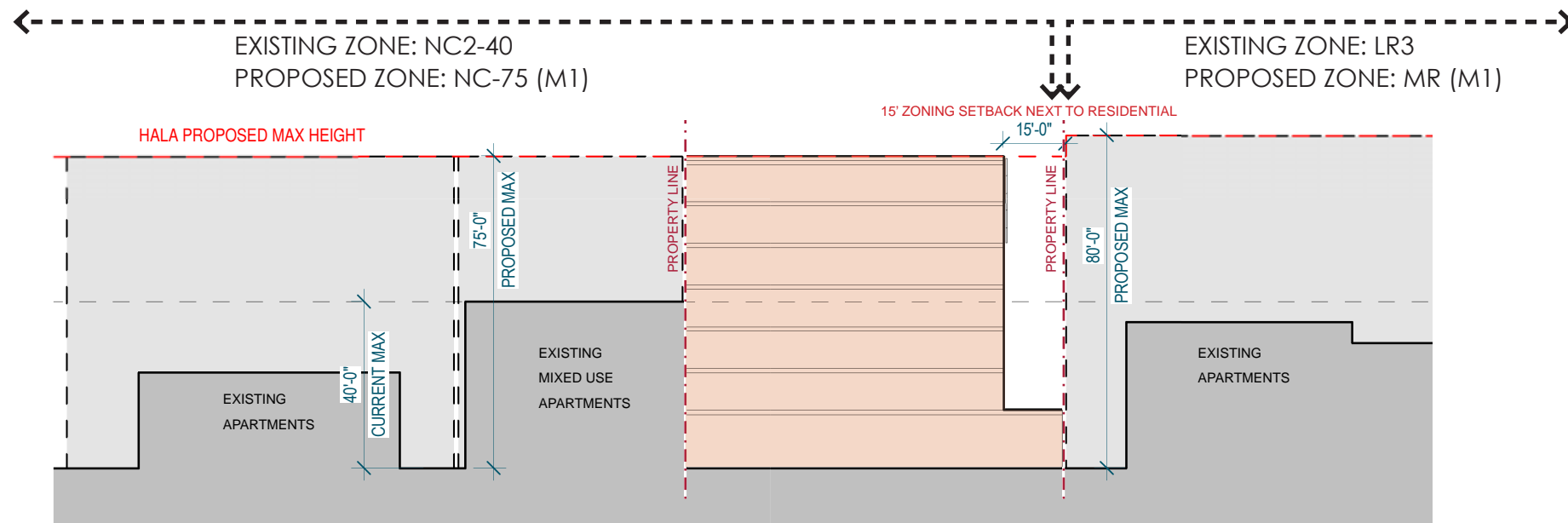
4 Street elevation facing east on Oswego

DESIGN PROPOSAL IN REVIEW

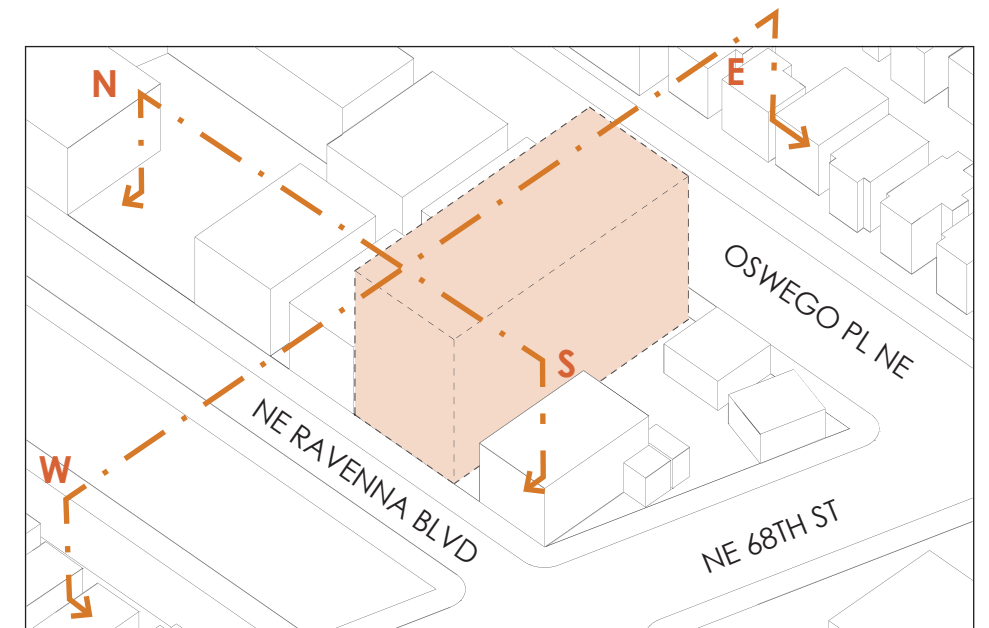


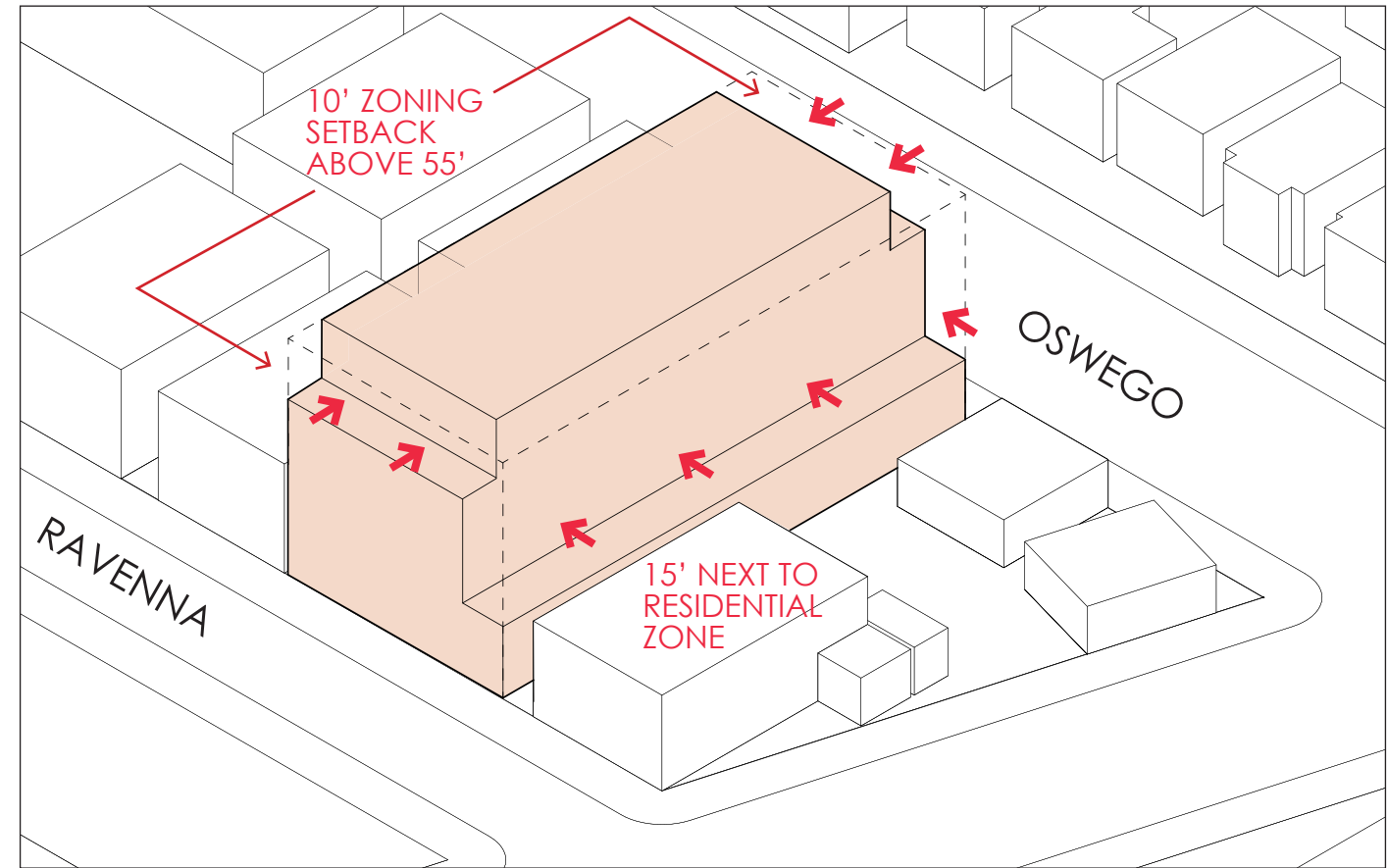
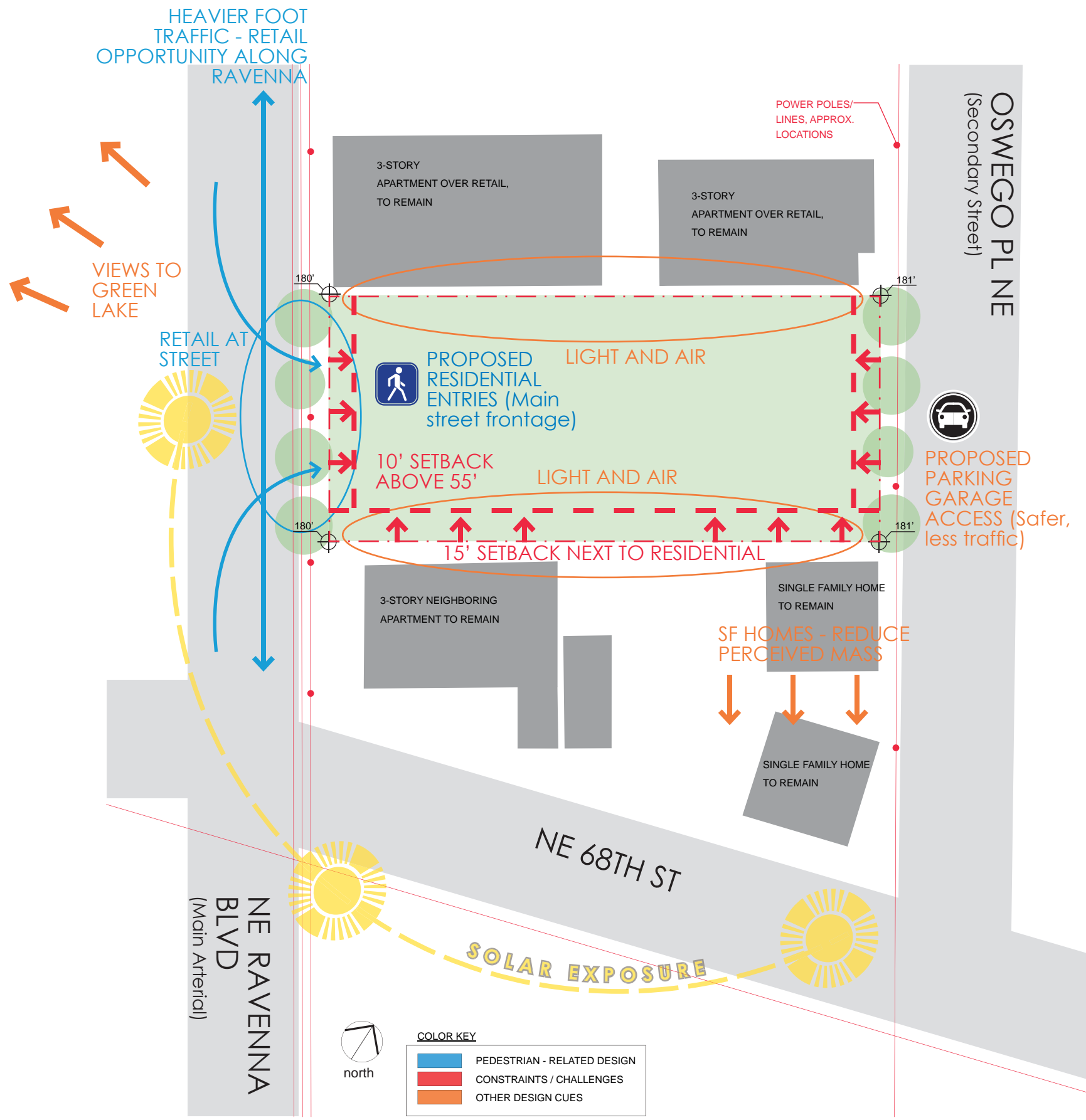


