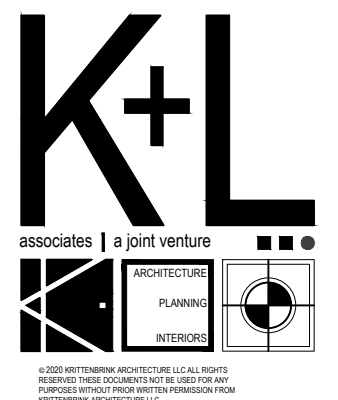




Sigma Phi Epsilon | University of Washington
 4637 21st Ave NE, Seattle, Washington
 05.06.20 Design Review Board Package

MUP# 3032696-EG, 3030739-LU

PAGE: 1



INTRODUCTION

Located in the University District, the proposed new building will provide a newly updated and classically looking building for the Sigma Phi Epsilon Fraternity. The existing site houses the existing Fraternity house. The project is under the LR3. The neighborhood currently house numerous Fraternity and Sorority houses from the University of Washington Greek Family. The North Entrance runs along the length of N.E. 47th St between 20th Ave N.E. and 21st Ave N.E.

The proposed project will be a three story congregate residence with 84 sleeping beds. This new building, will call for the demolition of the existing building.

4637 21st AVE NE PROJECT CRITERIA

| | |
|----------------------|--|
| PROJECT # | 3032696-EG, 3030739-LU |
| PARCEL # | 0925049097 |
| PROJECT OBJECTIVES: | REMOVED EXISTING BUILDINGS AND CONSTRUCT NEW CONGREGATE RESIDENCE. |
| APPLICANT/ARCHITECT: | K + L ASSOCIATES, 119 W. MAIN ST, NORMAN, OK 73069 |
| CONTACT: | MARK KRITTENBRINK 405.579.7883 |
| OWNERS REP: | BRANDON MORGAN |
| CIVIL ENGINEERING: | PACLAN |
| STRUCTURAL: | SAI ENGINEERING |
| MEP: | HP ENGINEERING, INC. |
| ZONING: | LR3 |
| OVERLAYS: | PARKING FLEXIBILITY AREA |
| LOT SIZE: | 10,795 |
| CURRENT USE: | FRATERNITY/SORORITY HOUSE |
| ALLOWABLE FAR: | 2.0 Built with Green 4-Star |
| REQUIRED PARKING: | NONE, NO PARKING IS INCLUDED |
| FREQUENT TRANSIT: | YES |
| PROPOSED UNITS: | 26 - (2 PERSON) BEDROOMS 2 - (16 PERSON) SLEEPING ROOMS |
| ACCESS: | NE 47th, 20th Ave NE, 21st Ave NE |
| ECAs: | NONE |
| EXCEPTIONAL TREES: | 2 (NOTED ON LANSCAPE/TREE PLANS) |



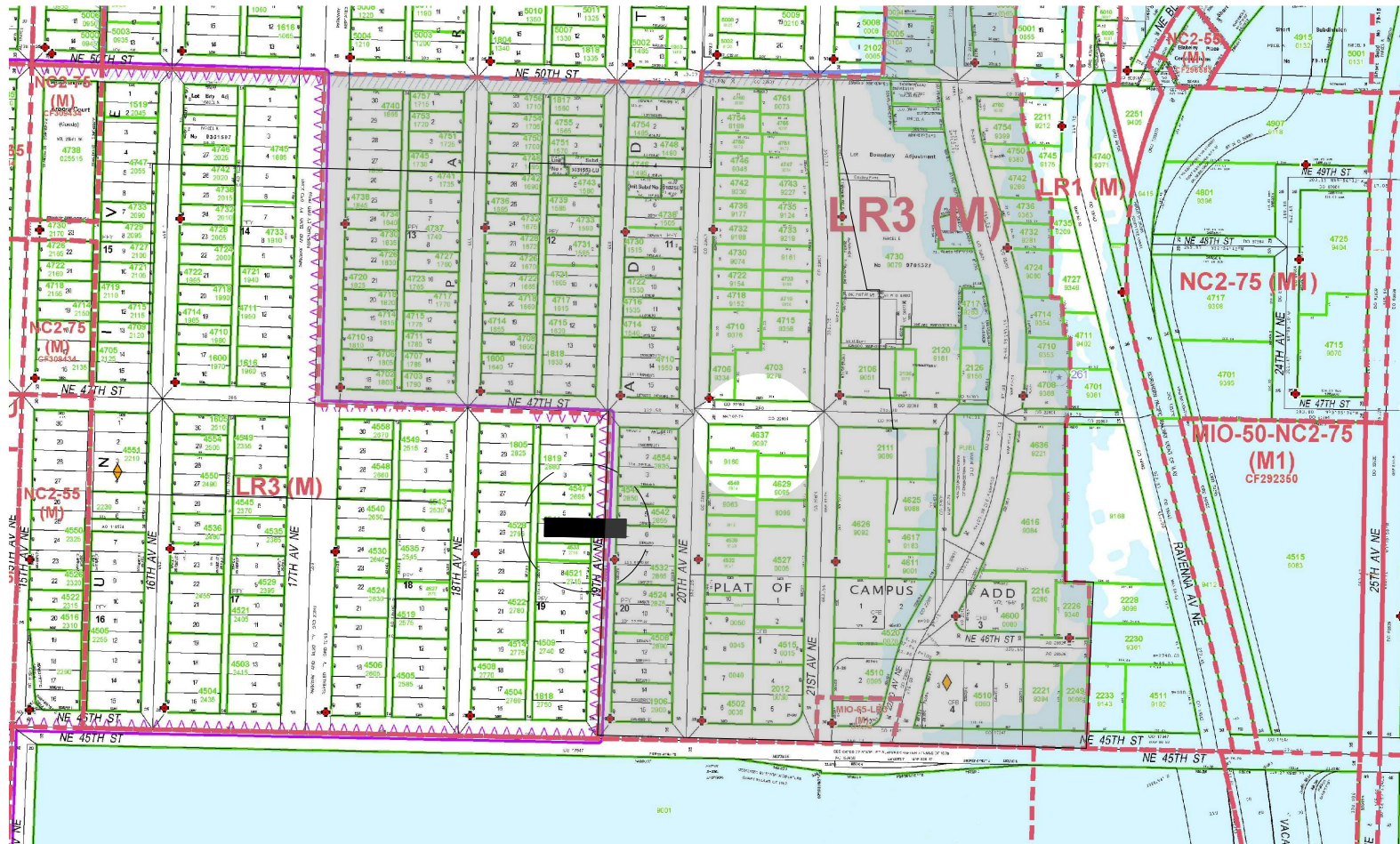
1 EAST ELEVATION
SCALE: NTS



2 NORTH (FRONT) ELEVATION
SCALE: NTS

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ZONING

- SITE IS IN LR3 (M) ZONED AREA, BUT IS VESTED TO PRIOR LR3 ZONING
- THE UNIVERSITY OF WASHINGTON, TO THE SOUTH, HAS A MAJOR INSTITUTIONAL OVERLAY.

USE

- SURROUNDING BUILDINGS ARE MOSTLY FRATERNITY AND SORORITY HOUSES, WITH ROOMING HOUSES, SINGLE FAMILY HOMES AND OTHER MULTI-FAMILY INTERSPERSED.
- SURROUNDING BUILDINGS SPAN A VARIETY OF AGES AND CONDITIONS.

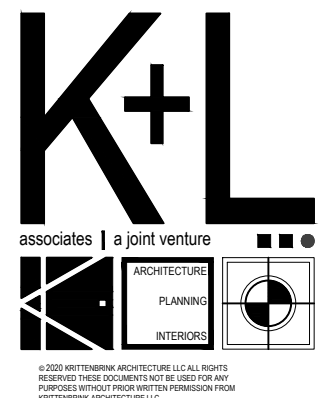
SEATTLE, WA MAP

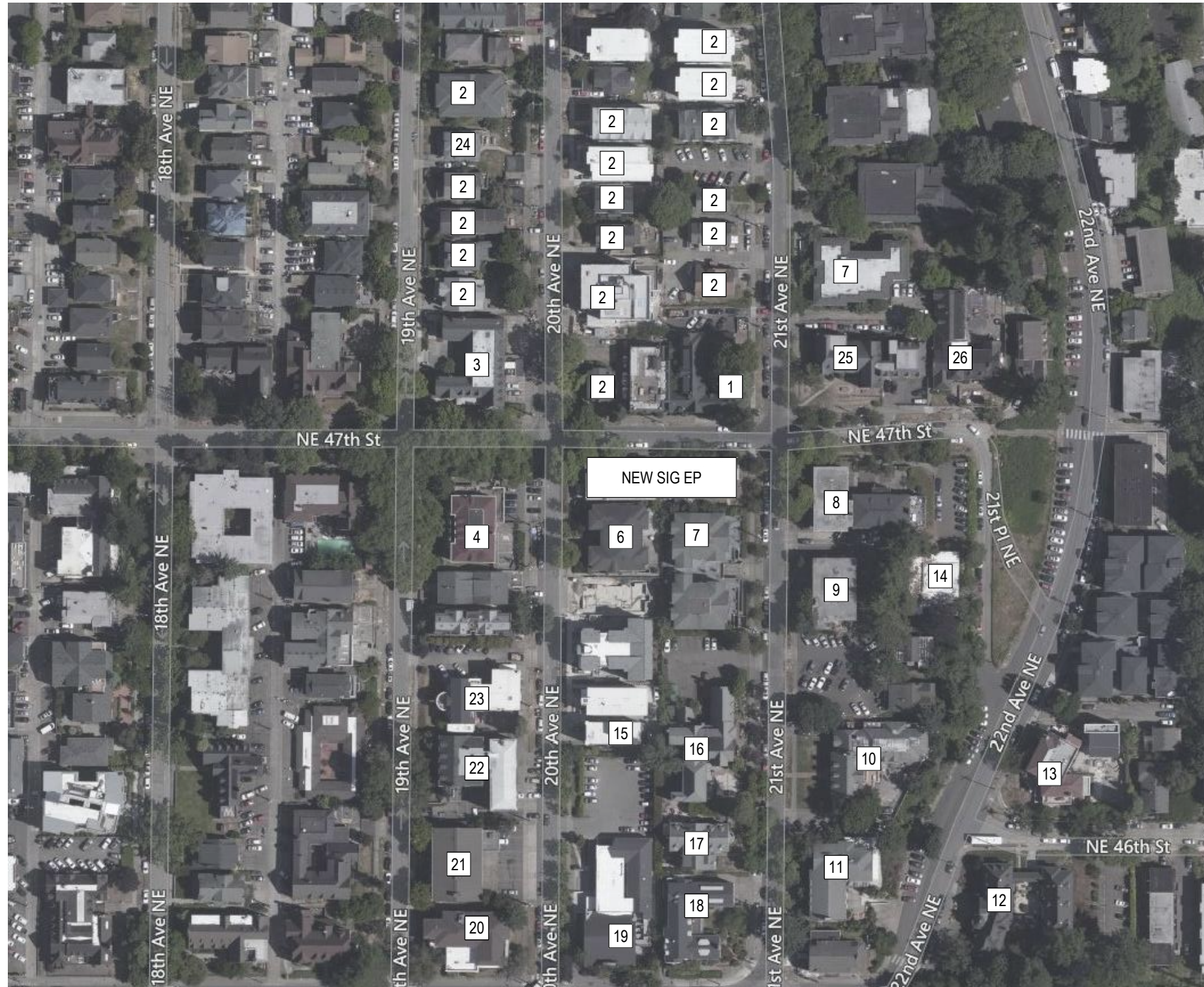
4637 21st Ave. NE.
Seattle, WA 98105

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AERIAL MAP

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Seattle, WA 98105

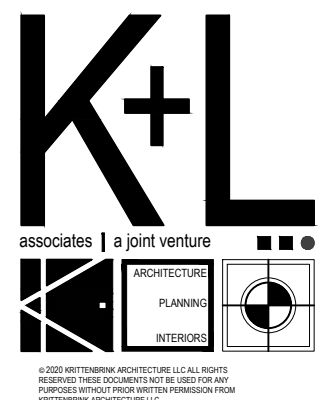
INDEX:

1. ZETA PSI FRATERNITY
2. RESIDENCE
3. ALPHA PHI
4. ALPHA SIGMA PHI
5. UNIVERSITY TOWNHOMES
6. HUSKY PLACE STUDENT HOUSING
7. HUSKY COURT APARTMENTS
8. PHI DELTA THETA
9. ZETA BETA TAU
10. TAU KAPPA EPSILON
11. ALPHA GAMMA DELTA
12. SIGMA KAPPA
13. CHI PSI FRATERNITY
14. ISLAMIC HOUSE
15. CATHERINE COURT
16. DELTA DELTA DELTA
17. PI KAPPA ALPHA
18. DELTA GAMMA
19. CATHOLIC NEWMAN CENTER
20. ALPHA OMICRON PI
21. DELTA UPSILON
22. DELTA TAU DELTA
23. THETA DELTA CHI
24. KAPPA ALPHA
25. ALPHA DELTA PHI
26. PHI KAPPA PSI

