

Build Urban | 127 Bellevue Ave E

Project 3031156



workshop AD

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proposal

The site, zoned MR and located within the Capitol Hill Urban Center Village, is a midblock lot on the west side of Bellevue Avenue East between East Denny Way and East John Street. Bellevue Avenue East is a residential street that stretches from the northwest end of Capitol Hill to the Pike/Pine commercial corridor. A block north of East Denny Way, the site is at the crossroads between the Denny Triangle, Cascade Neighborhood, South Lake Union, and Capitol Hill. The eclectic neighborhood is filled with varied housing scales and typologies that span the last century.

The site, and its neighbor, are unique for Bellevue Avenue East. The front yard contains a mature Honey Locust and an ivy-covered bank that is contiguous across both lots, the lot provides a topographical and scale break from the narrow sidewalk and the buildings that crowd the street edge in all directions. Above the landscaped bank, the lot is level until it falls steeply to the alley. This steep slope contains two clusters of Big Leaf Maple trees. One is considered significant by the Seattle Tree Protection Code.

The proposed project is a six-story condominium building with 45 dwelling units, 37 of which are small efficiency dwelling units. The project includes services and trash at the alley level, bike parking split between the Bellevue Avenue entry and the alley level, yard level common spaces, and a common roof deck.

The design proposal responds to five primary considerations:

1. Provide compact and efficient for sale dwellings.
2. Reinforce the scale and texture of the existing landscape fronting Bellevue
3. Develop an efficient midrise typology for narrow sites
4. Integrate building form and use within an eclectic and congested context
5. Enhance the community through direct engagement with the public realm.

urban analysis



1 Lower Pike & Pine corridor retail street



2 Cascade Neighborhood



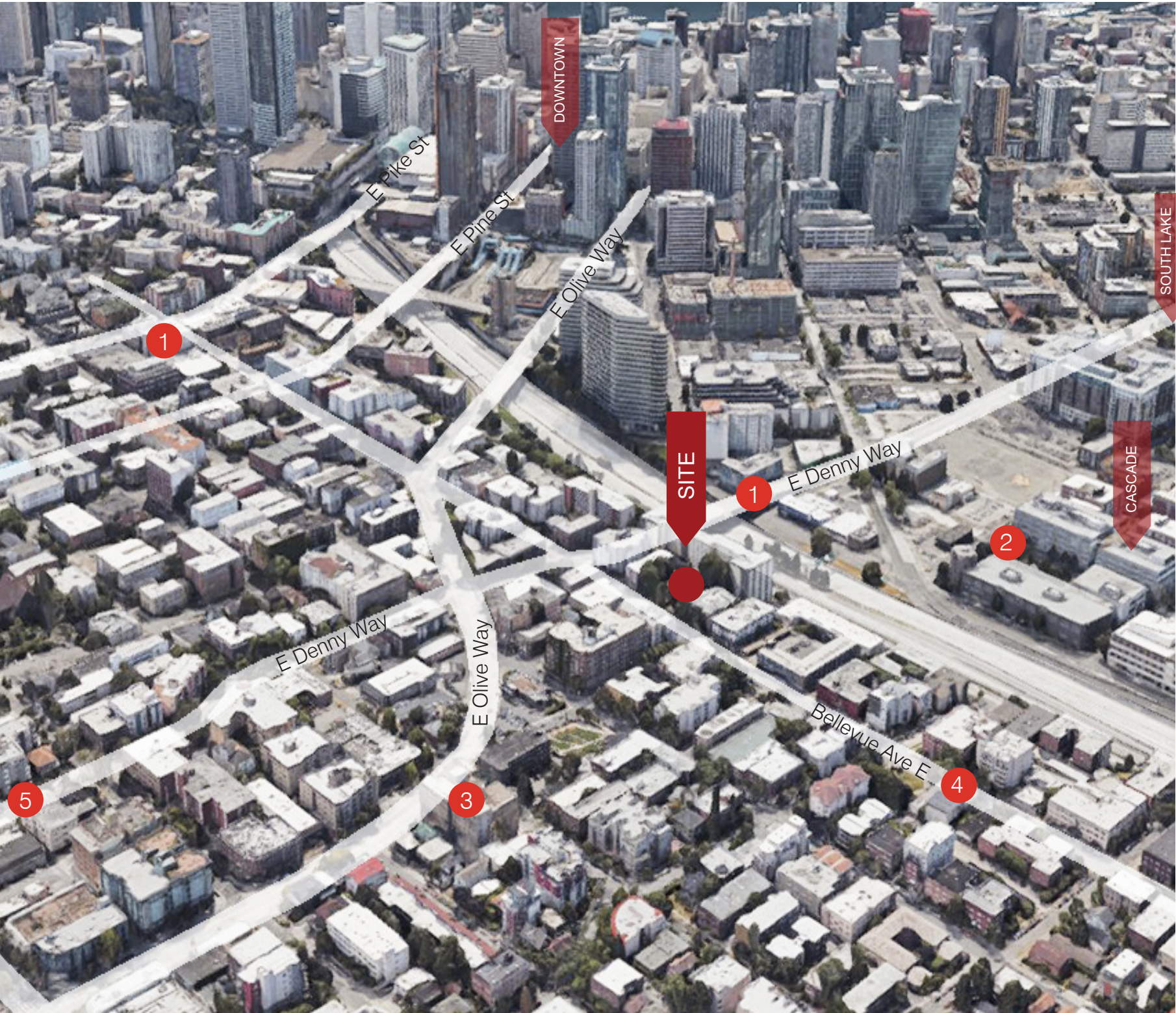
3 E Olive Way retail & restaurants



4 Bellevue Ave E residential street



6 Cal Anderson Park





Within a historical view of the context, the project could be said to sit squarely within the established residential fabric of northwest Capitol Hill; a fabric of three to six story residential structures primarily constructed between 1920 and 1980. However, as the Cascade and Denny Triangle neighborhoods transition from primarily commercial, light industrial, cultural, and small scaled residential to robust, mixed use neighborhoods, there is a shift in the center of gravity of these neighborhoods. Instead of neighborhoods severed by I-5 and separated by dramatically different uses, these neighborhoods are growing into a contiguous urban environment that is linked by a limited number of bridges that span the freeway.

As much as the project will be connected to an extant mixed-use urban environment of Capitol Hill, it is equally well connected to the urbanizing areas to the west. The pedestrian activity along Denny is a testimony to these changes--as well as the fact that the Whole Foods on Westlake is nearly as close to the project as the QFC on Broadway.

neighborhood use & zoning

Zoning	MR
Overlays	Capitol Hill Urban Village
Lot Size	5,394 sf
FAR	3.20
Allowable GFA	17,261 sf
Base Height Limit	65 feet
Setbacks	
Front	5 ft min / 7 ft average
Rear	10 ft
Side (up to 42 ft)	5 ft min / 7 ft average
Side (over 42 ft)	7 ft min / 10 ft average
OHP Clearance	14'-0"
Amenity Area	863 sq ft (5% of residential use)
Parking	None required or provided (CHUV overlay + frequent transit)
Solid Waste Storage	375 sq ft required and provided
Bicycle Parking	46 proposed

Nearby uses east of the freeway are primarily residential and comprised of structures constructed throughout the past century. Projects vary in scale from single parcel size to full half block structures. Olive way provides a mix of professional offices, restaurants, and cafes. To the west, uses are a collection of larger scale commercial, residential, and mixed-use structures.

site

multi-family housing

mixed-use

commercial / retail / office

civic / religious

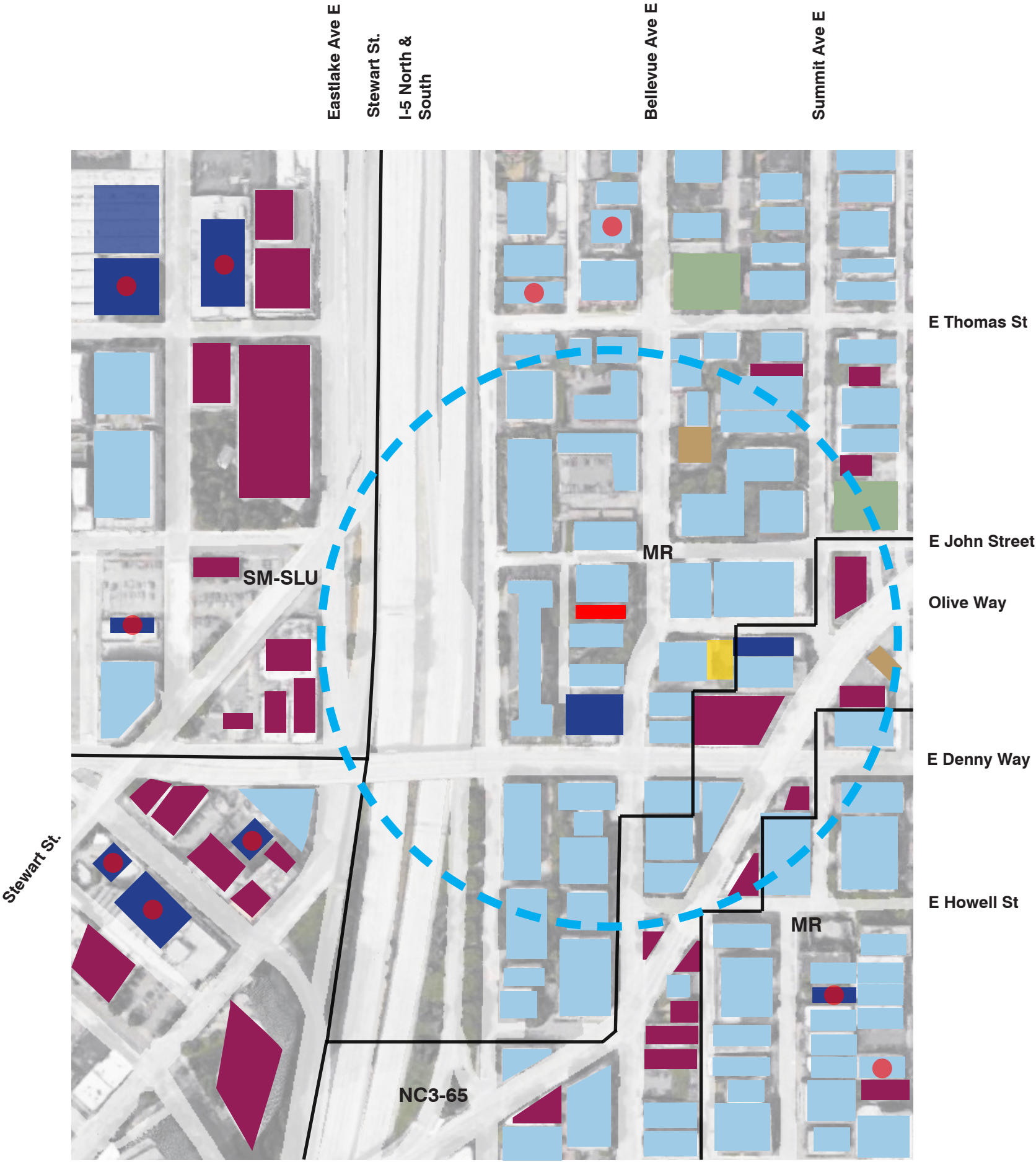
recreation / open space

proposed housing development

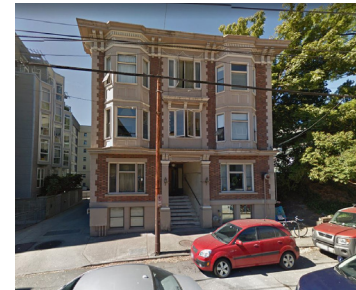
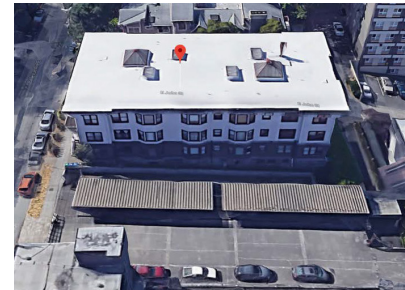
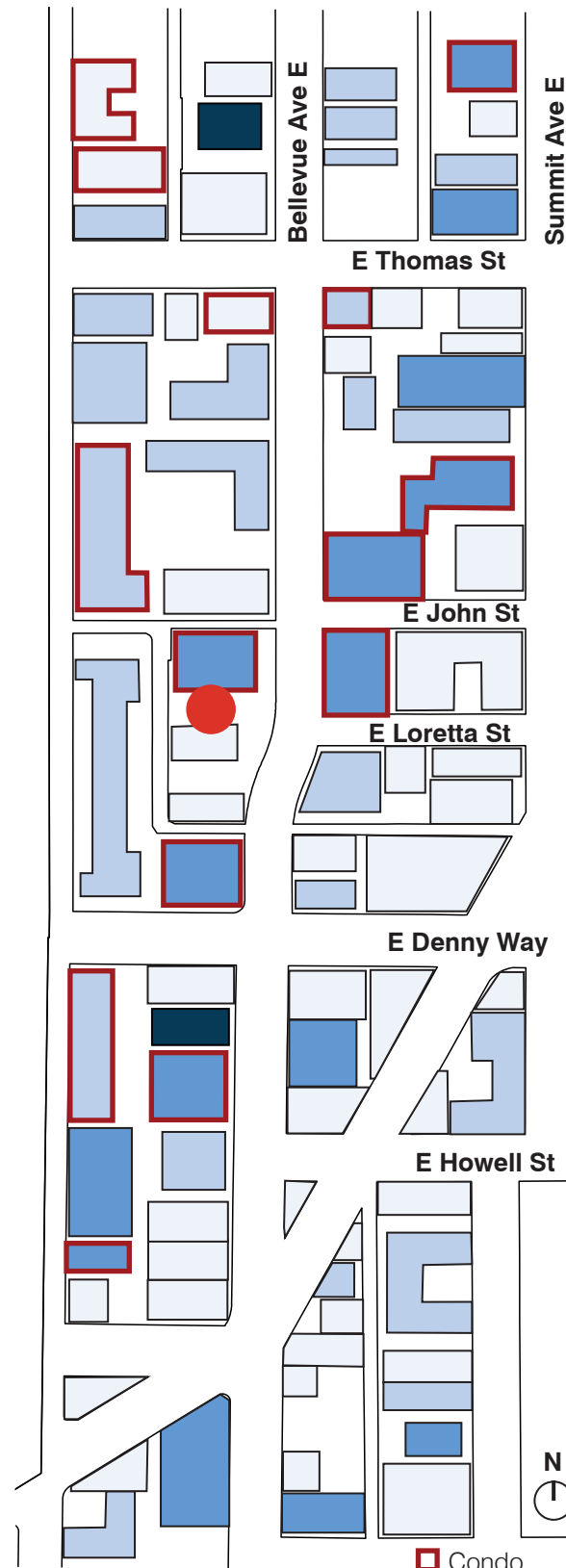
proposed mixed-usedevelopment

1/8 mile radius

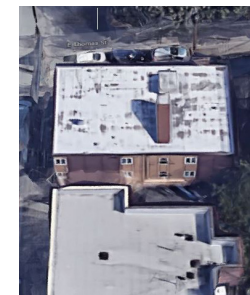
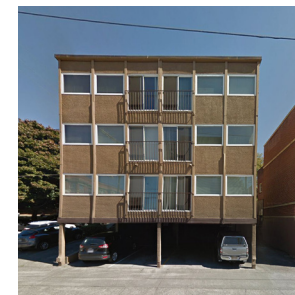
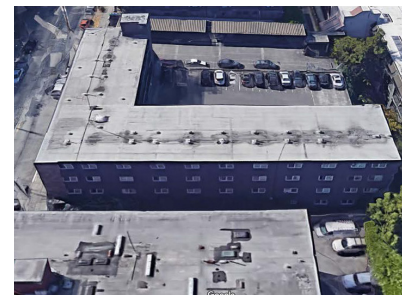
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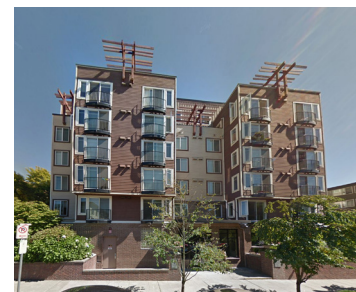
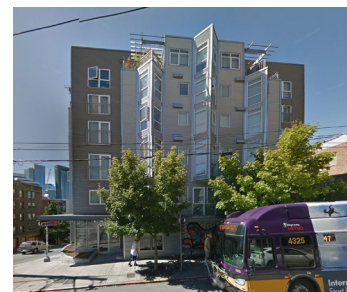
residential typologies



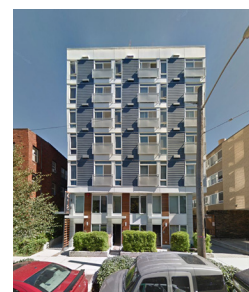
1900-1940



1940-1980



1980-2010



2010-Present

1900 to 1940

Three and four-story walk-up apartment. No setback. Mid-frontage entry with central corridor. First story half-level above sidewalk grade. Limited building modulation. Uniformly spaced vertically proportioned windows on street and side facades. Brick cladding with belt course at first story floor. Limited or no parking.

1940 to 1980

Two and three-story garden style and parking court apartments. No setback or large setback for parking. At grade entry or shared balcony. Planar building modulation. Horizontally proportioned windows. Panel and stucco cladding with brick or stone accent surfaces. Some balconies. At grade courts or tuck under parking—usually on east side of street due to no alley access.

1980 to 2010

Five to seven-story block style apartments. No setback. Street level entry lobby. Large scale massing, bay windows, and balconies used for modulation. Square proportioned windows on front and side facades. Cladding used to accent modulation elements. Metal, wood, and lap cladding products. Venting on façade.

2010 to present

Six story infill apartments. 7 feet street setback. Street level entry lobby or townhouse style street frontage and side entry. Limited building modulation. Large street facade windows, slender side façade windows. Cladding of cementitious panel, metal, or unit material installed as panels. Composition of windows and panels. Limited balconies.

site

127 Bellevue Avenue East

Lot size 40 ft x 135 ft (approx.)
Lot Area 5,394 square feet

The topography slopes upward ten feet from Bellevue Avenue East then is generally level until it falls steeply for fifteen feet to the alley. An overhead power line fronts the property and the required fourteen feet clearance results in a building setback greater than the midrise zone front setback. The lots on either side of the site are generally lower with a retaining wall or shoring along the property line.

To the north is a four-story Corniche Condominium, to the south, the two-story Richards Apartments. At eleven-stories and 300 feet long, the Denny Terrace Apartments is a visual barrier to the west.

Upper levels of the project will have views of Lake Union to the northwest and of downtown to the south and southwest.

Solar access will be good at upper levels of the east, south, and west sides. Lower levels will be impacted by adjacent buildings to the south and west.

An arborist's assessment has been prepared for the project and there is an exceptional Big Leaf Maple located on the steep slope at the west of the site and an exceptional Honey Locust located at the south east corner.