SITE SECTION : E-W

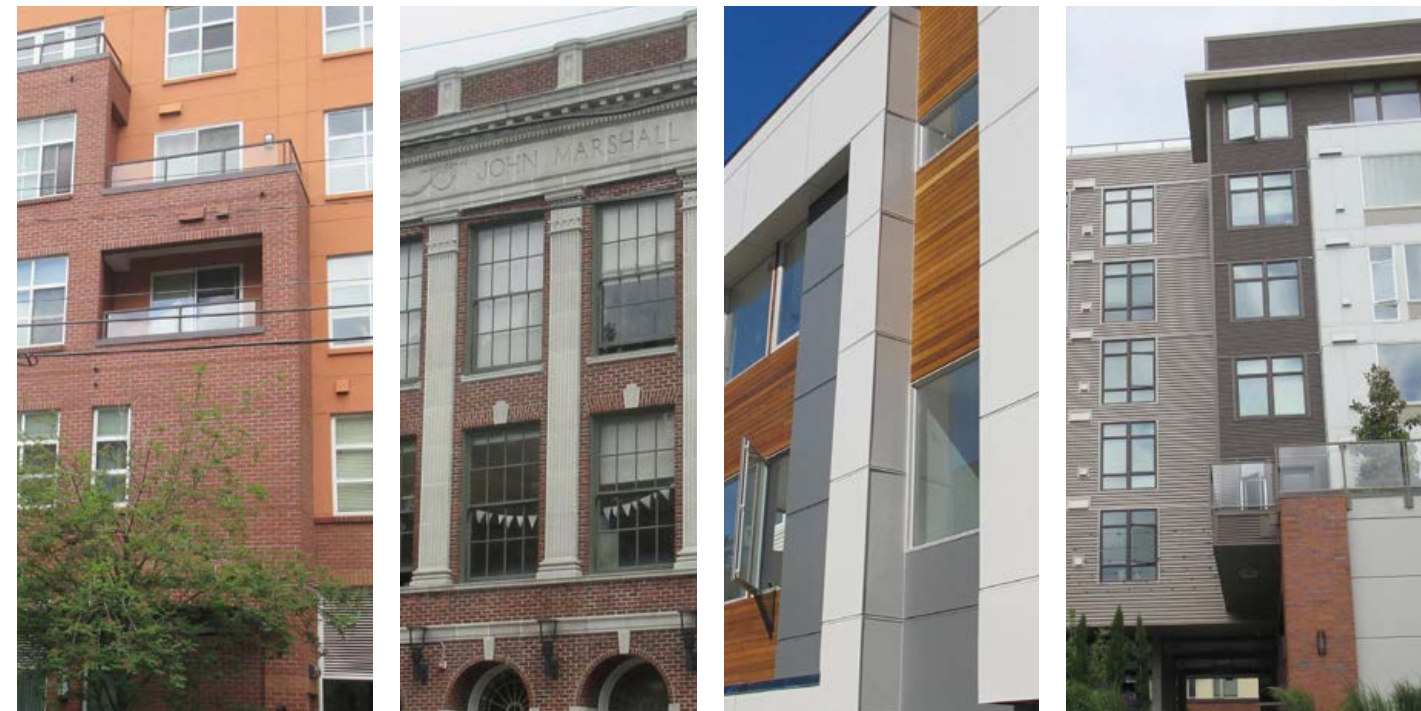


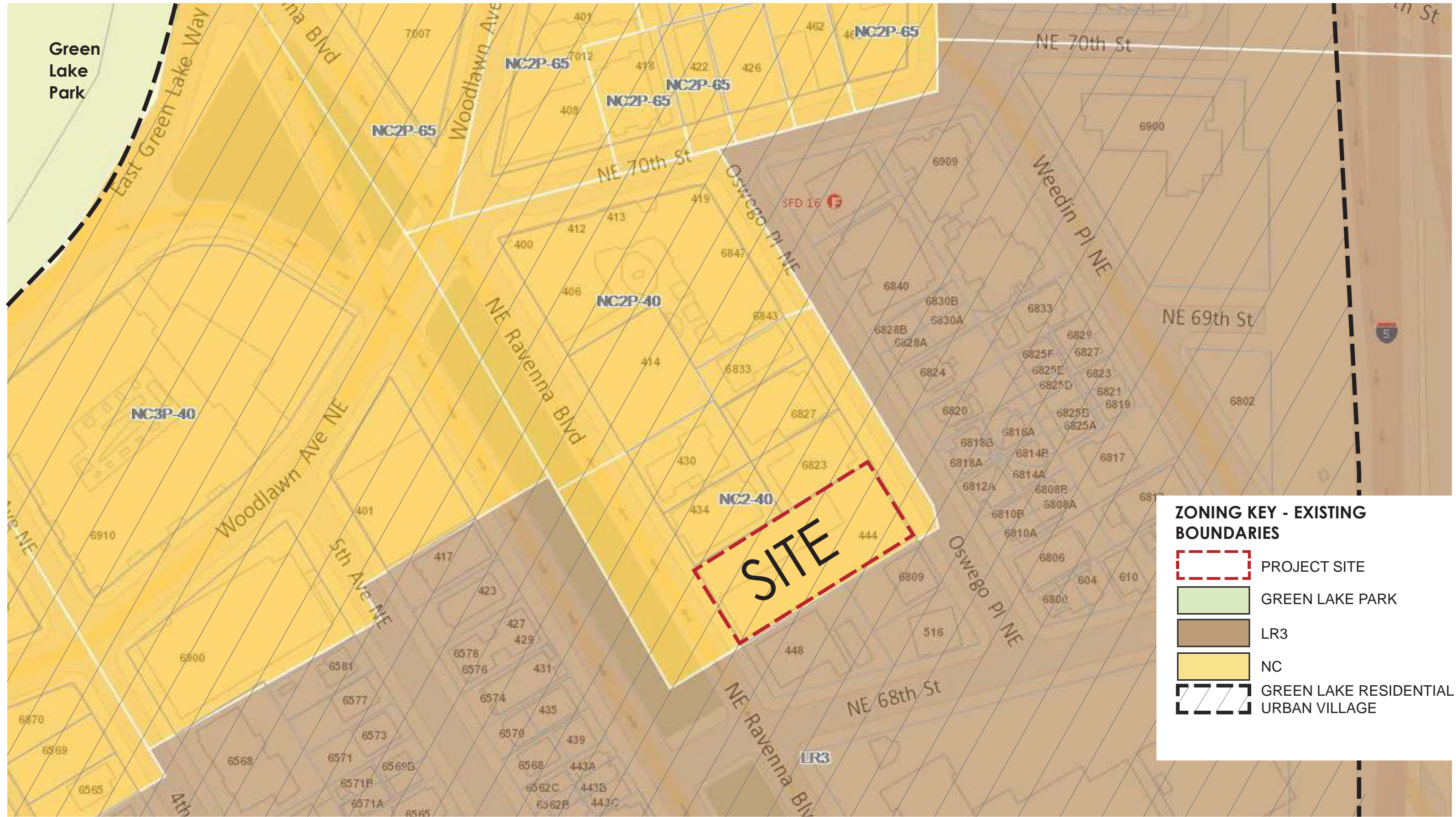
SITE SECTION : N-S










CONTEXT MATERIALITY - Palettes tend to be natural colors in keeping with original wood and brick buildings in the neighborhood.











ZONING KEY - EXISTING BOUNDARIES

-  PROJECT SITE
-  GREEN LAKE PARK
-  LR3
-  NC
-  GREEN LAKE RESIDENTIAL URBAN VILLAGE



ZONING KEY - ASSUMING FUTURE MHA/HALA UPZONE

-  PROJECT SITE
-  GREEN LAKE PARK
-  LR3 RC (M)
-  NC2-75 (M1)
-  MR (M1)
-  GREEN LAKE RESIDENTIAL URBAN VILLAGE

PARCEL:
9528103705

ADDRESS:
444 NE RAVENNA BLVD

SITE AREA:
18,000 sf (approximately 200' deep x 90' wide)

ZONING:
Currently zoned as NC2-40; but HALA upzone to NC2-75 (M1) is proposed, anticipated passage 2018 (Green Lake Residential Urban Village)

SUMMARY OF DEVELOPMENT STANDARDS [assuming HALA upzone to NC2-75 (M1)]:

<u>Height limit</u>	Required: 75' (PER MHA Proposal)	Proposed: 75' max
<u>Parking</u>	Required: No parking required in urban village within 1,320 ft of frequent transit (SMC 23.54.015)	Proposed: 24 spaces
<u>FAR</u>	Required: 5.5 max 5.5 x 18,000 = 99,000 sf (PER MHA Proposal)	Proposed: 99,000 sf max
<u>Setbacks</u>	Required: Front/rear: None Upper: Avg depth of 10', max of 20' above height of 55' Side: 15' if adjacent to residential zone (PER MHA Proposal)	Proposed: Front/rear: 4' (through-lot) Upper: 10' above 55' Side: 15' adjacent to residential zone
	Facade Mod: Material change or min 18" setback every 50' min (PER MHA Proposal)	
<u>Trash</u>	Required: 696 sf with 12' min dimension (SMC 23.4.040)	Proposed: 696 sf min with 12' min dim within building
<u>Amenity</u>	Required: 5% of residential use gfa area 0.05 x 93,111 sf = 4,656 sf	Proposed: 4,656 sf or greater at Levels 1 & 7 and Roof (int & ext)
<u>Landscaping</u>	Required: Green Factor of 0.3 or greater	Proposed: Green Factor at 0.3 or greater

OTHER SITE CONDITIONS

- Topography Relatively flat site with the Ravenna frontage at 1' lower than the Oswego frontage
- Seattle City Light A 14' setback will be required from all power lines along Ravenna and Oswego
- Environmental Critical Area Steep Slope mapped at center of NW property line (currently a retaining wall)

Affordable Homes

PERFORMANCE OPTION*	(+ commercial addition)
High MHA area (7%)	5.46 (+ .52) = 6 units
Medium MHA area (6%)	4.68 (+ .52) = 6 units
Low MHA area (5%)	3.90 (+ .52) = 5 units

PAYMENT OPTION	
High MHA area (\$20.75/sq. ft.)	\$1,162k (+ \$48k) = \$1,210,000
Med MHA area (\$13.25/sq. ft.)	\$742k (+ \$42k) = \$784,000
Low MHA area (\$7/sq. ft.)	\$392k (+ \$30k) = \$422,000

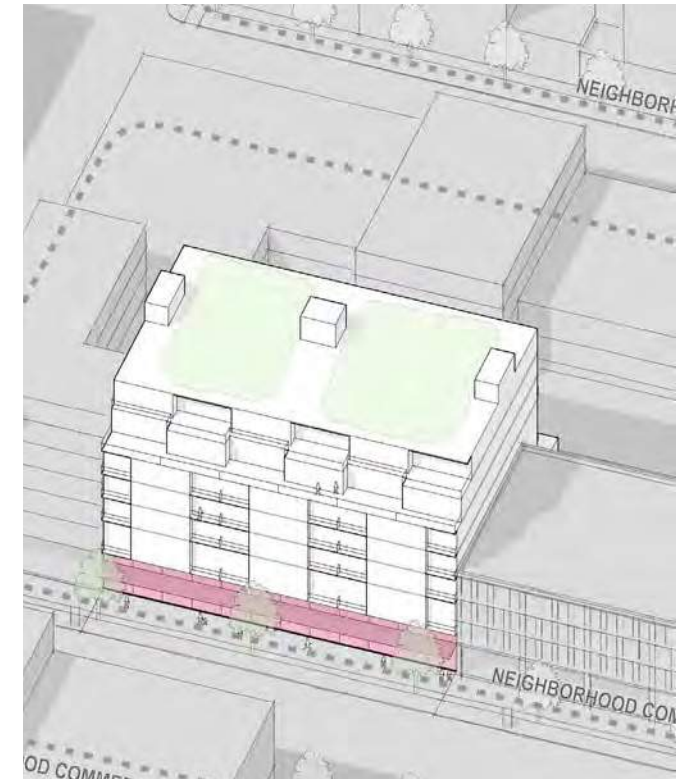
Proposed MHA NC-75

FAR maximum	5.5
Height limit	75 feet
Setbacks	
Front	First floor dwellings must be 4 feet above or 10 feet back from street
Upper	Avg. depth of 10 feet, max. depth of 20 feet above 55 feet
Rear	10 feet if next to residential zone
Sides	15 feet if next to residential zone
Façade modulation	Change of materials or a min. 18-inch-deep setback at a min. of every 50 feet
Parking	1 per unit; no minimum in urban villages

NC-75 Prototype – MHA

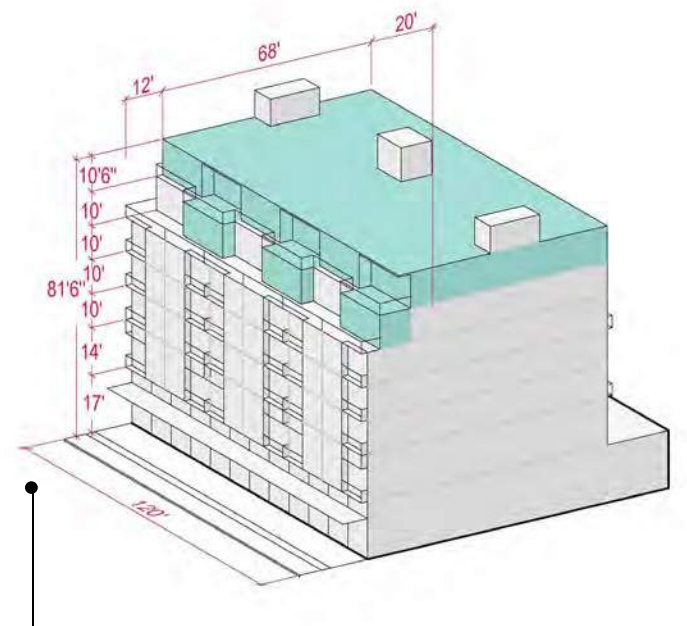
Lot size	12,000 sq. ft.
Total allowed gross area	66,000 sq. ft.
Efficiency factor	0.8
Ground-floor commercial	10,000 sq. ft.
Total net residential	44,800 sq. ft.
Total units	78
Average net unit size	575 sq. ft.
Parking spaces provided	underground

Page from MHA Urban Design Summary



* If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing.

The first 4,000 sf of ground floor commercial does not count towards MHA requirements



Seattle Design Guidelines

CS CONTEXT & SITE

> CS2 A 2: **Urban Pattern: Architectural Presence**

Buildings that contribute to a strong street edge are important to the creation of a quality public realm that invites social interaction and economic activity

Response: The building's ground level utilizes warm materials, transparency, and facade articulation encourages economic and pedestrian activity

> CS3 A 3: **Established Neighborhoods**

Build on the the neighborhood's traditional architectural character and compliment the architectural syle of nearby buildings

Response: The simple building form and use of brick as the dominant street-facing facade material along accent materials, such as wood or metal respond well to the character of the neighborhood

PL PUBLIC LIFE

> PL3 C.2: **Retail Edges - Visibility**

Maximize visibility into the building interior and merchandise displays

Response: Except for the residential entrance, the full length of the facade along NE Ravenna Blvd is designed to be retail space with storefront windows

DC DESIGN CONCEPT

> DC2 B 1: **Facade Composition**

Ensure facades are attractive and well-proportioned through placement of details and patterns

Response: Simple brick form is proposed with regular window pattern to create traditional rhythm and scale with a recessed facade and accent material to emphasize the residential building entry

> DC1 C.1: **Parking and Service Uses - Below-Grade Parking**

Consider locations for vehicular access, service uses, and delivery areas that minimize conflict between vehicles and non-motorists whenever possible; locate parking below grade wherever possible

Response: Vehicular access is located off Oswego, not off the main road (Ravenna); all parking and services are located underground

> DC2 D: **Scale and Texture**

Design character of the building in form, scale and materials with human scale at street level

Response: Brick, with its small regular modules, breaks down the scale and provides texture and order to the main rectangular form of the front facade and contrasts the similarly tactile but smoother accent materials



Green Lake Neighborhood-Specific Design Guidelines

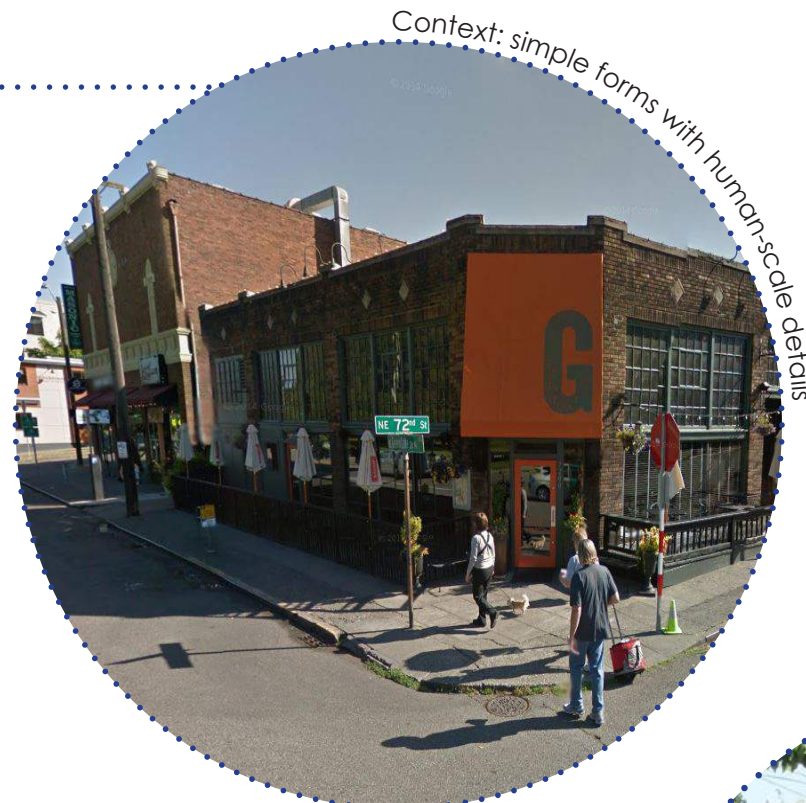
CS

CONTEXT & SITE

> CS3 I iii: **Architectural Context: Residential Urban Village**

Build on the core's classic architectural style. Many of the existing buildings are simple "boxes" with human-scale details and features

Response: The preferred concept is a simple form with classic brick as the primary street-facing cladding material



PL

PUBLIC LIFE

> PL3 I: **Human Activity**

Consider pedestrian activity when designing street level facades, such as transparency, building entrances, landscaping and glare from exterior lighting

Response: The secondary facade on Oswego has less transparency than the primary facing Ravenna; the primary and secondary building entrances are recessed; landscaping is provided as a buffer between the sidewalk and the building on the secondary facade; and exterior lighting spread will be considered



DC

DESIGN CONCEPT

> DC2 I: **Architectural Context - Neighborhood Commercial Structures**

Human scale details at the ground level have more importance than the overall facade articulation and if modulation is provided the spaces created should be functional

Response: The street level experience is enhanced by a facade that is held off the street with concrete columns; an apparent entrance that is recessed; storefront windows; opportunities for outdoor seating; and pedestrian friendly signage and lighting

> DC3 I: **Landscape Addresses Site Conditions - Olmsted Heritage**

Employ informal groupings of large and small trees and shrubs - Along boulevards with a formal axis, provide formal plantings on a straight axis.

