



GENOA APODMENTS

2305 S. PLUM STREET | SEATTLE, WA

3032048-EG
3031220-LU

RECOMMENDATION MEETING

MEETING DATE:
Thursday, June 20th, 2019
6:30pm

ADDRESS:
Washington Hall
152 14th Avenue, Seattle, WA 98122
The Lodge

HYBRID

1205 E PIKE STREET 2D | SEATTLE, WA 98122
www.hybridarc.com | 206.267.9277



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DESIGN EVOLUTION

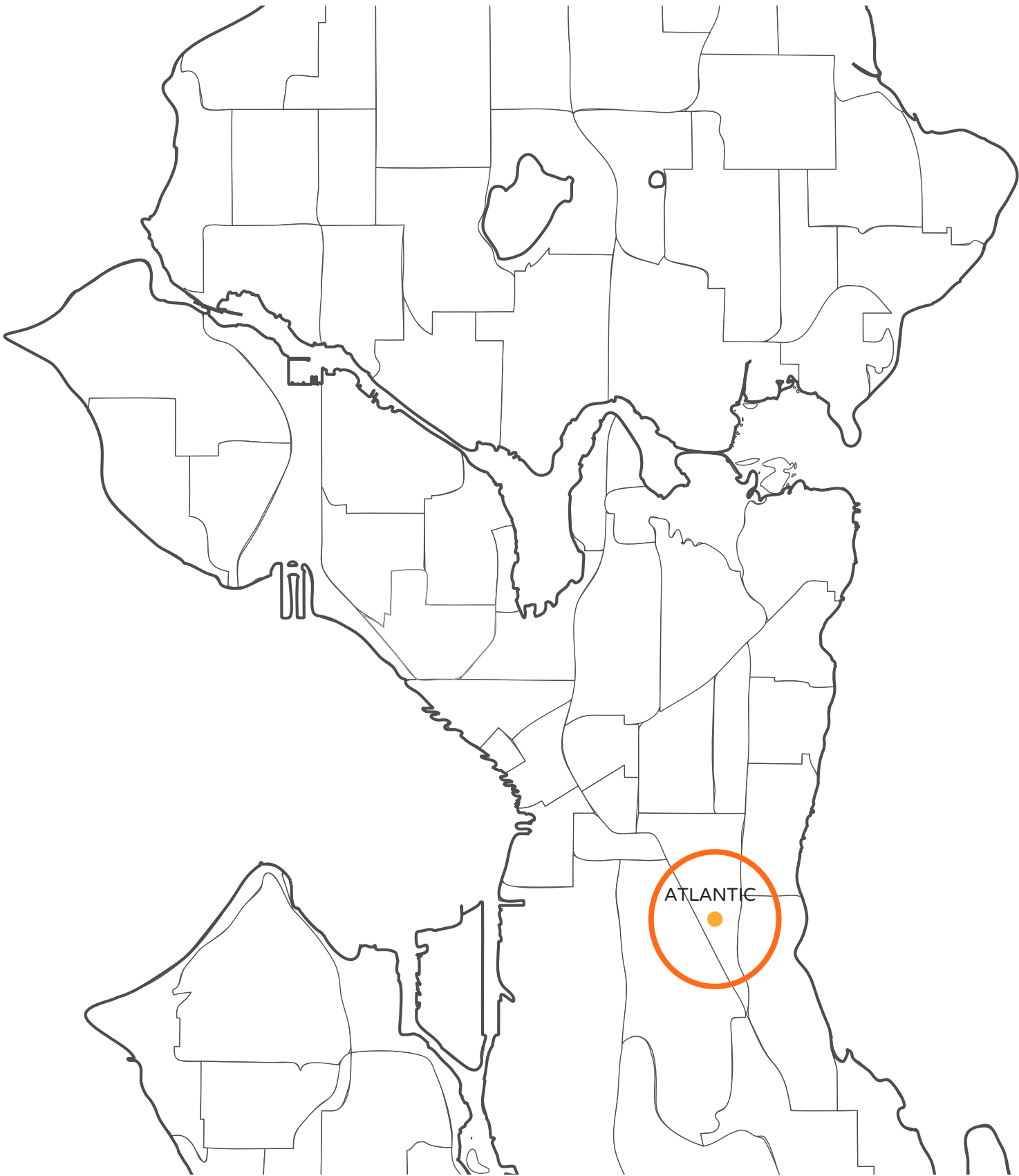
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2305 S. PLUM ST APODMENTS

Development Objectives

Provide mix of congregate and small efficiency dwelling units for single residents to live in an efficient but communal setting with shared kitchens and amenity lounge areas.

133 congregate sleeping units and 3 live work units
116 bicycle parking stalls (as req)
0 vehicular parking stalls (none are req)

Neighborhood Objectives

This neighborhood is in transition from single family and smaller multi-family to a much denser environment with very dense townhouse developments cropping up to the north and east along with a great deal of low to midrise developments along 23rd Ave S and Rainier Ave S.

This project, which is located at the intersection of Plum and 23rd will need to buffer the noise and activity of the busy intersection to the southwest while responding to the more residential character to the north east.

This intersection is dominated by cars. With Rainier and 23rd carrying many vehicles north and south throughout the day; however, there are many neighborhood gardens and small parks towards the east as well. Therefore, the building should aim to incorporate outdoor space, green space and features that help filter the noise and activity of the nearby streets.

Design Objectives

Create welcoming courtyard environment
- a place for residents and guests to engage with outdoors

Provide a variety of efficient units
- maximize height and light / bright colors and tall ceilings

Establish sense of enclosure and privacy within busy context
- try to block noise from 23rd and Rainier Avenues

Ecological & Sustainable
- harness rainwater in bioplanter, use efficient and durable materials



greenplate special - community garden at 25th Ave S & S Walker St



jimi hendrix park



vacant sites along Rainier and 23rd Ave



new townhomes on 24th street



Hybrid Architecture - Betula Apartments - courtyard housing in center



Hybrid Architecture - yesler court - main entry

WHY CONGREGATE HOUSING?

AFFORDABLE APARTMENTS: SMALL EFFICIENCY DWELLING UNITS & CONGREGATE HOUSING



shared exterior space

Provided:

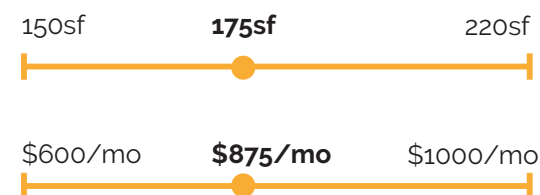
bed
table and chair
wall closet
refrigerator
microwave
private bathroom

shared kitchens
bicycle parking
laundry facilities
security

what is needed?

affordable,
market
rate, non-
subsidized
multi-
family
rental
product

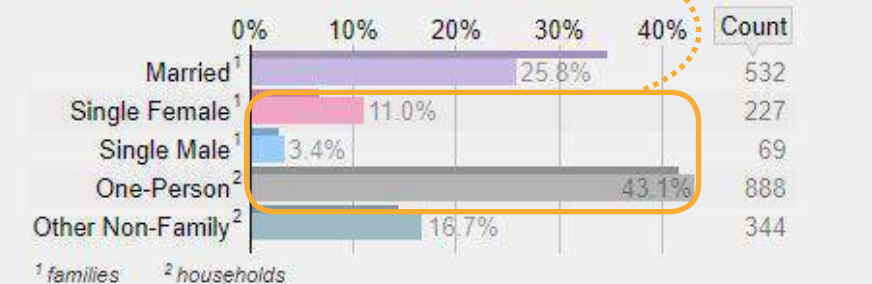
what, how big, how much?



Household Types

Percentage of households.
Scope: households in Seattle and Atlantic

■ Atlantic — Seattle



<https://statisticalatlas.com/neighborhood/Washington/Seattle/Atlantic/Household-Types>



Average resident:

\$30,000/yr income

age 34

rides public transportation

55% male, 45% female

25% working students

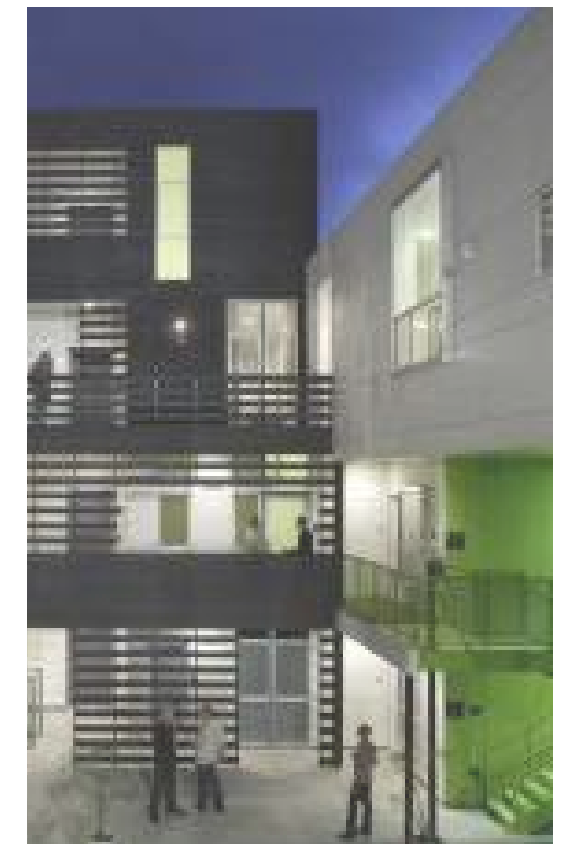
length of stay 14mo



shared kitchens



shared laundry rooms



courtyards for meeting your neighbors

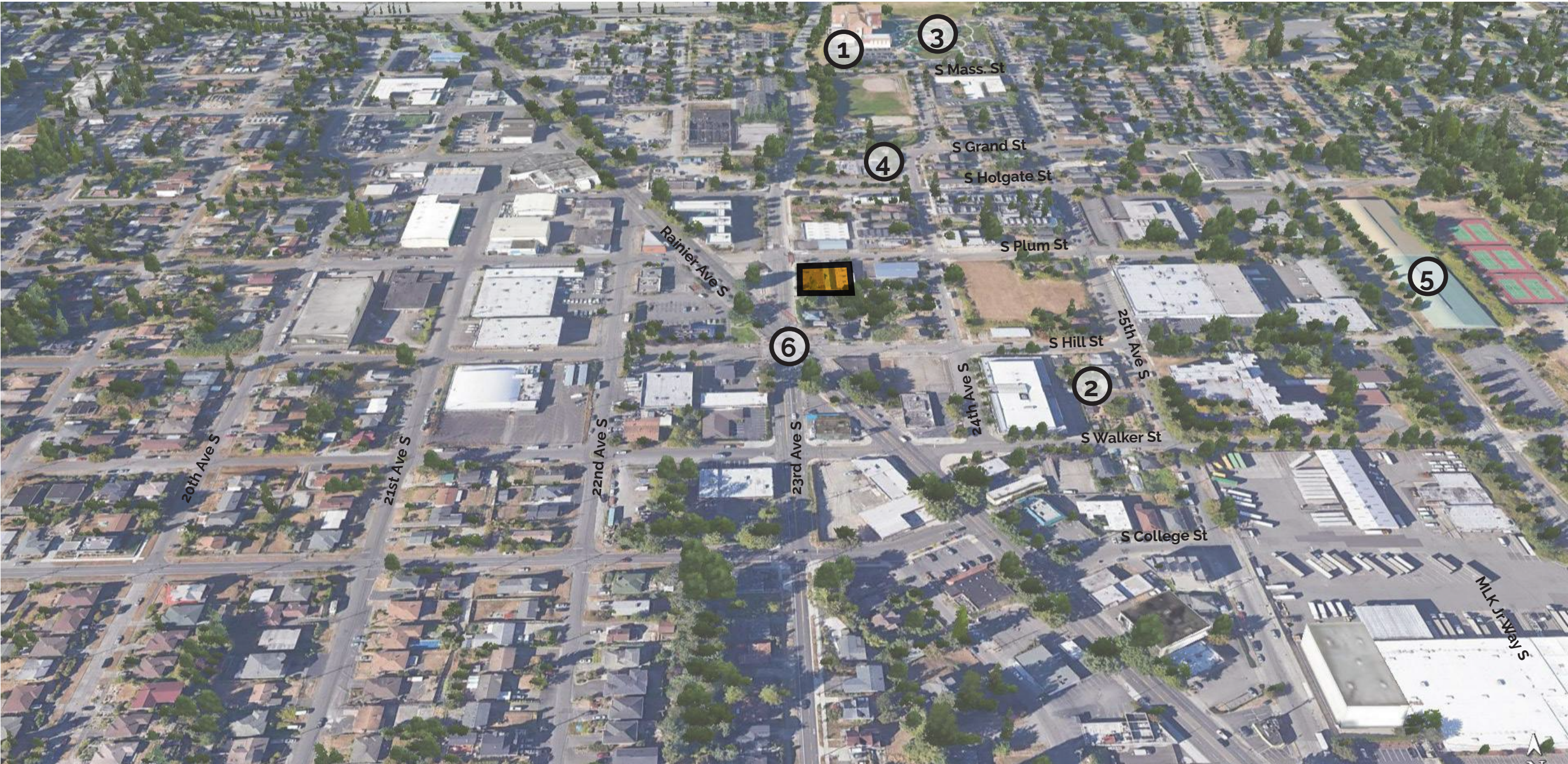
- In Seattle > 40% of households are single occupant
- In Atlantic, 57.5% of households in Atlantic are single occupant

*Based on US Census data in these areas



[illegible]

-  grocery store
 medical facilities
 city park



Aerial Map ①



NW African American Museum



Green Plate Special



Jimi Hendrix Park



Seattle Childrens Playground

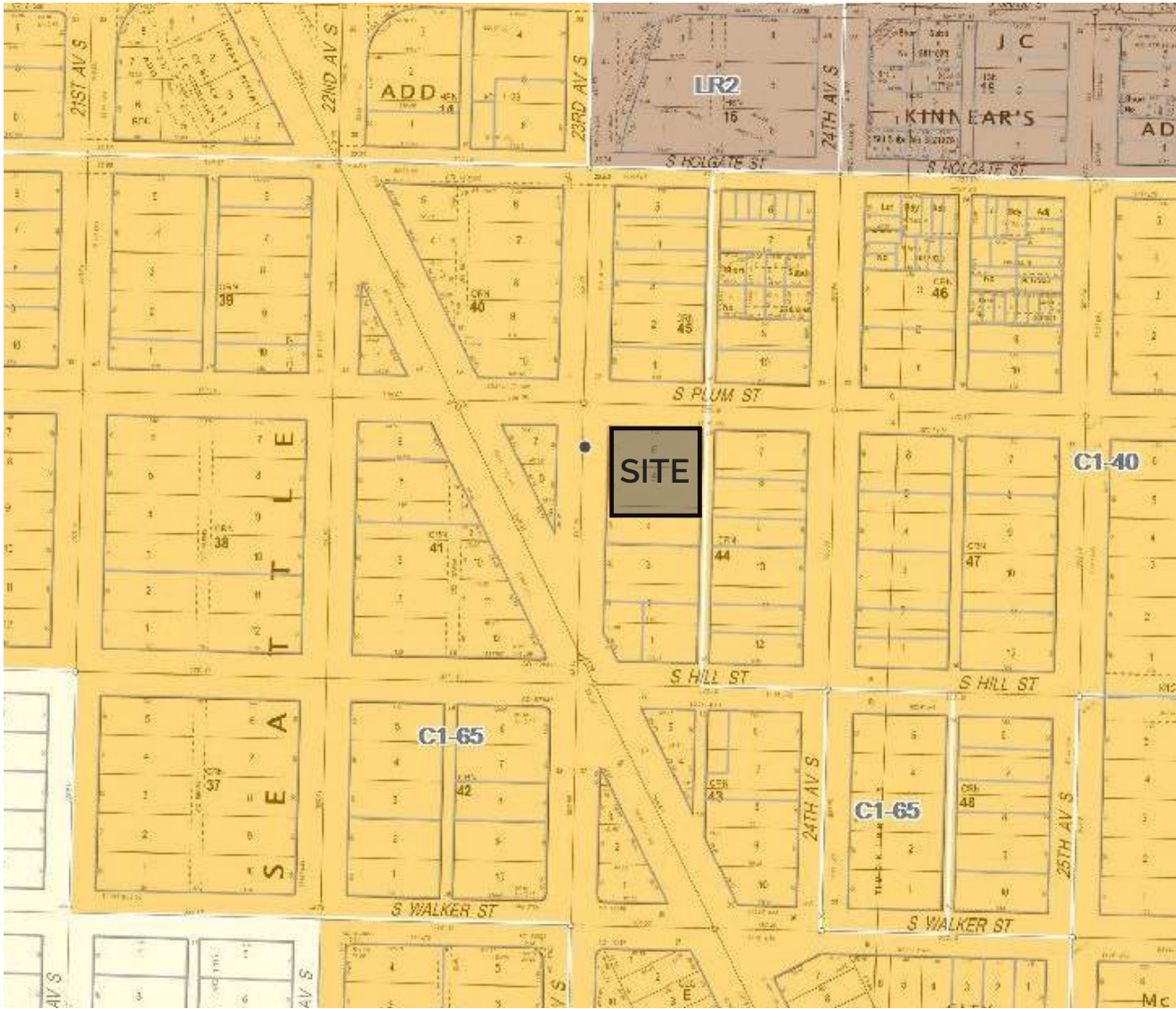


Amy Yee Tennis Center



Rainier Avenue

Typological Analysis



Zoning Map ①

Zoning Map

Site is located in a C1-65 zone that follows along Rainier Ave S where the uses are predominantly commercial and industrial. These uses are starting to become more mixed with the addition of more bus lines and the light rail. The eastern border of the site transitions to C1-40 and the uses remain heavily commercial but have started to become much more populated with townhouses and smaller mixed use developments. To the North, two blocks away, is an LR2 zone where the neighborhood

Project is vested under C1-65 zoning code but existing zoning is now NC3-75 (M).



Typologies & Use Map ①

Typologies and Use

Surrounding area is a mixture of older warehouses and commercial buildings, newer offices, townhouses and apartments. This block in particular has 3 other proposed apartment projects by others.

- Single Family Home
- Townhomes
- Apartment
- Commercial
- Office
- Cultural
- Warehouse
- Parking
- Vacant Land

Context Photos and Surrounding Character



Contextual Design Cues

1. Wellspring Family Services
 - the divided massing of this project allows for multiple small courtyards
2. North facade of Wellspring building
 - simple, durable and lasting materials fit nicely with ordered fenestration
3. 23rd office building
 - large graphic openings in the massing create a memorable building
4. Church
 - horizontal lap siding clads simple forms on a stout concrete base
5. New townhomes
 - division of lap siding and panel siding that surrounds simple forms
6. East facade of Wellspring building
 - welcoming entry courtyards guide pedestrians into the building
7. Church Courtyard
 - private exterior courtyard allows for peaceful connection to outdoors
8. Stewart Lumber building
 - large signage, simple forms with pitched roof and durable cladding
9. Oberto
 - memorable signage that responds to the traffic along Rainier



1. Wellspring Family Services



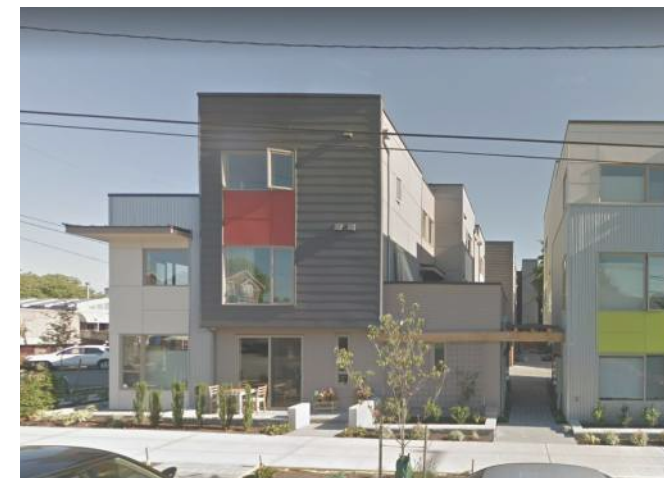
2. Wellspring - North Facade



3. 1916 23rd Ave S - Office Bldg



4. Japanese Pres. Church north of site on S Holgate



5. New Townhomes at 25th and Holgate



6. Wellspring Entry from west



7. Japanese Pres. Church NE courtyard



8. Stewart Lumber - Signage / Materiality



9. Oh Boy Oberto - Signage

Site Analysis Survey

ADDRESS:
2305 S. PLUM ST

PARCEL NO:
1498302724

DESCRIPTION:
CENTRAL SEATTLE N 12.5 FT OF
LOT 4 TGW ALL LOTS 5 & 6 OF SD PLAT
Plat Block: 44
Plat Lot: 4-5-6

SITE AREA:
13,500

ZONING:
C1-65
Mt Baker(Hub Urban Village)

STREET:
23rd Ave S
SLOPES DOWNHILL N>S -24"

Plum Street
SLOPES DOWNHILL E>W -96"

ALLEY:
UNIMPROVED ALLEY to East

UTILITIES:
POWER POLES ALONG 23RD
TRANSFORMER AT NW CORNER
ELEC. BUS POWER LINES ALONG PLUM ST.
SANITARY SEWER MAIN - 23RD
STORM DRAIN - 23RD

TOPOGRAPHY:
SITE SLOPES DOWNHILL 12'
FROM NORTH EAST TO SOUTHWEST

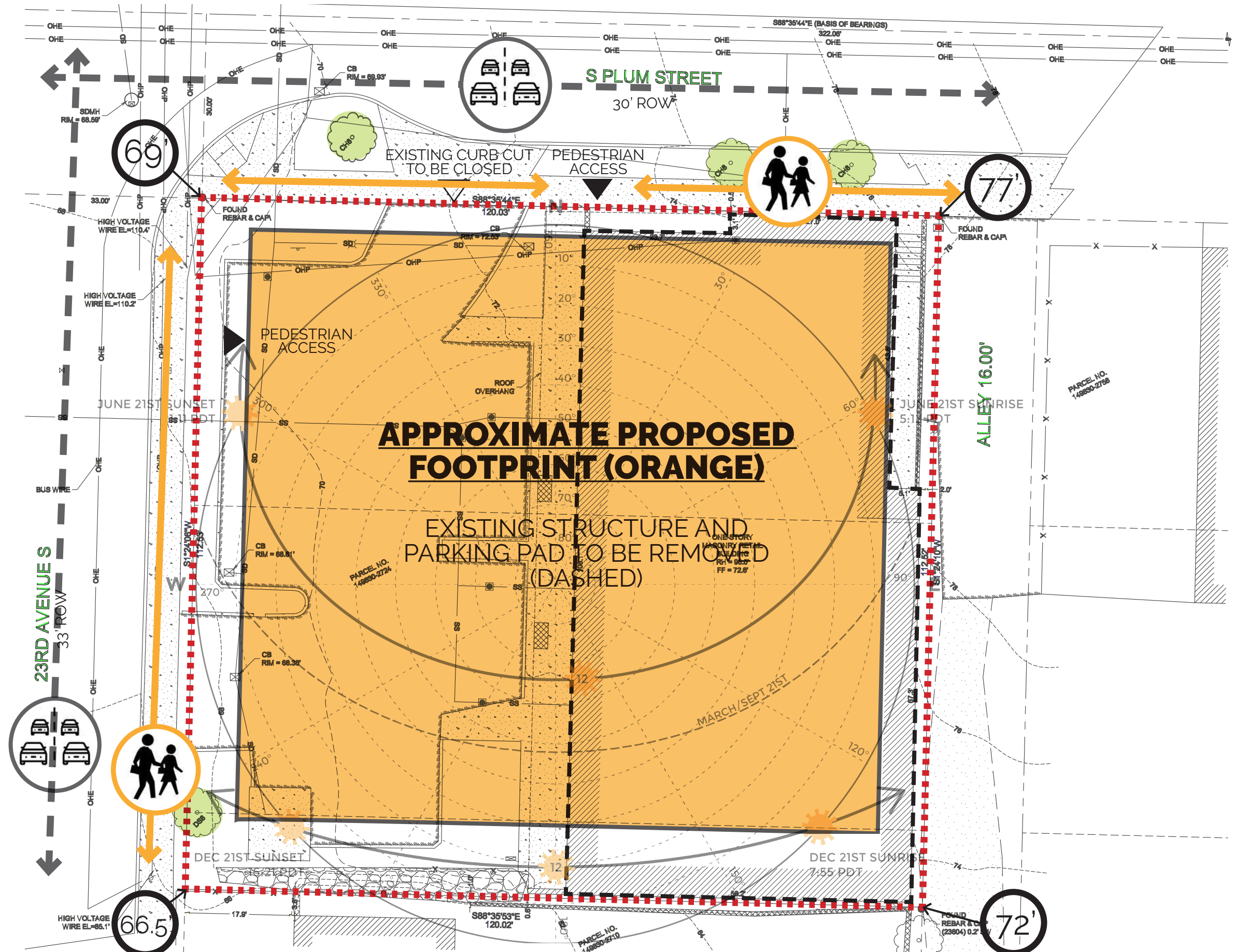
HIGHEST POINT - NE CORNER (78')
LOWEST POINT - SW CORNER (66')

