



# Northgate Apartments Phase II

10712 5th Avenue NE Seattle, WA

RECOMMENDATION MEETING  
AUGUST 26, 2019  
PROJECT #3030779-LU



DEVELOPMENT OBJECTIVES

PROJECT DESCRIPTION  
The Northgate Apartments project will build upon existing urban fabric in the Northgate Urban Center. The 7-story building will include below-grade parking, retail sales along 5th Avenue, and residential apartments and amenities. The development objectives for this project are as follows (all values are approximate):

Number of residential units:	235 Units
Retail sales and services:	4003 sf
Number of parking stalls:	
Residential (structured)	194
Non-residential (structured)	12

PROJECT INFORMATION

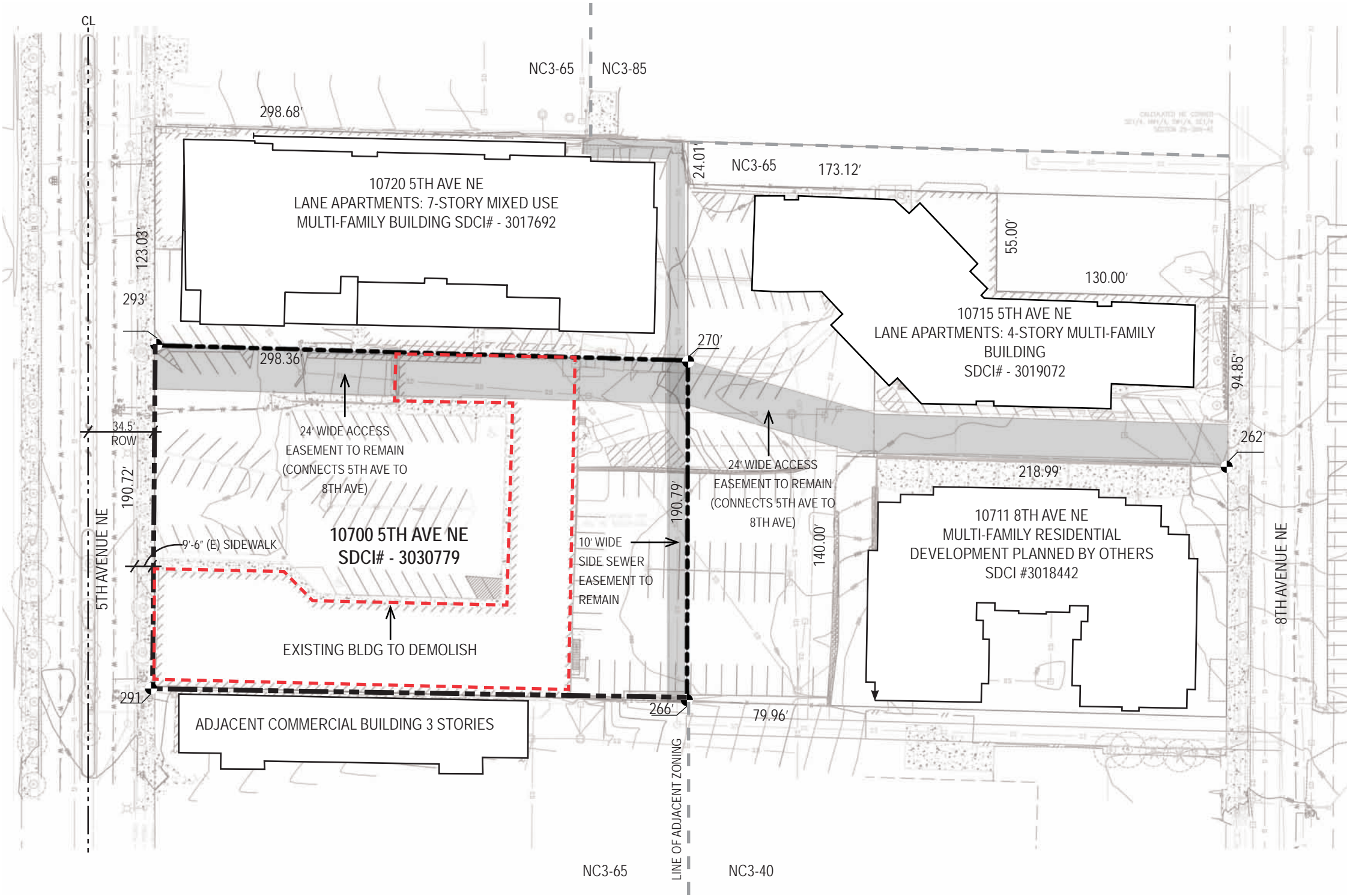
Zoning:	Vested under NC3-65 zoning
Lot Size:	57,935 SF
Overlay:	Northgate Urban Center & Northgate Overlay District (Within Northgate Core Area)
Pedestrian Zone:	No
Mapped ECA:	40% Steep Slope, Peat Settlement Prone
Major Pedestrian St:	5th Avenue (As designated in Northgate Overlay District)
Codes:	Seattle Land Use Code (current edition)

PROJECT TEAM

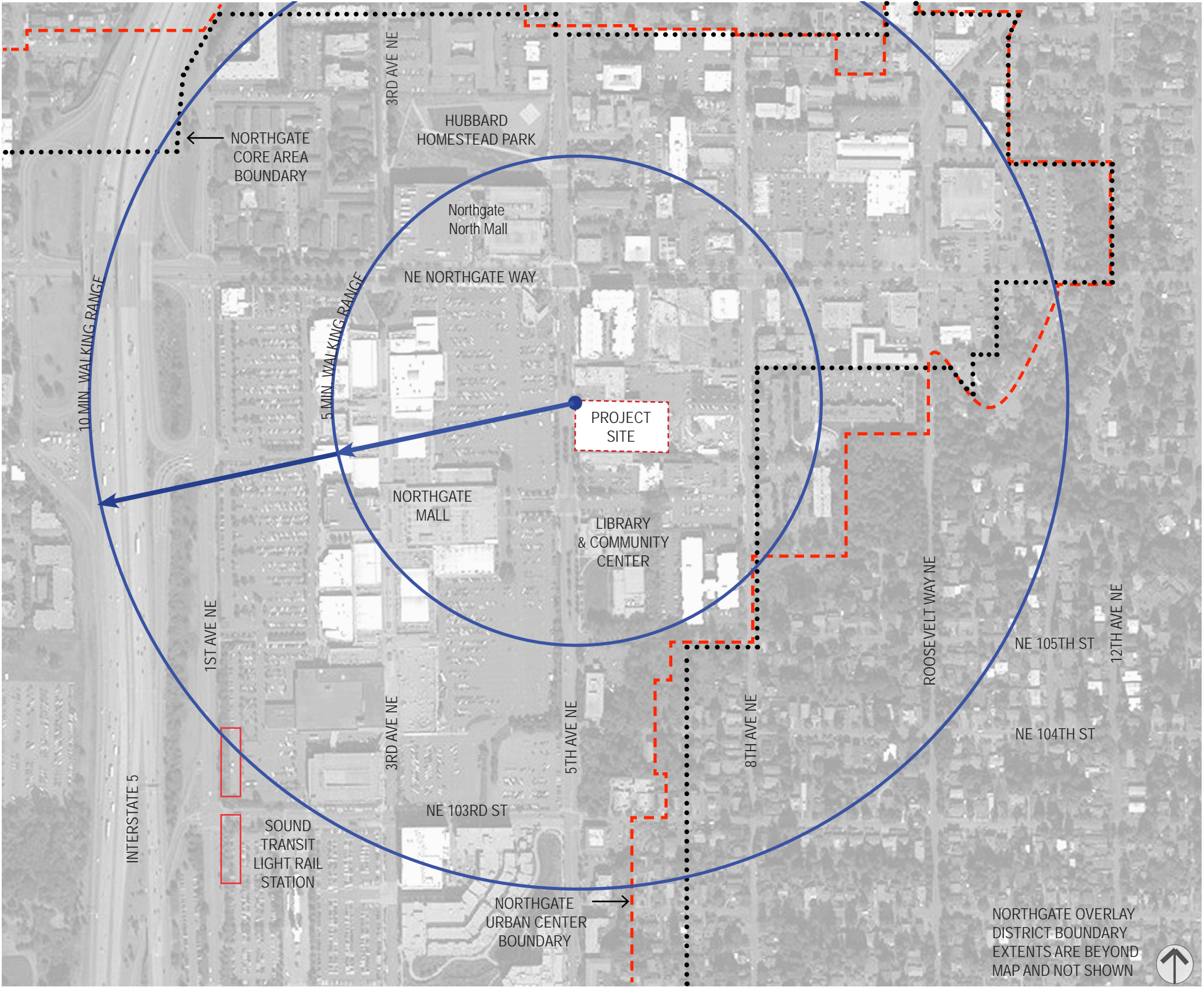
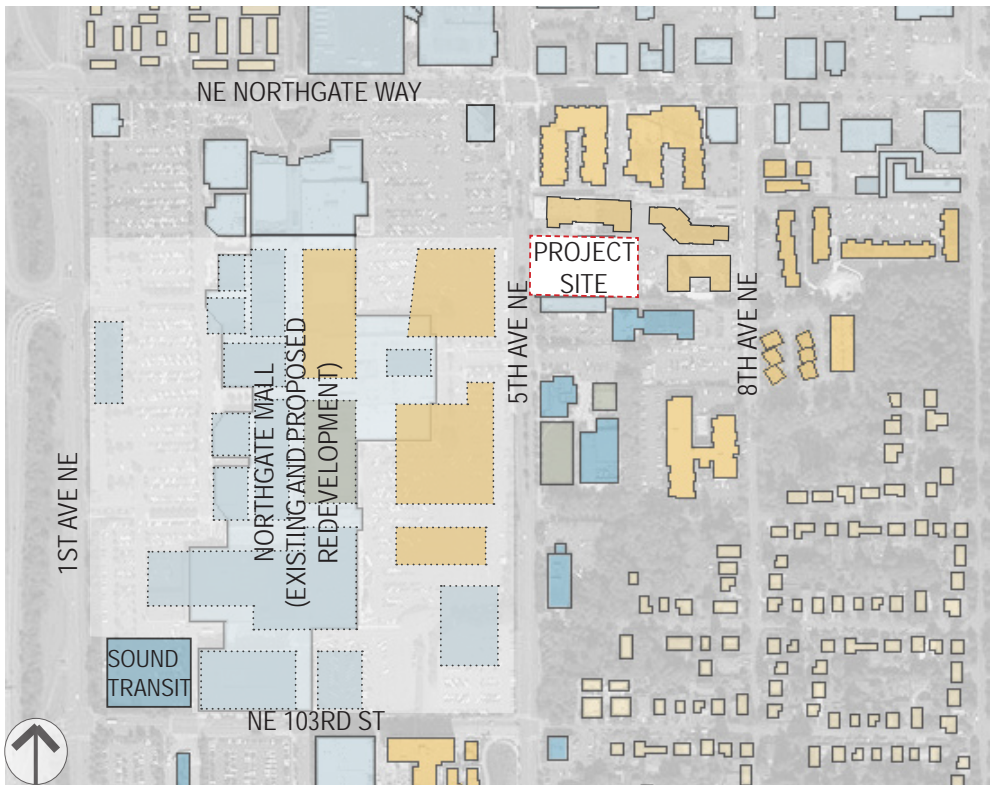
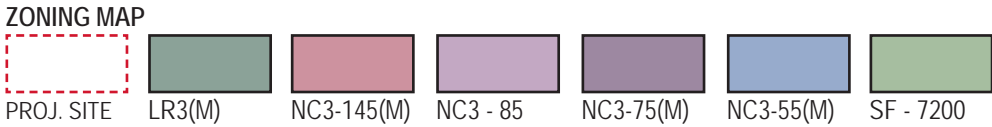
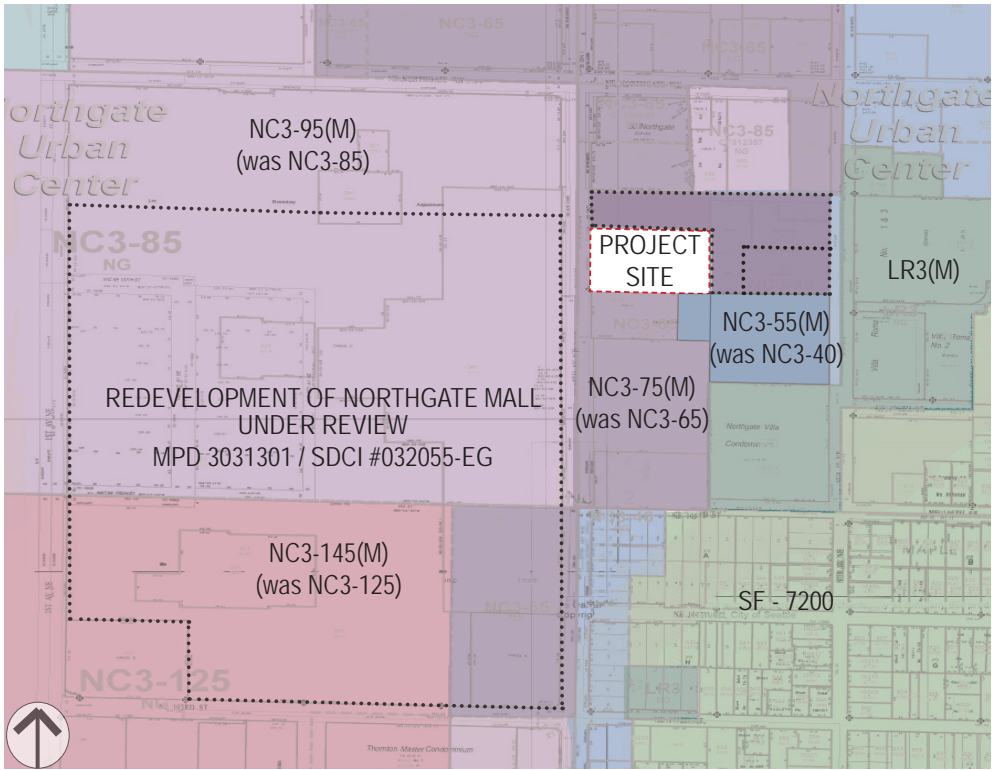
Applicant:	GRE Fifth Avenue Investors LLC 2801 Alaskan Way Suite 310 Seattle, WA. 98121
Architect:	GROUPARCHITECT 1735 Westlake Ave. N. Suite 200 Seattle, WA. 98109
Landscape Architect:	The Blueline Group 15200 52nd Avenue South Suite 210 Seattle, WA 98188

LEGAL DESCRIPTION

FOLG POR OF SW 1/4 OF NW 1/4 OF SW 1/4 OF SE 1/4-S 1/2 LESS S 18 FT THOF & N 1/2 LESS N 123 FT THOF LESS ST

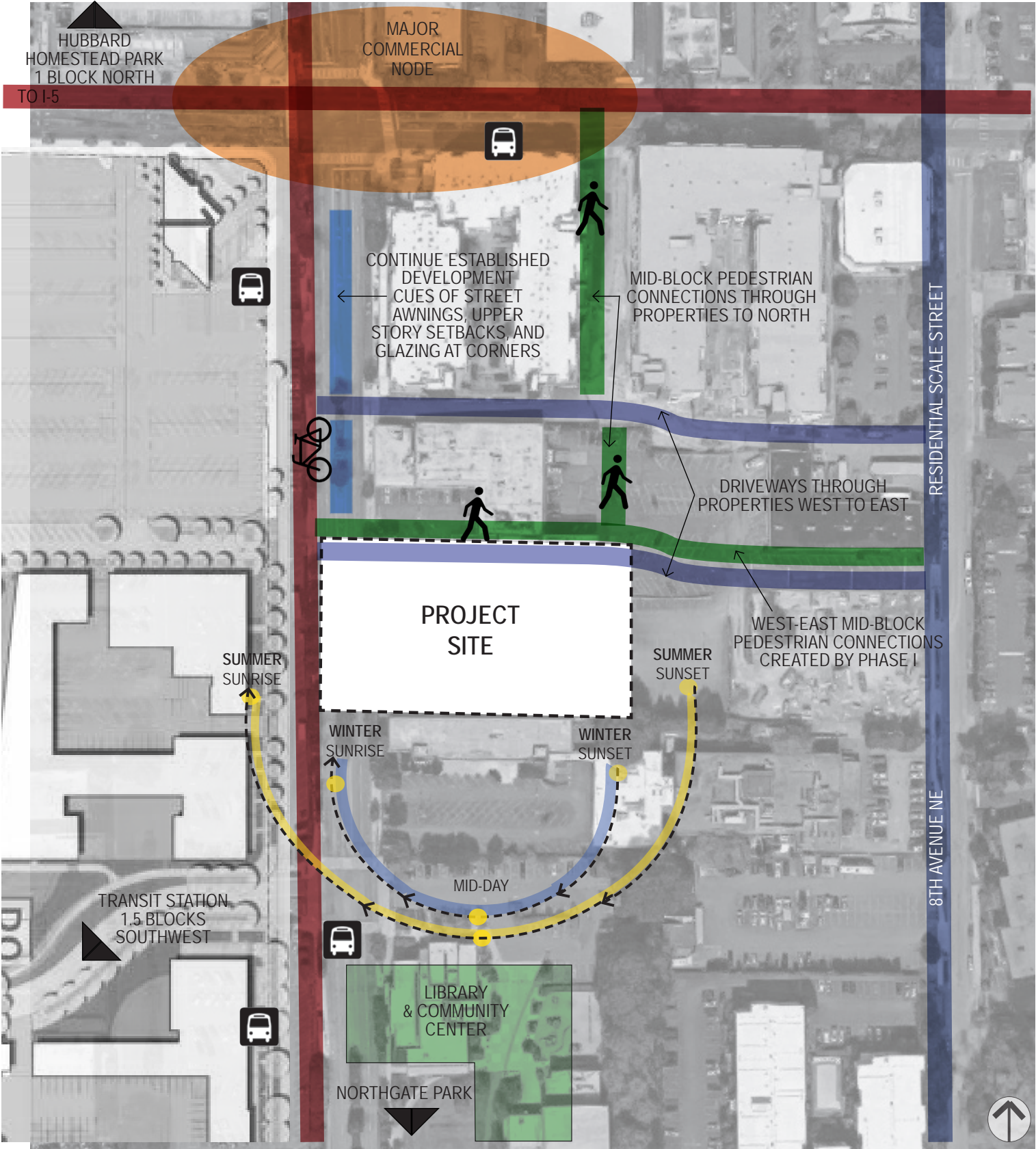




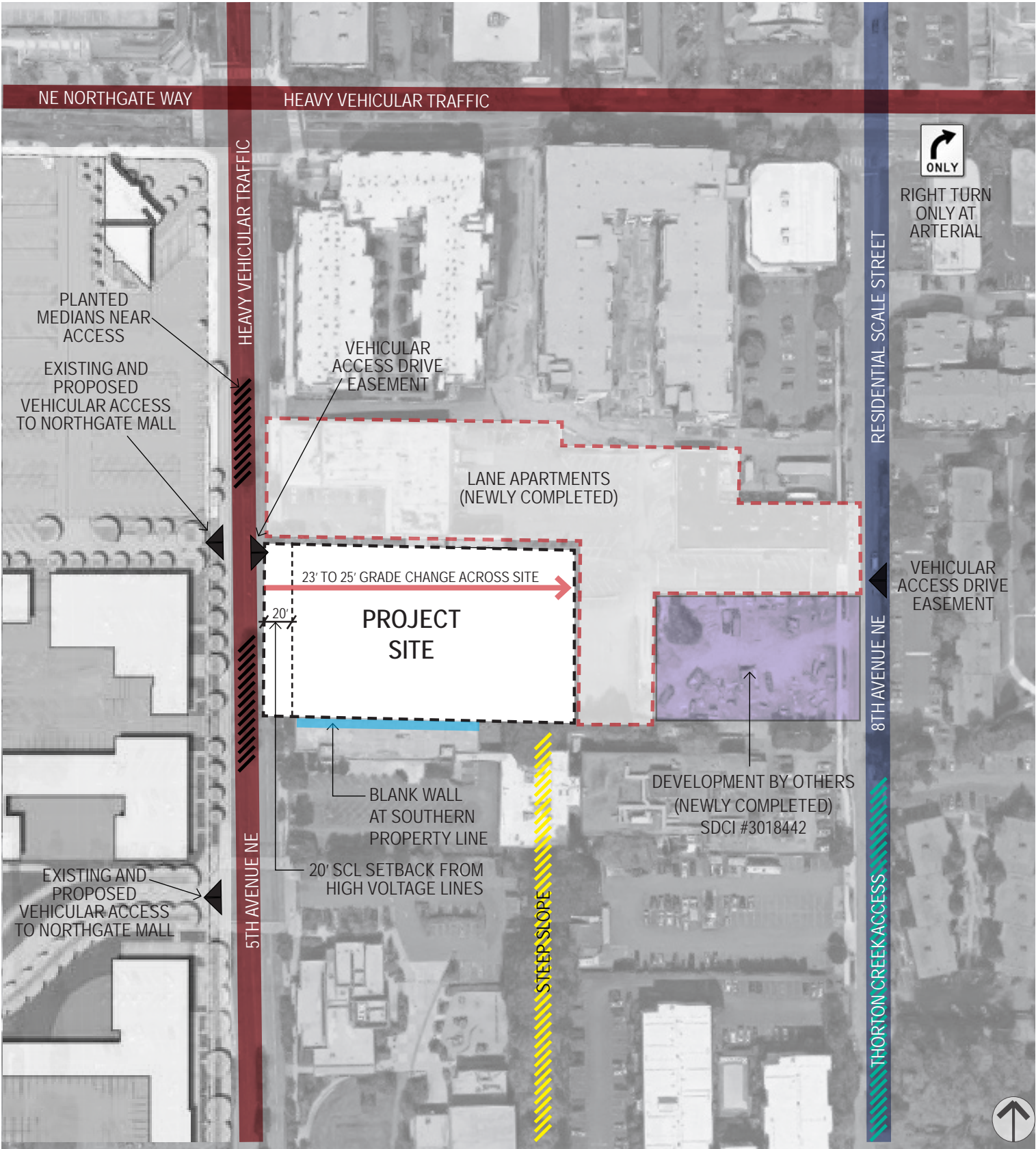


NORTHGATE NEIGHBORHOOD





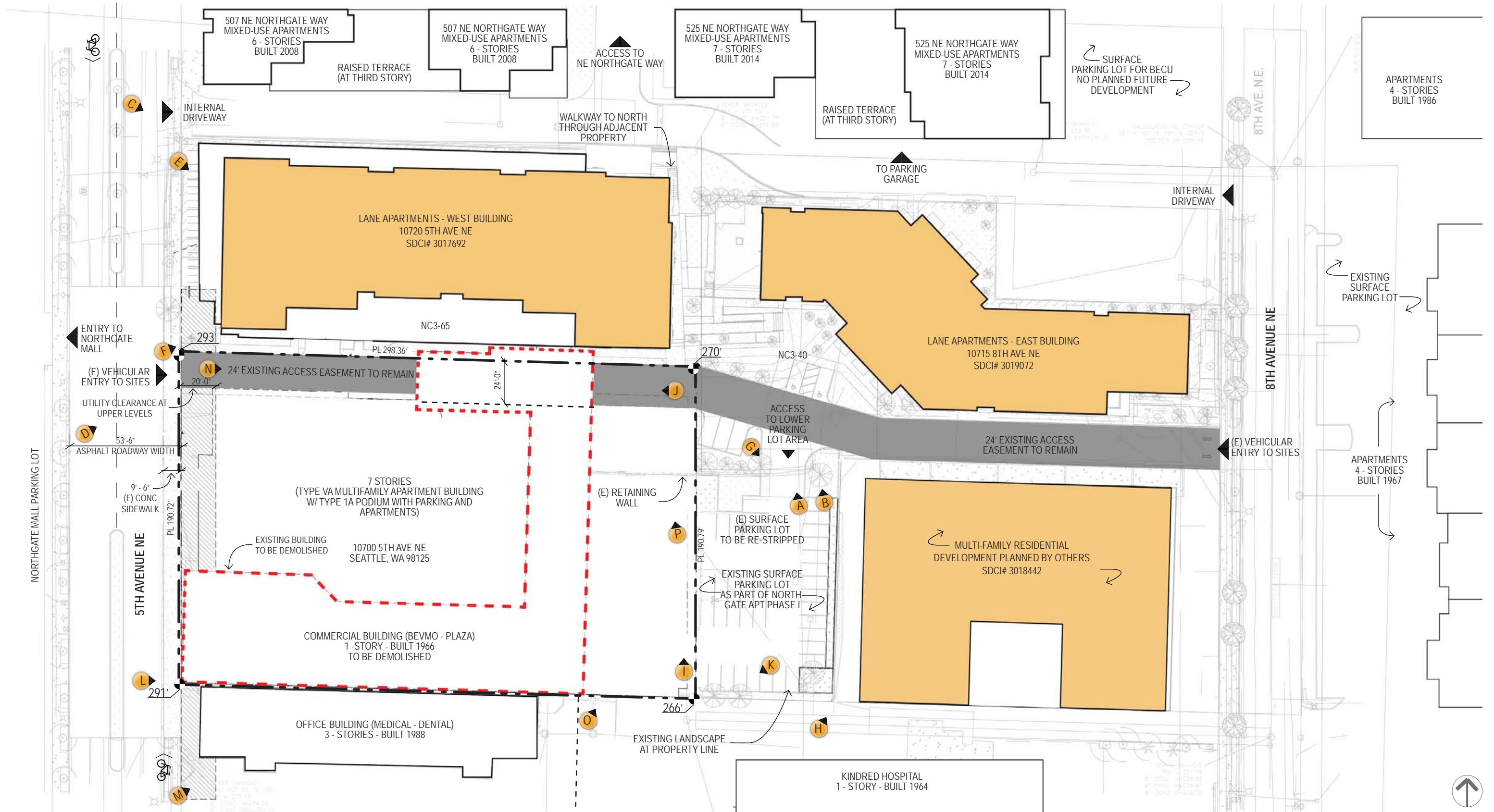
OPPORTUNITIES



CONSTRAINTS



## EXISTING CONDITIONS: SITE PLAN





EXISTING CONDITIONS: SITE PHOTOS & ADJACENT DEVELOPMENTS

**A LANE APARTMENTS ENTRIES & EASEMENT CONNECTION**  
The NE corner of the development property shares a connection to the planned centrally located main entries to the Lane Apartments West & East buildings. The access easement bisects the two phases at this location and serves to provide vehicular access to the lowest level of parking for Phase II from this location.