1



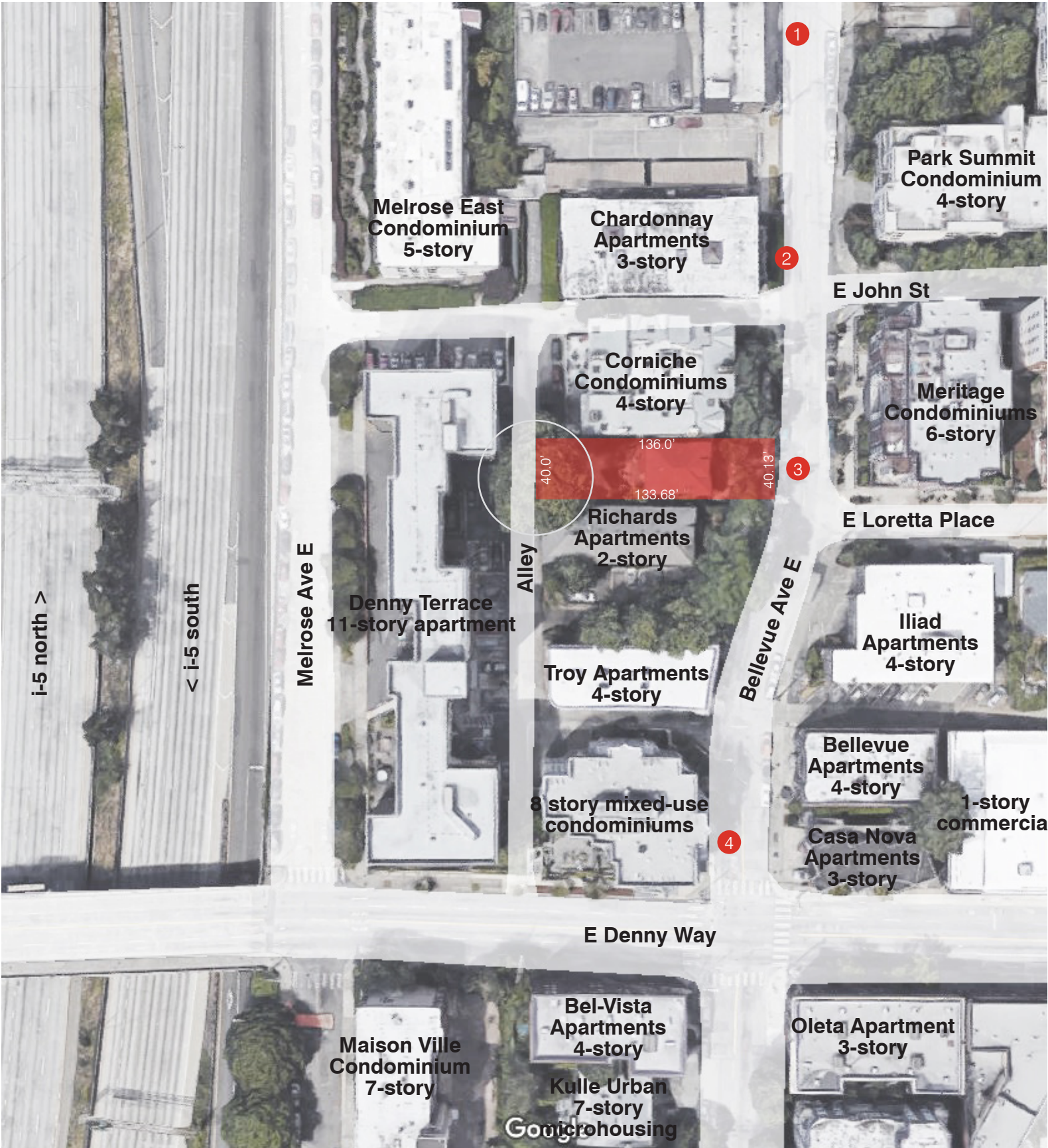
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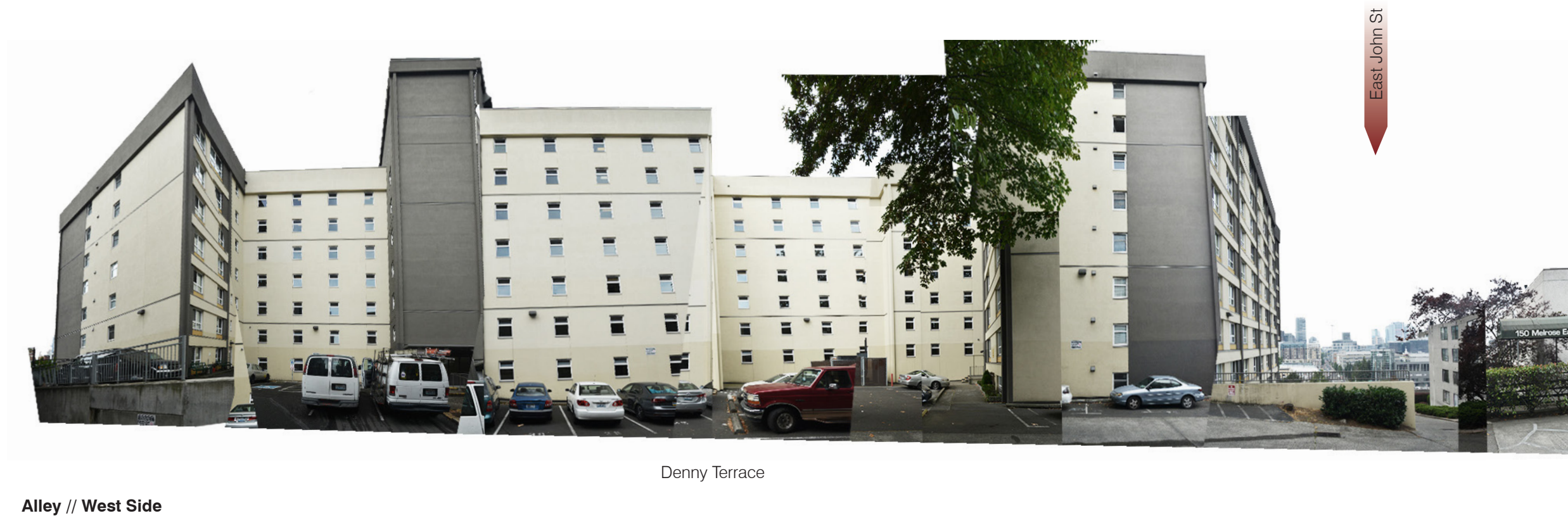
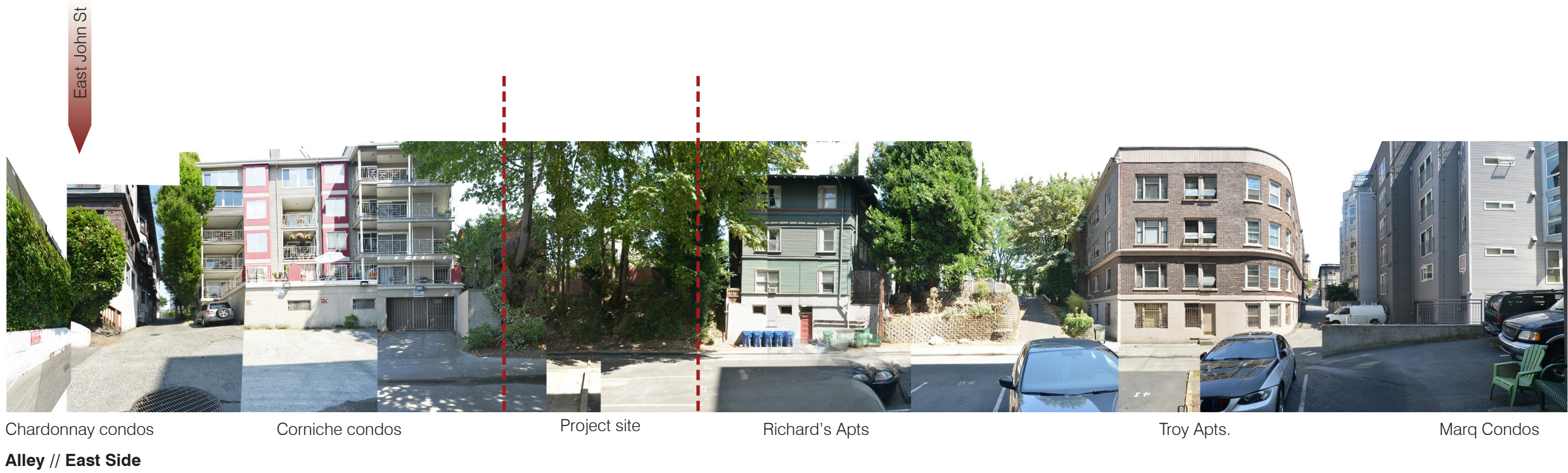


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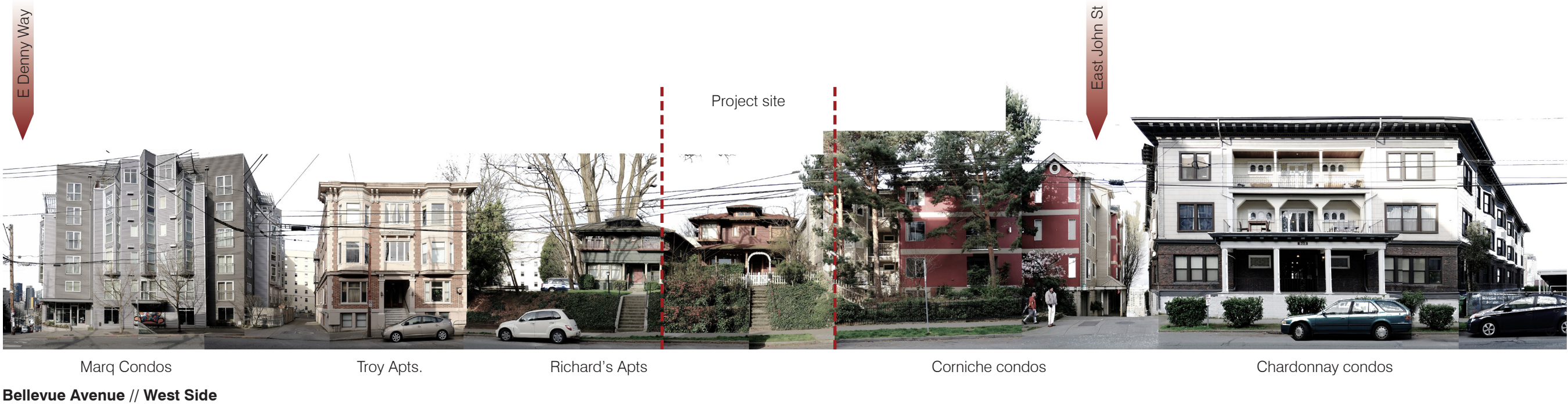
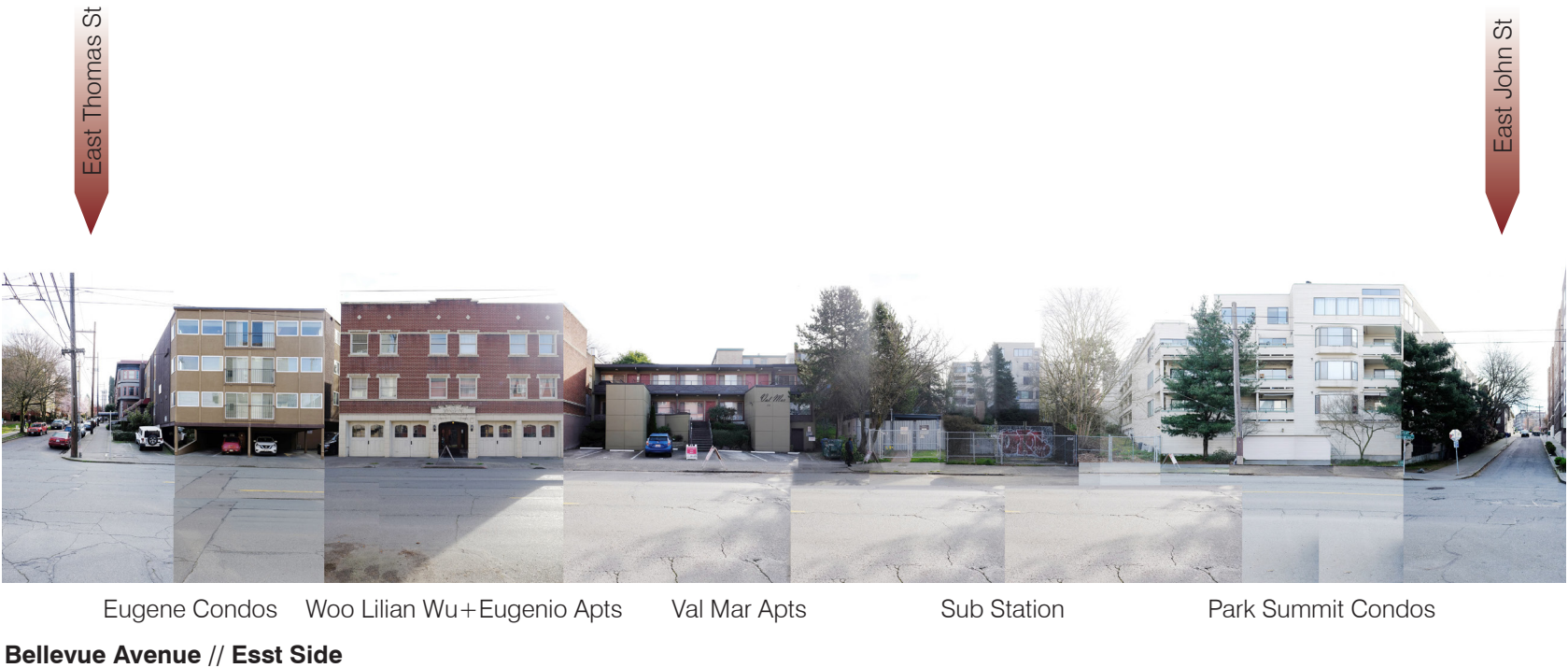


4





streetscape photos





Meritage Condos

Iliad Apts.

Snowden Apts.

Pein Francis D + Harriett Hop Apts.



Viewmont Apts.

The Hawaii Apts.

Veduta Condos

site survey

Tree Identification

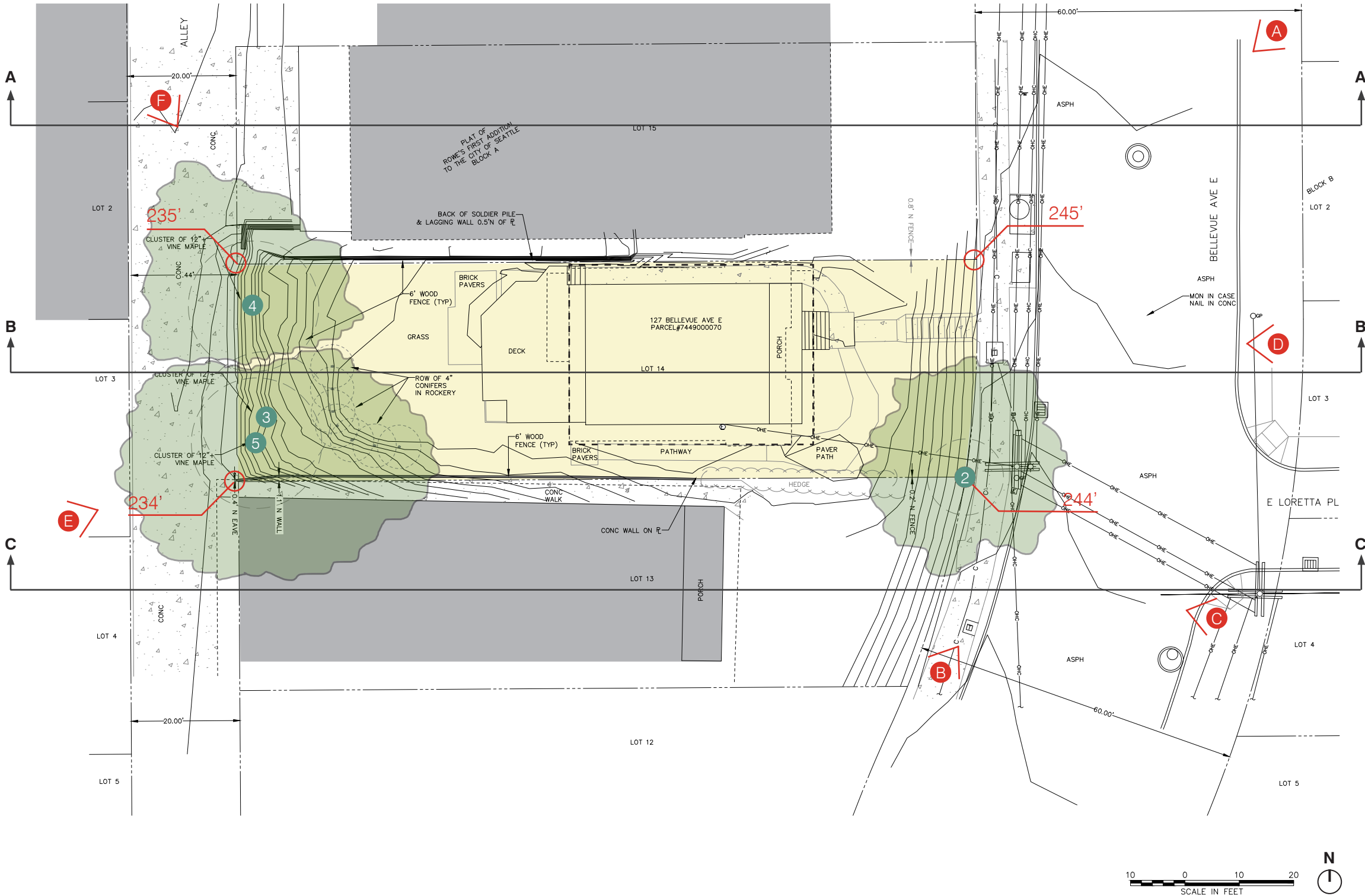
Tree #1: 19.2" DBH Wild Cherry Tree (*Prunus avium*), fair condition, average physical drip line radius 12' non exceptional tree
a
Tree #2: 34.2" DBH Honey Locust tree (*Gleditsia triacanthos*), fair condition, average physical drip line radius 7' exceptional tree due to size

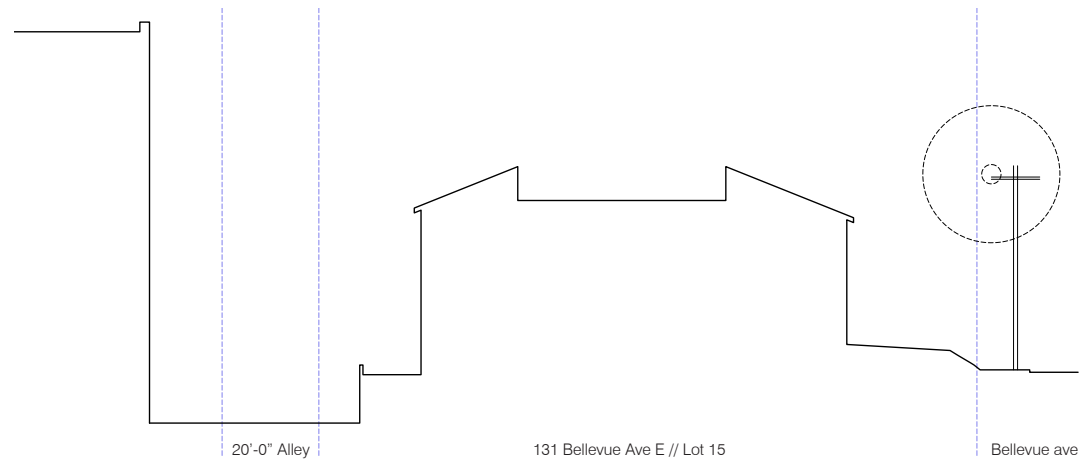
Tree#3: 22.2" DBH Big Leaf Maple tree (*Acer Macrophyllum*), fair condition, average physical drip line radius 15' non-exceptional tree

Tree#4: 17.1" DBH Big Leaf Maple tree (*Acer Macrophyllum*), fair condition, average physical drip line radius 18' non-exceptional tree

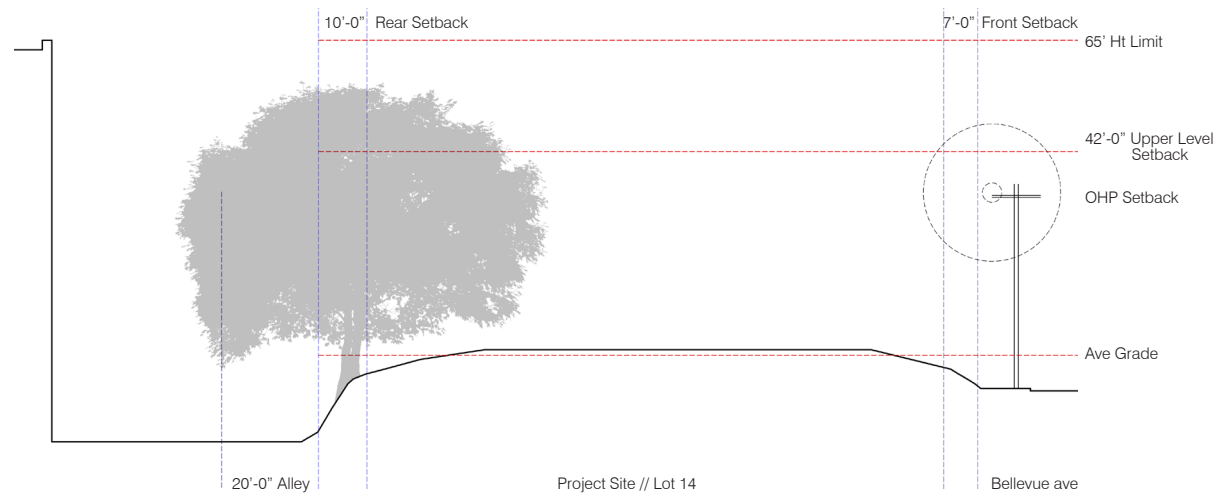
Tree#5: 44.9" DBH Big Leaf Maple tree (*Acer Macrophyllum*), fair condition, average physical drip line radius 27' exceptional tree due to its size

Tree#6: 18.2" DBH Big Leaf Maple tree (*Acer Macrophyllum*), fair condition, average physical drip line radius 16' non-exceptional tree

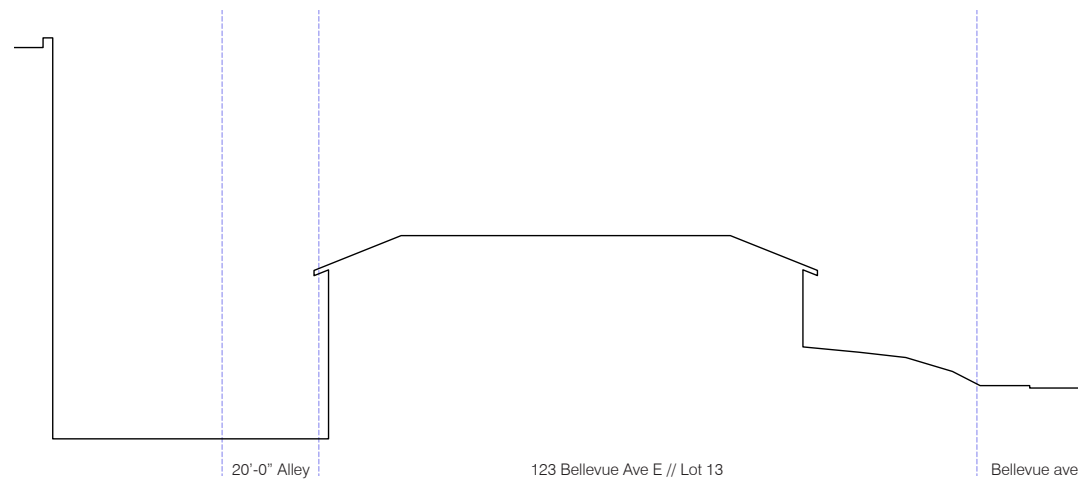




Section A



Section B



Section C



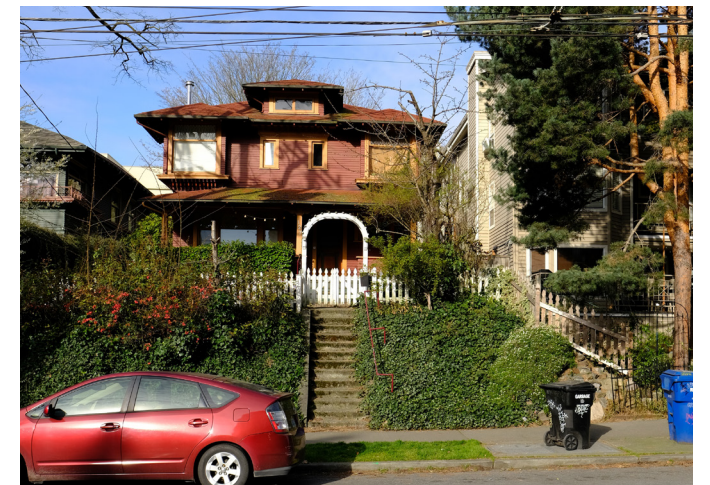
A Bellevue Way E



B Sidewalk



C Adjacent Site



D Project Site



E Alley



F Alley

building materials

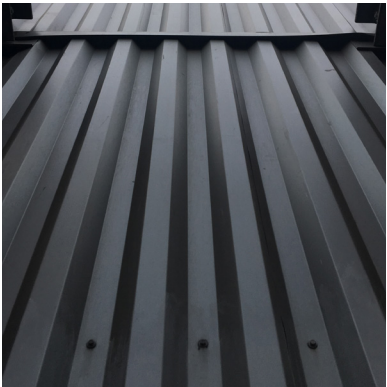
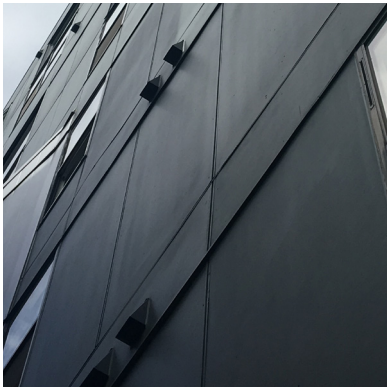
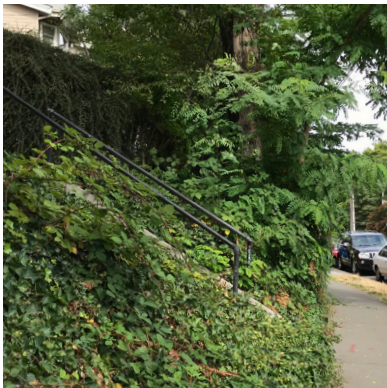
The range of periods, building types, and styles leads to a variety of building materials and levels of quality.