ADJACENT BUILDINGS:
SOUTH - EXISTING RESIDENCE
PROPOSED - 3024101
NEW 90 UNIT APARTMENT BUILDING

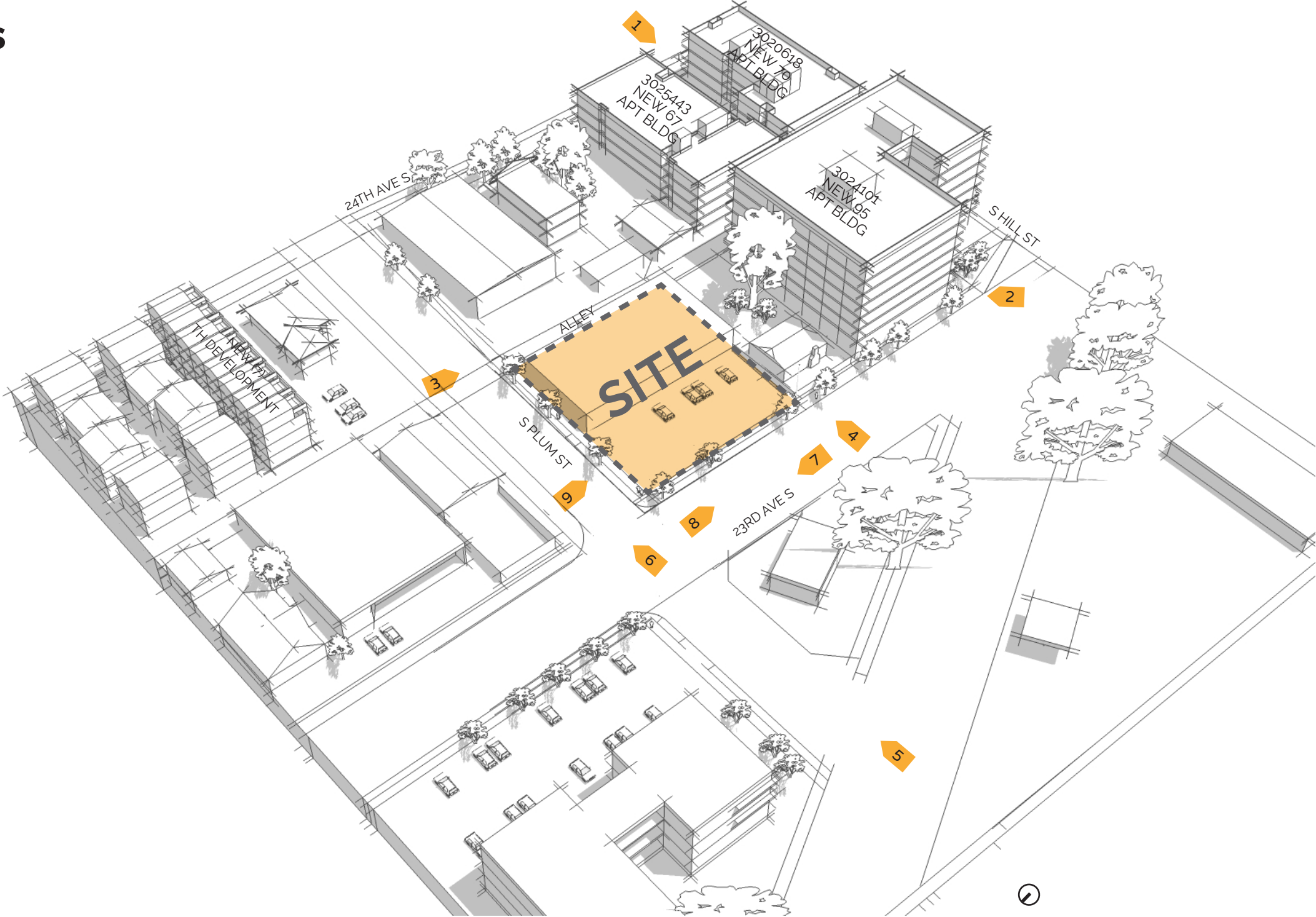
EAST - 2005 24TH AVE S
1 STORY WAREHOUSE

2011 24TH AVE S
INTERN'L ORG OF PENTECOSTAL

TREES:
NO EXCEPTIONAL TREES ON THE SITE
(3) 8" CHERRY - NORTH
(1) 8" DECIDUOUS - SOUTHWEST



Site Photos



1. Proposed Apartments to the southeast



2. Proposed mixed use development to the south



3. North & East facade of existing building down alley



4. Looking east to site from Rainier



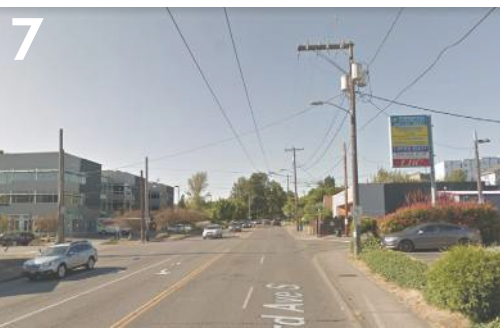
5. Looking east from Rainier Ave S - Down Plum St



9. Corner of 23rd and Plum St with existing curb cut



8. Looking south down 23rd Ave S

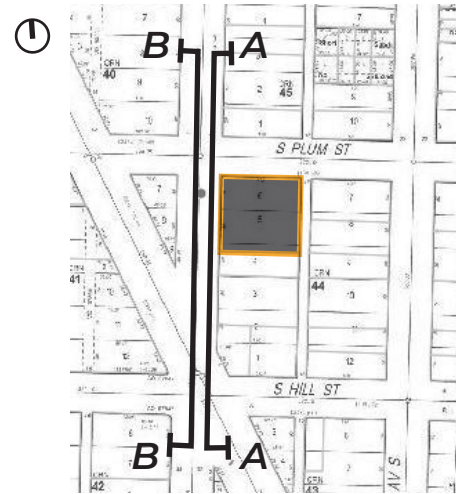


7. Looking north up 23rd Ave S



6. Looking east down S Plum St

Street Elevations



(A)



1 STORY
OFFICE

1 STORY
CAR DETAILING

S PLUM STREET



SITE



2012 23rd Ave
(7) Townhomes Proposed



2016 23rd Ave
3024101 - 95 unit mixed use apartment project
in MUP Review (summer 2018)



S HILL STREET

1 story
Vacant Building

(A)

23rd Ave S
Looking East - at the site

(B)



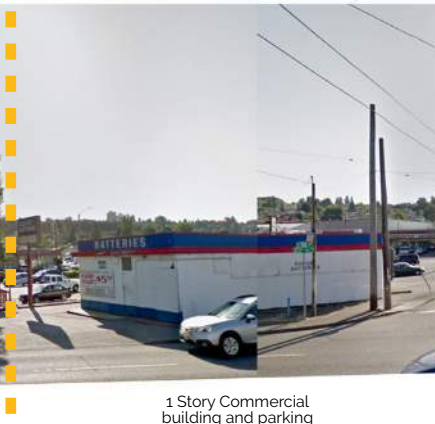
South - Intersection of Rainier and 23rd Ave E



S HILL STREET

North - Intersection of Rainier and 23rd Ave E

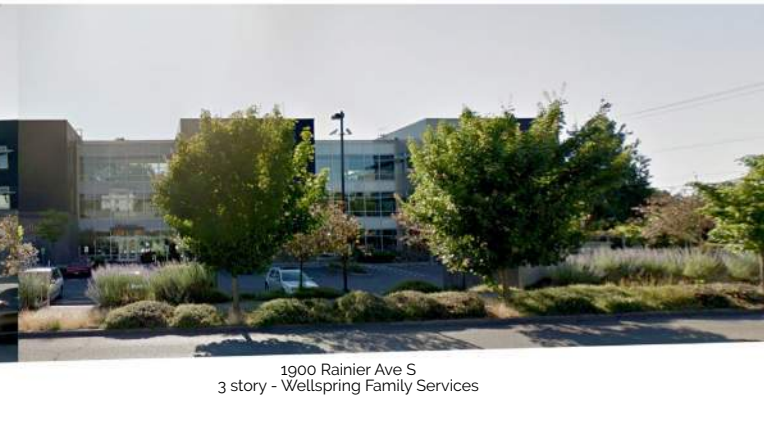
ACROSS FROM SITE



1 Story Commercial
building and parking



S PLUM STREET

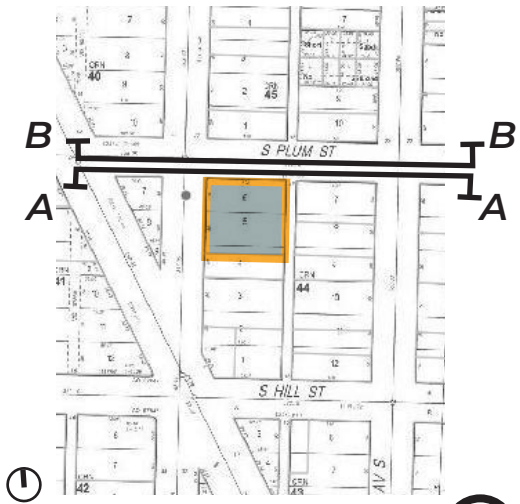


1900 Rainier Ave S
3 story - Wellspring Family Services

(B)

23rd Ave S
Looking West - across the site

Street Elevations



A



S Plum St
Looking South - at the site

A

B



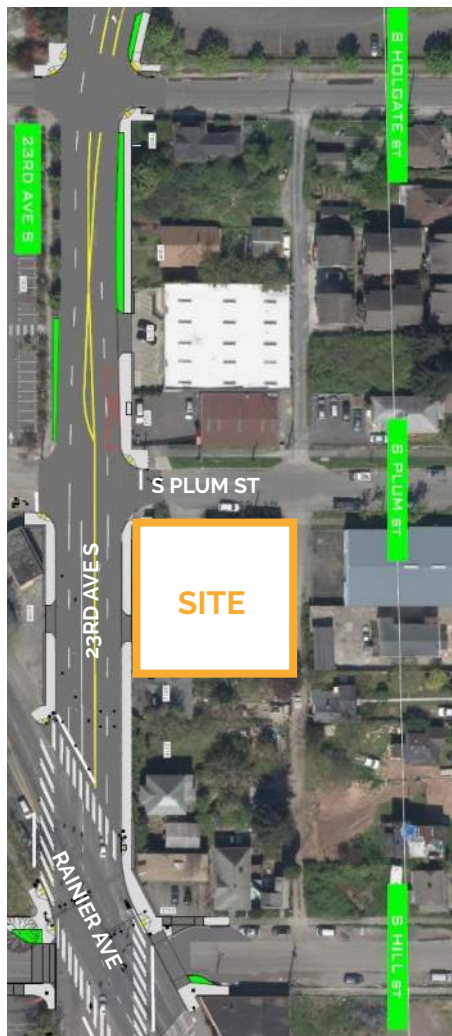
S Plum St
Looking North-across the site

B

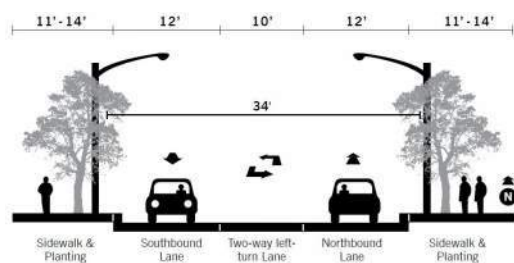
23rd Ave Street Improvements Underway

23rd Avenue Street Developments

The Seattle Department of Transportation is planning on making changes to the right of way along 23rd Ave S over the next year. These changes revolve around widening sidewalks and increasing planter strips along major streets



SDOT 23rd Ave Changes - Context Plan



SDOT 23rd Ave Changes - Typical Street Section

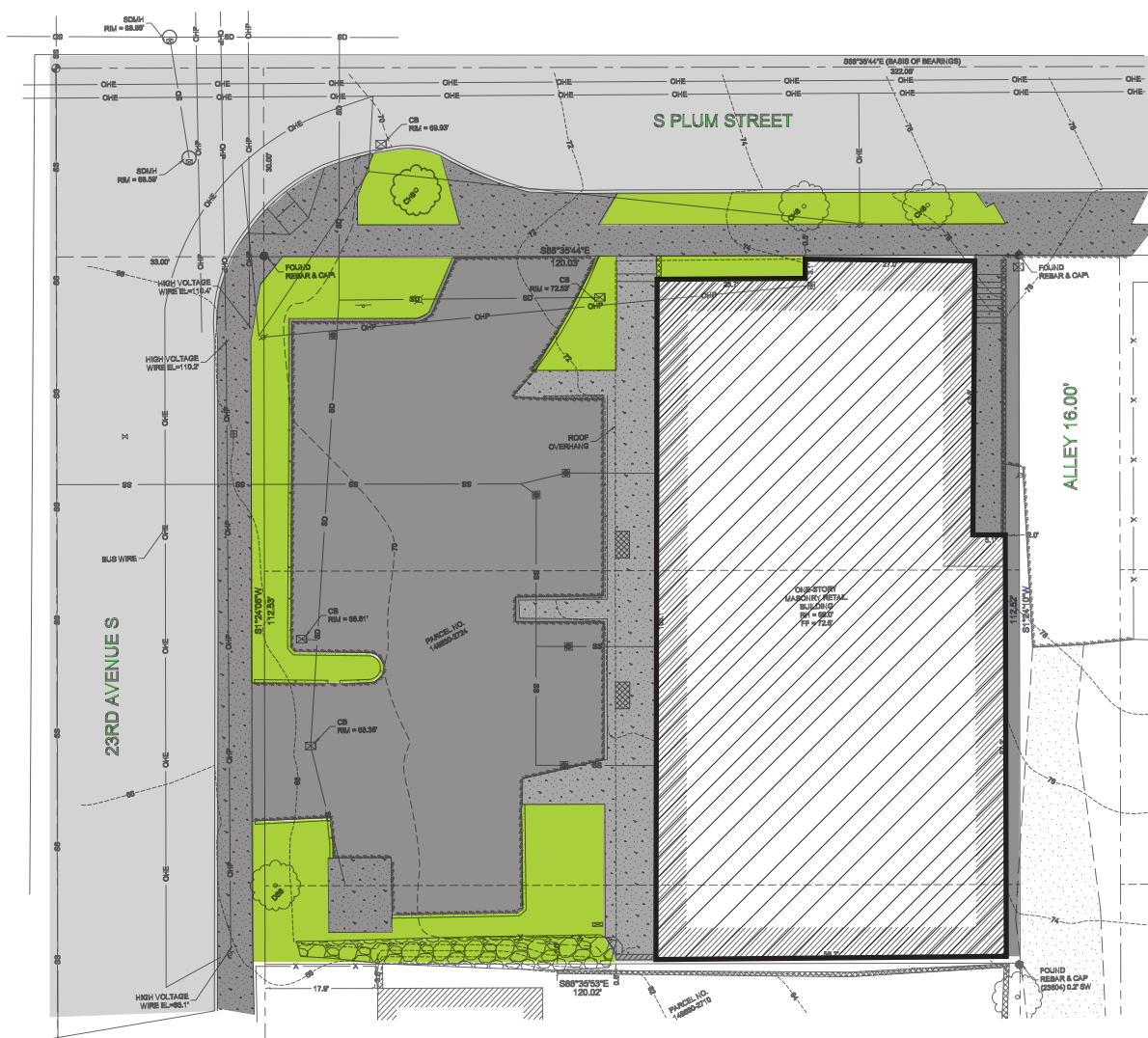


Existing Photo looking north on 23rd



Existing Photo looking south on 23rd

EXISTING - NO PLANTING STRIP OR BUFFER

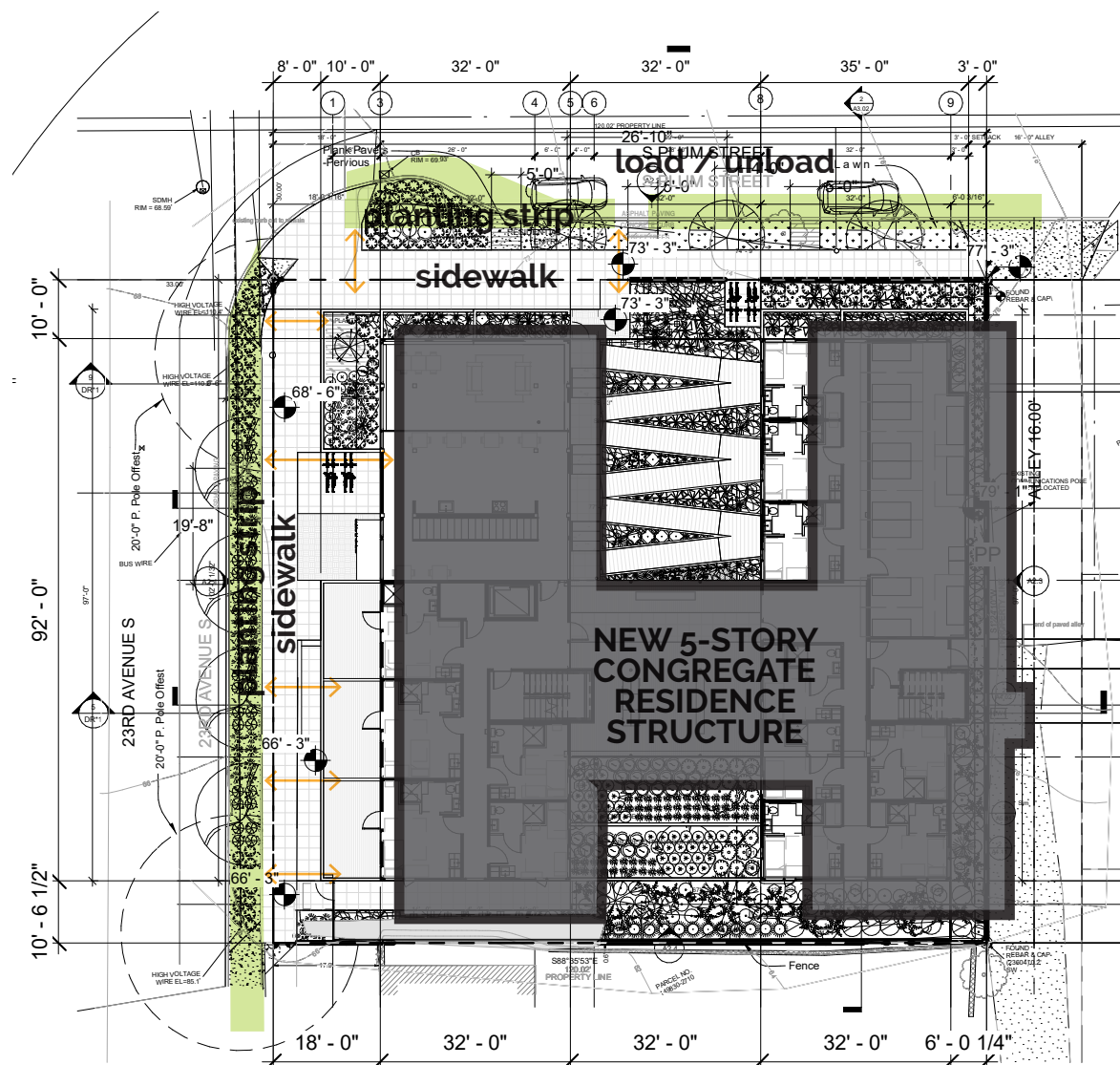


Existing site plan



Proposed changes: widening sidewalk and adding planter strip with street trees along 23rd

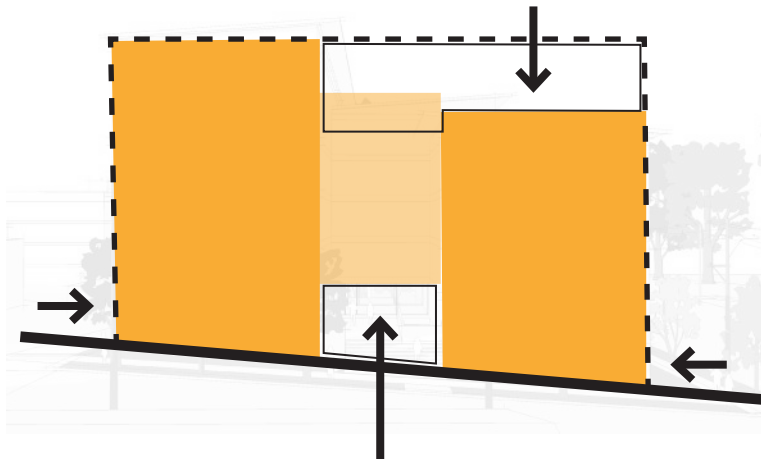
PROPOSED - PLANTING STRIP BUFFERS STREET CONDITION



Proposed site plan

CENTRAL AREA

SUPPLEMENTARY DESIGN GUIDELINES



CS1: NATURAL SYSTEMS AND SITE FEATURES

Use natural systems and features of the site and its surroundings as a starting point for project design.

1. Local Topography

- a. Respond to local topography with terraces, stoops, stepping facades, or similar approaches

Response:

Project is oriented to make use of the slight slope from 23rd Ave up to the alley. The lower street level allows for taller live-work units along 23rd, while maintaining access to the alley at grade. The main entry is at the gateway corner but an additional residential entry along Plum provides an accessible entry opportunity that is also connected to services off alley.



CS1: NATURAL SYSTEMS AND SITE FEATURES

2. Connection to Nature

- a. Be sensitive to the project's impact on solar access to adjacent streets, sidewalks, and buildings. Where possible, consider setting taller buildings back at their upper floors, or pushing buildings back from the street and providing wider sidewalks so sunlight can reach pedestrian level spaces and neighboring properties. Ensure sunlight reaches building entrances whenever possible.
- b. Provide vegetated spaces throughout the project

Response:

The preferred courtyard orientation creates a South facing courtyard enhancing exposure to natural daylight in exterior spaces. The uppermost story is provided only on the Eastern, uphill portion of the lot. This reduces shadows cast in the afternoon in the courtyard and is a gestural response to the sloped site.

Residential entry off Plum is within a large entry courtyard with visual connection to the adjacent residential common space.



PL1: CONNECTIVITY

Complement and contribute to the network of open spaces around the site and the connections among them.

1. Accessible Open Space

- b. Larger projects around important neighborhood nodes should create generous recessed entries, corner plazas, and more usable open space adjoining the streets.

Response:

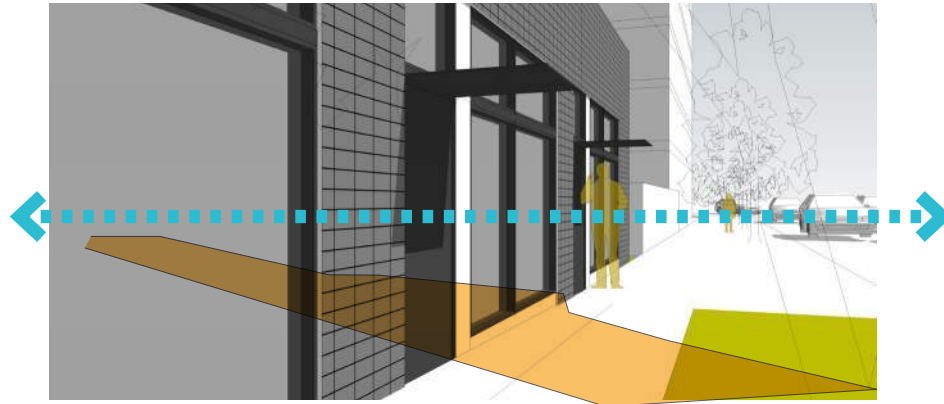
This site, by the nature of its location, is highly connected to public transport, pedestrian networks and bicycle networks.

In order to provide accessible open space, a generous courtyard shall be provided that has not only wide steps but also an ADA path of entry.

To enhance the pedestrian network, an optional setback, to create a planting along 23rd Ave at the corner of Plum, will create a buffer between the public sidewalk and street. The sidewalk will be relocated along 23rd to add a planting strip and create a continuous sidewalk between ongoing.

Additionally, the sidewalk is widened along 23rd Ave S to create a corner courtyard.

Along S Plum St, an additional 10 ft setback is provided to contribute to the network of green spaces in the neighborhood and respond to public feedback and encouragement of additional greenspace.



PL3: STREET-LEVEL INTERACTION

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

1. Frontages

- f. Live/work spaces should be designed to activate street frontage, maintain transparent windows, and arrange the interior to place work space at the street windows.

Response:

Live/work spaces activate 23rd Ave the commercial frontage of this site. Storefronts align with the commercial development project at Rainier Ave and 23rd Ave S.