**B PEDESTRIAN WALKWAY TO NORTH**  
Between the Lane Apartments West & East buildings is a Neighborhood Pedestrian Walkway which provides a mid-block connection to the properties to the North. The proposed project has the opportunity to continue this development pattern and connect to this established pathway. (newly completed)

**C LANE APARTMENTS FROM 5TH AVE NE**  
Lane Apartments retail frontage (newly completed).

**D LANE APARTMENTS LOOKING SW CORNER**  
Lane Apartments retail frontage and residential lobby/leasing office (newly completed).

**E LANE APARTMENTS 5TH AVE RETAIL**  
Lane Apartments retail frontage (newly completed)

**F LANE APARTMENTS CONNECTIONS TO STREET**  
Lane Apartments open plaza area along 5th Avenue NE and just North of the access driveway easement. Within this plaza is a 10 foot tall sculpture which serves as a way finding marker for the development and the pedestrian and vehicular entry point. The residential lobby/leasing office entry is accessed from this plaza area (newly completed).

**G H ADJACENT PROPERTY TO EAST**  
Wallace Properties multi-family project located to the east of the project site and fronting 8th Avenue NE (newly completed).



**A LANE APARTMENTS ENTRIES & EASEMENT CONNECTION**



**B PEDESTRIAN WALKWAY TO NORTH**



**C LANE APARTMENTS FROM 5TH AVE NE**



**D LANE APARTMENTS LOOKING SW CORNER**



**E LANE APARTMENTS 5TH AVE RETAIL**



**F LANE APARTMENTS CONNECTIONS TO STREET**



**G ADJACENT PROPERTY - WEST FACADE**



**H ADJACENT PROPERTY - SOUTH FACADE**

(IMAGES FROM WALLACE PROPERTIES - DRB PACKET)



# EXISTING CONDITIONS: SITE PHOTOS & FUTURE DEVELOPMENTS

## I NORTH PROPERTY LINE

The site abuts two lots (10720 & 10715 8th Ave NE), Lane Apartments. The building contains similar amenities and uses as the proposed project. The building incorporates raised terraces above two-levels of parking adjacent to the North property line creating a driveway between Lane Apartments & Phase II.

## J ACCESS DRIVEWAY EASEMENT LOOKING WEST

This easement provides vehicular and pedestrian access between 5th Avenue NE and 8th Avenue for all adjacent properties and the neighborhood. Lane Apartments incorporated a continuous pedestrian pathway along the North edge of the easement.

## K SOUTH PROPERTY LINE AT THE SURFACE PARKING LOT

Currently a shared surface lot with the Lane Apartments property.

## L SOUTH PROPERTY LINE

The adjacent building to the South (Fifth Avenue Professional Center) maintains a zero lot line condition to the property line for the length of the structure.

## M FIFTH AVENUE PROFESSIONAL CENTER

The adjacent building primarily faces toward the South. Fifth Avenue engagement is limited to planting areas.

## N ACCESS DRIVEWAY EASEMENT LOOKING EAST

This easement provides vehicular and pedestrian access between 5th Avenue NE and 8th Avenue for all adjacent properties and the neighborhood. Lane Apartments incorporated a continuous pedestrian pathway along the North edge of the easement.

## O SOUTH PROPERTY LINE & GRADING CHANGE FROM ADJACENT PROPERTY

On the adjacent properties to the South, there are significant grade changes and some mature trees.

## P LOWER LOT GRADE CHANGE

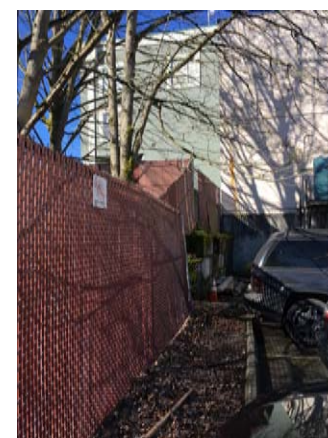
The grade changes along the eastern property line approximately 4' from North to South.



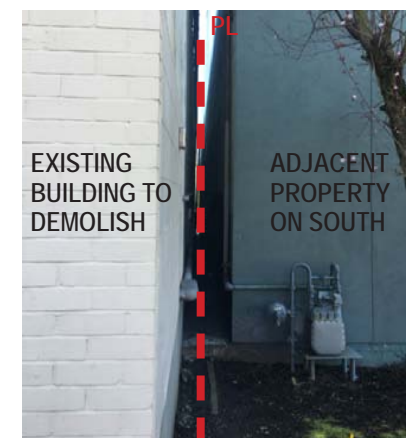
I EAST PROPERTY LINE LOOKING NORTH



J EASEMENT LOOKING WEST



K SOUTH PROPERTY LINE AT THE SURFACE PARKING LOT



L SOUTH PROPERTY LINE



M FIFTH AVENUE PROFESSIONAL CENTER



N ACCESS DRIVEWAY EASEMENT LOOKING EAST



O SOUTH PROPERTY LINE & GRADING CHANGE FROM ADJACENT PROPERTY



P LOWER LOT GRADE CHANGE

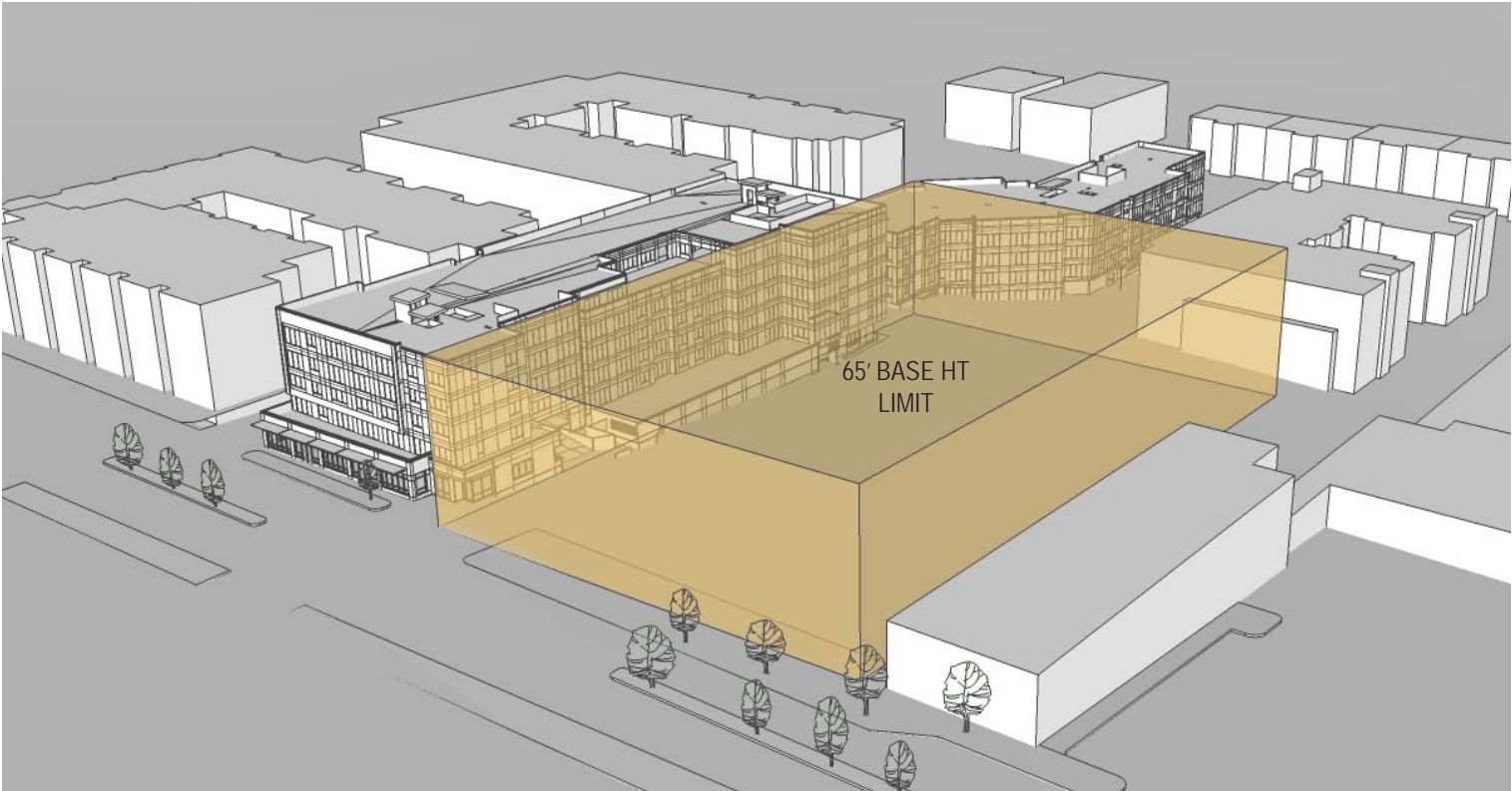


Q SOUTH PROPERTY LINE & GRADING CHANGE FROM ADJACENT PROPERTY



ZONING ANALYSIS: SEATTLE COMMERCIAL (23.47A) & NORTHGATE OVERLAY (23.71)

23.47A.005.C	Residential uses limited to 20% of street-level street-facing facades within the Northgate Overlay District.
23.47A.008 & 23.71.008	Blank street facade segments between 2'- 8' above the sidewalk may not exceed 20' in width. Maximum 40% of overall facade width allowed to be blank facades. Required street-level uses (retail) shall equal 60% minimum of frontage lot width. Required street level uses (retail) shall equal 80% minimum of structure width. Street-level street facing facades shall be located within 10 feet of the street lot line unless other approved open spaces are provided. (A minimum of a 12' wide sidewalk shall be provided per Northgate Overlay) Minimum of 60% total facade between 2'- 8' required to be transparent.
23.47A.013	FAR Limits: 65' height zone 4.25 / 4.75 (residential / non-residential)
23.47A.016	Surface Parking Requirements: Landscaped area is required at surface parking areas per 23.47A.016.D1a and table C. Each area must be at least 100 sf and contained with permanent curbs or barriers. Width of area shall be no less than 4 feet.
23.47A.024	Amenity areas required in an amount equal to 5% of total gross floor area in residential use.
23.47A.032 & 23.71.016.F2a	Parking access for a lot abutting two streets shall be from one of the side street lot lines. Parking within a structure shall be separated from street-level street-facing facades by another permitted use.
23.54.015 23.54.015K & table D	No required parking for Residential or Non-Residential use in Urban Center Bicycle parking shall be in a convenient location for users with access to long-term bicycle parking separated from vehicular entries. Residential long-term bike stalls req'd = 1 per dwelling unit or SEDU up to first 50, than at a 3/4 ratio Residential short-term bike stalls req'd = 1 per 20 dwelling units Non-residential long-term bike stalls req'd = 1/4000 SF Non-residential short-term bike stalls req'd = 1/2000 SF
23.71.014	Northgate Overlay District Open Space: NC3-65 zone requires 15% of site area for landscaping and usable public open space.
23.71.040	NC3-65 zone has no density limit
23.71.008.E3	Planting strips are prohibited along major pedestrian streets <b>*Departure Requested*</b>



ZONING ENVELOPE

DEPARTURE REQUEST

LAND USE CODE	CODE ITEM	DEPARTURE DESCRIPTION	DESIGN RATIONALE
23.71.008.E3	Planting strips are prohibited along major pedestrian streets	To provide a planting strip between 5th Ave NE & the sidewalk (*major pedestrian street)	The planting strip provides desired separation between pedestrians and vehicular traffic, creating an enhanced sense of safety and comfort. (CS3-1.i, Response to context & PL2-11.v, Green space)



EDG 1: PREFERRED OPTION C MASSING



**EDG 1 BOARD COMMENT SUMMARY - JUNE 25, 2018**  
The Board gave guidance that the massing should respond to the surrounding context giving attention to the east facade's relationship to topography, adjacent Lane Apartments, and pedestrian scale along 5th Avenue and the access easement. Access to the site should prioritize pedestrians and bicyclists and create a pleasant pedestrian experiences along the easement. The access easement should be activated through the arrangement of interior uses.

EDG 2: MEETING PROPOSAL



**EDG 2 BOARD COMMENT SUMMARY - NOVEMBER 5, 2018**  
The Board agreed that the revised Option C addressed the EDG1 guidance and the upper massing, attention to bicycle access, and eastern facade treatment at grade was generally supported. The Board supported an alternate plan option to provide a pathway along the southern edge of the access easement and the further development of the pedestrian experience along this facade. Overall the massing was over-articulated and the Board encouraged the applicant to use a cohesive design language, simplify the composition, use larger corner windows, and apply materials consistently. The Board also encouraged the treatment of the amenity pavilion as a unique element.

PROPOSAL EVOLUTION SUMMARY

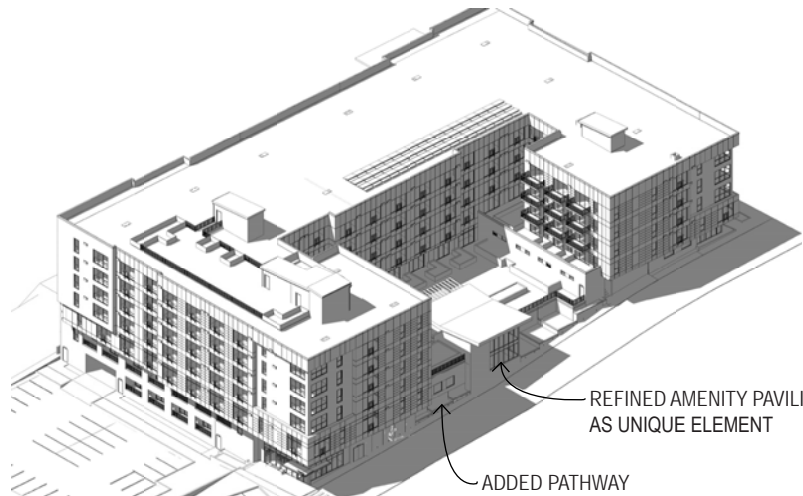
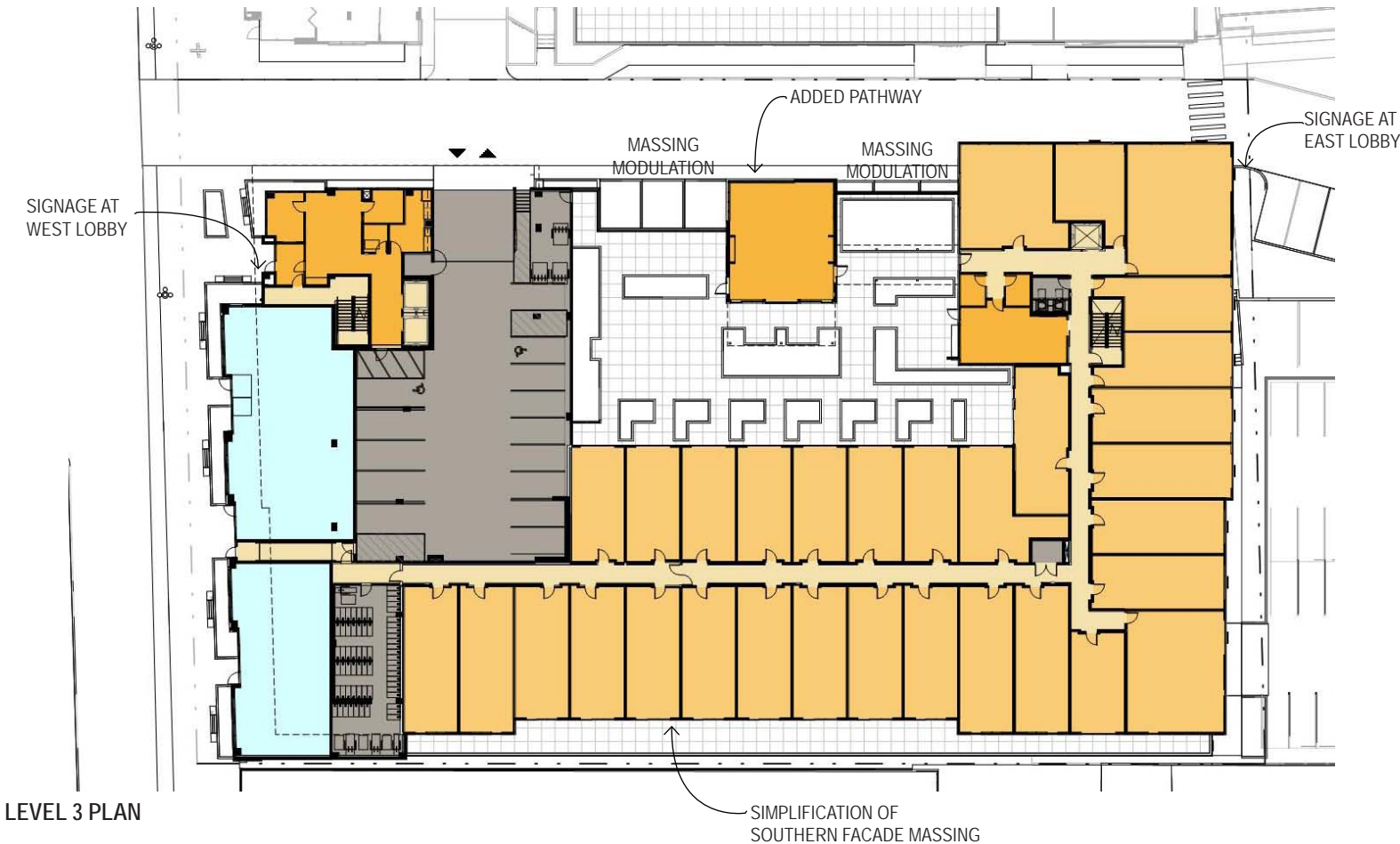
RECOMMENDATION MEETING PROPOSAL



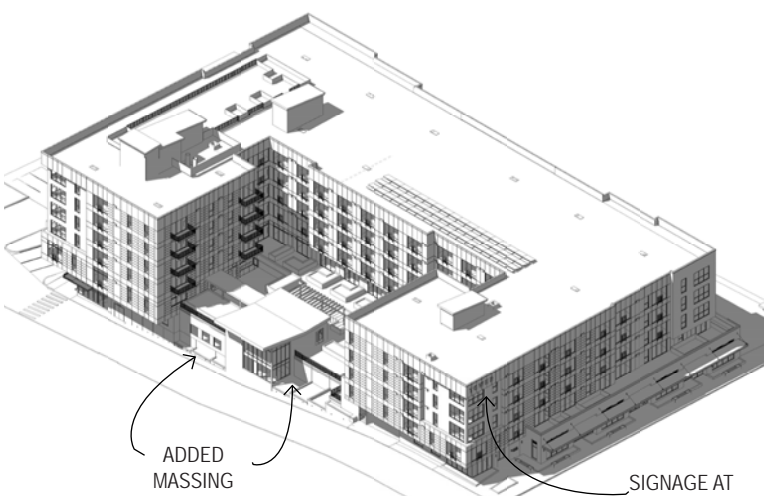
SUMMARY OF RESPONSES

- MASSING:**
- The proposal continues to propose the supported upper level massing configuration, a plan that prioritize the pedestrian and bicyclists, and the eastern facade treatment at grade.
  - Massing along the northern facade and the retail frontage was further refined to enhance the pedestrian experience along these frontages.
- PEDESTRIAN CIRCULATION & EASEMENT:**
- A pathway to the south of the easement along the northern facade of the building is proposed as preferred by the Board at EDG2.
  - Lower floor massing modulations are proposed to provide generous planting areas at the pedestrian level providing opportunities for “street trees” and texture at the eye-level.
  - Active amenity spaces continue to be proposed along the length of the northern facade minimizing blank wall conditions where possible in spite of the steep grade change.
  - The lobbies located at the west and east ends of the northern facade serve as active entry points and active interior uses at terminus points of the pathway provided.
- FACADE COMPOSITION & MATERIALITY:**
- The project has simplified the overall facade composition to create a cohesive design language by incorporating refinements such as: applying color consistently to masses, refining the color palette to create less stark contrast and variability, refined soffit detailing, standardizing window configurations, and simplifying the southern facade massing.
  - Larger windows are proposed at the corners matching other proposed windows in size and location for an ordered simplicity.
  - Brick is introduced as a unique material for the retail massing and the amenity pavilion enhancing the pedestrian realm with a high quality textured material at these public locations.
  - The massing around the amenity pavilion is pulled back providing not only enhanced landscape opportunities but enhancing the unique massing of the pavilion itself.