Brick masonry is found across all periods; with the extent diminishing with time. Early buildings were predominantly brick. More recent buildings deploy the material primarily as an accent. Different types of concrete masonry appear on several mid-century buildings.

Wood is also used across the different periods of buildings in a wide range of scales and quality. Narrow profile painted VG fir has given way to lesser quality cedar that is often stained.

Metals are used in a variety of ways from stock profiles used for rails and ornament, to exposed structural pipe columns, to perforated sheet and siding systems on buildings constructed in the past fifteen years.

Panel products are most prevalent on very recent and mid-century buildings. Stronger colors are used on these materials. Color is also used on stucco or other coatings.



midrise typology analysis



East Union Lofts
1320 East Union Condominiums
Condo
NC3-65
40 x 80

Party wall building with side walls at property line. Large panels and reglets used on party wall. Structural steel frame allows for fully glazed front and rear façade. Seven stories with a roof deck. As the NC zone does not require a setback. 40 foot width allows for three units across the frontage. No modulation. Units are through units with exposure on front and back.



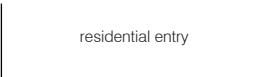
Capitol Core
231 Bolyston Ave E
Apartment
MR
40 x 68

Midrise building with offset stagger at upper levels for setback averaging. Modulation due to averaging and secondary elements. Elevator and stair penthouses consolidated in single massing. Juliet balconies.



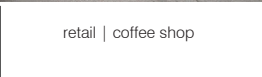
Kulle Urban Living
1815 Bellevue Ave E
Apartment
MR
50 x 105

Midrise building with offset stagger at upper levels for setback averaging. Modulation due to averaging and secondary elements. Different materials used to emphasize modulation. Elevator and stair penthouses consolidated in single massing at center of building. 50 ft wide lot allows for three units across front and rear as well as units to north and south of stair and elevator core. Height limit allows for lofted spaces on top two stories. Small amenity space at ground level.



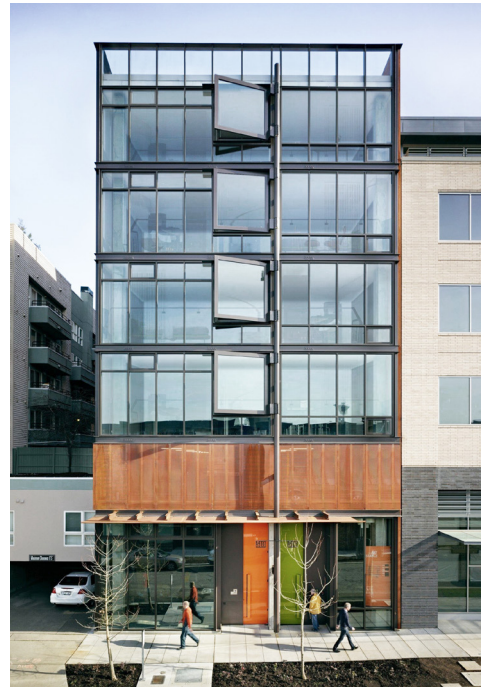
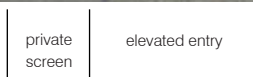
Belroy Apartments
711 Bellevue Ave E
Apartment
MR
40 x 120

Midrise addition to existing garden style apartment complex. Lot depth and width allow for double loaded corridor. No upper level setback. Narrower street exposure. Composition of large windows. Front and rear differ in expression from sides. Small commercial tenant at street level.



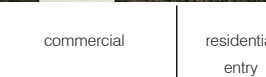
Terraza aPodments
413 11th Ave
Congregate Apartment
MR
40 x 120

Midrise building with offset stagger at upper levels for setback averaging. Modulation due to averaging and secondary elements. Different materials used to create appearance of modulation on limited articulation. Small size of sleeping rooms allows for three units across front even though there are side setbacks. Openings distributed equally on all facades.

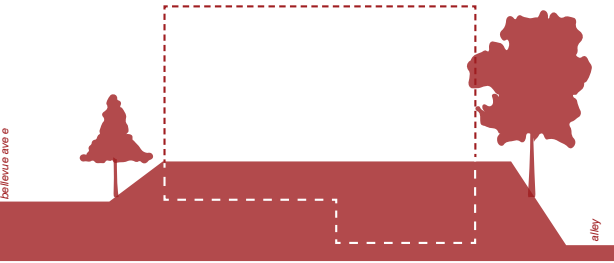


Art Stable
516 Yale Ave N
Condo
SM-SLU
42 x 115

Party wall building with side walls at property line. No setbacks required. Easement allows for windows in one of the party walls. Structural steel frame allows for fully glazed front façade. Six stories with a roof deck. Large units with one unit across frontage. Very little modulation. Emphasis on scale and composition of curtain wall and quality of cladding materials.



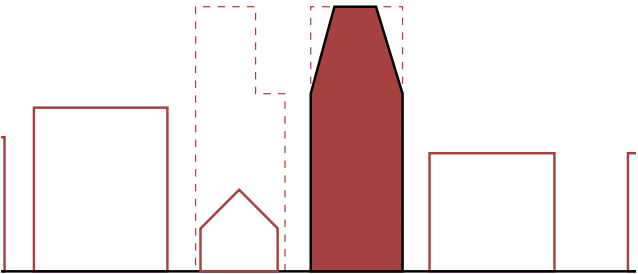
design guidelines



THE BANK

The existing sloped ivy-covered bank, trees, and yards that predominate across the street frontage provide an opportunity to embed the project in a landscape that is unique for the entire length of Bellevue Avenue East. The architectural presence will be framed and filtered by the strong site characteristics. With an alley a full story below street level, service spaces can be located at the rear of the structure.

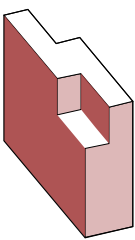
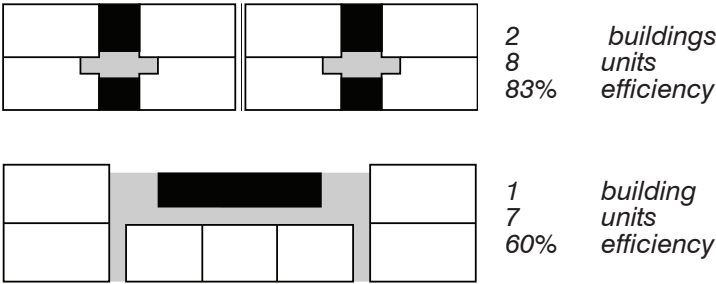
- CS1-C1 Landform
- CS2-A2 Architectural Presence
- CS2-B1 Site Characteristics
- CS2-B2 Connection to the Street



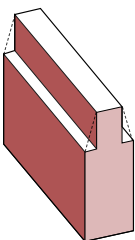
TOWERS

Narrow midblock midrise sites present a particular building efficiency challenge. The project proposes to overcome this challenge through a series of building code provisions that allow two structures on the lot, each with four units on a story served by a single stair. SDCI review of exiting and fire separation elements will allow for a shared roof deck and common spaces at the entry and first levels above grade.

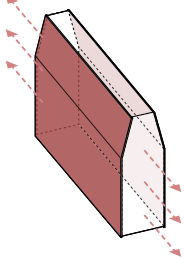
- CS2-C2 Mid-Block Sites
- CS2-D1 Existing Development and Zoning
- CS2-D4 Massing Choices



Staggered Average



Wedding Cake Average

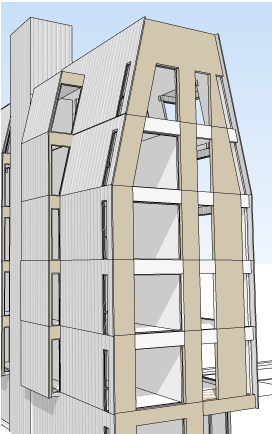
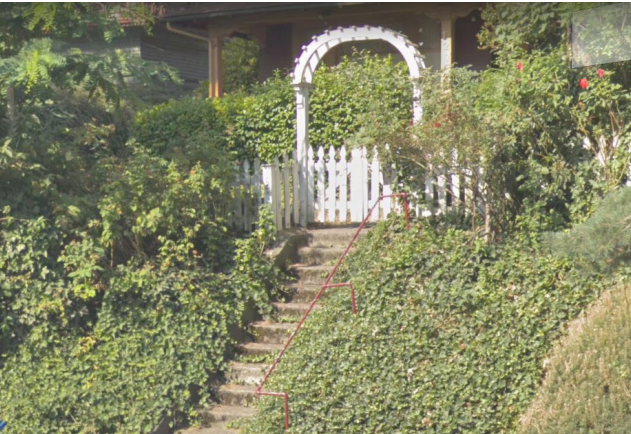


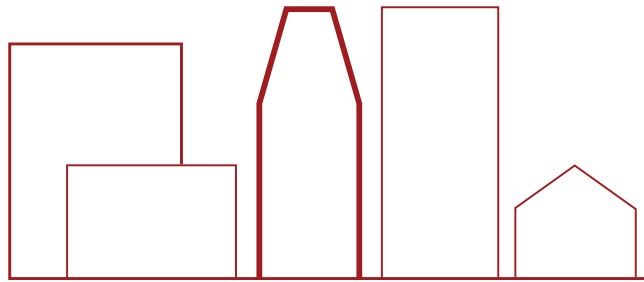
Sloped Average

BIG ROOF

The upper level setback zoning provision also presents a challenge on narrow midblock sites. There are three common approaches; to step in each side to ten feet from the lot line, to create an average through a stagger, or to simply request a departure. Another option is a pitched average. This allows the mid-structure floorplan configuration to extend another story, creates the narrowest top-level profile, and creates a dynamic and open architectural form.

- CS2-D5 Respect for Adjacent Sites
- CS3-A3 Established Neighborhoods
- CS3-A4 Evolving NeighborhoodS
- DC2-C Secondary Architectural Features





ECLECTIC AND EVOLVING

The existing context is strongly residential and presents examples of multifamily structures that reveal underlying zoning and lot patterns. Each period is clearly different in form, material, and relationship between an individual unit and the context. Recent redevelopment of small, parcel-sized midrise sites reveal the emergence of a new housing type within this eclectic context. The lack of a dominating type, provides an opportunity for the project to explore architectural presence, site and landscape integration, and connections to the public realm.

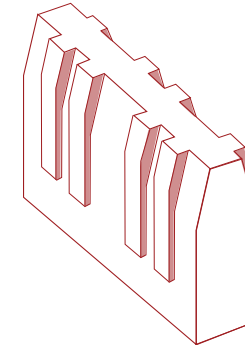
PL1-A2 Landform
CS2-A2 Architectural Presence
CS2-B1 Site Characteristics
CS2-B2 Connection to the Street



GARDEN ENTRY

Given the setbacks required in the MR zone and the strength of the existing street fronting landscape of the block, the project provides an opportunity to be strongly connected to the public realm through an open exterior transition zone.

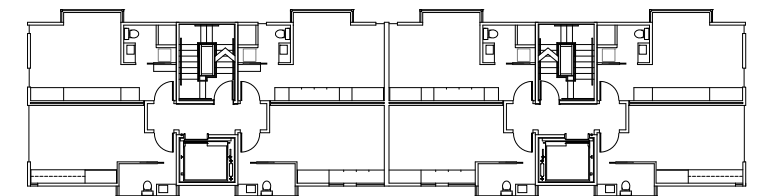
PL1-A2 Enhancing Open Space
PL3-A1.c Common Entry to Multi-story Residential Buildings
PL3-A2 Ensemble of Elements
DC2-D1 Human Scale
DC4-C Lighting



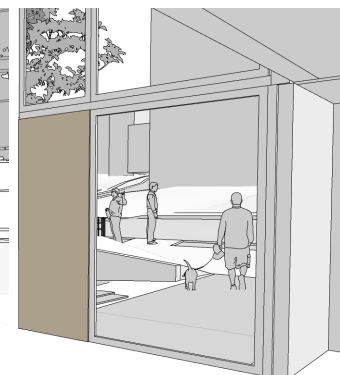
BAYS

The external zoning forces on a narrow midblock site leaves little or no room for building modulation. Secondary architectural elements, like bay windows, provide an opportunity to integrate scaling elements, carefully configure visual connections between interior space and neighboring buildings.

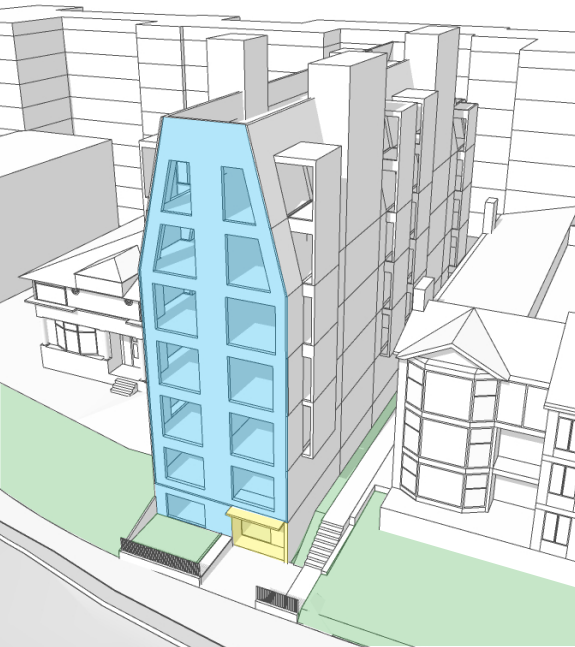
DC1-A4 Views & Connections
DC2-A Massing
CS3-A4 Evolving Neighborhoods



Typical Plan



design alternatives summary



Alley + Tree // Alternative 1

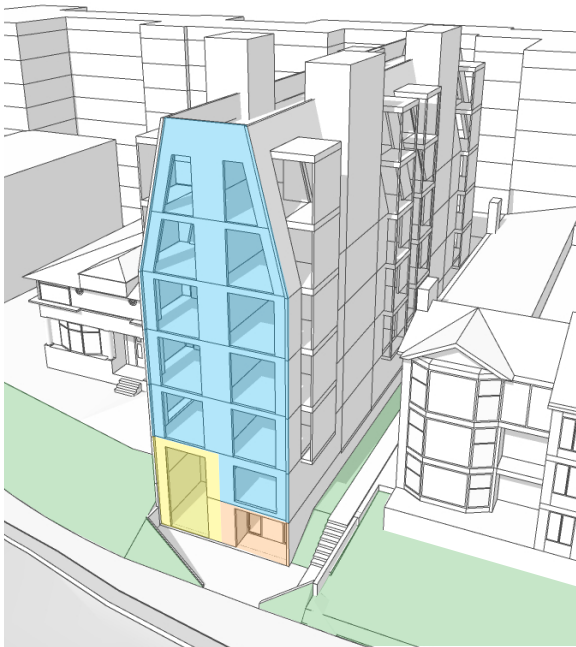
Alternative 1 preserves the exceptional Big Leaf Maple located on the steep slope adjacent to the alley. Shoring will be installed outside the root protection zone. The Bellevue Avenue East frontage will include a single-story building entry, a ground level dwelling unit, and the required exterior stairway and walkway on the south side. The typical residential level has seven units per story. The elevators are located on the south side of the project the exit stairways on the north. The exit stairways are oriented in the east-west direction so that the east-west unit demising walls are centered in the building. A roof deck and amenity area are accessed by the eastern elevator core. Both stair penthouses extend to the roof level.

Advantages

- Greatest tree canopy area
- No departure required

Challenges

- Preserves unstable slope condition
- Locates dwelling unit at grade and at ground level
- Provides little entry prominence
- Locates structure closest to ROW
- Has fewest dwelling units
- Presents wide stair penthouse to adjacent lot



Tall Lounge + Court // Alternative 2

Alternative 2 removes the Big Leaf Maple located on the steep slope adjacent to the alley. The alley frontage includes a single accessible loading stall for short term parking, access to utility rooms, bicycle parking, and elevator, access to the waste storage room, and an exterior stairway and walkway from the north side of the project as required for building egress. The Bellevue Avenue East frontage will include a single-story building entry, and a two-story tall lounge and the required exterior stairway and walkway on the south side. The typical residential level has eight units per story. The elevators are located on the south side of the project the exit stairways on the north. The exit stairways are oriented in the east-west direction so that the east-west unit demising walls are centered in the building. A roof deck and amenity area are accessed by the eastern elevator core. Both stair penthouses extend to the roof level.

Advantages

- provides larger entry court
- connects street level interior program with exterior space

Challenges

- Provides little entry prominence
- Locates structure closest to ROW
- Presents wide stair penthouse to adjacent lot



Tall Entry + Landscape // Alternative 3

Alternative 3 removes the Big Leaf Maple located on the steep slope adjacent to the alley. The alley frontage includes a single accessible loading stall for short term parking, access to utility rooms, bicycle parking, and elevator, access to the waste storage room, and an exterior stairway and walkway from the north side of the project as required for building egress. The Bellevue Avenue East frontage will include a two-story tall building entry, a single-story lounge, and the required exterior stairway and walkway on the south side. The typical residential level has eight units per story. The elevators are located on the south side of the project the exit stairways on the north. The exit stairways are oriented in the north-south direction to minimize their width and reduce bulk on the north façade. A roof deck and amenity area are accessed by the eastern elevator core. Both stair penthouses extend to the roof level. The entire structure is located an additional five feet west to provide a larger transition between the sidewalk and entry.

Advantages

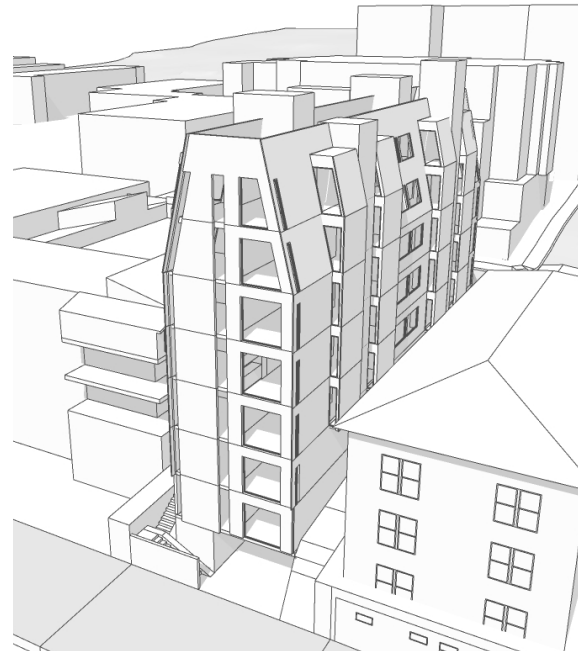
- provides larger entry court
- connects street level interior program with exterior space
- provides expanded transition space
- presents narrowest profile of stair penthouses
- provides most extensive front landscape and continuity across block
- building mass most closely aligns with adjacent structures
- unit configuration provides most opportunities for façade differentiation and articulation

Challenges

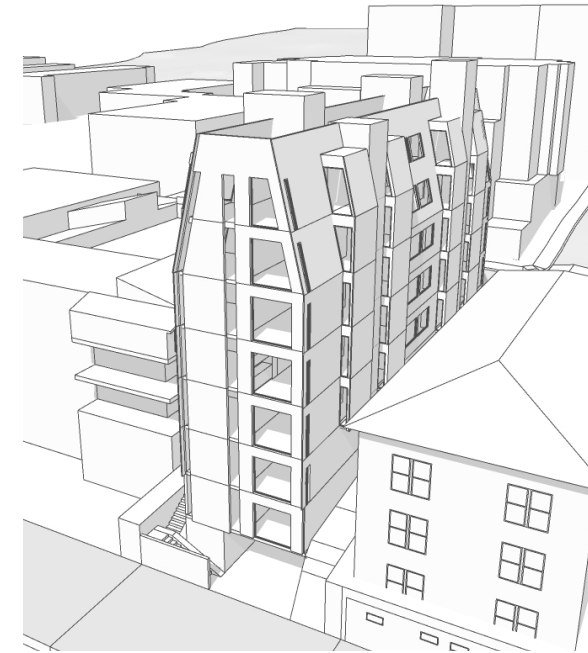
- requires departure
- south facing bays may present more opaque face