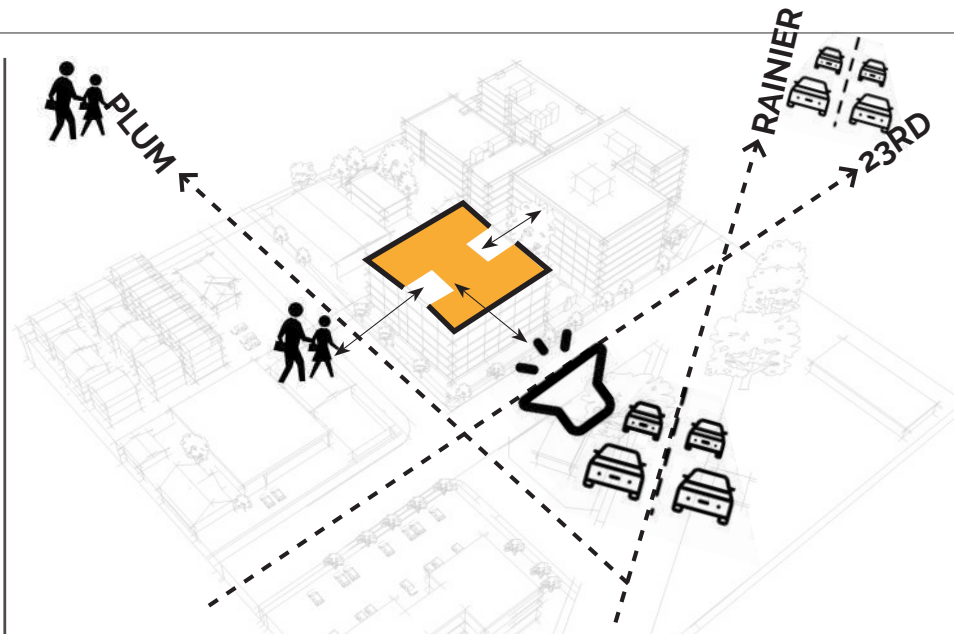
2. Streetscape Treatment

- i. Porches and stoops are the life of the street. Encourage human activity by providing opportunities for neighbors to connect, walk, and talk together on the sidewalk.
- j. To facilitate usable stoops and patios, and to encourage pedestrian-to-resident interaction, buffer private outdoor spaces from the public sidewalk with low walls, planters and landscape layering that defines the private space yet allows for face to face conversations. Tall 'privacy walls' or fences are not acceptable.

Response:

The entry sequence off 23rd Ave features a public courtyard connected to a private but street fronting common space. This entry will activate the communal space and provide more opportunity for spontaneous social interaction. Deeper into the project, residents may reach more private common spaces and private rooms at upper levels.

The residential entry sequence off S Plum St features a ramp and stoop sequence that provide opportunities for social interaction while creating functional and semi private recreation spaces for residents.



DC2: ARCHITECTURAL CONCEPT

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

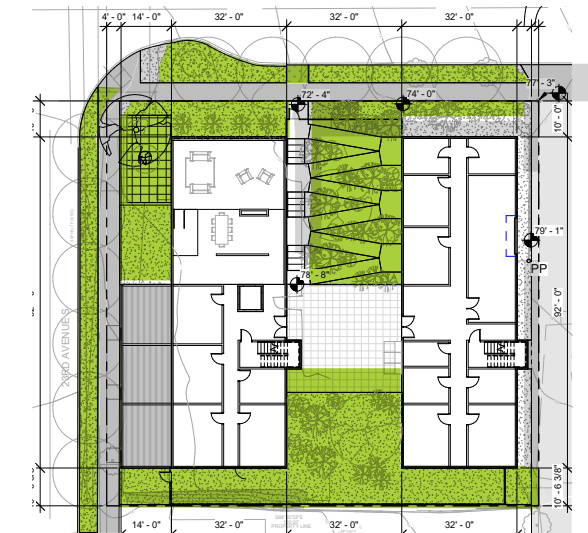
1. Building Layout and Massing

- a. Project concepts should be intelligible and clear. Clarity makes knowledge of the design accessible, thus a larger portion of the community will be able to participate in the planning and design process.

Response:

The project will have a clear concept that through simple gestures shall illustrate key design ideas such as: entry & access, internal circulation and wayfinding as well as overall massing configuration.

The building will step down the hill (to reduce overall mass) & feature an open courtyard that will serve as the main entry and gateway into the project.



DC3: OPEN SPACE CONCEPT

Integrate open space design with the design of the building so that each complements the other.

1. Common Open Spaces

- b. Encourage courtyard housing and bungalow courts which use landscaping as the delineation between shared and private spaces, instead of fencing

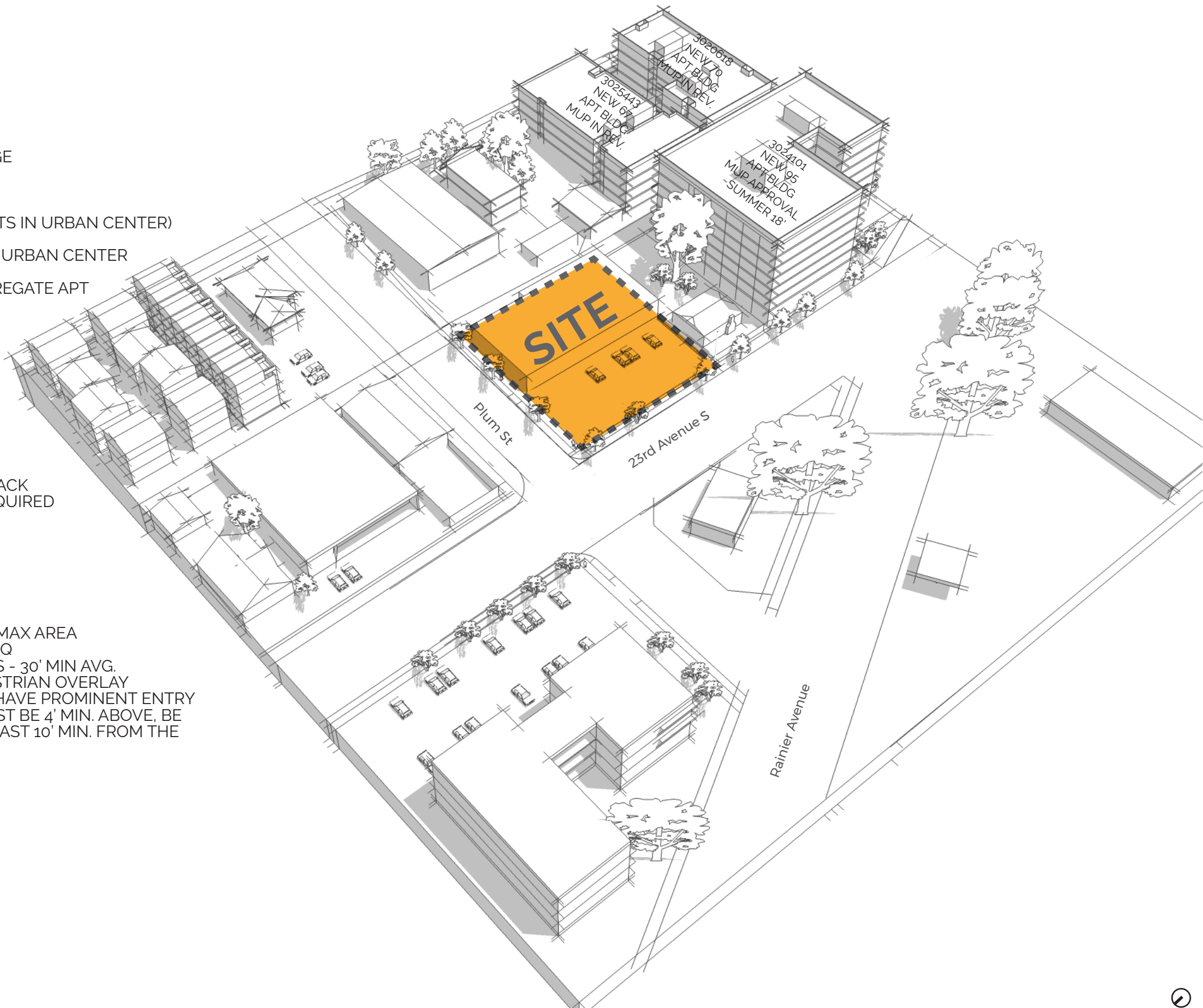
Response:

The open space concept creates private interior courtyards for residents. Two courtyards facilitate different residential activities. One serves as an grand entry gesture up a cascading ramp and the other, South facing courtyard for landscaping and bio-retention.

Corner at 23rd and Plum provides a green open space that extends the network of open spaces in the neighborhood and provides a buffer to residential communal space.

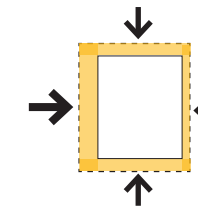
Zoning Summary

SITE LOCATION	2000 23RD AVE E
SITE ZONING	C1-65
OVERLAY	MT. BAKER HUB URBAN VILLAGE
ECA	YES - LIQUIFICATION ZONE
SEPA REVIEW	NO SEPA REQ (BELOW 200 UNITS IN URBAN CENTER)
PARKING REQUIRED	NO VEH. PARKING REQ WITHIN URBAN CENTER BICYCLE PARKING AS REQ. 0.75 STALLS / SEDU OR CONGREGATE APT 0.25 STALLS / APT UNIT
HEIGHT	65' BASE MAX HEIGHT
SITE AREA	13,500 SF
FLOOR AREA RATIO	4.25 FOR SINGLE USE
FLOOR AREA	57,375 SF (MAX FAR)
SETBACKS	NONE REQ. INCREASED FRONT ROW SETBACK 2 FOOT ALLEY DEDICATION REQUIRED
AMENITY AREA	5% OF GROSS FLOOR AREA 2869 SF REQ
DEVELOPMENT STANDARDS	
*PROJECT TO COMPLY WITH ALL DEV. STANDARDS:	
008.A.2 - BLANK FACADES	20' MAX LENGTH / 40% MAX AREA
008.B.2- TRANSPARENCY	60% TRANSPARENCY REQ
008.B.3 - DEPTH	NON-RESIDENTIAL USES - 30' MIN AVG.
008.C - PEDESTRIAN	SITE NOT WITHIN PEDESTRIAN OVERLAY
008.D.1 - RES. USE	ONE ELEVATION MUST HAVE PROMINENT ENTRY
008.D.2 - RES. HEIGHT	FLOOR OF RES. USE MUST BE 4' MIN. ABOVE, BE LOW OR SETBACK AT LEAST 10' MIN. FROM THE SIDEWALK



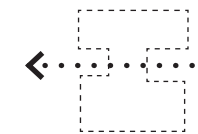


Design Priorities



1 - SETBACK BUILDING

Although the building is located in a commercially zoned area it is important that the building feature setbacks along streets and alleys, to provide room for landscaping and trees. The building should also provide a side setback to allow for some separation with the neighboring structure.



2 - INCREASE TRANSPARENCY

Due to the increased pedestrian activity of this area and the high volume of foot traffic that this building will generate it is important that transparency is maintained at the ground level. Views through the site are key to not only aid in wayfinding and visual security but will also help break down the massing of the building.



3 - SHIFT THE VOLUMES

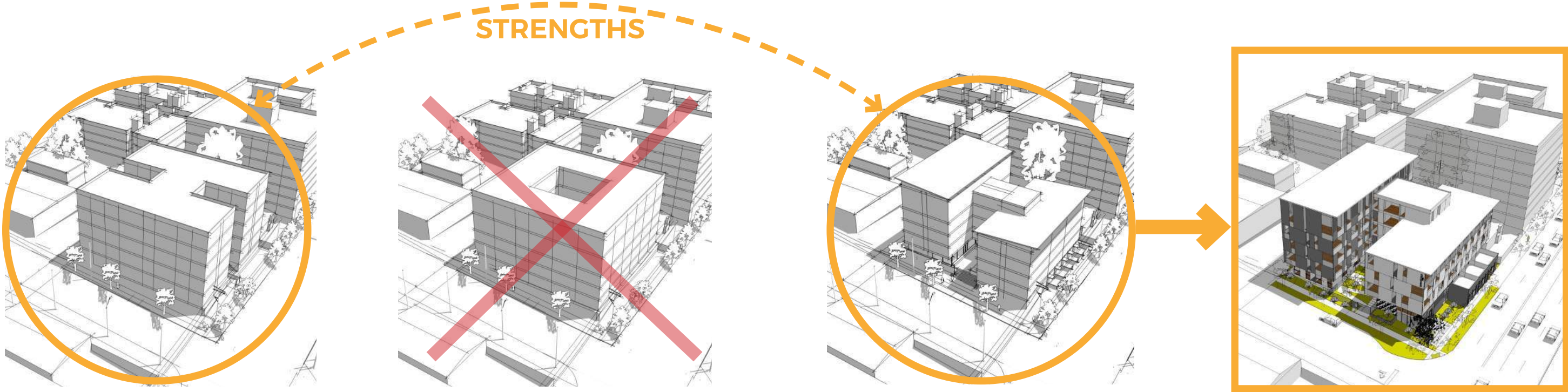
In order to break down the perceived mass of the building it is important that the overall volume is eroded into elements that relate to the corresponding masses found in the immediate vicinity of the site. This shifting can be done in both plan and section to create a variable and playful structure.



4 - ENGAGE WITH THE SIDEWALK GATEWAY

Visual and physical onnections to sidewalk at 23rd and the representation of the project as a gateway to the Central Area. Enlarged outdoor space at the corner connect to the larger network of green spaces and foster socialization and a strong sense of community in the neighborhood.

EDG #1 Summary



1. West Court

139 UNITS
Proposed FAR: 43,190 SF
Max FAR: 4.25 = 57,375 sf
Bike: 105

Positive

- Building Opens up to West - towards 23rd & East towards alley
- Tall Ceilings

Negative

- Main entry is on busy, noisy street with difficult grade change that requires stairs and long ramp
- Long broad facades on Plum Street and along building's side yard
- Concerns over security of courtyard that faces an alley
- No streetscape activation along Plum Street and minimal interaction along 23rd.

Departures

- Residential setback at S Plum Street

2. Donut

139 UNITS
Proposed FAR: 42,285 SF
Max FAR: 4.25 = 57,375 sf
Bike: 105

Positive

- Secure / Quiet Interior Courtyard
- Building entry off Plum Street in a much more quiet and pedestrian friendly location
- Ample greenspace for landscaping along the perimeter

Negative

- No streetscape activation along 23rd Ave
- Minimal activation along Plum St
- Main entry is at grade but not celebrated and generous enough
- Long, broad facades along all four elevations that will require a great deal of added articulation

Departures

- Residential setback at S Plum Street

3. North Court *(preferred scheme)*

139 UNITS
Proposed FAR: 38,910 SF
Max FAR: 4.25 = 57,375 sf
Bike: 105

Positive

- Quiet, secure main entry that is accessed off more residential Plum Street.
- Procession of stairs / ramp is integrated into geometry of the building
- Massing steps down the hill to reduce overall bulk and scale along 23rd Ave
- Residential Units along 23rd with private patios to allow for streetscape activation
- Courtyard along south side yard to reduce views into neighboring building to south

Negative

- Long facade along 23rd and alley that contrast with short north / south facades

Departures

- none

3. EDG2 Corner Court

136 UNITS
3 LIVE/WORK UNITS
Proposed FAR: 41,920 SF
Max FAR: 4.25 = 57,375 sf
Bike: 139

Positive

- Quiet, secure main entry that is accessed off more residential Plum Street.
- Procession of stairs / ramp is integrated into geometry of the building
- Gateway courtyard on corner of 23rd Ave and Plum Street
- Massing steps down the hill to reduce overall bulk and scale along 23rd Ave
- Live/Work units along 23rd Ave to activate street-level interaction w
- Courtyard along south side yard to reduce views into neighboring building to south

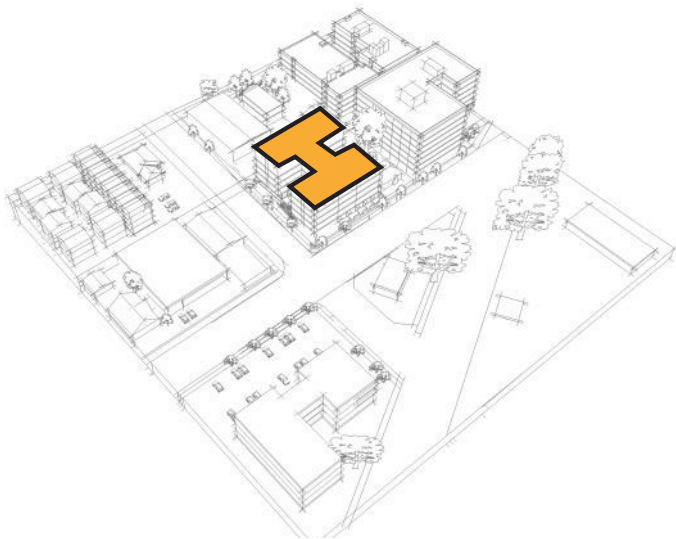
Negative

- Street noise in communal spaces along 23rd Ave S

Departures

- Commercial Height in Live/Work Space

EDG # 2: Corner Court Summary



EDG2. Corner Court

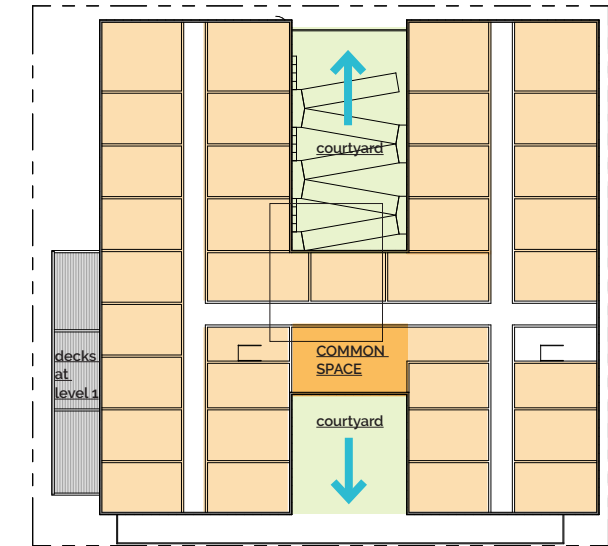
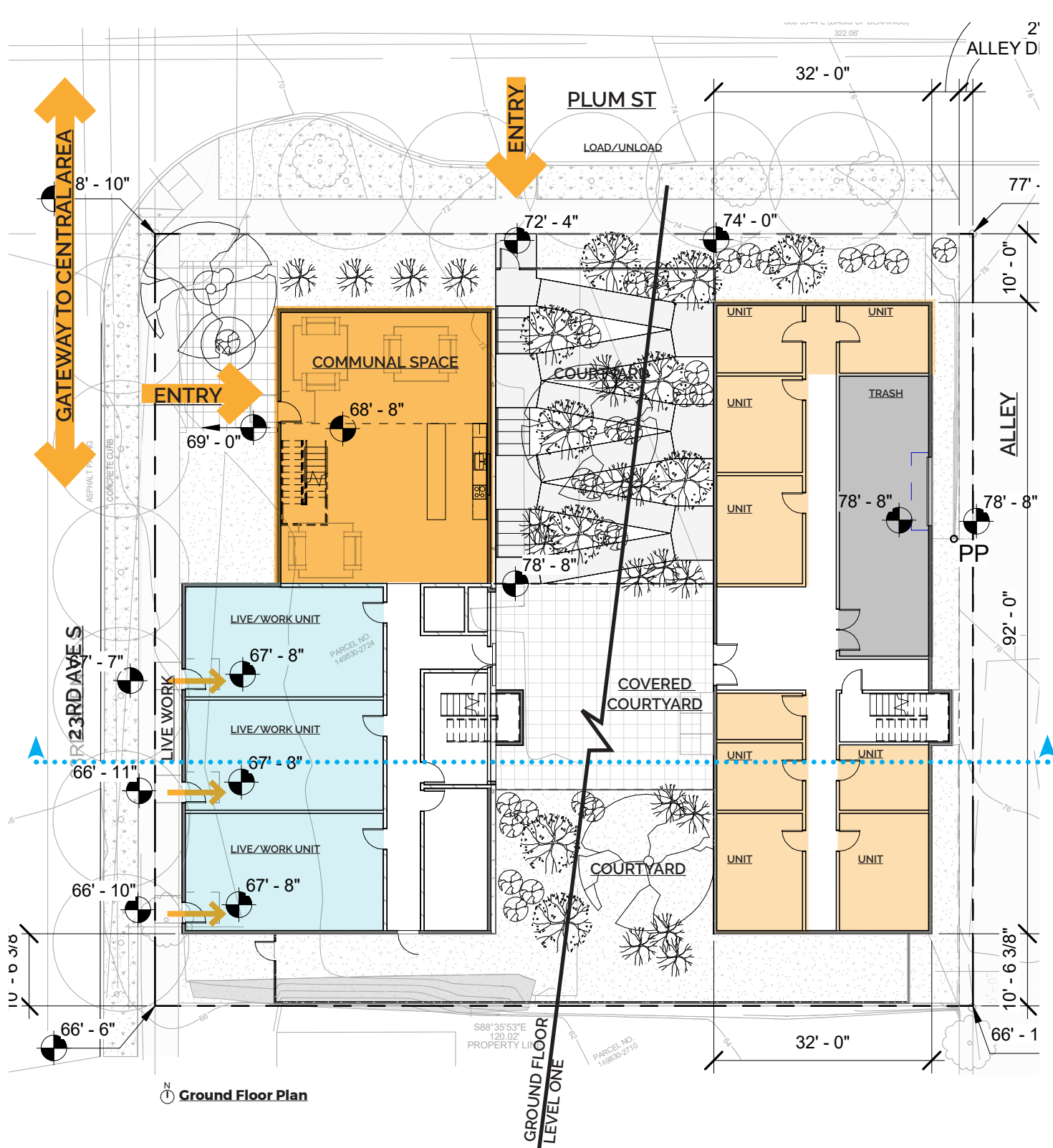
136 UNITS and 3 Live Work
Proposed FAR: 38,910 SF
Max FAR: 4.25 = 57,375 sf
Bike: 139

Positive

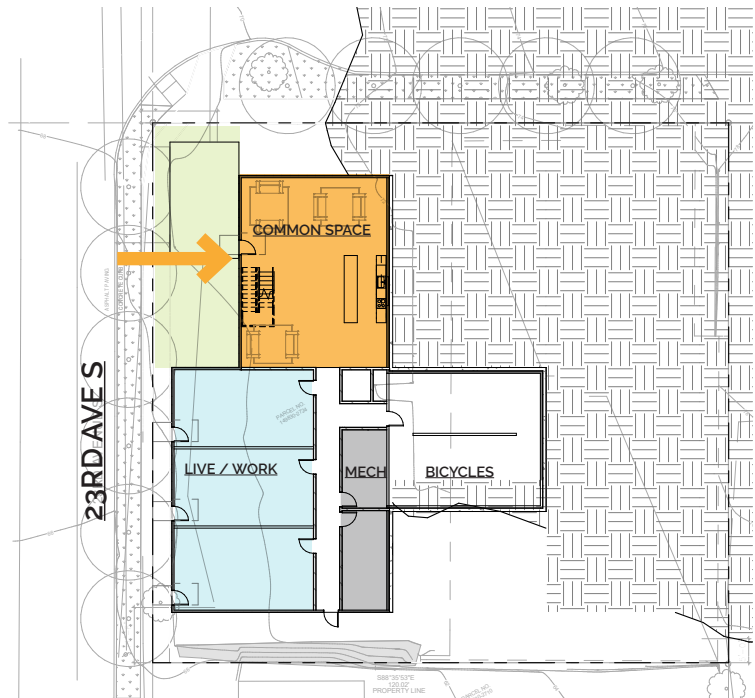
- Common space and planting create iconic corner condition.
- Quiet, secure main entry that is accessed off more residential Plum Street.
- Second residential entrance off 23rd activates communal space at corner.
- Massing steps down the hill to reduce overall bulk and scale along 23rd Ave
- Courtyard along South side yard to reduce views into neighboring building to South
- Live-Work commercial units along 23rd for streetscape activation
- Residential stoops along Plum for street activation

Negative

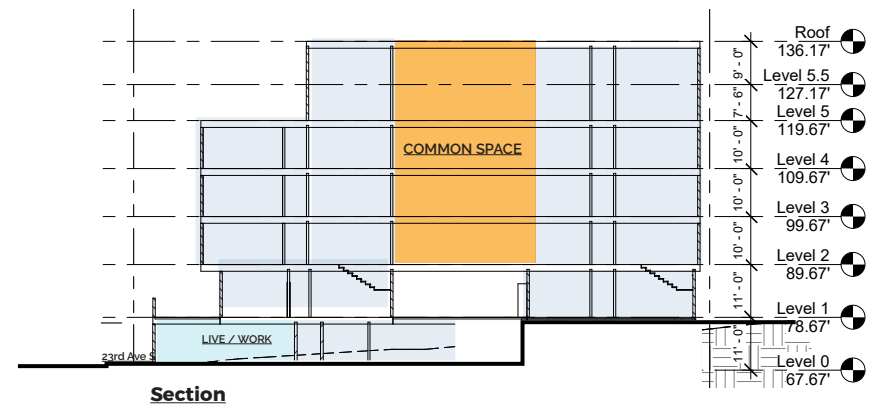
- Street noise in communal spaces along 23rd Ave S
- **Departures**
- Commercial space height



Typical Upper Level Floor Plan



Basement Floor Plan



Section



Image From EDG #2

The Board expressed support for the revised massing of “Corner Court” and believed it successfully engaged the gateway corner while maximizing light and air to the interior units. The design is further enhanced through the board’s guidance.

PUBLIC COMMENT

The following public comments were offered at this meeting: No public comments were received prior to the meeting and none were offered at this meeting. All public comments submitted in writing for this project can be viewed using the following link and entering the record number-EG: <http://web6.seattle.gov/dpd/edms/>

PRIORITIES & BOARD RECOMMENDATIONS

After visiting the site, considering the analysis of the site and context provided by the proponents, and hearing public comment, the Design Review Board members provided the following siting and design guidance.