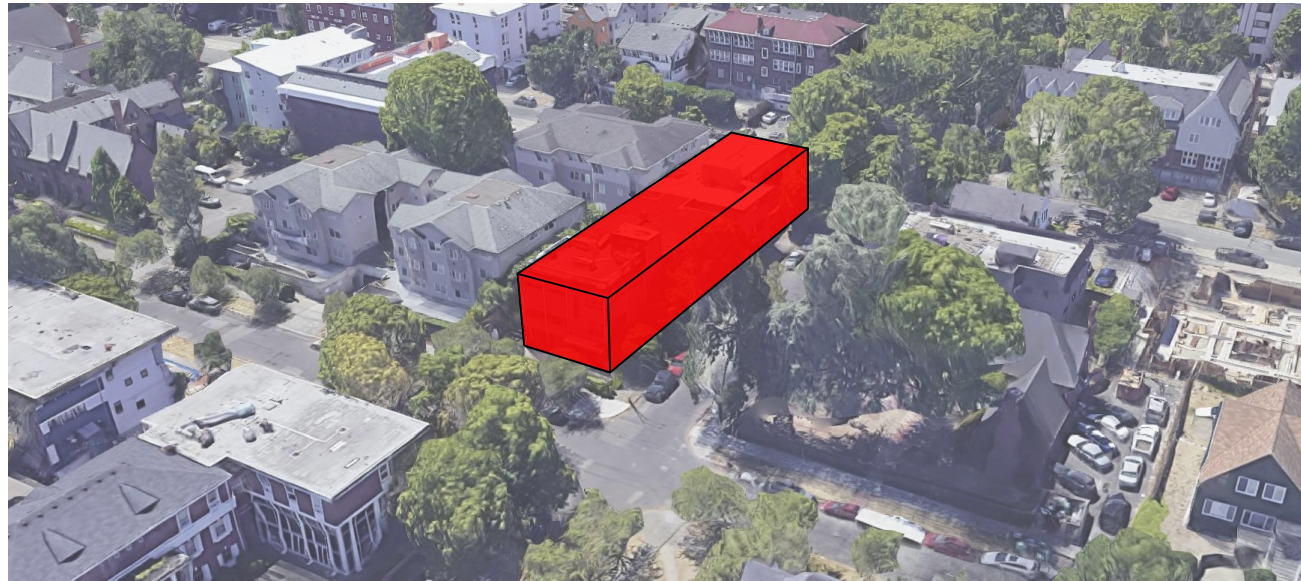
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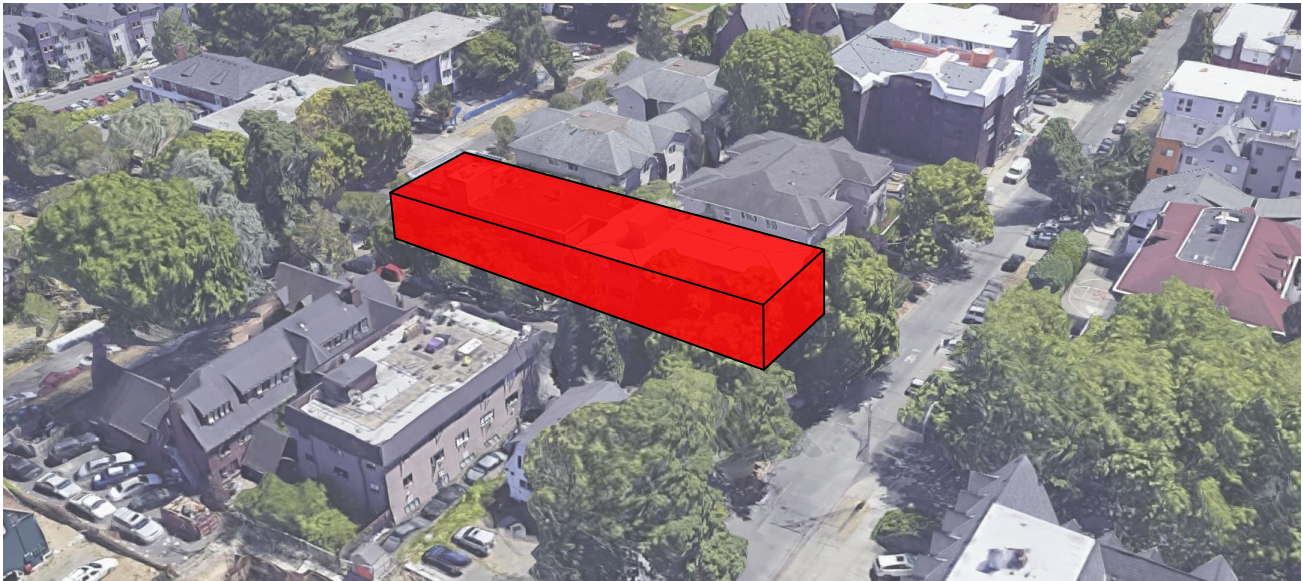


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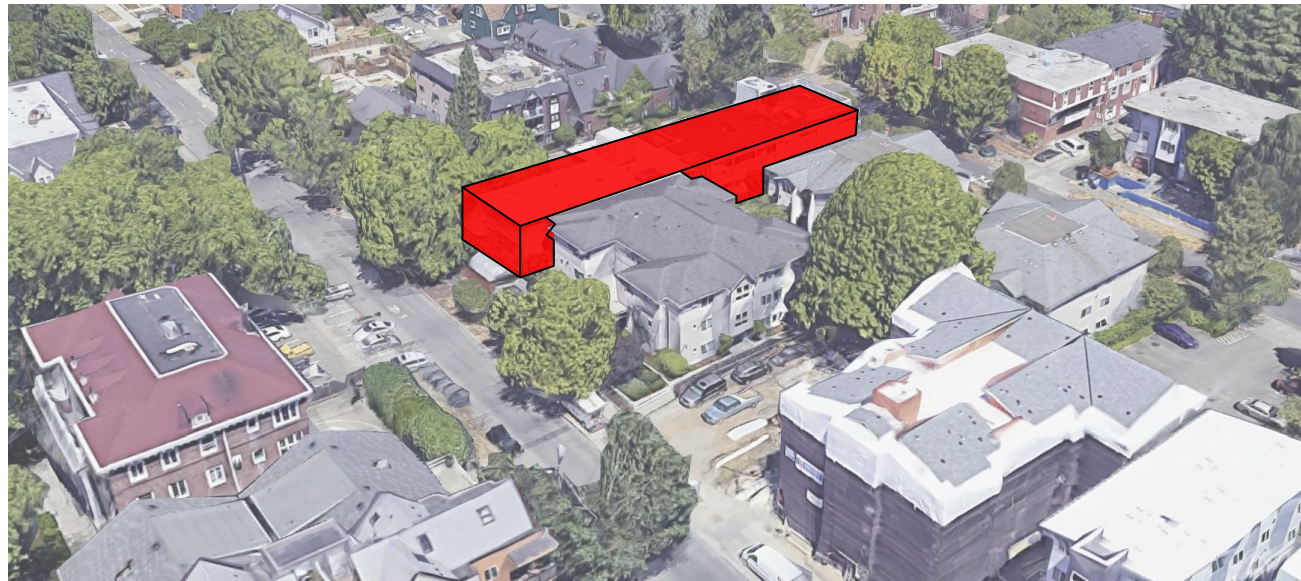
N.E. PERSPECTIVE

4637 21st Ave. NE.
Seattle, WA 98105



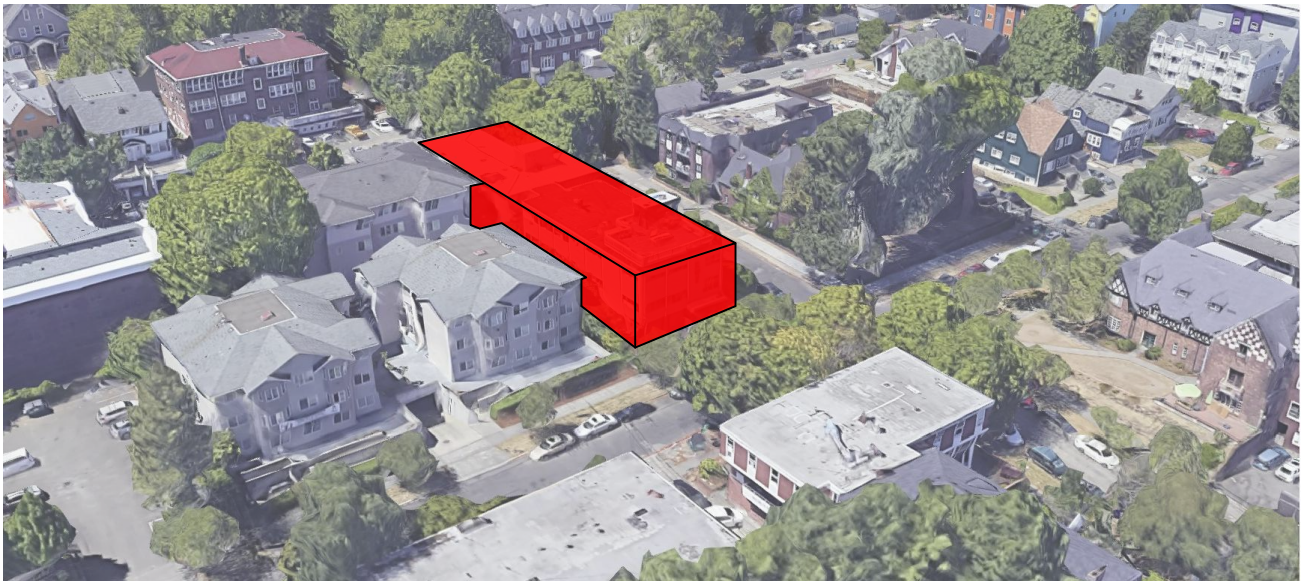
N.W. PERSPECTIVE

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Seattle, WA 98105



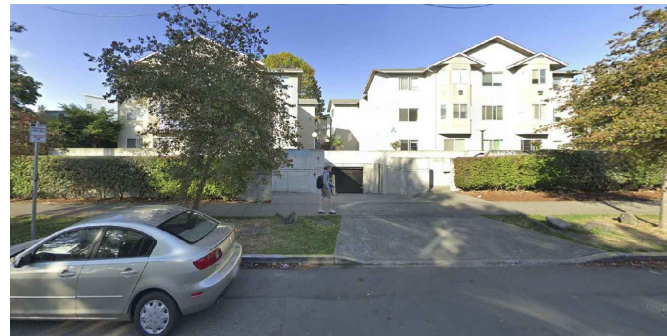
S.W. PERSPECTIVE

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Seattle, WA 98105

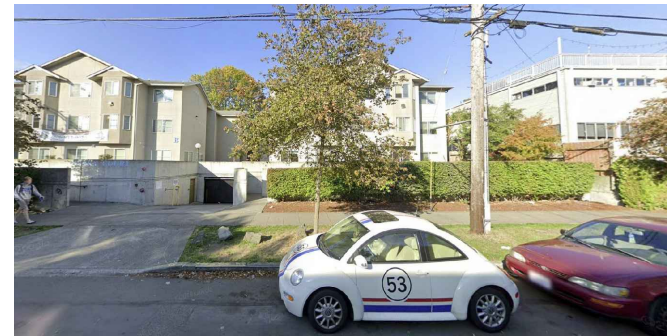


S.E. PERSPECTIVE

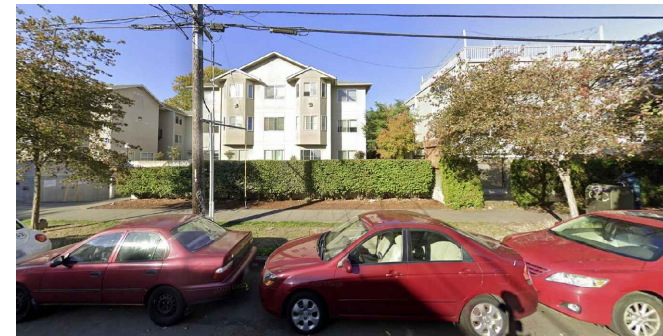
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Seattle, WA 98105



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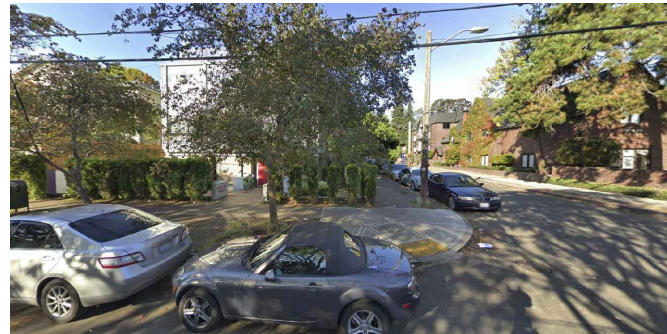
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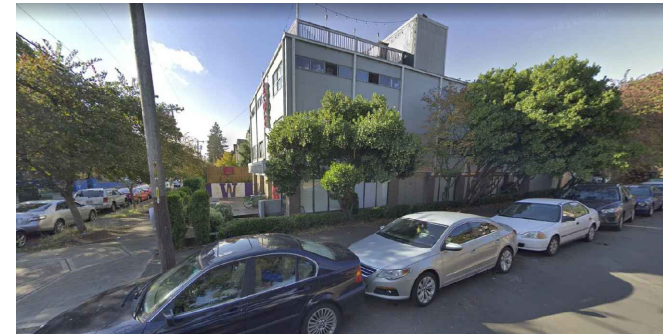
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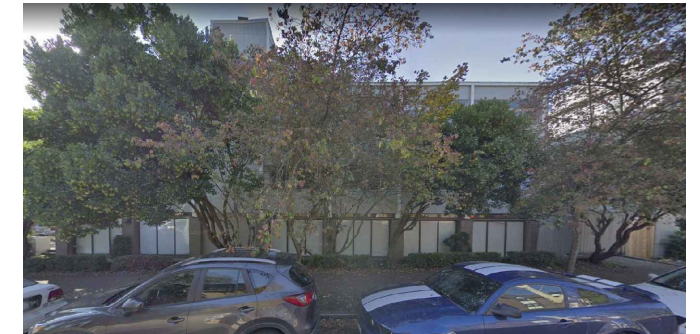
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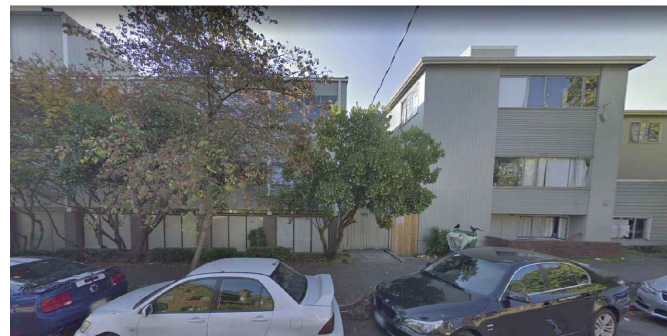
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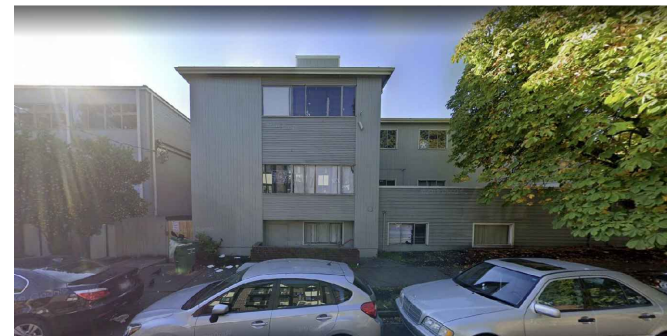
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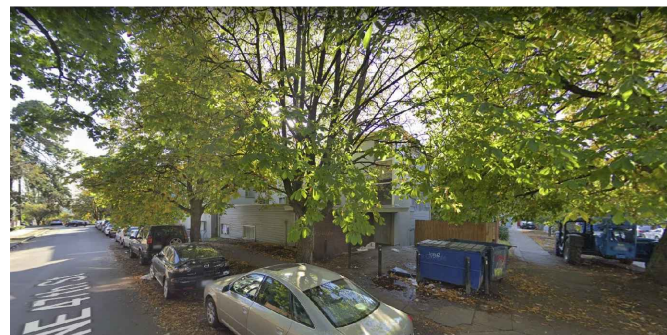
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10