Response: Trees will be planted linearly along Ravenna to frame the park block and direct views up the length of the green corridor.

> DC4 II i: **Exterior Finish Materials**

Building material surface treatments are primarily brick or stucco within the Residential Urban Village

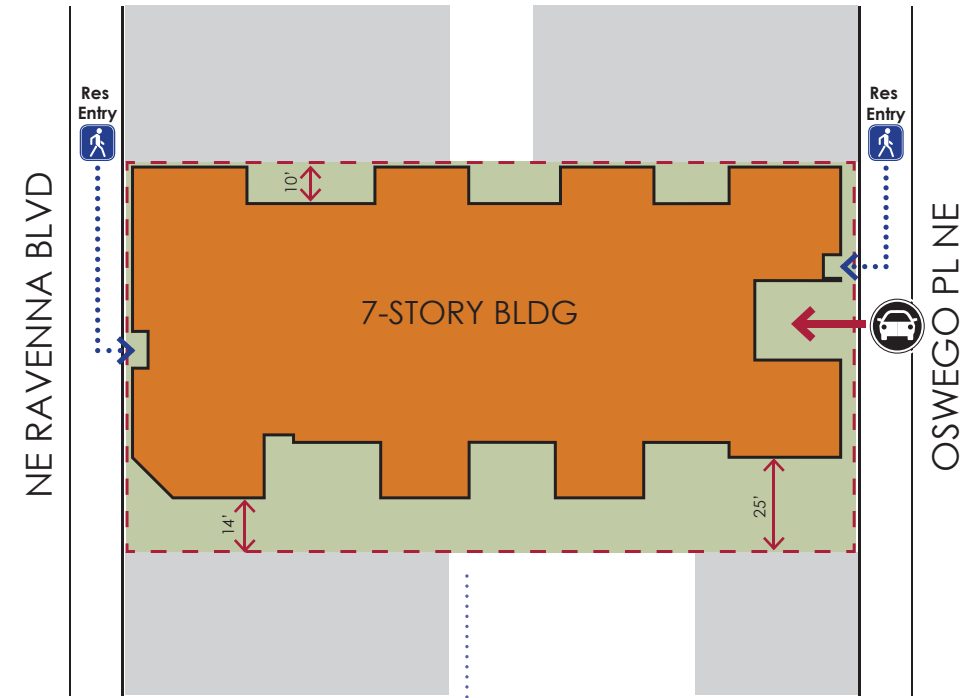
Response: Brick is proposed as the primary street-facing cladding material. Wood and metal sidings are potential as accent materials



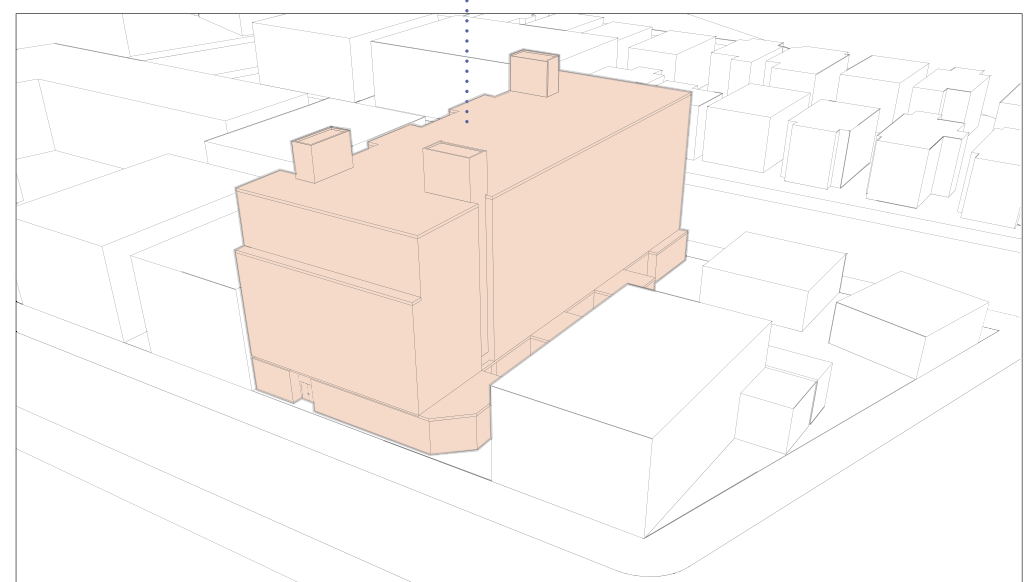
scheme A

MAX SITE BUILD OUT

7 stories + basement
120 units
24 parking spaces
89% FAR (87,800 sf)



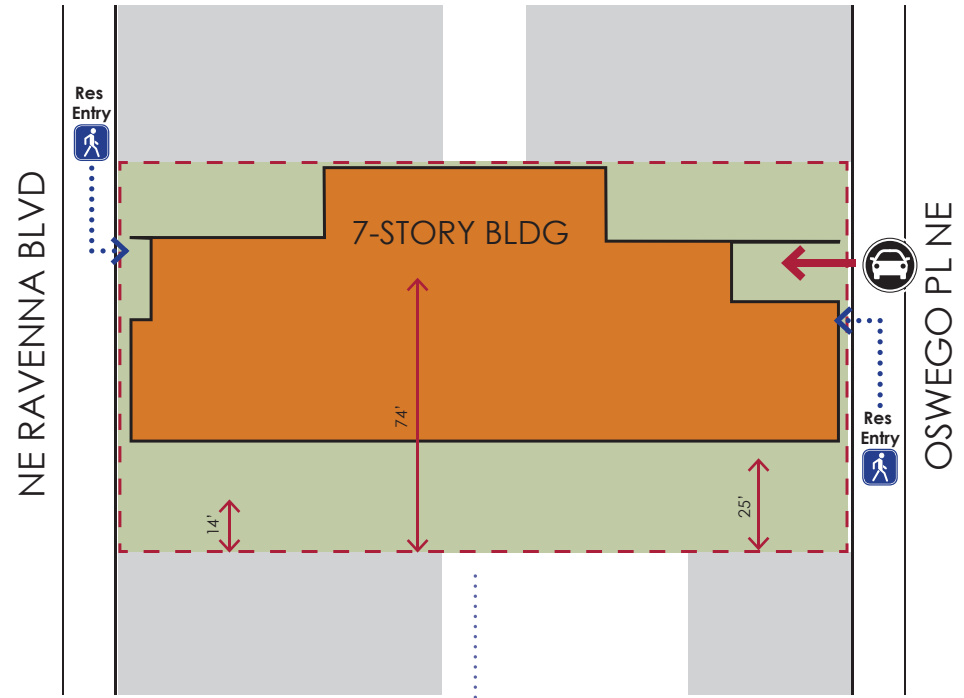
PROPOSED SCHEME



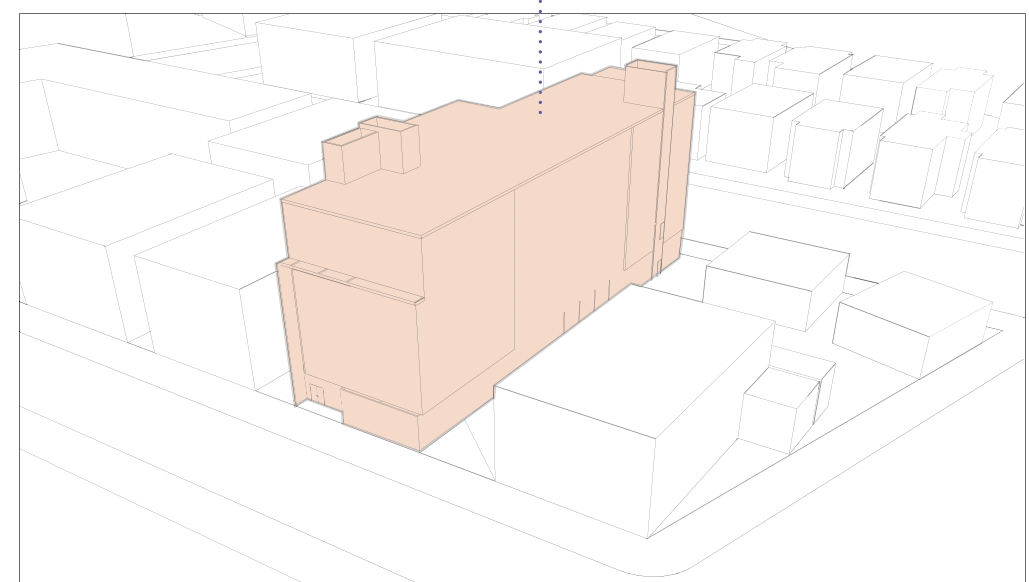
scheme B

COURTYARDS

7 stories + basement
106 units
24 parking spaces
83% FAR (82,200 sf)



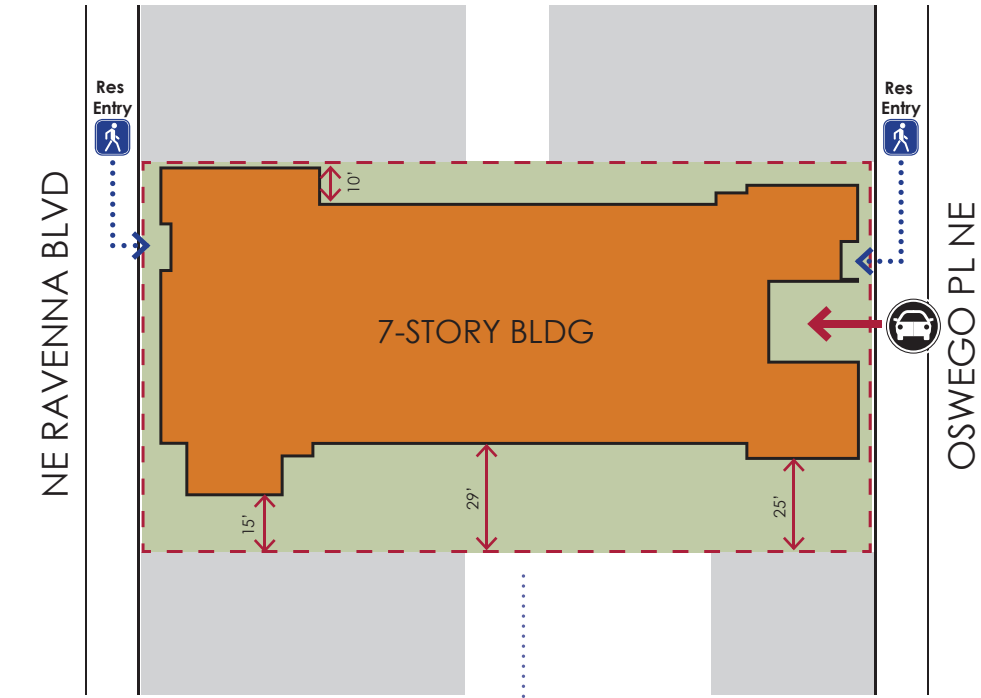
PROPOSED SCHEME



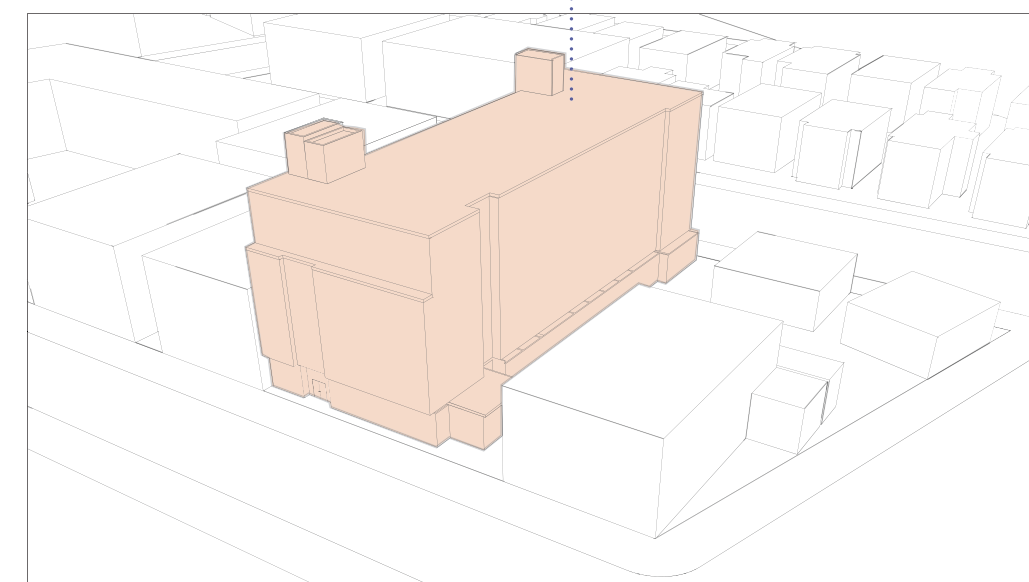
scheme C

PUNCTUATED [PREFERRED]

7 stories + basement
113 units
24 parking spaces
86% FAR (85,500 sf)



PROPOSED SCHEME



overview

- 7 stories + basement
- 120 units
- 26 parking spaces
- FAR shown = 87,800 sf (89% FAR Utilization of max 99,000 sf allowed)
 - B: 0 sf FAR (below grade)
 - 1: 13,500 sf
 - 2: 12,800 sf
 - 3: 12,800 sf
 - 4: 12,800 sf
 - 5: 12,800 sf
 - 6: 11,300 sf
 - 7: 11,300 sf
 - Roof: 500 sf

opportunities

- modulated interior facades allow massing relief at neighbors' side yards
- provides an opportunity for continuous covered canopy along NE Ravenna Blvd
- provides continuity of street frontage along NE Ravenna Blvd and Oswego Pl NE