1. Massing:

The Board agreed the revised massing, 'Corner Court', was responsive to the provided 1st EDG guidance. The 'H' shaped massing successfully engages the gateway corner, maximizes light and air to the units, and maintains south facing courtyard toward the neighboring site. The Board expressed support for the bridge, which contains north facing residential units and south facing common space. The Board noted the ground level setback at the corner and central courtyard, with upper building cantilever, as successful. (CS1-B1, CS1-1a, CS3-A2, DC3-A, DC3-1)

2. Entry, Connection to the Street & Open Space Concept

The Board noted the corner courtyard and the double height common space provides a welcoming and activated gateway corner. The Board appreciated the building entry at the corner of 23rd Avenue S and Plum Street and the ADA access through the courtyard. The Board noted the shallow landscape path, without guardrails, provides an equitable solution to a challenging grade condition. The Board did express concern regarding the multiple entry points and the lack of a clear narrative for the open space, landscape design and entry sequences.

At Recommendation Meeting the Board requested a comprehensive concept plan for landscape/open spaces, including the street level setbacks, corner courtyard, and central features, and address the following:

- Develop the ADA path to meander, maximize landscaping, and utilize planting materials that will thrive in the north facing condition, (PL1-2)
- Consider ways the central courtyard landscape concept can spill through the building to the corner courtyard, (PL-A, PL1-2, DC3)
- Develop the setback space directly south of the 23rd Avenue S entry to include passive landscaping, address resident privacy, and provide a big gesture to the pedestrian experience, (PL-A, PL1-2, DC3-A)

d. Wrap live work fenestration onto the north wall, (PL3-1, DC1-A)

e. Develop the common space to directly engage the central courtyard. Investigate a stair design that facilitates movement between the between courtyard and the street, and (PL1-1, PL3-A, DC3)

f. Program the corner common space to accommodate spaces that are visible from the street and others that are private. (PL1-1, DC1-A)

3. Gateway Location & Cultural Placemaking:

The Board expressed support for the texture and patterning in the hardscape materials and the graphic wall as shown on page 28 of the 2nd EDG packet.

a. The Board felt the ground level patterning and graphic wall should be further developed with a narrative. The Board suggested the following key words for inspiration: art, history, gateway, Lighthouse for the Blind, local culture, meaningful locations. The Board noted the opportunity to engage a local artist. (CS3-B, A.1-1, A.2-1, DC4-1 and 4-3, PL1-2)

b. The Board felt the design team should also explore how the patterning could be expanded into the building fenestration patterns, along the street level live work facades, and in the open space/landscape plan. (DC2-B)

4. Live / Work:

The Board was supportive of the proposed live work units along 23rd Avenue S. The Board provided guidance on ways to further develop the live work spaces.

- The Board encouraged a small planting buffer between the sidewalk and live work spaces to provide a small buffer and sense of privacy. (CS2-B2, PL3-1, DC1-A)
- The Board requested the applicant explore increasing the height of the live work space to accommodate a small sleeping loft. (CS2-B2, PL3-1, DC1-A)
- The Board noted the design and occupancy of the small commercial spaces provide an opportunity to work with the local community organizations including the Central Area Collaborative and Africatown. (A1.1)

5. Signage:

The Board was very concerned about the building signage but expressed support for the laser cut metal signage graphic provided on page 33 of the 2nd EDG packet.

The Board provided guidance that all branding signage should include materiality and dimension consistent with the precedent images. At the Recommendation Meeting the Board requested a signage plan that is unique to this building. (CS3-B1, B2, PL1-2c, DC4-B1 and 2, A.1-1a through f, A.2-1a)

6. Materials & Building Design:

The Board expressed support for the early material concept including the use of brick and metal panel. The Board cautioned a restrained use of cement panel. The Board expressed excitement about the early indications of dynamic fenestration patterns (page 25 of the 2nd EDG Packet), including double and triple story, staggered window patterning.

The Board suggested the project could incorporate color on the upper levels but felt the pattern and color concepts should be approached holistically through the site and building design. (DC4)

EDG GUIDANCE:

- 1 Massing
- 2 Entry, Connection to the Street & Open Space Concept
- 3 Gateway Location & Cultural Placemaking
- 4 Live / Work
- 5 Signage
- 6 Materials & Building Design

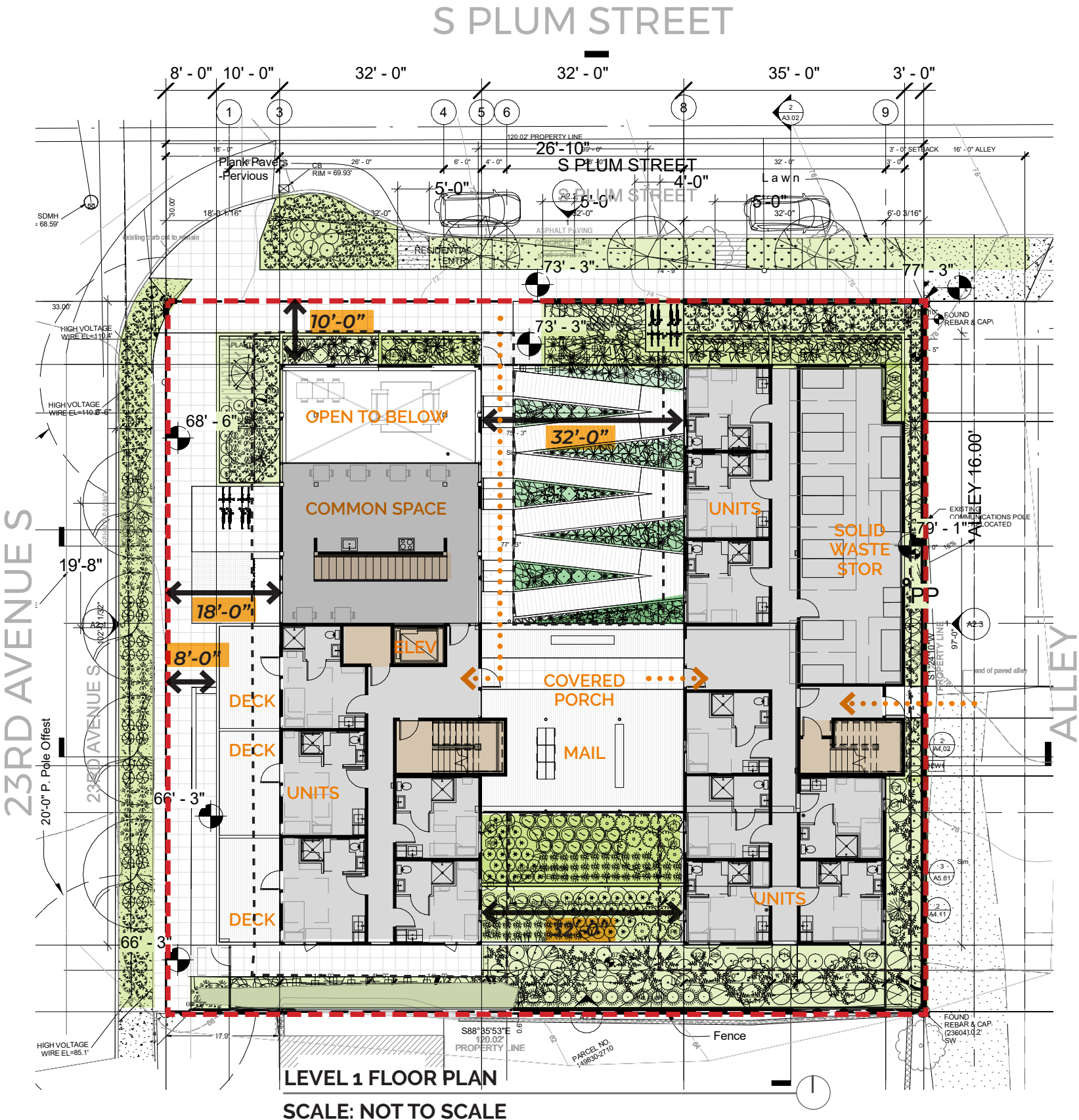
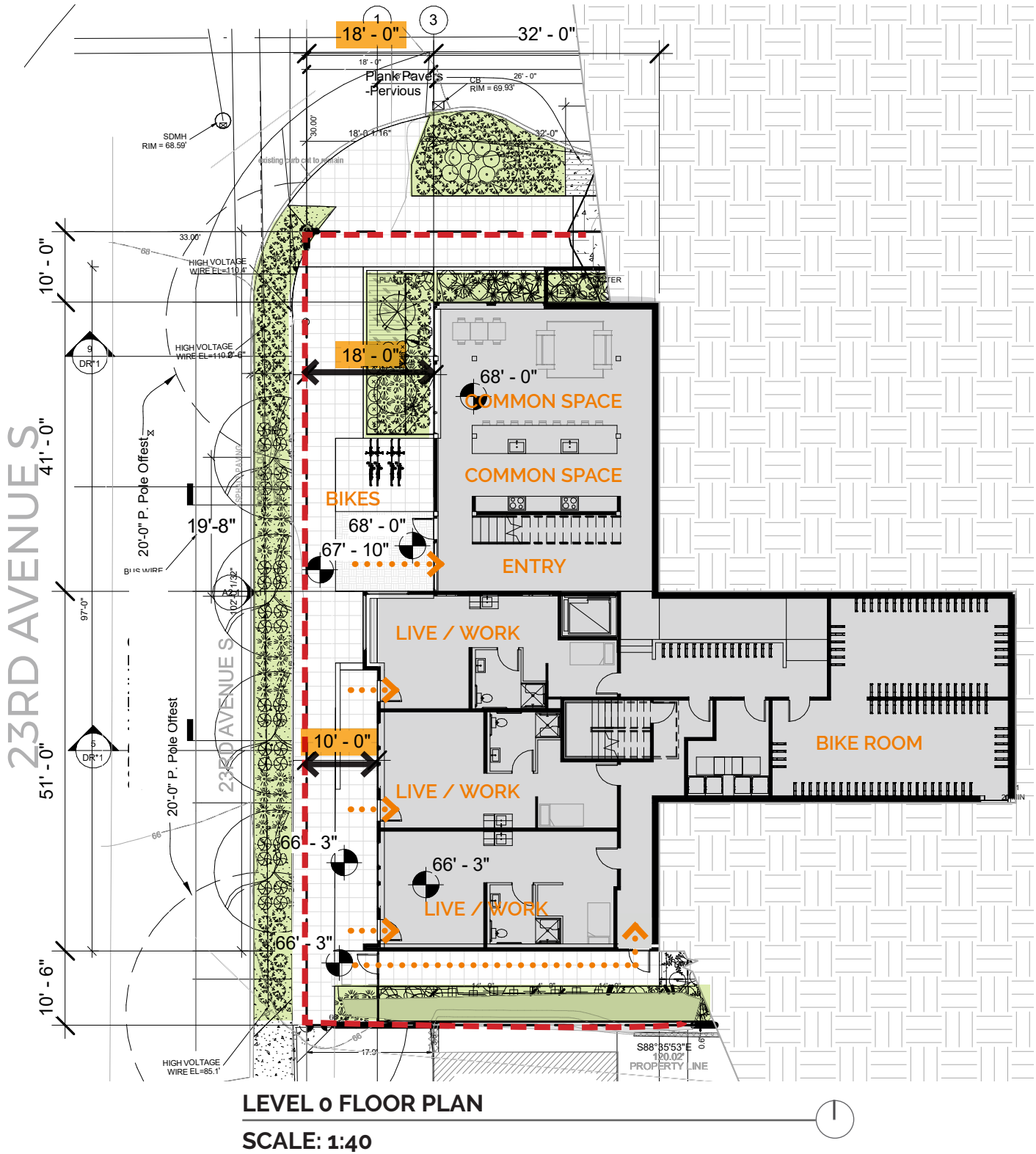


Project Design Development



Project Design Development - Site Plan

Unit Break Down - 137 Total Units
133 congregate units
3 live work units
0 sedu units
no vehicular parking



MASSING 1

Response to Guidance



The board **expressed support** for the revised massing scheme: The “H” shaped massing successfully engages the gateway corner, maximizing light and air to the units and bridging across the open, central courtyard.

EDG#2

EDG GUIDANCE

1. Massing:

The Board agreed the revised massing, 'Corner Court', was responsive to the provided 1st EDG guidance. The 'H' shaped massing successfully engages the gateway corner, maximizes light and air to the units, and maintains south facing courtyard toward the neighboring site. The Board expressed support for the bridge, which contains north facing residential units and south facing common space. The Board noted the ground level setback at the corner and central courtyard, with upper building cantilever, as successful. (CS1-B1, CS1-1a, CS3-A2, DC3-A, DC3-1)



DEVELOPMENT



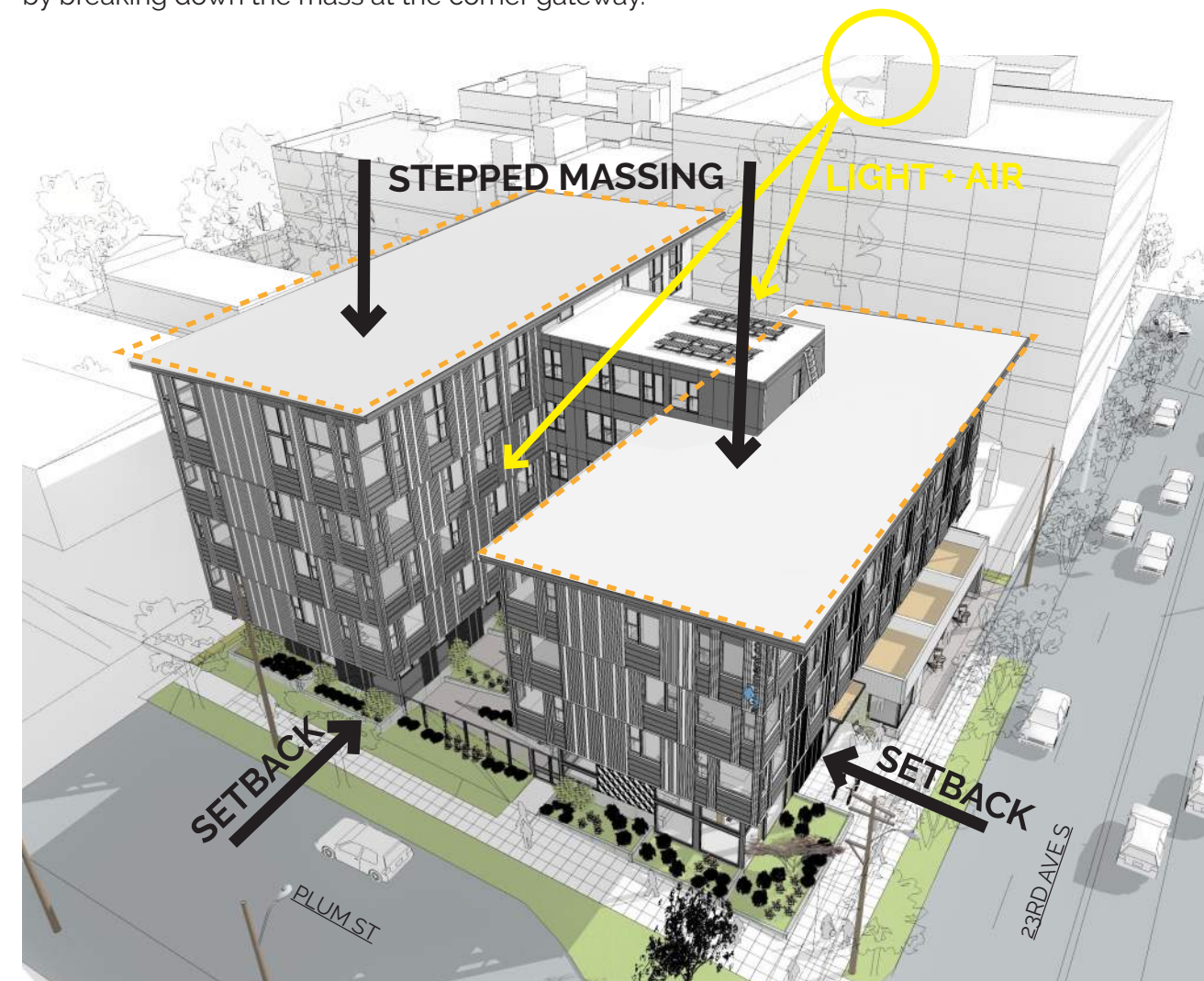
RECOMMENDATION

RESPONSE

1. Massing:

The massing scheme from EDG 2 has been maintained to preserve the "H" shaped massing, allowing light and air to filter into the center, open courtyard. Additionally, the mass steps down the site from east to west to follow grade and more sensitively address the streetscape at 23rd Ave S, even accommodating a more pedestrian and commercial massing block along that elevation.

The ground level setback and upper building cantilever also continues to enhance the pedestrian experience by breaking down the mass at the corner gateway.



The board noted the ground level setback at the corner and the central courtyard were successful. The **building cantilever enhances the design** by further breaking down the mass and providing overhead weather protection.



^ VIEW AT EDG 2

EDG#2
EDG GUIDANCE

1. Massing:

The Board agreed the revised massing, 'Corner Court', was responsive to the provided 1st EDG guidance. The 'H' shaped massing successfully engages the gateway corner, maximizes light and air to the units, and maintains south facing courtyard toward the neighboring site. The Board expressed support for the bridge, which contains north facing residential units and south facing common space. The Board noted the ground level setback at the corner and central courtyard, with upper building cantilever, as successful. (CS1-B1, CS1-1a, CS3-A2, DC3-A, DC3-1)

MASS FLOATS ABOVE THE GROUND TO CREATE A COVERED ENTRY PORCH FOR RESIDENTS. FUNCTIONALLY, THIS AREA IS AN EXTENSION OF THE GREEN SPACE CREATED BY EACH BAR OF THE DESIGN AND SERVES AS A PLACE FOR RESIDENTS TO INTERACT AND GATHER.

RECOMMENDATION

RESPONSE

1. Massing:

To further enhance the massing, the design continues to maintain the ground level setback at the corner and around the courtyard. The mass above is cantilevered to increase the sense that the mass is "floating" by eroding the double-height entry volume to create a more welcoming, pedestrian scale at the street level.

Additionally, the live/work units have been setback further from EDG #2 to allow for a hardscape buffer from the sidewalk and additional landscape through street furniture and planters.

v VIEW AT RECOMMENDATION





2

ENTRY, CONNECTION TO THE STREET & OPEN SPACE

The board noted that the corner courtyard and the double height common space provides a **welcoming and activated gateway corner**. **Additional study** was recommended to provide clarity in the entry, open space and landscape sequence.

EDG#2
EDG GUIDANCE

2. Entry, Connection to the Street & Open Space Concept

The Board noted the corner courtyard and the double height common space provides a welcoming and activated gateway corner. The Board appreciated the building entry at the corner of 23rd Avenue S and Plum Street and the ADA access through the courtyard.

The Board noted the shallow landscape path, without guardrails, provides an equitable solution to a challenging grade condition. The Board did express concern regarding the multiple entry points and the lack of a clear narrative for the open space, landscape design and entry sequences.

At Recommendation Meeting the Board requested a comprehensive concept plan for landscape/open spaces, including the street level setbacks, corner courtyard, and central features, and address the following:

- a. Develop the ADA path to meander, maximize landscaping, and utilize planting materials that will thrive in the north facing condition, (PL1-2)
- b. Consider ways the central courtyard landscape concept can spill through the building to the corner courtyard, (PL-A, PL1-2, DC3)

RECOMMENDATION
RESPONSE

2. Entry, Connection & Open Space:

The open space and landscape concept has been developed to thrive in the north-facing condition through collaboration with the landscape architect. The ADA path continues to meander through the central courtyard, along planter beds and trees. Durable materials including concrete retaining walls have been incorporated along the planting edges to define the path. The landscaped planters will provide a rich and vibrant color that can spill into other parts of the building and unify the development's identity.

The concrete planters will also be incorporated at Plum Street and along the 23rd Ave S to buffer the street edge and provide additional textural richness at the pedestrian experience.



3. GATEWAY CORNER



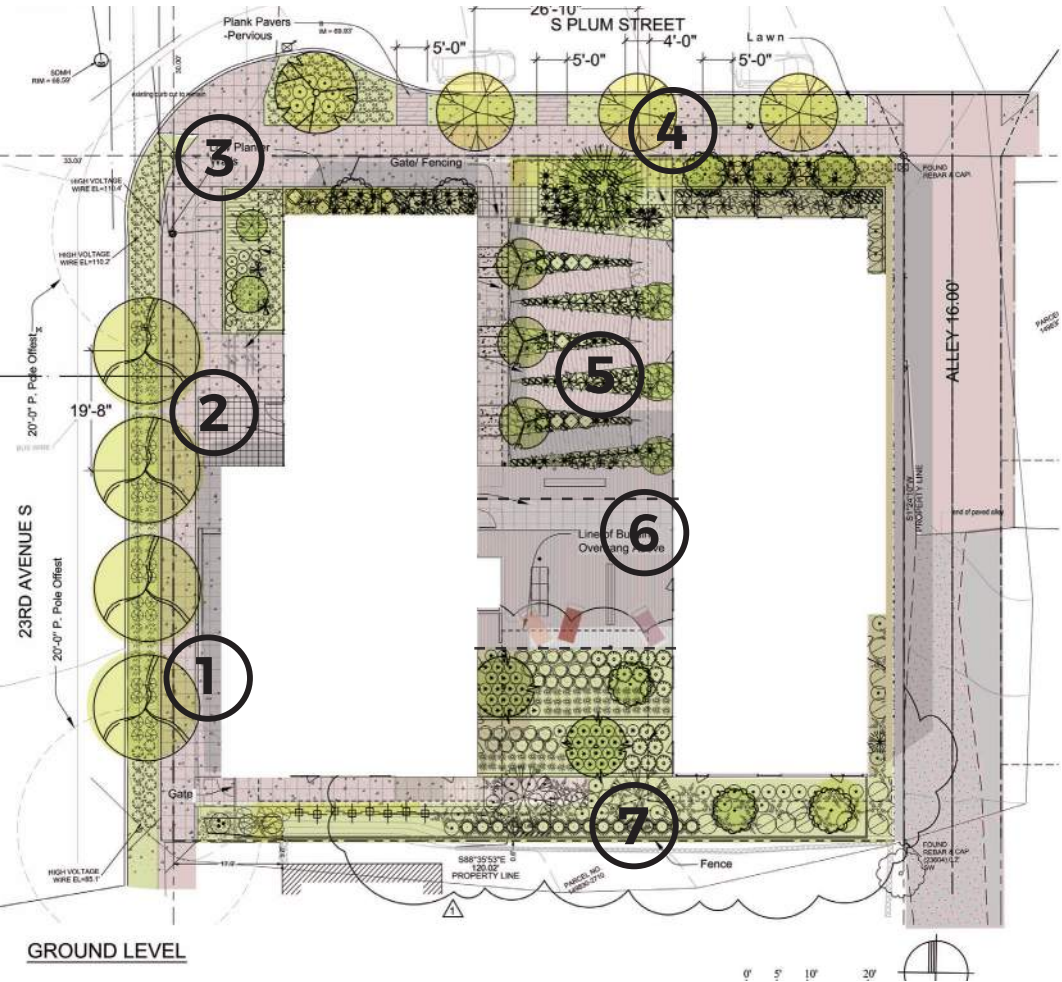
4. VIEW LOOKING INTO COURTYARD / LANDSCAPED MESH FENCE



5. MEANDERING ENTRY PATH



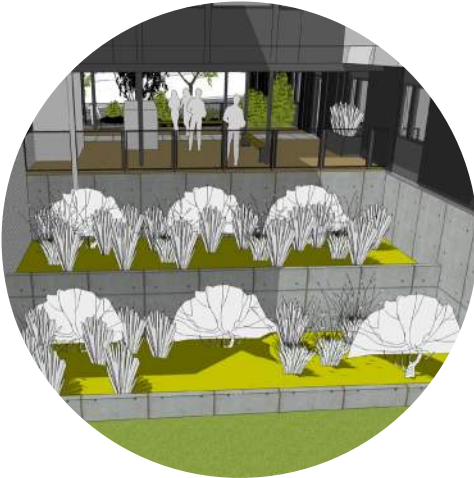
2. BUILDING MAIN ENTRY



6. COVERED PORCH / MAIL



1. LIVE / WORK ENTRIES



7. SOUTH BIORETENTION / GARDEN

The board noted that the corner courtyard and the double height common space provides a welcoming and activated gateway corner. Additional study was recommended to ensure the arrangement of interior uses more actively engages the surrounding exterior open space.