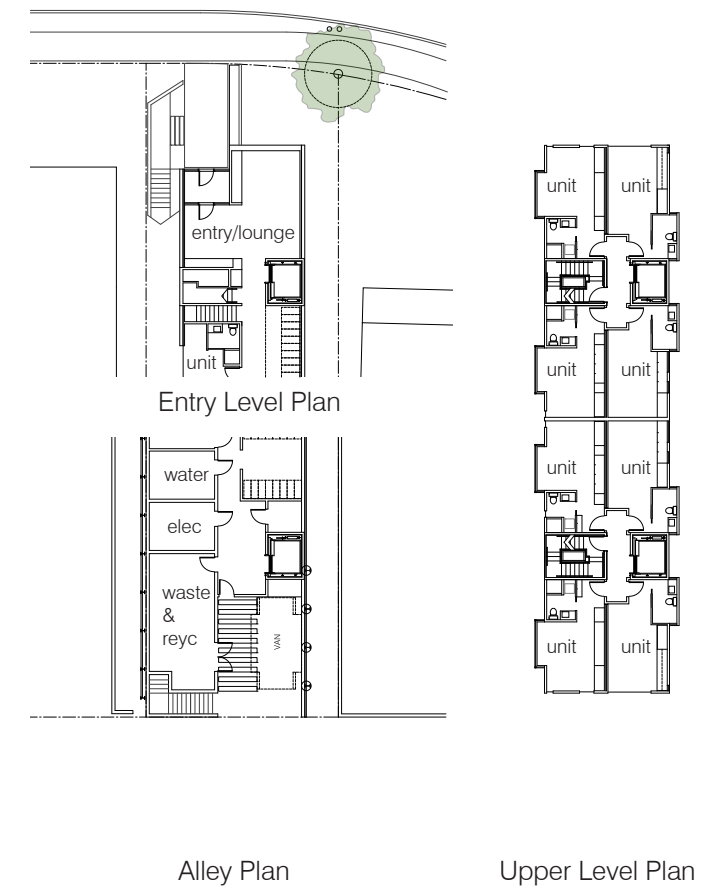
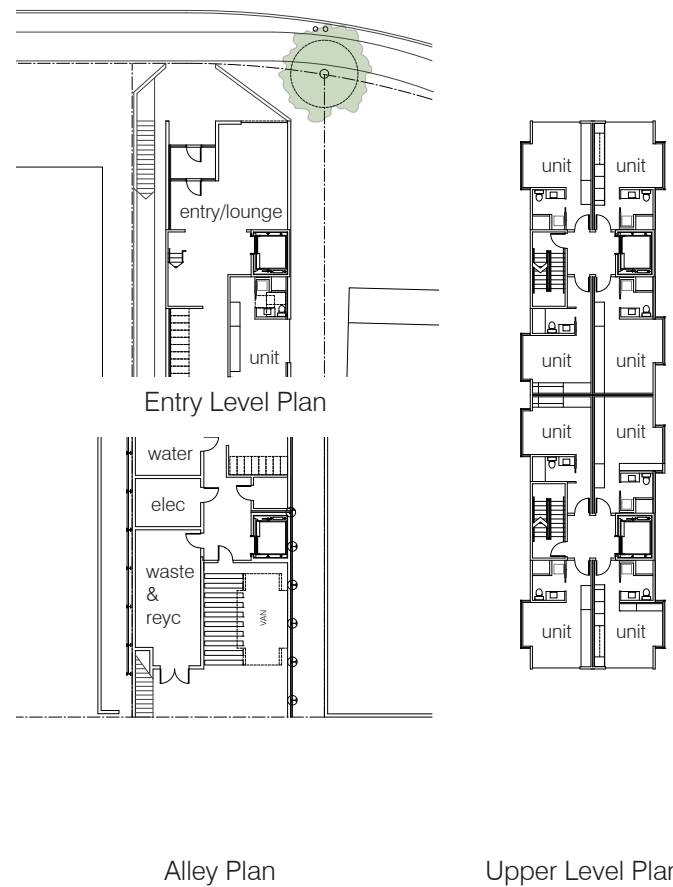
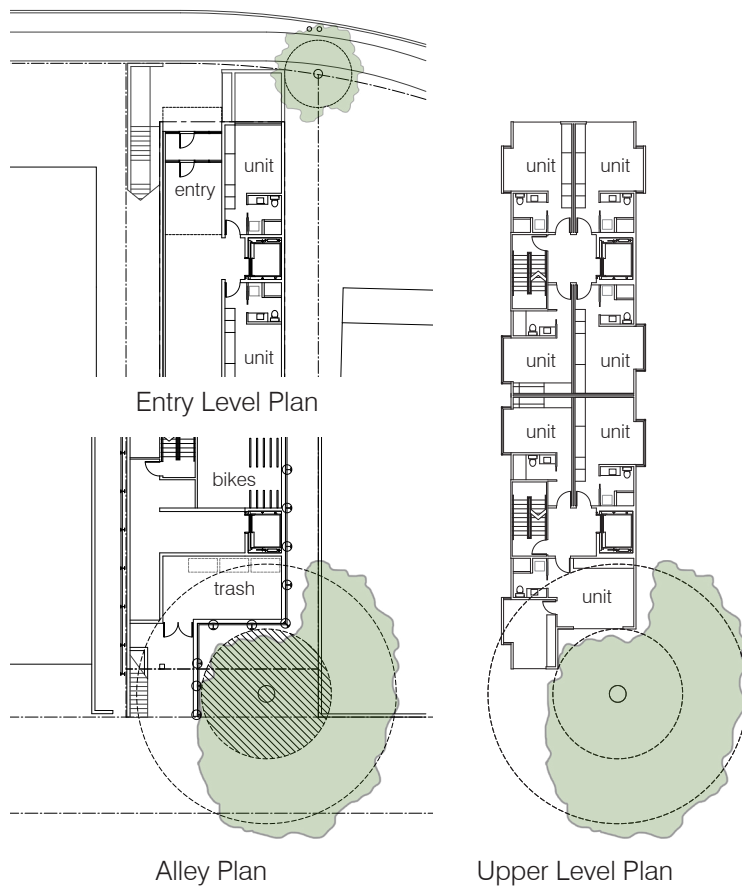
Alternate 1 // Alley



Alternate 2 // Alley



Alternate 3 // Alley



alley + tree // alternative 1

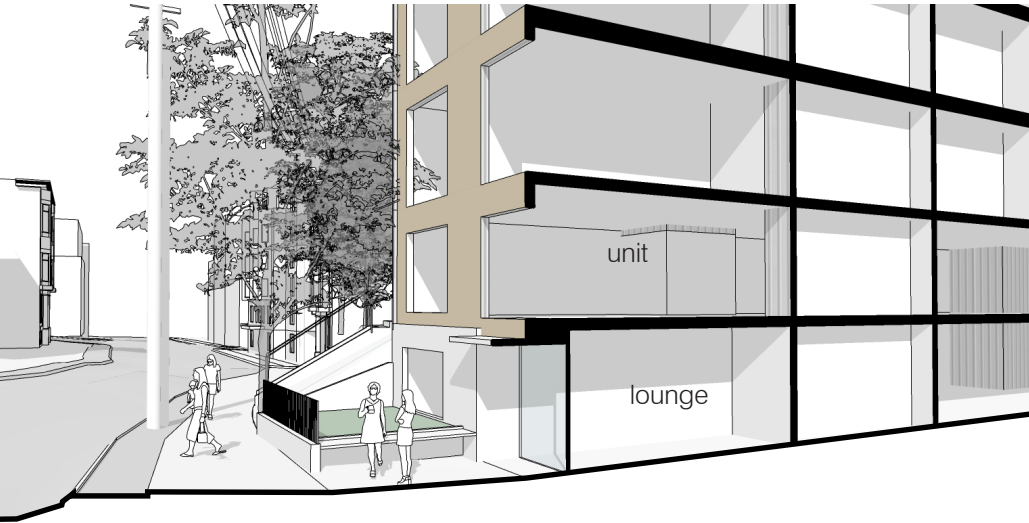
Alternative 1 preserves the exceptional Big Leaf Maple located on the steep slope adjacent to the alley. Shoring will be installed outside the root protection zone. The remaining alley frontage will include trash room access and an exterior stairway and walkway from the north side of the project as required for building egress.

The Bellevue Avenue East frontage will include a single-story building entry, a ground level dwelling unit, and the required exterior stairway and walkway on the south side. With a single-story entry, all stories above will have a two unit fronting the street until the top floor where a single unit fronting the street occupies the space within the sloping roof form. A walkway leads from the sidewalk to the main entry and the area in front of the ground level dwelling unit is raised above sidewalk level and landscaped as a yard. All bicycle parking will be accessed through the main entry.

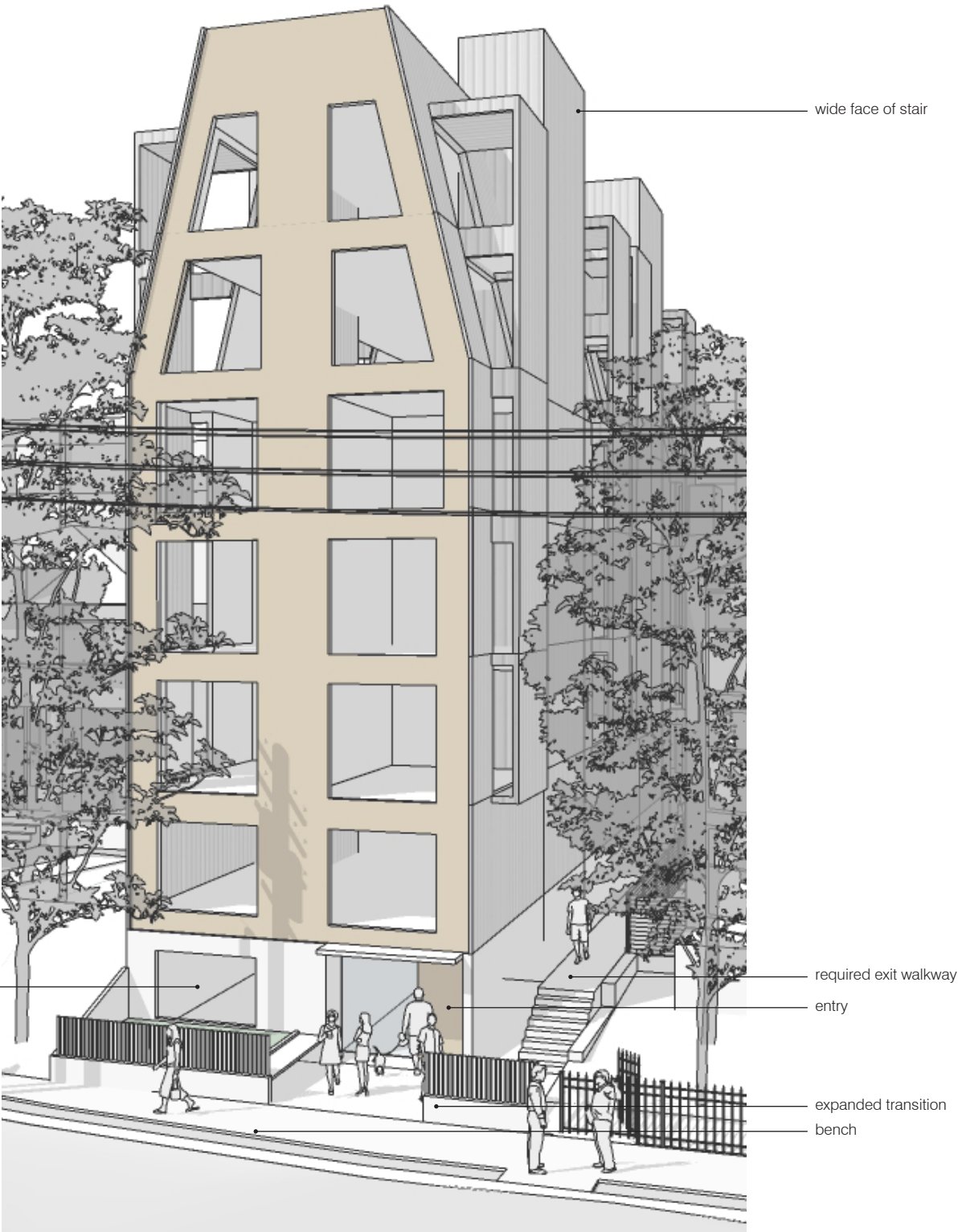
The typical residential level has seven units per story. The elevators are located on the south side of the project the exit stairways on the north. The exit stairways are oriented in the east-west direction so that the east-west unit demising walls are centered in the building. The configuration of the dwelling is then typical and mirrored. The alley and street fronting facades reflect this symmetry with regularly spaced windows.

A roof deck and amenity area are accessed by the eastern elevator core. Both stair penthouses extend to the roof level.

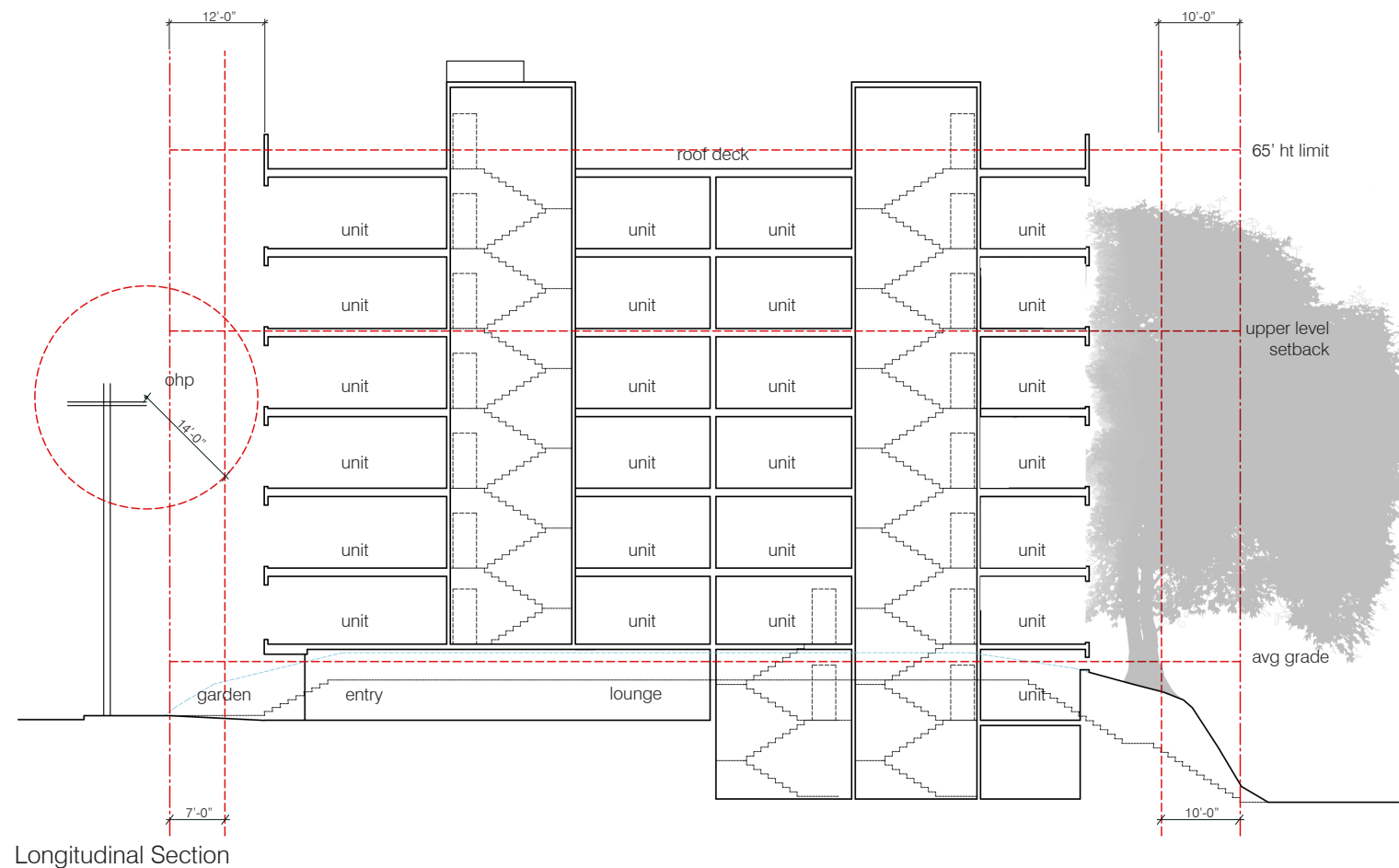
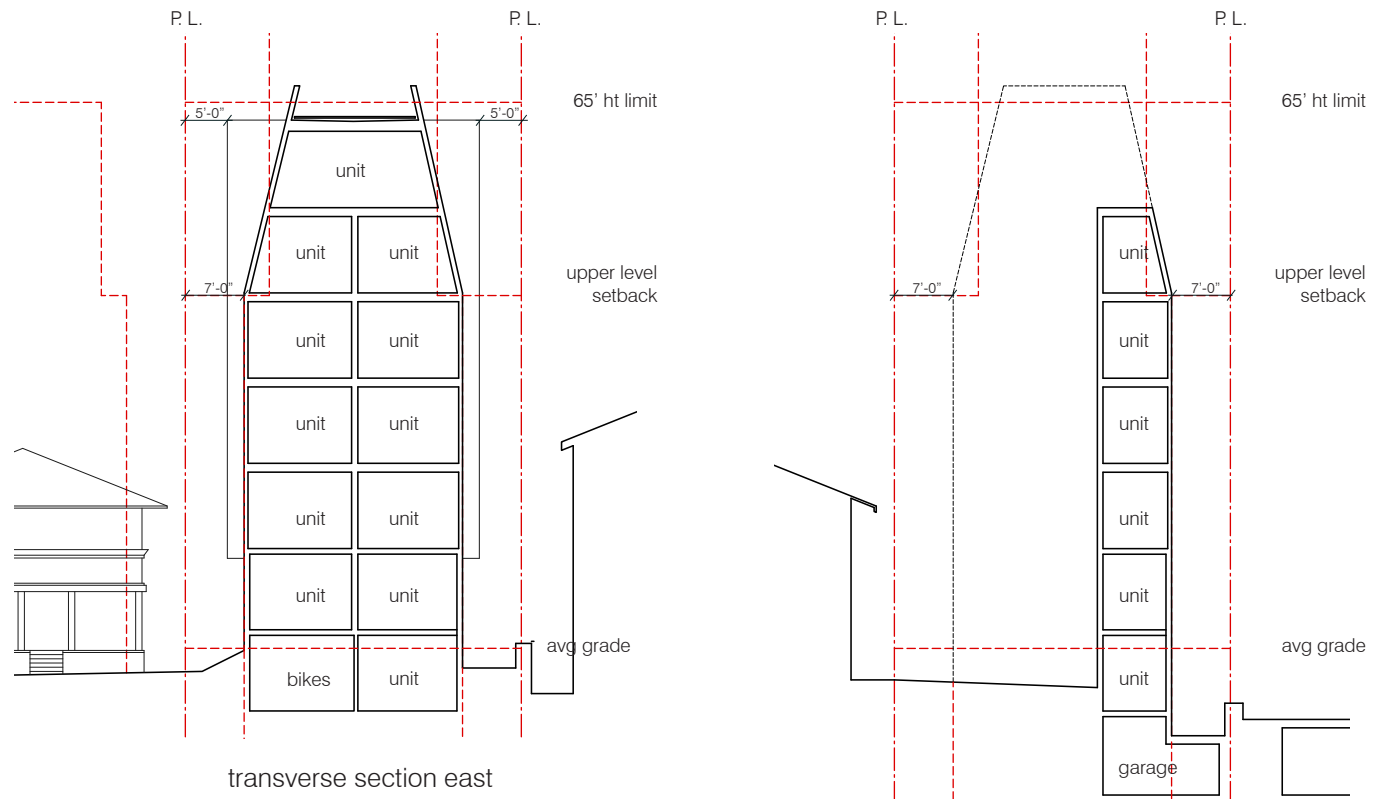
Number of Units	41 units
Total Building Area	21,848 sf
Residential Unit Area	14,887 sf
Building Efficiency	73%
GFA Total	16,688 sf
Bicycle Parking	45 bikes



Entry Section



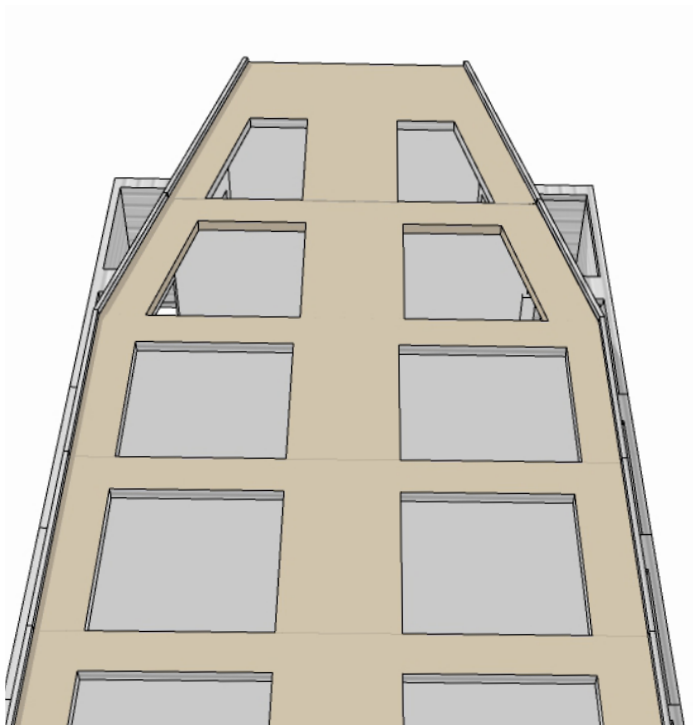
Bellevue Avenue East // East Facade



Bellevue Avenue East // West Facade



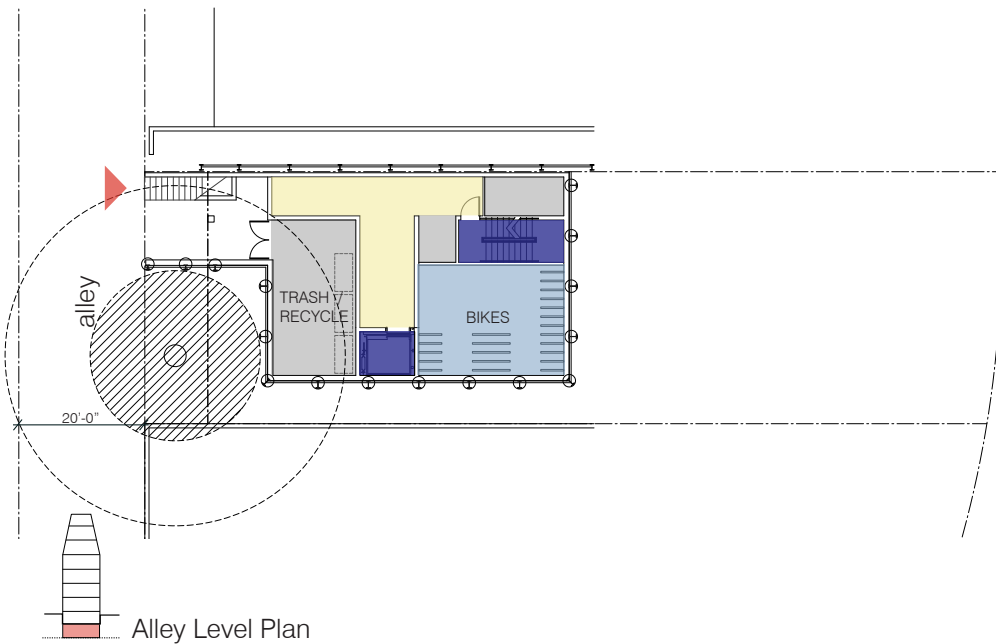
Bellevue Ave E // Entry & Street Level Unit