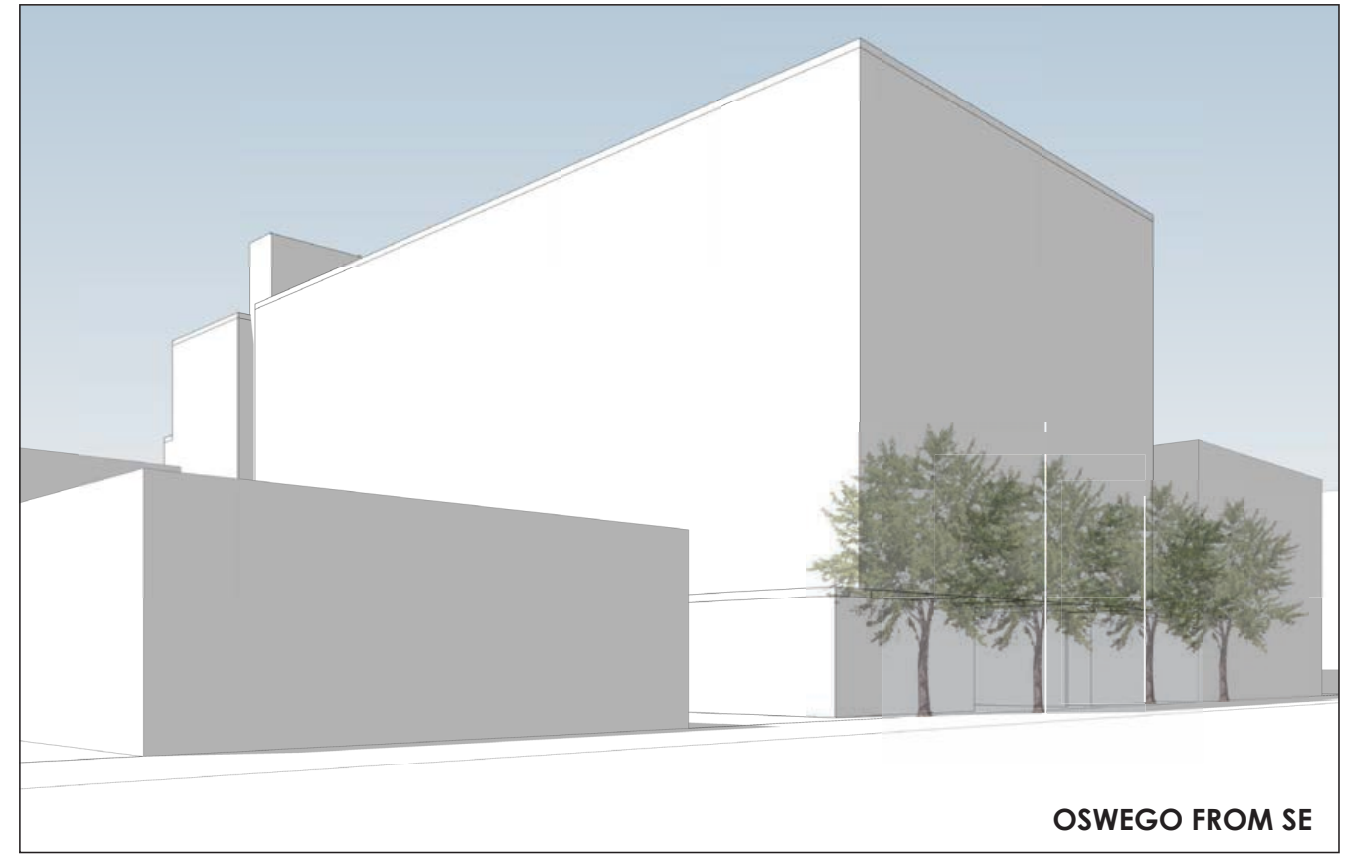
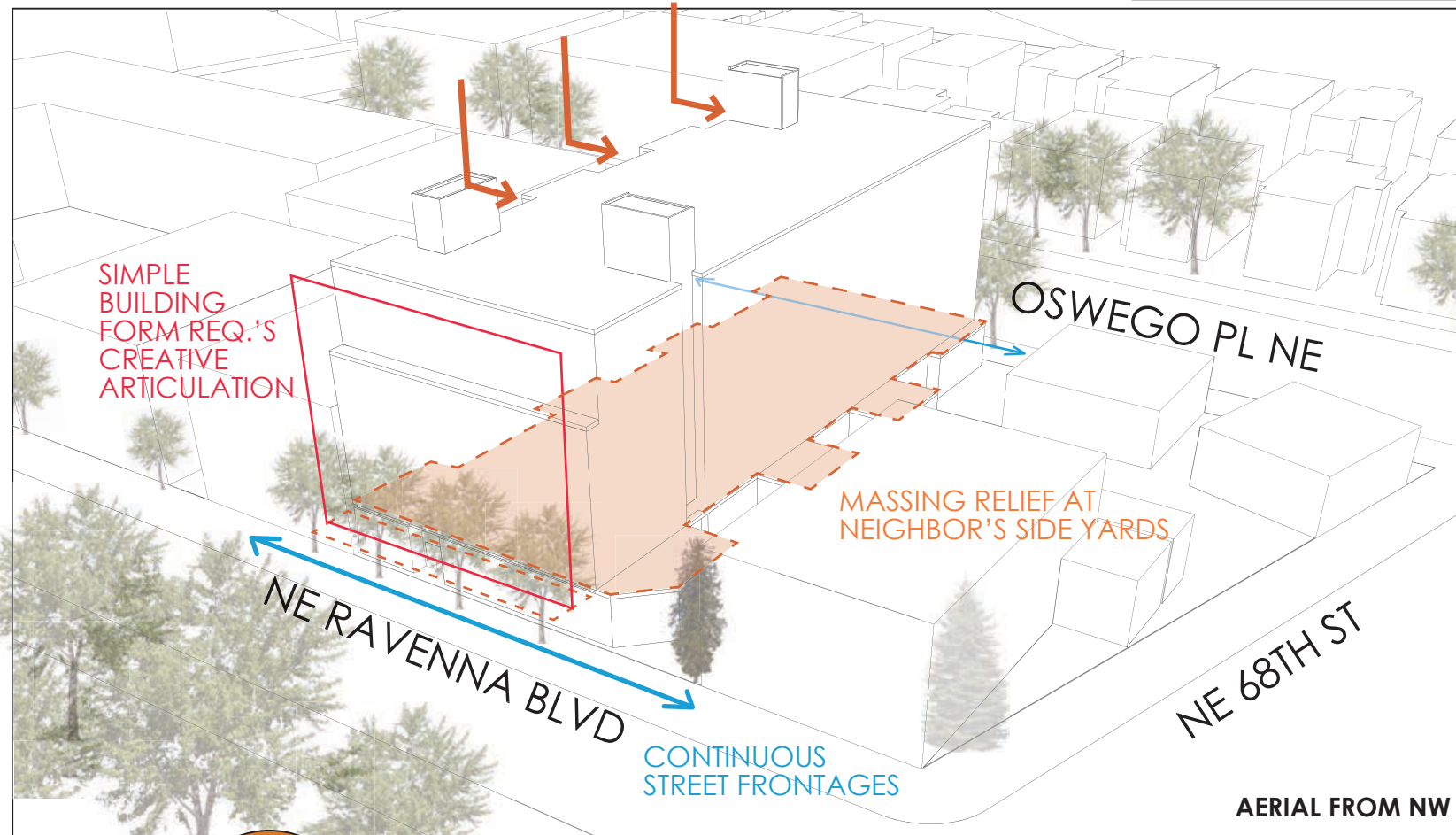
challenges

- plan is less efficient and costly, reducing budget for exterior cladding materials
- simple building form at street frontages will require careful and thoughtful articulation by secondary architectural elements