11

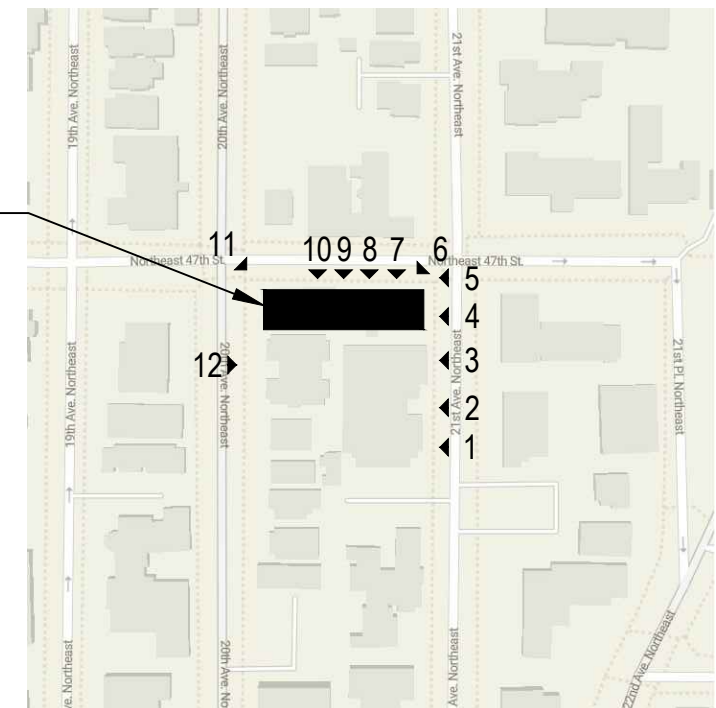


12

EXISTING PROPERTY

PHOTO MAP

4637 21st Ave. NE.
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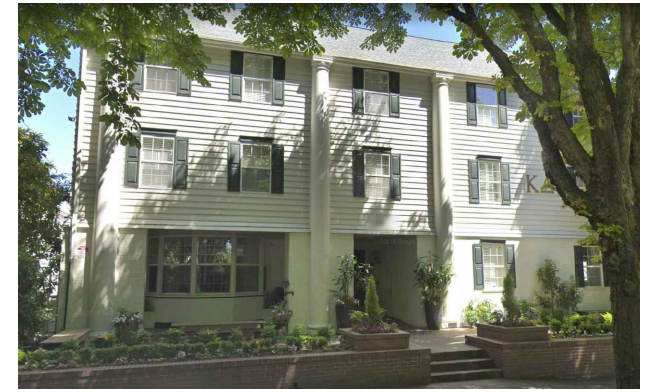
ALPHA SIGMA PHI



CHI OMEGA



DELTA TAU DELTA



KAPPA DELTA



KAPPA SIGMA



LAMBDA CHI ALPHA



PHI MU



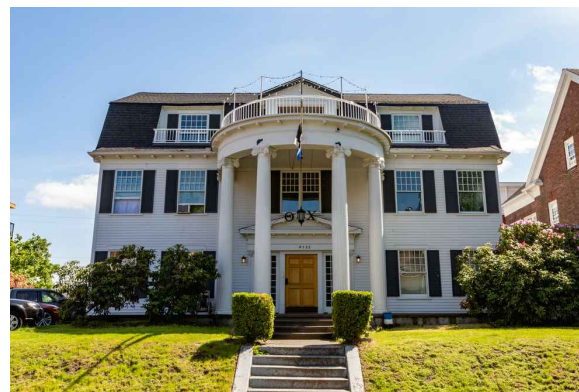
PI KAPPA PHI



SIGMA NU



TAU KAPPA EPSILON



THETA DELTA CHI

NOTES:

- UNIVERSITY OF WASHINGTON HAS A DIVERSE COLLECTION IN GREEK HOUSING. THE FRATERNITY AND SORORITY HOMES RANGE IN SIZE/STATURE AND STYLE FROM MODERN TO NEOCLASSICAL TO TUDOR.
- MOST OF THE HOMES CARRY THE CLASSICAL RED TONED BRICK FACADE WITH ELEMENTS OF WHITE/CREAM STONE, EIFS, AND SIDING.
- A LARGE, TWO STORY ENTRANCE IS A VISUAL MARK FOR THE BUILDINGS ON A LOT OF THE HOMES.



ZETA PSI FRONT EAST VIEW
NORTH OF PROPERTY



ZETA PSI FRONT SOUTH VIEW
NORTH OF PROPERTY



ZETA PSI PERSPECTIVE ROOF VIEW
NORTH OF PROPERTY



ALPHA PHI
NORTHWEST OF PROPERTY



SIGMA PHI EPSILON
NORTHWEST PERSPECTIVE OF FRONT



ALPHA DELTA PHI
NORTHEAST OF PROPERTY



ALPHA SIGMA PHI
WEST OF PROPERTY

INFORMATION:

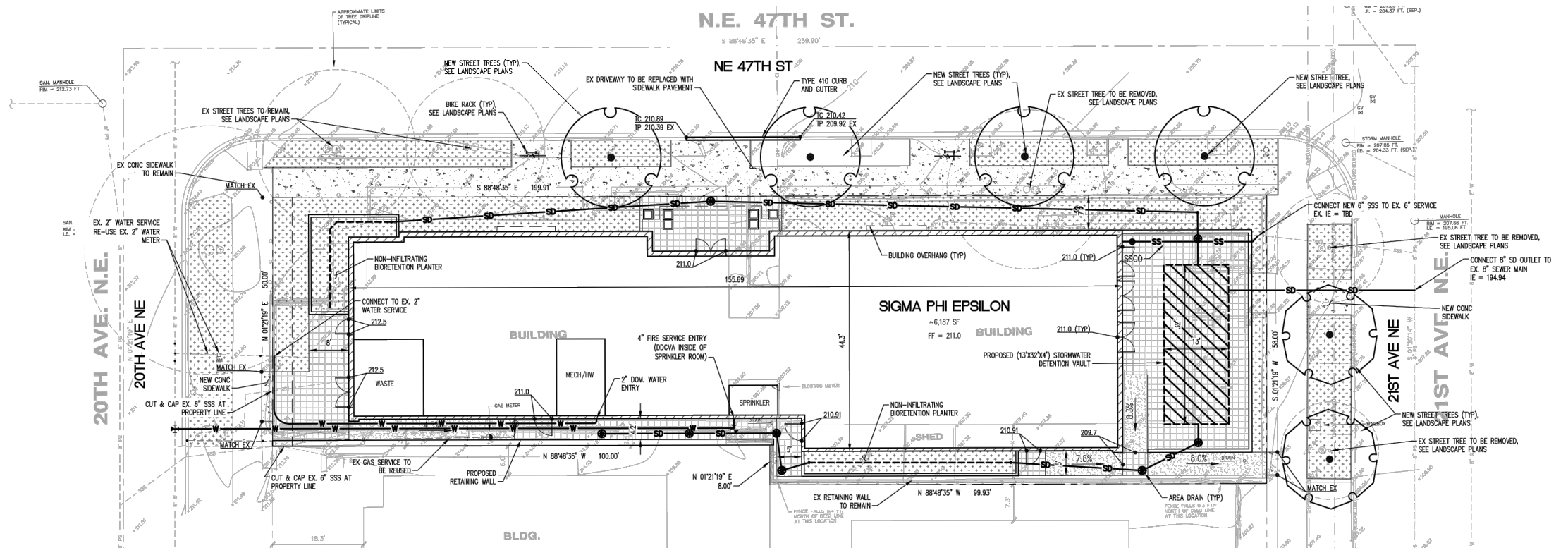
THE SIGMA PHI EPSILON FRATERNITY WILL SIT AMIDST A COLLECTION OF OTHER GREEK HOUSES. WHILE BORROWING ELEMENTS FROM EACH HOME, THE FRATERNITY HOUSE WILL BLEND SEAMLESSLY INTO THE NEIGHBORHOOD

ELEMENTS TO NOTE:

- THE MANSARD ROOF WILL MATCH THE EXISTING ROOF SYSTEM OF THE ZETA PSI HOUSE THAT IS LOCATED TO THE NORTH (PICTURED ABOVE)
- THE FRONT PORCH COLONNADE WILL RESEMBLE CLOSELY TO THE ALPHA SIGMA PHI AND PHI DELTA THETA ENTRANCES AND MAKE A PROMINENT ENTRY TO THE BUILDING.
- THE SIDING ON THE REAR, ALTHOUGH UNSEEN FOR THE MOST PART, WILL MATCH THE ELEMENT FROM THE ALPHA PHI HOUSE.



PHI DELTA THETA
EAST OF PROPERTY



NE 47TH ST INFORMATION

| | |
|----------------------------|---|
| CLASSIFICATION: | URBAN VILLAGE NEIGHBORHOOD ACCESS |
| RIGHT-OF-WAY WIDTH | |
| EXISTING/PROPOSED: | 60 FEET |
| ASPHALT PAVEMENT WIDTH | |
| EXISTING/PROPOSED: | 24 FEET |
| SIDEWALK (SOUTH SIDE) | |
| EXISTING/PROPOSED: | 6 FEET (WITHIN R/W) |
| PLANTER STRIP (SOUTH SIDE) | |
| EXISTING/PROPOSED: | ~3.2 FEET / ~5.3 FEET |
| CURB HEIGHT (SOUTH SIDE) | |
| EXISTING/PROPOSED: | 6 INCHES |
| STREET TREES | |
| EXISTING: | AESCULUS HIPPOCASTANUM (HORSE CHESTNUT) TO REMAIN |
| PROPOSED: | ARBUTUS UNEDO (STRAWBERRY TREE) TO BE REMOVED ULMUS DAVIDIANA "JFS KW2UD" (GREENSTONE ELM) |

LEGAL DESCRIPTION

BEGINNING AT A POINT 30 FEET EAST AND 250 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTH 1/2 OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 25 NORTH, RANGE 4 EAST W.M.; THENCE EAST 100 FEET; THENCE NORTH 51.7 FEET, MORE OR LESS TO THE SOUTH LINE OF N.E. 47TH STREET; THENCE WEST 100 FEET; THENCE SOUTH 51.7 FEET, MORE OR LESS TO THE POINT OF BEGINNING; EXCEPT THAT PORTION, IF ANY, LYING SOUTHERLY OF A LINE DESCRIBED AS FOLLOWS: BEGINNING 30 FEET EAST AND 80 FEET SOUTH OF THE NORTHWEST CORNER OF SAID SUBDIVISION; THENCE EAST 100 FEET TO THE TERMINUS OF SAID LINE, TOGETHER WITH THE NORTH 58 FEET OF THE FOLLOWING DESCRIBED PROPERTY: BEGINNING AT A POINT ON THE WEST SIDE OF 21ST AVENUE N.E. EXTENDED, WHICH POINT IS 230 FEET EAST AND 200 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTH 1/2 OF THE SOUTH 1/23 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 25 NORTH, RANGE 4 EAST W.M.; THENCE NORTH 101.7 FEET, MORE OR LESS, TO THE SOUTH LINE ON NORTHEAST 47TH STREET; THENCE WEST ALONG SAID SOUTH LINE 100 FEET; THENCE SOUTH ALONG A LINE PARALLEL WITH AND 130 FEET DISTANT FROM WEST LINE OF SAID SUBDIVISION, TO A POINT WHICH BEARS WEST FROM THE POINT OF BEGINNING; THENCE EAST 100 FEET TO THE POINT OF BEGINNING. SITUATE IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON.

20TH AVE NE INFORMATION

| | |
|---------------------------|--|
| CLASSIFICATION: | URBAN VILLAGE NEIGHBORHOOD COLLECTOR ARTERIAL |
| RIGHT-OF-WAY WIDTH | |
| EXISTING/PROPOSED: | 60 FEET |
| ASPHALT PAVEMENT WIDTH | |
| EXISTING/PROPOSED: | 24 FEET |
| SIDEWALK (EAST SIDE) | |
| EXISTING/PROPOSED: | ~6 FEET (WITHIN R/W) |
| PLANTER STRIP (EAST SIDE) | |
| EXISTING/PROPOSED: | ~9 FEET |
| CURB HEIGHT (EAST SIDE) | |
| EXISTING/PROPOSED: | 6 INCHES |
| STREET TREES | |
| EXISTING: | CRATAEGUS HAWTHORN (WASHINGTON HAWTHORN) TO REMAIN |
| PROPOSED: | NO ADDITIONAL TREES PROPOSED |

SITE FEATURES

THE PROJECT IS A 10,795sf THROUGH-LOT. IT IS CURRENTLY OCCUPIED BY SIGMA PHI EPSILON'S FRATERNITY HOUSE. THE SITE SLOPES EAST TO WEST, DROPPING ABOUT 4 FEET FROM 20th AVE NE TO 21st AVE NE. NE 47th ST RUNS ALONG THE NORTH PROPERTY LINE. TO THE SOUTH IS A LARGE ROOMING HOUSE AND AN APARTMENT COMPLEX.

21ST AVE NE INFORMATION

| | |
|---------------------------|---|
| CLASSIFICATION: | URBAN VILLAGE NEIGHBORHOOD ACCESS |
| RIGHT-OF-WAY WIDTH | |
| EXISTING/PROPOSED: | 60 FEET |
| ASPHALT PAVEMENT WIDTH | |
| EXISTING/PROPOSED: | 24 FEET |
| SIDEWALK (WEST SIDE) | |
| EXISTING/PROPOSED: | ~6 FEET (WITHIN R/W) |
| PLANTER STRIP (WEST SIDE) | |
| EXISTING/PROPOSED: | ~8.8 FEET |
| CURB HEIGHT (WEST SIDE) | |
| EXISTING/PROPOSED: | 6 INCHES |
| STREET TREES | |
| EXISTING: | CRATAEGUS PHAENOPYRUM (WASHINGTON HAWTHORN) TO BE REMOVED |
| PROPOSED: | CARPINUS JAPONICA (JAPANESE HORNBEAM) |

PROPOSED LEGEND

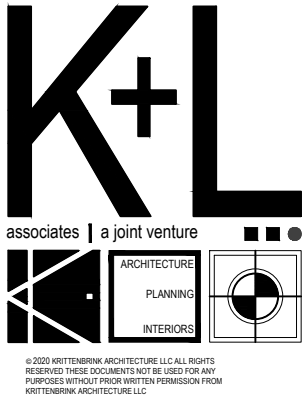
| | |
|--|--|
| PROPOSED BUILDING | |
| CONC SIDEWALK, TYPE 420 | |
| ARCHITECTURAL SIDEWALK | |
| ARCHITECTURAL SLOPED PAVING | |
| LANDSCAPING, AMEND SOIL PER COS STD PLAN 142 | |
| SANITARY SEWER | |
| STORM DRAIN | |
| WATER LINE | |
| AREA DRAIN | |