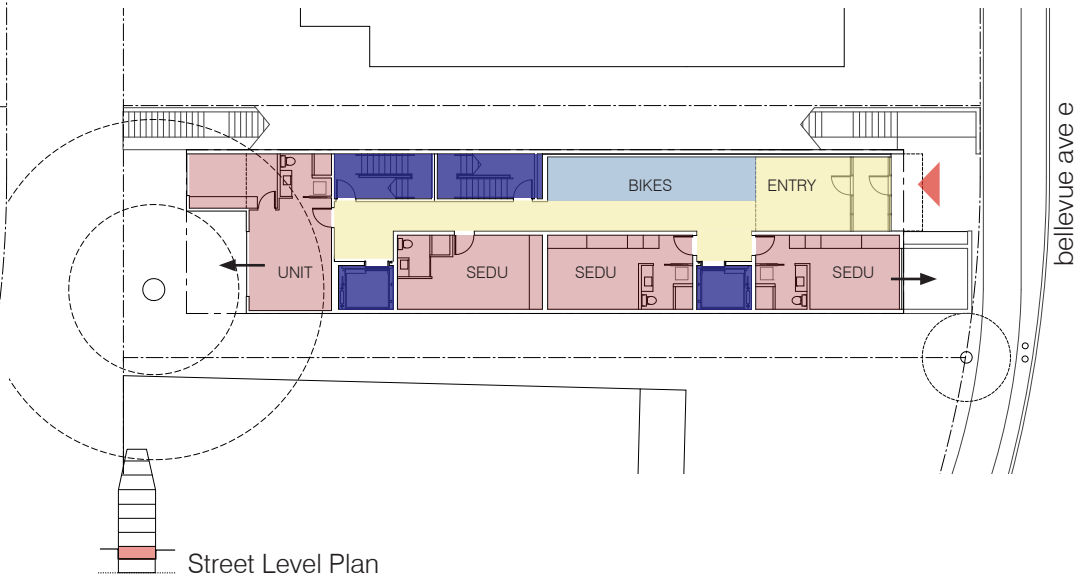
Bellevue Ave E // Top of Structure



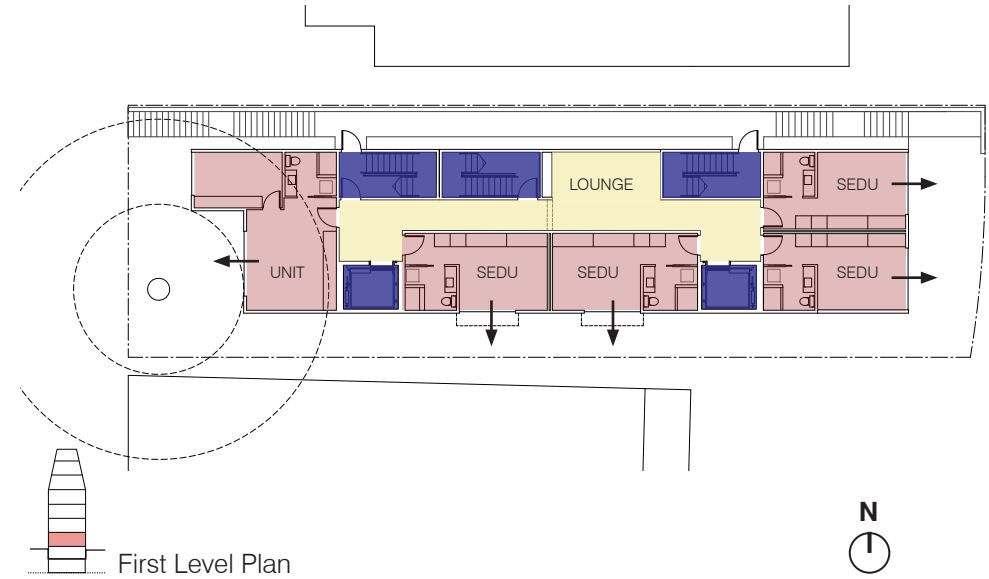
Bellevue Ave E // Southeast Corner



Alley Level Plan



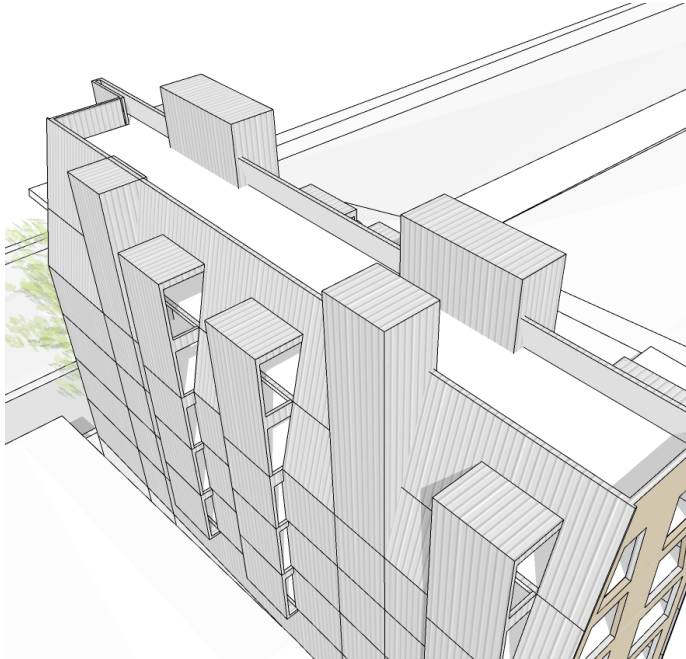
Street Level Plan



First Level Plan



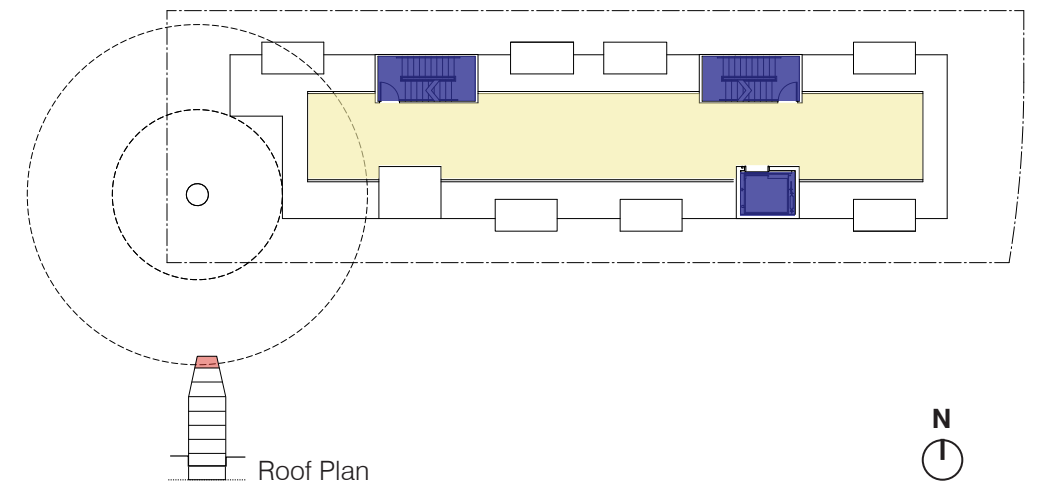
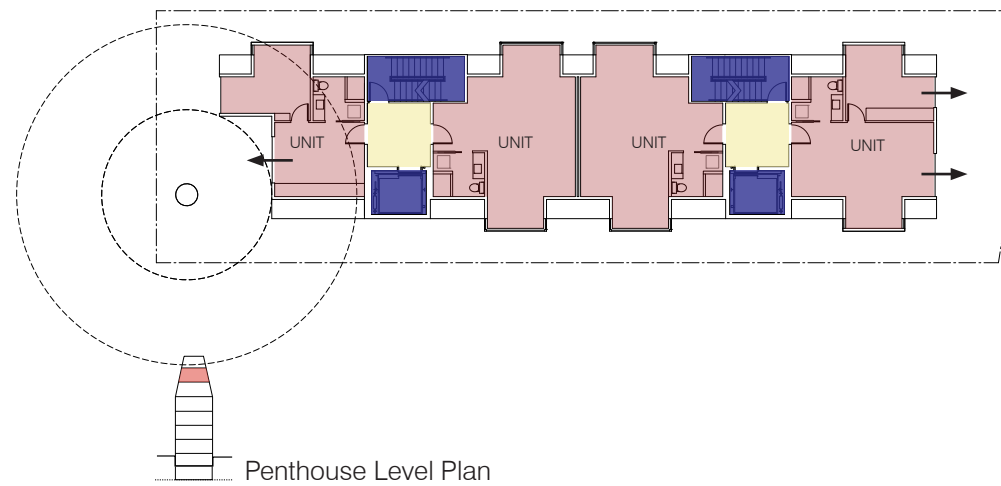
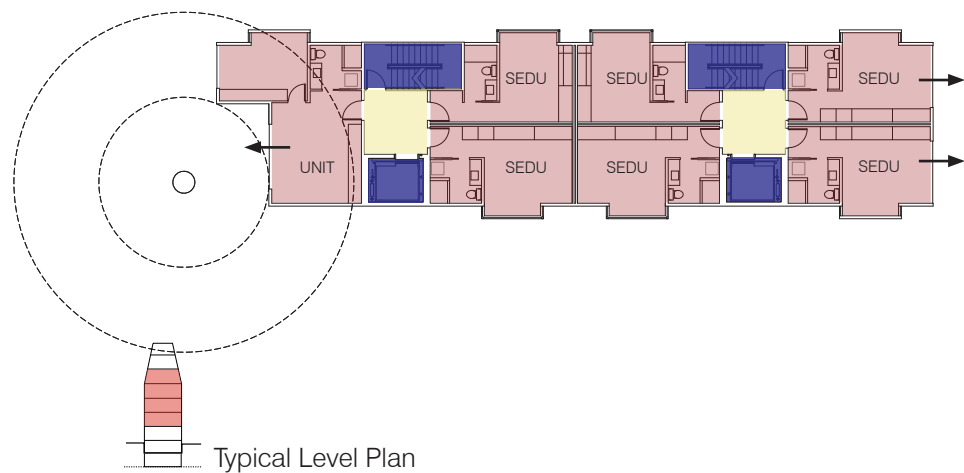
Northeast Corner



Rooftop



Alley



tall lounge + court // alternative 2

Alternative 2 removes the Big Leaf Maple located on the steep slope adjacent to the alley. The alley frontage includes a single accessible loading stall for short term parking, access to utility rooms, bicycle parking, and elevator, access to the waste storage room, and an exterior stairway and walkway from the north side of the project as required for building egress.

The Bellevue Avenue East frontage will include a single-story building entry, and a two-story tall lounge and the required exterior stairway and walkway on the south side. A portion of the bike parking is located at ground level, and a small lounge area is located on the south side of the second story. The story above ground level will have one dwelling unit located above the main entry. Typical residential stories will have two units fronting the street. A single unit that fronts the street occupies the top floor within the sloping roof form.

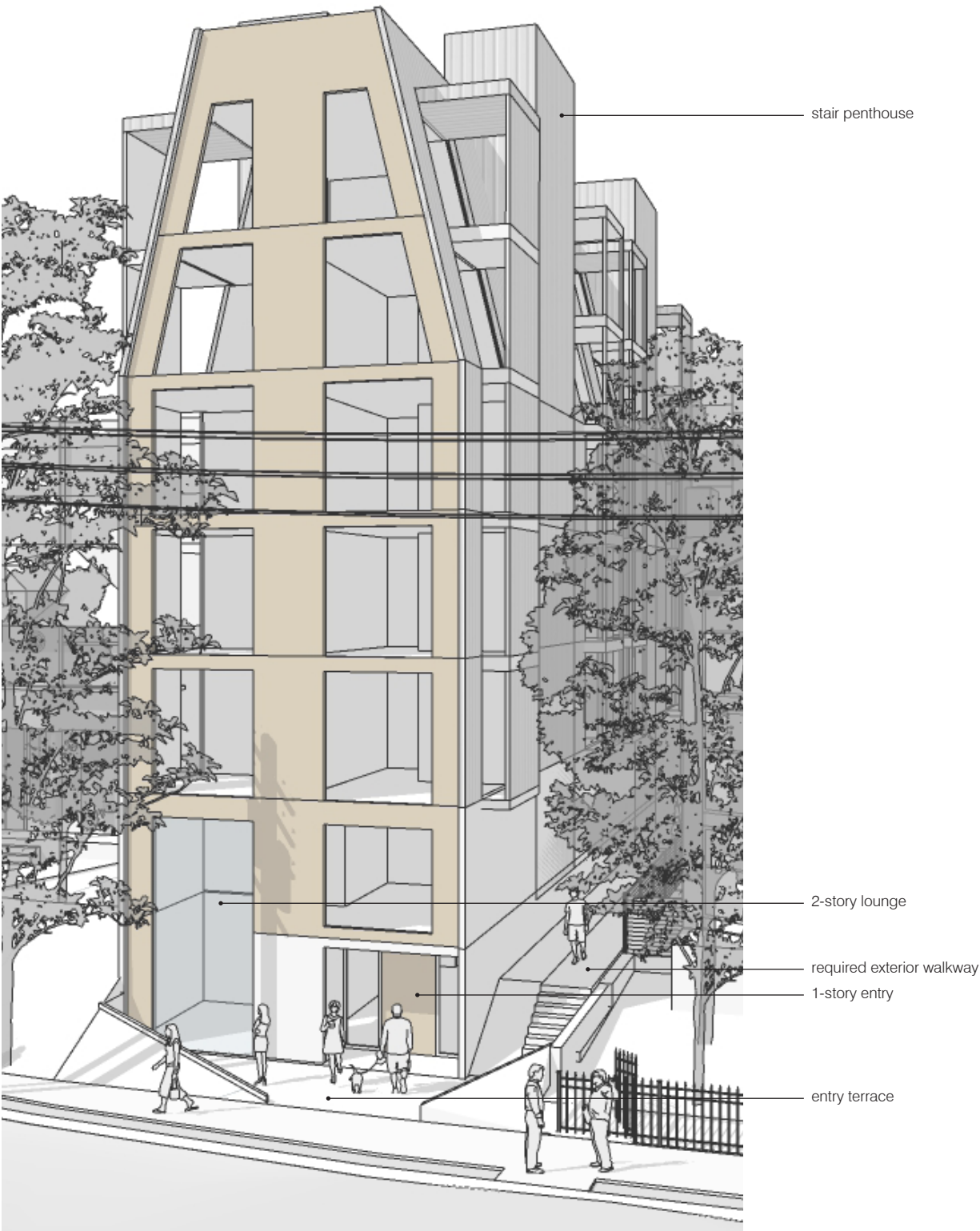
The typical residential level has eight units per story. The elevators are located on the south side of the project the exit stairways on the north. The exit stairways are oriented in the east-west direction so that the east-west unit demising walls are centered in the building. The configuration of the dwelling is then typical and mirrored except for the interior north unit that is impacted by the stairway. The alley and street fronting facades reflect this symmetry with regularly spaced windows.

A roof deck and amenity area are accessed by the eastern elevator core. Both stair penthouses extend to the roof level.

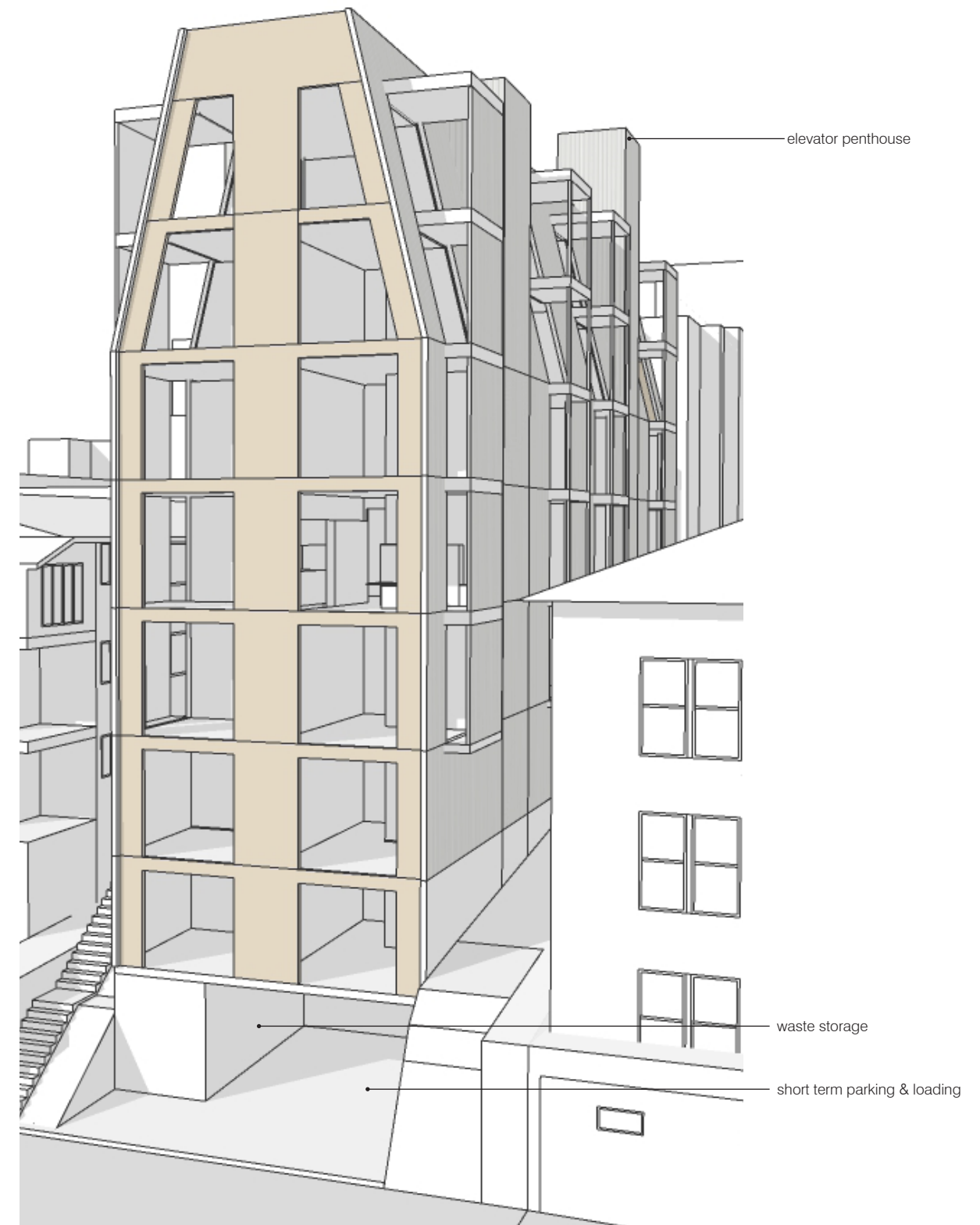
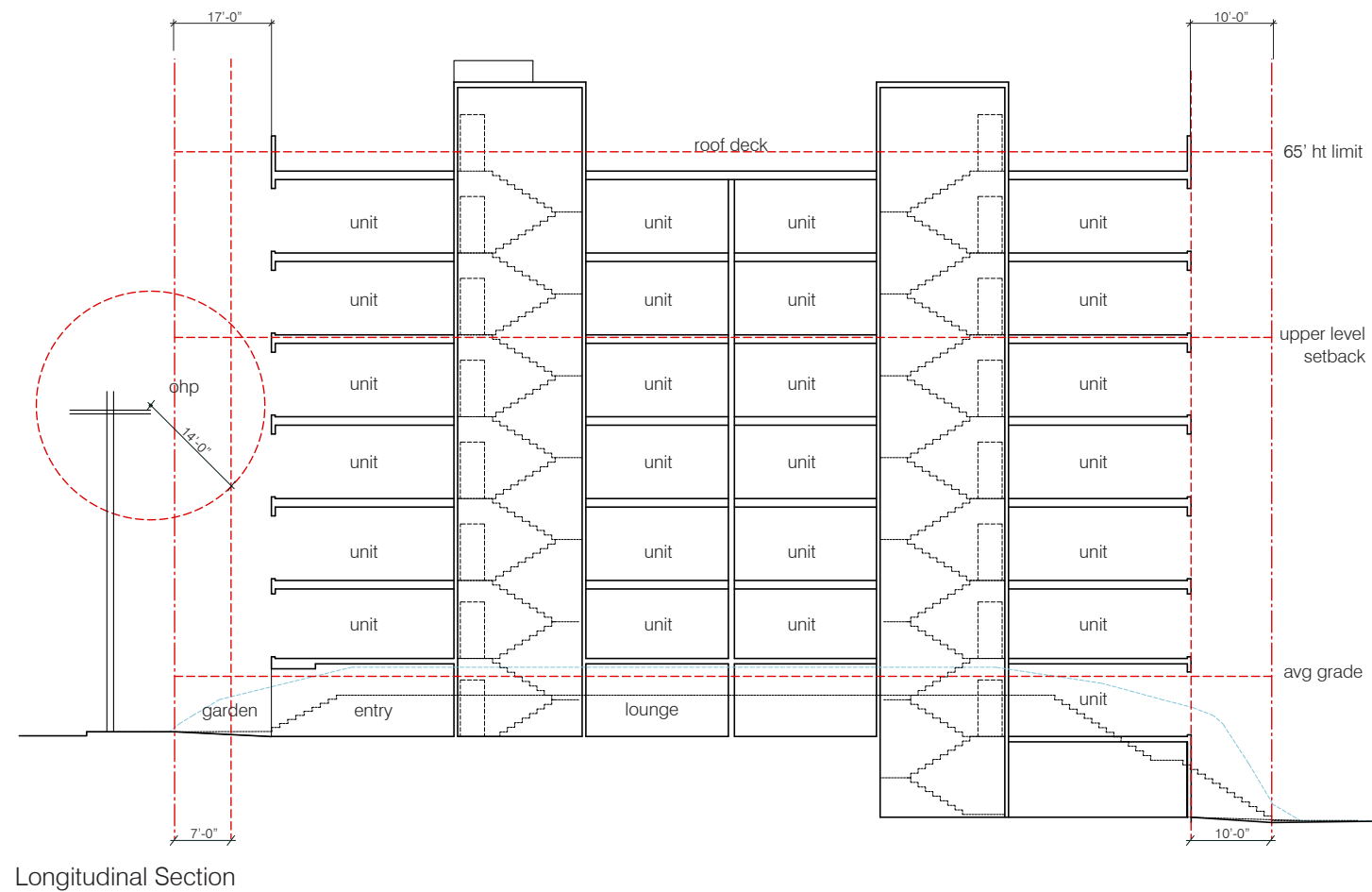
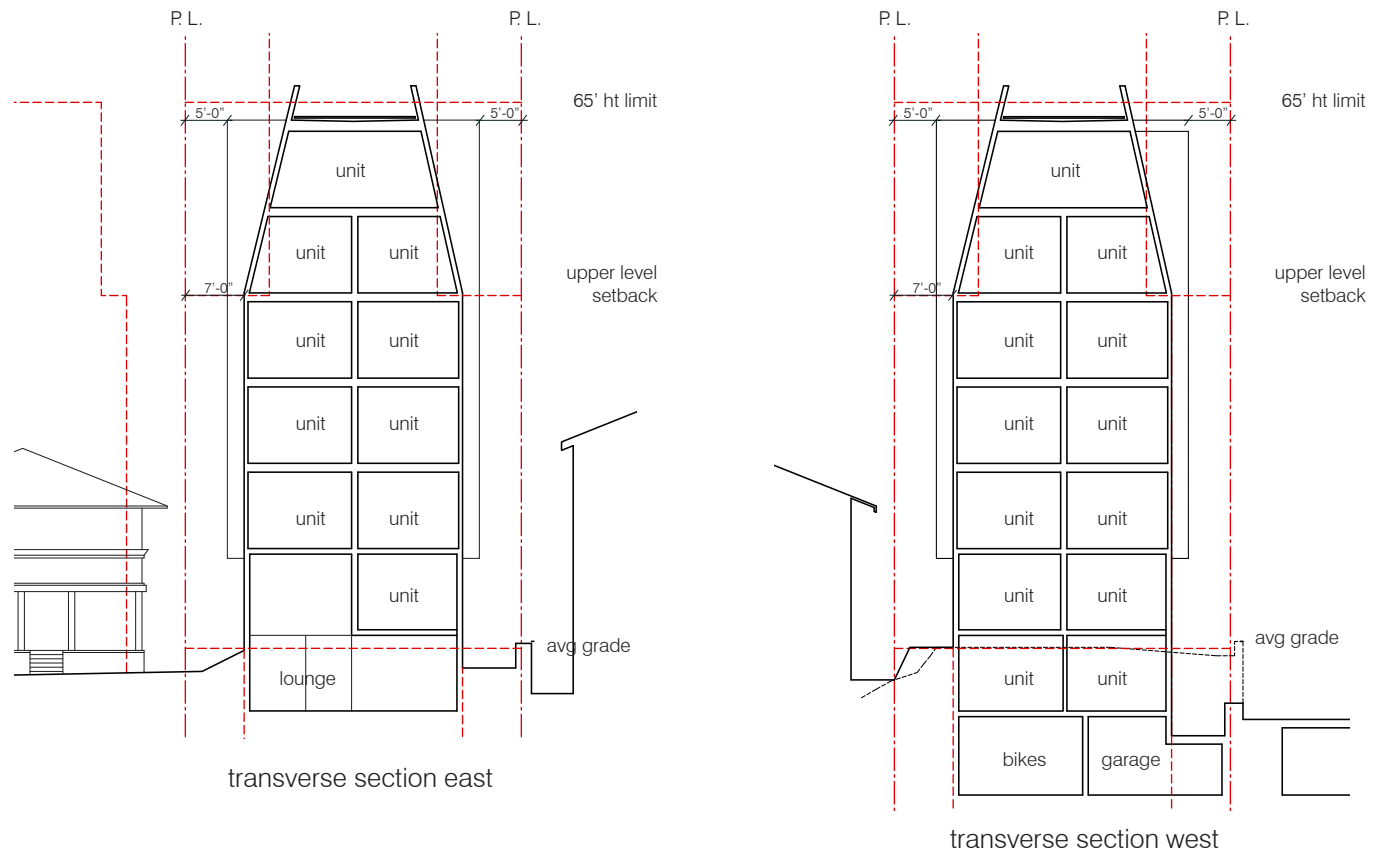
Number of Units	45 units
Total Building Area	21,848 sf
Residential Unit Area	14,887 sf
Building Efficiency	73%
GFA Total	16,688 sf
Bicycle Parking	45 bikes