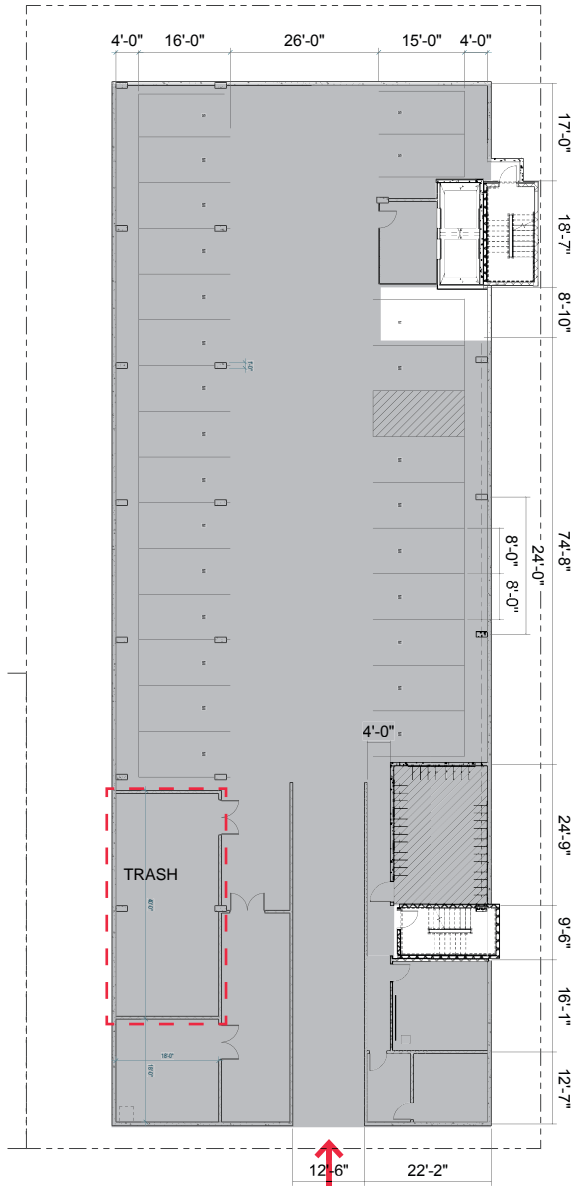
COLOR KEY

- █ PEDESTRIAN - RELATED DESIGN
- █ CONSTRAINTS / CHALLENGES
- █ OTHER DESIGN CUES

LIGHT AND AIR MODULATION

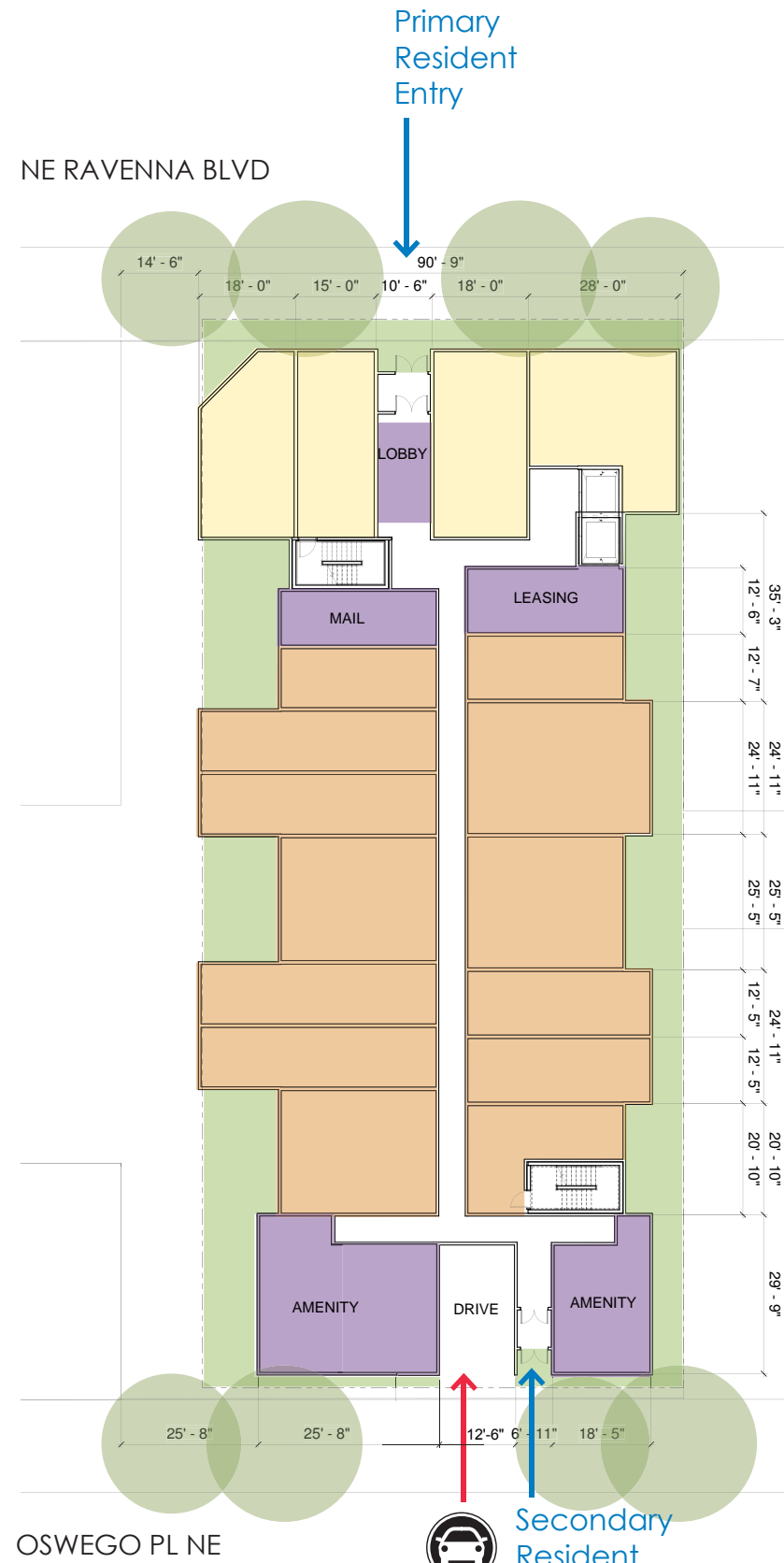


- RESIDENTIAL
- RESIDENTIAL COMMON AREAS
- RETAIL
- RES. BALCONY
- SUPPORT

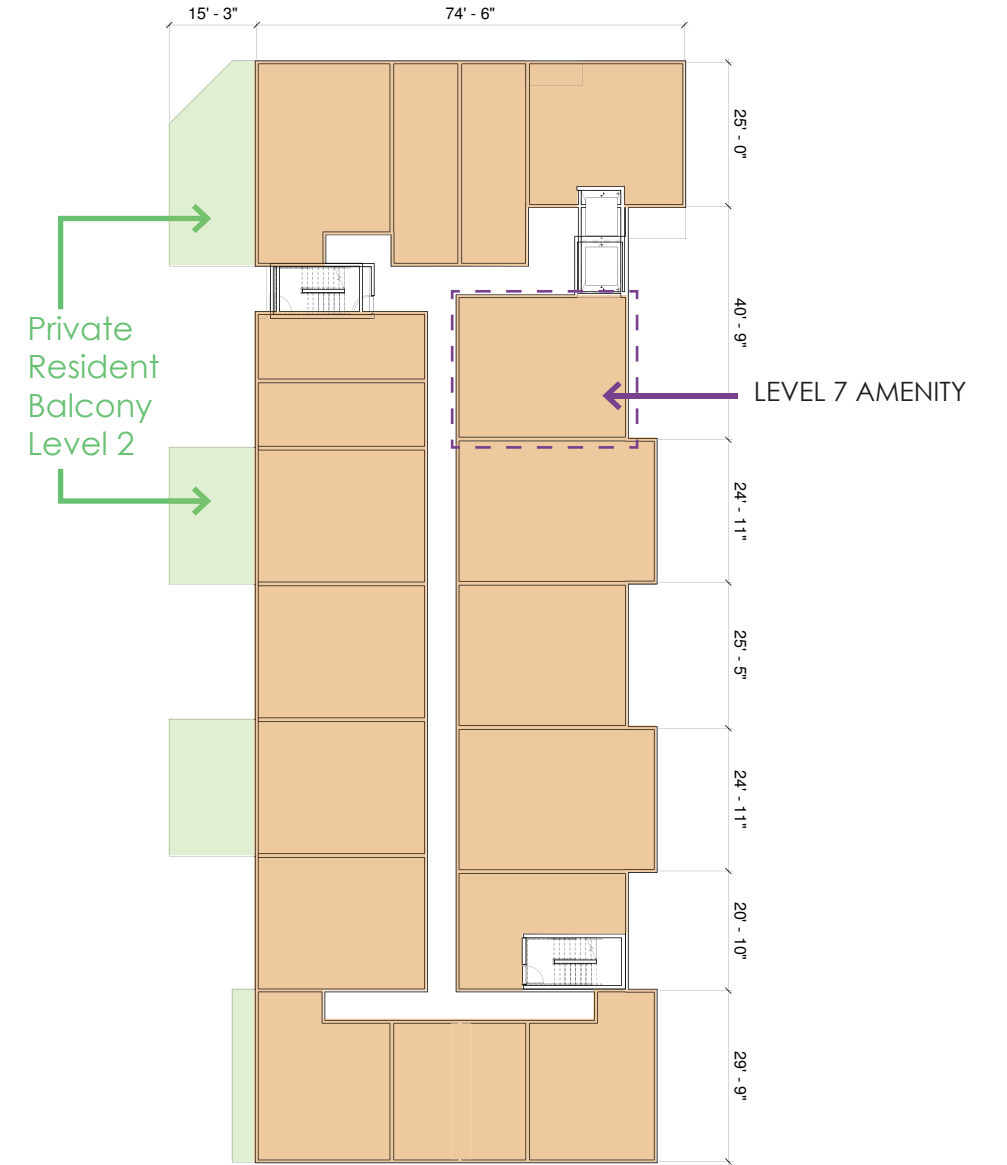


PARKING PLAN

- 24 PARKING SPACES
- 22 STORAGE UNITS (87SF)
- BIKE STORAGE: 32 SPACES



GROUND LEVEL PLAN



LEVELS 2-7 TYP. PLAN



overview

- 7 stories + basement
- 106 units
- 26 parking spaces
- FAR shown = 82,200 sf (83% FAR Utilization of max 99,000 sf allowed)
 - B: 0 sf FAR (below grade)
 - 1: 12,100 sf
 - 2: 12,100 sf
 - 3: 12,100 sf
 - 4: 12,100 sf
 - 5: 12,100 sf
 - 6: 10,600 sf
 - 7: 10,600 sf
 - Roof: 500 sf

opportunities

- t-shaped plan allows massing relief at neighbors' front yards

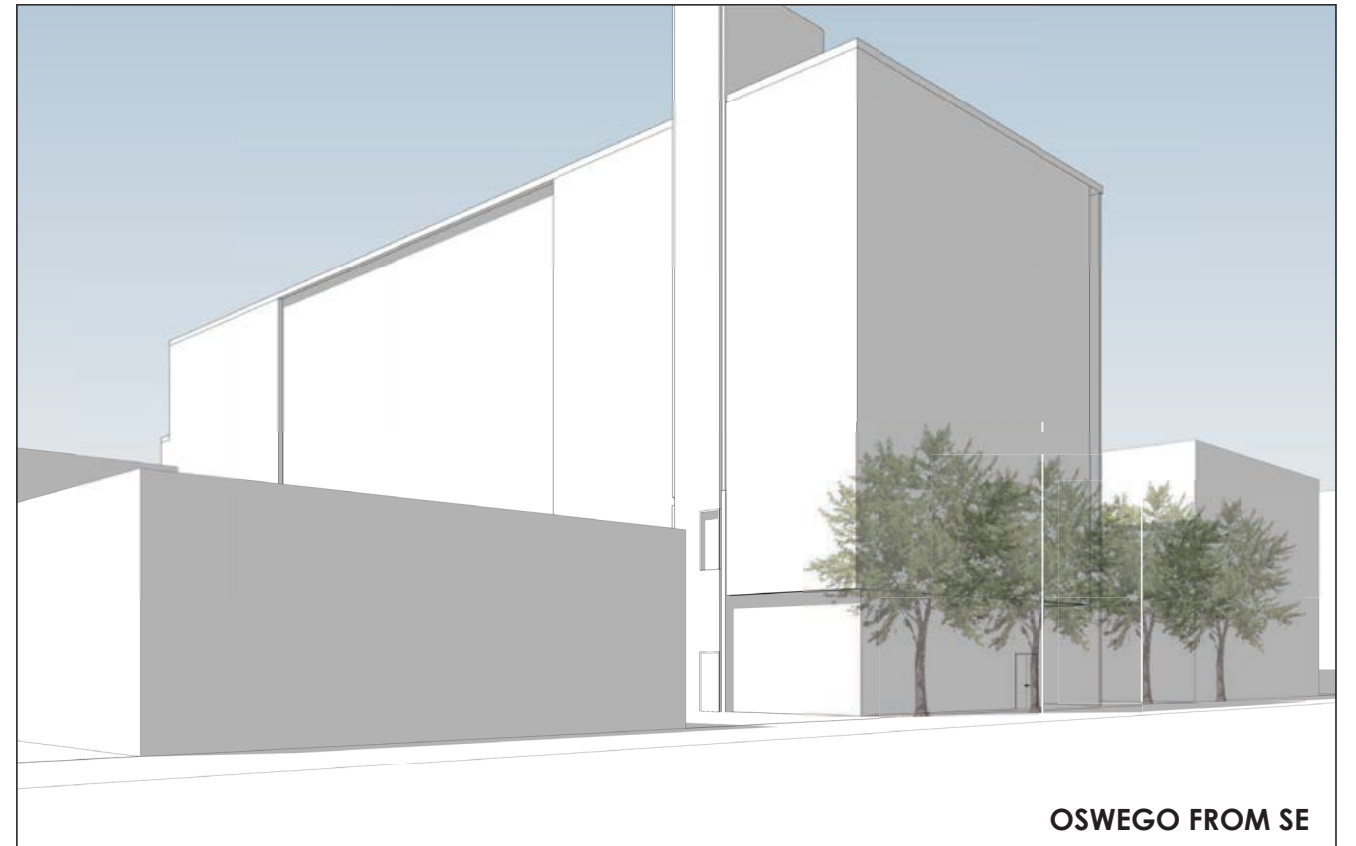
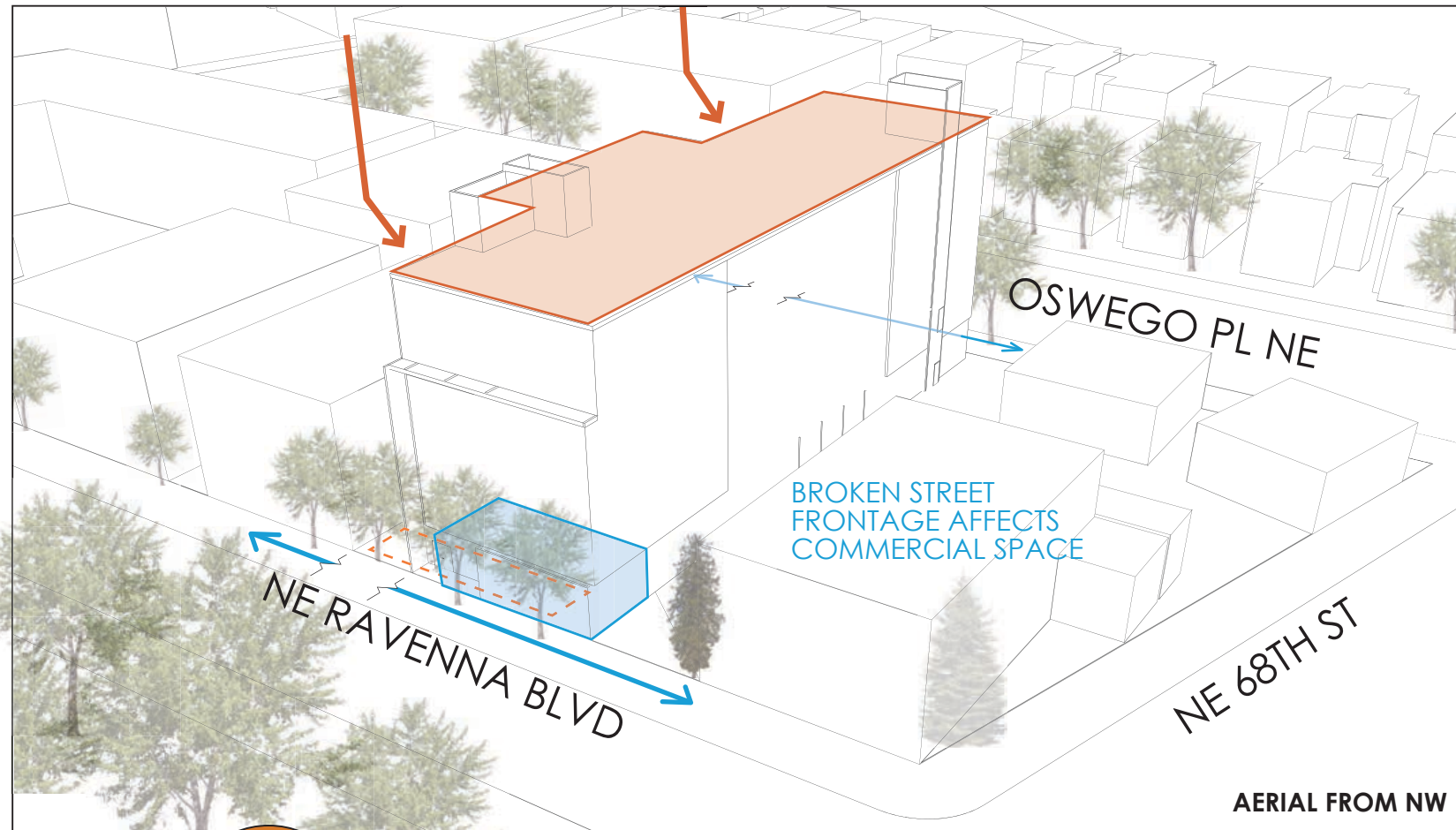
challenges

- courtyards are north-facing and shaded and will not receive much direct sunlight
- the t-shape geometry on this site limits functional buildable area; this scheme is not as financially feasible unless the units are smaller, ie. studios or micro-housing
- limited retail space along NE Ravenna Blvd, which will be an active corridor for pedestrians passing to and from the future light rail station on 65th
- street frontage is broken along NE Ravenna Blvd and Oswego Pl NE
- the covered canopy along NE Ravenna Blvd will not be able to extend the full width of the site