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STANDARD ZONING: LR3 / UNIVERSITY DISTRICT NORTHWEST (URBAN CENTER VILLAGE)

| CITATION | TOPIC | PROPOSED | REQUIREment |
|-------------|-----------------------------------|------------------------------|---|
| 23.45.510 | FAR Limit | 1.61 | Max. 2.0 with Built Green 4 Star |
| 23.45.512 | Density Limit | - - | No Limit with Built Green 4 Star |
| 23.45.514.A | Structure Height | 43'-10" @ Roof | Max. 40', 45' w/ Pitched Roof |
| | | 48'-6" @ Stair Penthouse | Max. 56' Elevator & Stair Penthouse(s) |
| | | 53'-0" @ Elevator Penthouse | Max. 56' Elevator & Stair Penthouse(s) |
| 23.45.518 | Setbacks and Separations | See Page 11 for Departures | Front: 5' min. Rear: 15' min no alley. Side at facades less than 40' in length: 5. Side for facades over 40': 7 average, 5 min. |
| 23.45.522 | Amenity areas | 34.21%; 53.5% @ Ground Level | 25% of lot area minimum 50% of Amenity Area @ Ground Level |
| 23.45.524 | LandscapingGreen Factor | 0.698 | 0.6 or greater |
| 23.45.527 | Structure Width and Facade Length | See Page 11 for Departures | The maximum combined length of all portions of façades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line |
| 23.54.015 | Parking | None | None required |
| 23.54.015 | Bicycle Parking | 26 Parking Spaces | Long Term: 1 per Sleeping Room (After 50, 3 per 4 Sleeping Rooms) 2 Parking Spaces Short Term: 1 per 20 Sleeping Rooms |
| 23.54.040 | Solid waste and recycling | 213 SF | No specific requirement for congregate residences |



BOARD RECOMMENDATIONS AND RESPONSES

After visiting the site, considering the analysis of the site and context provided by the proponents, and hearing public comment, the Design Review Board members provided the following siting and design guidance:

1. Design concept and detailing

- a. The Board unanimously agreed that the shape of the site and the setbacks made development challenging and that the applicants preferred scheme seemed to best meet the design guidelines. (CS1, CS2, DC1, DC2, and DC3) - **The shape and setbacks of the building have maintained the preferred scheme shown at EDG while including more exterior usable area (East Patio)**
- b. Board members expressed appreciation for the taller floors. At approximately 14 feet they felt that it would create a dynamic and interesting presence on the site. (DC1 and DC2) - **The first floor has maintained a 14' height while the Second and Third Floor are at 12 feet.**
- c. A Board member warned, and others agreed, that when working within a formal vocabulary of windows and details even minor deviations from the rigor expressed in the design becomes very apparent and could erode the strength of the concept. Specific caution was given to the treatment of the bike room and its window. (DC1, DC2, PL2 and PL4) - **We have relocated the bike room to the rear for privacy and security of the residents. A stairwell is at the NE corner of the property that will add an anchor presence to the building and adds strength to the design concept..**
- d. The Board discussed the classically inspired shape of the building and acknowledged that symmetry is critical to its success. That said, the Board wanted to ensure the applicant that understood that perfect symmetry would not be required for the design concept to be successful. However, deviations from the symmetrical design should be well detailed, intentional and explained in future submittals. (CS3, PL1, DC1, and DC3) - **The new design of the building falls back to the traditional residential feel while maintaining symmetry and uniqueness that is garnered from the lot layout and a desire to provide ground-level amenity area.**
- e. The Board further appreciated the traditional character of the building, the use of brick noted in the design review packet, and the broad overhang that is central to the design. - **The new design of the exterior maintains the brick and has added more cast stone to accompany it. The Entrance overhang and scale has been increased for a stronger perceptive entrance and character.**

2. Street level interaction and open space

- a. The Board felt that the proposal had a strong landscape and outdoor space concept but requested that the applicant include further discussion or refinement of the pony walls and their connection to hardscape landscaping elements. (PL1 and PL3) - **The new design has added a patio on the east side for the residents that will interact with the neighborhood. The amount of shrubbery and greenery around the landscape elements has been increase as well.**
- b. The Board discussed the entry at length. They agreed it was the focus of the project and a strong form but needed more detail and refinement. The Board reiterated their support for its broad overhang and even suggested pulling the overhang and its columns further toward the sidewalk, indicating they would support a departure if it's necessary to achieve this goal. (PL2, PL3 and DC2) - **The new design is slightly less in length and includes the east patio. The entrance has been moved further towards the sidewalk to give the entrance a smoother transition.**
- c. The Board stated that the design of the street facing facade along 20th Avenue NE was very utilitarian and discussed strategies to activate that corner, including adjusting the arrangement of uses and meeting space. They accepted that the south streets (including 20th Ave NE) are alley-like in nature, with infrastructure and storage uses dominating the street, but consensus was that, at the very least, the corner (where the site meets NE 47th St) should be better activated. (DC1, DC2, PL2 and PL4) - **The 20th Ave side now includes the stair tower on the corner, and access to the Waste room in the building. It also includes a bike path to the Bike storage room in the back of the building. These items have been strategically placed along this side for security, privacy, and accessibility. The stair tower in the corner will act as a physically strong presence to the hold the look of the building along the 47th St side. The corner is highly detailed with landscaping so it does not feel like dead space.**

BOARD RECOMMENDATIONS AND RESPONSES

DEVELOPMENT STANDARD DEPARTURES

The Board's recommendation on the requested departure(s) will be based on the departure's potential to help the project better meet these design guidelines priorities and achieve a better overall project design than could be achieved without the departure(s). The Board's recommendation will be reserved until the final Board meeting.

At the time of the Early Design Guidance meeting the following departures were requested: **Original Departures for setbacks and facade lengths are still requested. They have been combined into 3 Departures instead of the original 4.**

1. Setbacks and Separations (23.45.518.A): The Code requires a side setback for facades greater than 40 feet must be a 7' average and a 5' minimum. The applicant proposes an average of 5' to 7' and an min. of 3'.

The Board indicated preliminary support for this departure. The departure allows the portico columns at the entry feature which is critical to the success of the traditional styling and symmetrical massing of the project. This feature clearly marks the entrance along NE 47th St and is a response to the context of nearby fraternity/sorority buildings. (CS2.A2, CS2.B2, CS3.A1, PL3.A2, and DC2.B1) - **This setback is still requested with the new design of the building, while minimum maintains true to the portico and columns.**

2. Structure Width & Facade Length (23.45.527.B.1): The Code requires that the combined length of all portions of the façade within 15 feet of a lot line shall not exceed 65% of the length of the lot line. The applicant proposes to allow the combined length of all portions of the facades within 15' be equal to 68% of the length of the lot line.

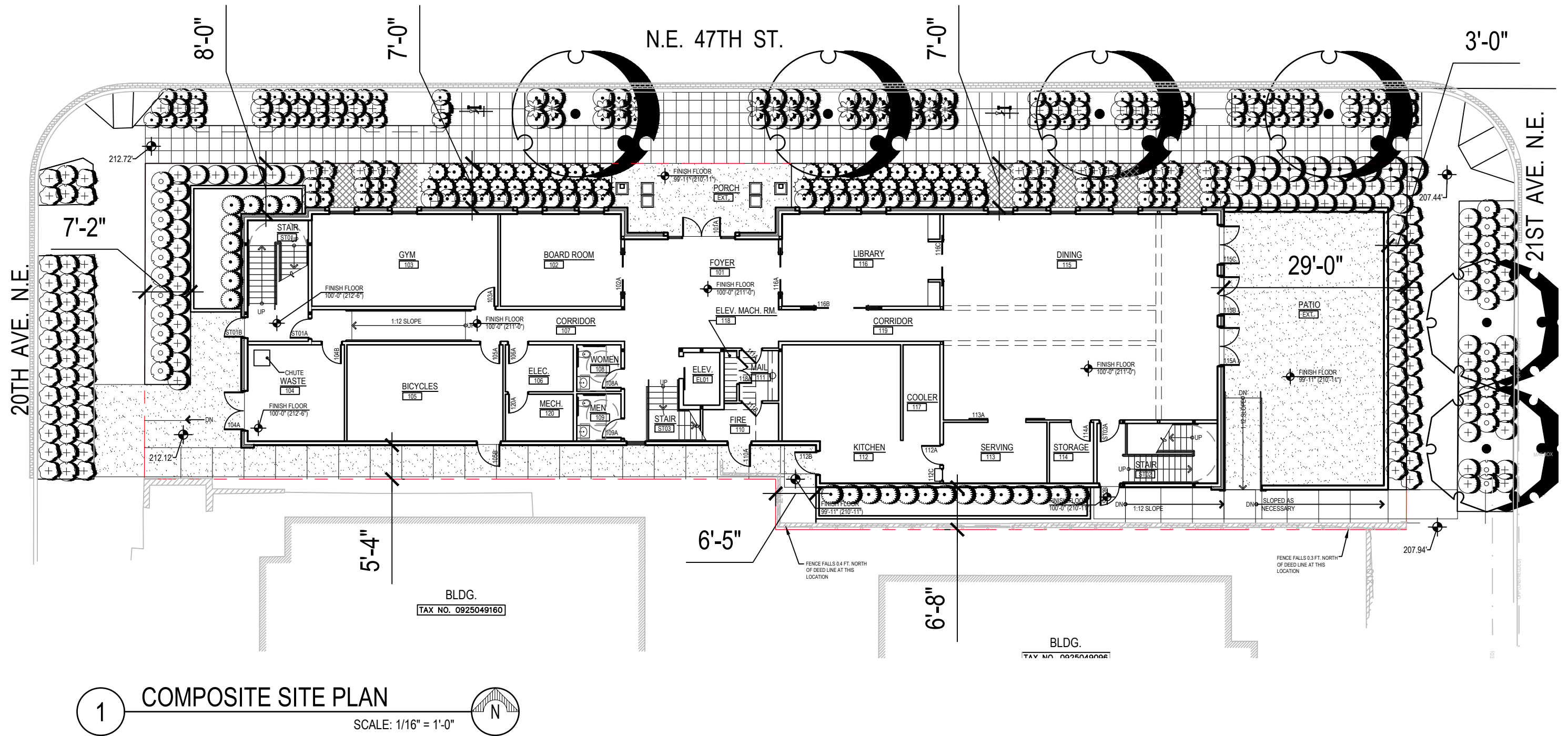
The Board indicated preliminary support for this departure. The small departure allows a larger amenity area and pushes a tall piece of building structure away from the more visible facades of the building, which improves the streetscape. (CS2.A2, CS2.C3, CS3.A1, DC2.B1, DC2.D1) - **This setback is still requested with the new design of the building.**

3. Side setbacks for Facades Greater than 40' (23.45.518.A) The Code requires that the side setback for facades greater than 40' in length must be 7' average and 5' minimum. The applicant proposes a 6.25' average setback and to maintain the minimum of 5' at the south of the site.

The Board indicated support for this departure. It allows from the larger entry area supported by the Board and allows for a more articulated front façade. (CS2.A2, CS2.B2, CS3.A1, PLC.B3) - **This setback is still requested with the new design of the building.**

4. Structure Width & Facade Length (24.35.527.B.1) The code states that a maximum combined length of all portions of the facades within 15 feet of a lot line that is neither a rear lot line or a street or alley lot line shall not exceed 65% of the length of that lot line. The applicant is requesting that they be equal to 95% as illustrated on page 35 of the design review packet.

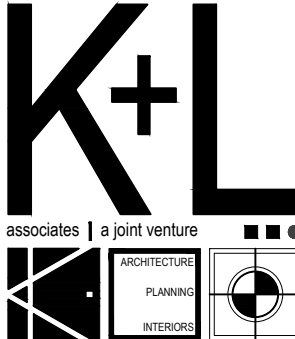
The Board indicated preliminary support for this departure. The gesture allowed for and is offset by the generous entry courtyard at the north street facing side of the property. (CS2.A2, CS2.B2, CS3.A1, PLC.B3) - **This setback is still requested with the new design of the building.**



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 4637 21st Ave NE, Seattle, Washington
 05.06.20 Design Review Board Package

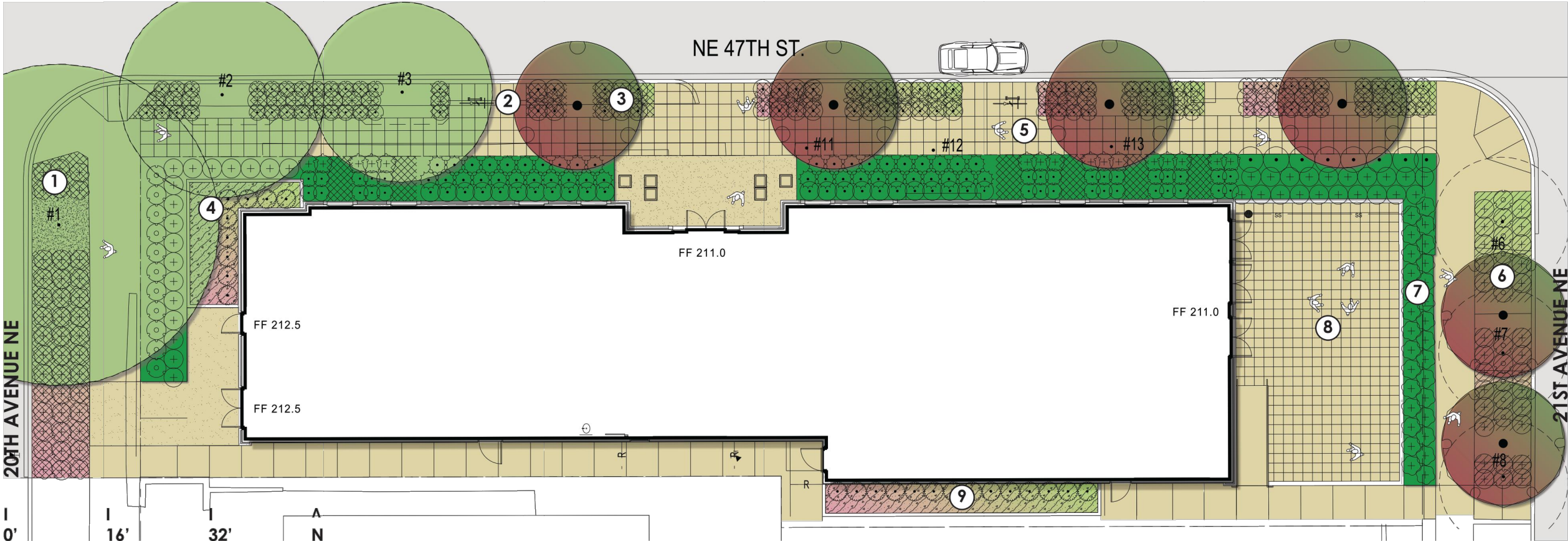
MUP# 3032696-EG, 3030739-LU

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SITE



20th Ave. NE/NE 47th St.