NORTHEAST CORNER MASSING



NORTHWEST CORNER MASSING



NORTHWEST PERSPECTIVE

SUMMARY OF PROPOSAL CHANGES

ADDED PATHWAY: The pathway connects pedestrian traffic on-site from 5th Avenue NE to the East Residential Lobby. (See response 2A)

NORTHERN FACADE MODULATION: To both enhance the pedestrian experience along the easement pathway and to provide relief to the amenity pavilion, the massing along the northern facade has been eroded. The reduction in massing allows for significant plantings areas near the pathway level. (See response 2E)

SIGNAGE: Wayfinding elements such as parapet signage for vehicular traffic and awning and building signage at the pedestrian level have been added to the project to provide visual cues for the multiple entrances. (See response 2F)

RETAIL MASSING: The retail frontage establishes a “bay” rhythm along the 5th Avenue NE streetscape. This pattern is reminiscent of the ordered tower windows configurations. The rhythm of the bays provides a pedestrian scale within the public realm. (See response 3A)

RESIDENTIAL ENTRY: The entry to the West Lobby was brought into the center of the lobby space allowing for a more direct entry into the interior from the exterior plaza. This allows for additional planting area & a separation from the Retail uses of the frontage. (See Response 3A)

SOUTHERN FACADE MASSING: Due to the proximity of the facade to the property line and adjacent structures, the massing along the southern facade was simplified. The unit decks remain, bringing interest to the overall facade. (See Response 3A)

LARGER CORNER WINDOWS: Glazing and configuration has been simplified to provide larger openings in consistent sizing with other windows on the project. Shading elements have been removed as part of the facade simplification. (See response 3D)

AMENITY PAVILION AS “UNIQUE ELEMENT”: The amenity Pavilion is clad in brick with full height storefront glazing oriented toward the easement and 5th Avenue NE. The surrounding massing has been pulled back to highlight this Pavilion as a focal point of the northern massing and the pedestrian experience along the pathway. (See response 3E)



BOARD COMMENTS - MASSING:

- 1a: The Board expressed disappointment that a fourth massing option was not presented but agreed that the revised Option C successfully addressed the concerns identified at the first EDG meeting. (CS2-C2, PL2-III)
- 1b: The Board appreciated the attention paid to the bicycle access and the provision of the multiple bike storage locations. (PL4-B)
- 1c: The upper massing form was generally supported, and no additional massing changes were recommended. (DC2-A)
- 1d: The Board also supported the treatment of the ground level on the east façade as related to the grade change. (CS1-C, PL3-B2)

RESPONSE: Proposal continues to propose the bicycle room locations, the upper level massing, and the treatment of the ground level of the east façade as shown at the EDG 2 meeting. Due to a review of the recent changes to the bicycle zoning codes, additional biking stalls are required beyond what was presented at the EDG2. To accommodate the additional stalls, the bike room along 5th Avenue NE was enlarged, and additional rooms were added to the first level.

BOARD COMMENTS - PEDESTRIAN CIRCULATION & EASEMENT:

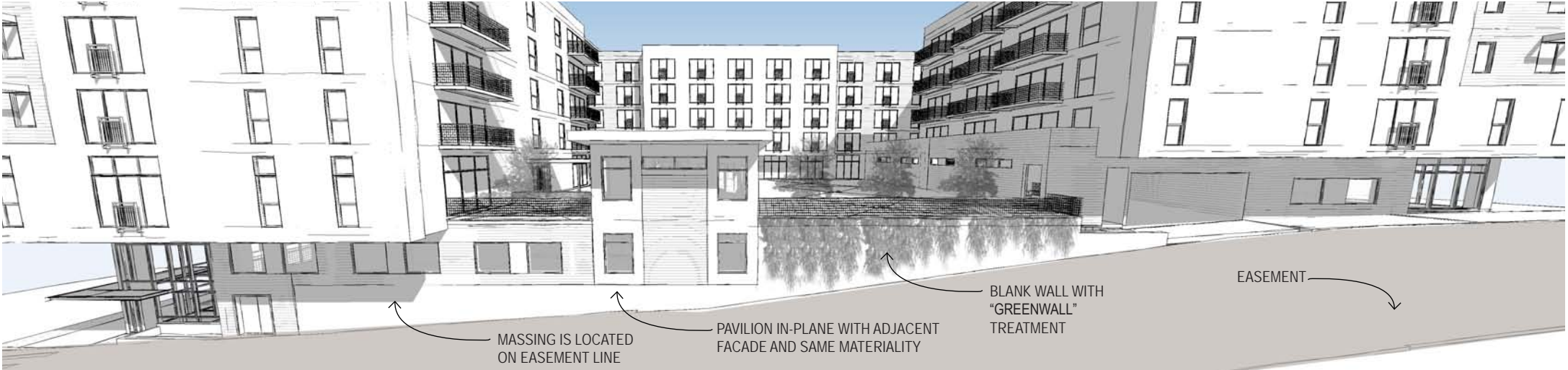
- 2A: The Board discussed the applicant's preferred site plan which provides pedestrian access only on the north side of the access easement and the additional option studied which includes a sidewalk on the southern side of the easement. The Board agreed that the sidewalk on the north side of the easement wasn't necessarily successful and expressed majority support for providing a sidewalk on the southern side of the access easement. (PL1-B, PL1-II)

RESPONSE: A pathway to the South of the easement along the Northern edge of the building has been incorporated into the proposed massing. The lower massing along the entire façade has been setback from the easement line in order to provide a pathway. In addition, major massing modulations have been incorporated into the lower massing to erode the courtyard walls and bring landscaped areas to eye level from grade for enhancement of the pedestrian experience. A walking surface is provided from 5th Avenue NE to the East Lobby entrance. The pathway will be immediately adjacent to the brick massing of the Amenity Pavilion and the concrete wall at the East end of the site. The façade along the pathway is eroded away at each side of the Amenity Pavilion to bring down the scale of the building and provide landscaping interest.

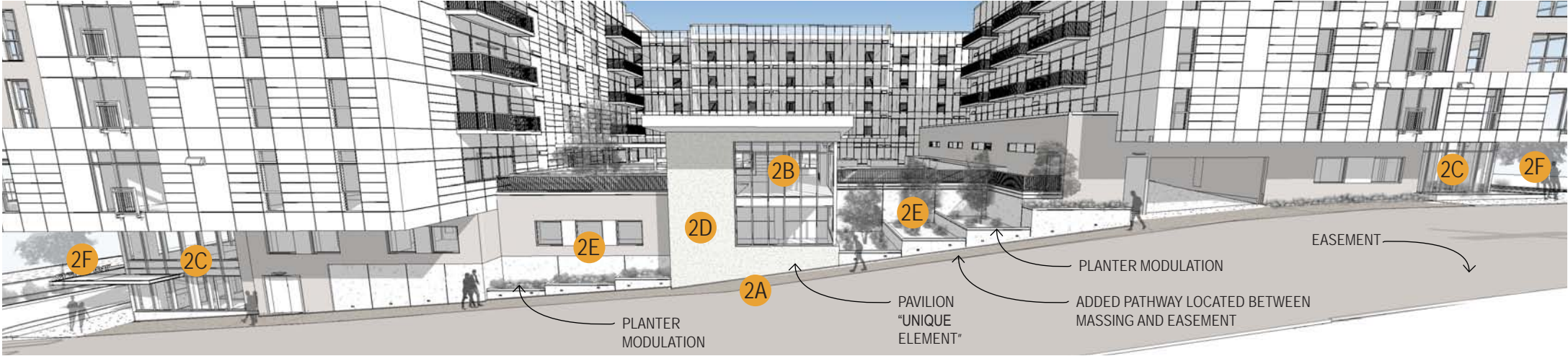
- 2B: The Board supported the rearrangement of interior uses along the easement and agreed that this programming and activation should be maintained as the sidewalk along the south side of the easement is included. (PL3-II)

RESPONSE: The project proposes to place active amenity spaces along the easement. At the East end, a double height lobby is proposed which engages the North-South pedestrian pathway and looks out directly to the easement area to the North. This double height space has an internal overlook from the second floor which provides additional interactions between the exterior ground level and interior spaces. The first story is entirely exposed at the East lobby and full height glazing is provided, but the first story quickly becomes subterranean as the easement grade rises to toward the West. At the second floor, a fitness area is provided along the easement. This is a long and narrow interior space, placing the active uses of the room near the façade and windows. At the center of the Level 3 courtyard, an Amenity Pavilion is provided with direct views to the North and West. A portion of the fitness room occupies the Level 2 area of this pavilion modulation, also with views to the West. At the West end of the easement, the 5th Avenue lobby and leasing office have views to the North as well as toward 5th Avenue.

DESIGN RESPONSE: MASSING & PEDESTRIAN CIRCULATION & EASEMENT



EDG2: VIEW OF NORTH FACADE ALONG EASEMENT



RECOMMENDATION: VIEW OF NORTH FACADE ALONG EASEMENT

- 2C: The Board also supported the lobbies on each end of the access easement which successfully respond to the grade change. (CS1-C, PL3-II)

RESPONSE: The project continues to propose lobbies at each end of the easement as shown and supported by the Board at the EDG2 meeting.

- 2D: The Board provided guidance to further develop the pedestrian character of the easement through textured, high quality treatment of the building face. The Board agreed that a green wall was not likely to be a successful solution in this location. (PL3-I, DC2-B2)

RESPONSE: The project proposes a varied use of materials along the easement facing façade in order to enhance the pedestrian environment. The use of a high-quality, wood textured metal horizontal siding along at the west and east lobby facades and along the level 2 story at the fitness area is proposed. The Amenity Pavilion, which is a highlight of the mid-block pedestrian experience, features brick veneer, storefront glazing, wood soffit, and exposed structural elements. To enhance the pedestrian experience and bring a human scale to the facade, lower massing setbacks are provided to create opportunities for planting areas in front of concrete walls. These planters break down the scale of the walls and provide a textured greenspace and street trees at the pedestrian level. A greenwall is no longer proposed.

- 2E: The Board discussed other options for enhancing the pedestrian character of the easement area including textured paving, lighting, landscaping and speed humps. The applicant could also step the sidewalk rather than providing a continuous ramp. (PL3-I)

RESPONSE: The easement area has shared legal ownership with the other adjacent properties making changes to the easement surface itself (such as adding specialty pavement, speed bumps, or landscape area within the easement) not possible. However, other strategies to enhance the pedestrian experience can be incorporated on the south side of the easement line. The project proposes to significantly set back the massing between the Amenity Pavilion and the retail garage providing an opportunity to plant "street" trees. The massing also setbacks East of the Amenity Pavilion to provide landscaping adjacent to the sidewalk. Lighting is proposed to highlight the plantings and architectural features along the façade.

- 2F: The Board agreed that signage and wayfinding elements would be important for guiding pedestrian circulation throughout the block. (PL2-D1, PL1-II)

RESPONSE: Signage for the residential tower will be integrated into the West Lobby entrance along 5th Avenue and within the awning elements at East Lobby providing clear wayfinding markers for the building's tenants and visitors. Please refer to exhibit sheets later in the packet.

- 2G: At the Recommendation phase the Board would like to review detailed pedestrian perspective views of the access easement area. (PL3-I, PL1-II)

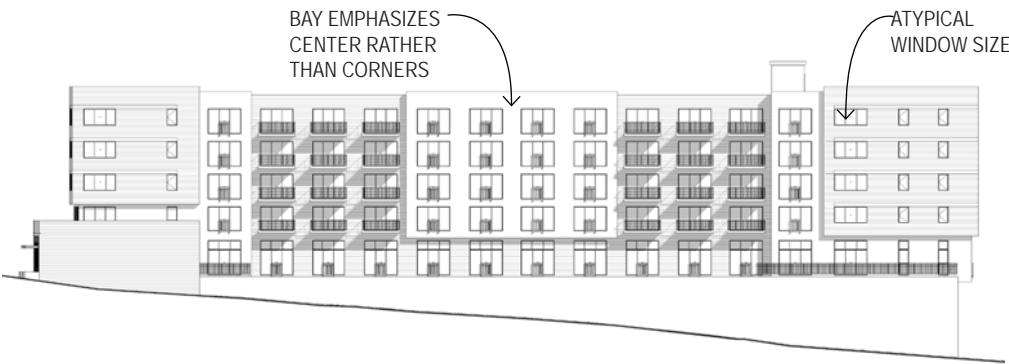
RESPONSE: Multiple pedestrian perspectives have been provided to document the development of the easement area. Please refer to exhibit sheets later in the packet.



BOARD COMMENTS - FACADE COMPOSITION & MATERIALITY:

3A The Board agreed that the massing was over-articulated and provided guidance to simplify the composition and utilize a cohesive design language on all facades. The concept of creating textured insets as indicated in the precedent image on page 36 of the packet was supported. (DC2-B1)

RESPONSE: The project has simplified the overall façade composition to create a cohesive design language with refinements to these main areas: Tower secondary features and materials, Retail Frontage, and West Lobby Entry.



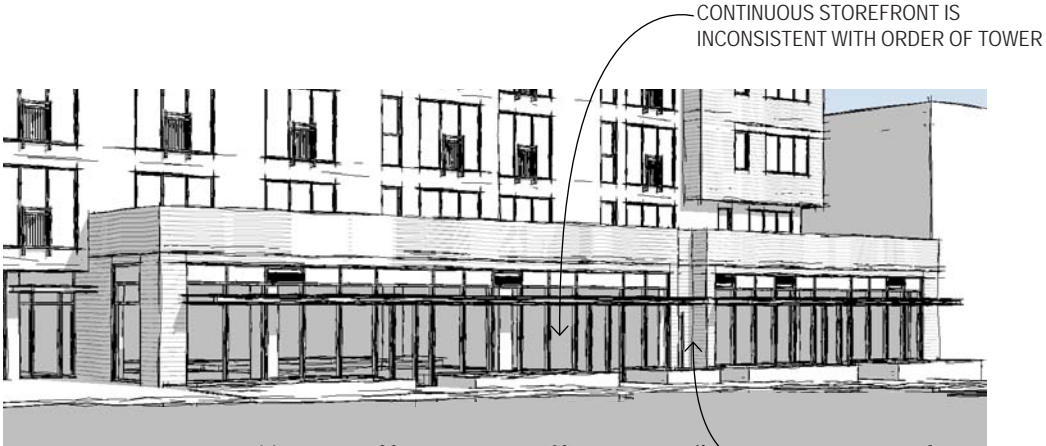
EDG2: SOUTHERN FACADE



RECOMMENDATION: SOUTHERN FACADE

**TOWER SECONDARY FEATURES AND MATERIALS:** The textured corner insets and articulation remain in the proposal as supported. Below are refinements made to the overall façade composition:

- Color is consistently applied at each massing “box” to reinforce the massing gestures. The “fin” is eliminated at the courtyard to provide a clear articulation of the “box” massing.
- Colors similar to what was proposed at the EDG2 are used, though the gray is lighter and the white darkened to lessen the stark contrast allowing the overall façade to be more balanced, not favoring one massing over the other and allowing the corner modulations and materiality to dominate.
- Soffiting is proposed to match the massing above in coloring and materiality to create a clear articulation of the massing “boxes”. The gray “boxes” are lowered slightly so that a flush color transition may be avoided where massings intersect.
- Along the Southern elevation, the center bay massing is eliminated in favor of extending the length of the white “boxes”, giving the overall façade a better proportionality and the end “boxes” more significance in continuity with the Northern half of the structure. Facade interest is achieved with ordered deck stacks. A few unit stacks are without decks in order to bring additional daylight opportunities to the lower levels in this area.



EDG2: RETAIL FRONTAGE

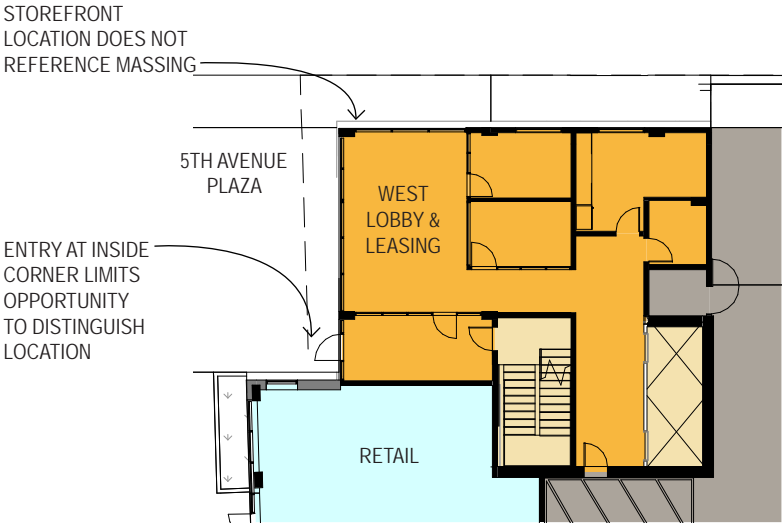


RECOMMENDATION: RETAIL FRONTAGE WITH BAYS

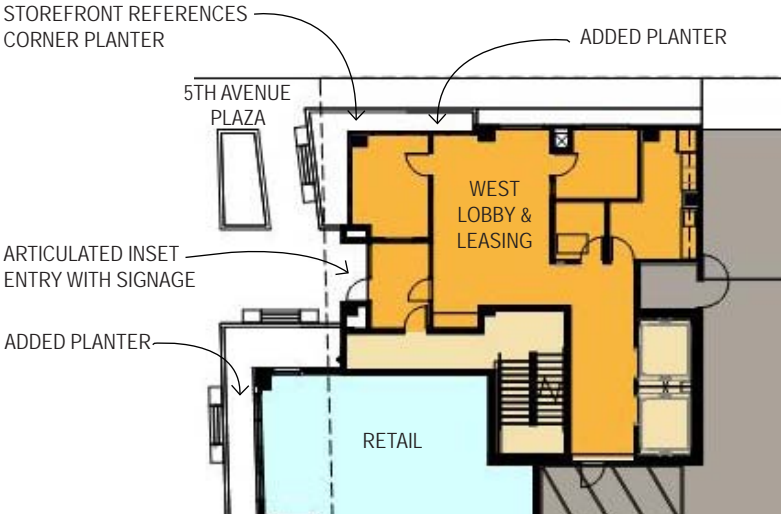
**RETAIL FRONTAGE:** A rhythm to the overall street façade (in lieu of a continuous storefront glazing façade as shown at EDG2) is proposed with the following refinements:

- The retail massing is divided into (7) equal parts. Every other division is inset for the retail entry locations. Although this rhythm does not have a direct modulation relationship to the tower, the order the divisions provide is reminiscent of the window order above.
- The project proposes to use a brick material matching the brick proposed at the amenity pavilion along the retail frontage instead of the boardform concrete proposed at EDG2. By using the brick at this location, we achieve color and material continuity and cohesion with the overall building palette while still proposing something that is special at the pedestrian level to distinguish retail from residential uses.
- The retail pedestrian garage/bike room entry along 5th Avenue is integrated into the overall pattern of the façade and storefront system, eliminating the disruptive massing change at a secondary door location presented at EDG2.
- The bio-planters along the facades are reconfigured to support the ordered divisions and insets.

DESIGN RESPONSE: FACADE COMPOSITION & MATERIALITY



EDG2: WEST LOBBY PLAN



RECOMMENDATION: WEST LOBBY PLAN

**WEST LOBBY ENTRY:** In order to create clear residential entry distinct from the retail frontage and to fully engage the residential entry with the 5th Avenue Plaza space, the following refinements are proposed at the West Lobby location:

- Shift entry North away from the inside corner.
- Added planter at the NW corner around the leasing office. This planter provides a continuation of the planter rhythm occurring along 5th Ave as well as provides a clean location for storefront window termination at the North elevation.
- Added planter between the North retail wall and the residential entry acts as a buffer area between the two uses.
- The attached awning at the residential entry is eliminated as this element adds to compression of the story underneath the tower massing. Instead, a recess entry area is provided and weather protection is achieved by the tower massing overhang. The recess serves to further distinguish the entry from the retail frontage and the corner.
- Pedestrian oriented signage is proposed as part of the recess composition to mark the entry.



**3B** The Board expressed initial support for the schematic material palette and strongly encouraged the use of textured materials (DC2-B1, DC4-D2)

RESPONSE: The project proposes a similar palette of materials as shown and supported by the Board at the EDG2 meeting. At ground levels, brick masonry and a metal “wood” lap siding are proposed. Both of these materials are high quality and provide texture and variation within the pedestrian realm. The tower massings are proposed to be cement board panels with metal reveals painted to match adjacent façade colors. Each building corner is emphasized with the metal “wood” lap siding, bringing a textured material to the upper levels and a material connection to the lower massing.

**3C** The Board also supported the indicated use of accent color and encouraged consistent application throughout the structure. (DC2-B1)

RESPONSE: The project proposes to eliminate the accent color proposed at EDG2. The use of an accent color complicates the massing articulation and is contrary to the guidance of creating a cohesive design. We can achieve a clear articulation of massing with the use of the two main body colors (gray and white) and the use of metal “wood” provides an appropriate accent and relief.

**3D** The Board recommended the use of larger windows at the building corners. (DC2-B1)

RESPONSE: Larger windows are proposed at the corners that are similar in size and styling to the main window treatments provided on the main facades contributing not only to providing additional light and air to the units but the overall façade consistency of composition.

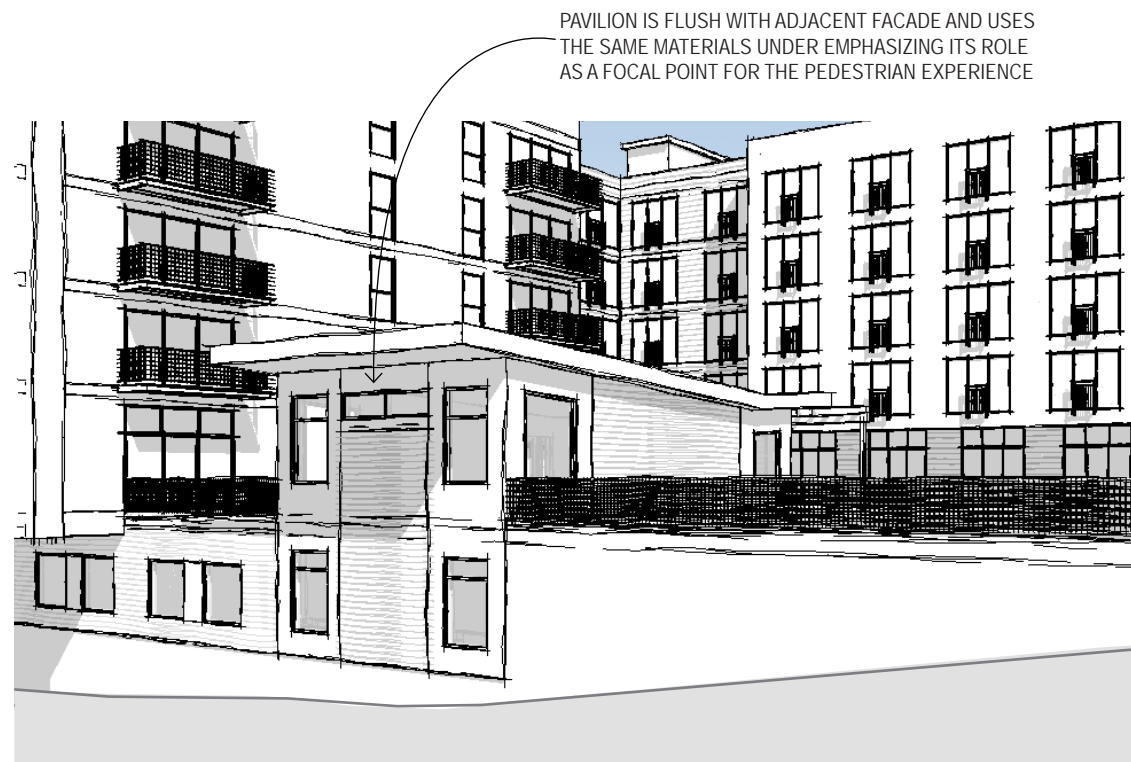
**3E** The Board provided guidance to develop a special façade treatment for the amenity pavilion within the courtyard and distinguish it as a unique element. (DC2-B1)

RESPONSE: Instead of integrating the amenity pavilion into the overall Northern façade treatment as proposed at the EDG2 meeting, a masonry material and unique glazing configuration treatment for the amenity pavilion is proposed. The massing of the courtyard to either side of the amenity pavilion is pushed south allowing the amenity pavilion a prominence, emphasizing the pavilion's unique placement and use. The lower story massing setback west of the pavilion is significant enough for the pavilion to become a major focal element within the center of the site, not only from a tenant perspective at the level 3 courtyard, but for pedestrians at the street level. This shift in massing allows the pavilion structure to gesture equally towards the north and west engaging the easement area and creating a dynamic view between the amenity uses and the pedestrian realm.