EDG#2

EDG GUIDANCE

2. Entry, Connection to the Street & Open Space Concept

At Recommendation Meeting the Board requested a comprehensive concept plan for landscape/open spaces, including the street level setbacks, corner courtyard, and central features, and address the following:

- e. Develop the common space to directly engage the central courtyard. Investigate a stair design that facilitates movement between the between courtyard and the street, and (PL1-1, PL3-A, DC3)
- f. Program the corner common space to accommodate spaces that are visible from the street and others that are private. (PL1-1, DC1-A)

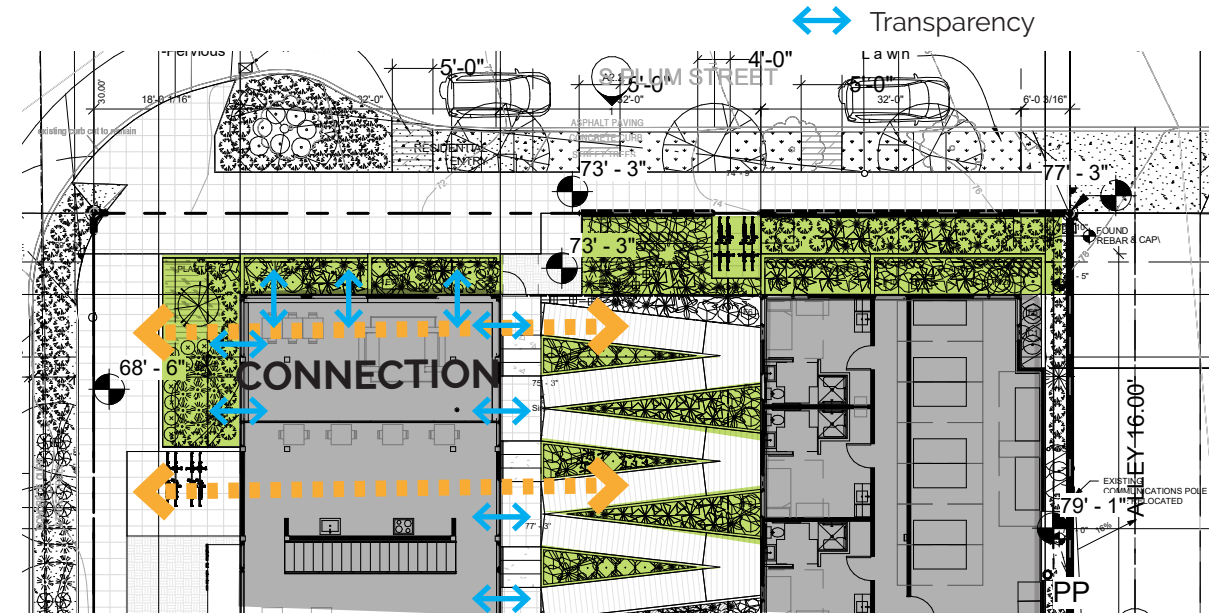
RECOMMENDATION

RESPONSE

2. Entry, Connection & Open Space:

Visual connection in and out of the double-height common space is very important to the vitality of the residents. The design has been further developed accommodate active public space in this area and other spaces for more quiet respite and building amenities, including shared laundry.

Glazing was extended lower to provide a more clear connection towards the central courtyard and the stairs has been re-oriented to draw residents and guests up and through the building in a more direct fashion, with the stair landings aligning with the transparency of the common space.



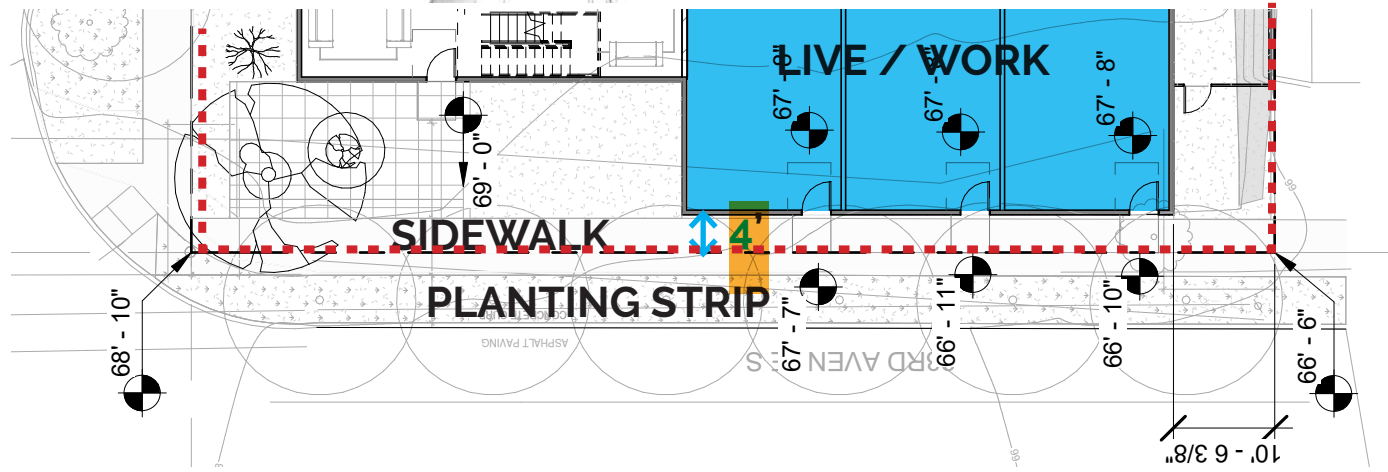
The board recommended **additional study** along the live/work unit entries to enhance the pedestrian experience, address resident privacy and include additional passive landscape elements.

EDG#2
EDG GUIDANCE

2. Entry, Connection to the Street & Open Space Concept

At Recommendation Meeting the Board requested a comprehensive concept plan for landscape/ open spaces, including the street level setbacks, corner courtyard, and central features, and address the following:

- c. Develop the setback space directly south of the 23rd Avenue S entry to include passive landscaping, address resident privacy, and provide a big gesture to the pedestrian experience, (PL-A, PL1-2, DC3-A)
- d. Wrap live work fenestration onto the north wall, (PL3-1, DC1-A)

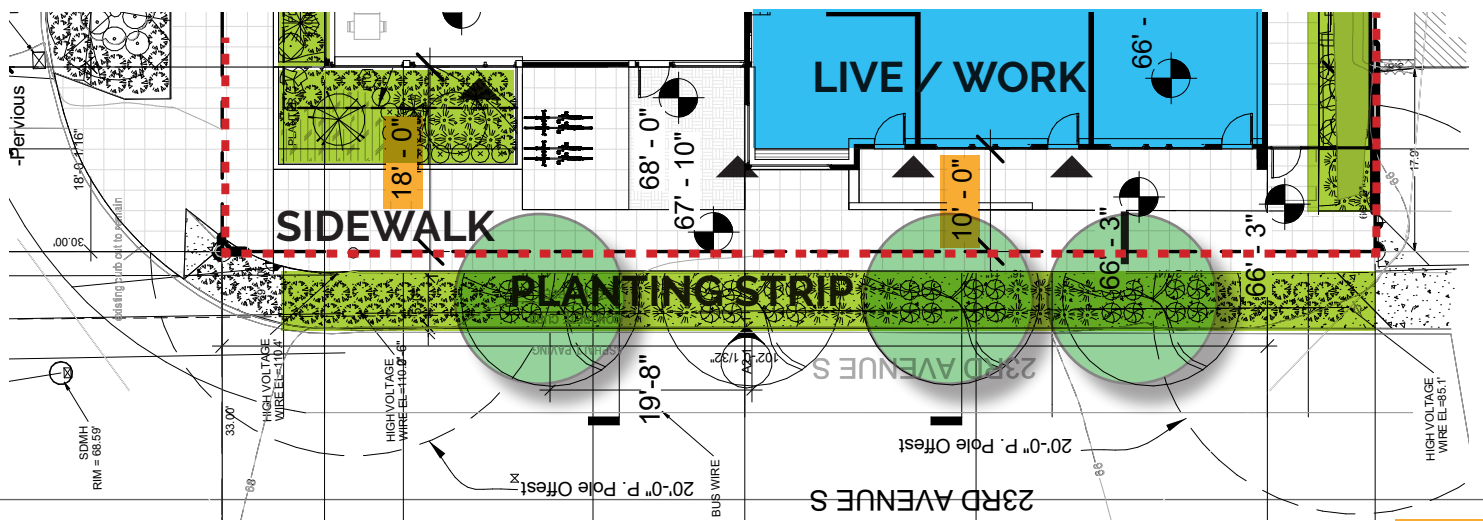


RECOMMENDATION

RESPONSE

2. Entry, Connection & Open Space:

The sidewalk has been extended to allow additional buffer / active space between the live / work units and the sidewalk off of 23rd Ave S. The additional hardscape area will allow for planters, seating and additional amenities as to encourage local community organizations or small business to lease the space. The original massing of the live/work units were 4'-0" from the property line and proposed to utilize a planting strip in the SDOT right of way. The developed design pushes the mass in even more allowing 10'-0" from the property line. Taking cues from SDOT 23rd Avenue Street improvements, the sidewalk is proposed to be widened as a big gesture towards the pedestrian experience. A planting strip and planting buffer have also been incorporated. The brick cladding/ fenestration is wrapping all sides of the live/work mass.





3 GATEWAY LOCATION & CULTURAL PLACEMAKING



The board expressed support for the texture and patterning in the hardscape materials and the opportunity for engaging a local artist to incorporate murals at the gateway corner, enhancing the building and neighborhood identity.



Inspirational Patterns from African Textiles

EDG#2

EDG GUIDANCE

3. Gateway Location and Cultural Placemaking:

The Board expressed support for the texture and patterning in the hardscape materials and the graphic wall as shown on page 28 of the 2nd EDG packet.

- a. The Board felt the ground level patterning and graphic wall should be further developed with a narrative. The Board suggested the following key words for inspiration: art, history, gateway, Lighthouse for the Blind, local culture, meaningful locations. The Board noted the opportunity to engage a local artist. (CS3-B, A.1-1, A.2-1, DC4-1 and 4-3, PL1-2)
- b. The Board felt the design team should also explore how the patterning could be expanded into the building fenestration patterns, along the street level live work facades, and in the open space/landscape plan. (DC2-B)



EDG 2: Graphic wall at gateway corner

RECOMMENDATION

RESPONSE

3. Gateway Location and Cultural Placemaking:

The building's recessed mass at the corner preserves the blank wall as an opportunity for art / murals by a local, established artist. We believe the patterning and texture will greatly enhance the building and neighborhood identity and provide additional opportunity for community engagement. By working with an organization like Urban ArtWorks, we can actively seek a mural that is inspired by local culture. The strong graphics of the building's mural and fenestration / material pattern was inspired in large part by the visual richness of African textiles (pictured right).

The visual richness has continued through the building design and fenestration with the offset window placement and the vibrant and bold use of pattern in material use, including relating the pattern of the facade to the pattern of the hardscape at building entry points.



Recommendation: Maintain mural by local artist & bold exterior material pattern inspired by African textiles

MURAL SELECTION

ARTIST SELECTION PROCESS FOR MURAL

Goal: Engage Urban Artworks Seattle to assist in selecting a local muralist to reflect the diversity / vibrancy / energy of the local community.

Contact: Amanda Hashagen, Executive Director - amanda@urbanartworks.org

Urban ArtWorks is a Seattle-based 501(c)(3) nonprofit organization that provides opportunities for contemporary artists and local youth to work together to create public works of art. Our goal is to empower young people through professional opportunities in the arts.

Since 1995, we've collaborated with more than 2,000 youth to bring art to public and private spaces throughout Seattle neighborhoods. Our pre-employment training and subsidized employment programs foster a renewed sense of self-esteem, self-motivation and self-sufficiency in the young persons we work with. As we expand our reach throughout the city, we look forward to continuing to help nurture strong communities by bringing contemporary public art to the streets of Seattle and beyond.

MURAL EXAMPLES (BY URBAN ARTWORKS SEATTLE)



Sorrento - 9th and Madison



Richmark Label - 11th & E. Pine Street

Big Moves

FENESTRATION PATTERN

The bold pattern of the fenestration and exterior cladding is inspired by African textiles. Further enhancing the pattern, the proposed hardscape at entry areas continues this design cue in a way that signals building entry and identity.

MURAL (LOCAL ART)

The project team is working with Urban ArtWork to identify and select a local artist that will design a mural wall on the existing concrete structural sheer wall. Criteria will be determined together as a team to allow the work to contributing to the neighborhood identity, activate the streetscape and be a bold and graphic pattern.

LANDSCAPE IDENTITY

Iconic flowering cherry trees along the street edge help define the gateway corner. The overall landscape is Japanese inspired, colorful and graphic in texture as plantings of similar vegetation have been chosen over variety within the same planting bed.



RESPONSE:

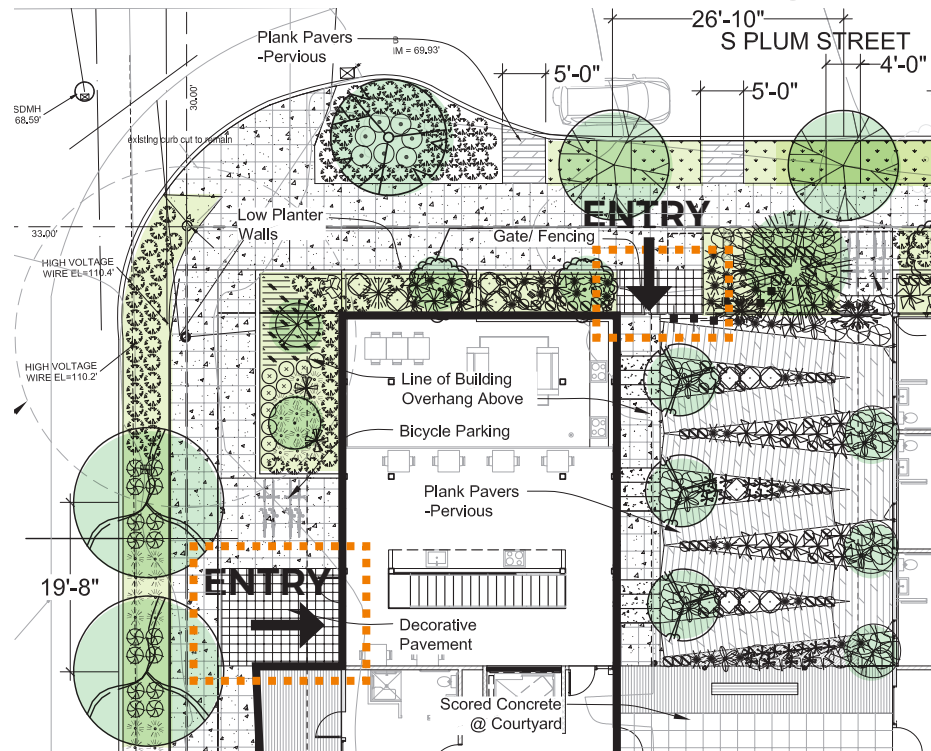
A visually striking motif will wrap the corner at 23rd and Plum. The Central Area Design Guidelines promotes the use of vibrant and bold materials and texture to reinforce local cultural references and create a distinctive sense of place (CS2-A-1 Sense of Place).

Along 23rd, materiality will be more reflective of the solid, durable materials of the Northwest African American Museum, as the board recommended, with the use of brick on the commercial live work space. Materiality of residential spaces at upper levels will reflect more of the industrial materials and character of the neighborhood and use.

JAPANESE MAPLE

Proposed Japanese maple tree at gateway corner. Throughout Japan, this tree is associated with calm, rest and peace - a call to remember the beauty and dignity of the diversity of all people. The beauty of thre tree will be used to create an iconic moment at the corner of the project.

- 1 Shifting Fenestration and Cladding
- 2 Offset Facade Color
- 3 Graphic Art Mural Celebrating Diversity
- 4 Dynamic Hardscape Pattern at Entry



location on decorative paving pattern at entry locations



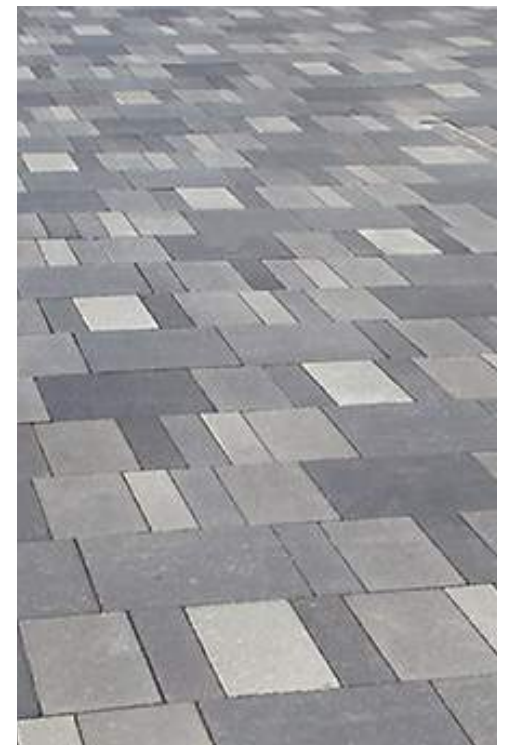
landscaped wire-mesh fence at court



graphic, diverse landscape plantings



graphic motif on wall at gateway corner



concrete paving pattern at entry doors



The board **was supportive** of the proposed live / work units along 23rd Ave S and encouraged a **small planting strip** to buffer the units and provide a sense of privacy.

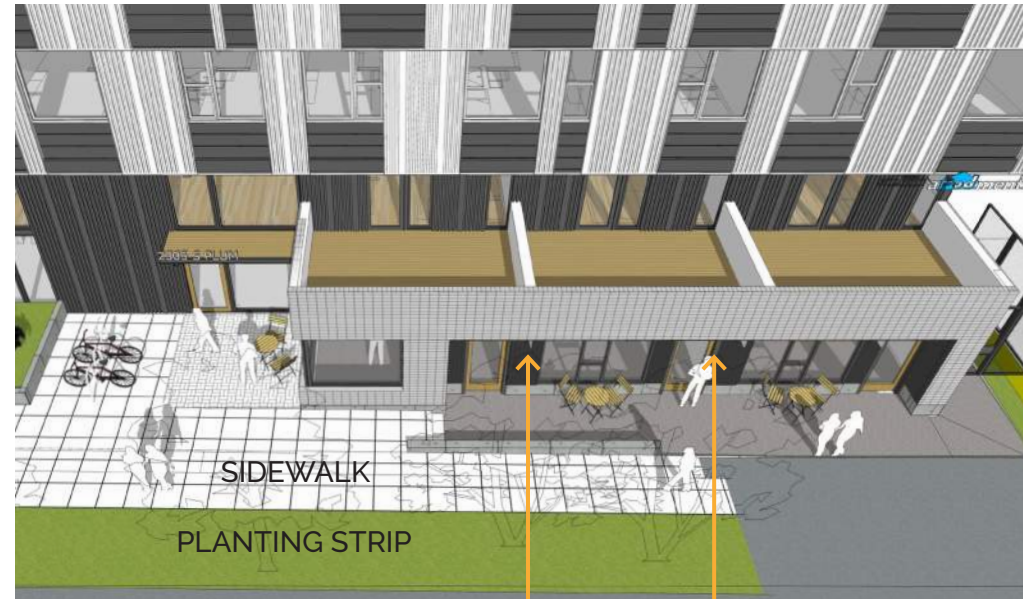
EDG#2

EDG GUIDANCE

4. Live / Work:

The Board was supportive of the proposed live work units along 23rd Avenue S. The Board provided guidance on ways to further develop the live work spaces.

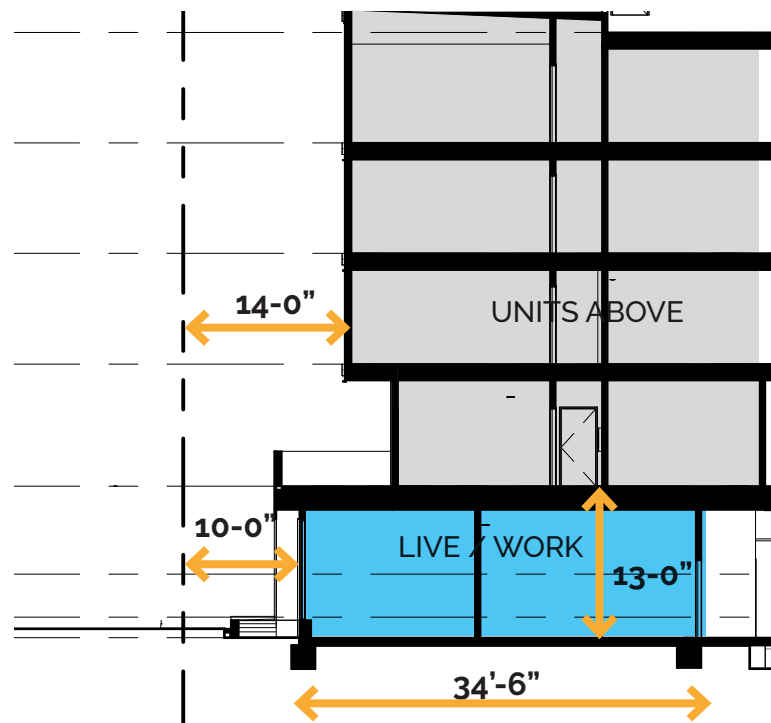
- a. The Board encouraged a small planting buffer between the sidewalk and live work spaces to provide a small buffer and sense of privacy. (CS2-B2, PL3-1, DC1-A)
- b. The Board requested the applicant explore increasing the height of the live work space to accommodate a small sleeping loft. (CS2-B2, PL3-1, DC1-A)
- c. The Board noted the design and occupancy of the small commercial spaces provide an opportunity to work with the local community organizations including the Central Area Collaborative and Africatown. (A1.1)



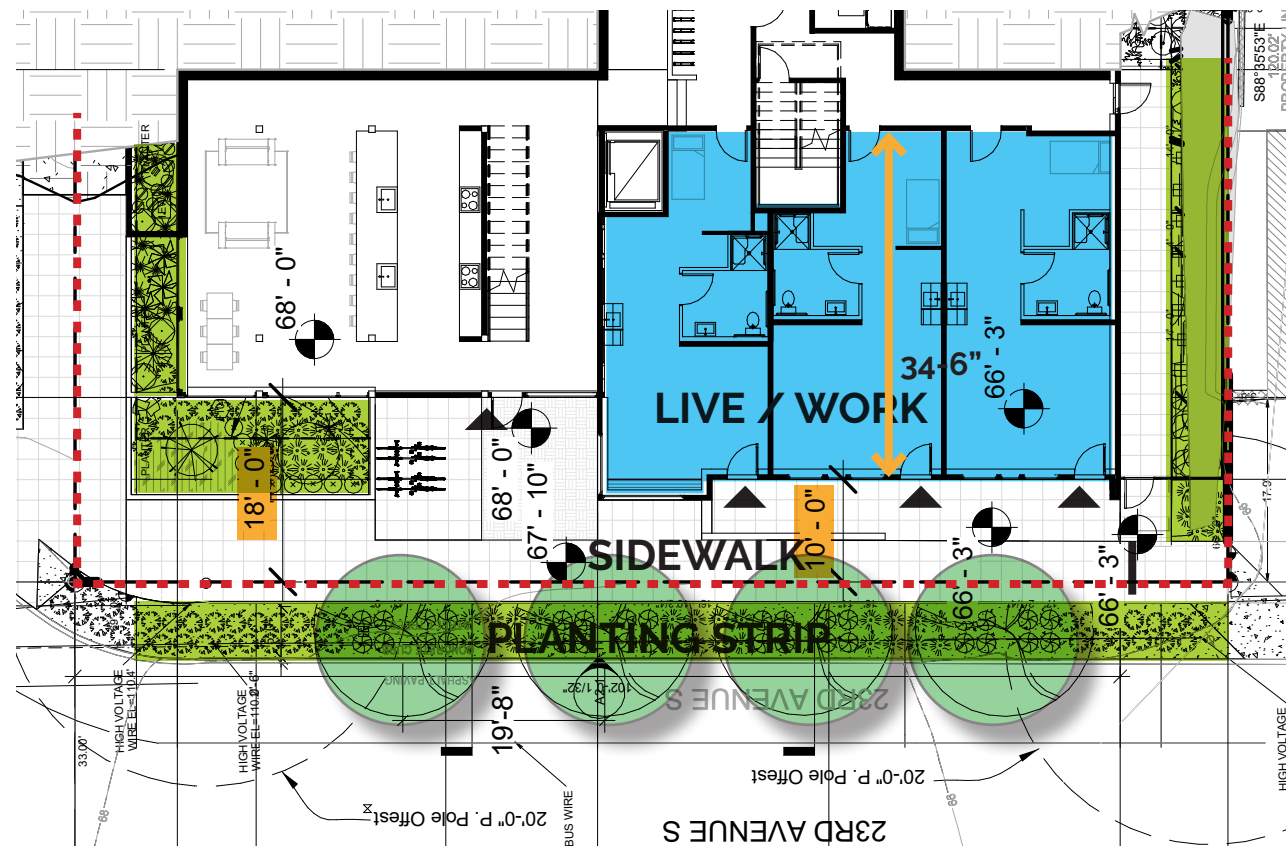
a. expanded sidewalk and area for seating, planters proposed



c. opportunity for community storefronts



b. section view of live/ work unit (13'-0" floor to floor)



RECOMMENDATION

RESPONSE

4. Live / Work:

The live / work units have been developed to further increase the usability, livability and design of the residents, community businesses and guests. The design team studied precedent of successful live/work spaces (next page) in order to more fully understand how to create more commercially minded spaces. The study informed the elimination of the planting buffer in favor of expanded sidewalk space for possible outdoor seating, allowing visitors to more easily access the storefronts without barrier.

Additionally, the height of the live/work spaces has also increase to 13'-0", floor to floor eliminating the projects need for a departure and allowing the renter additional, flexible space.

It's in hopes of these design moves, that more small businesses are drawn to inhabit the live/work spaces, thus activating the pedestrian experience in the community.

Creating a Successful Live / Work Space



COLUMBIA CITY LIVE WORK LOFTS

Commercial storefronts with large amounts of glazing



FREMONT LIVE / WORK

Entry doors address sidewalk directly ; lighting provided at door



POTRERO 1010 - DAVID BACKER ARCHITECTS

Live / Work space converted into community art gallery, height of space

RECOMMENDATION

RESPONSE

4. Live / Work:

The live / work units have been developed to further increase the usability, livability and design of the residents, community businesses and guests. The design team studied precedent of successful live/work spaces (next page) in order to more fully understand how to create more commercially minded spaces. The study informed the elimination of the planting buffer in favor of expanded sidewalk space for possible outdoor seating, allowing visitors to more easily access the storefronts without barrier.