- 1 Retain Horsechestnut trees; repair sidewalk
- 2 New Tofino Bike Racks
- 3 Street trees require 5.5' planter; move sidewalk
- 4 Bioretention Planter
- 5 Sidewalks - sawcut joints

21th Avenue NE

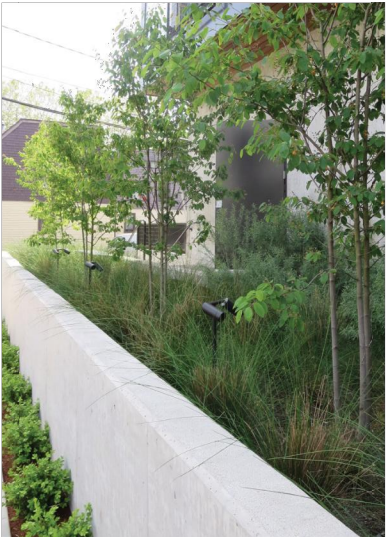
- 6 New small trees below powerlines
- 7 Low hedge at wall
- 8 Terrace - Concrete slab

South Side

- 9 Bioretention Planter



2 Tofino better bike rack



4 Bioretention Planter



5 Sidewalks - sawcut joints



6 New small trees below powerlines



7 Low hedge at wall

PLANTS

TREES

SHRUBS

PLANT SCHEDULE (STREET TREE SELECTIONS APPROVED)

BOTANICAL NAME

CARPINUS JAPONICA

ULMUS DAVIDIANA 'JFS KW2UD'

BOTANICAL NAME

AZALEA X 'HINO CRIMSON'

BUXUS MICROPHYLLA 'WINTER GEM' *

HYDRANGEA PANICULATA 'JANE'

ILEX GLABRA

NANDINA DOMESTICA 'MOON BAY' TM *

POLYSTICHUM MUNITUM

ROSA X 'AMBER CARPET ROSE'

SARCOCOCCA HOOKERIANA HUMILIS *

SPIRAEA X BUMALDA 'ANTHONY WATERER' *

VIBURNUM DAVIDII *

GROUND COVERS

BOTANICAL NAME

CAREX OBNUPTA

LIRIOPE SPICATA *

PACHYSANDRA TERMINALIS *

TREES



Carpinus japonica
Japanes Hornbeam



Ulmus davidiana 'JFS KW2UD'
'Greenstone' Elm

SHRUBS



Rhododendron 'Hino Crimson'
'Hino Crimson' Azalea



Buxus microphylla 'Winter Gem'
Winter Gem Japanese Boxwood



Hydrangea paniculata 'Jane'
'Little Lime' Hydrangea



Ilex glabra 'compacta'
Compact Inkberry

GROUNDCOVERS



Nandina domestica 'Moon Bay'
Heavenly Bamboo



Rosa 'Amber'
Amber Groundcover Rose



Spiraea 'Anthony Waterer'
Anthony Waterer Spirea



Viburnum davidii
David's Viburnum



Carex obnupta
Slough Sedge



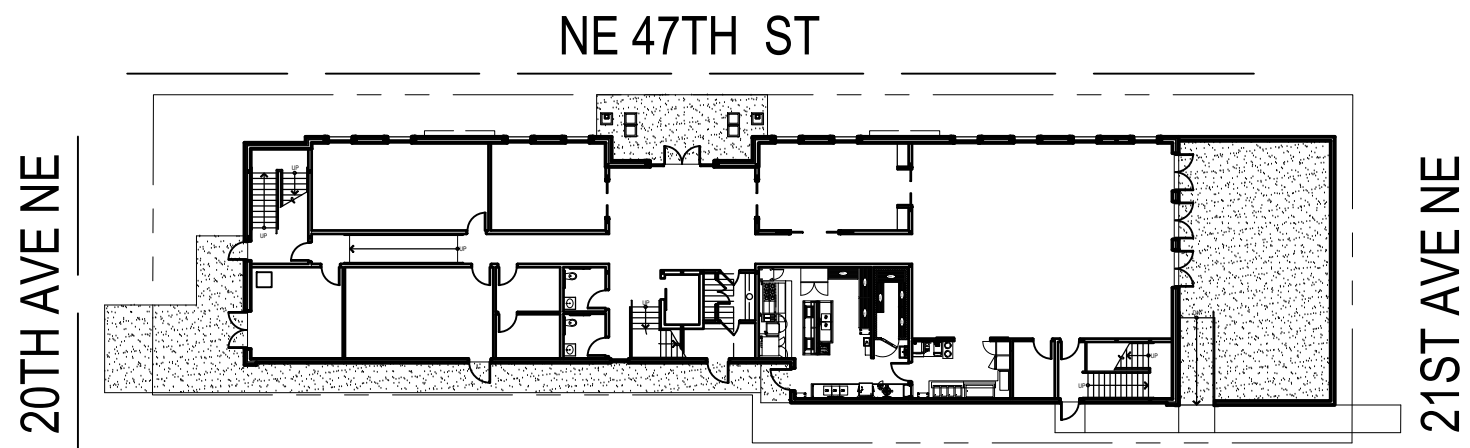
Liriope spicata
Creeping Lilyturf



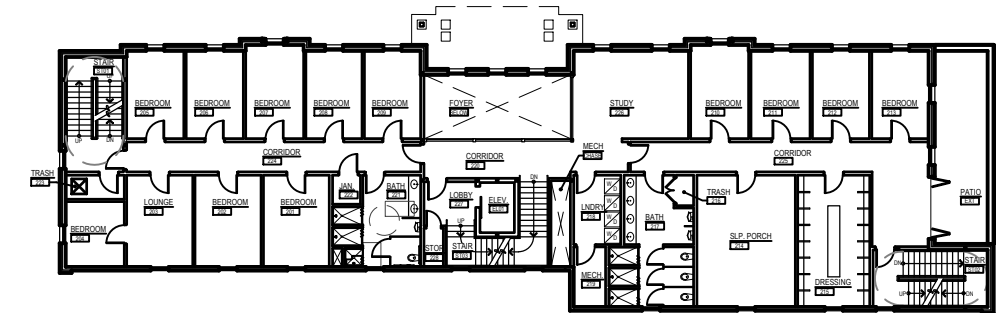
Pachysandra terminalis
Japanese Spurge



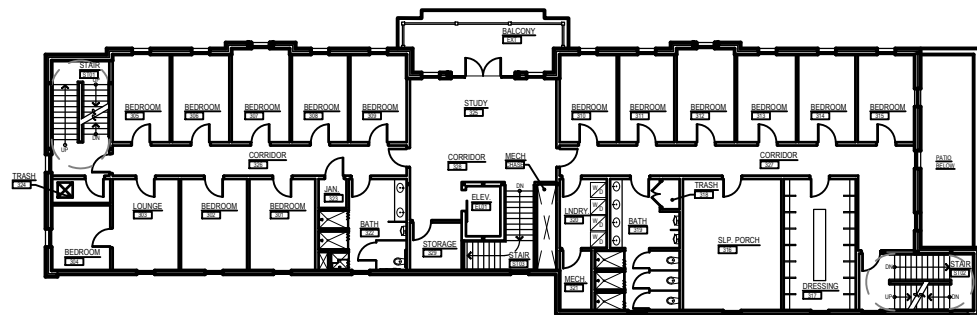
Polystichum munitum
Sword Fern



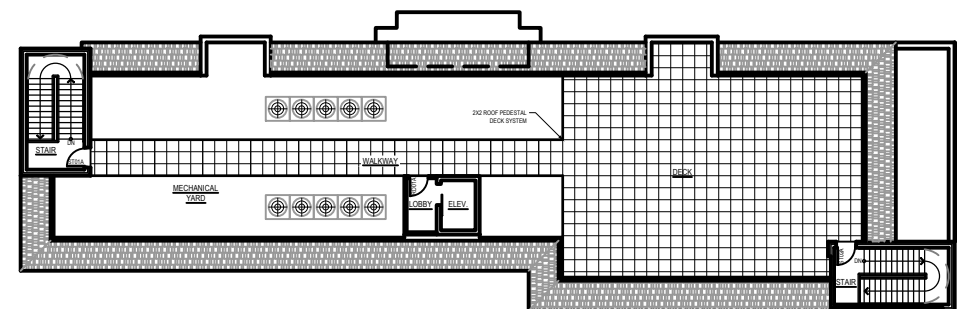
1 FIRST FLOOR PLAN
SCALE: 1/32" = 1'-0" N



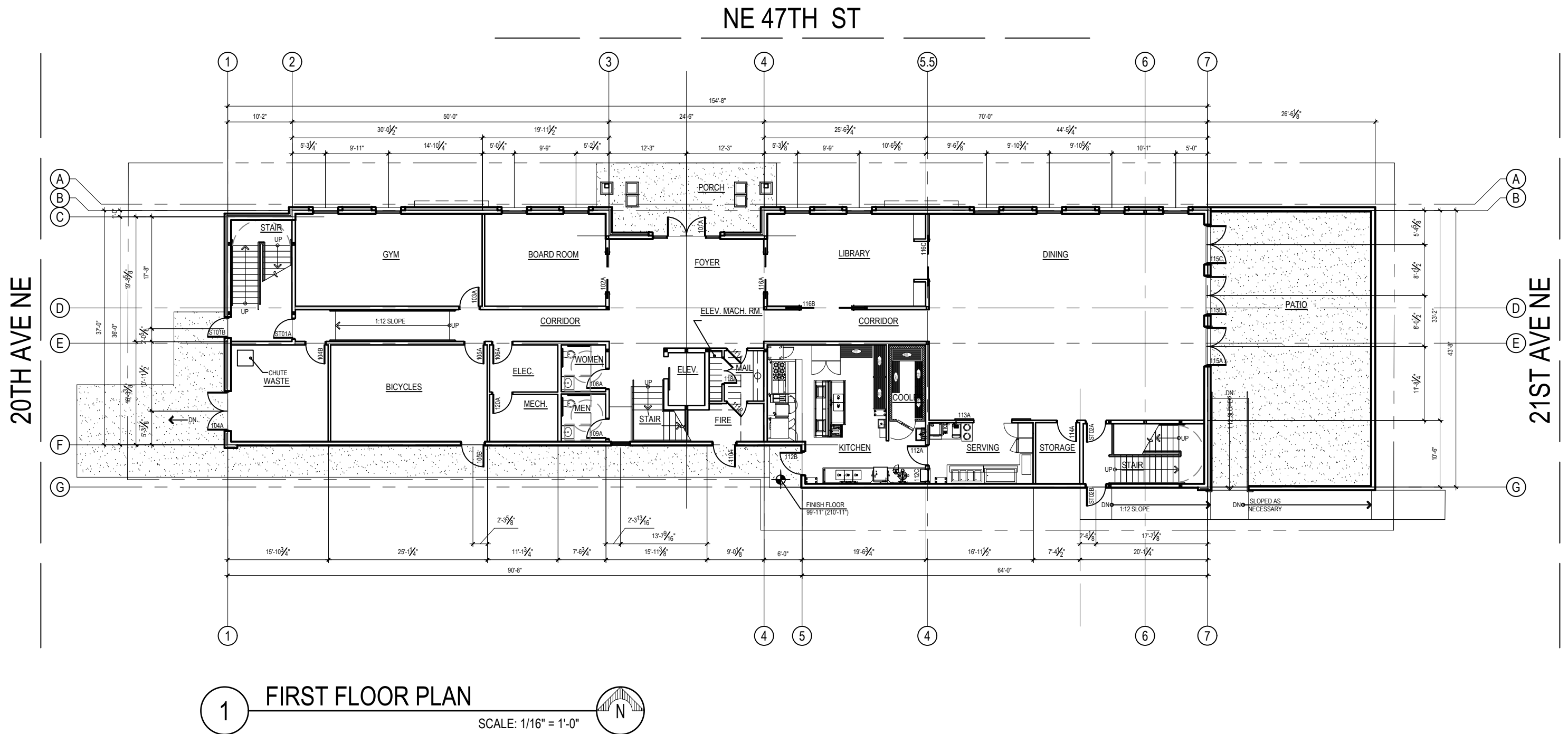
2 SECOND FLOOR PLAN
SCALE: 1/32" = 1'-0" N