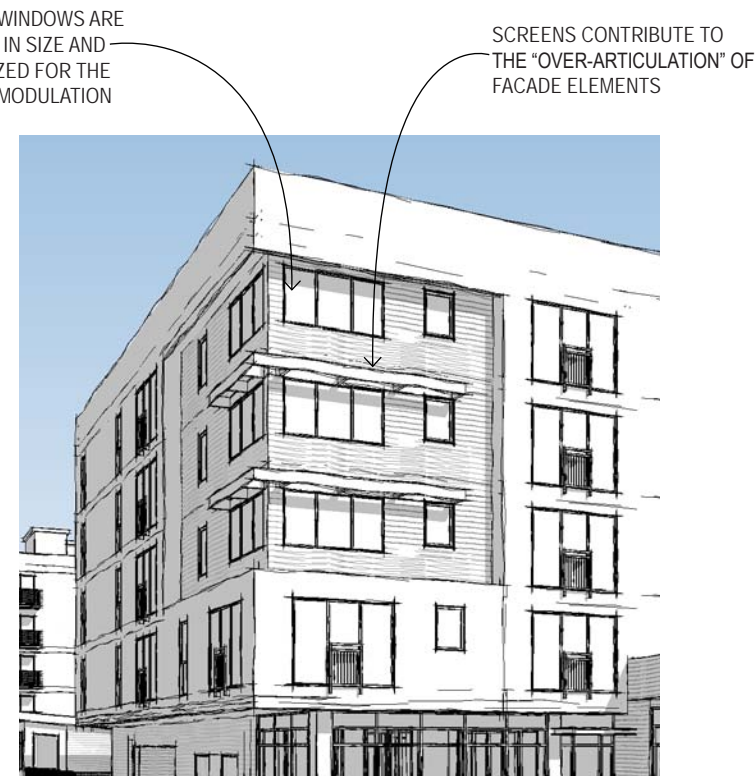
**3F** The Board recommended further incorporation of balconies as the façade composition is refined. (DC2-C)

RESPONSE: The project continues to provide balcony locations within the courtyard, along the South elevation, and at the lower level units along the East façade.

## DESIGN RESPONSE: FACADE COMPOSITION & MATERIALITY



EDG2: AMENITY PAVILION PERSPECTIVE



EDG2: CORNER WINDOW CONFIGURATION AND SCREENING

USE OF BRICK BRINGS A PEDESTRIAN SCALE MATERIAL ADJACENT TO PATHWAY

ADDED MASSING MODULATIONS EMPHASIZE PAVILION AS A UNIQUE ELEMENT



RECOMMENDATION: AMENITY PAVILION MODIFIED FACADE TREATMENT AND MASSING MODULATION

SIMPLIFIED FACADE ELEMENTS WITH WINDOWS MATCHING THE REST OF THE FACADE IN CHARACTER AND SIZE



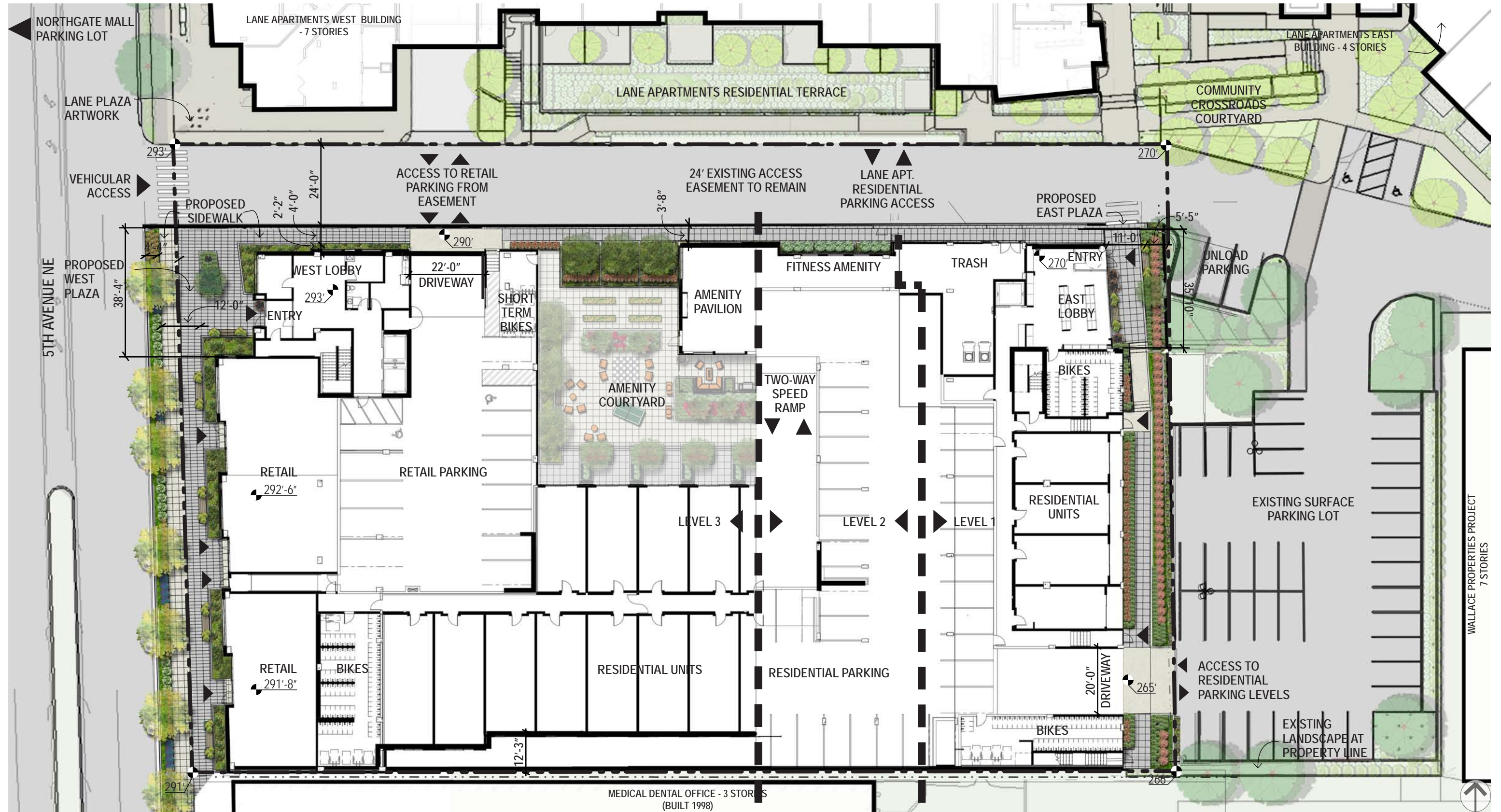
RECOMMENDATION: LARGER CORNER WINDOWS





(BASE IMAGE FROM WALLACE PROPERTIES - DRB PACKET)





COMPOSITE SITE PLAN

Northgate Apartments Phase II  
10712 5th Ave NE Seattle, WA 98125

Goodman Real Estate

Recommendation Meeting  
August 26, 2019













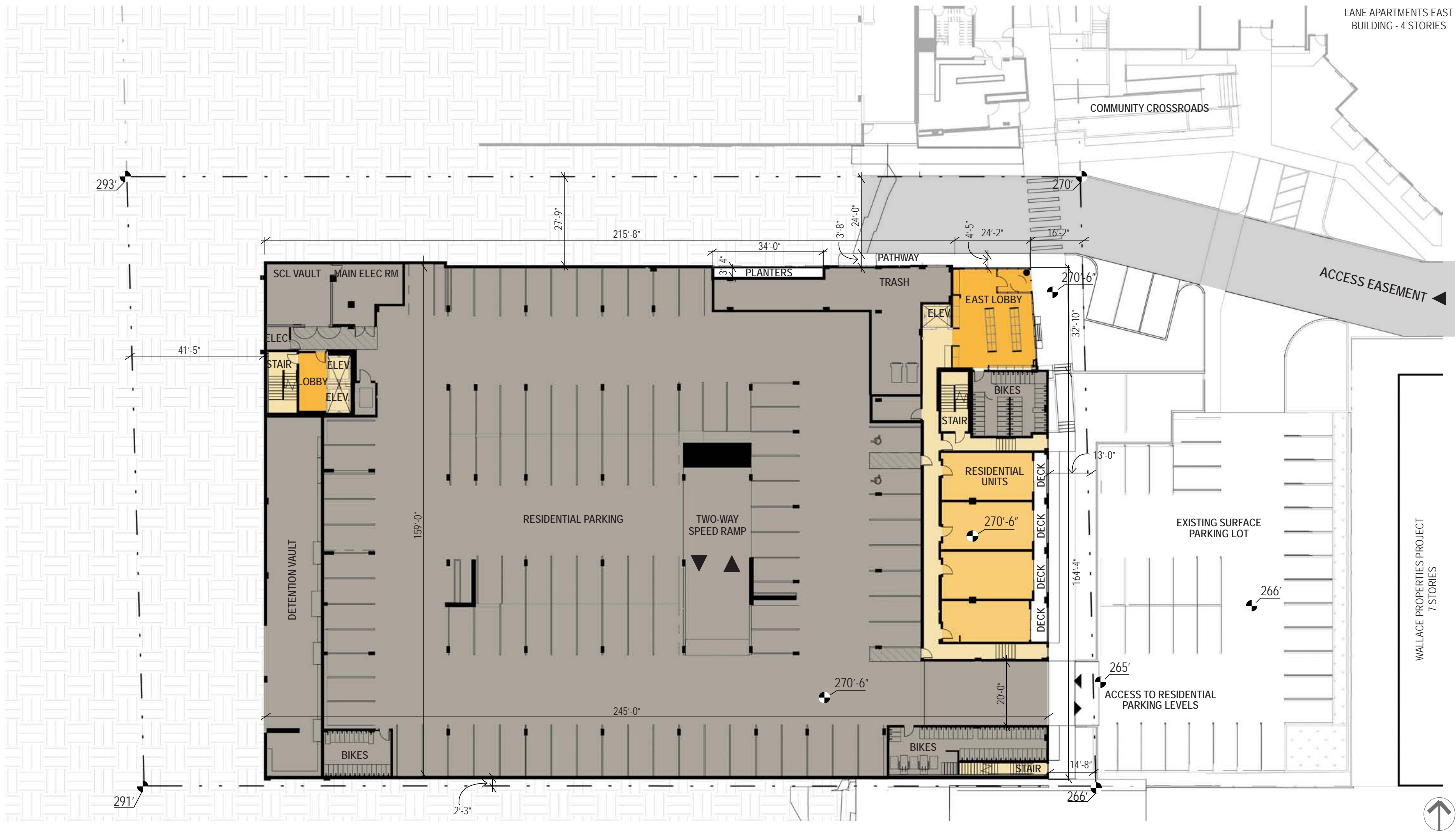






PLANS: LEVEL 1 (PARKING, PARTIAL BELOW GRADE)

- LEGEND
- AMENITY
  - RESIDENTIAL
  - CIRCULATION
  - COMMERCIAL
  - UTILITY



LEVEL 1 FLOOR PLAN

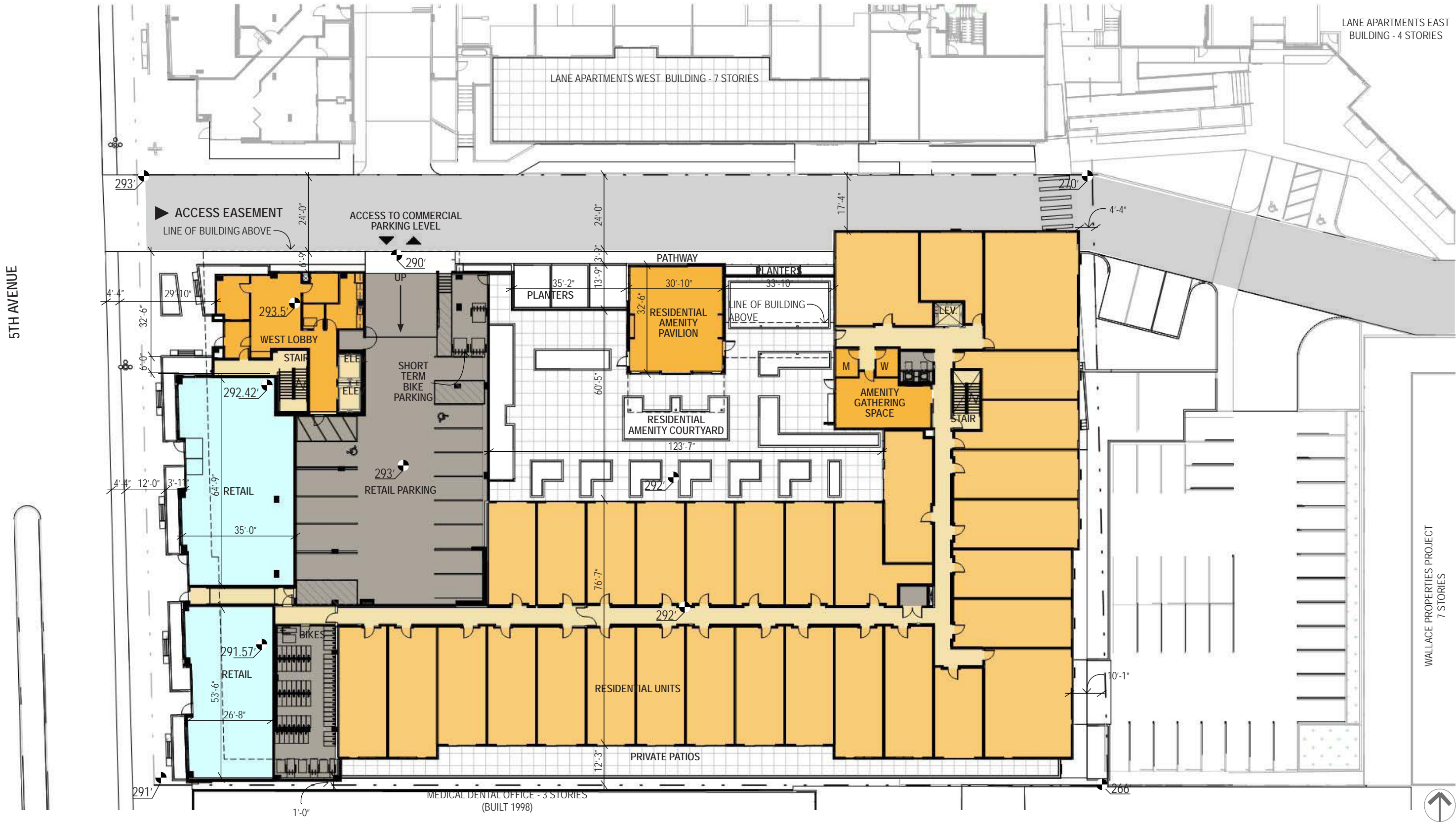


PLANS: LEVEL 2 (PARKING, PARTIAL BELOW GRADE)



LEVEL 2 FLOOR PLAN

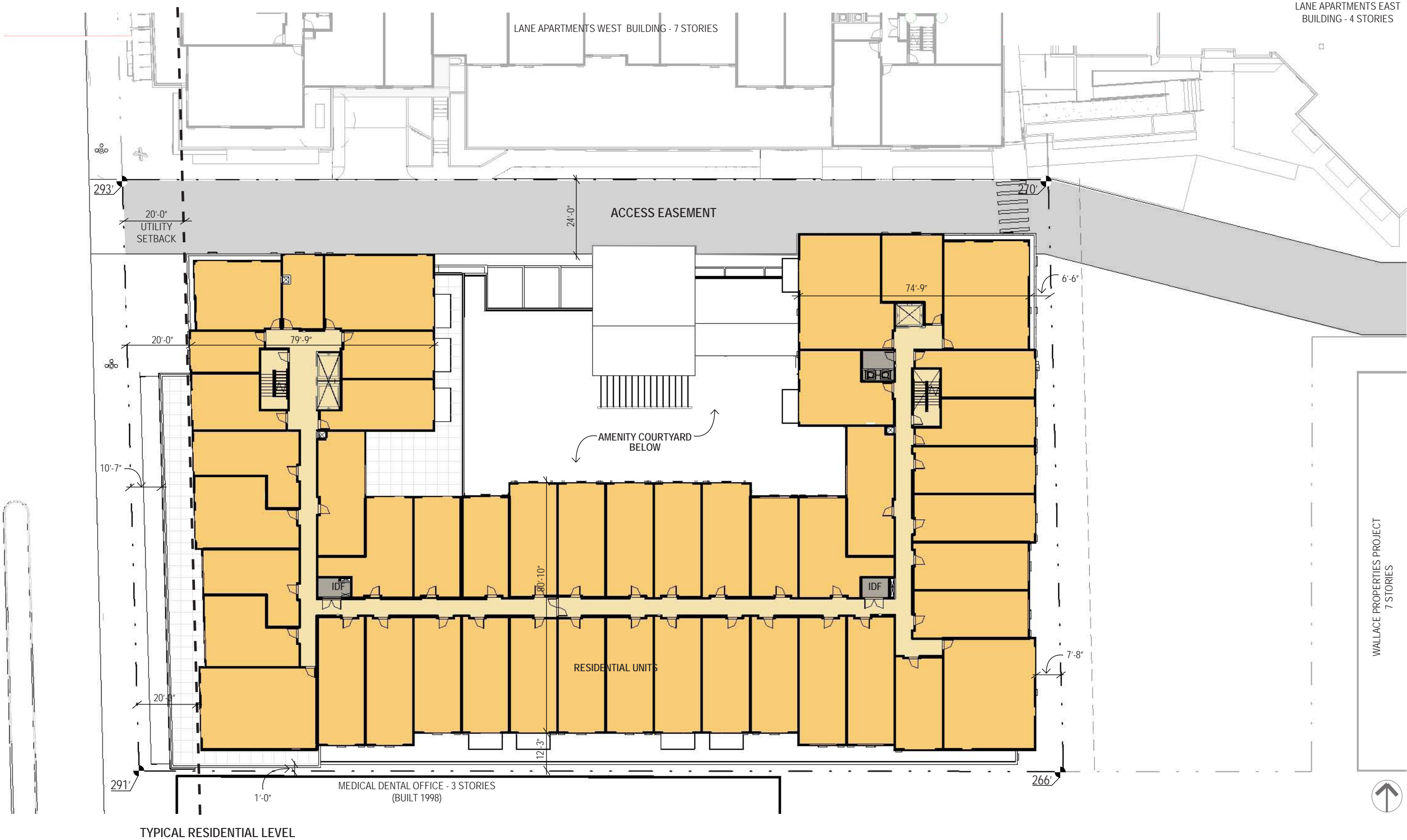




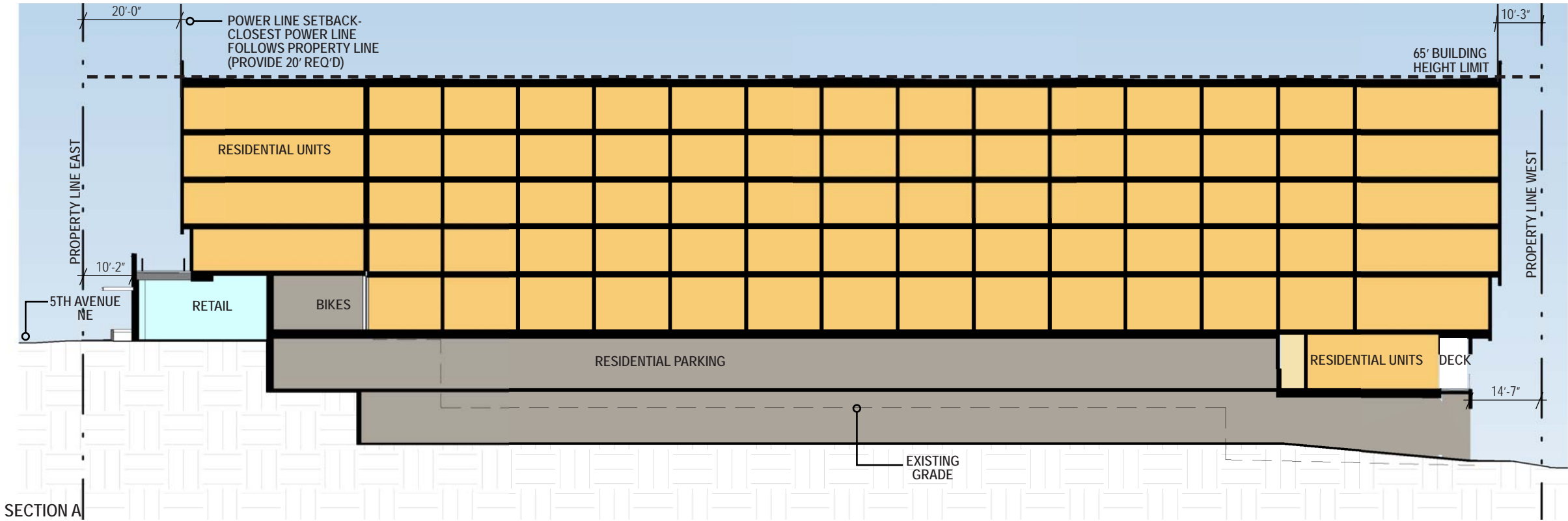
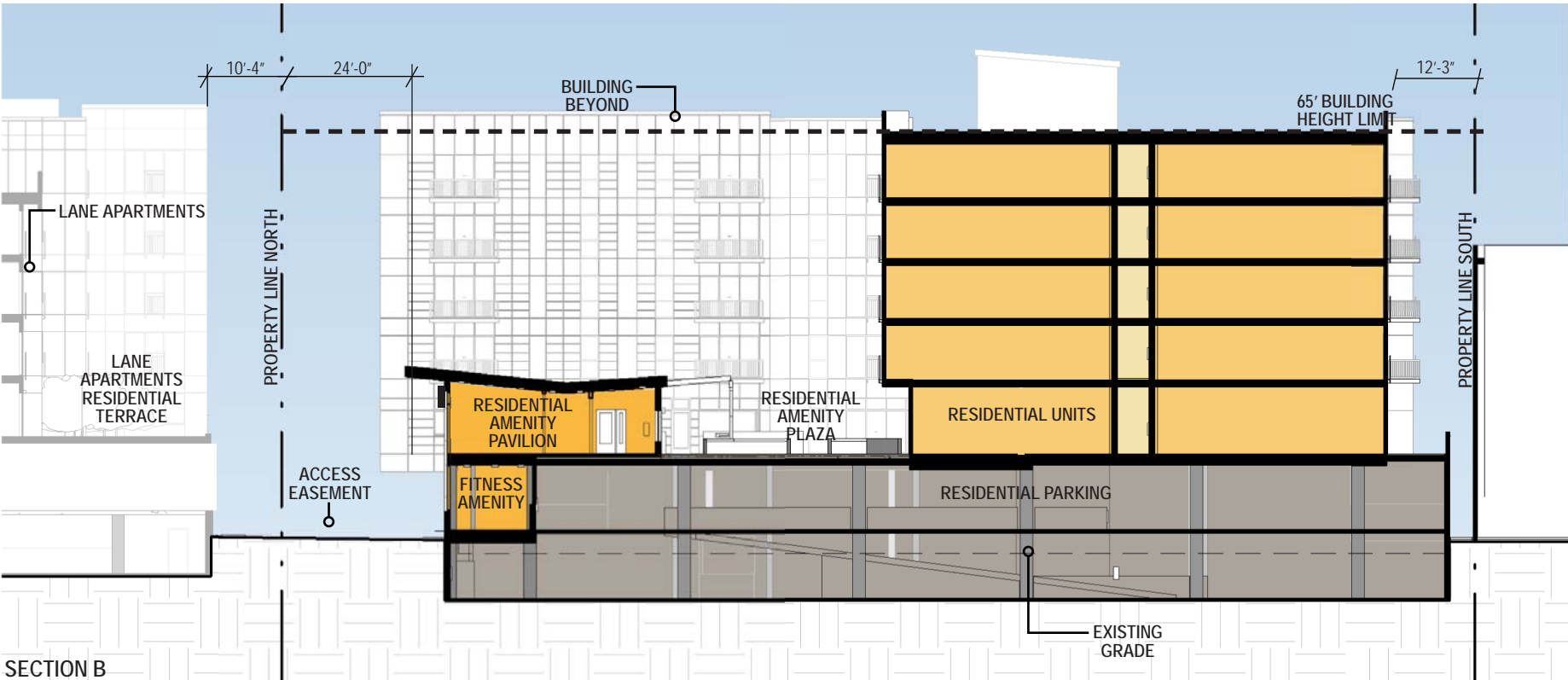
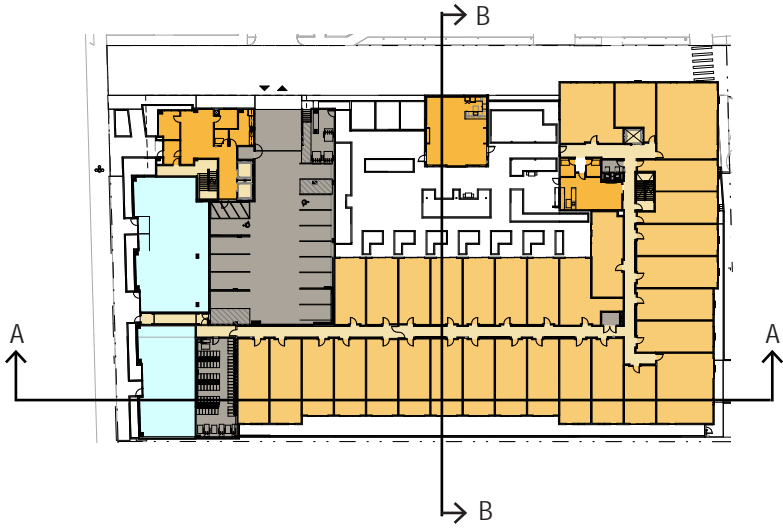
LEVEL 3 FLOOR PLAN