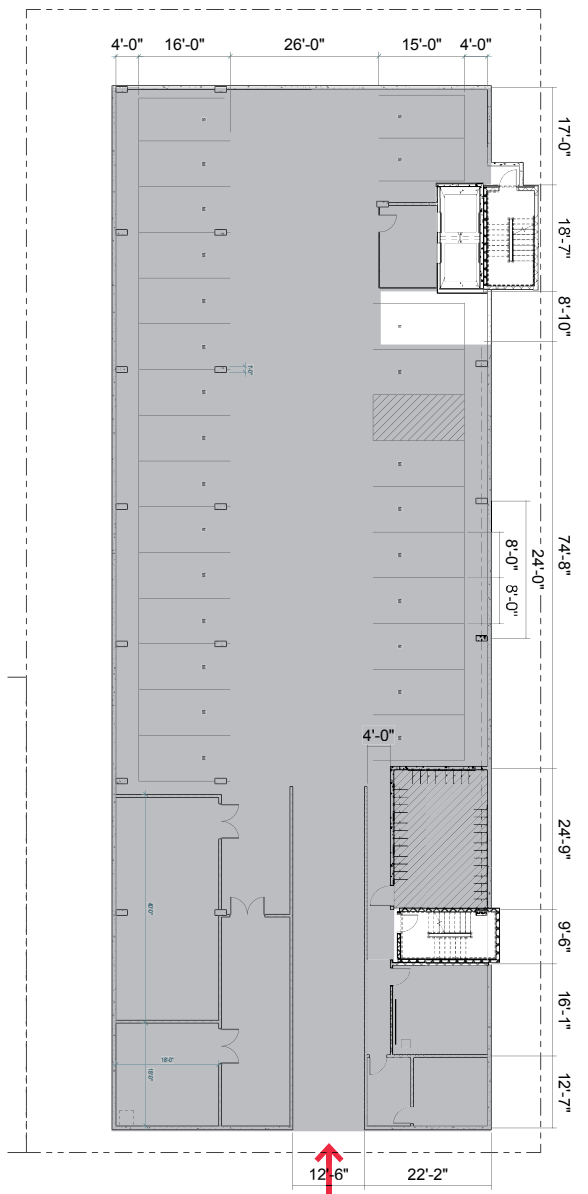
COURTYARDS PROVIDE MASSING RELIEF AT NEIGHBOR'S SIDE YARDS

COLOR KEY

- PEDESTRIAN - RELATED DESIGN
- CONSTRAINTS / CHALLENGES
- OTHER DESIGN CUES



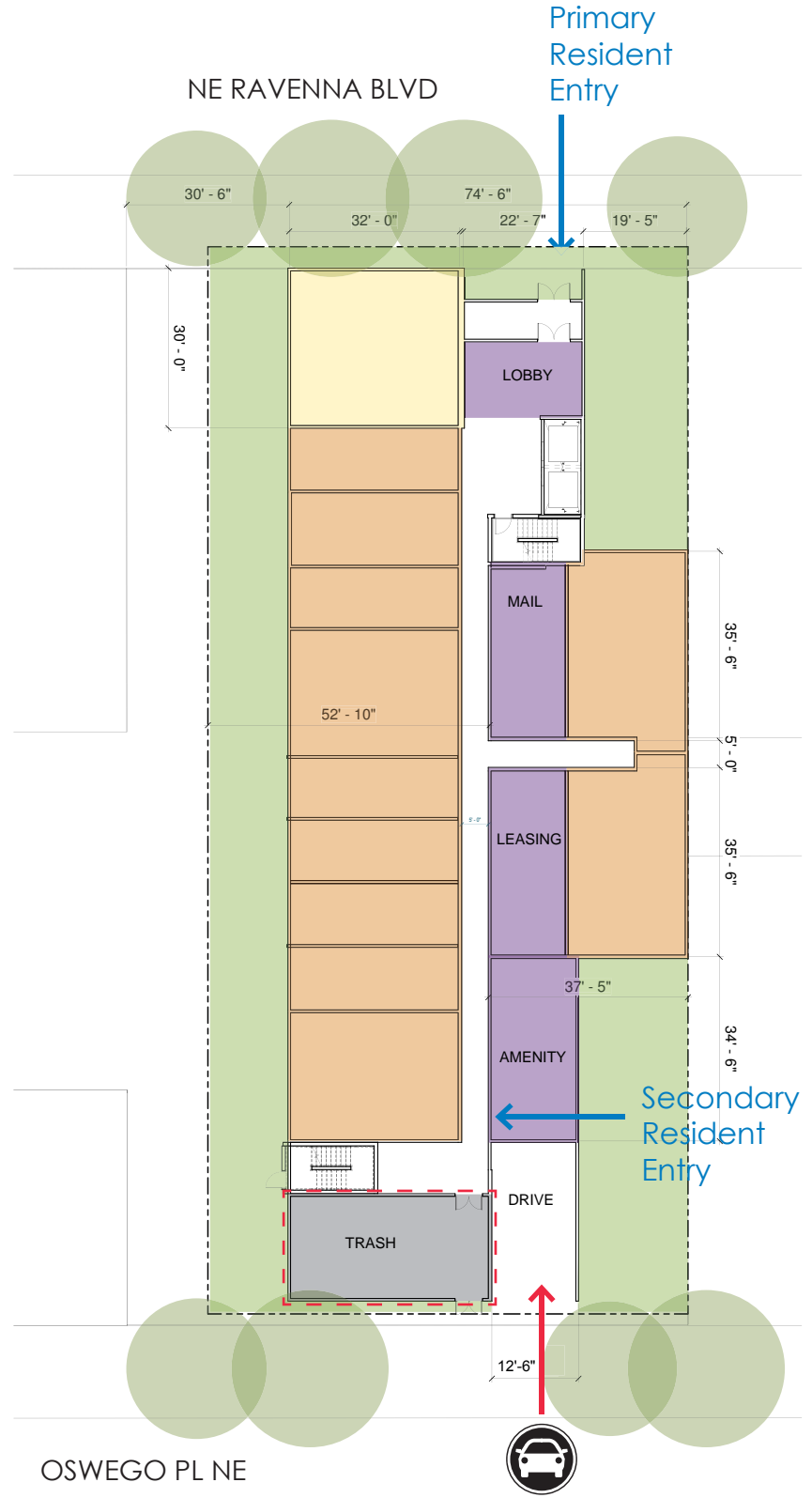
- RESIDENTIAL
- RESIDENTIAL COMMON AREAS
- RETAIL
- RES. BALCONY
- SUPPORT



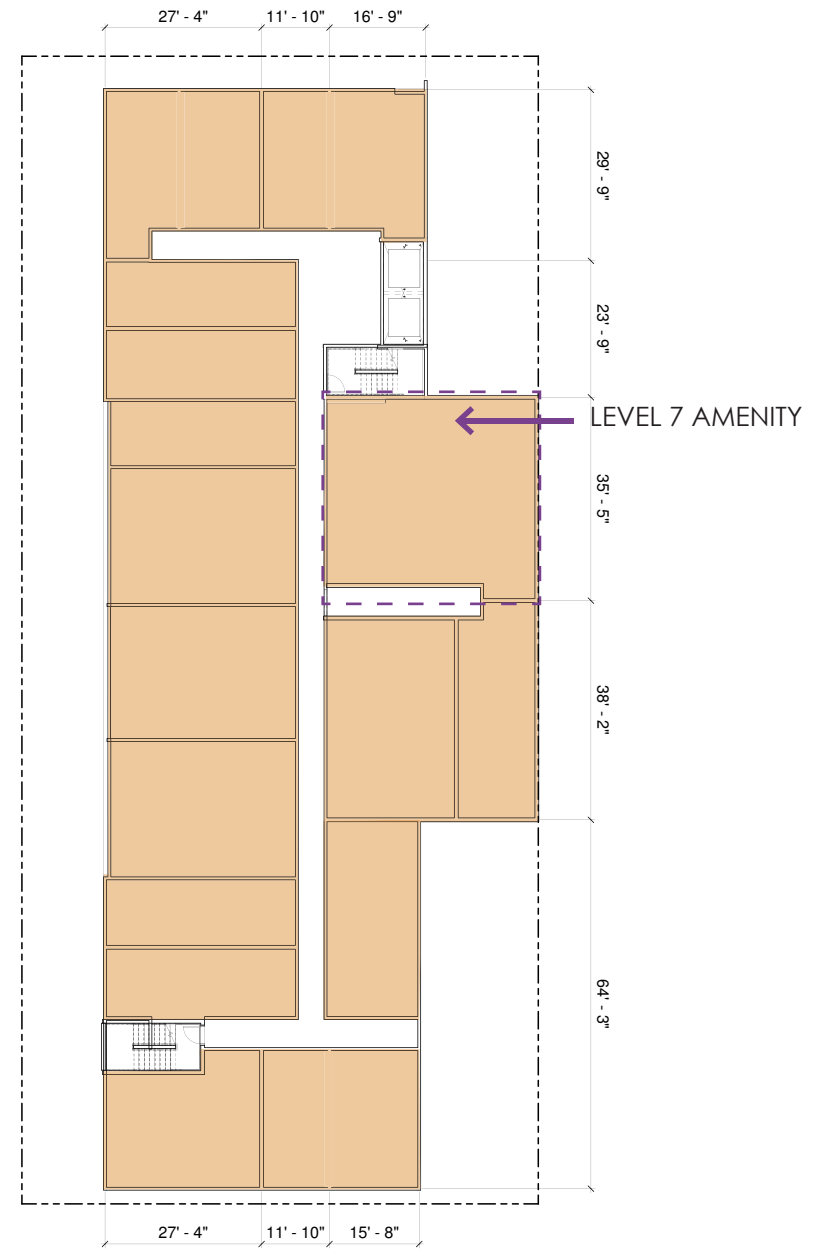
- 24 PARKING SPACES
- 22 STORAGE UNITS (87SF)
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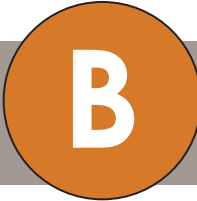
PARKING PLAN



GROUND LEVEL PLAN



LEVELS 2-7 TYP. PLAN



overview

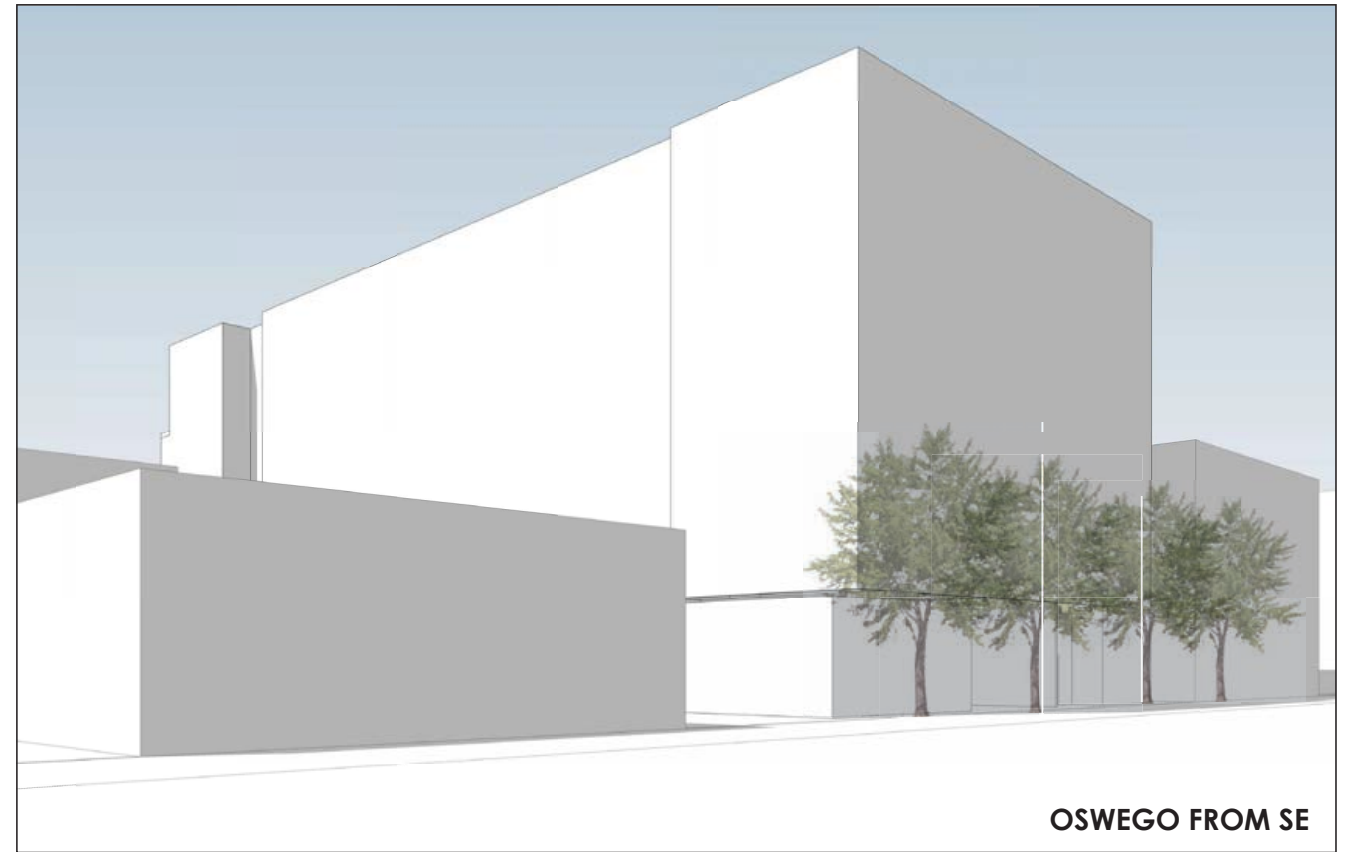
- 7 stories + basement
- 115 units
- 26 parking spaces
- FAR shown = 85,500 sf (86% FAR Utilization of max 99,000 sf allowed)
 - B: 0 sf FAR (below grade)
 - 1: 12,400 sf
 - 2: 12,600 sf
 - 3: 12,600 sf
 - 4: 12,600 sf
 - 5: 12,600 sf
 - 6: 11,100 sf
 - 7: 11,100 sf
 - Roof: 500 sf

opportunities

- i-shaped building allows massing relief at neighbors' side yards
- provides an opportunity for continuous covered canopy along NE Ravenna Blvd
- provides continuity of street frontage along NE Ravenna Blvd and Oswego Pl NE
- provides outdoor area for one of the retail spaces along NE Ravenna Blvd

challenges

- simple building form will require careful and thoughtful articulation by secondary architectural elements