Additionally, the height of the live/work spaces has also increase to 13'-0", floor to floor eliminating the projects need for a departure and allowing the renter additional, flexible space.

It's in hopes of these design moves, that more small businesses are drawn to inhabit the live/work spaces, thus activating the pedestrian experience in the community.

CORNER WINDOW

The corner window helps to open up the live/work massing by providing transparency at the edges. The massing exterior material has returned to a brick facade as an architectural cue of a different internal function on the exterior of the building.

EXTEND AND ADDRESS SIDEWALK

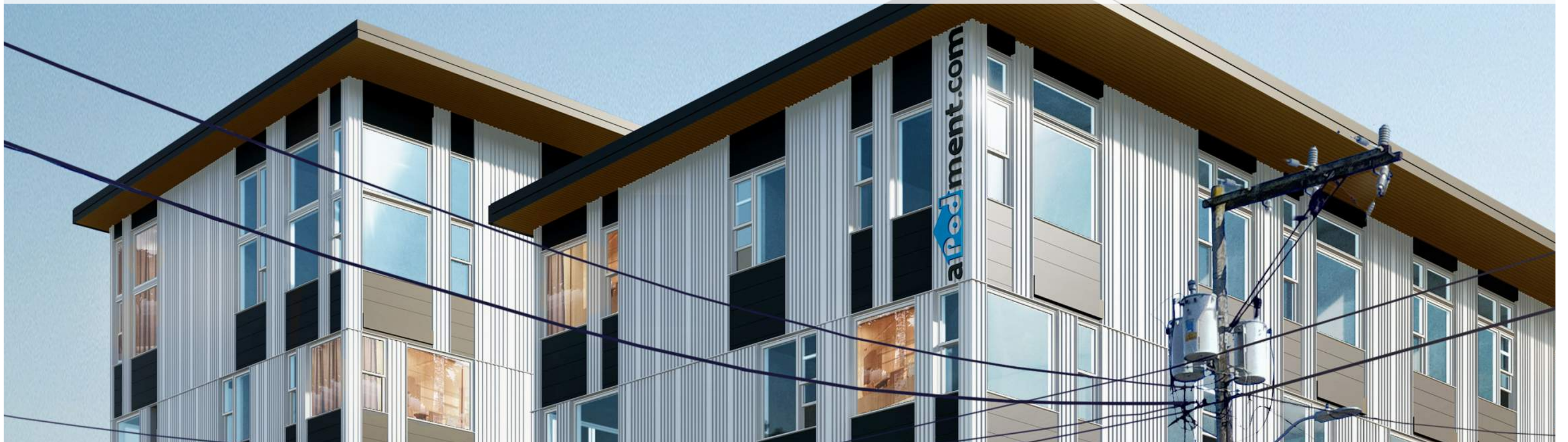
After feedback from the neighboring community and precedent study, the planting strip between the live / work units and the sidewalk has been removed as a way to remove barriers from visitors and guests entering the more commercial centered space - design encourages outdoor seating and planters.

TRANSPARENCY THROUGH GLAZING

Glass doors and a black transparent window system will allow the internal activity of the live / work spaces to be easily identified by visitors.



5 SIGNAGE



The board **was concerned** about the building signage but expressed support for the laser **cut metal signage** as proposed in the precedent images. A signage plan was requested that outlined the materiality and dimension of proposed signage.

EDG#2
EDG GUIDANCE

5. SIGNAGE:

The Board was very concerned about the building signage but expressed support for the laser cut metal signage graphic provided on page 33 of the 2nd EDG packet.

The Board provided guidance that all branding signage should include materiality and dimension consistent with the precedent images. At the Recommendation Meeting the Board requested a signage plan that is unique to this building. (CS3-B1, B2, PL1-2c, DC4-B1 and 2, A.1-1a through f, A.2-1a)



Precedent: Addressing Signage (from EDG 2 Packet)

RECOMMENDATION
RESPONSE

5. SIGNAGE:

The signage design has been developed to promote wayfinding and building identity by the use of well-placed, composed laser cut metal signage. The design is materially and dimensionally consistent with the precedent images presented during EDG2 and a signage plan has been provided that further indicates the signage location on the building.



RESPONSE

5. SIGNAGE:
"The proposed use of GENOA APODMENTS is problematic because it creates a risk of "genericizing" the APODMENT mark. In other words, the mark will become generic as to the goods – in this case housing units. Using the mark after GENOA can arguably be considered use as a noun, which is not preferred.

Use of APODMENTS alone would be preferred over GENOA APODMENTS. Similarly, embedding the mark in a domain name, such as "apodments.com," would also be preferred." - Per E. Russell Tarleton, Seed Intellectual Property Law Group

integrated, cut metal brand signage in black and blue (on standoffs)
2'-0" x 12'-6"

area for art integration by local artist

cut metal address signage at entry gate, color to match fencing



Branding Logo
At Building Corner



Laser Cut Metal Signage



Modern Welded Wire Fence Precedent



Addressing Signage in Fence



building entry off of 23rd Ave S

blade signs to express live / work



Building Signage off Entry Canopy



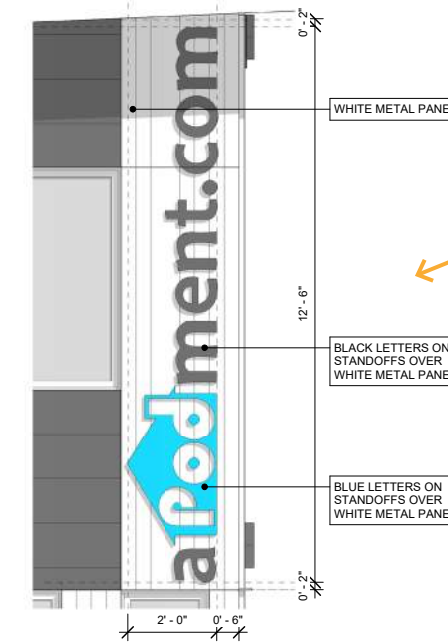
Live / Work Blade Sign Precedent



Branding logo - Proposed in White Cut Metal (Above Live / Work Units)
Suspended from Soffit Above

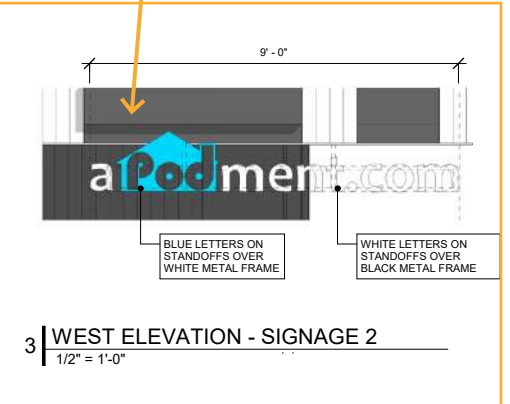
Live Work Blade
Signs Identify each
Storefront

Building Signage 23rd Ave S



1 | NORTH ELEVATION - SIGNAGE
1/2" = 1'-0"

brand signage details;
shop drawings to be
developed to align with
design intent



3 | WEST ELEVATION - SIGNAGE 2
1/2" = 1'-0"



6 MATERIALS AND BUILDING DESIGN

The board **expressed support for the material concept** including the use of brick and metal panel and expressed excitement concerning the **dynamic fenestration patterns**.

EDG#2

EDG GUIDANCE

6. MATERIALS AND BUILDING DESIGN:

The Board expressed support for the early material concept including the use of brick and metal panel. The Board cautioned a restrained use of cement panel. The Board expressed excitement about the early indications of dynamic fenestration patterns (page 25 of the 2nd EDG Packet), including double and triple story, staggered window patterning.

The Board suggested the project could incorporate color on the upper levels but felt the pattern and color concepts should be approached holistically through the site and building design. (DC4)

RECOMMENDATION RESPONSE

6. MATERIALS AND BUILDING DESIGN:

The material expression as proposed for the EDG 2 has been maintained. A dynamic material and fenestration pattern has also been incorporated that visual articulates the massing through pattern and material changes. While subdued in color, the sophistication of the detailing and use of high-quality, durable materials allows the design to be an active and gateway presence in the local neighborhood context. Variety and texture are additionally achieved through a varied mix of two profile types of metal paneling as seen below.



MATERIALITY CONCEPT -

Floating Bars Connected by a Glass Bridge

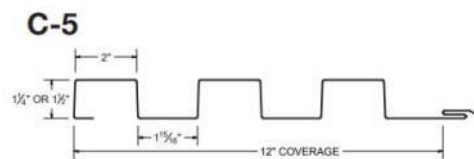
Similar to the precedent image below of the Betula Apartments, the Genoa Apartments will treat the East and West "bars" as separate from the middle "bridge" element while also being set off from the clean white base of the building. This division of materiality will help break down the perceived scale of the building while also providing visual interest. The dark volumes will be clad in a vertical material that will have extended vertical flashing to provide some interesting shadows. The white material will be a more subtle flat panel material that will recede and aim to not draw attention to itself.

B1



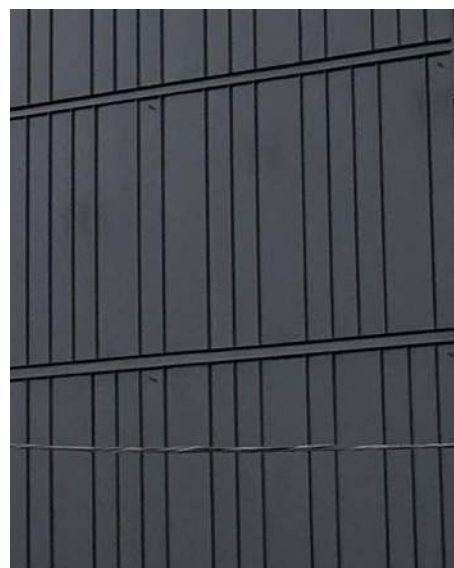
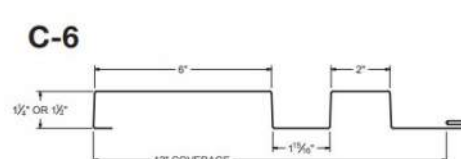
Stacked Bond Slim Brick from Mutual Materials, "Redondo Gray"

M2



Random Mix or C-5 (4") / C-6 (8") Metal Wall Panels by Taylor Metal Products, 24 gauge in "Glacier White" and "Black"

M4



P3



Composite, Wood toned Soffits

P1



P2



Fiber Cement Board Paneling in "Black Magic" SW 6991 and "Snowbound, SW 7004"

C1



Concrete Retaining Walls

Materials and Design



Dynamic Fenestration and Material Pattern

PLUM STREET ELEVATION DEVELOPMENT

RESPONSE

The material palette as proposed for the EDG 2 has been maintained. A dynamic material and fenestration pattern has also been incorporated that visual articulates the massing through pattern and material changes. While subdued in color, the sophistication of the detailing and use of high-quality, durable materials allows the design to be an active and gateway presence in the local neighborhood context.



EDG#2 PLUM STREET ELEVATION

23RD AVE S ELEVATION DEVELOPMENT



EDG#2: 23RD AVE S ELEVATION



RECOMMENDATION PLUM STREET ELEVATION

BIG MOVES

Angled Roof Line

Composite wood toned material at the soffits softens the character of the building mass and provides additional warmth

Additional Material Contrast and Pattern

Art Wall, by local artist

Concrete planter retaining walls to weight the mass of the building



RECOMMENDATION: 23RD AVE S ELEVATION

Angled Roof Line
Composite wood toned soffit

Strong Material Contrast and Alternating, shifting fenestration patterns

Canopy over entry door with address/ brand signage

Live / Work mass differentiated with brick exterior and inset storefront

Wide entry with differentiated paver pattern

Physical Materials Board

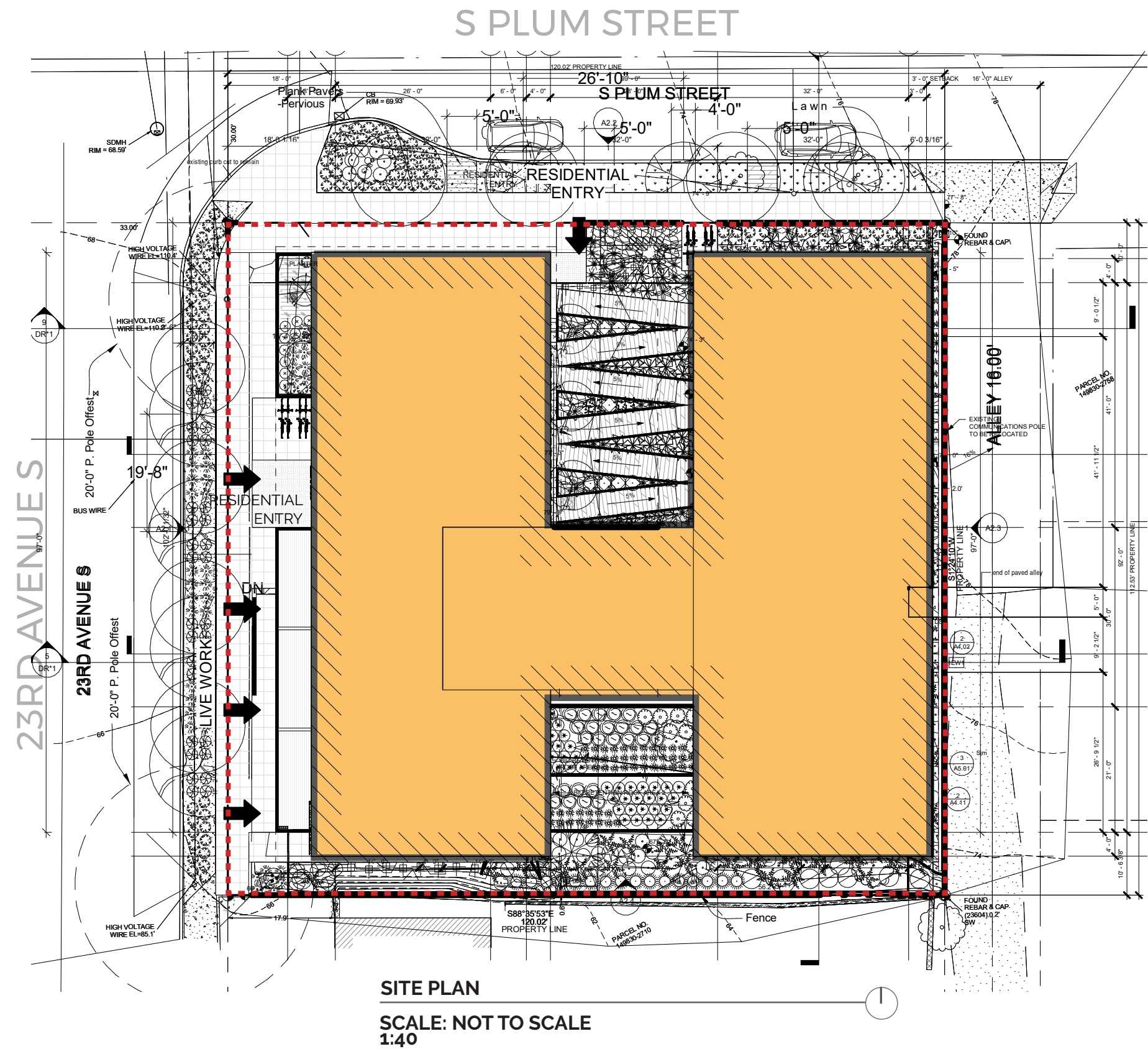




7 ARCHITECTURAL DRAWINGS

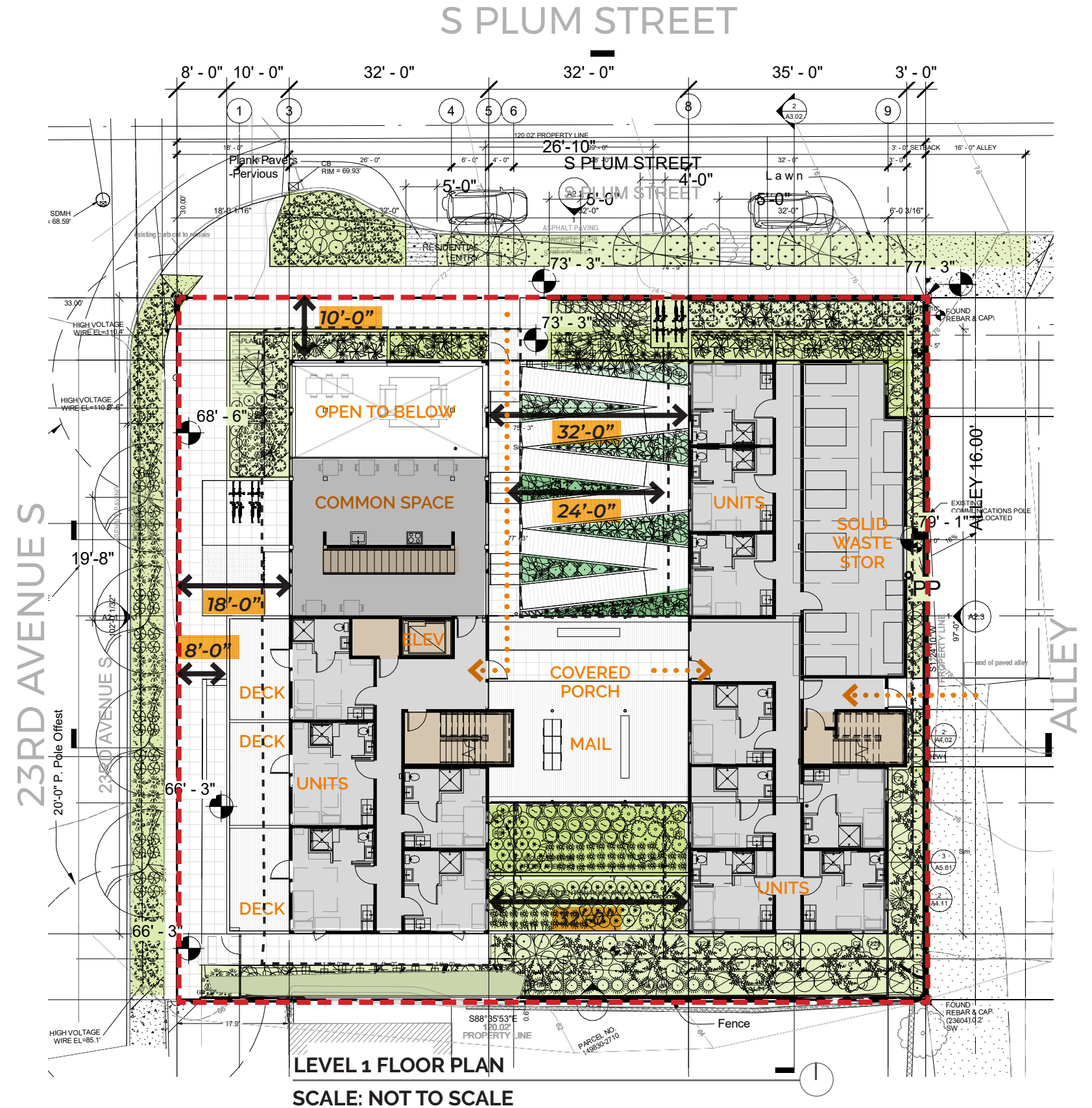
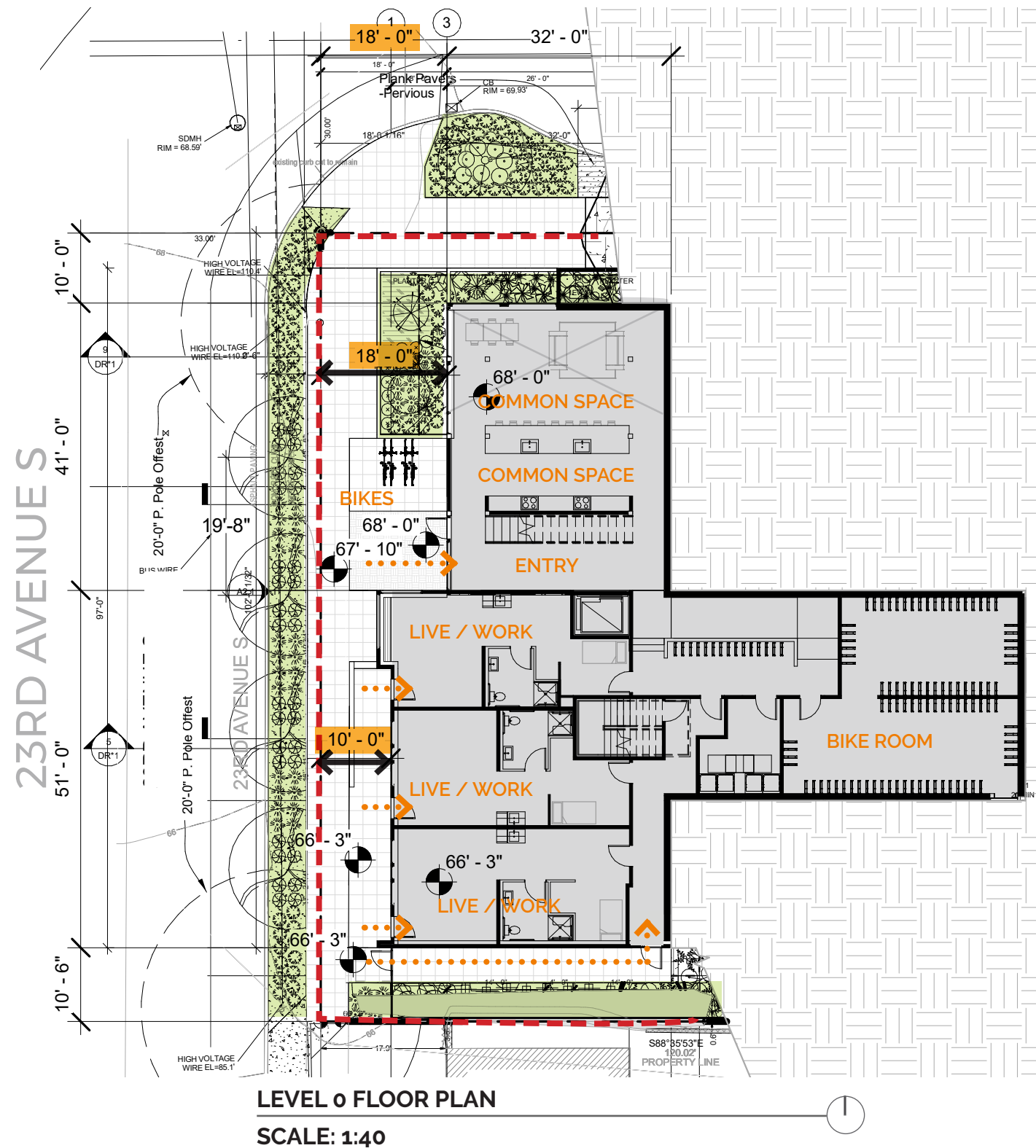
Site Plan

Unit Break Down - 137 Total Units
133 congregate units
3 live work units
0 sedu units
no vehicular parking

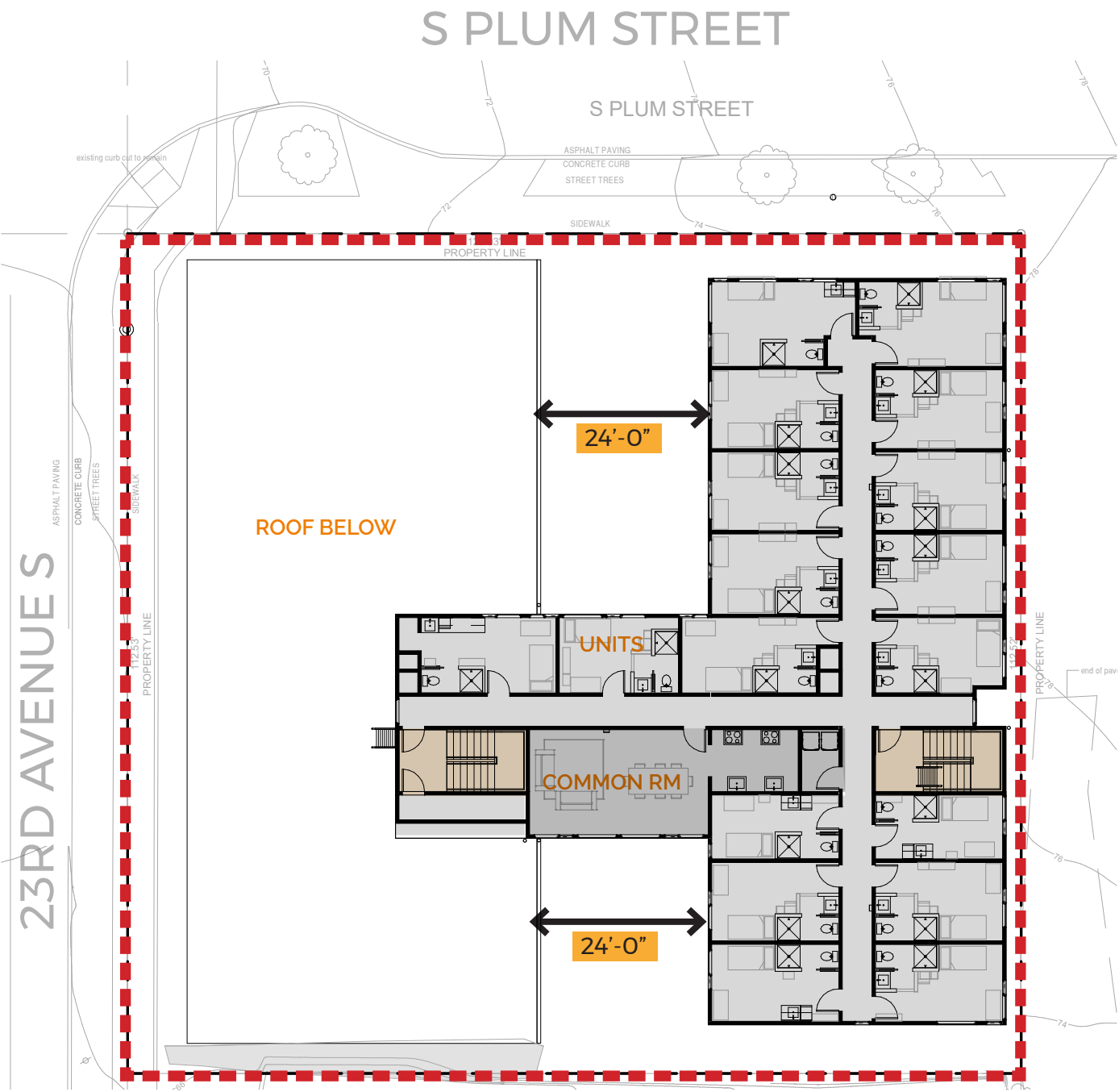


Floor Plans

Unit Break Down - 137 Total Units
 133 congregate units
 3 live work units
 0 sedu units
 no vehicular parking