PLANS: LEVELS 4-7 (TYPICAL TOWER)









## LANDSCAPE PLAN AND CONCEPT





## PLANT & AMENITY CHARACTER IMAGES



DWF FOUNTAIN GRASS



RED FLOWERING CURRANT



CAREX



DWF NANDINA



FEATHER REED GRASS



EDDIE'S WW DOGWOOD



FOREST GREEN OAK



ANGELINA STONECROP



KNOCKOUT ROSE



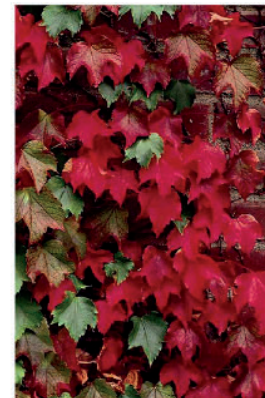
BLACK MONDO GRASS



LAVENDER



DAY LILLY



BOSTON IVY



GREEN ROOF SEDUM MIX



KELSEY DOGWOOD



DEER FERN



PRIVOT HONEYSUCKLE

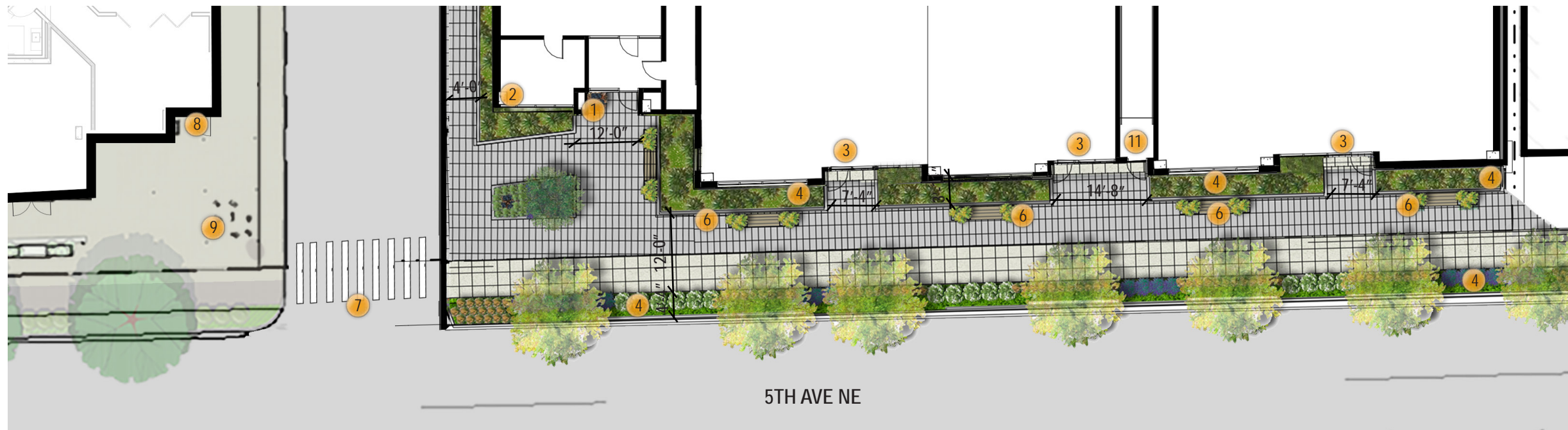


AMENITY CHARACTER IMAGES





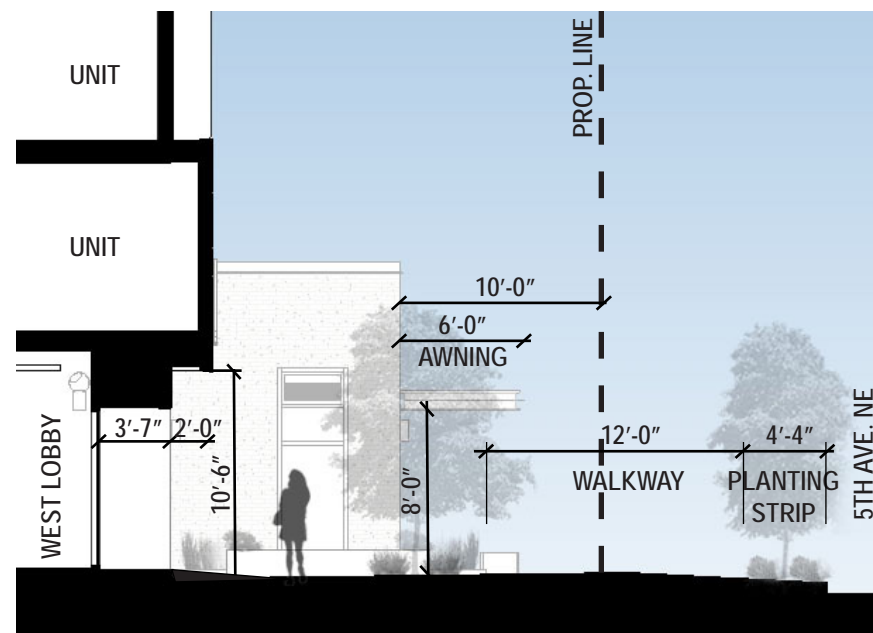
5TH AVENUE LOBBY PLAZA PERSPECTIVE



5TH AVENUE STREETSCAPE PLAN

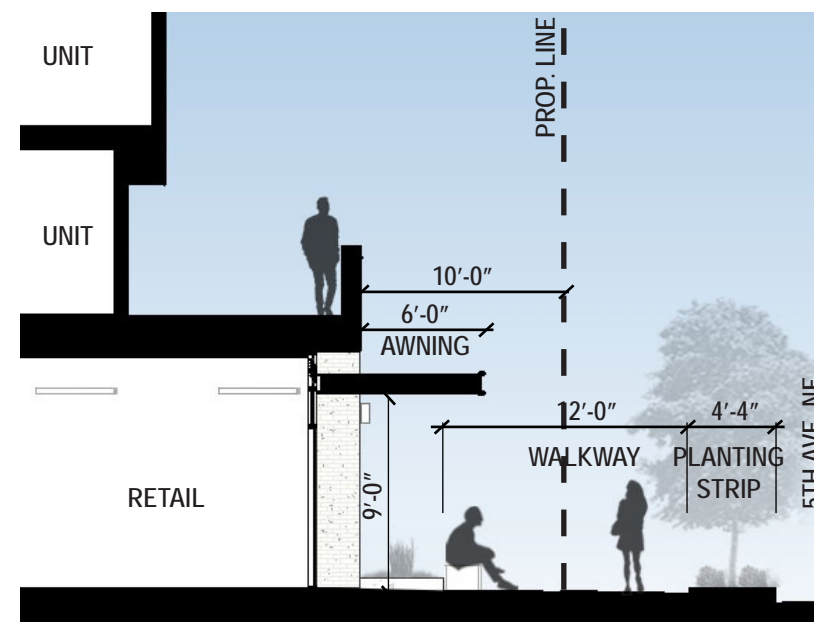
- 1 RESIDENTIAL WEST LOBBY ENTRY
- 2 STOREFRONT VIEW INTO LEASING
- 3 RETAIL ENTRY
- 4 5TH AVE NE PLANTERS
- 5 RESIDENTIAL TERRACE
- 6 BENCH SEATING
- 7 EASEMENT VEHICULAR ENTRY
- 8 LANE APARTMENTS LEASING OFFICE AND LOBBY
- 9 LANE APARTMENTS ARTWORK
- 10 RESIDENTIAL TOWER SIGNAGE
- 11 ACCESS TO RETAIL PARKING & LONG TERM BIKE ROOM





SECTION AT WEST LOBBY RESIDENTIAL ENTRY

- 1 RESIDENTIAL WEST LOBBY ENTRY
- 2 LEASING OFFICE
- 3 WEST PLAZA
- 4 PEDESTRIAN SCALE LIGHTING
- 5 BENCH SEATING
- 6 5TH AVENUE NE PLANTERS
- 7 RESIDENTIAL TERRACE
- 8 RETAIL SPACE
- 9 RESIDENTIAL TOWER SIGNAGE



SECTION AT TYPICAL RETAIL ENTRY

- 1 PEDESTRIAN SCALE LIGHTING
- 2 BENCH SEATING
- 3 5TH AVENUE NE PLANTERS
- 4 RESIDENTIAL TERRACE
- 5 RETAIL ENTRY
- 6 RETAIL SIGNAGE

## 5TH AVENUE NE STREETSCAPE



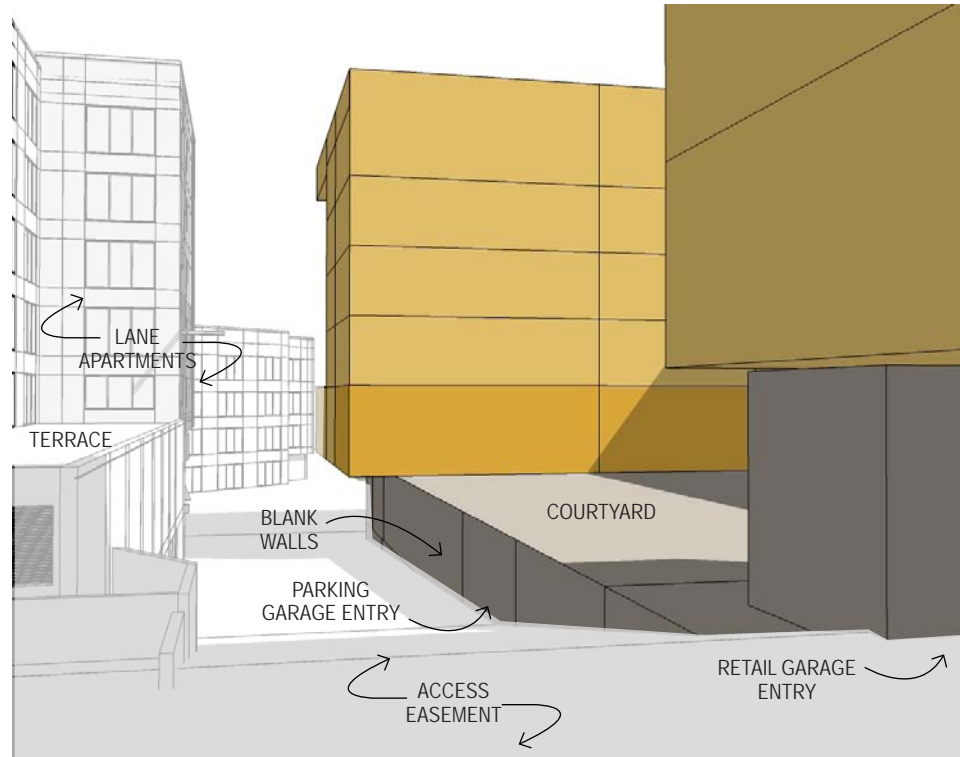
WEST LOBBY RESIDENTIAL ENTRY



RETAIL ENTRIES AND 5TH AVENUE STREETSCAPE



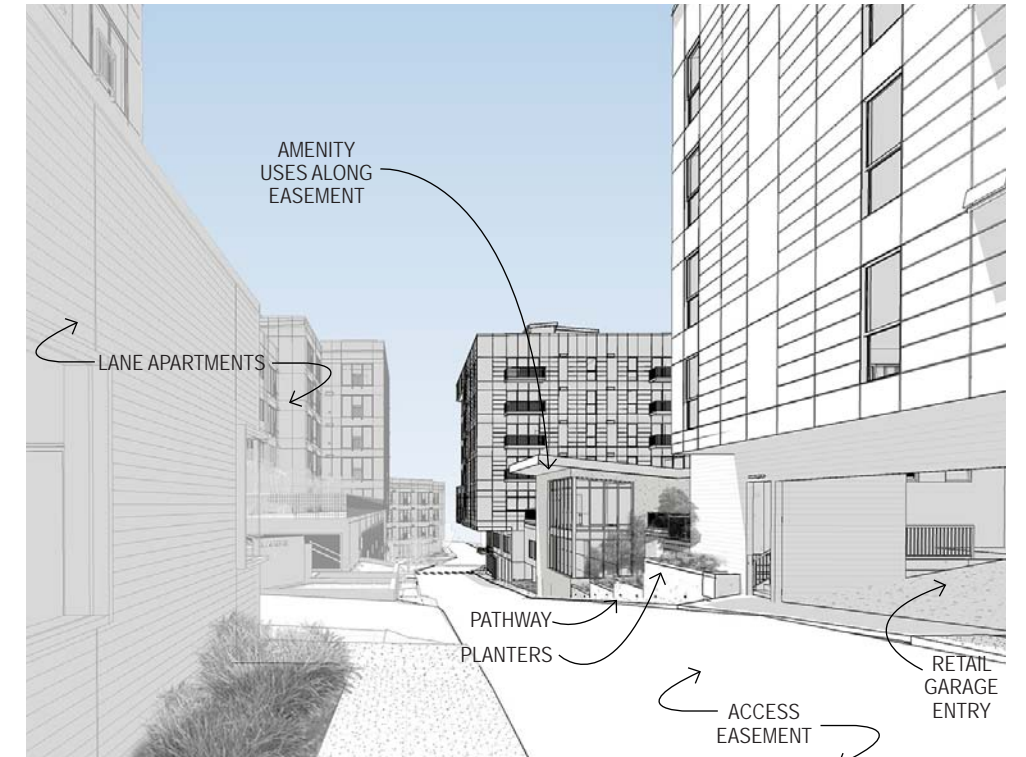
# EASEMENT: EVOLUTION SUMMARY



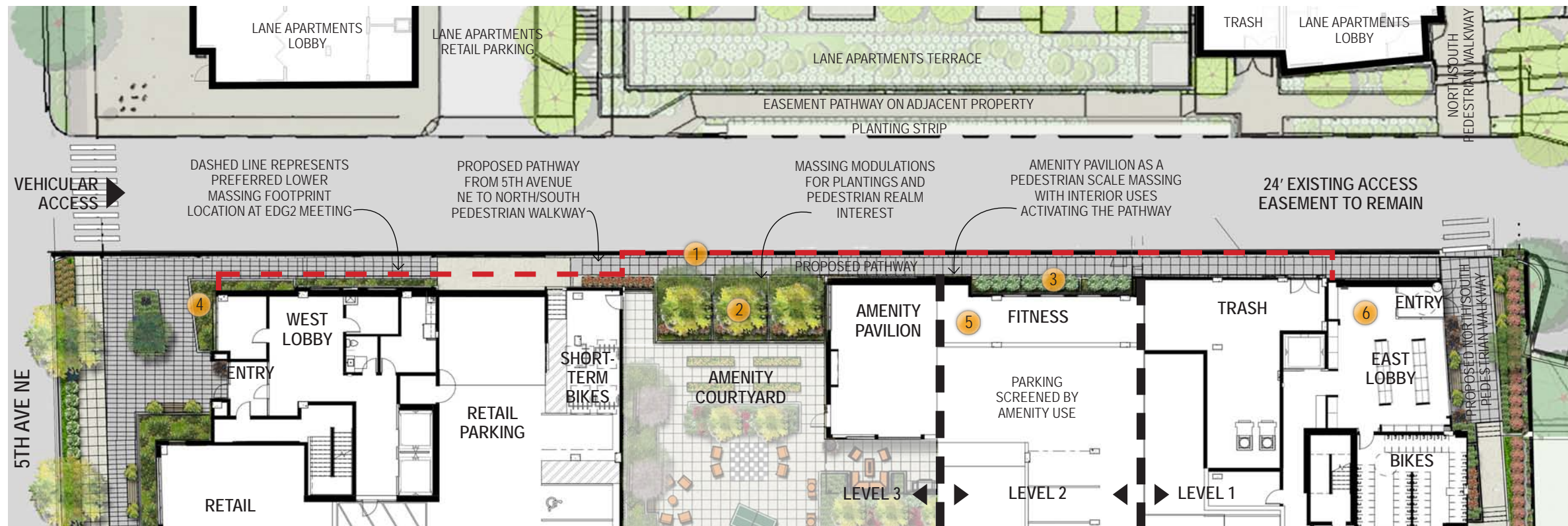
EDG 1: VIEW TRAVELING EAST ALONG EASEMENT



EDG 2: VIEW TRAVELING EAST ALONG EASEMENT



RECOMMENDATION MEETING PROPOSAL: VIEW TRAVELING EAST ALONG EASEMENT



PROPOSED PATHWAY PLAN & EVOLUTION

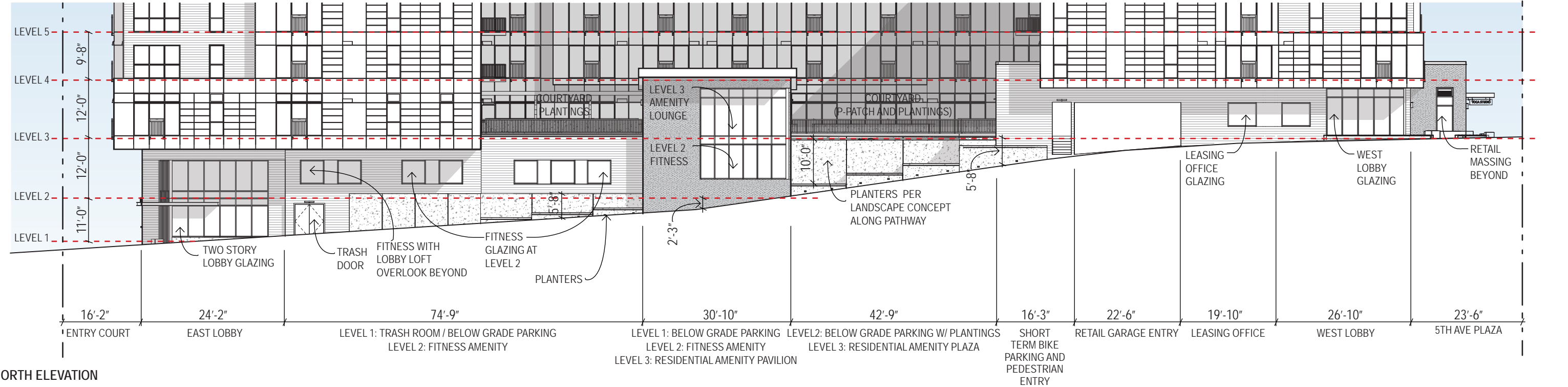
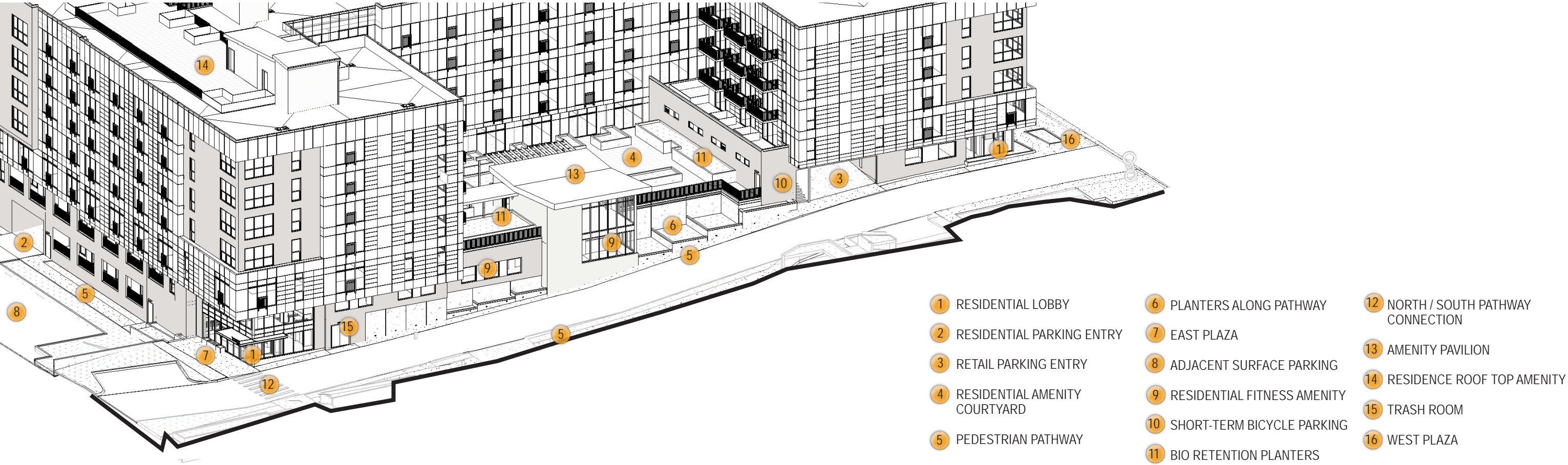
## EDG2 BOARD COMMENTS ON PATHWAY SUMMARY:

The Board supported an alternate plan option to provide a pathway along the southern edge of the access easement and to further the development of the pedestrian experience along this facade.