OSWEGO FROM SE

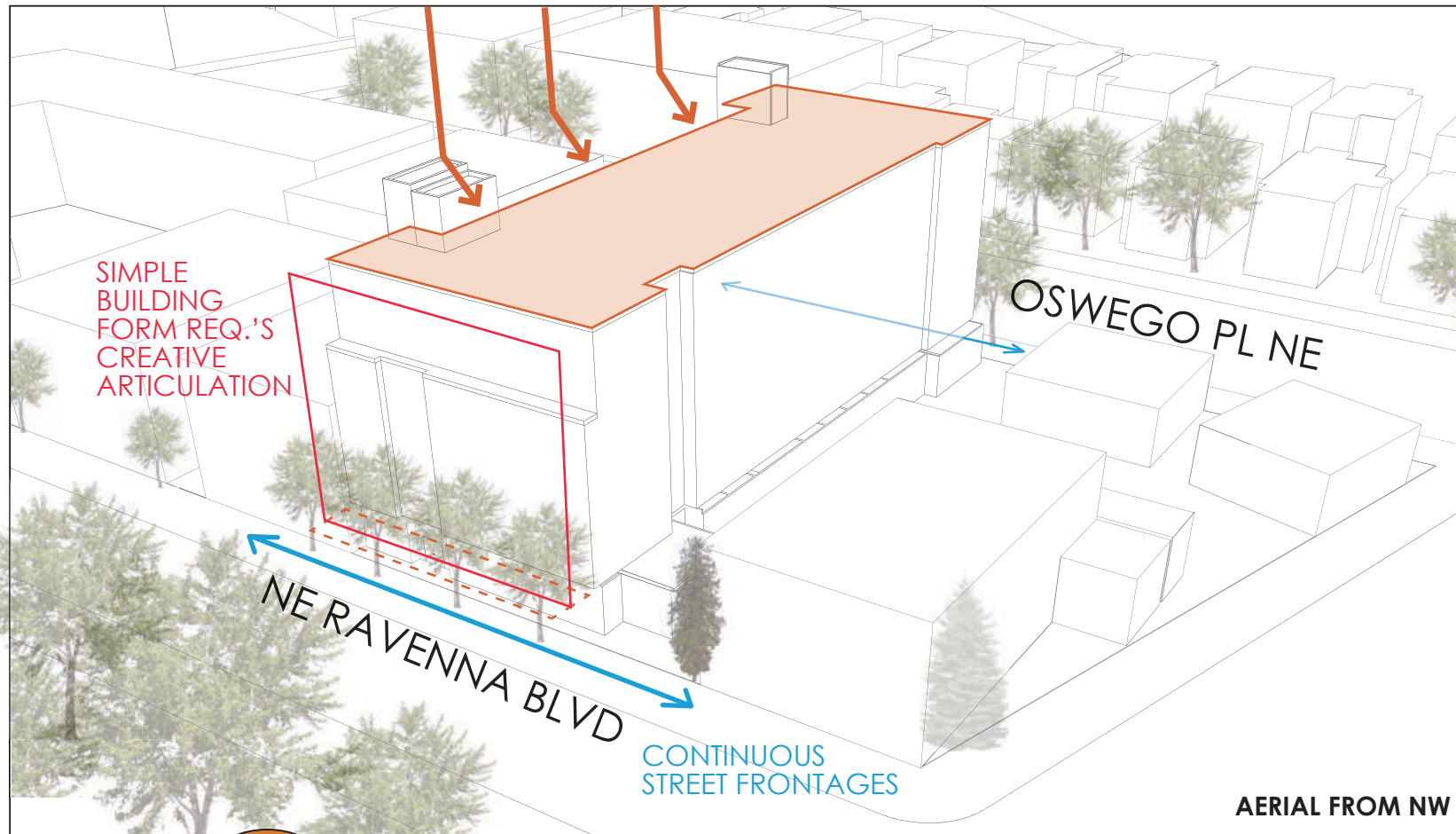


RAVENNA FROM SW

BLDG INSET FOR LIGHT AND AIR AND MASSING RELIEF

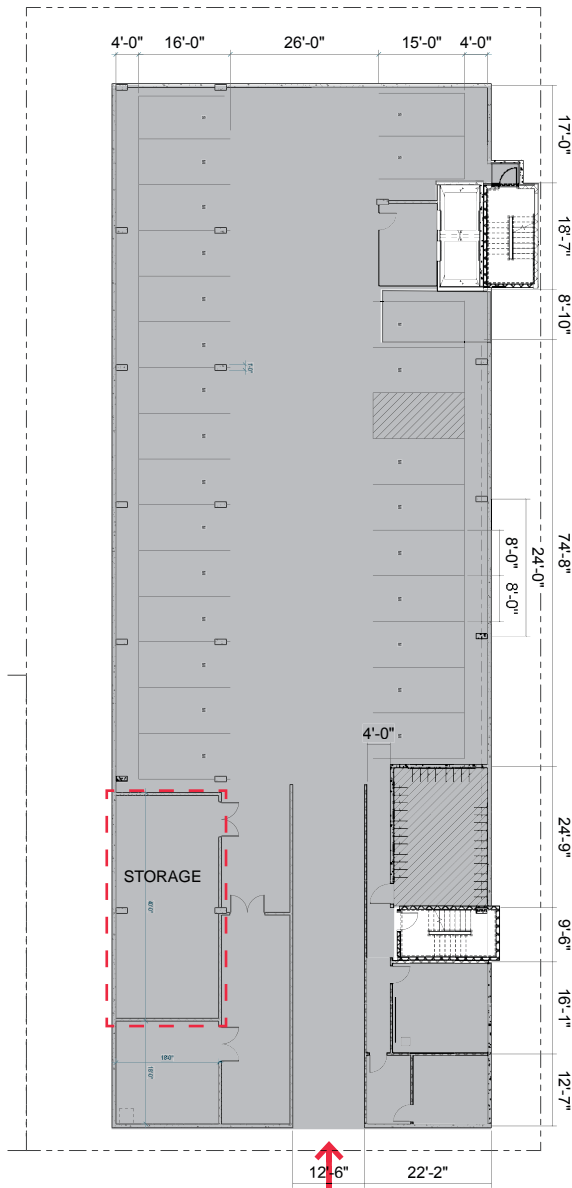
COLOR KEY

- PEDESTRIAN - RELATED DESIGN
- CONSTRAINTS / CHALLENGES
- OTHER DESIGN CUES



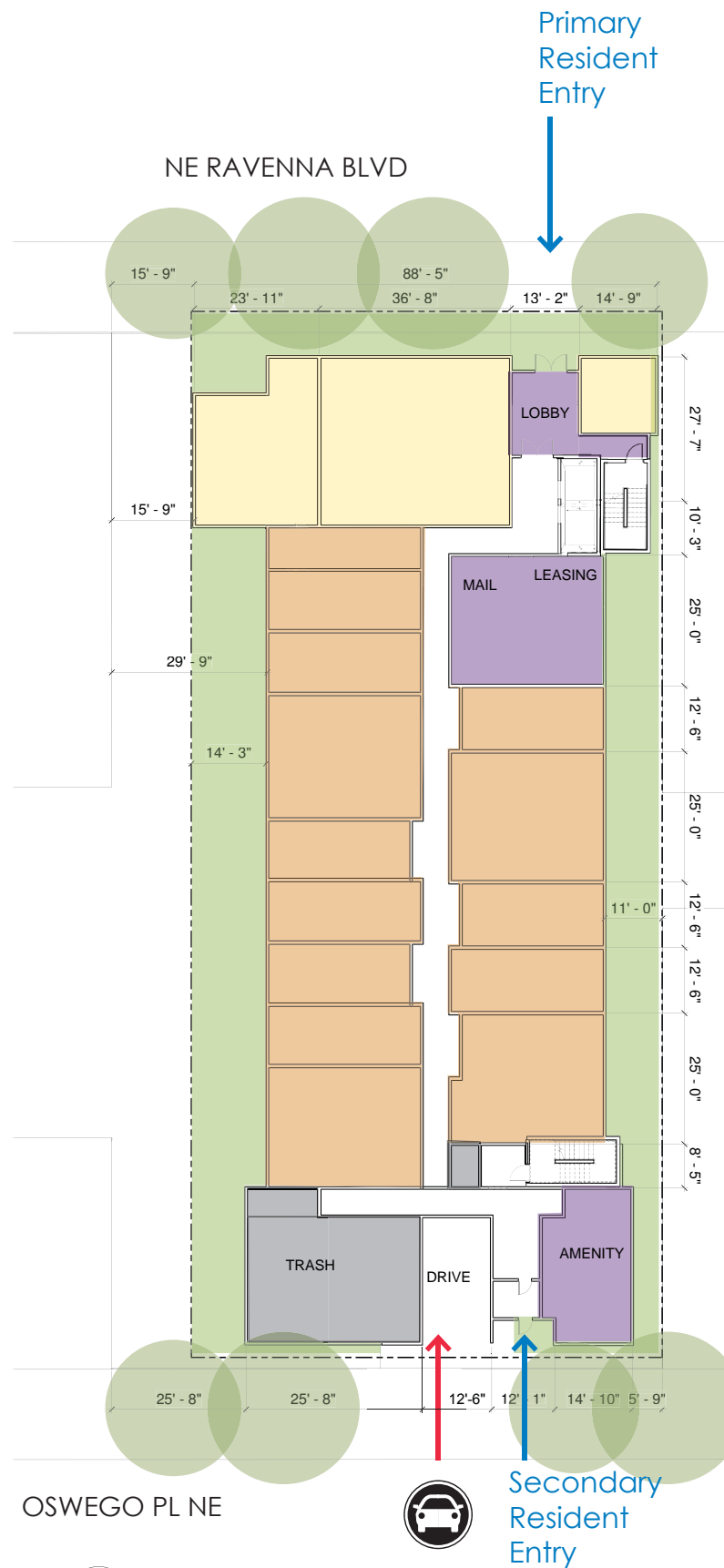
AERIAL FROM NW

- RESIDENTIAL
- RESIDENTIAL COMMON AREAS
- RETAIL
- RES. BALCONY
- SUPPORT

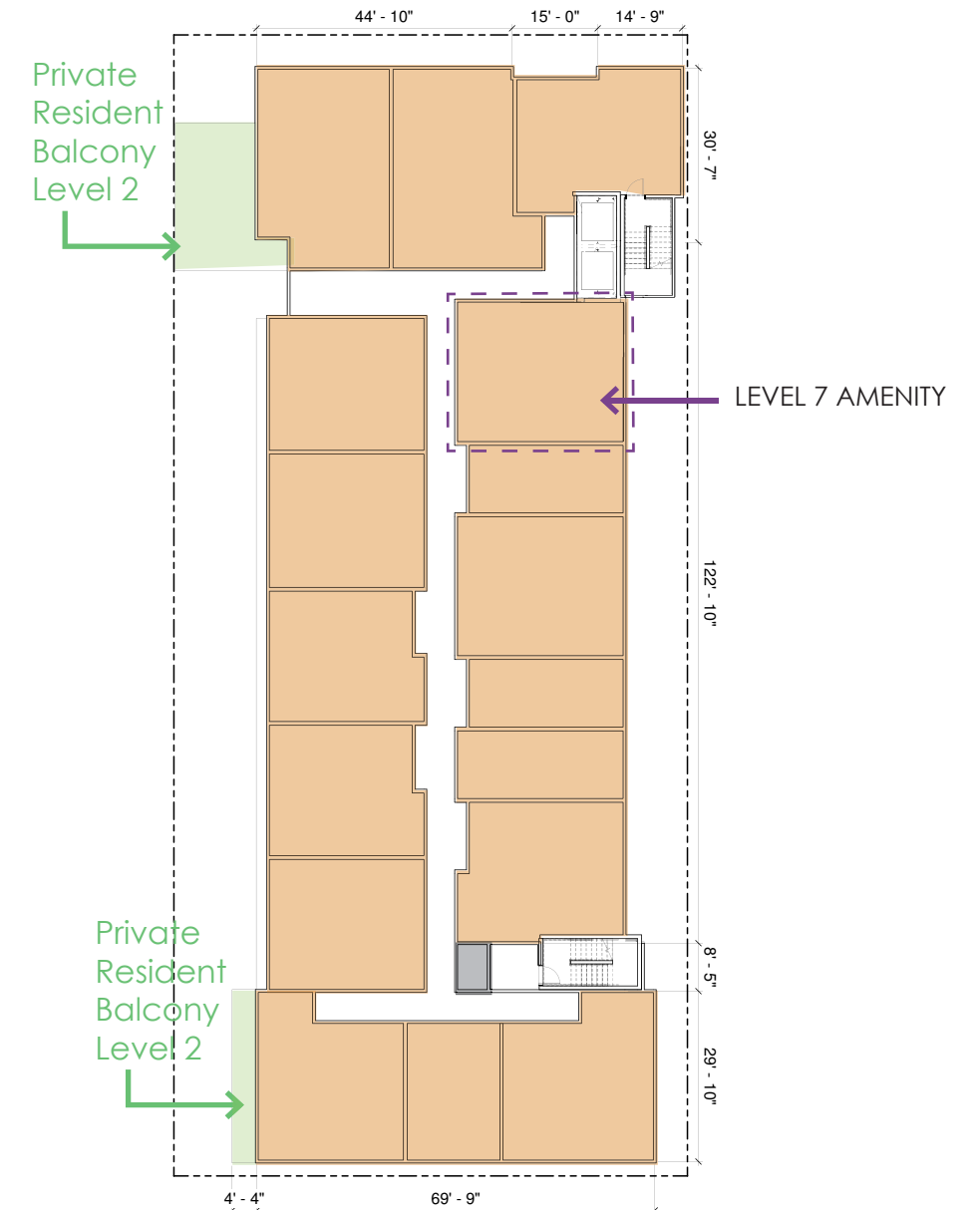


PARKING PLAN

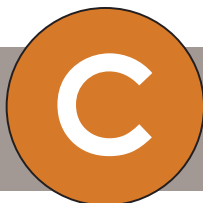
- 24 PARKING SPACES
- 22 STORAGE UNITS (87SF)
- BIKE STORAGE: 32 SPACES



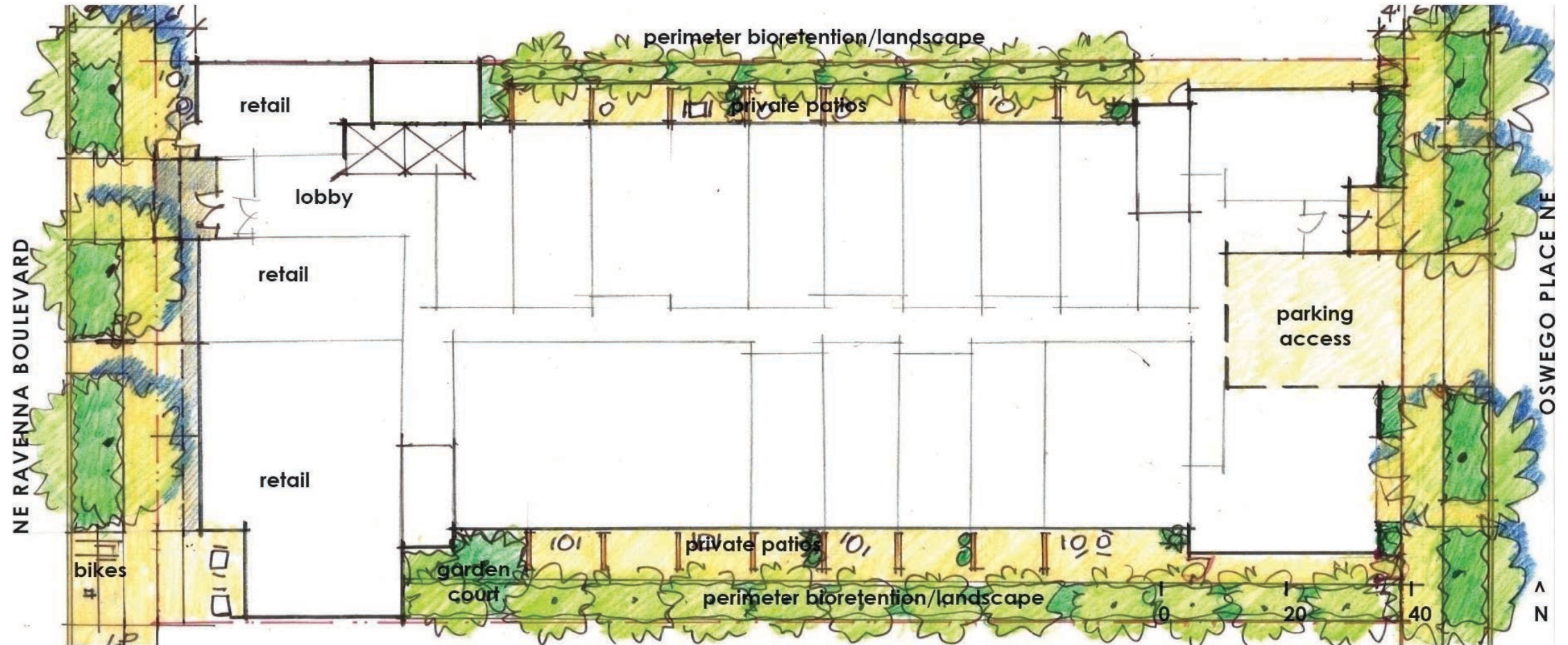
GROUND LEVEL PLAN



LEVELS 2-7 TYP. PLAN



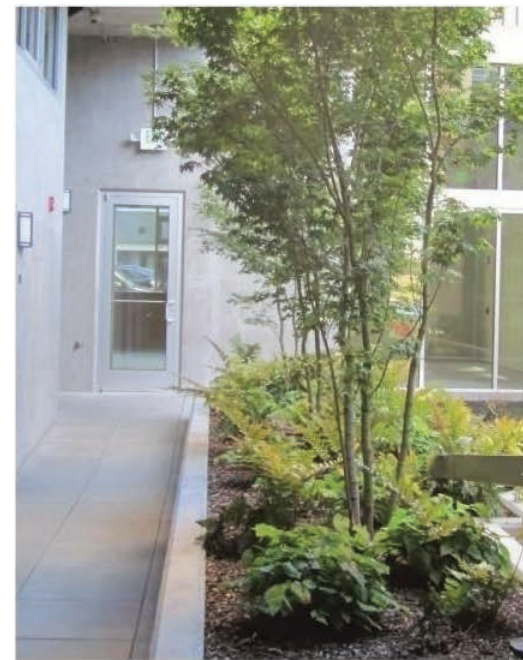
STREETSCAPE



landscape both sides



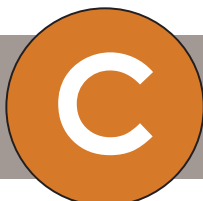
sidewalk/retail shuffle



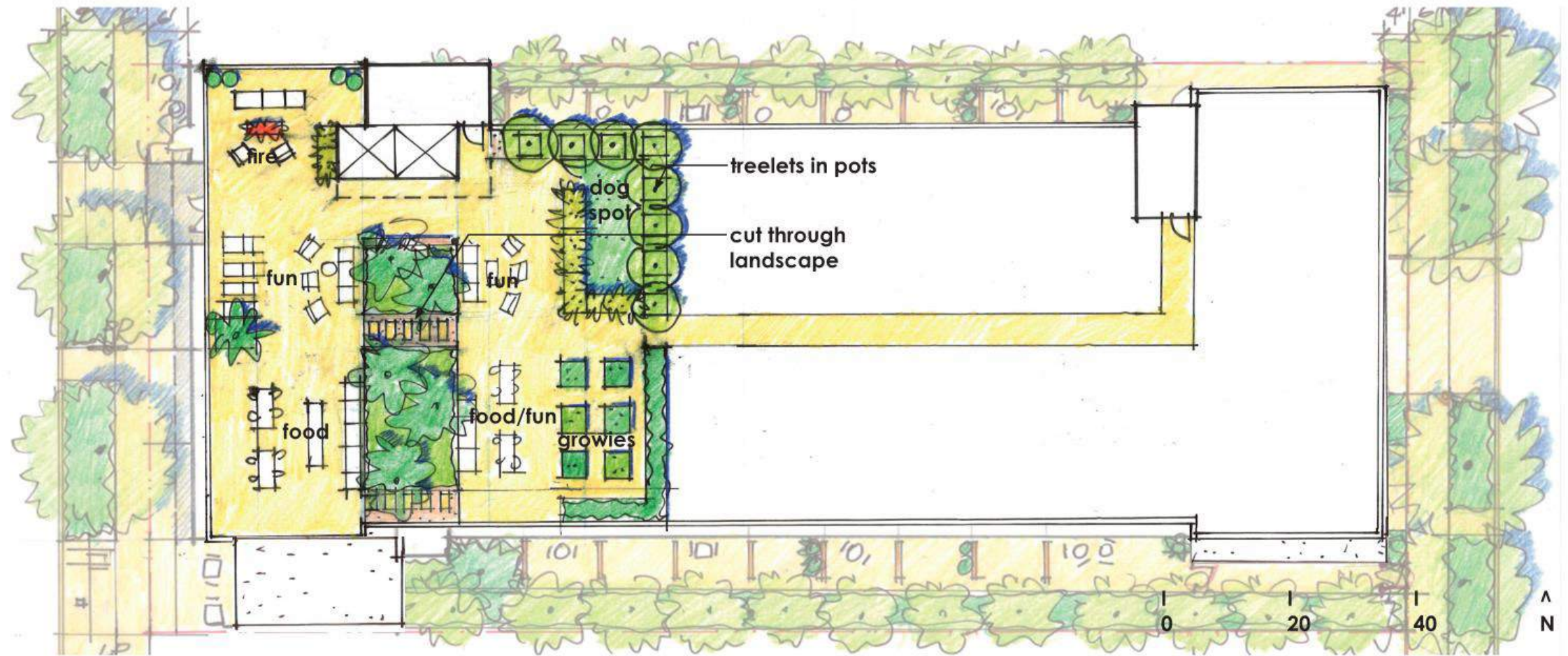
perimeter bioretention, landscape