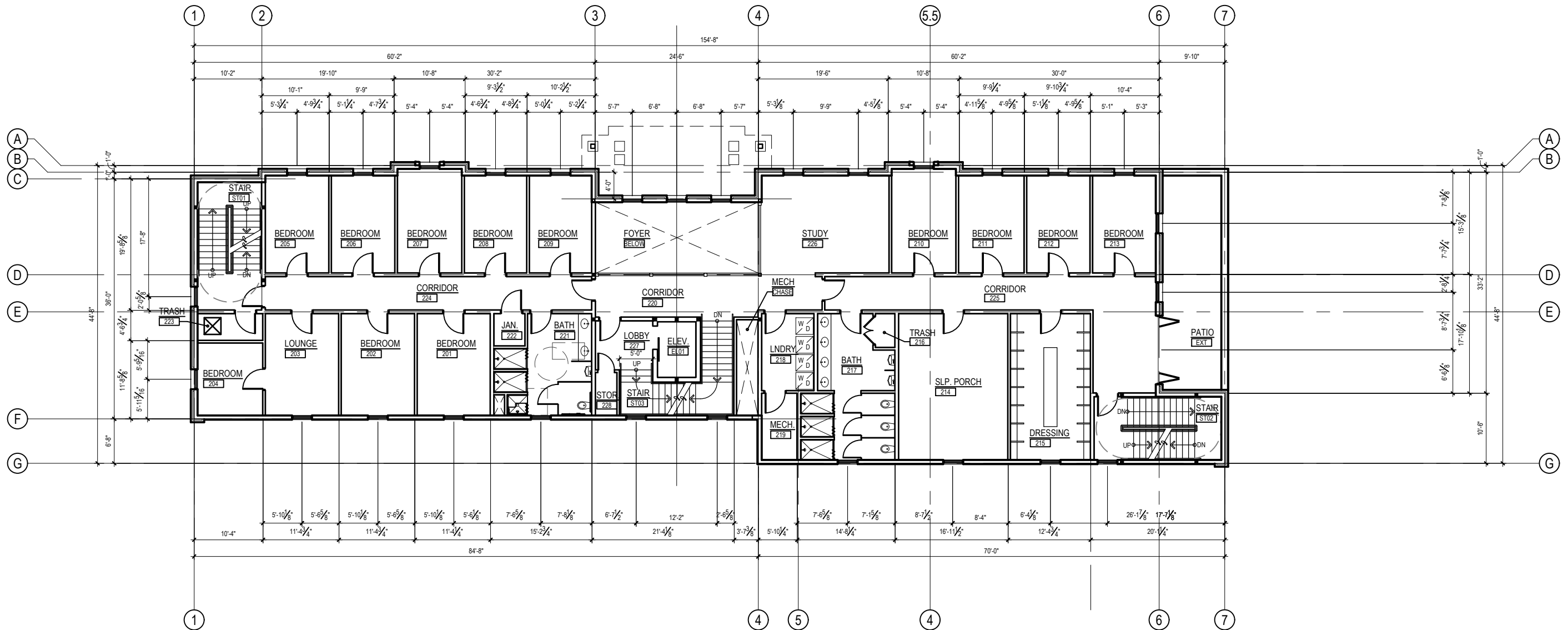


3 THIRD FLOOR PLAN
SCALE: 1/32" = 1'-0" N

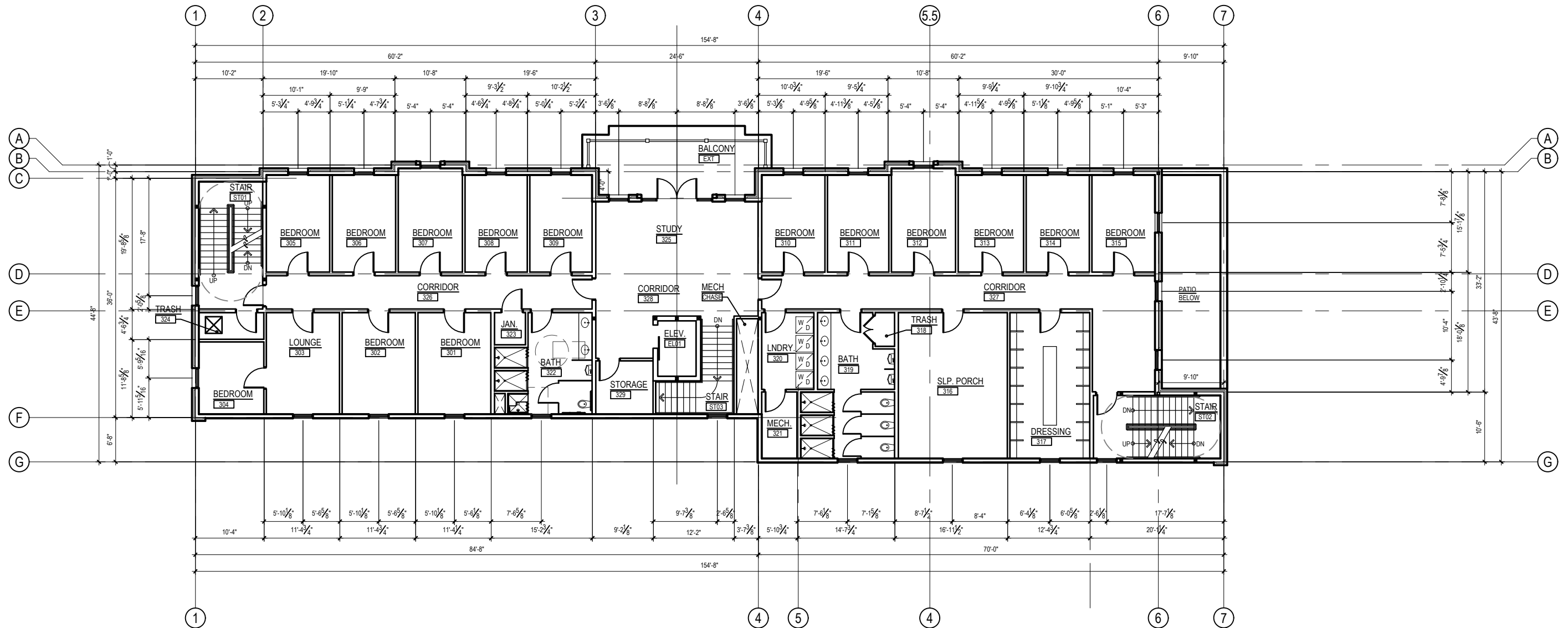


4 ROOF PLAN
SCALE: 1/32" = 1'-0" N





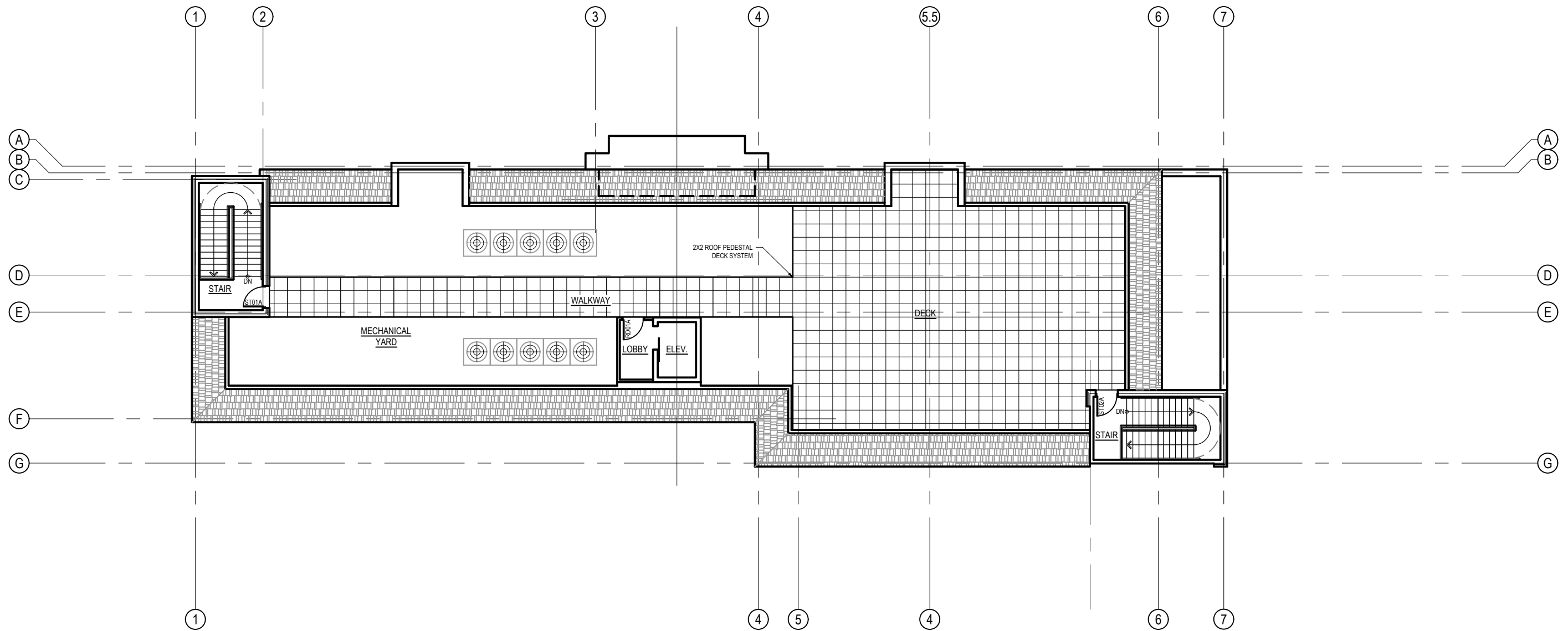
1 SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 THIRD FLOOR PLAN

SCALE: 1/16" = 1'-0"

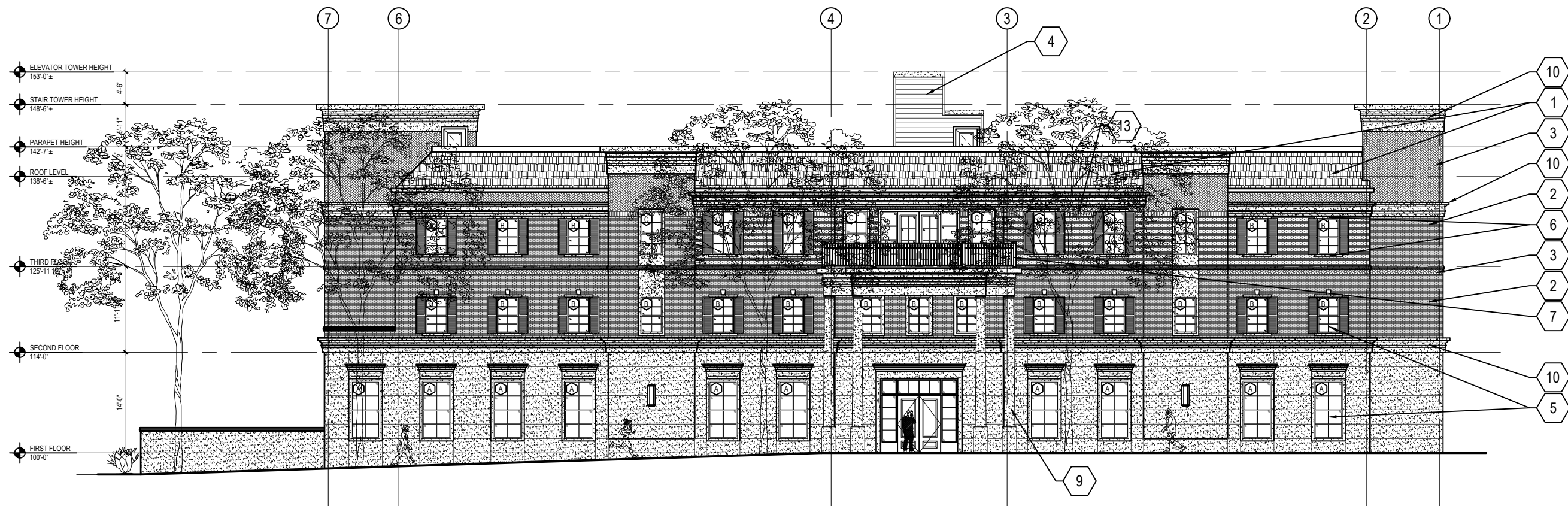
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1 ROOF PLAN

SCALE: 1/16" = 1'-0"

N



1 NORTH ELEVATION

SCALE: 1/16" = 1'-0"

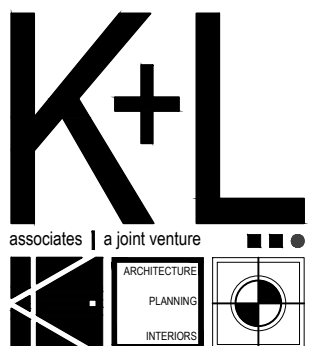
KEY NOTES

- | | |
|---|-------------------------------------|
| 1. ARCHITECTURAL GRADE IMPACT RESISTANT COMPOSITION SHINGLES | 7. DECORATIVE ROD IRON HANDRAIL |
| 2. BRICK VENEER | 8. CONCRETE STAIR |
| 3. BRICK VENEER - HERRINGBONE | 9. PREFABRICATED COLUMN WRAP |
| 4. FIBER CEMENT LAP SIDING - 6" LAP | 10. CAST STONE CORNICE |
| 5. SCHEDULED WINDOW / DOOR RE: DOOR & WINDOW DETAILS | 11. CAST STONE CAP |
| 6. CAST STONE HEADERS AND SILLS RE: DOOR & WINDOW DETAILS | 12. PRE FINISHED ALUMINUM DOWNSPOUT |
| | 13. BRICK SOLDIER COURSE HEADER |
| | 14. CONCRETE RAMP |

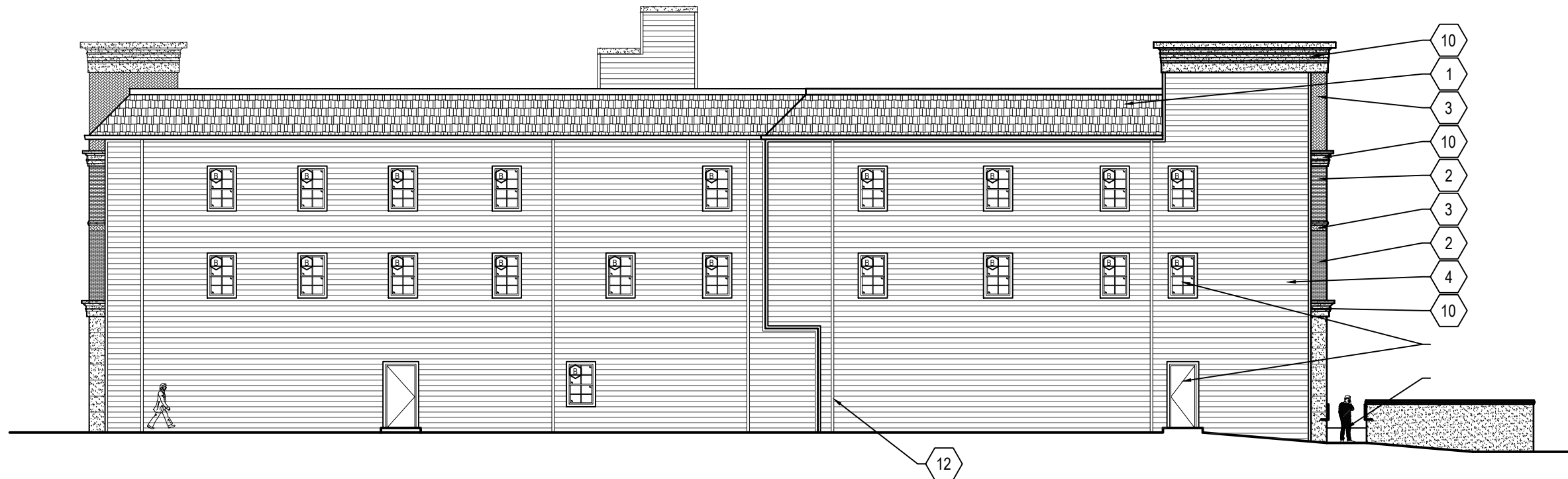
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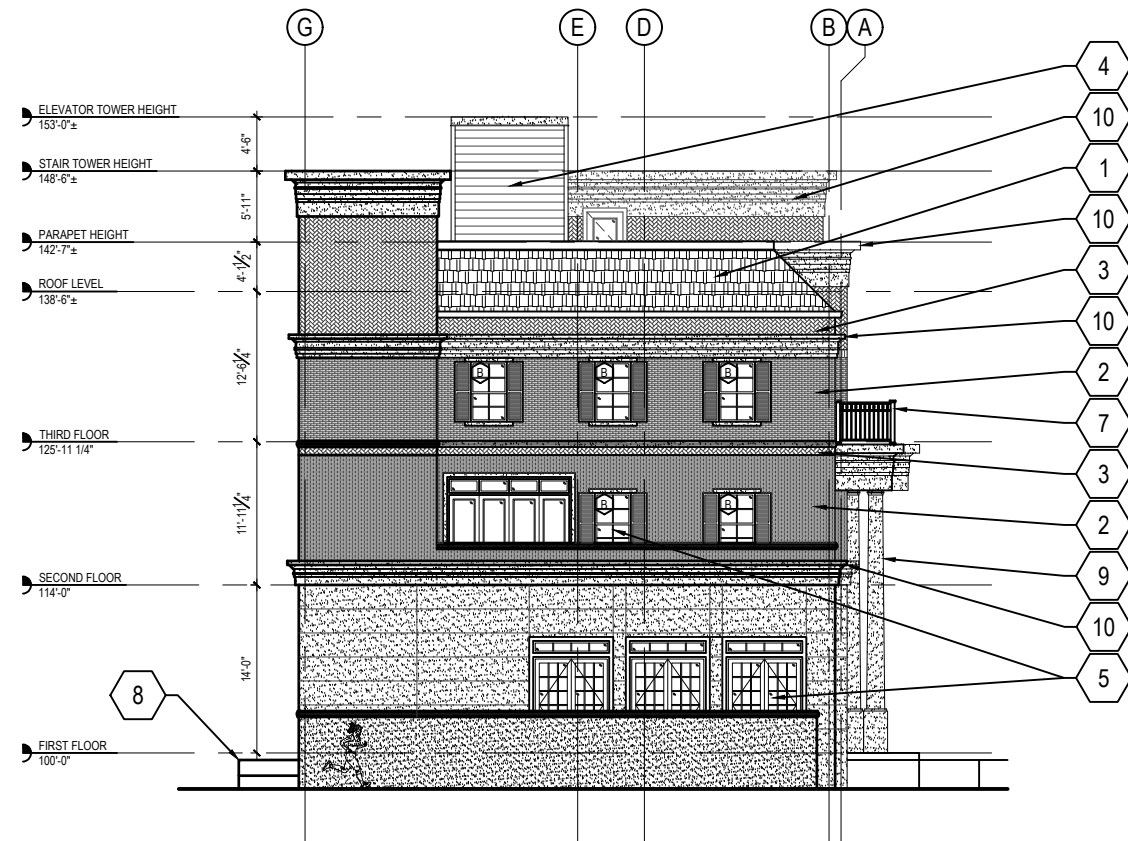
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SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