## SUMMARY OF CHANGES AND FEATURES:

- 1 ADDED PEDESTRIAN PATHWAY ALONG EASEMENT
- 2 ADDED MODULATION ALLOWING "STREET TREES"
- 3 ADDED MODULATION ALLOWING PLANTINGS
- 4 ADDED PLANTER AT WEST LOBBY WRAPS CORNER TO NORTH
- 5 AMENITY USES REMAIN LOCATED ALONG EASEMENT
- 6 TWO-STORY EAST LOBBY REMAINS AT EAST END

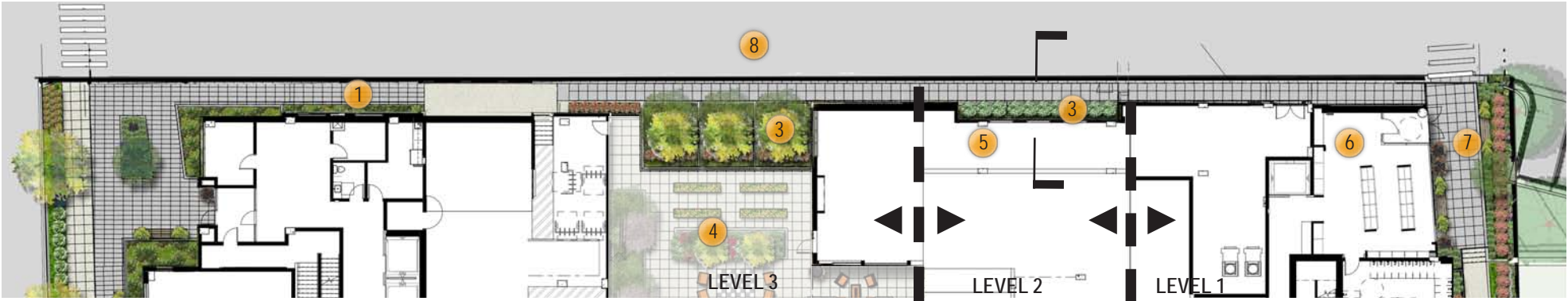




NORTH ELEVATION



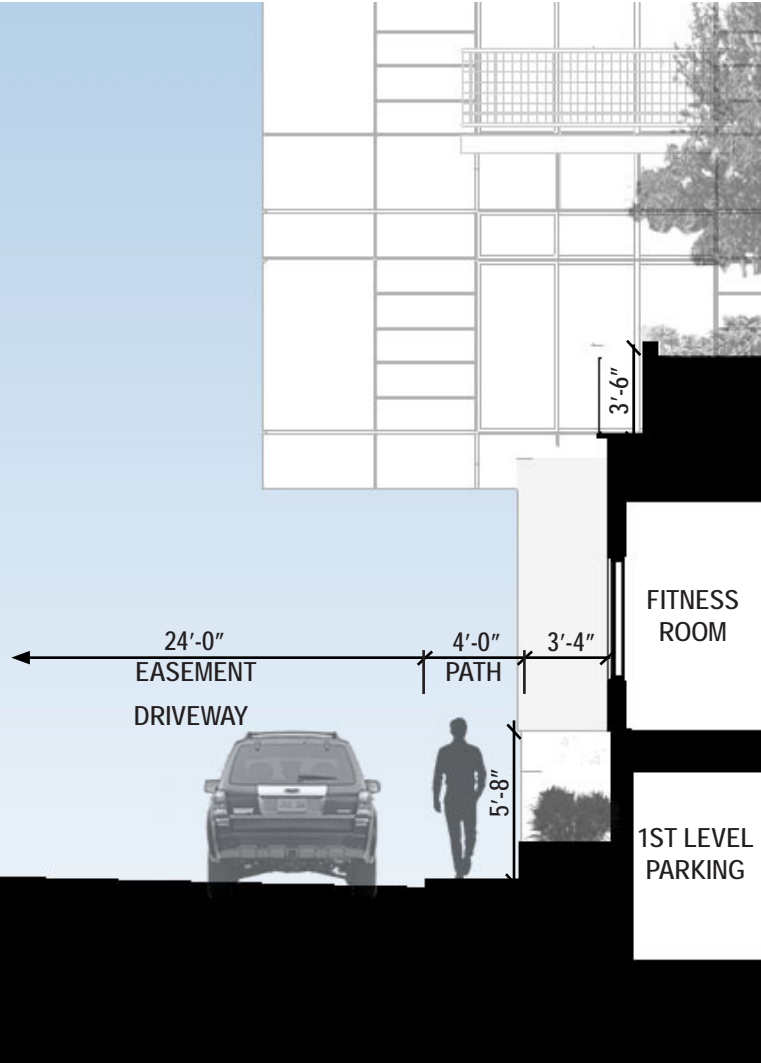
PEDESTRIAN EXPERIENCE ALONG EASEMENT PATHWAY



- 1 PEDESTRIAN PATHWAY
- 2 PEDESTRIAN PATH STEP LIGHTING
- 3 PATHWAY PLANTERS
- 4 RESIDENTIAL AMENITY COURTYARD
- 5 FITNESS ROOM
- 6 RESIDENTIAL 2-STORY EAST LOBBY
- 7 EAST PLAZA
- 8 EASEMENT DRIVEWAY
- 9 UNIT DECK



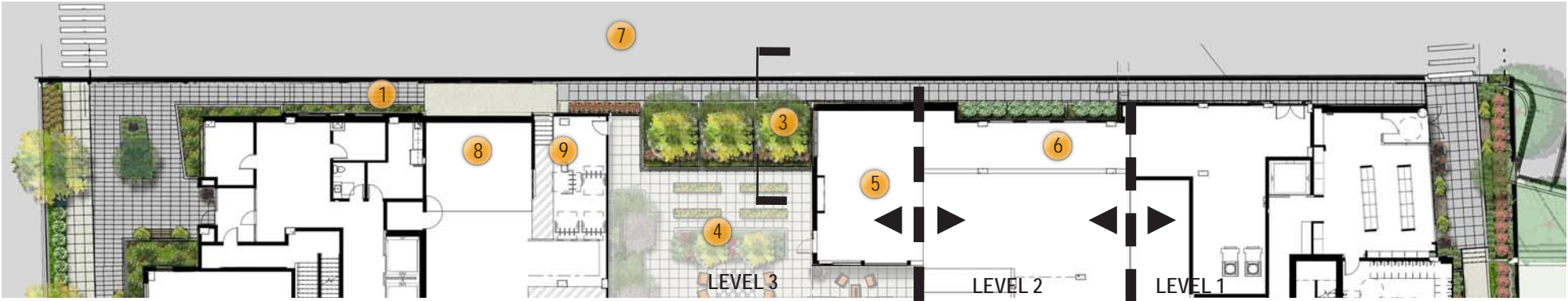
NORTH FACADE AT EAST LOBBY AND FITNESS AMENITY



SECTION AT PATHWAY AND PLANTERS



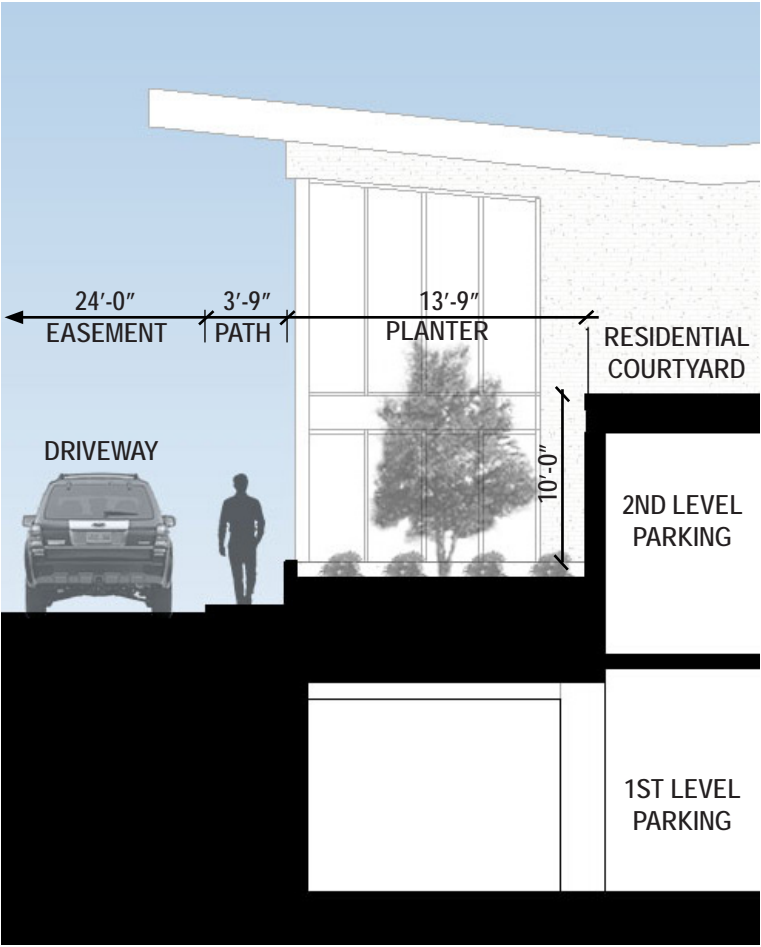
PEDESTRIAN EXPERIENCE ALONG EASEMENT PATHWAY



- 1 PEDESTRIAN PATHWAY
- 2 PEDESTRIAN PATH STEP LIGHTING
- 3 PATHWAY PLANTERS
- 4 RESIDENTIAL AMENITY COURTYARD
- 5 AMENITY PAVILION
- 6 FITNESS ROOM
- 7 EASEMENT DRIVEWAY
- 8 RETAIL GARAGE ENTRANCE
- 9 SHORT TERM BIKE AREA ACCESS



NORTH FACADE AT AMENITY PAVILION & PLANTER SETBACK

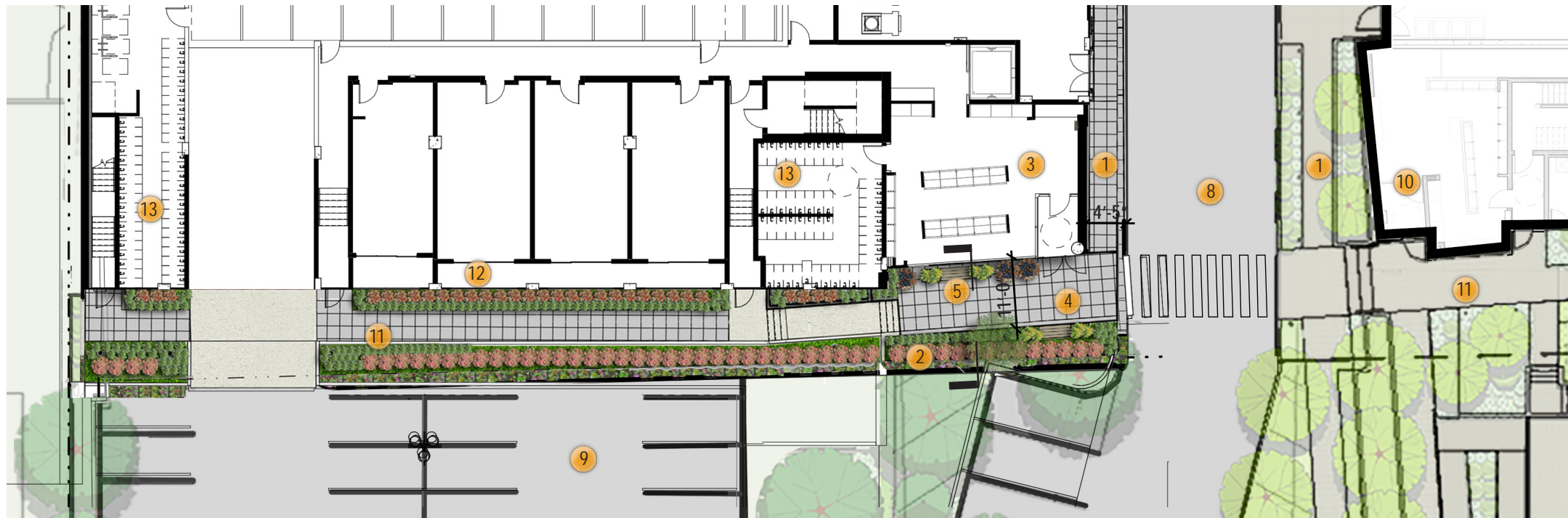


SECTION AT PATHWAY AND PLANTERS



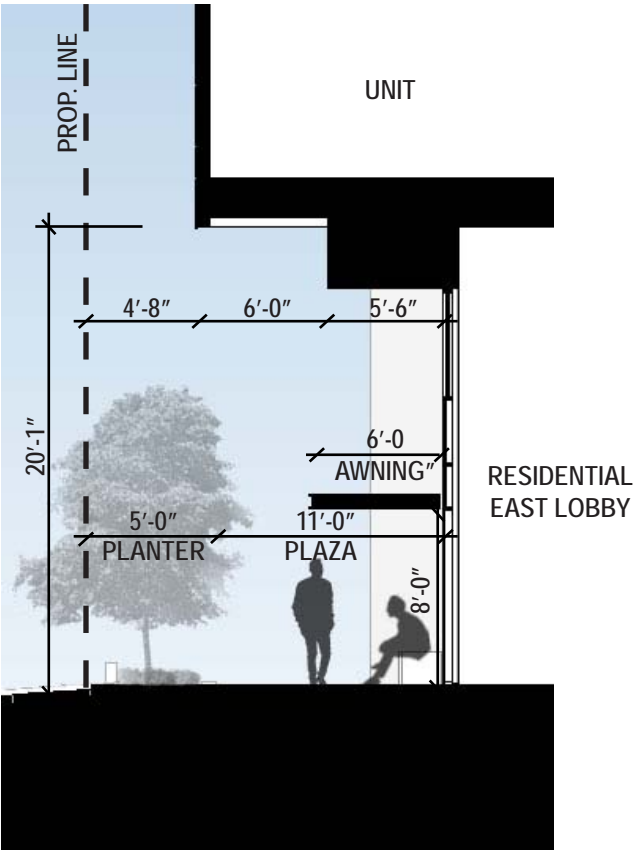


EAST LOBBY AT RESIDENTIAL ENTRY AND NORTH-SOUTH PEDESTRIAN PATHWAY



NORTH-SOUTH PEDESTRIAN PATHWAY PLAN

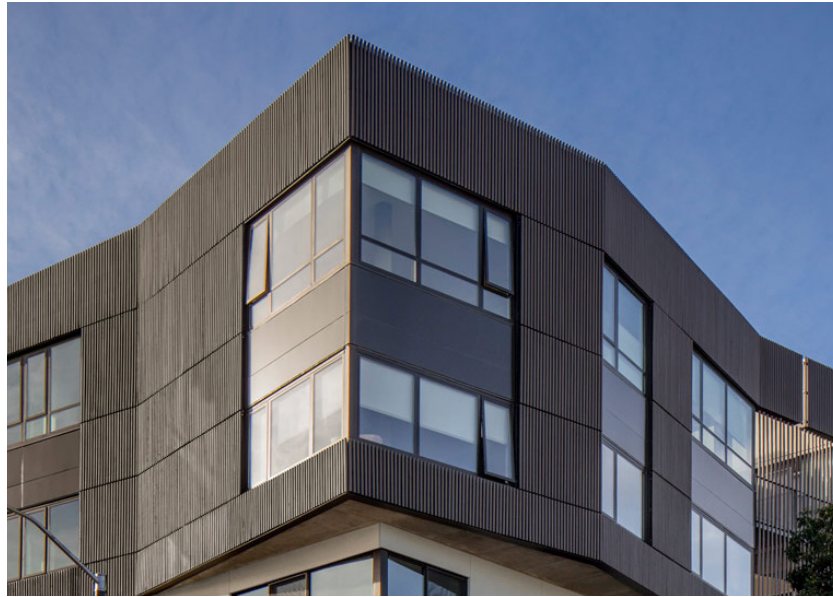
# PEDESTRIAN EXPERIENCE AT EAST LOBBY



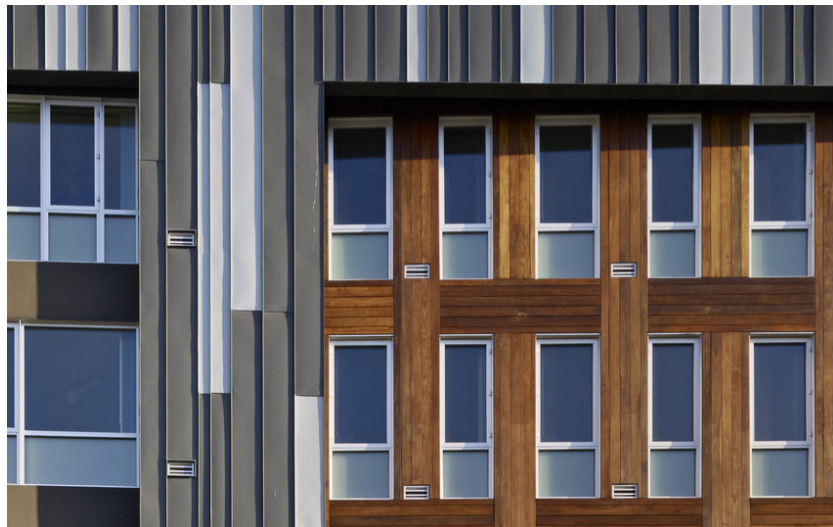
SECTION AT EAST LOBBY

- 1 PEDESTRIAN PATHWAY
- 2 PATHWAY PLANTERS
- 3 RESIDENTIAL 2-STORY EAST LOBBY
- 4 EAST PLAZA
- 5 SEATING BENCH
- 6 AMENITY PAVILION
- 7 FITNESS ROOM
- 8 EASEMENT DRIVEWAY
- 9 ADJACENT SURFACE PARKING LOT
- 10 LANE APARTMENTS LOBBY
- 11 NORTH/SOUTH PEDESTRIAN PATHING
- 12 UNIT DECK
- 13 LONG TERM PARKING BIKE ROOM





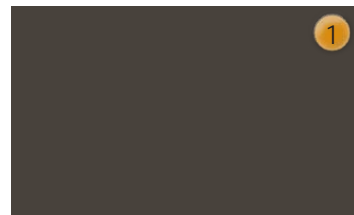
PRECEDENCE IMAGE: ACCENTUATED CORNER MODULATION



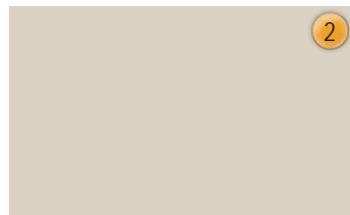
PRECEDENCE IMAGE: RECESSED FACADE TO ARTICULATE MATERIAL CHANGE



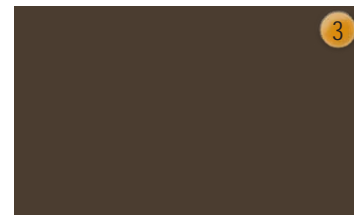
WEST ELEVATION



**CEMENT PANEL SIDING  
"SEALSKIN" AT TOWER**  
Cement board panel siding with prefabricated flashing reveals painted to match wall and a closed-joint rain screen system. Sherwin Williams Sealskin SW 7675.



**CEMENT PANEL SIDING  
"NATURAL TAN" AT TOWER**  
Cement board panel siding with prefabricated flashing reveals painted to match wall and a closed-joint rain screen system. Sherwin Williams Natural Tan SW 7567.



**CEMENT PANEL SIDING  
"DARK CLOVE" ACCENT**  
Cement board panel siding. Sherwin Williams Dark Clove SW 9183.



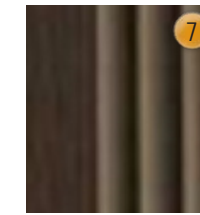
**METAL LAP SIDING  
WOOD GRAIN FINISH TEXTURE**  
Synthetic wood paneling with horizontal jointing. "light national walnut" (1806/02-716) by Longboard



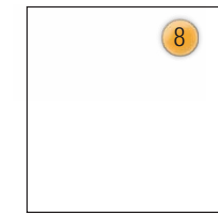
**BRICK VENEER**  
Brick veneer standard size running bond. Mutual Materials Limestone, Smooth



**CONCRETE**  
Architectural concrete walls with cast reveal joints.



**METAL**  
Medium Bronze at: Storefront Systems Parapet Caps Railings Awnings



**VINYL WINDOWS  
AT "NATURAL TAN"  
SIDING LOCATIONS**  
White

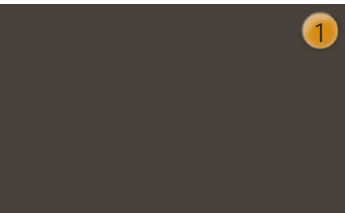


**VINYL WINDOWS  
AT "SEALSKIN"  
AND METAL SIDING  
LOCATIONS**  
Architectural Bronze

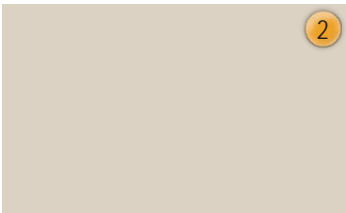




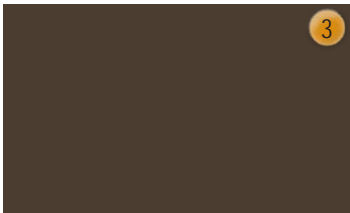
NORTH ELEVATION



**CEMENT PANEL SIDING  
"SEALSKIN" AT TOWER**  
Cement board panel siding with prefabricated flashing reveals painted to match wall and a closed-joint rain screen system. Sherwin Williams Sealskin SW 7675.



**CEMENT PANEL SIDING  
"NATURAL TAN" AT TOWER**  
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**CEMENT PANEL SIDING  
"DARK CLOVE" ACCENT**  
Cement board panel siding. Sherwin Williams Dark Clove SW 9183.



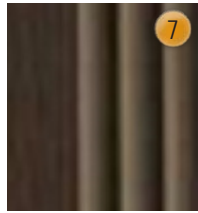
**METAL LAP SIDING  
WOOD GRAIN FINISH TEXTURE**  
Synthetic wood paneling with horizontal jointing. "light national walnut" (1806/02-716) by Longboard



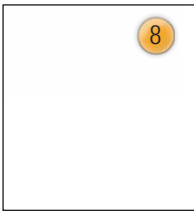
**BRICK VENEER**  
Brick veneer standard size running bond. Mutual Materials Limestone, Smooth



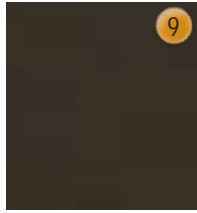
**CONCRETE**  
Architectural concrete walls with cast reveal joints.



**METAL**  
Medium Bronze at: Storefront Systems Parapet Caps Railings Awnings



**VINYL WINDOWS  
AT "NATURAL TAN"  
SIDING LOCATIONS**  
White



**VINYL WINDOWS  
AT "SEALSKIN"  
AND METAL SIDING  
LOCATIONS**  
Architectural Bronze





PRECEDENCE IMAGE: METAL STOREFRONT AWNING AND CABLES



PRECEDENCE IMAGE: RESIDENTIAL METAL BALCONY EXTENSION



EAST ELEVATION



**CEMENT PANEL SIDING  
"SEALSKIN" AT TOWER**  
Cement board panel siding with prefabricated flashing reveals painted to match wall and a closed-joint rain screen system. Sherwin Williams Sealskin SW 7675.



**CEMENT PANEL SIDING  
"NATURAL TAN" AT TOWER**  
Cement board panel siding with prefabricated flashing reveals painted to match wall and a closed-joint rain screen system. Sherwin Williams Natural Tan SW 7567.



**CEMENT PANEL SIDING  
"DARK CLOVE" ACCENT**  
Cement board panel siding. Sherwin Williams Dark Clove SW 9183.



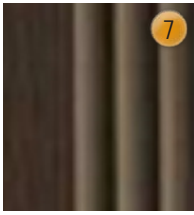
**METAL LAP SIDING  
WOOD GRAIN FINISH TEXTURE**  
Synthetic wood paneling with horizontal jointing. "light national walnut" (1806/02-716) by Longboard



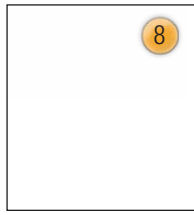
**BRICK VENEER**  
Brick veneer standard size running bond. Mutual Materials Limestone, Smooth



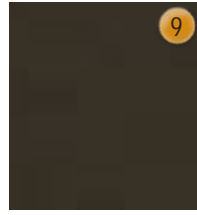
**CONCRETE**  
Architectural concrete walls with cast reveal joints.