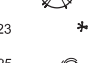



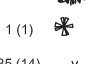

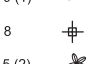


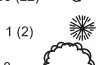
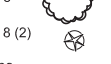

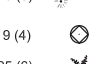
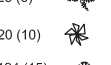
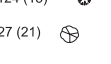
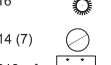
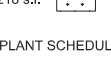




Floor Plans

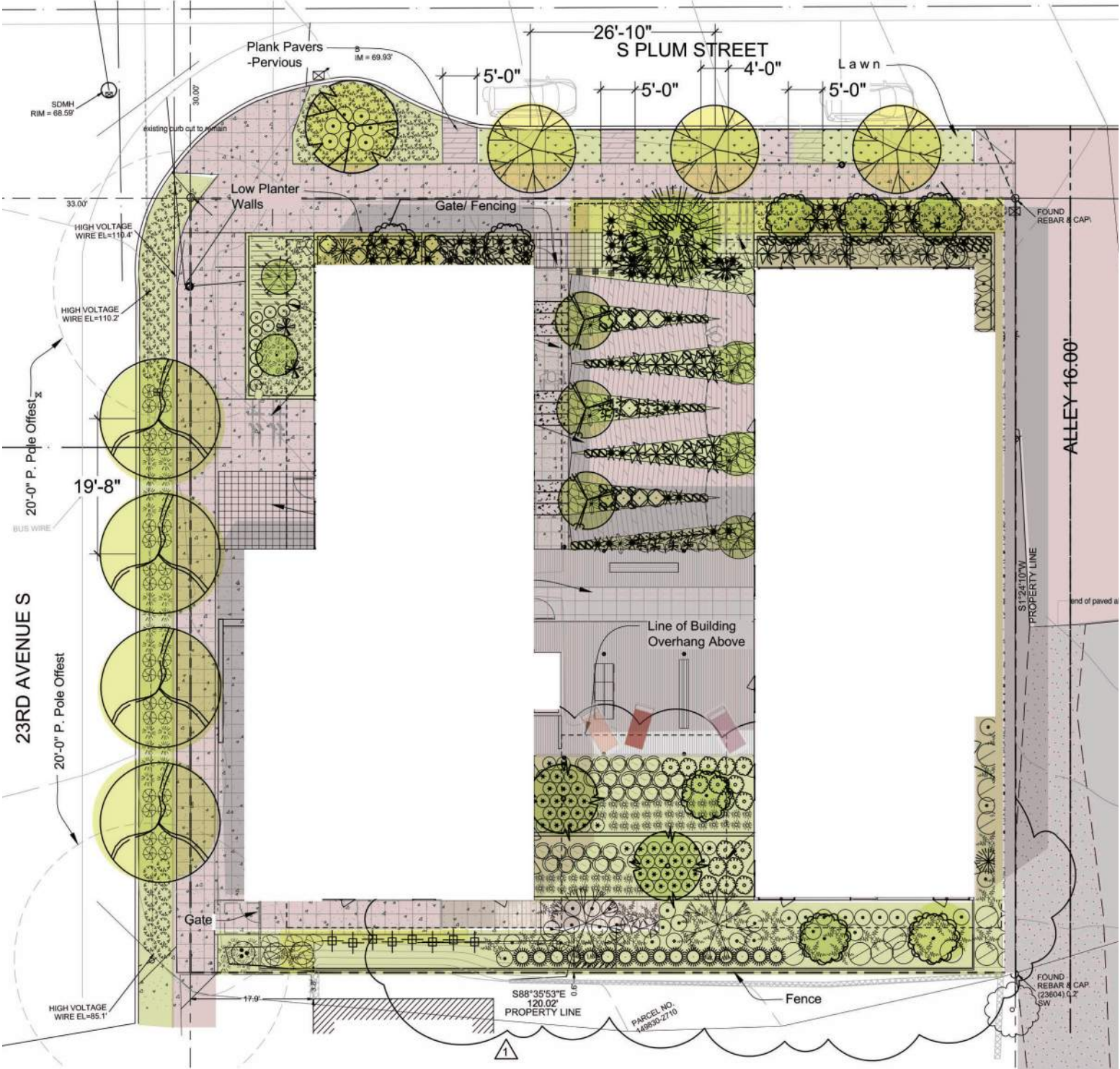


Landscape Plan

PLANT SCHEDULE

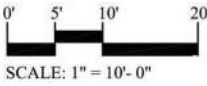
Qty.	Symbol	Botanical/ Common Name	Size/ Remarks
TREES:			
1		Betula p. 'Fargo'/ DAKOTA PINNACLE BIRCH (Medium-Small Tree)	min. 3" cal.
4		Carpinus caroliniana/ AMERICAN HORNBEAM (Small Tree)	min. 3" cal., street tree form
1		Ginkgo b. 'Sky Tower'/ HYBRID GINKGO (Small Tree)	min. 2" cal., upright
3		Ginkgo b. 'Princeton Sentry'/ GINKGO (Medium-Small Tree)	min. 3" cal., street tree form
1		Parrotia p. 'Vanessa'/ PERSIAN IRONWOOD (Medium-Small Tree)	min. 2-1/2" cal., upright
1		Prunus 'Umlneko'/ FLWG. CHERRY (Small Tree)	min. 3" cal., ascending branching
3		Eucryphia x Intermedia 'Rostrevor'/ EUCRYPHIA (Small Tree)	min. 8'-0" hgt., tall-upright
2		Magnolia virginiana/ SWAMP MAGNOLIA (Medium-Small Tree)	min. 2" cal.
SHRUBS/ PERENNIALS/ GROUNDCOVERS:			
1		Acer p. dissectum 'Baldsmith'/ LACELEAF JAPAN. MAPLE	min. 3'-0" spr., (provide photo for approval)
23		Adiantum venustum/ HIMALAYAN MAIDENHAIR	1 gal.
25		Carex e. 'Aurea'/ SEDGE	1 gal.
43		Eleocharis palustris/ COMMON SPIKERUSH	1 gal.
40 (16)		Epimedium x versicolor 'Sulphureum'/ NCN	1 gal.
57		Equisetum hyemale/ HORSETAIL	1 gal.
(1)		Euphorbia c. 'Humpty Dumpty'/ DWARF MED. SPURGE	2 gal.
(3)		Fatsia japonica/ JAPANESE FATSIA	7 gal., upright trained (provide photographs for ap
2		Fatshedera lizei 'Annemieke'/ VARI. FATSHEDERA	5 gal.
1 (1)		Fuchsia 'Versicolor'/ HARDY FUCHSIA	5 gal.
35 (14)		Hakonechola m. 'Aureola'/ JAPAN FOREST GRASS	1 gal.
7		Helleborus orientalis/ LENTEN ROSE	1 gal.
9 (1)		Helianthemum n. 'Wisley Primrose'/ SUN ROSE	1 gal.
8		Hemerocallis 'Hyperion'/ DAYLILY	1 gal.
5 (2)		Hosta f. 'Aurea Marginata'/ HOSTA	1 gal.
1		Hydrangea Endless Summer-'Twist & Shout'/ HYDRANGEA	min. 24" hgt.
17		Itea v. 'Little Henry'/ SWEETSPIRE	2 gal.
1 (2)		Kalmia l. 'Little Linda'/ MTN. LAUREL	min. 21" spr.
56 (22)		Liriope m. 'Variegata'/ VARIEGATED LILY TURF	1 gal.
1 (2)		Miscanthus s. 'Gold Bar'/ MAIDENGRASS	5 gal.
8		Myrica californica/ PACIFIC WAX MYRTLE	min. 5'-0" hgt., tree form (provide photographs for a
8 (2)		Nandina d. 'Compacta'/ HEAVENLY BAMBOO	min. 24" hgt.
32		Nandina d. 'Firepower'/ DWARF HEAVENLY BAMBOO	2 gal.
60		Ophiopogon japonicus/ MONDO GRASS	4" pots @ 10" o.c. trl. spadix
40 (5)		Pennisetum 'Hamlyn'/ DWARF FOUNTAIN GRASS	1 gal.
9 (4)		Pittosporum t. 'Wheeler's Dwarf'/ DWARF PITTOSPORUM	min. 18" spr.
25 (6)		Polystichum munitum/ SWORD FERN	min. 5 fronds @ 12" ea.
20 (10)		Polystichum setiferum (Divisilobum)/ SOFT SHIELD FERN	min. 5 fronds @ 12" ea.
124 (15)		Prunus l. 'Mt. Vernon'/ DWARF LAUREL	min. 15" spr.
27 (21)		Sarcococca humilis/ FRAGRANT SARCOCOCCA	min. 15" spr.
16		Taxus b. 'Fastigata Aurea'/ GOLDEN YEW	min. 6'-0" hgt.
14 (7)		Vaccinium ovatum/ EVERGREEN HUCKLEBERRY	min 24" hgt.
218 s.f.		Lawn	No. 1 Sod, non-netted

PLANT SCHEDULE QUANTITY KEY



GROUND LEVEL

Landscape Architect
Glenn Takagi, Landscape Architect
18850 Firlands Way N, Suite #102
Shoreline, WA 98133
206-



Ginkgo Tree



American Hornbeam



Flowering Cherry Tree



Japanese Maple



Dwarf Laurel



Fountain Grass



Heavenly Bamboo



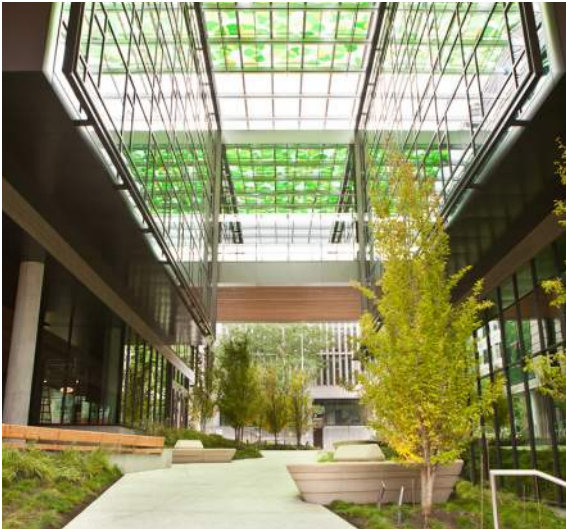
Japanese Fatsia



Sword Fern



Horsetail



Precedent Image -Green Space at Block 44 (ZGF)



Precedent Image - Tactile Hardscape



Precedent Image -Layered Planting / Materials



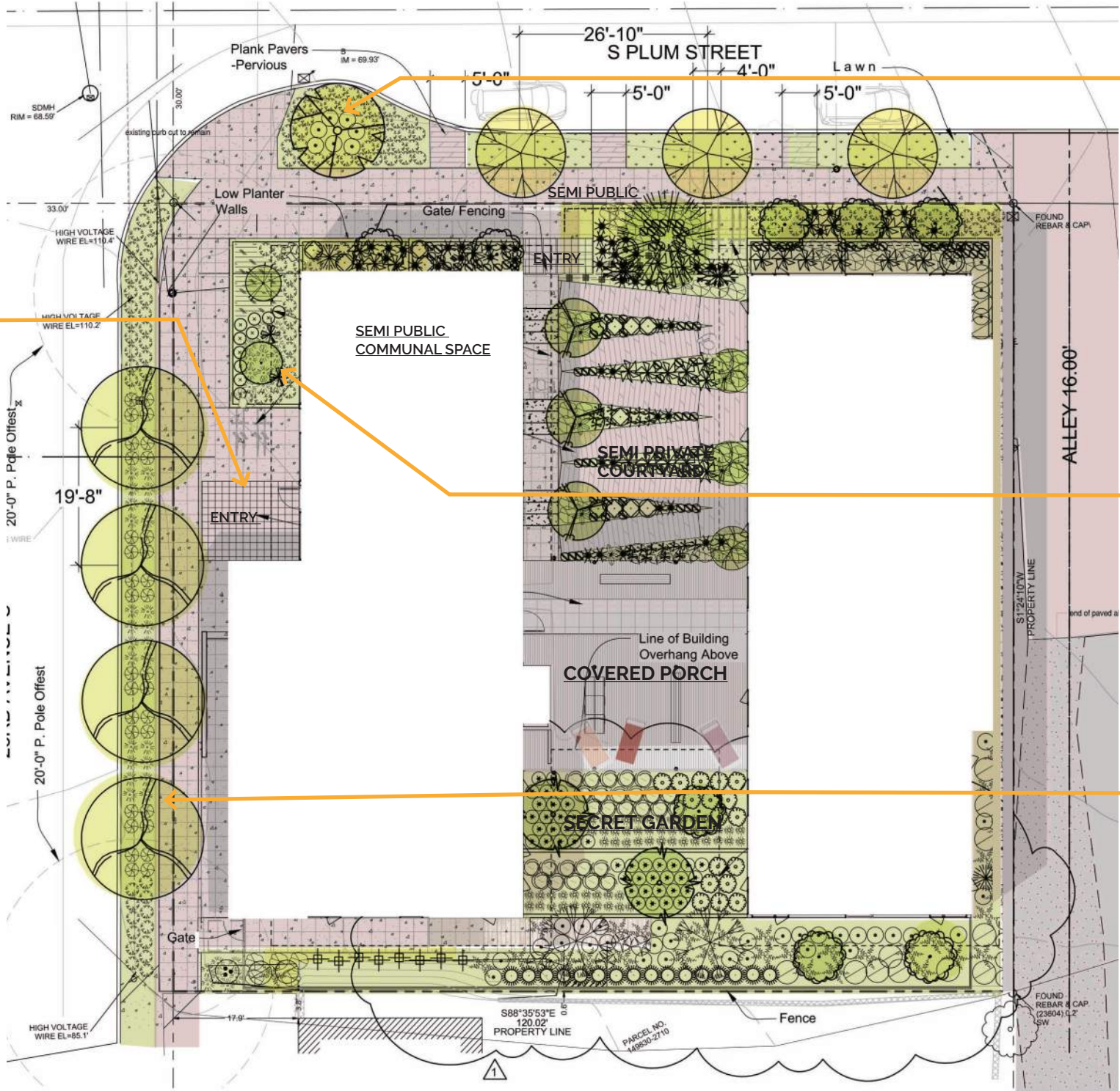
Precedent Image - Bioswale at Aurora Bridge



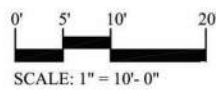
Precedent Image - Yesler Courtyard



Precedent Image - Switchback path



GROUND LEVEL



Enhance gathering places with lighting and feature trees. (PL1:2c Connection Back to the Community)

Providing larger landscape buffers at placemakers along heavier trafficked streets. (A.2. 1a Cultural Placemakers)

Enhance ROW by incorporating street streets along both 23RD Ave S and S. Plum Street. (A.2. 1a Cultural Placemakers)

Exterior Lighting Plan

SEATTLE DESIGN GUIDELINES

The lighting plan was design with the Seattle Design guidelines in mind, particularly with the goal of illuminating the project in a way that avoids light pollution and off-site glare but that promotes a sense of safety and illumination for all functions around the property in the evenings.

DC4: EXTERIOR ELEMENTS AND FINISHES

Use appropriate and high quality elements and finishes for the building and its open spaces.

C.1. Functions:

- 1. Functions: Use lighting both to increase site safety in all locations used by pedestrians and to highlight architectural or landscape details and features such as entries, signs, canopies, plantings, and art.

C.2. Avoiding Glare

- 2. Avoiding Glare: Design project lighting based upon the uses on and off site, taking care to provide illumination to serve building needs while avoiding off-site night glare and light pollution.

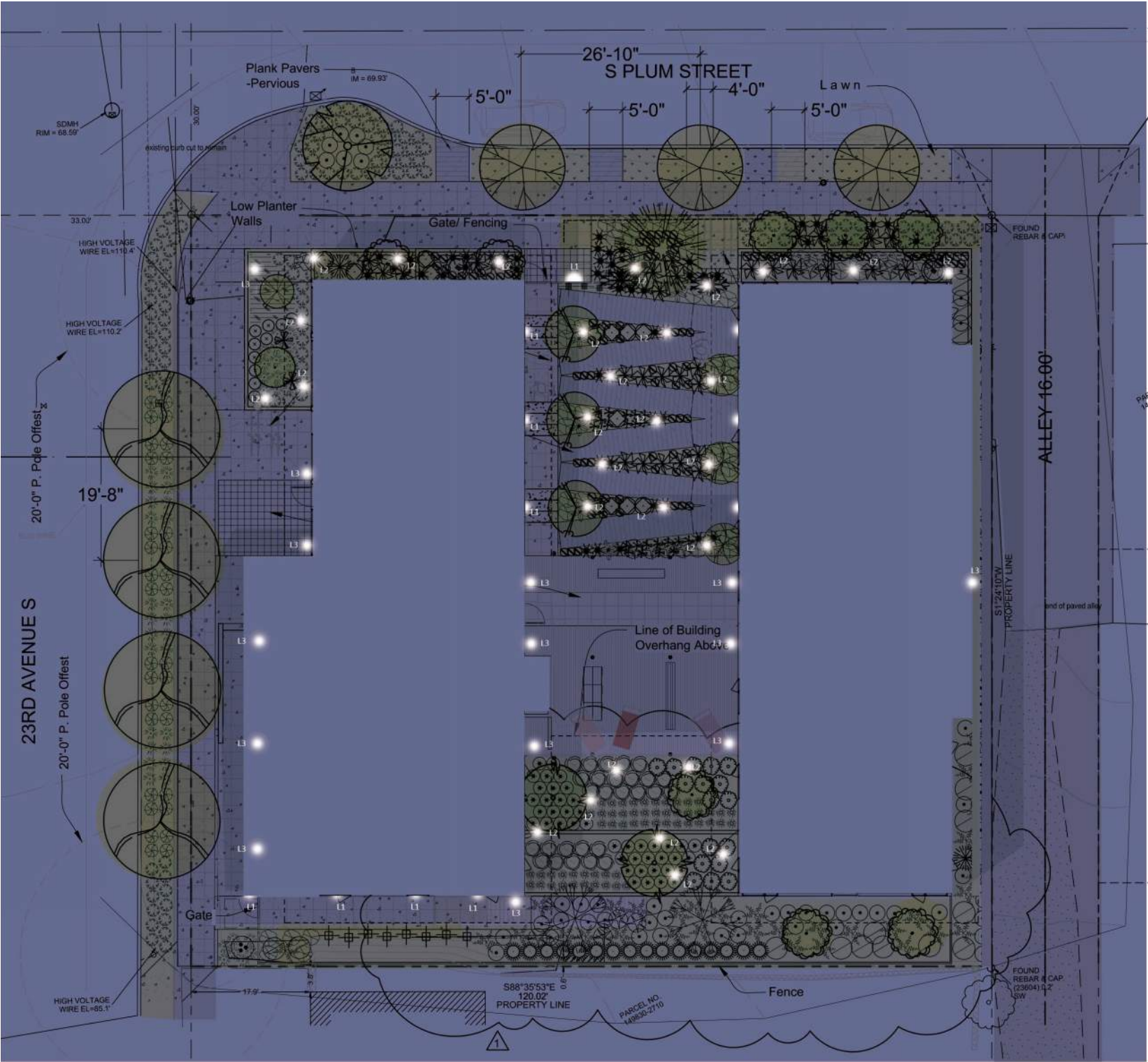
L1 STEP LIGHT



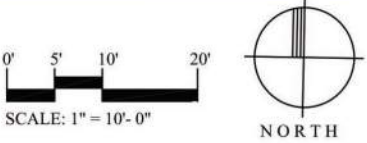
L3 SCONCE



L2 LANDSCAPE LIGHT



GROUND LEVEL



Architectural Elevations



NORTH ELEVATION - PLUM ST
Scale: 1:40



WEST ELEVATION - 23RD AVE S
Scale: 1:40

MATERIAL LEGEND

	MATERIAL	DESCRIPTION	MANUF. / COLOR
M1	METAL	SMOOTHWALL - 12" FLAT PAN	TAYLOR METAL PRODUCTS - BLACK
M2	METAL	RANDOM SELECTION OF C-5 AND C-6 WALL PANEL	TAYLOR METAL PRODUCTS - GLACIER WHITE
M3	METAL	WELDED WIRE MESH GATE	POWDERCOATED BLACK - RAL 9004
M4	METAL	RANDOM SELECTION OF C-5 AND C-6 WALL PANEL	TAYLOR METAL PRODUCTS - BLACK
M5	METAL	COPING AND OTHER METAL	BLACK
P1	CEMENT BOARD SIDING	FLAT PANEL FIBER CEMENT BOARD	SHERWIN WILLIAMS - BLACK MAGIC SW6991
P2	CEMENT BOARD SIDING	FLAT PANEL FIBER CEMENT BOARD	SHERWIN WILLIAMS - SNOWBOUND SW7004
P3	RESYSTA SIDING	6" PROFILE SIDING T&G AT SOFFIT	RESYSTA - SIDING - PALE GOLDEN
P5	CEMENT BOARD SIDING	12" FIBER CEMENT BOARD LAP	SHERWIN WILLIAMS - BLACK MAGIC SW6991
C1	CONCRETE	CAST IN PLACE CONCRETE	ARCHITECTURAL FINISH, CLEAR ANTI-GRAFFITI COATING
V1	WINDOWS	VINYL FRAMES	BLACK
V2	WINDOWS	VINYL FRAMES	WHITE
B1	BRICK	STACKED BOND THIN BRICK SIDING	MUTUAL MATERIALS - REDONDO GREY
D1	WOOD DOOR	CLEAR STAIN	CLEAR STAIN
D2	FIBERGLASS DOOR	PAINTED FIBERGLASS	BLACK