Entry Section



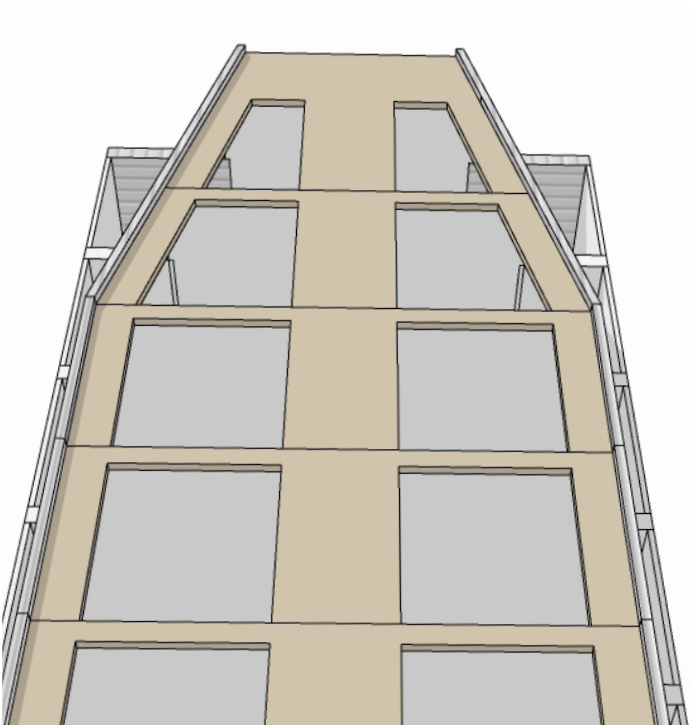
Bellevue Avenue East // East Facade



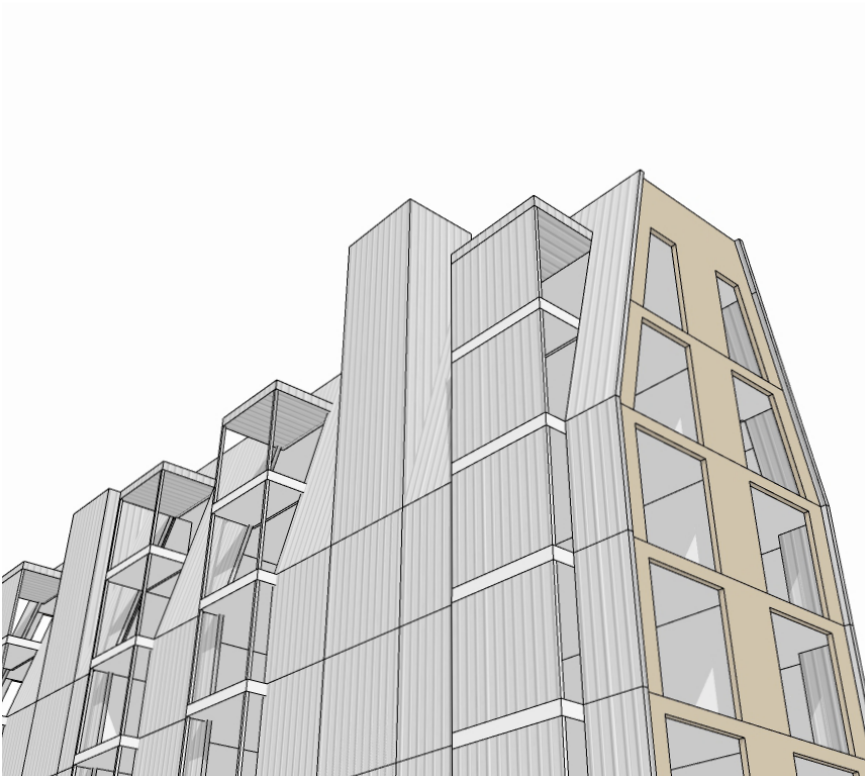
Bellevue Avenue East // West Facade



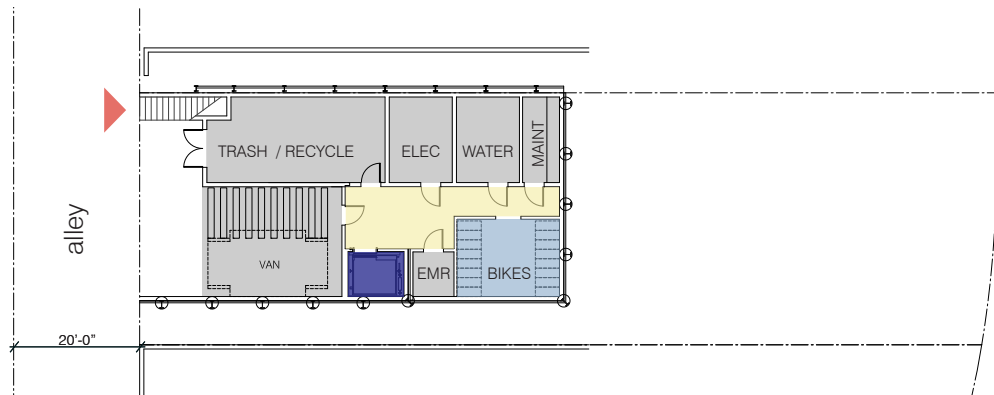
Bellevue Ave E // Entry & Street Level Unit



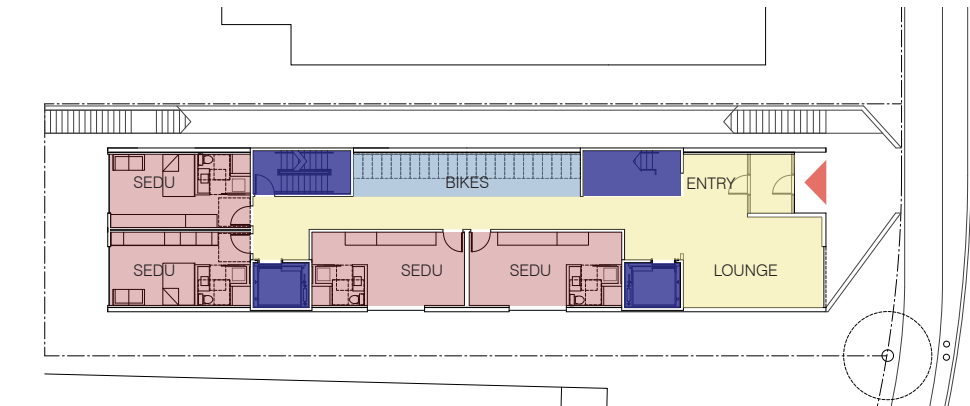
Bellevue Ave E // Top of Structure



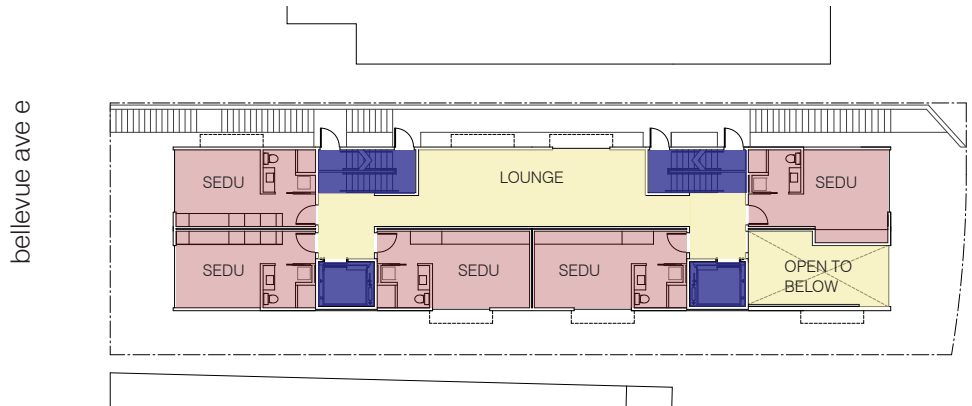
Bellevue Ave E // Southeast Corner



Alley Level Plan

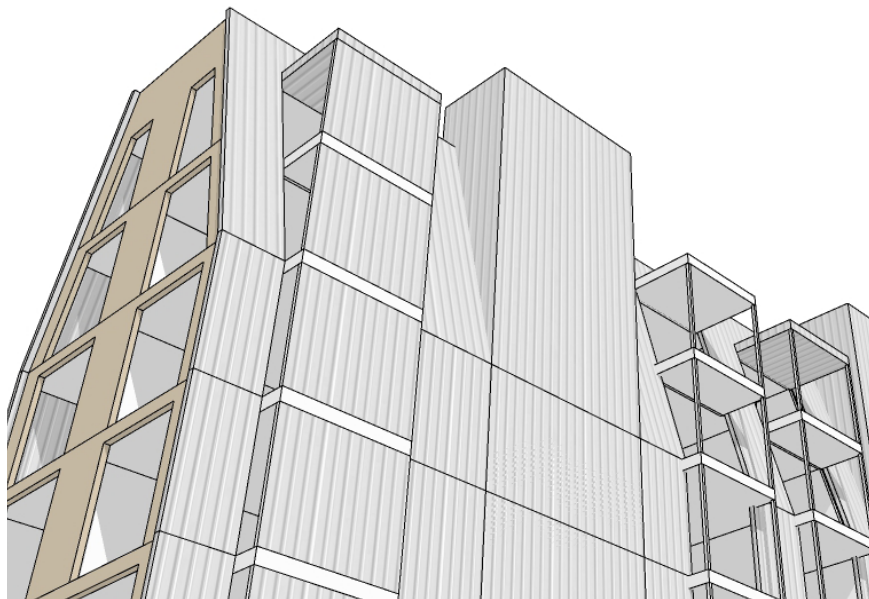


Street Level Plan

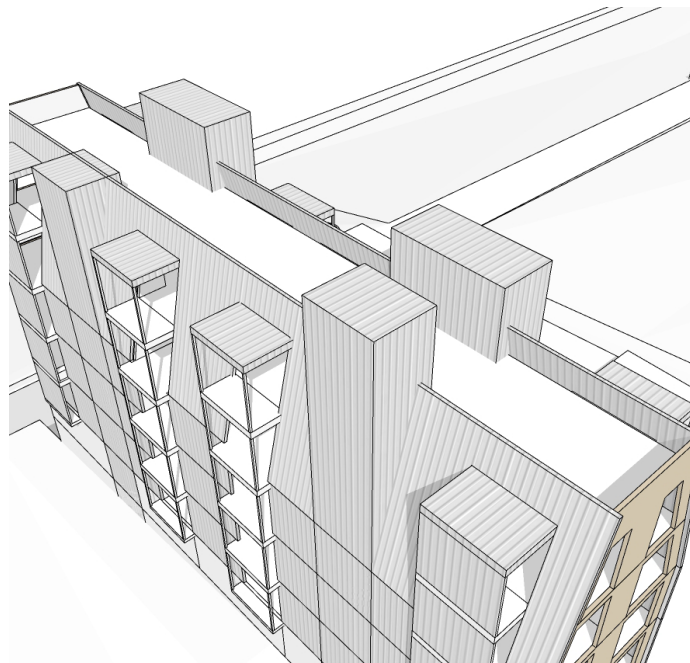


First Level Plan





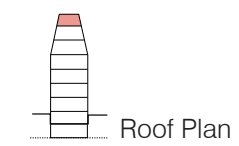
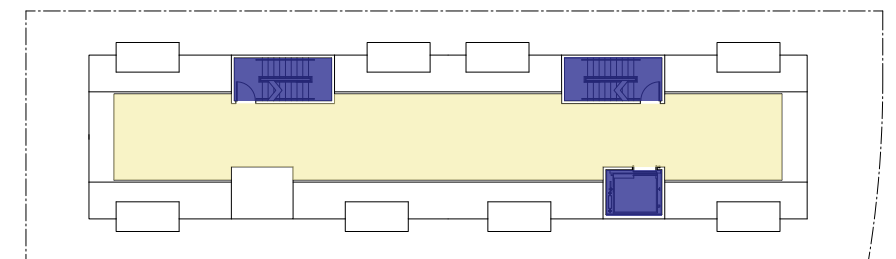
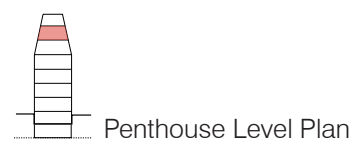
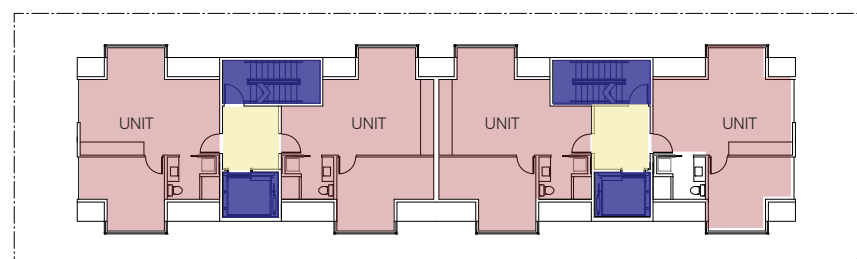
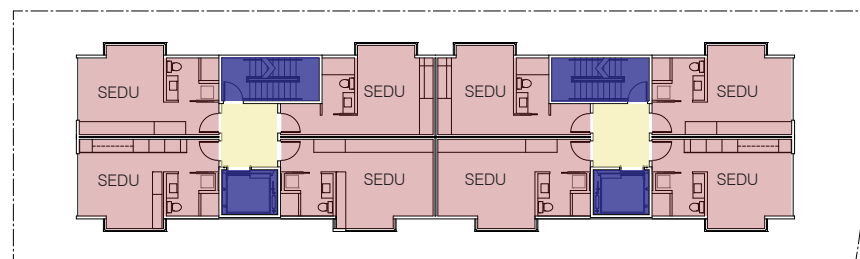
Northeast Corner



Rooftop



Alley



tall entry + landscape // alternative 3 // preferred alternative

Alternative 3 removes the Big Leaf Maple located on the steep slope adjacent to the alley.
The alley frontage includes a single accessible loading stall for short term parking, access to utility rooms, bicycle parking, and elevator, access to the waste storage room, and an exterior stairway and walkway from the north side of the project as required for building egress.

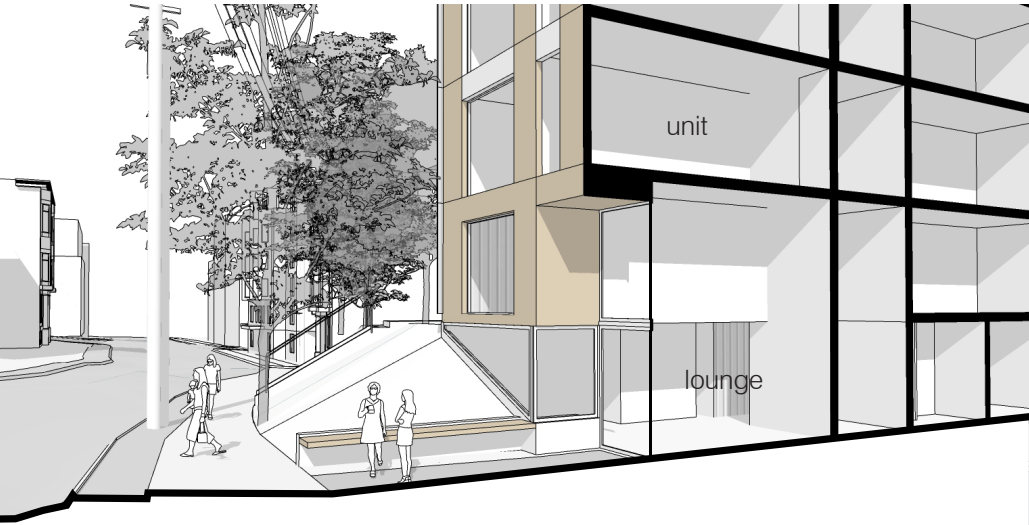
The Bellevue Avenue East frontage will include a two-story tall building entry, a single-story lounge, and the required exterior stairway and walkway on the south side. A portion of the bike parking is located at ground level and a small lounge area is located on the south side of the second story. The story above ground level will have one dwelling unit located above the lobby space. Typical residential stories will have two units fronting the street. A single unit that fronts the street occupies the top floor within the sloping roof form.

The typical residential level has eight units per story. The elevators are located on the south side of the project, the exit stairways on the north. The exit stairways are oriented in the north-south direction to minimize their width and reduce bulk on the north façade. This shifts the corridor south so the dwelling units differ on the north and south sides. Bays on the south side are occupied by bathrooms, on the north side by living space. The north side is prioritized as redevelopment of that lot is far less likely than the south side and views and open space above the third story will be preserved. The alley and street fronting facades reflect this asymmetry and provide an opportunity for design articulation.

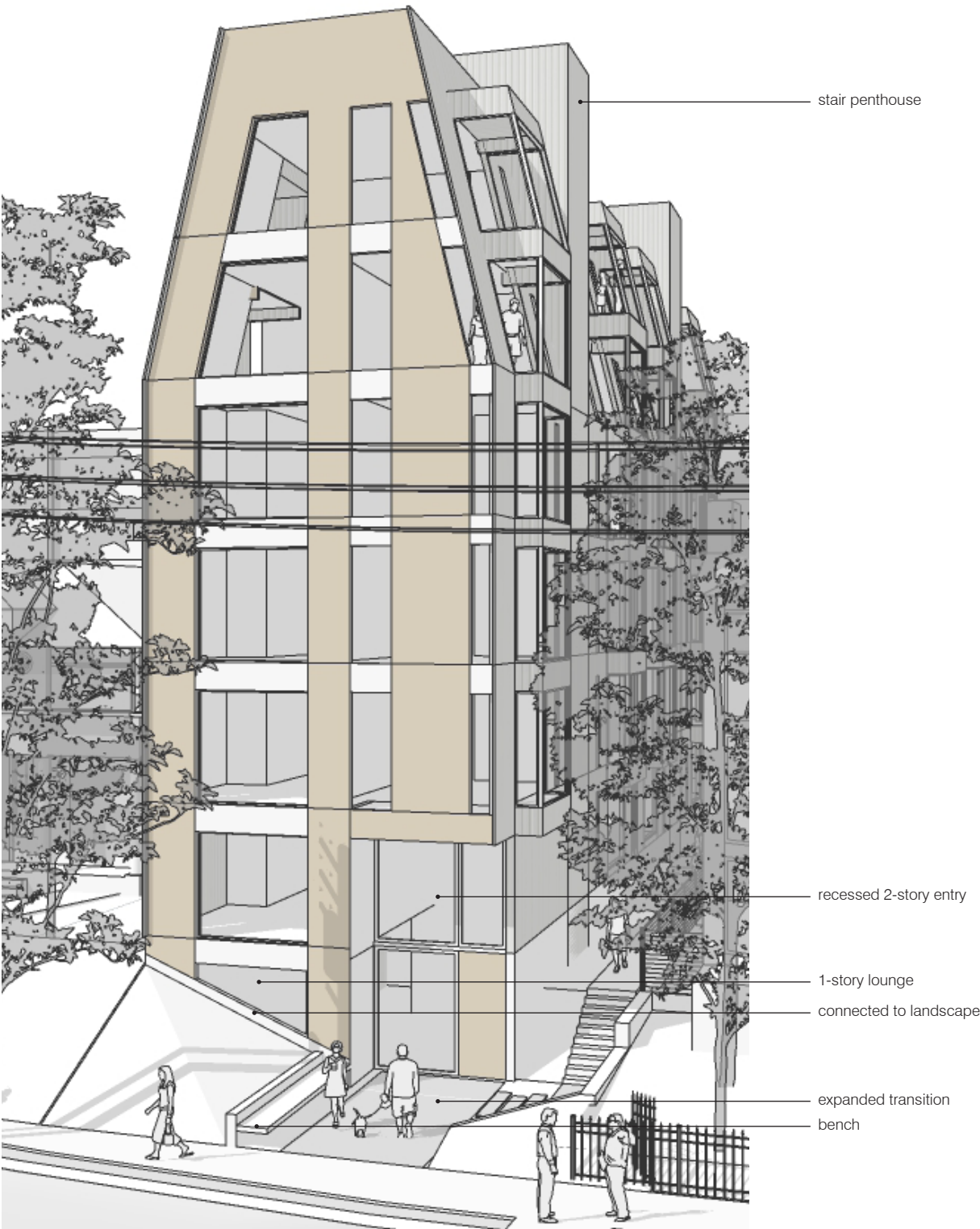
A roof deck and amenity area are accessed by the eastern elevator core. Both stair penthouses extend to the roof level.