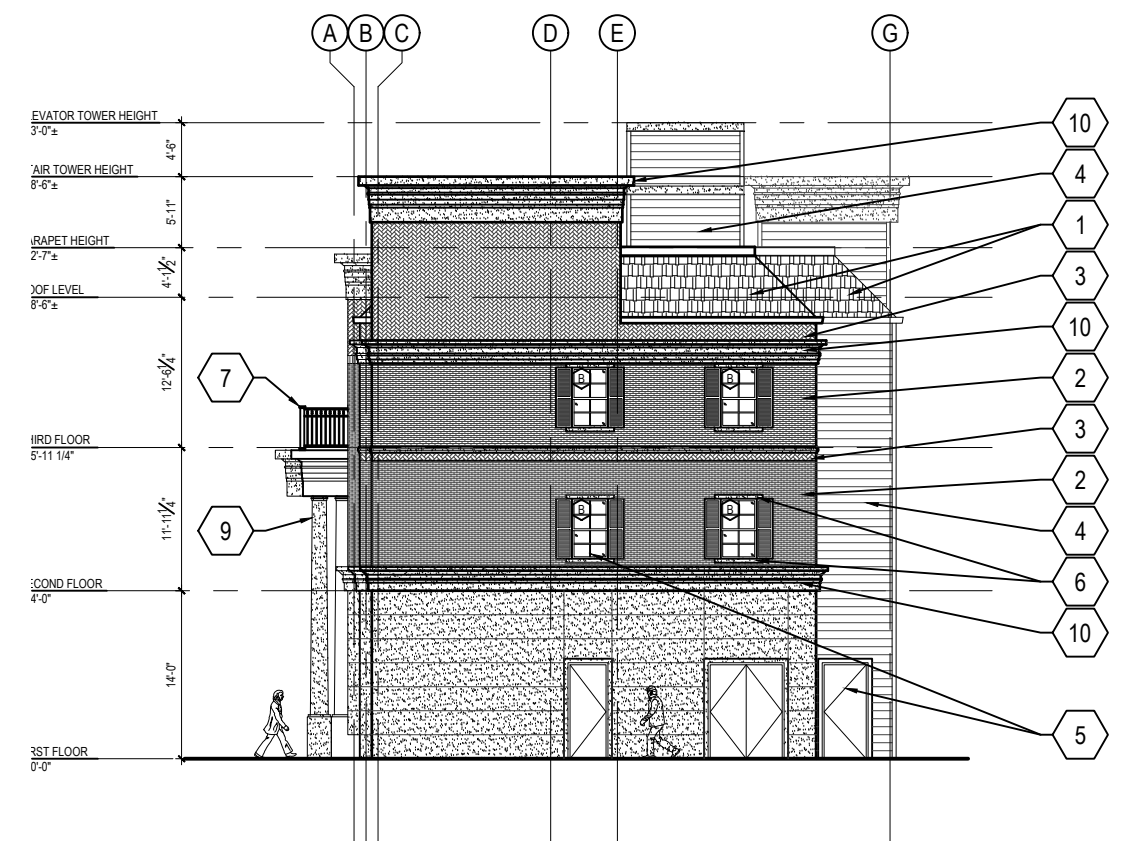
KEY NOTES

- | | |
|---|-------------------------------------|
| 1. ARCHITECTURAL GRADE IMPACT RESISTANT COMPOSITION SHINGLES | 7. DECORATIVE ROD IRON HANDRAIL |
| 2. BRICK VENEER | 8. CONCRETE STAIR |
| 3. BRICK VENEER - HERRINGBONE | 9. PREFABRICATED COLUMN WRAP |
| 4. FIBER CEMENT LAP SIDING - 6" LAP | 10. CAST STONE CORNICE |
| 5. SCHEDULED WINDOW / DOOR RE: DOOR & WINDOW DETAILS | 11. CAST STONE CAP |
| 6. CAST STONE HEADERS AND SILLS RE: DOOR & WINDOW DETAILS | 12. PRE FINISHED ALUMINUM DOWNSPOUT |
| | 13. BRICK SOLDIER COURSE HEADER |
| | 14. CONCRETE RAMP |



1 EAST ELEVATION

SCALE: 1/16" = 1'-0"



2 WEST ELEVATION

SCALE: 1/16" = 1'-0"

KEY NOTES

- | | | |
|--|---|-------------------------------------|
| 1. ARCHITECTURAL GRADE IMPACT RESISTANT COMPOSITION SHINGLES | 6. CAST STONE HEADERS AND SILLS RE: DOOR & WINDOW DETAILS | 12. PRE FINISHED ALUMINUM DOWNSPOUT |
| 2. BRICK VENEER | 7. DECORATIVE ROD IRON HANDRAIL | 13. BRICK SOLDIER COURSE HEADER |
| 3. BRICK VENEER - HERRINGBONE | 8. CONCRETE STAIR | 14. CONCRETE RAMP |
| 4. FIBER CEMENT LAP SIDING - 6" LAP | 9. PREFABRICATED COLUMN WRAP | |
| 5. SCHEDULED WINDOW / DOOR RE: DOOR & WINDOW DETAILS | 10. CAST STONE CORNICE | |
| | 11. CAST STONE CAP | |



1 PREVIOUS NORTH (FRONT) ELEVATION
SCALE: NTS

CURRENT EXTERIOR VS PREVIOUS

1. Patio was added to the East end of the building. This added exterior space for the residents will provide an exterior gathering space to the building. It will be surrounded by shrubbery and greenery between that and the sidewalk. Pony walls are added to accommodate the grade change and for seating.
2. The Contemporary/modern horizontal roof line has been replaced with a more traditional sloped and shingled Mansard roof. This will bring a classical collegiate feel to the facade and residence.
3. The Residential levels at the 2nd and 3rd floors of the exterior elevations, bring a time honored feel with a classic brick face and cast stone window surrounds. Shutters are also to be added.
4. Cast Stone is being used on the first level of the residence. This brings a high class persona and level of durability to the facade. Cast stone is a notably historic use and classic gesture to the timeless quality the traditional look of this building deserves.
5. The Entrance to the building continues the cast stone feel of the first level. Six cast stone columns are being used to bring some broadness and presence to the entrance. The 3rd level has a cast stone balcony that will overlook 47th street.



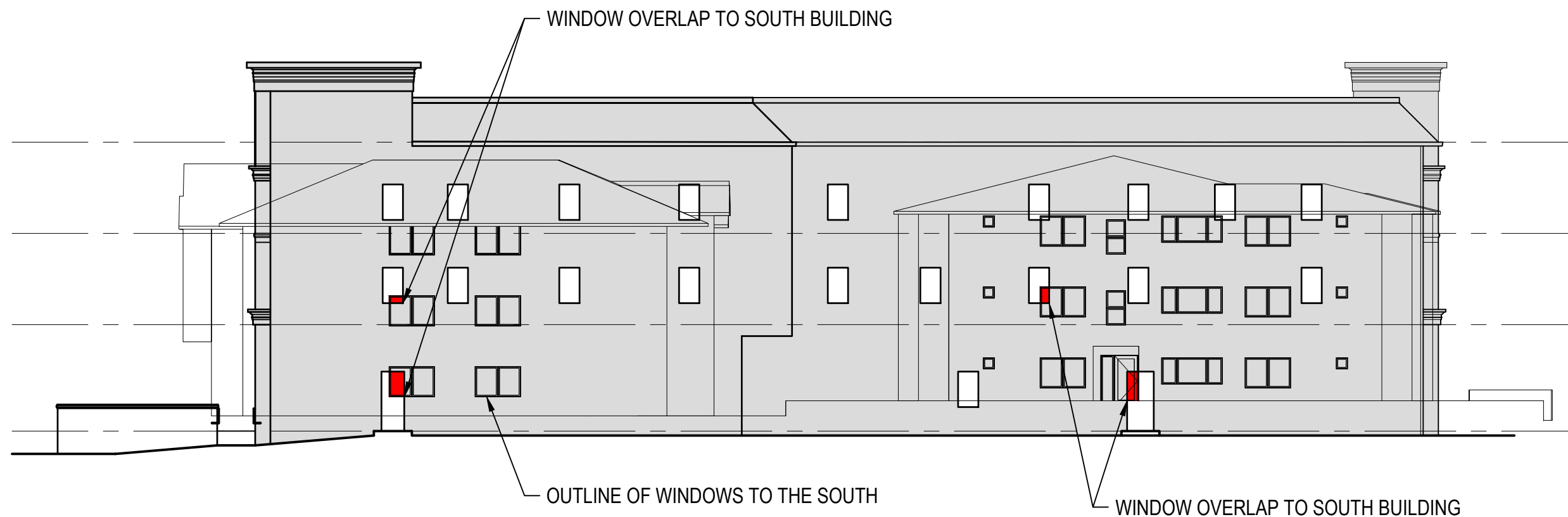
2 NEW NORTH (FRONT) ELEVATION
SCALE: NTS



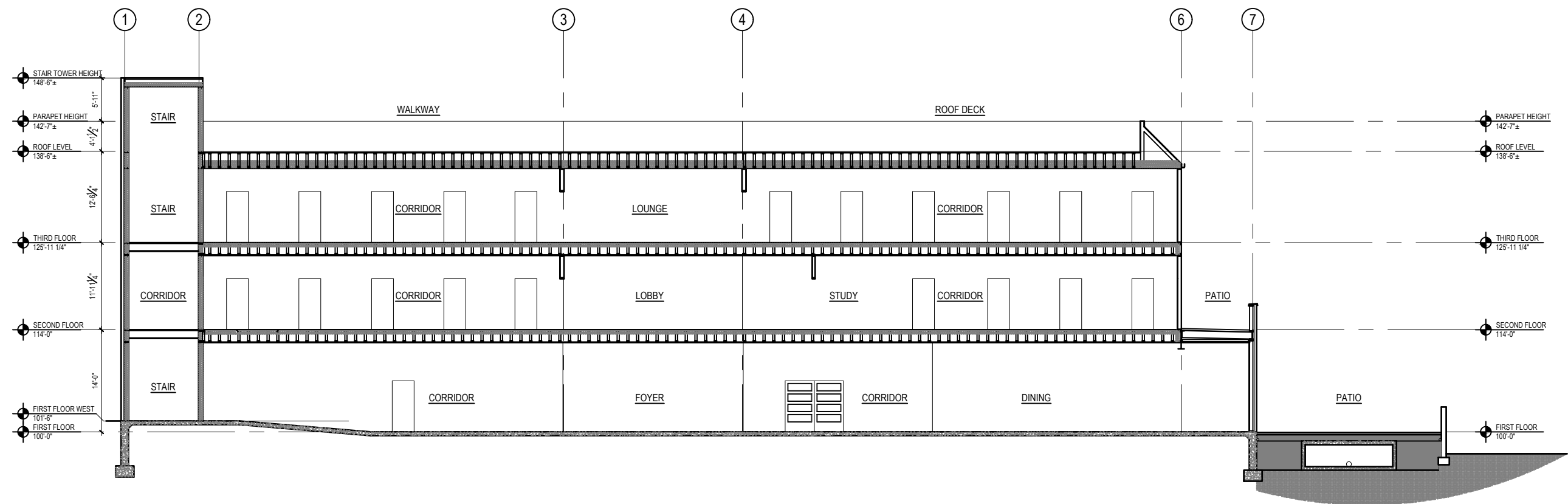
3 NEW NORTH (FRONT) ELEVATION
SCALE: NTS



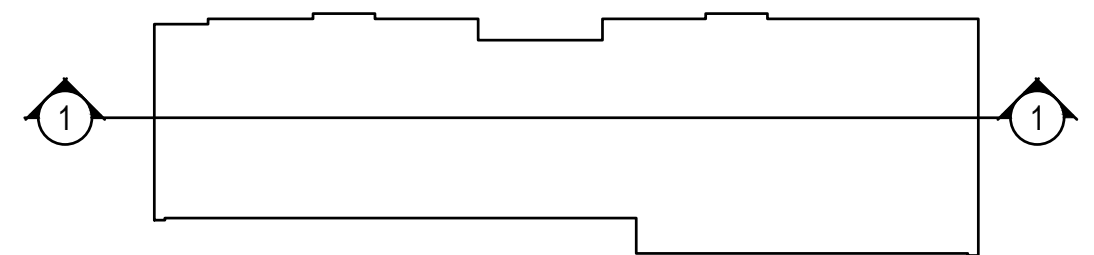
1 FACADE MATERIALS @ NORTH ELEVATION
SCALE: NTS



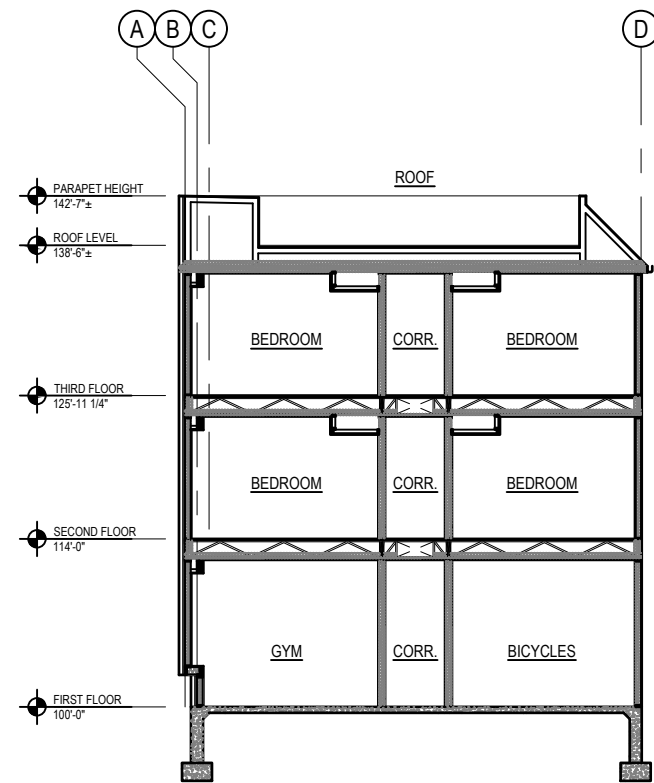
1 PRIVACY STUDY FACING SOUTH PROPERTY LINE
SCALE: 1/16" = 1'-0"