**METAL**  
Medium Bronze at: Storefront Systems Parapet Caps Railings Awnings

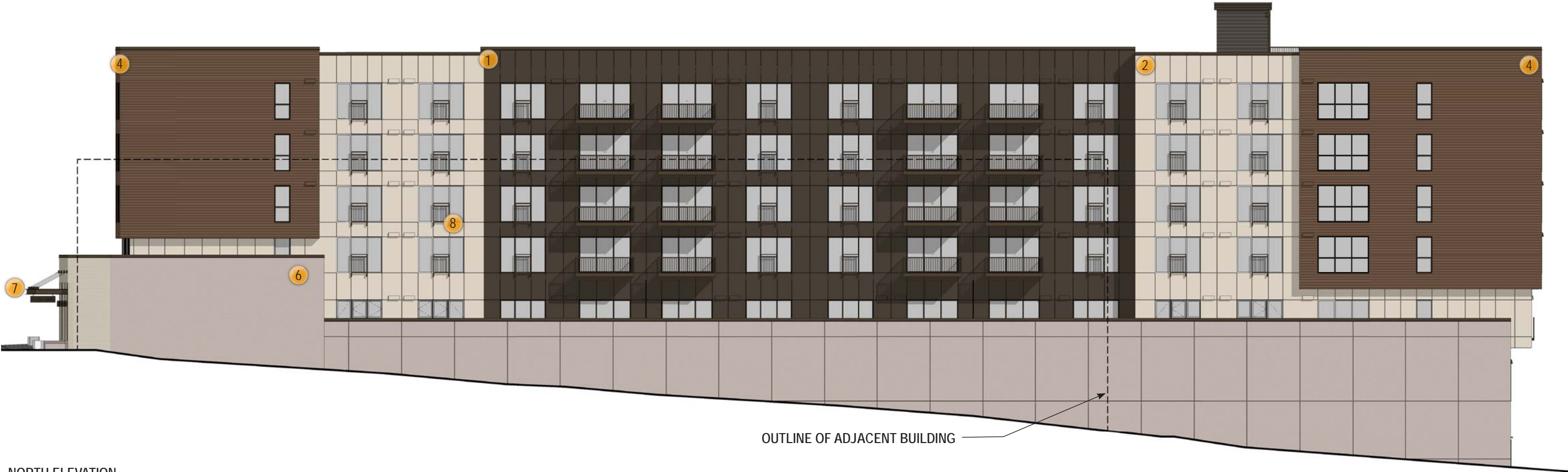


**VINYL WINDOWS  
AT "NATURAL TAN"  
SIDING LOCATIONS**  
White



**VINYL WINDOWS  
AT "SEALSKIN"  
AND METAL SIDING  
LOCATIONS**  
Architectural Bronze





NORTH ELEVATION

OUTLINE OF ADJACENT BUILDING



**CEMENT PANEL SIDING  
"SEALSKIN" AT TOWER**  
Cement board panel siding with prefabricated flashing reveals painted to match wall and a closed-joint rain screen system. Sherwin Williams Sealskin SW 7675.



**CEMENT PANEL SIDING  
"NATURAL TAN" AT TOWER**  
Cement board panel siding with prefabricated flashing reveals painted to match wall and a closed-joint rain screen system. Sherwin Williams Natural Tan SW 7567.



**CEMENT PANEL SIDING  
"DARK CLOVE" ACCENT**  
Cement board panel siding. Sherwin Williams Dark Clove SW 9183.



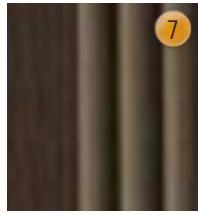
**METAL LAP SIDING  
WOOD GRAIN FINISH TEXTURE**  
Synthetic wood paneling with horizontal jointing. "light national walnut" (1806/02-716) by Longboard



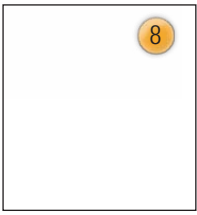
**BRICK VENEER**  
Brick veneer standard size running bond. Mutual Materials Limestone, Smooth



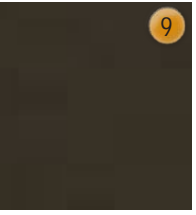
**CONCRETE**  
Architectural concrete walls with cast reveal joints.



**METAL**  
Medium Bronze at: Storefront Systems Parapet Caps Railings Awnings

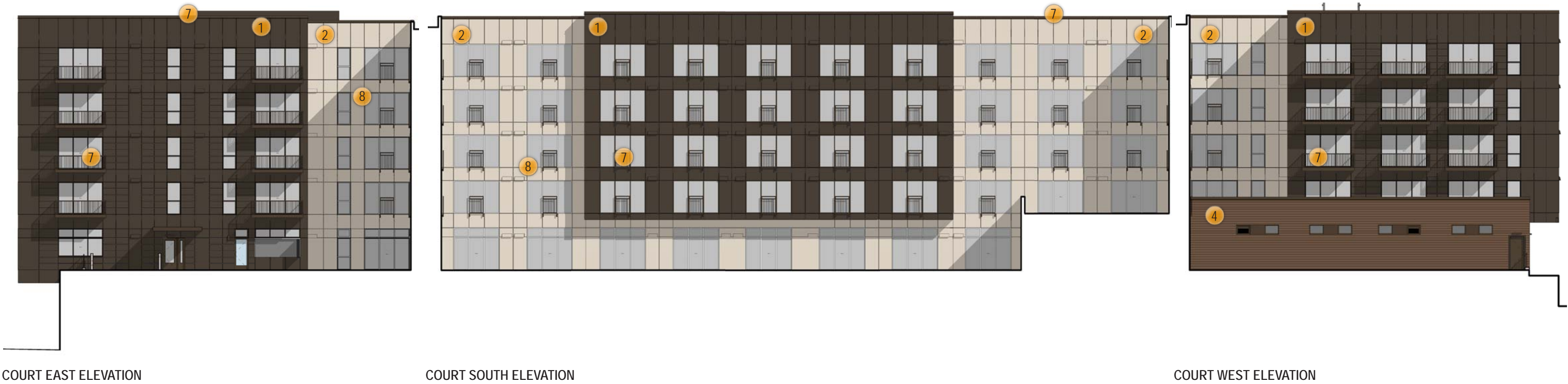


**VINYL WINDOWS  
AT "NATURAL TAN"  
SIDING LOCATIONS**  
White

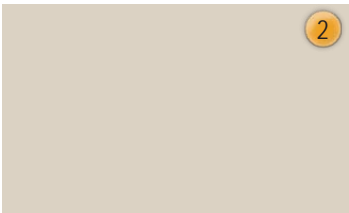


**VINYL WINDOWS  
AT "SEALSKIN"  
AND METAL SIDING  
LOCATIONS**  
Architectural Bronze

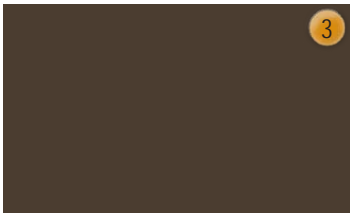




**CEMENT PANEL SIDING  
"SEALSKIN" AT TOWER**  
Cement board panel siding with prefabricated flashing reveals painted to match wall and a closed-joint rain screen system. Sherwin Williams Sealskin SW 7675.



**CEMENT PANEL SIDING  
"NATURAL TAN" AT TOWER**  
Cement board panel siding with prefabricated flashing reveals painted to match wall and a closed-joint rain screen system. Sherwin Williams Natural Tan SW 7567.



**CEMENT PANEL SIDING  
"DARK CLOVE" ACCENT**  
Cement board panel siding. Sherwin Williams Dark Clove SW 9183.



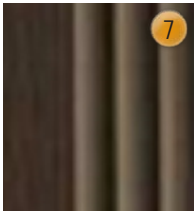
**METAL LAP SIDING  
WOOD GRAIN FINISH TEXTURE**  
Synthetic wood paneling with horizontal jointing. "light national walnut" (1806/02-716) by Longboard



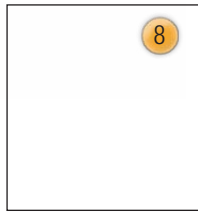
**BRICK VENEER**  
Brick veneer standard size running bond. Mutual Materials Limestone, Smooth



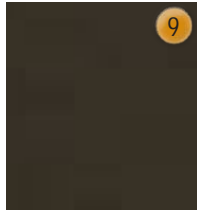
**CONCRETE**  
Architectural concrete walls with cast reveal joints.



**METAL**  
Medium Bronze at: Storefront Systems Parapet Caps Railings Awnings

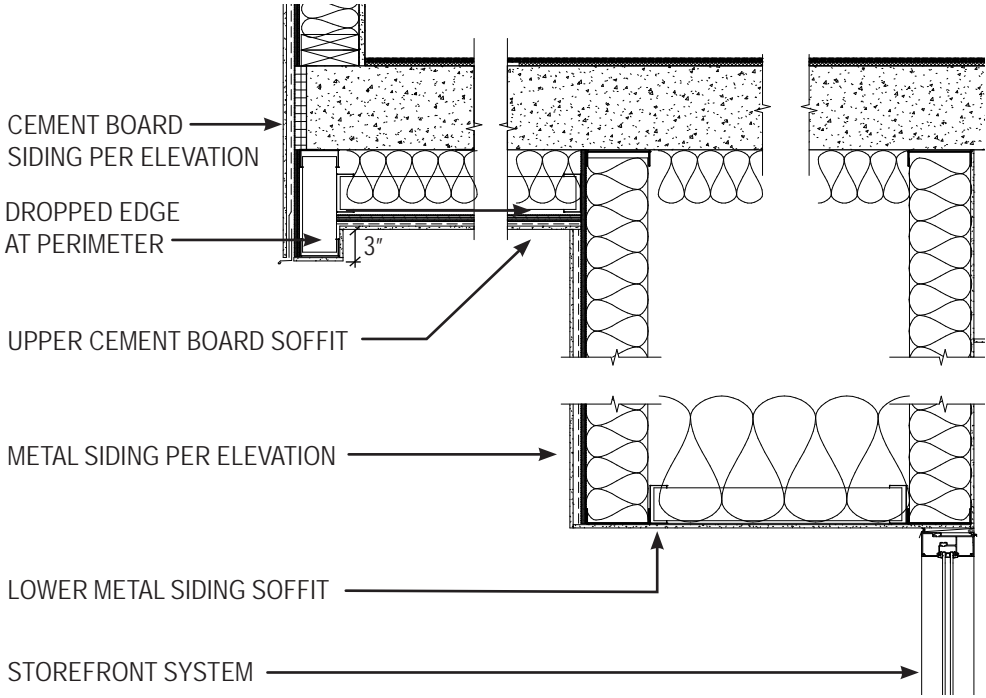


**VINYL WINDOWS  
AT "NATURAL TAN"  
SIDING LOCATIONS**  
White

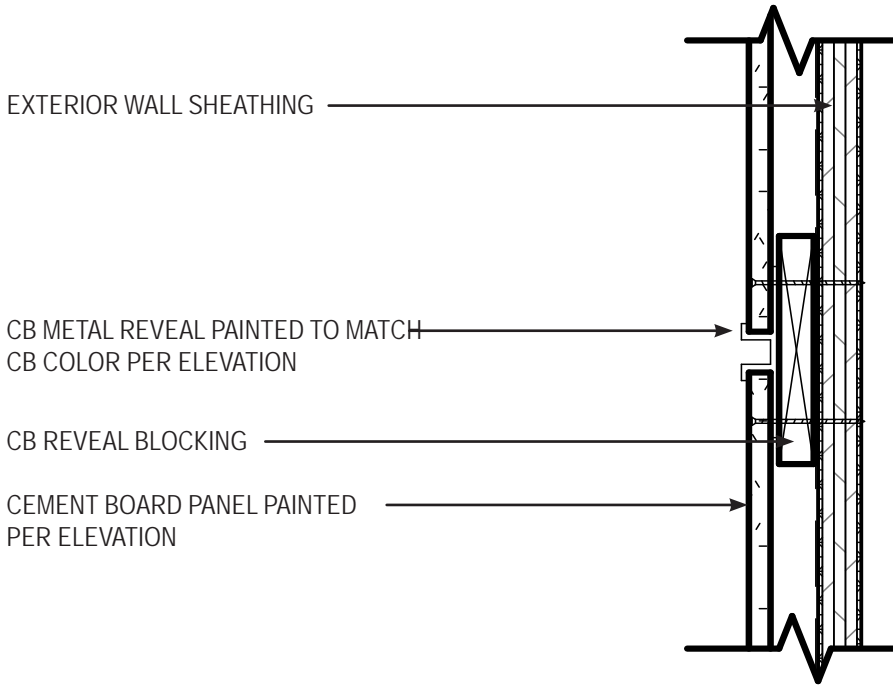


**VINYL WINDOWS  
AT "SEALSKIN"  
AND METAL SIDING  
LOCATIONS**  
Architectural Bronze

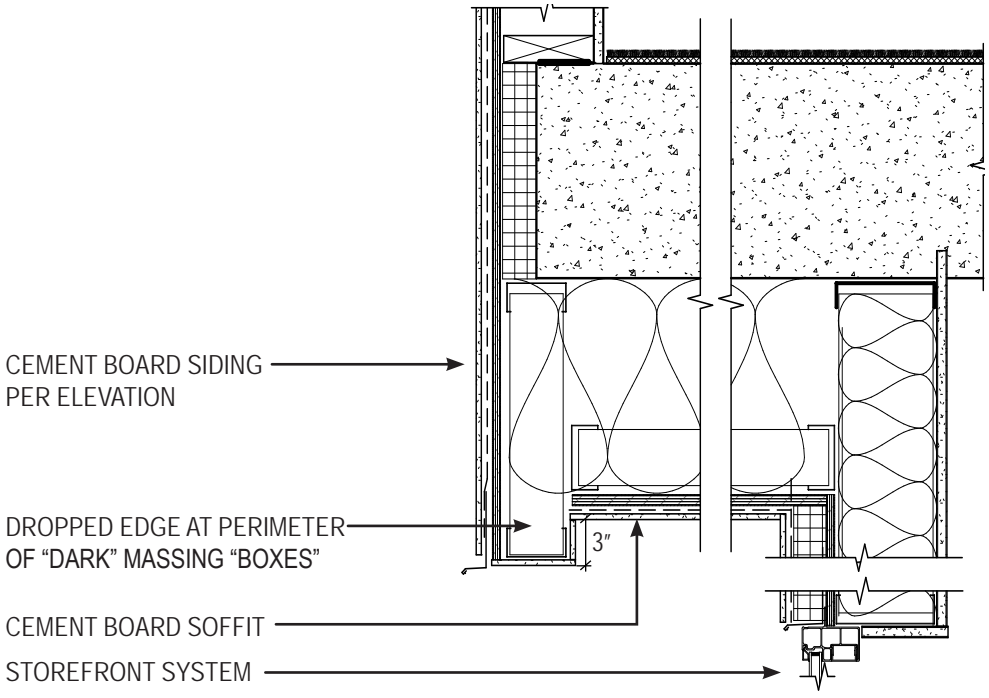




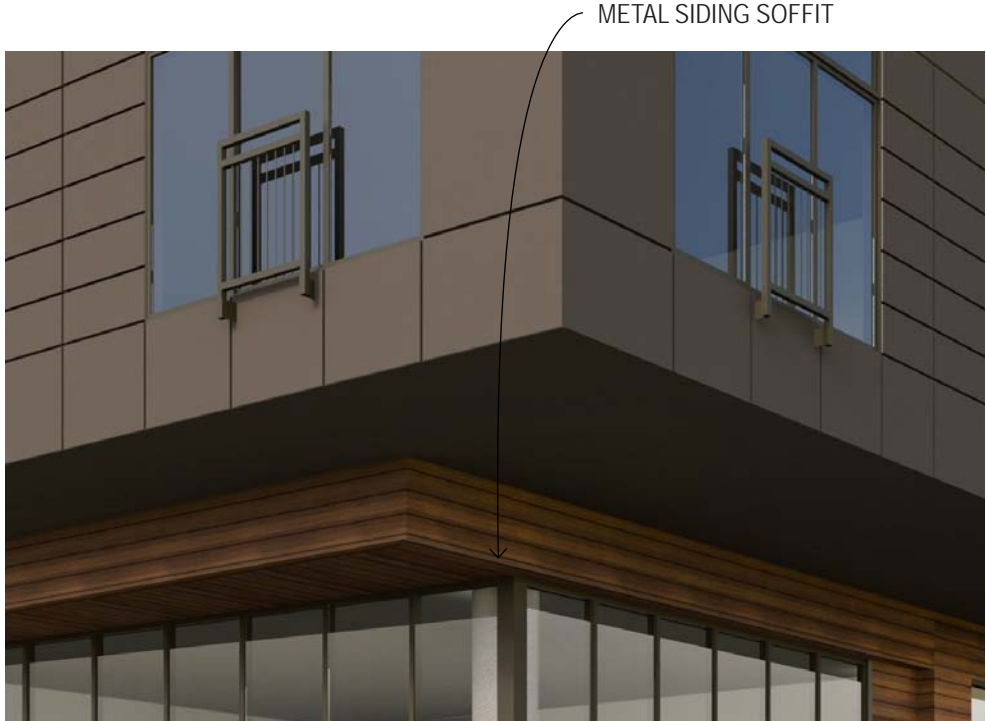
EAST MASSING AND LOBBY SOFFIT DETAIL



CEMENT BOARD PANEL REVEAL DETAIL



TYPICAL SOFFIT DETAIL AT "DARK" MASSING "BOXES"



EAST MASSING AND LOBBY SOFFIT



TYPICAL CEMENT BOARD PANEL REVEALS



TYPICAL SOFFIT AT "DARK" MASSING "BOX"