The entire structure is located an additional five feet west to provide a larger transition between the sidewalk and entry, to expand the amount of landscaping and distance to the exceptional on the east side of the project, and to more closely align the front façade with the existing building to the north and any future redevelopment of the lot to the south.

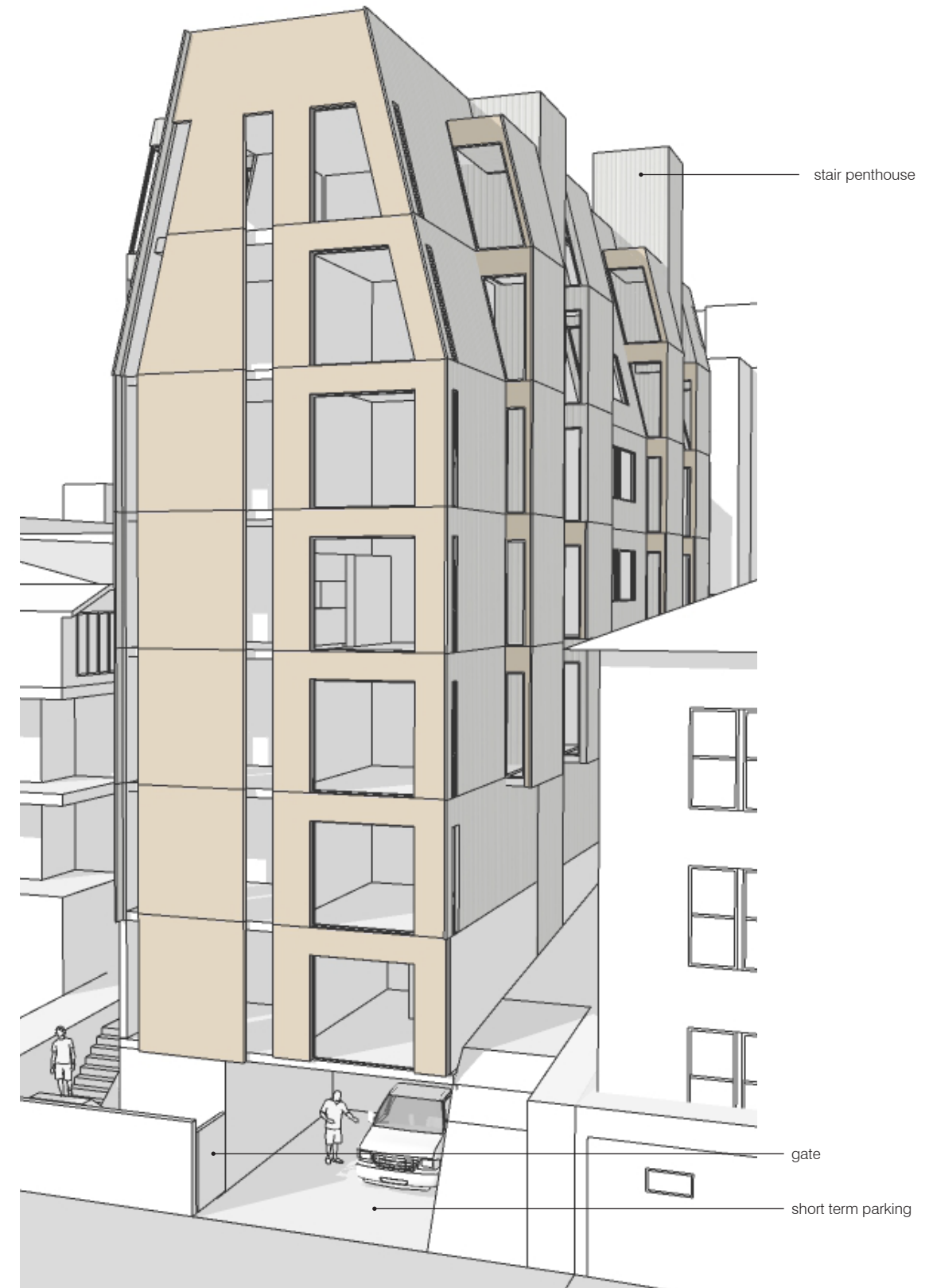
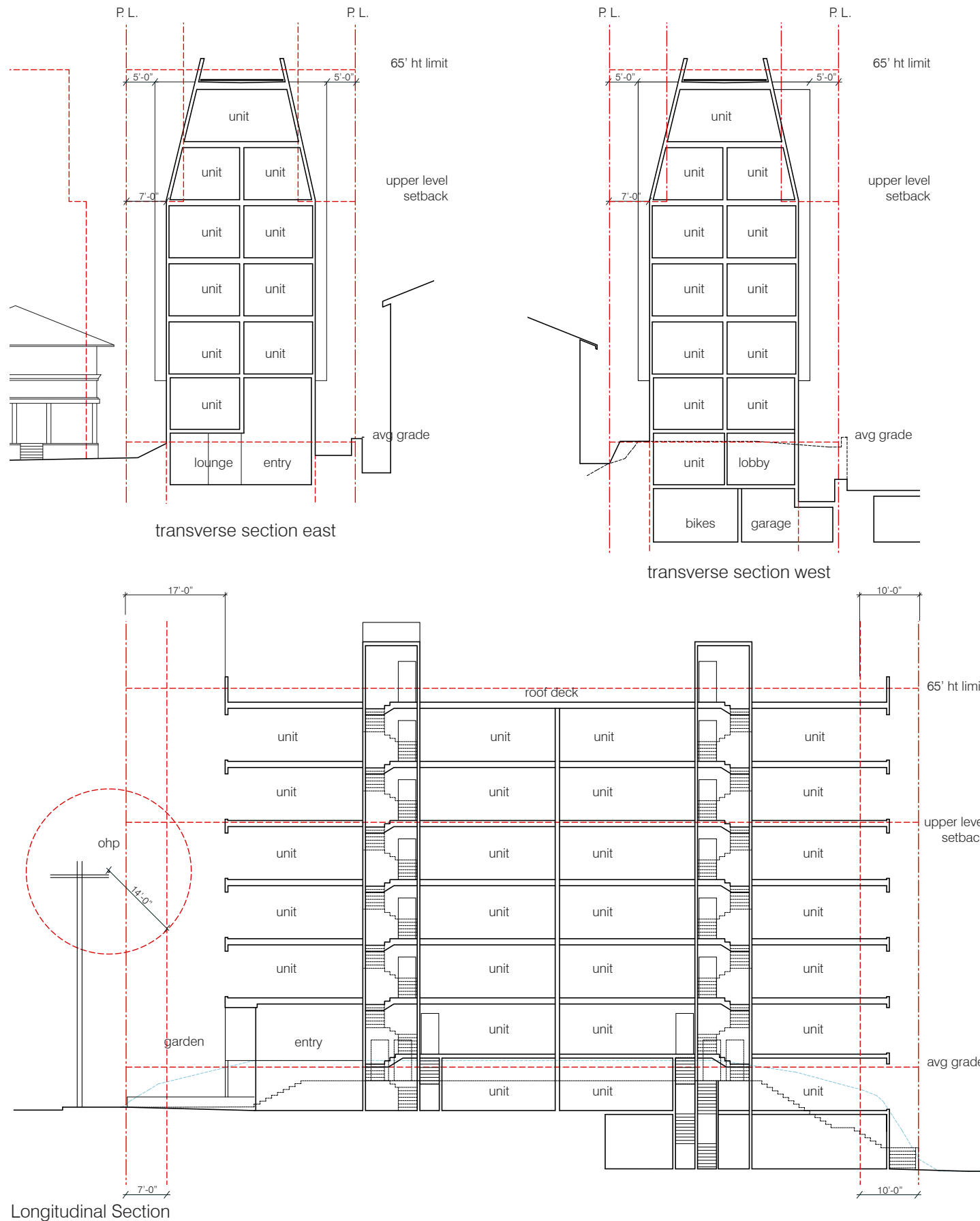
Number of Units	45 units
Total Building Area	21,848 sf
Residential Unit Area	14,887 sf
Building Efficiency	73%
GFA Total	16,688 sf
Bicycle Parking	45 bikes



Entry Section



Bellevue Avenue East // East Facade

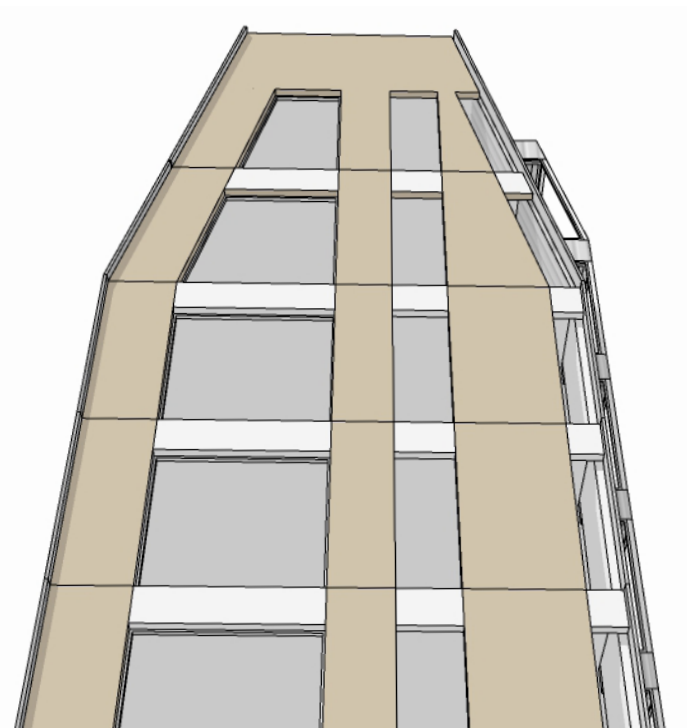


Bellevue Avenue East // West Facade

alternate 3



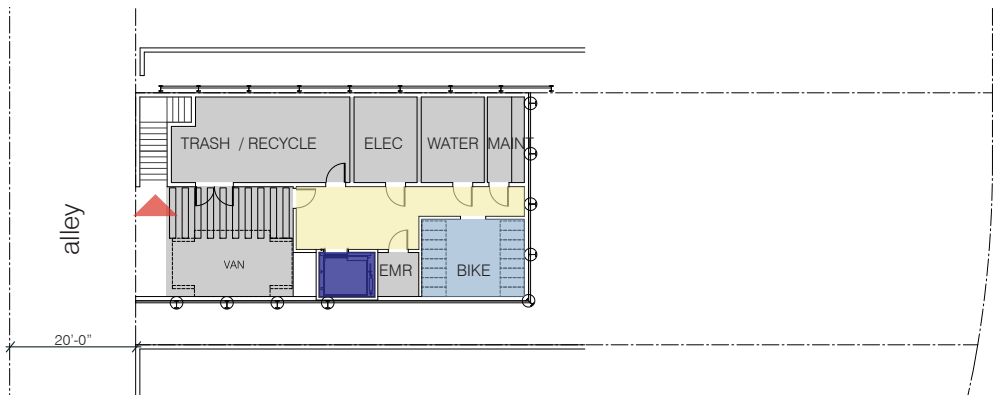
Bellevue Ave E // Entry & Street Level Unit



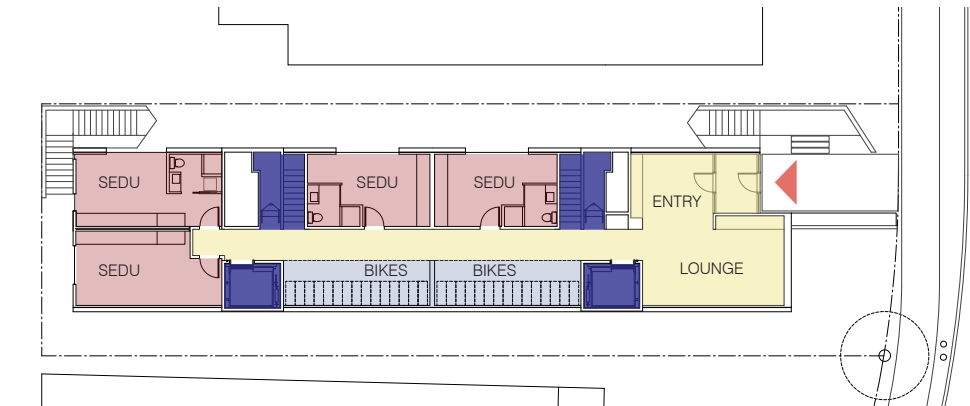
Bellevue Ave E // Top of Structure



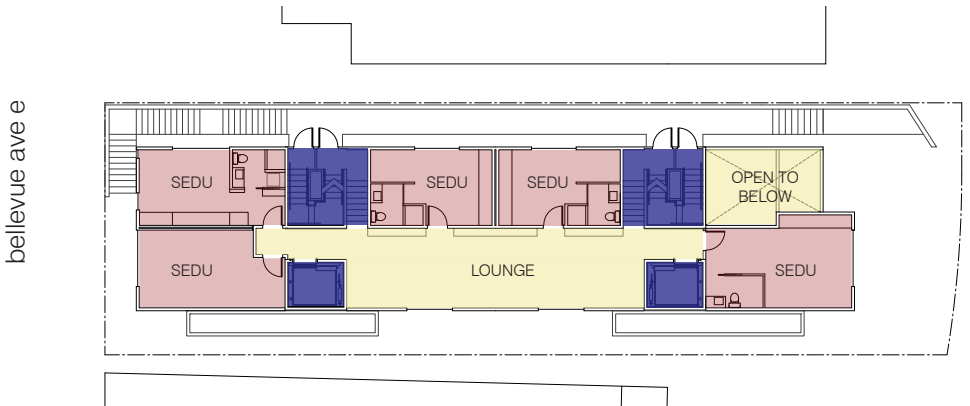
Bellevue Ave E // Southeast Corner



Alley Level Plan



Street Level Plan

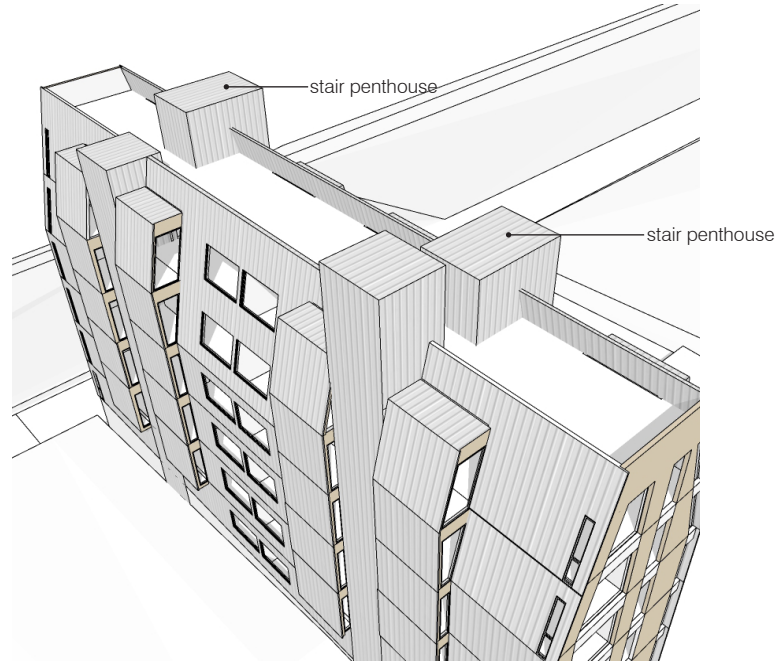


First Level Plan





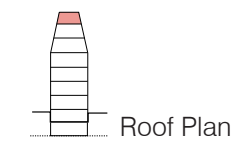
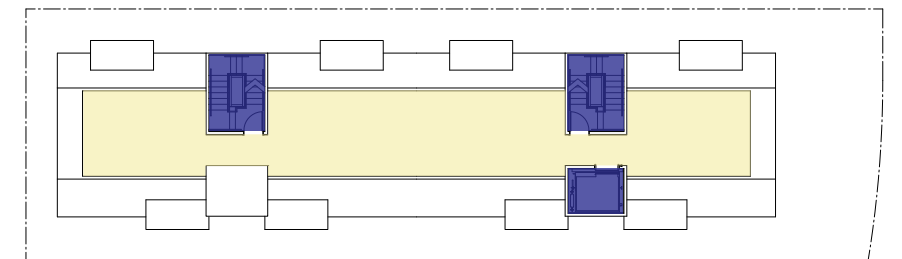
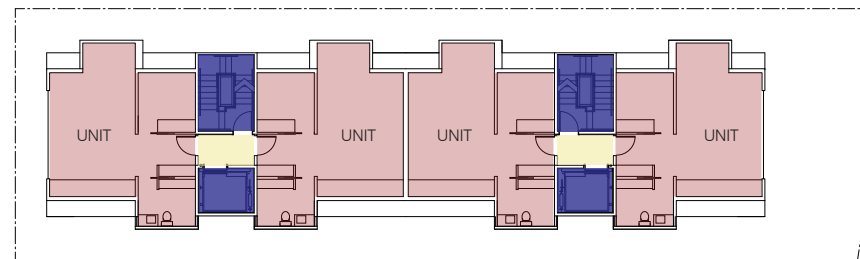
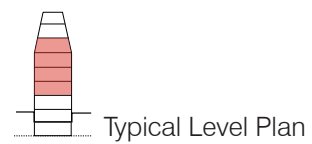
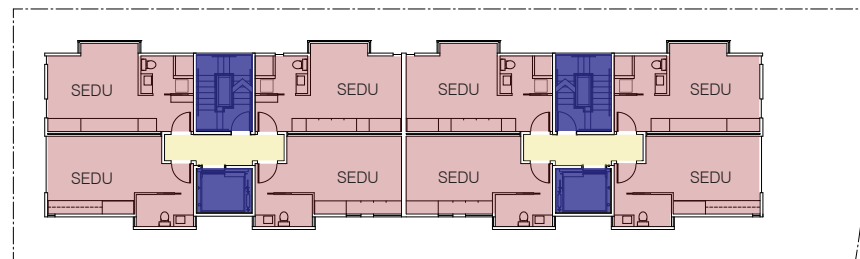
Northeast Corner