Tofino better bike rack



ROOF



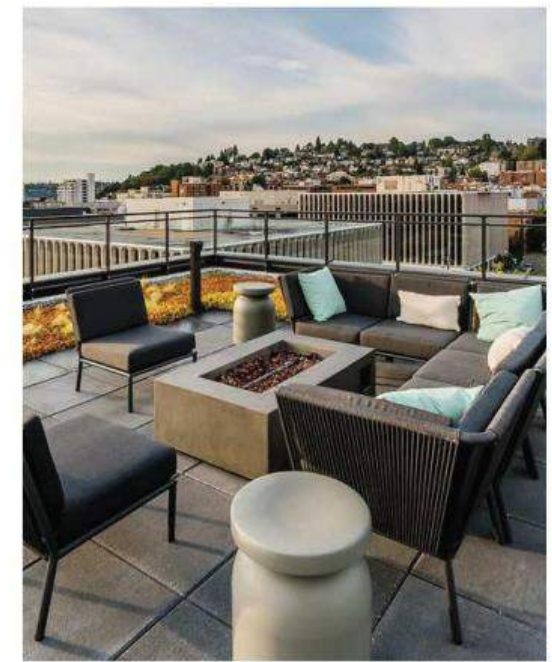
mounded landscape with trees



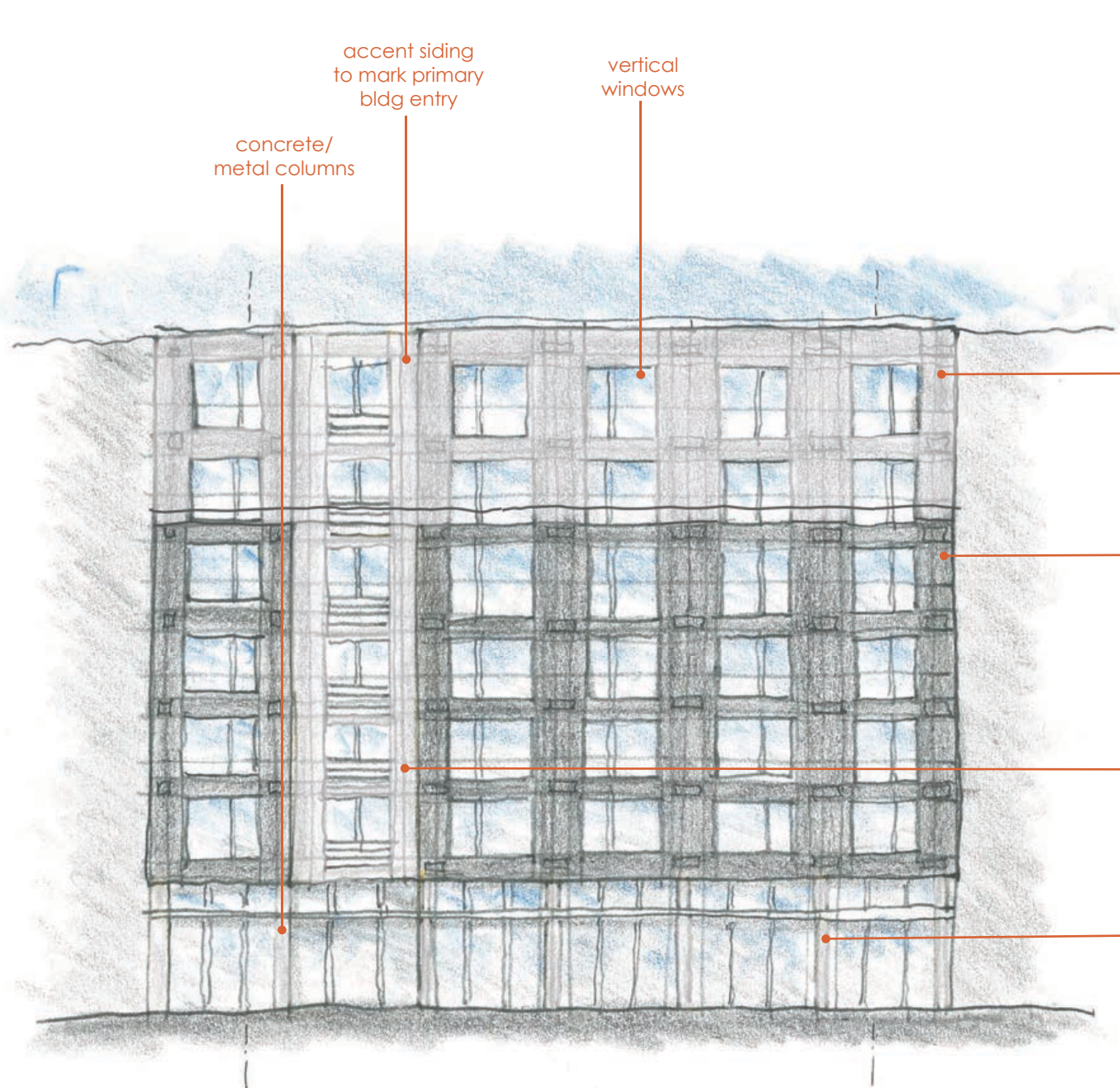
dog spot



treelets in pots



informal fire





MARCH 21 / SEPTEMBER 21

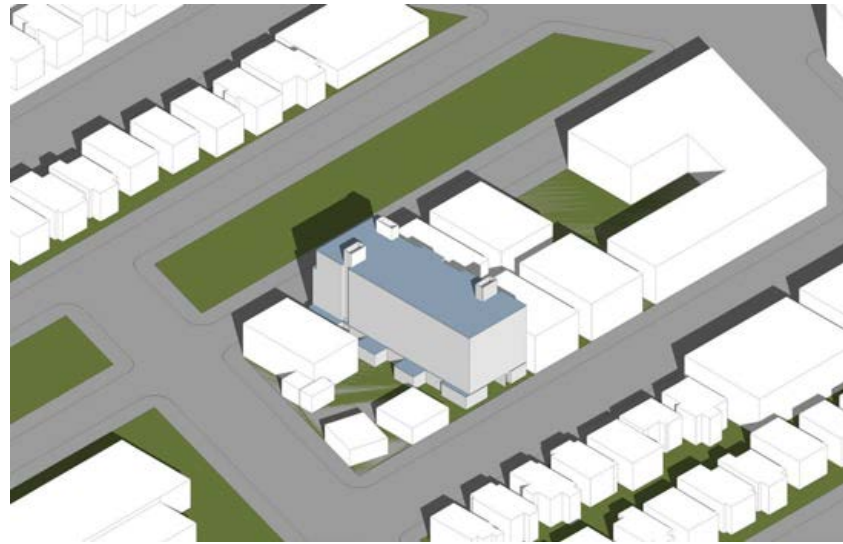


MARCH 21 / SEPTEMBER 21



MARCH 21 / SEPTEMBER 21

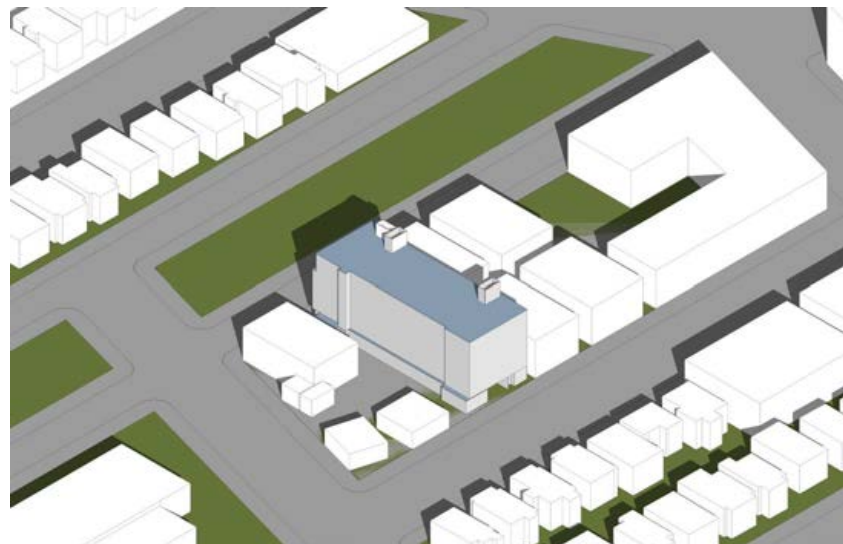
A
SCHEME A
CRELATED



B
SCHEME B
COURTYARD



C
SCHEME C
PUNCTUATED
[PREFERRED]



north



ARTICULATED COLORS / MATERIALS



COMMUNAL COURTYARD



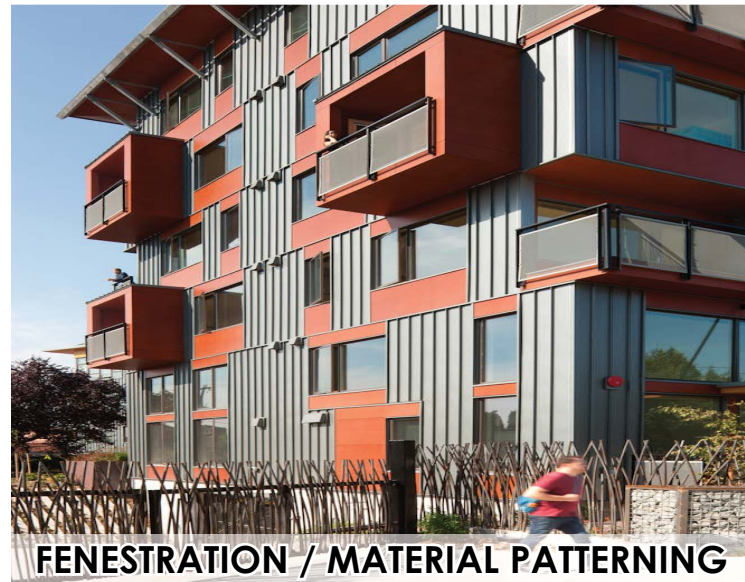
TACTILE MATERIALS



CREATIVE SITE DESIGN



VISIBLE SUSTAINABLE PRACTICES



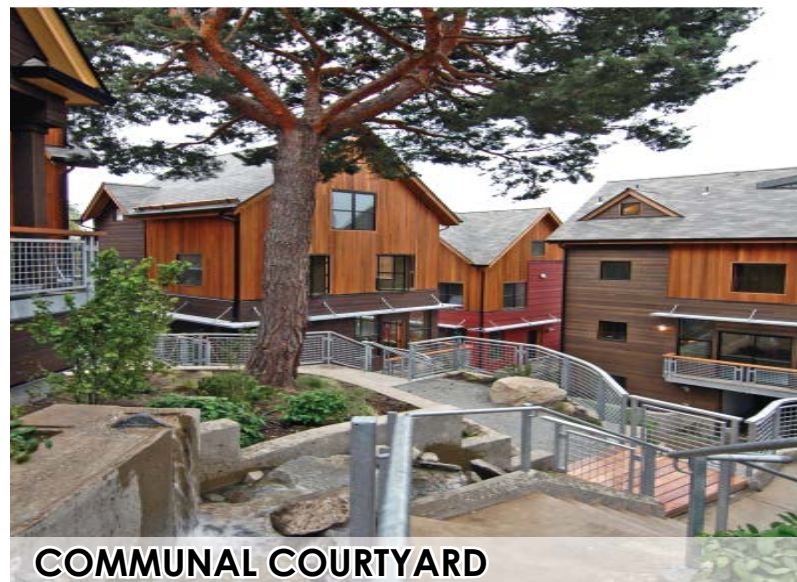
FENESTRATION / MATERIAL PATTERNING



LIVABLE COMMUNAL SPACE



FENESTRATION / MATERIAL PATTERNING



COMMUNAL COURTYARD



STREET-LEVEL ENGAGEMENT



FINE-GRAIN ARCHITECTURAL DETAIL



ARTICULATION OF MASSING