1 EXIT DOOR SCONCE



2 EXTERIOR SCONCE



3 UNIT DECK SCONCE



4 SOFFIT LIGHTING



5 STEP LIGHTING



6 LANDSCAPING UP-LIGHTING



7 FESTIVAL LIGHTING





1 5TH AVENUE BUILDING SIGNAGE: PARAPET SIGNAGE, BACK-LIT AND ORIENTED TO VEHICULAR TRAFFIC



2 5TH AVENUE RESIDENTIAL LOBBY SIGNAGE: PEDESTRIAN LEVEL BUILDING IDENTIFICATION AND ADDRESSING



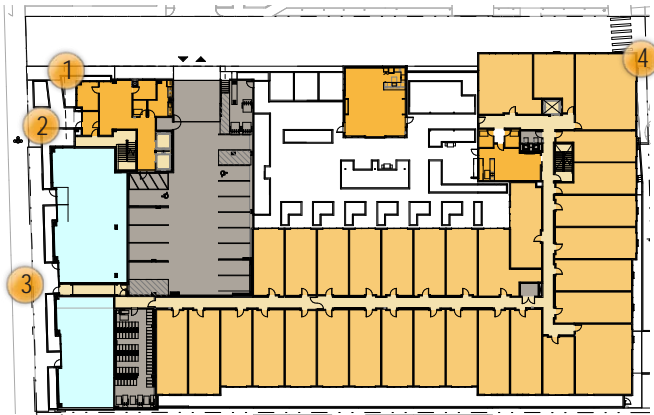
3 5TH AVENUE RETAIL SIGNAGE: BLADE SIGNS UNDER AWNING AT EACH RETAIL ENTRY



4 EAST RESIDENTIAL LOBBY SIGNAGE: BUILDING IDENTIFICATION AT TOP OF AWNING AND ADDRESS AT AWNING EDGE



PRECEDENCE IMAGES: PARAPET BUILDING IDENTIFICATION



PRECEDENCE IMAGE: WALL SIGNAGE



PRECEDENCE IMAGE: AWNING BLADE SIGNAGE

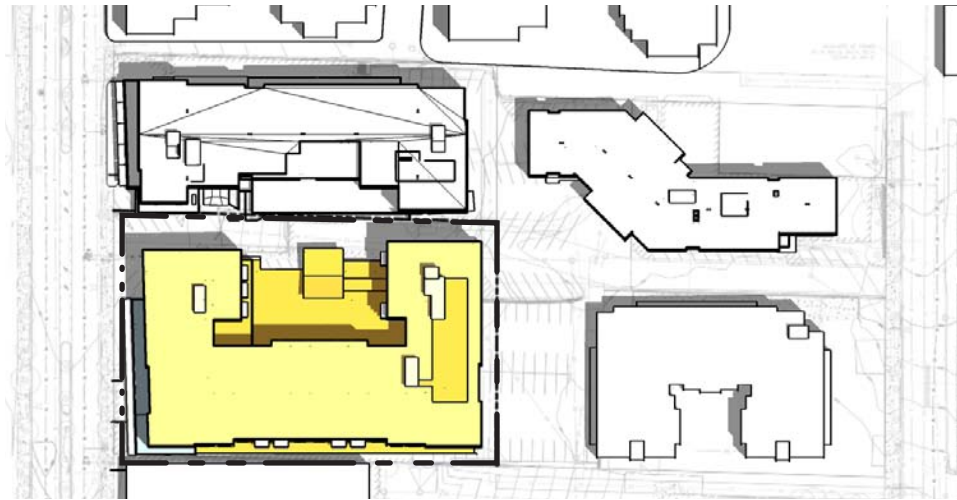


PRECEDENCE IMAGE: ADDRESSING ALONG AWNING EDGE



PRECEDENCE IMAGE: AWNING MOUNTED BLADE SIGNAGE





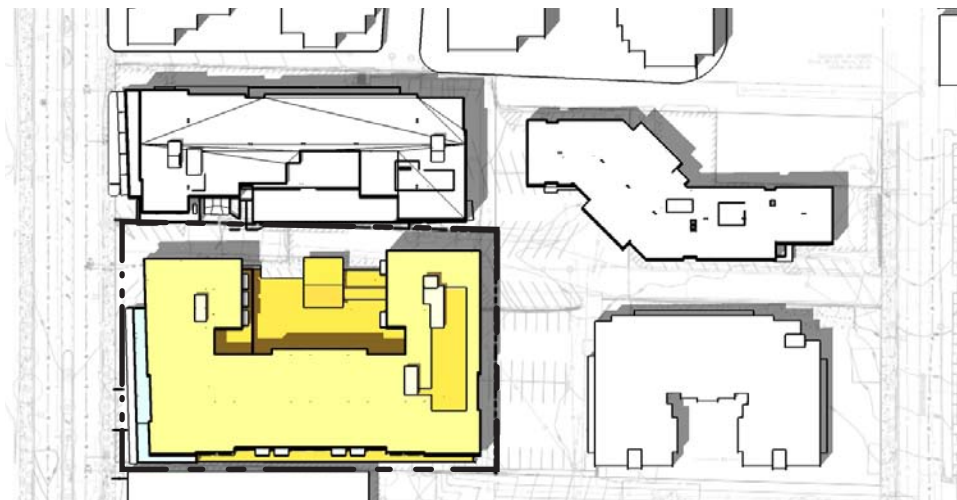
10AM - SUMMER SOLSTICE



10AM - EQUINOX



10AM - WINTER SOLSTICE



NOON - SUMMER SOLSTICE



NOON - EQUINOX



NOON - WINTER SOLSTICE



2PM - SUMMER SOLSTICE

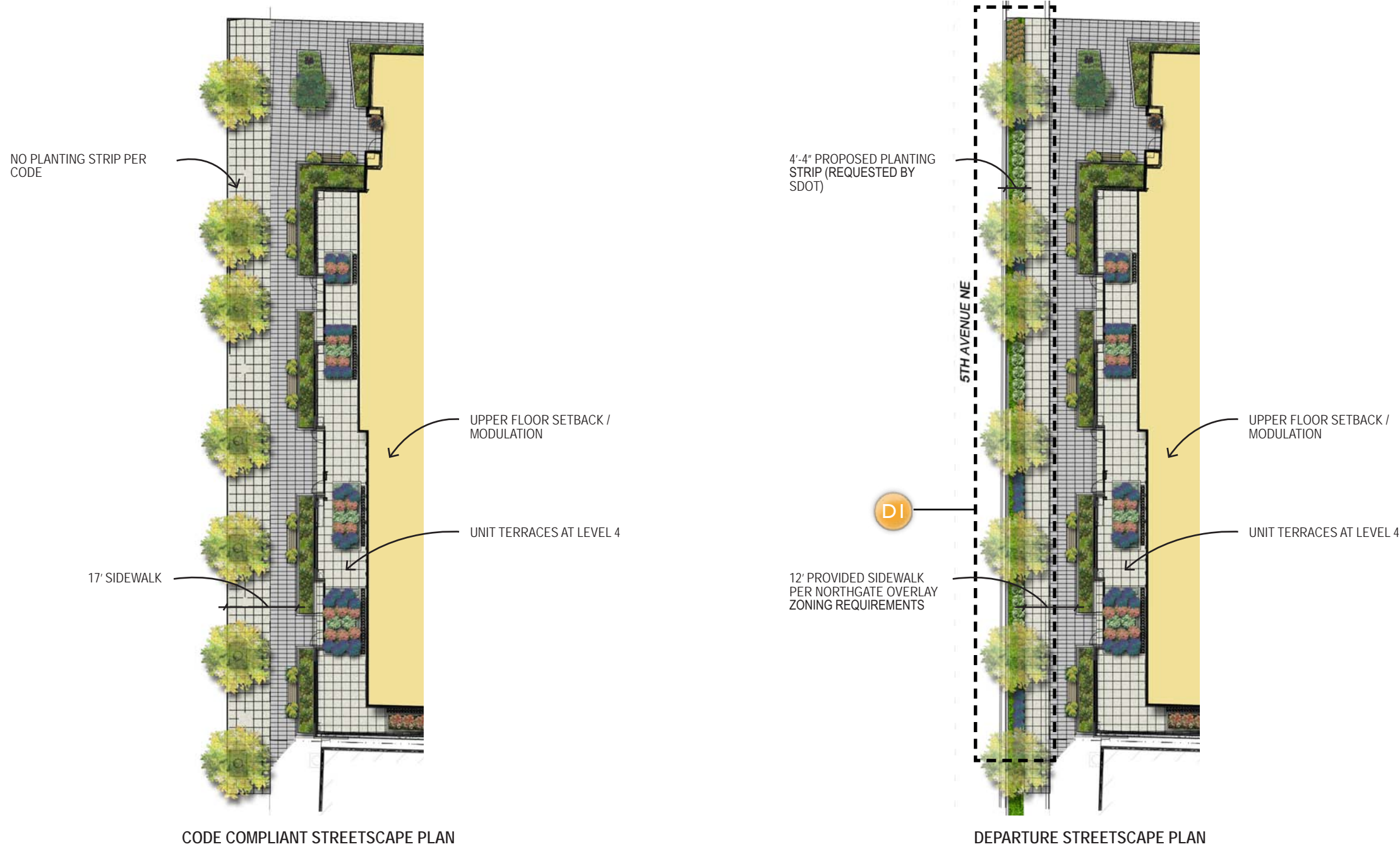


2PM - EQUINOX



2PM - WINTER SOLSTICE





DEPARTURE NUMBER	LAND USE CODE SECTION	ITEM	CODE REQUIREMENT	DEPARTURE REQUESTED	DESIGN RATIONALE
I DI	23.71.008.E3	Planting strips along major pedestrian streets	Planting strips are prohibited along major pedestrian streets	To provide a planting strip between 5th Ave NE & the sidewalk (*major pedestrian street)	The planting strip provides desired separation between pedestrians and vehicular traffic, creating an enhanced sense of safety and comfort. (CS3-1.i, Response to context & PL2-11.v, Green space)



# APPENDIX



CONTEXT ANALYSIS: COMMUNITY NODES & POINTS OF INTEREST



POINTS OF INTEREST

- |                                      |   |
|--------------------------------------|---|
| 1. Northgate Mall                    | 5. Kindred Hospital - Northgate                         |
| 2. Public Library & Community Center | 6. P-Patch community garden                             |
| 3. 507 NE Northgate Way              | 7. Thornton Creek Apartments                            |
| 4. Hubbard Homestead Park            | 8. Northgate Transit Center / Future Light Rail Station |





URBAN DESIGN ANALYSIS: EXISTING NOTABLE ARCHITECTURAL & SITING PATTERNS



EXISTING PATTERN LOCATIONS

- 1. 525 NE Northgate Way - Sidewalk at access road
- 2. 507 NE Northgate Way - Sidewalk along 5th Ave NE
- 3. 10728 8th Avenue NE - Low rise residential streetscape
- 4. 525 NE Northgate Way - Leasing office entry along access road
- 5. 507 NE Northgate Way - Corner of 5th Ave NE & NE Northgate Way
- 6. 10548 5th Avenue NE, Seattle Public Library - Crossing at 5th Ave NE
- 7. 10700 5th Ave NE, Northgate Apt Phase I - West building along 5th Ave NE
- 8. 10548 5th Avenue NE , Seattle Public Library - Inner courtyard

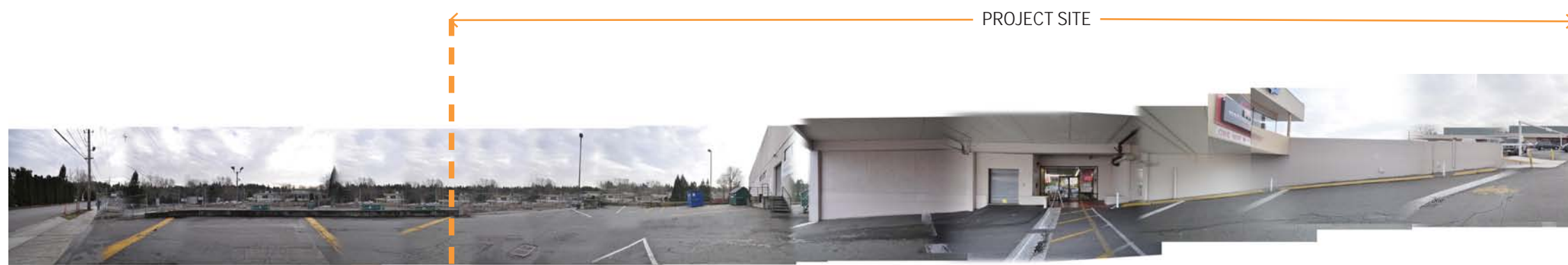


DESIGN CUES

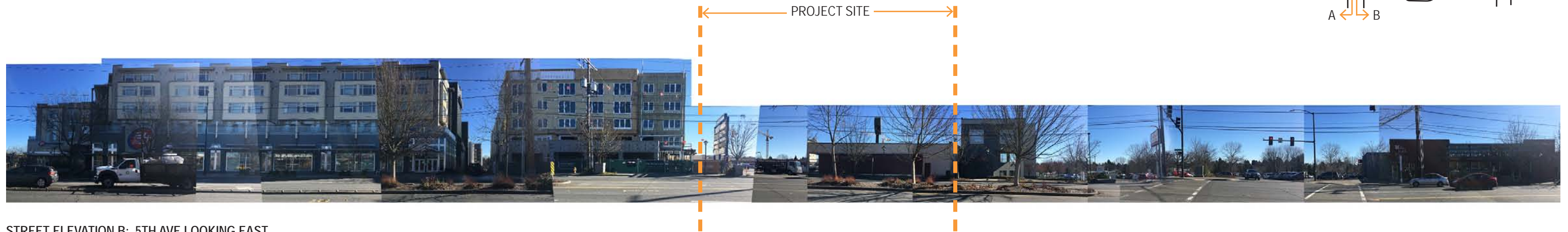
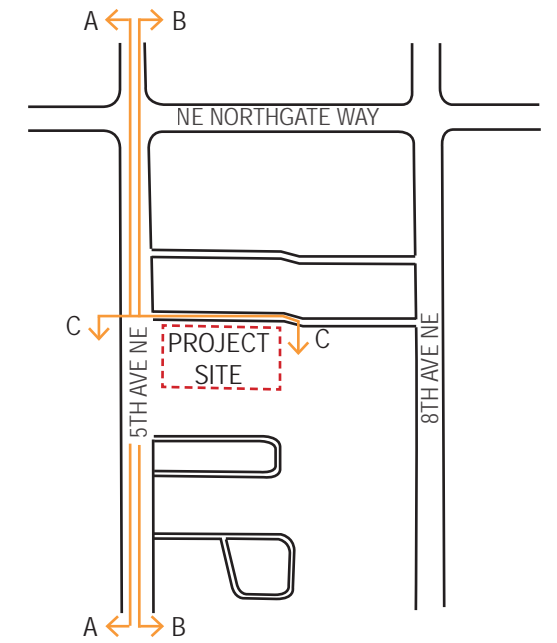
- Wide sidewalks with places of rest and plantings
- Sidewalk awnings for pedestrian friendly environment
- Residential scale emphasized with street setbacks in low-rise zone
- Human scale residential covered entries
- Open plaza areas at street intersections
- Facade transparency along streetscape and site access points
- Public art within landscape areas



# URBAN DESIGN ANALYSIS: STREET ELEVATIONS



STREET ELEVATION C: SOUTHERN PROPERTY LINE ALONG EASEMENT LOOKING SOUTH



STREET ELEVATION B: 5TH AVE LOOKING EAST



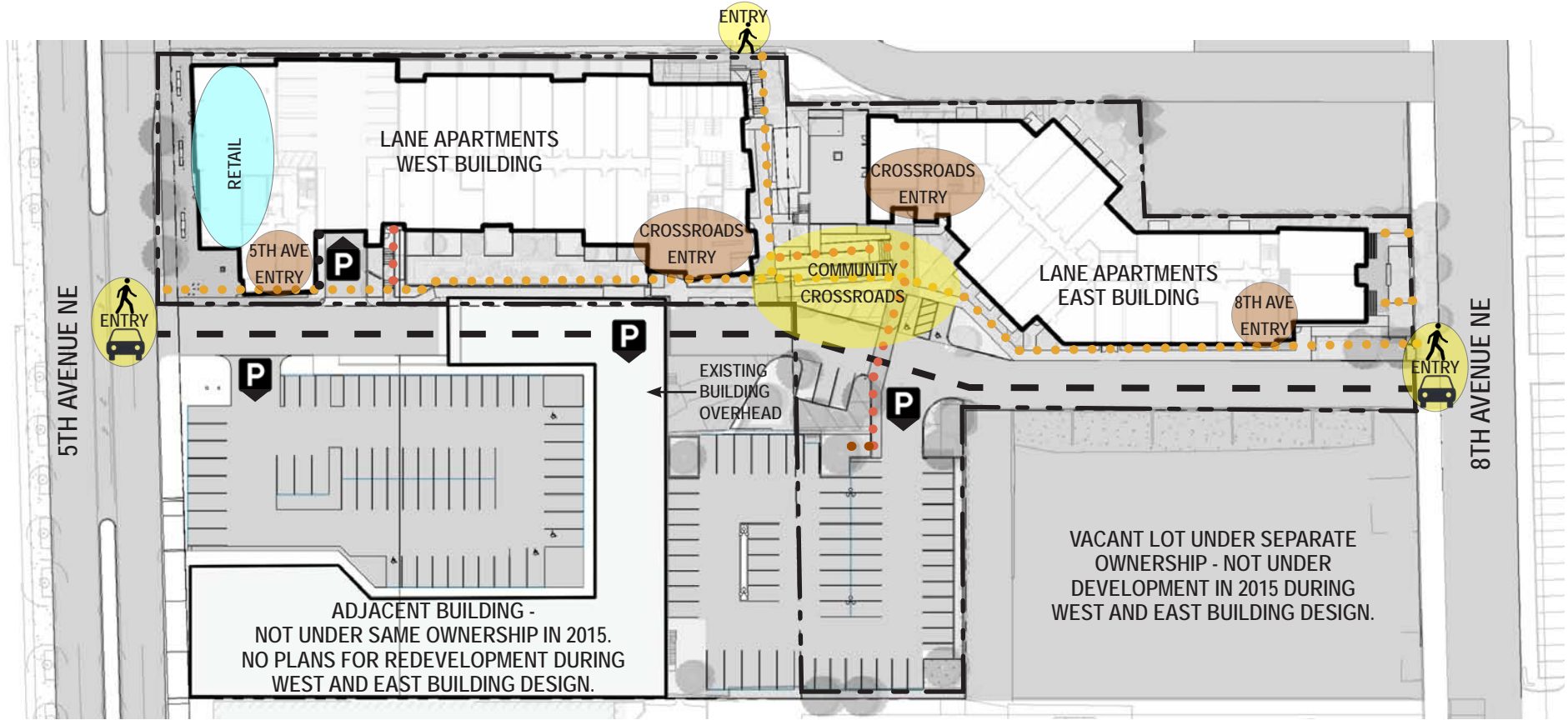
STREET ELEVATION A: 5TH AVE LOOKING WEST



EDG 2 RESPONSE: SITE DESIGN + CIRCULATION

CIRCULATION CONCEPT

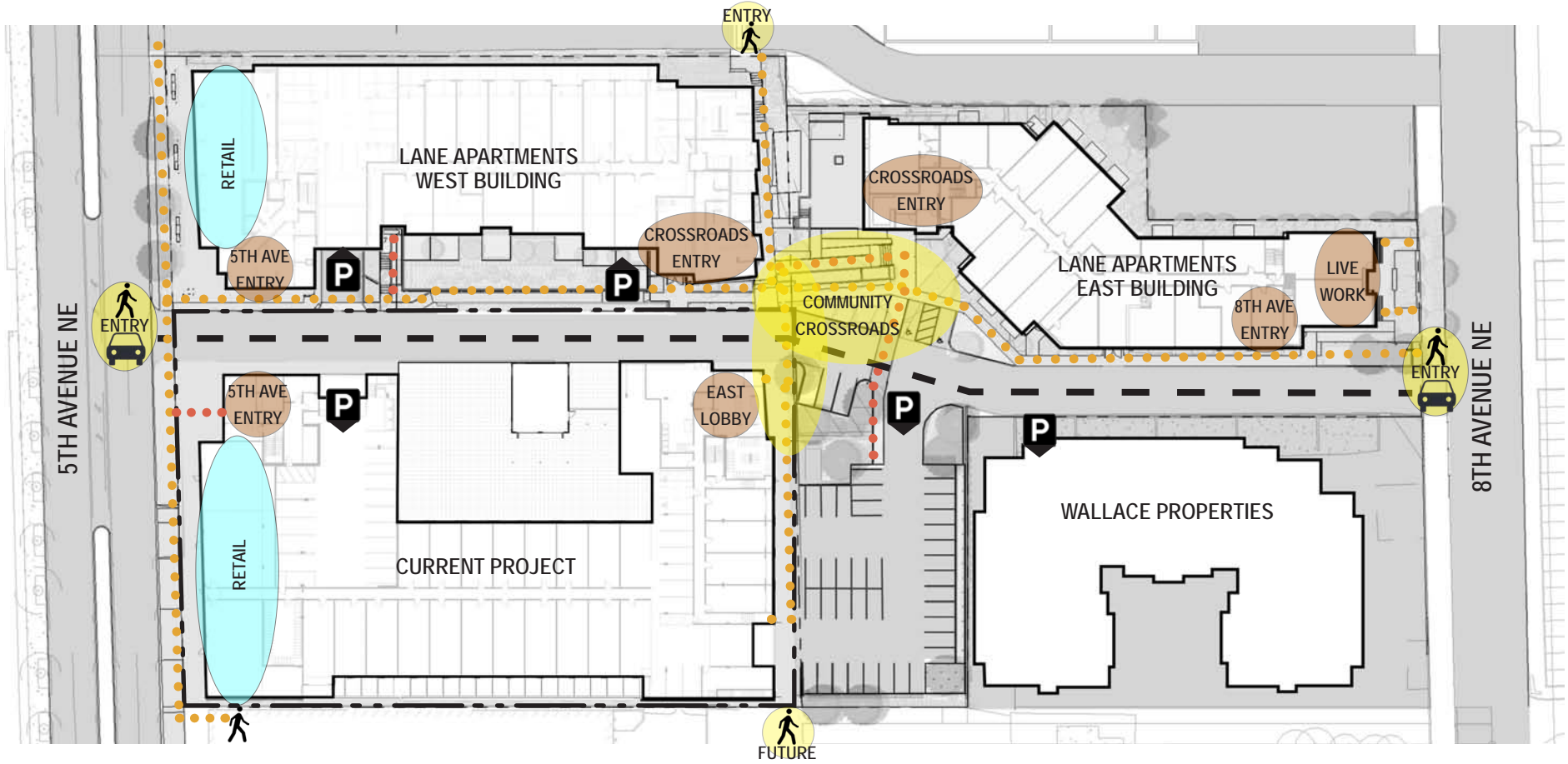
When Lane Apartments was designed, there were no development plans for the Northgate Apartments Phase II project. Therefore, site circulation had to take into effect the presence of an encroaching overhead structure which created a “tunnel” over the shared access easement. The project proposed to connect 5th Avenue NE to 8th Avenue NE with a continuous pedestrian sidewalk. Due to the extreme grade change along the access easement at the South edge of the West Building and the presence of the “tunnel”, access to interior uses where not proposed along the drive aisle. Instead, the building pulled back from the Southern property line allowing space for decorative concrete wall treatment, pedestrian access and plantings. The center of the site was envisioned as a “crossroads”, where a North-South pedestrian pathway would intersect with the West-East pathway, providing a restful respite from the traffic of 5th Avenue NE to enter the buildings and be a drop-off pick-up meeting location.



OCTOBER 2015: CONTEXT AND DESIGN PROPOSAL FOR ON-SITE CIRCULATION

CIRCULATION CONCEPT

The current development proposes to continue the North-South pedestrian pathway along its entire Eastern frontage. Although no future developments intents are known for the properties to the South, this allows a connection if and when the opportunity arises. The project proposes to provide an East Plaza as a widened North-South pedestrian pathway located at an East Lobby location. The East Plaza reinforces the “community crossroads” concept, bringing the proposed development entry sequence into the established center arrival point of Lane Apartments.



CURRENT PROPOSAL

LEGEND

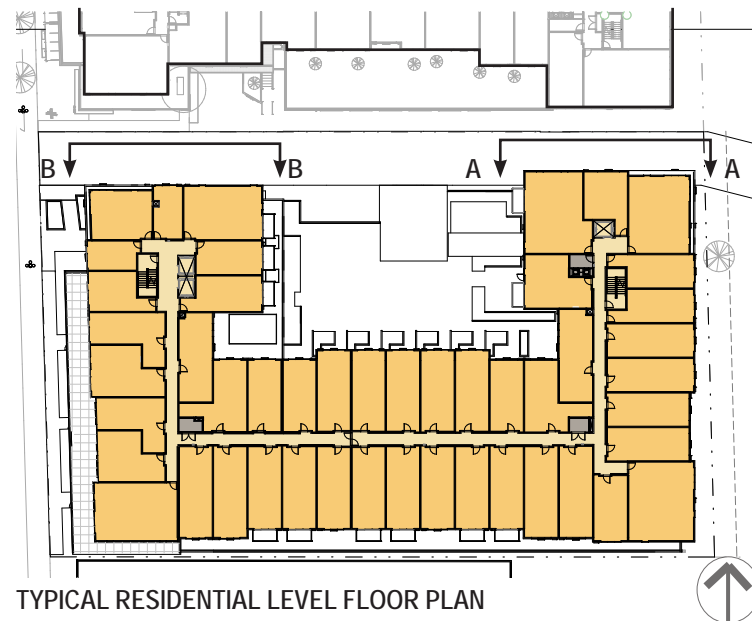
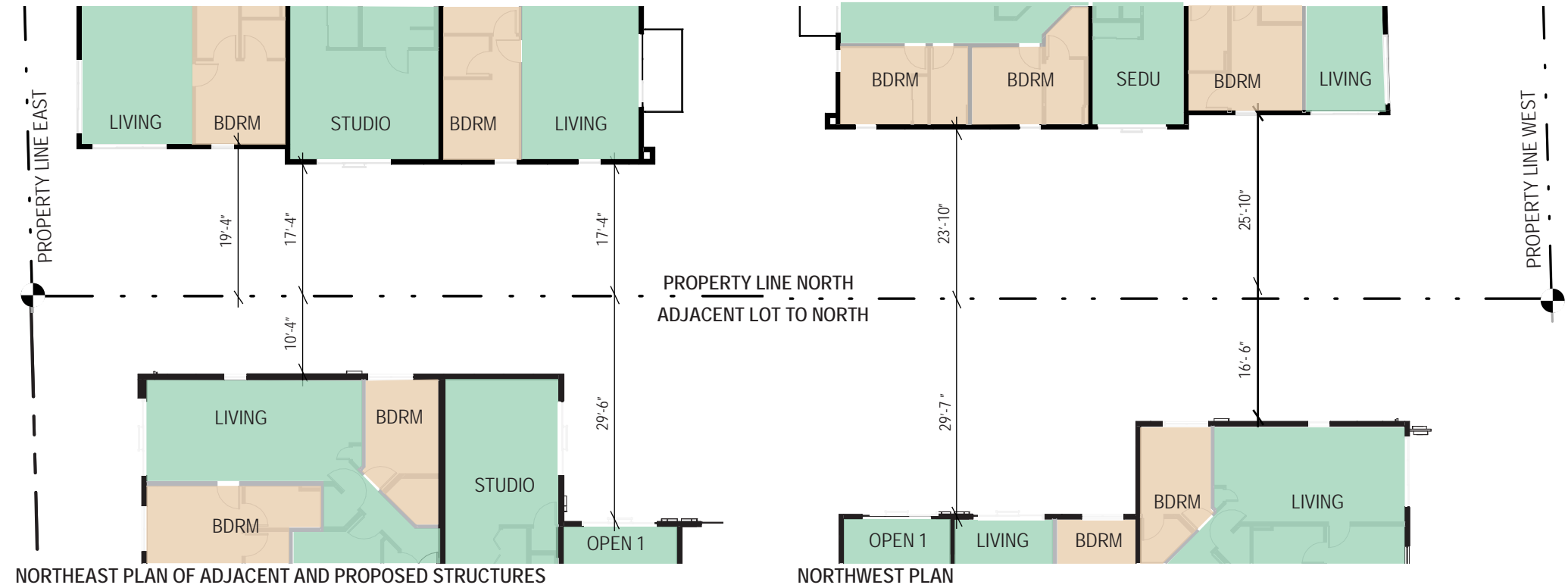
- PEDESTRIAN ACTIVITY
- PUBLIC TRANSPORTATION
- AUTOMOBILE ACCESS
- PARKING ACCESS
- PUBLIC PEDESTRIAN PATH
- RESIDENT PEDESTRIAN PATH
- VEHICULAR TRAFFIC
- SITE ARRIVAL POINTS
- RESIDENTIAL ENTRIES
- COMMERCIAL ACTIVITY



## PRIVACY STRATEGIES

The proposed development has approximately the same floor levels as Lane Apartments. The project has set the levels based on the grade relationship to 5th Avenue NE, limiting the opportunity for offset floor levels for privacy concerns. Fortunately, Lane Apartment units mostly face West and East at the tower ends limiting the number of Southern facing windows. The proposed development also faces the majority of the glazing area at end units toward the West and East limiting window conflicts. Offsets of windows have been provided when possible.

The distances between facades of the proposed development and Lane Apartments are generous within this urban setting and range from 28'-8" to 53'-5" (and beyond at the courtyard modulation not shown).



## ADJACENT BUILDING WINDOW & USE LEGEND

BEDROOM / BATH
  LIVING ROOM
  COMMON AREA

ELEVATION A



ELEVATION B