Rooftop



Alley



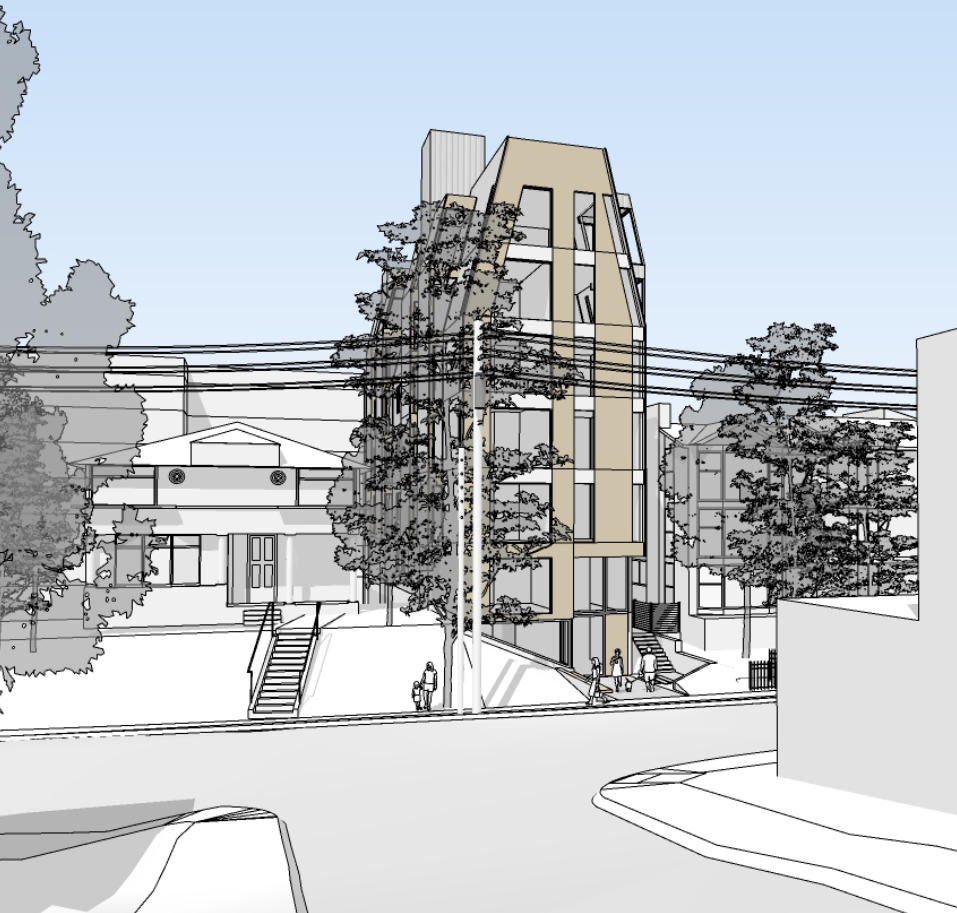
alternate 3



South facade // from Bellevue Ave E



Northeast facade // from Bellevue Ave E



East Facade // from Loretta PL



precedents for design development



Cladding and texture



Bays



Domesically scaled elements



Natural materials and entry

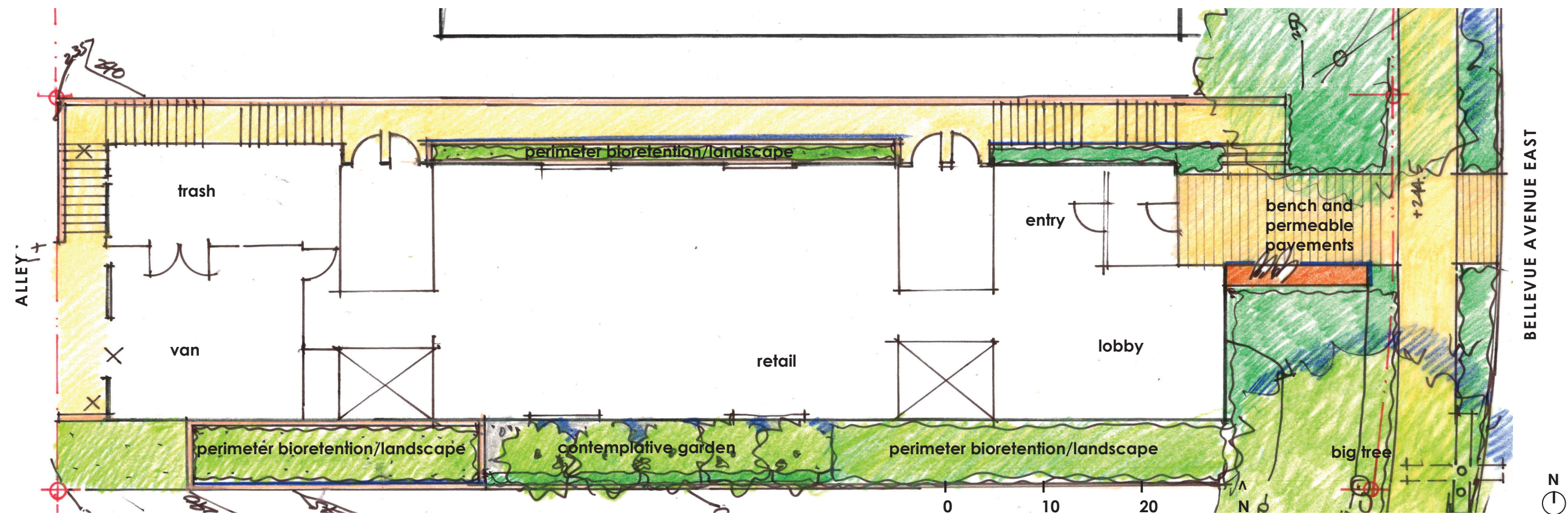


Connecting interior to context



Continuity of wall and roof materials

landscape concept - street & alley plan



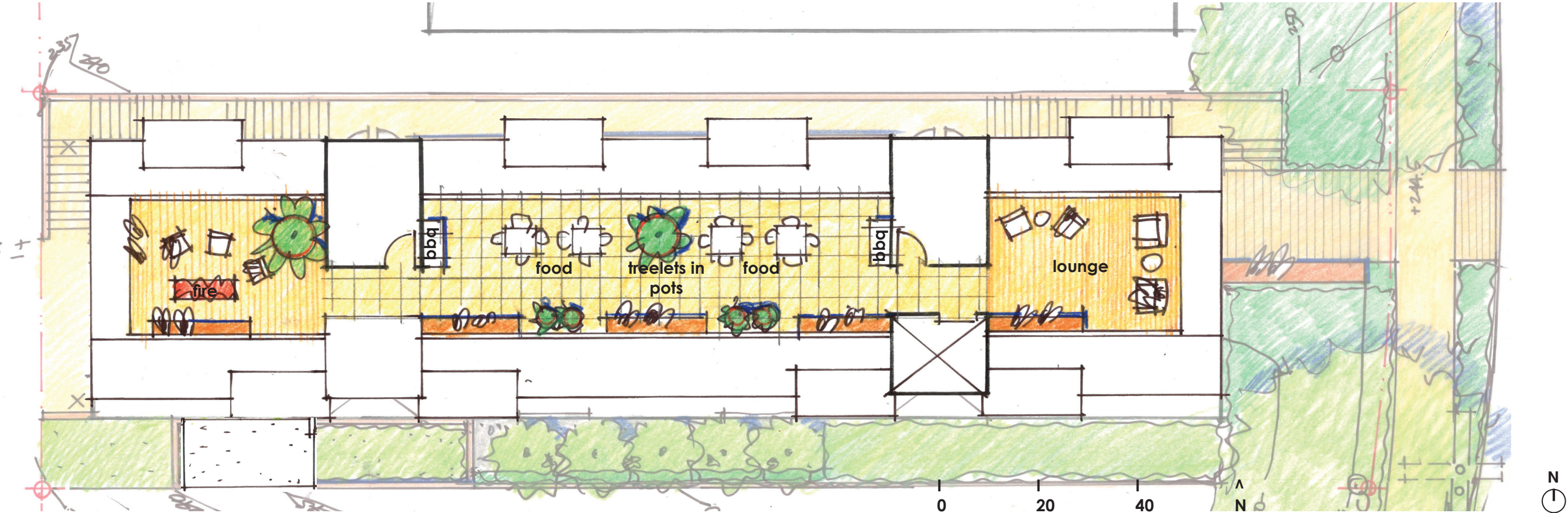
bench and permeable pavements



perimeter bioretention, landscape



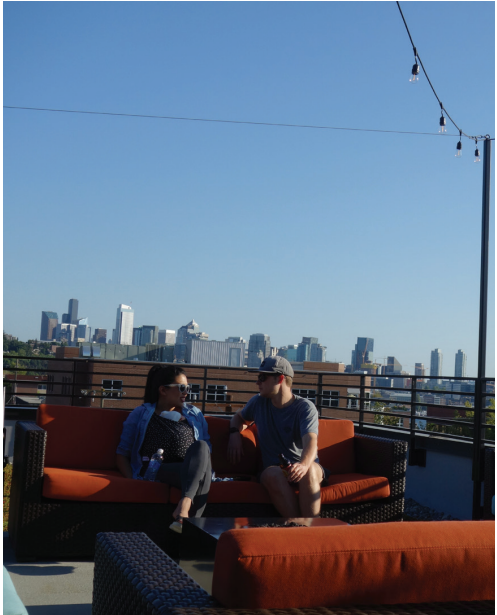
contemplative garden



fire and view



treelets in pots



lounge

departures

SMC23.45.518.B Minimum Setbacks for MR Zone.

In MR zones structures shall be setback 10 feet from a rear lot line abutting an alley.

Proposition

To locate the structure five feet from the real lot line in order to:
-provide a larger transition between the sidewalk and entry,
-expand the amount of front yard landscaping on the east side of the project, and
-to more closely align the front façade with the existing building to the north and any future redevelopment of the lot to the south.

Rationale

CS1-C1 Topography

Preserves more of the character defining street fronting bank. Reduces the amount of excavation required for the project.

CS2-A Sense of Place and Architectural Presence

Preserves a greater extent of the existing bank and landscape along Bellevue Avenue East and creates an appropriately scaled landscape to frame a uniquely conceived architectural form.

CS2-B Connection to the Street

Creates a deep front yard that allows an entry court large enough to gather and provide secondary architectural elements.

CS2-D2 Existing Site Features

Preserves the character defining street fronting bank and landscape. Creates less shading on the landscaped front yard of the lot to the north.

PL2-B Walkability Safety and Security

Proposition enhances security by providing less unprogrammed area outside of the building at the alley.
Enhances security across frontage creating greater visual access across the front of the lot.

PL3-A Entries

Creates an expanded and welcoming semi-private entry space between Bellevue Avenue East and the two story entry lobby.

PL3-B Residential Edges / Security and Privacy

Proposition enhances security by providing less unprogrammed area outside of the building at the alley.
Enhances security across frontage creating greater visual access across the front of the lot.

PL3-B Residential Edges / Interaction

Enhances interaction among residents and neighbors by creating space for secondary architectural elements.

DC2-C3 Fit with Neighboring Buildings

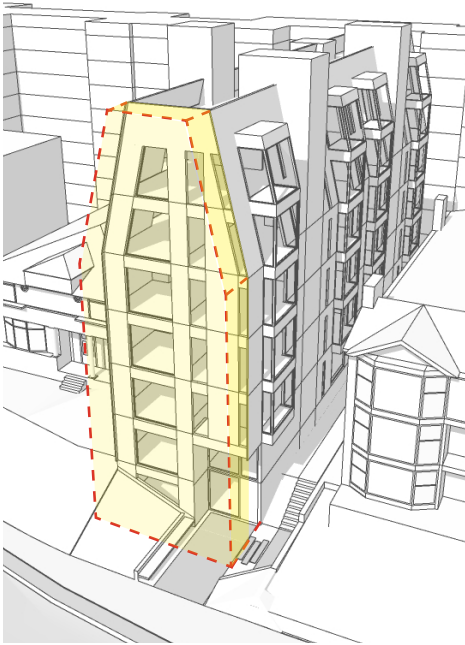
Locates the front of the project more in alignment with the adjacent building to the north and, given the curve in the road, a likely location for the front of a new building if the lot to the south is redeveloped.

DC3-B4 Multifamily Open Space

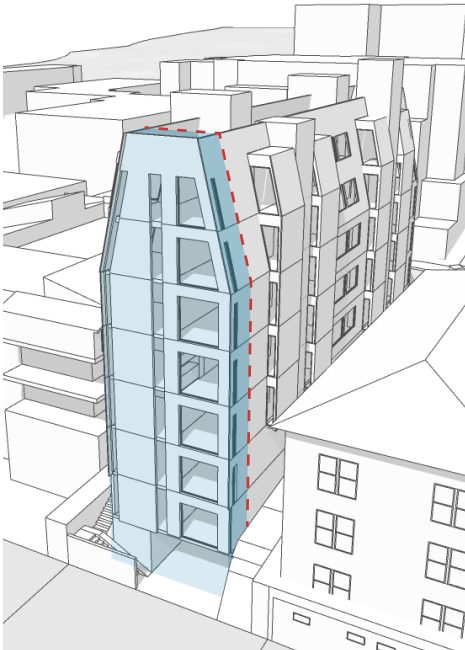
Reduces the amount of alley side open space that serves no use for the occupants and transfers it to the front where all occupants can benefit through improved interaction.

DC3-C Reinforce Existing Open Space and Support Natural Areas

Preserves more of the character defining street fronting bank and provides more area for landscaping on the site.



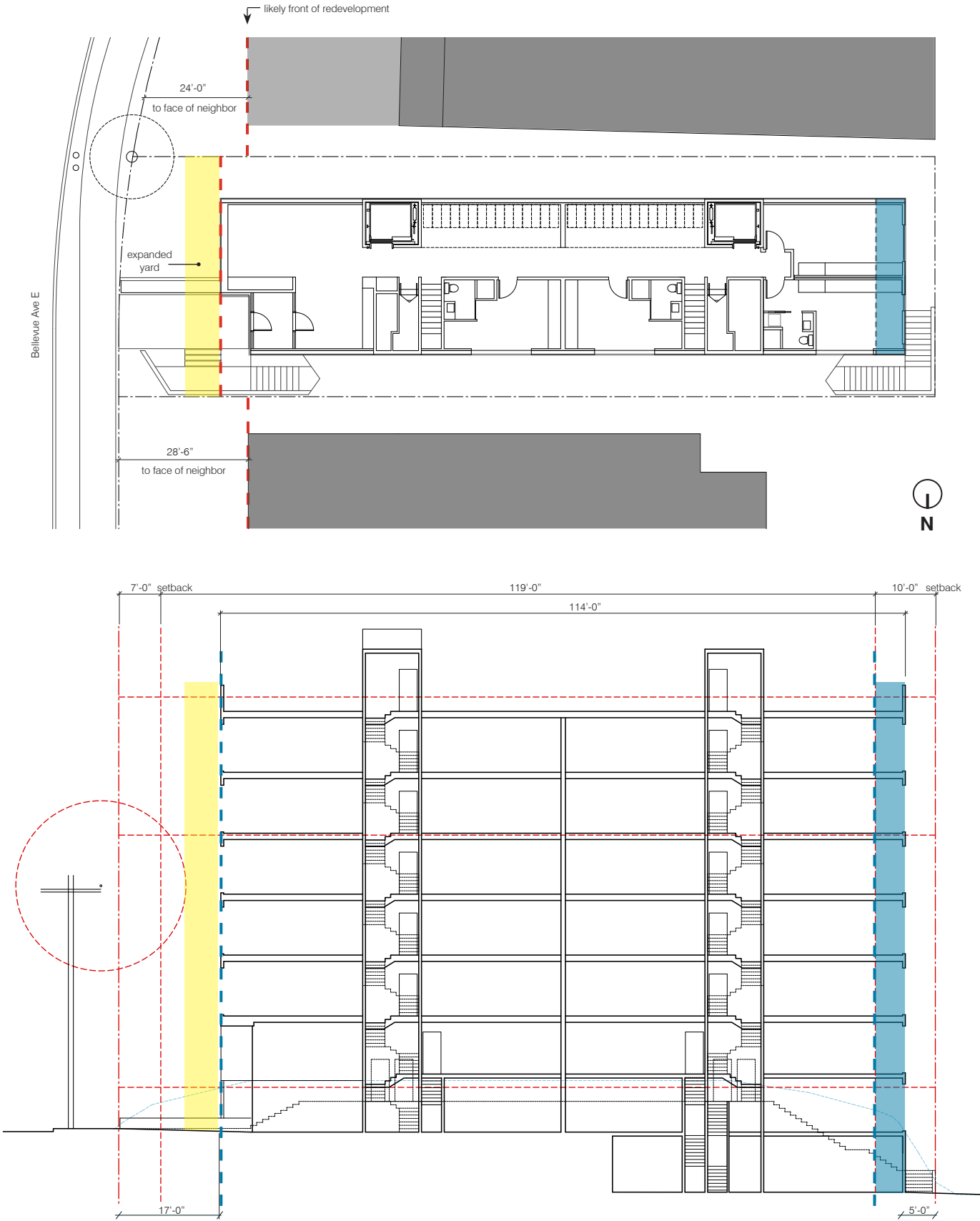
East side



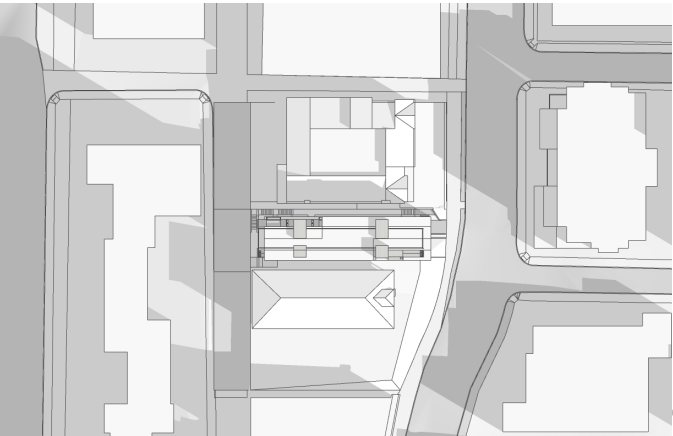
West side

Additional front setback

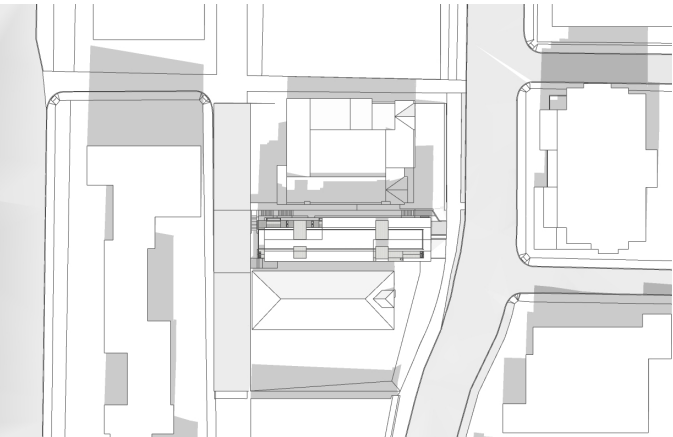
Reduced rear setback



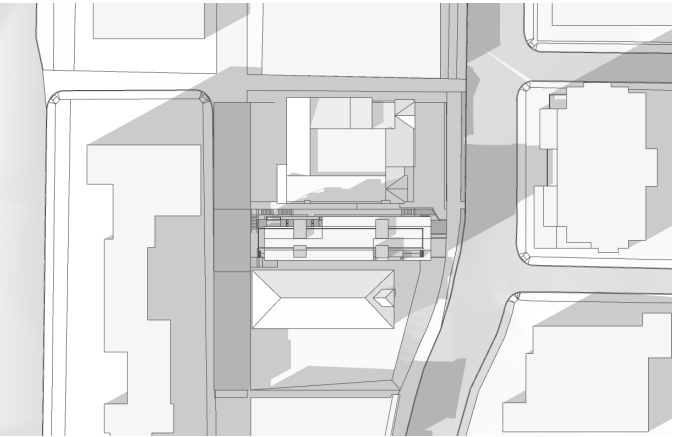
equinox



march/september 21
9 am

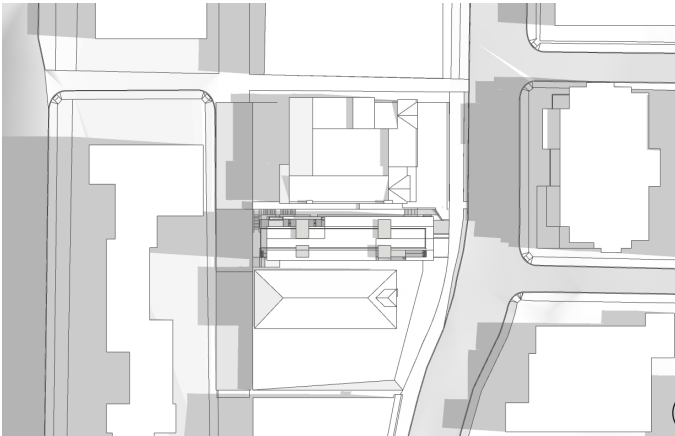


march/september 21
12 pm

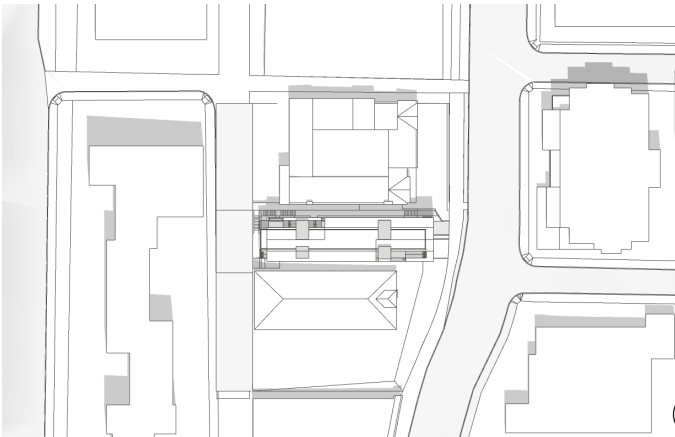


march/september 21
3 pm

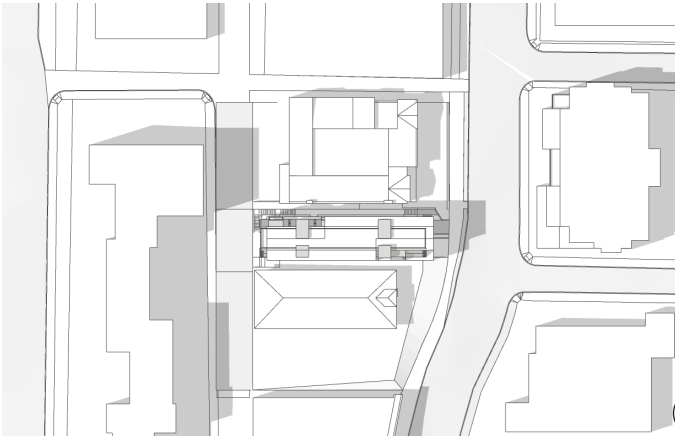
summer



june 21
9 am

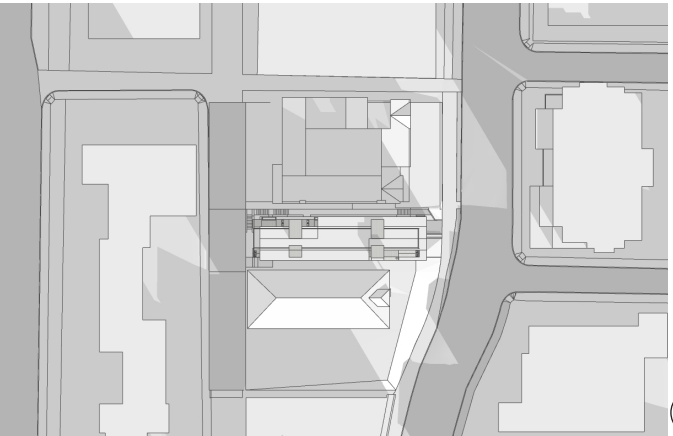


june 21
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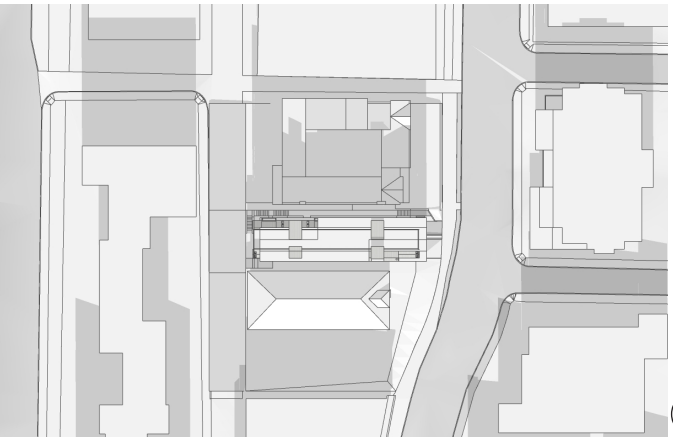


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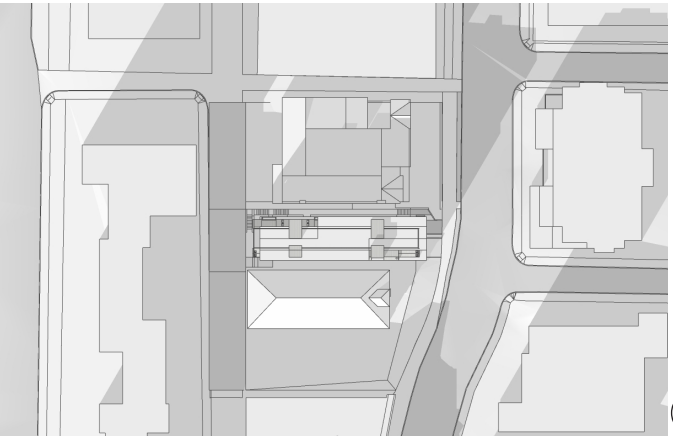
winter



december 21
9 am



december 21
12 pm



december 21
3 pm

architect | developer housing projects



Workshop AD & KKLA | Stadium 302 condominiums | Tacoma WA



Workshop AD, KKLA, | CODA mixed-use | Seattle WA



Workshop AD | Colman triplex | Seattle WA



Workshop AD & KKLA | A77 mixed-use | Seattle WA



Workshop AD | Project 339 townhouses | Seattle WA



Workshop AD | Howell 10 | Seattle WA