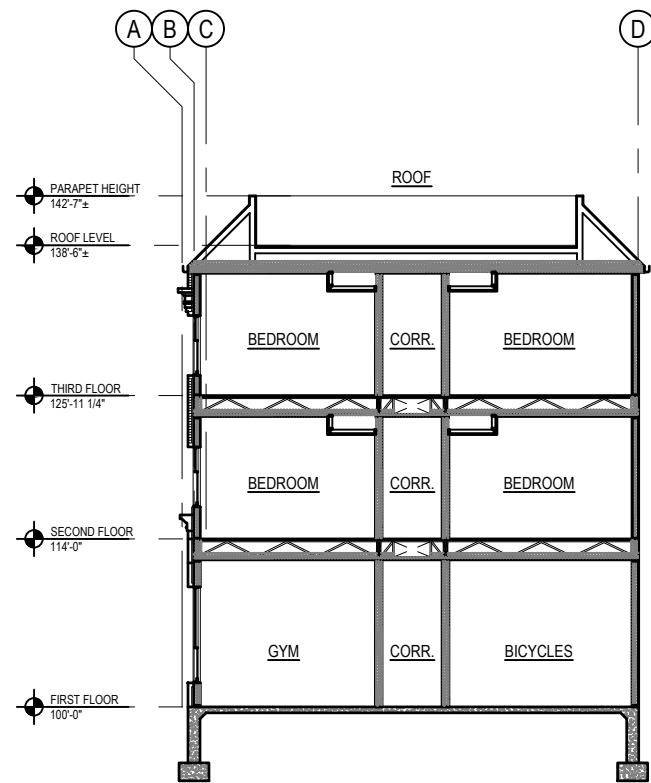
1 EAST-WEST SECTION
SCALE: 1/16" = 1'-0"



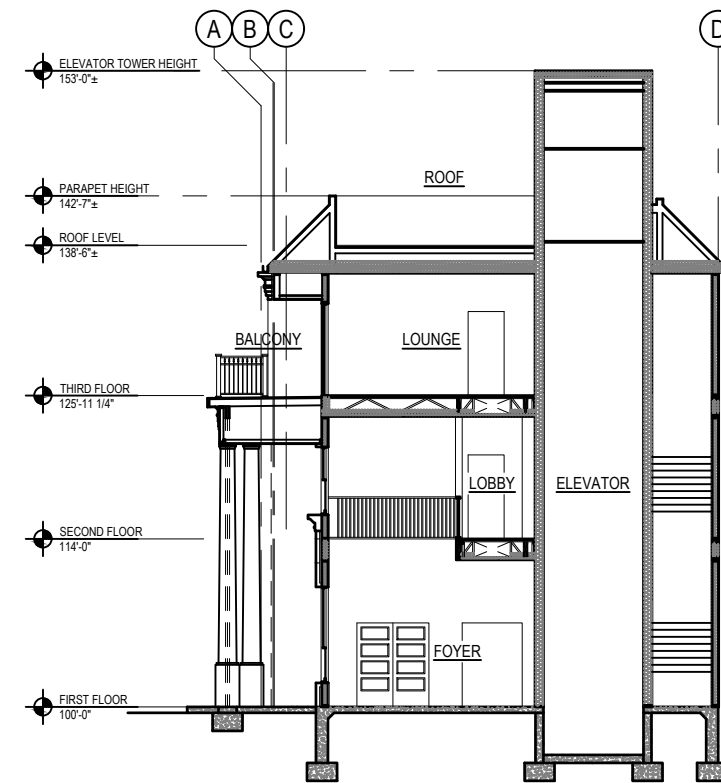
SECTION KEYPLAN
SCALE: NTS



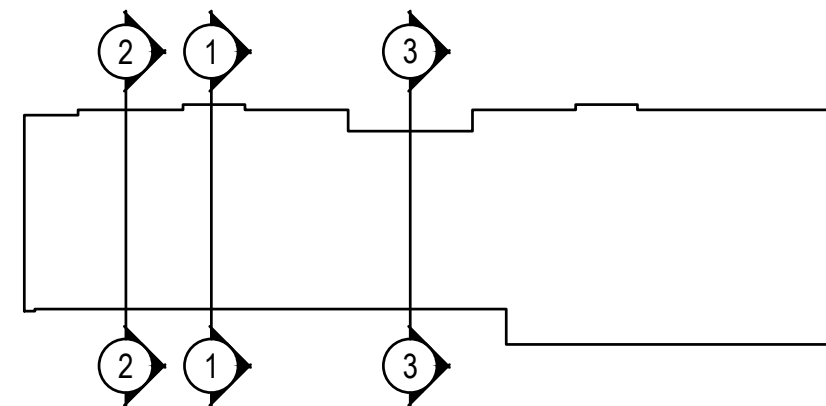
1 NORTH-SOUTH SECTION
SCALE: 1/16" = 1'-0"



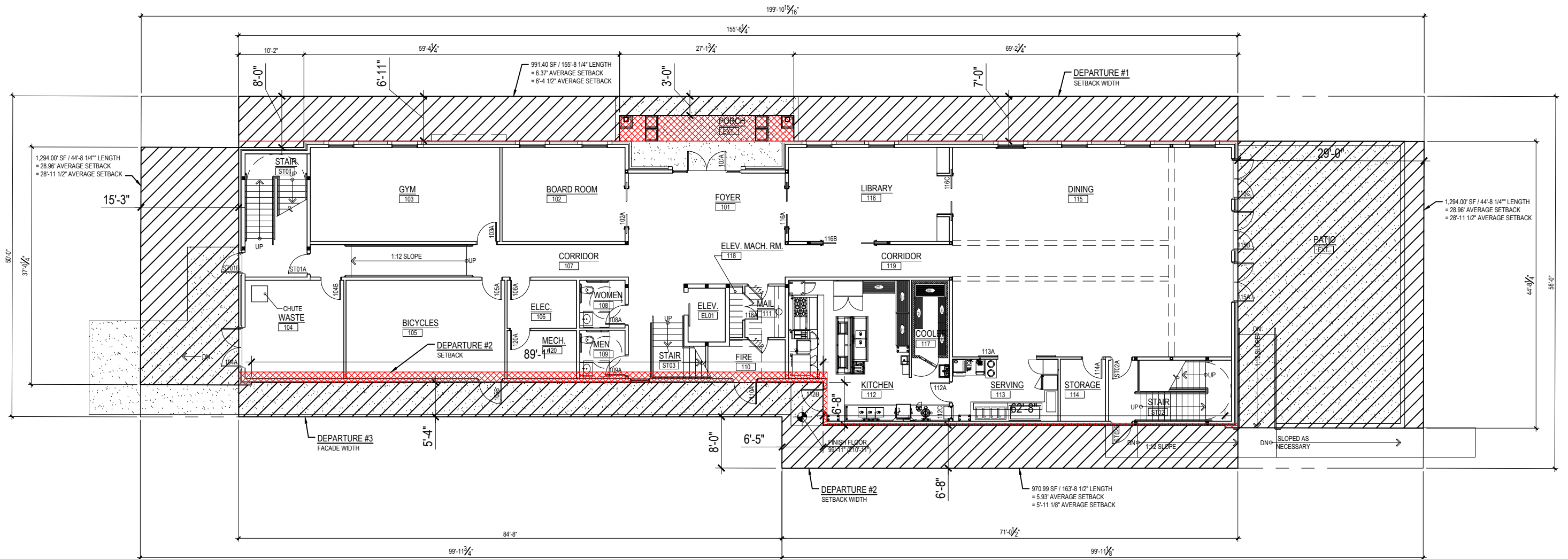
2 NORTH-SOUTH SECTION
SCALE: 1/16" = 1'-0"



3 NORTH-SOUTH SECTION
SCALE: 1/16" = 1'-0"



SECTION KEYPLAN
SCALE: NTS



1 DEPARTURE PLAN
SCALE: 1/16" = 1'-0"

| DEPARTURE REQUEST | CODE | STANDARD | PROPOSED | RATIONALE | RELATED GUIDELINE | CALCULATION | % CHANGE FROM STANDARD | RECOMMENDATION |
|-------------------|--|---|--|---|--|--|--|---------------------------------|
| 1 | 23.45.518.A SIDE SETBACKS & SEPARATIONS | SIDE SETBACK FOR FACADES GREATER THAN 40 FEET IN LENGTH MUST BE 7' AVERAGE; 5' MINIMUM | REQUEST TO DEPART FROM THE 7' AVERAGE SETBACK. ALLOW AN AVERAGE SIDE SETBACK OF 6'-0". MAINTAIN THE MINIMUM SIDE SETBACK OF 5'-0" | <p>THE LARGE PORTICO ON THE NORTH FACE CLEARLY MARKS THE ENTRANCE TO THE BUILDING WHILE PROVIDING WEATHER PROTECTION AT THE ENTRY. THE COLUMNS IN THE PORTICO ARE AN ARCHITECTURALLY CONTEXTUAL ELEMENT TYPICAL OF BUILDINGS IN THE GREEK SYSTEM.</p> <p>PER 23.45.518.H1, "Cornices, eaves, gutters, roofs, and other forms of weather protection may project into required setbacks and separations a maximum of 4 feet if they are no closer than 3 feet to any lot line". THIS PORTICO WOULD BE CONSIDERED A ROOF PROJECTION AND BE CODE COMPLIANT.</p> | CS2.A2 - ARCHITECTURAL PRESENCE CS2.B2 - CONNECTION TO THE STREET CS2.C3 - FULL BLOCK SITES PL1.C3 - YEAR-ROUND ACTIVITY CS3.A1 - FITTING OLD AND NEW TOGETHER PL3.A2- ENSEMBLE OF ELEMENTS DC2.B1 - FACADE COMPOSITION DC2.D1- HUMAN SCALE DC3.A1 - INTERIOR/EXTERIOR FIT DC3.B4 - MULTIFAMILY OPEN SPACE | 991.40 SF / 155'-8 1/4" LENGTH = 6.37' AVERAGE SETBACK = 6'-4 1/2" AVERAGE SETBACK | (7' - 6.37') / 7' = 9 % CHANGE (5' - 3') / 5' = 40 % CHANGE | DRB RECOMMENDED APPROVAL AT EDG |
| 2 | 23.45.518.A SIDE SETBACK FOR FACADES GREATER THAN 40' | SIDE SETBACK FOR FACADES GREATER THAN 40 FEET IN LENGTH MUST BE 7' AVERAGE; 5' MINIMUM. | REQUEST TO DEPART FROM THE 7' AVERAGE SETBACK. ALLOW AN AVERAGE SIDE SETBACK OF 5'-11". MAINTAIN THE 5' MINIMUM. | PROVIDING A MODERATE DEPARTURE AT THE SOUTH PROPERTY LINE WILL ALLOW AN APPROPRIATE EGRESS ROUTE AS WELL AS PLACE THE BUILDING IN A BALANCED POSITION ACROSS THE WHOLE LOT. THIS WILL STILL MEET THE MINIMUM OF A 5' SETBACK. | CS2.A2 - ARCHITECTURAL PRESENCE CS2.B2 - CONNECTION TO THE STREET CS2.C3 - FULL BLOCK SITES CS3.A1 - FITTING OLD AND NEW TOGETHER PL1.C3 - YEAR-ROUND ACTIVITY PL2.B3- STREET-LEVEL TRANSPARENCY PL3.A2- ENSEMBLE OF ELEMENTS DC2.B1 - FACADE COMPOSITION DC2.D1- HUMAN SCALE DC3.A1 - INTERIOR/EXTERIOR FIT DC3.B4 - MULTIFAMILY OPEN SPACE | 970.99 SF / 163'-8 1/2" LENGTH = 5.93' AVERAGE SETBACK = 5'-11 1/8" AVERAGE SETBACK | (7' - 5.93') / 7' = 15 % CHANGE | DRB RECOMMENDED APPROVAL AT EDG |
| 3 | 23.45.527.B.1 STRUCTURE WIDTH & FACADE LENGTH | THE MAXIMUM COMBINED LENGTH OF ALL PORTIONS OF THE FACADES WITHIN 15 FEET OF A LOT LINE THAT IS NEITHER A REAR LOT LINE NOR A STREET OR ALLEY LOT LINE SHALL NOT EXCEED 65% OF THE LENGTH OF THAT LOT LINE. | REQUEST TO DEPART FROM THE MAXIMUM 65% RATIO FOR THE LENGTH OF THE BUILDING ALONG THE SIDE SOUTH PROPERTY LINE. ALLOW THE COMBINED LENGTH OF ALL PORTIONS OF THE FACADES WITHIN 15' TO EQUAL 71.16' OF THE LENGTH OF THE LOT LINE. | PROVIDING A MODERATE DEPARTURE ALONG THE SOUTHERN PROPERTY LINE ALLOWS THE BUILDING TO BE LONGER ALONG THIS NON-STREET LOT LINE, RUN THE LENGTH OF THIS NARROW LOT, AND ALLOW FOR A GENEROUS ENTRY COURTYARD AND CENTRAL COMMON SPACE ON THE FIRST FLOOR BALANCED WITH APPROPRIATELY-SIZED OPEN SPACES AT THE EAST AND WEST ENDS OF THE PROPERTY. THE AMOUNT OF THE DEPARTURE HAS BEEN REDUCED BY NEARLY 19% FROM THE EDG MEETING." | CS2.A2 - ARCHITECTURAL PRESENCE CS2.B2 - CONNECTION TO THE STREET CS2.C3 - FULL BLOCK SITES CS3.A1 - FITTING OLD AND NEW TOGETHER PL1.C3 - YEAR-ROUND ACTIVITY PL2.B3- STREET-LEVEL TRANSPARENCY PL3.A2- ENSEMBLE OF ELEMENTS DC2.B1 - FACADE COMPOSITION DC2.D1- HUMAN SCALE DC3.A1 - INTERIOR/EXTERIOR FIT DC3.B4 - MULTIFAMILY OPEN SPACE | (89'-0 5/8" + 6'-8" + 62'-7 5/8") / (99'-11 1/8" + 8'-0" + 99'-11 3/4") = 158.35' / 207.91' = 76.16% | (76.16% - 65%) / 65% = 17.17% INCREASE | DRB RECOMMENDED APPROVAL AT EDG |