B1



C1



M1



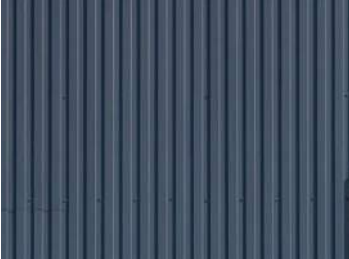
M2



M3



M4



P1



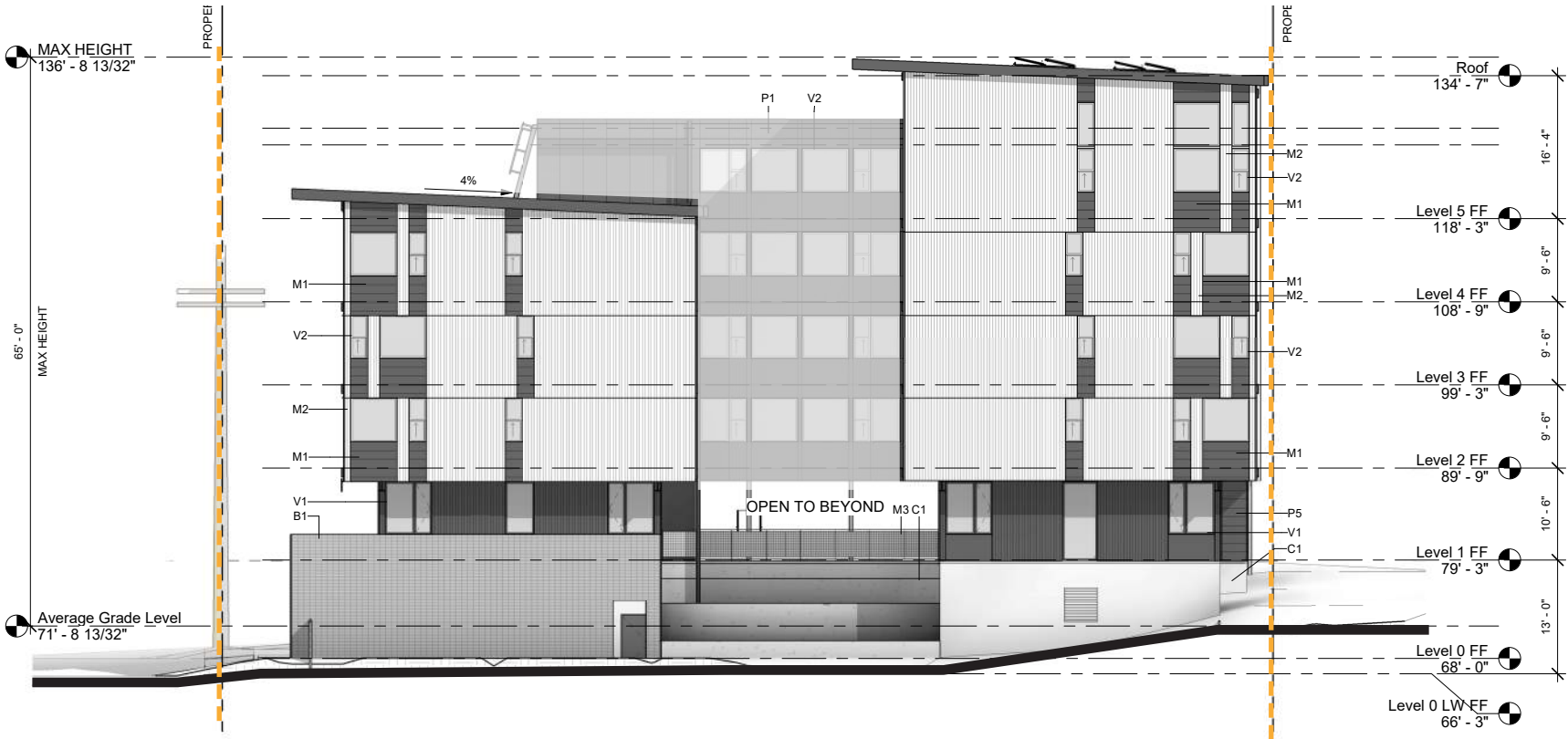
P2



P3



Elevations



SOUTH ELEVATION
Scale: 1:40



EAST ELEVATION - ALLEY
Scale: 1:40

MATERIAL LEGEND

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B1



C1



M1



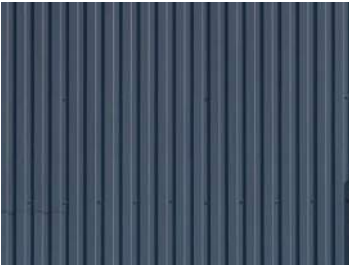
M2



M3



M4



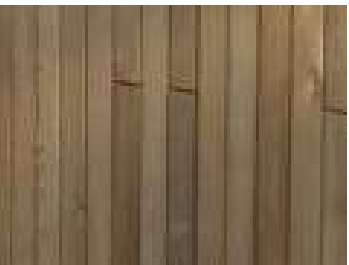
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P2



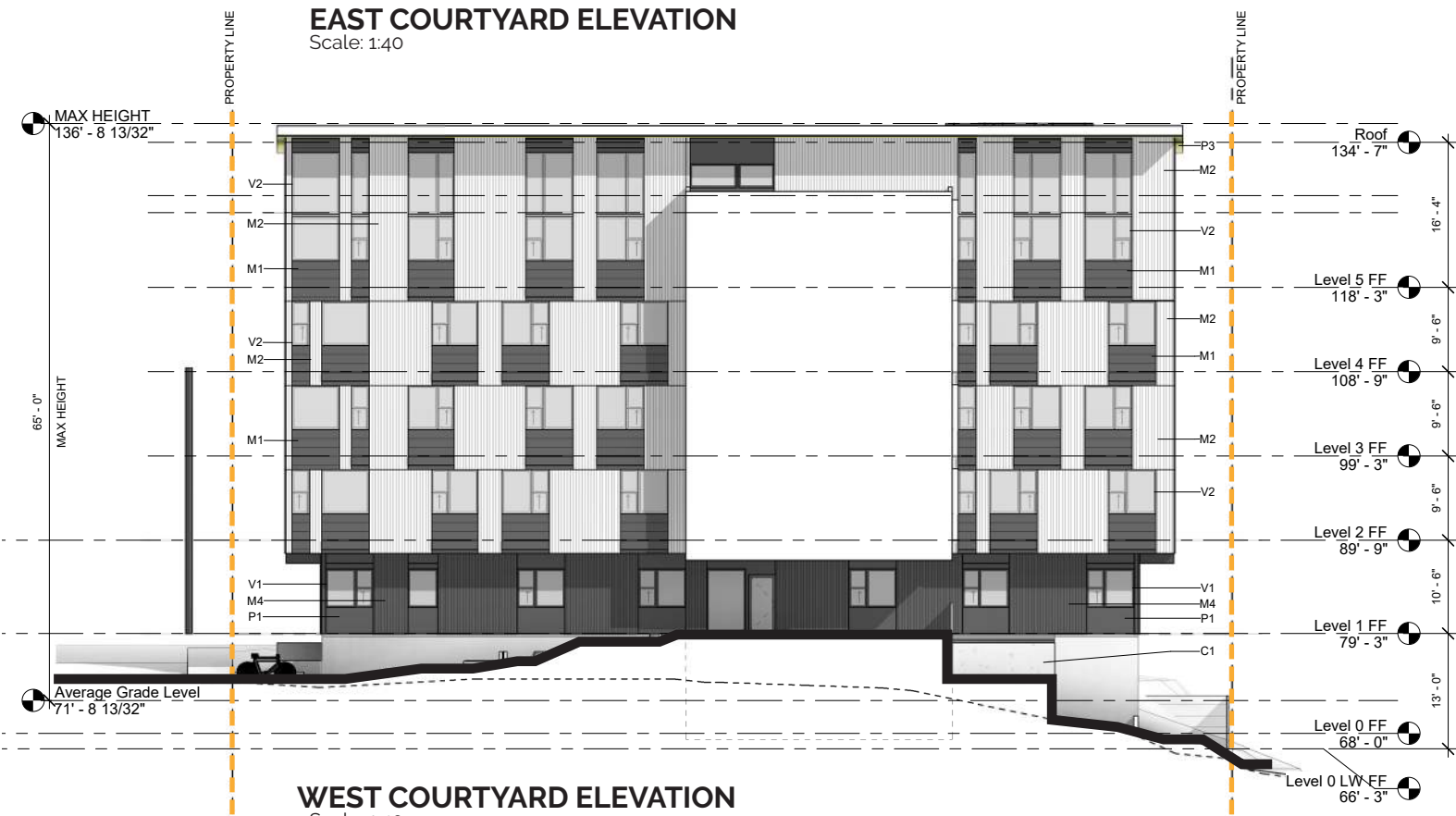
P3



Architectural Elevations - Courtyard



EAST COURTYARD ELEVATION
Scale: 1:40



WEST COURTYARD ELEVATION
Scale: 1:40

MATERIAL LEGEND

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D2	FIBERGLASS DOOR	PAINTED FIBERGLASS	BLACK

B1



C1



M1



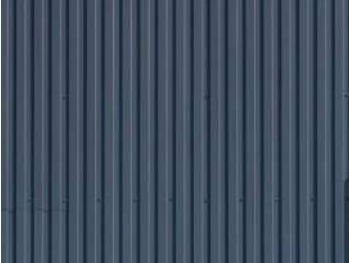
M2



M3



M4



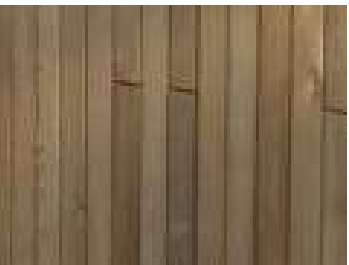
P1



P2



P3





8 APPENDIX / ADDITIONAL INFORMATION

Community Outreach

It was important to the design team to engage the community in regards to the design and development of the project early on and throughout the design review process. Below is an outline summary of the various ways the team approached community outreach, some comments received and corresponding results incorporated into the design.



Community Groups And Outreach

Project team reached out to neighboring residents, businesses and local community groups with doorstep flyers distributed to a 500ft radius, door to door canvassing, emails, and an in person site walk.

Local community groups suggested by the Department of Neighborhoods and the Board, included:

- **Africatown**
- **Asian Counseling and Referral Service Bike Works**
- **Ethnic Business Coalition**
- **Friends of Mt. Baker Town Center**
- **Mount Baker Community Club**
- **Mt. Baker Housing Association**
- **Mt Baker Hub Alliance**
- **Northwest African American Museum**
- **Rainier Chamber of Commerce**
- **South Seattle Crime Prevention Council**
- **The 2100 Building**
- **The Lighthouse for the Blind**
- **Wellspring Center**

No direct or formal comments were received from the initial neighborhood flyer and associated email communication with the local community groups.

The design team did address clarifying questions from neighbors as flyers were distributed and continued to invite everyone to the public meeting and site walk.



Public Meeting & Site Walk

Project team conducted a guided site tour on location to discuss the design proposal on Thursday evening, August 23rd - 6:30 pm.

During this time the design team was available to describe the project in further detail, answer any questions and address project concerns.

One neighbor was present for the site walk and discussion. The following comments were expressed:

- **Community member supported the project overall and commending the large amount of green space, landscape and courtyards in the project**
- *Response: Landscape plan has been maintained and developed in order to provide a rich green space and community courtyard.*
- **Neighbor was happy to see the project site cleaned up and developed as it is in disrepair (rats, etc) currently**
- *Response: New design will clean up a dilapidated existing building site and strengthen the neighborhood urban fabric.*
- **Neighbor expressed support for the common spaces in the design**
- *Response: Common spaces have been incorporated throughout to promote a sense of shared community.*



Meet With Neighbors

Project team additionally went back out to the project site to directly meet with other neighbors to discuss the project and address concerns. Design team knocked on doors surrounding project. The following comments were received:

- **Concern with the lack of parking proposed with a significant increase in dwelling units**
- *Response: No parking is proposed as the project is within a parking flexibility area. Bicycle parking for guests and for residents has been strongly considered and accounted for.*
- **Expressed support from an entry off of Plum Street**
- *Response: One residential entry will allow residents and guests access into the courtyard off of Plum Street while the gateway corner will allow people to enter from 23rd Avenue.*
- **Neighbors supported a more affordable housing option**
- *Response: Congregate residences support an affordable housing option.*
- **Concern expressed about the noise of construction**
- *Response: Construction hours will be identified and maintained throughout construction to mitigate effects to neighbors.*
- **Neighbors supported fences and gates to provide security to an area that has high theft**
- *Response: A porous, welded wire fence will secure the courtyard and provide security to the residents.*



Meeting With Lighthouse For the Blind

Project team reached out to the community organization Lighthouse for the Blind to discuss the project. During this time the team learned some key takeaways in order to better design the project in order better develop the proposal.

- **Color: Strong contrast preferred such as dark and light - suggested contrast between doors and walls.**
- *Response: Building is mostly black and white, with a strong patterned material expression.*
- **Textures: Differentiated hardscape textures suggested at important entries**
- *Response: Hardscape patterns will transition to a more dense pattern at building entries.*
- **Indicator strips at crosswalks**
- *Response: Incorporated at corner.*
- **Sound is a good landmark - hard surfaces**
- **Smell - Members suggested fragrant plants and trees to encourage delight**
- *Response: Fragrant, flowering trees and shrubs have been incorporated by the landscape architect.*
- **Braille to be incorporated on building signage**
- *Response: Braille directional signage will be incorporated throughout the building, per code.*
- **Many employees at lighthouse have long commutes (2-5 hours) for work. The option for affordable, local, housing would be appreciated.**
- *Response: Congregate housing is seen as an affordable alternative to other more traditional types of housing.*



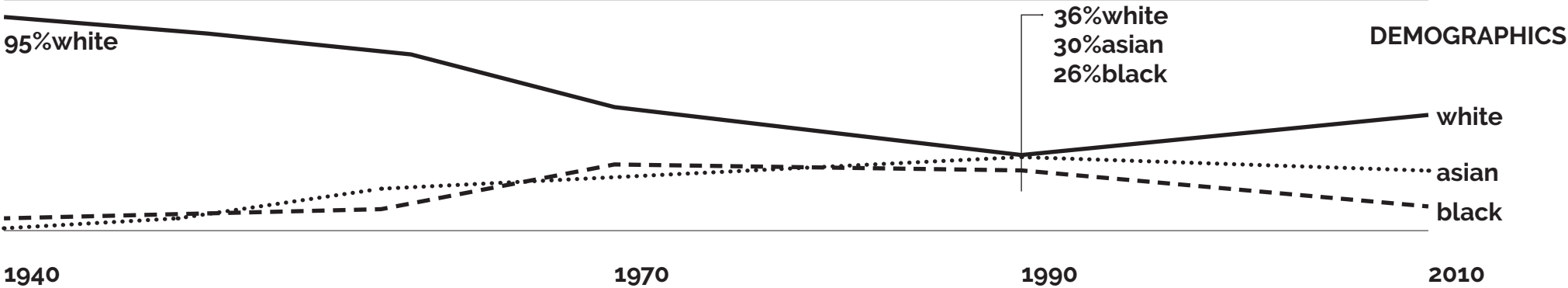
Meeting and Presentation to the Central Area Land Use Review Committee

Members of the project team met with the Central Area Land Use Review Committee and presented an overview of the project on April 22nd, 2019.

Concerns from committee members included:

- **Signage - committee felt the proposed signage during EDG 2 was too large & more of a billboard for the brand rather than signage for the building. Project team to consider relocating signage.**
- *Response: Signage was reduced in size and additional entry signage was included*
- **Concerns about a lack of elevator**
- *Response: Lift Elevator included from floors 1-2 to provide accessibility.*
- **Committee expressed desire to remove landscape buffer in favor of a more commercial feeling live/work area as to possibly support local business for the community.**
- *Response: Landscape buffer removed in order to enlarge sidewalk for possible seating and business activation of sidewalk.*
- **Committee was in favor of the meandering, ADA compliant courtyard ramp to negotiate the grade change and slope of the site**
- *Response: Meandering path maintained.*
- **Concerns were expressed about the proposed Cherry tree at entry planting bed because it was under the building projection.**
- *Response: Proposed cherry tree was moved to the planting strip and a Japanese Maple is now included in entry planting area.*

RECOMMENDATION - ENTRY



CULTRAL PLACEMAKING

Community Outreach Results

Affordability: Community expressed support for the affordable, congregate housing model as a way to keep the neighborhood affordable.

Gateway: Agreed that this area has a strong african american past but also acknowledged the changed demographics and the high number of persons of asian decent ans seniors also living in the area.

Visual Imparement: Project's proximity to Lighthouse suggested that the property could be additionally sensitive to the needs of visually impaired.

Response: Visual imparment will be considered in the selection of materials and design of project landscaping.

Planting: Many lamented the loss of planting as a result of recent developments and encouraged more green space. Suggested planting at the corner of 23rd and Plum and at courtyards.

Response: Corner is setback for additional planting at corner. Additional planting is added at Plum St entry.

Commercial Space: Agreed that small commercial spaces would provide opportunities for small local businesses.

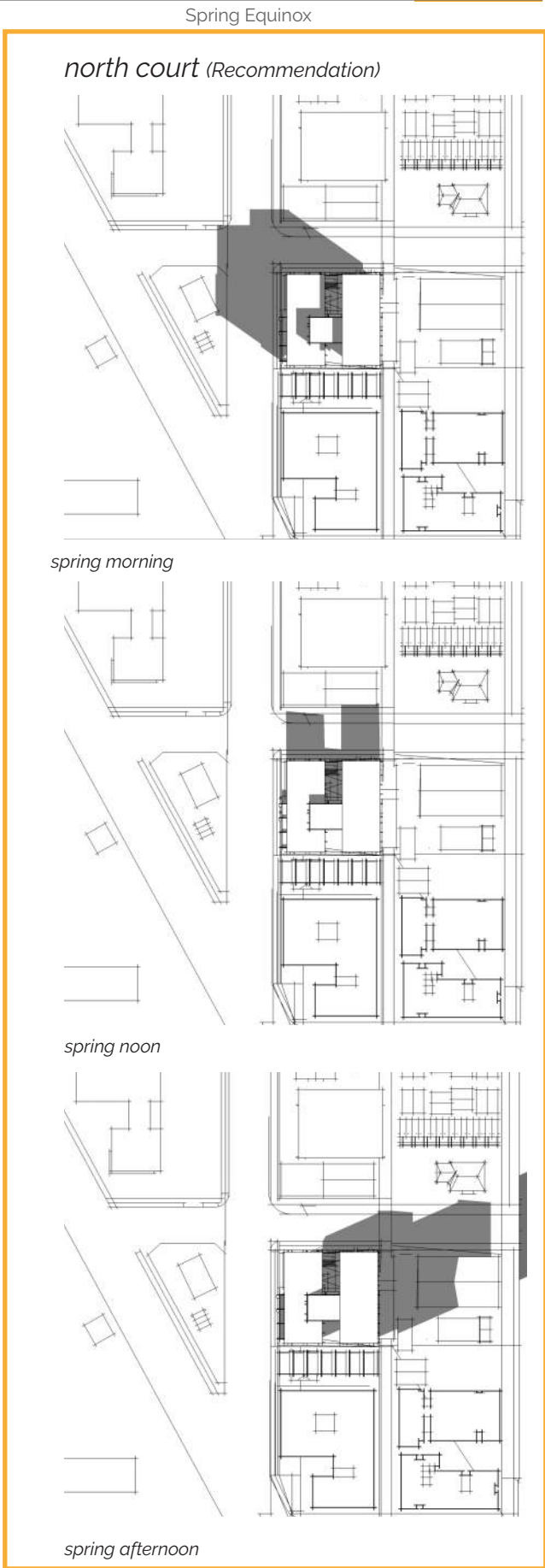
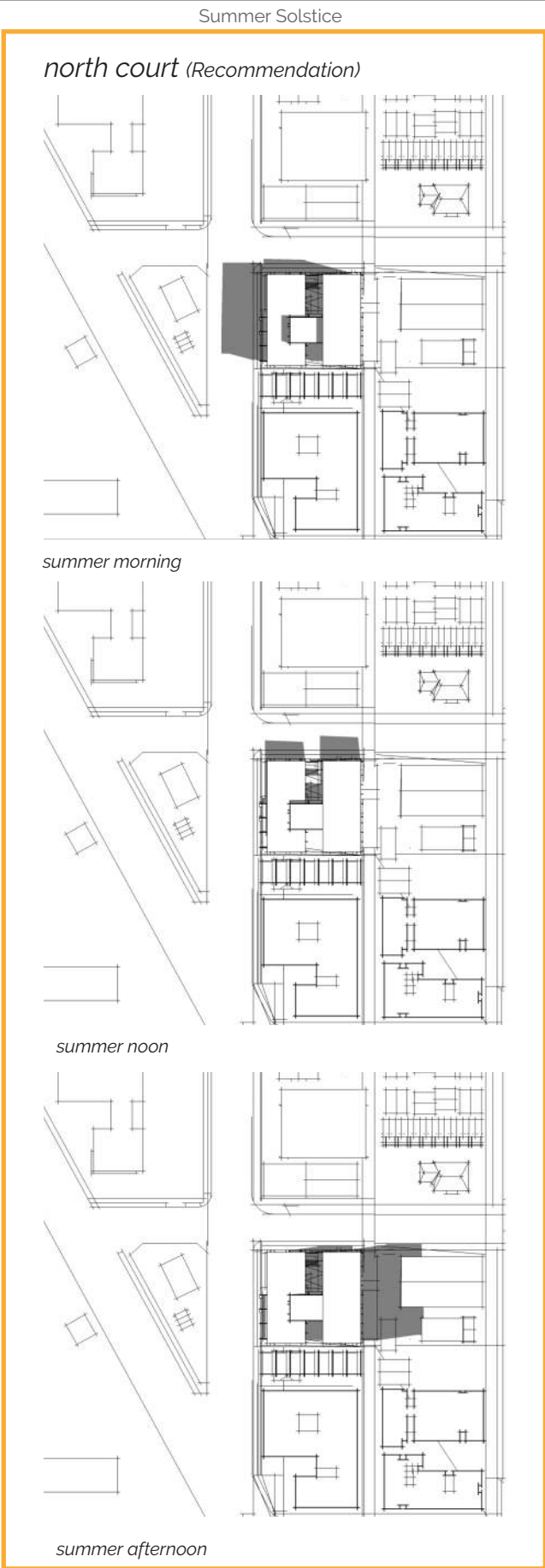
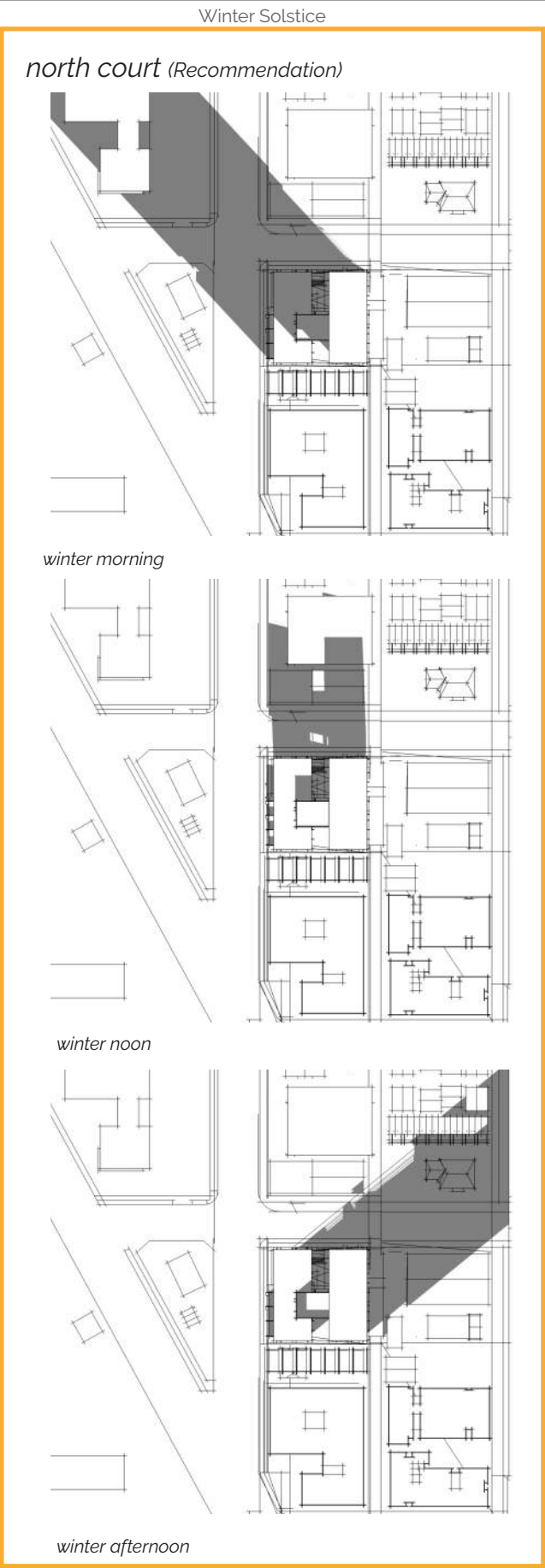
Response: Live work spaces are added along 23rd Ave South.

Entry: Community agreed, that a resdiential entry would be most appropriate off Plum due to the noise and traffic on 23rd. They noted that 23rd Ave would not be an appropriate street for a car to pull over.

Response: Maintains primary residential entry along Plum but added additional side entry on 23rd.

Security: Security, specifically of outdoor tables and chairs was a concern for the community.

Response: Provided gated entries to the courtyards.



NO DEPARTURES REQUESTED

Previous Projects Designed by Hybrid Architecture



Yesler Exterior Rendering



741 Harvard Entry Gate & Planter



Yesler Courtyard Rendering



Integration of Gabion walls, concrete, cedar siding



Redwood Apartments



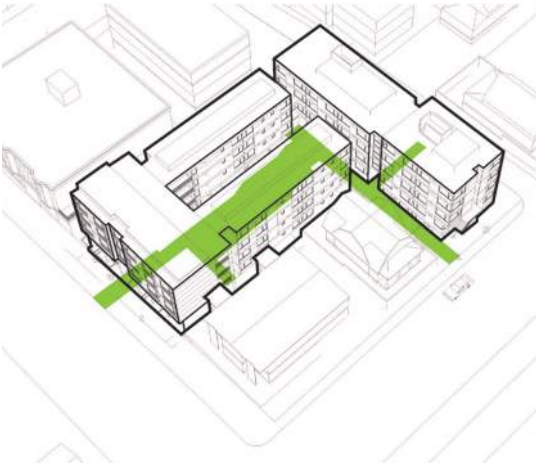
Killebrew Apartments



Redwood Apartments Section



Main Entry at Redwood Apartments

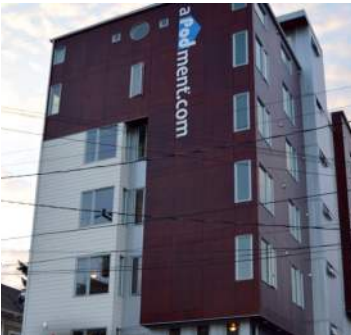


Yesler Courtyard Diagram

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Hybrid Architecture
1205 E Pike St #2D, Seattle, WA 98122
www.hybridarc.com | 206.267.9277

Owner:
Calhoun Properties
P.O. Box 95558, Seattle, WA 98145
206.801-3570

Previous Projects Built
by Calhoun Properties



Calhoun - Fiora aPodments® - Ballard



Calhoun - Riano aPodments® - Ballard



Calhoun - Positano aPodments® - Ballard



Calhoun - Morino aPodments® - UW

