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## PROJECT DESCRIPTION + VISION

The proposed project is located at Boren and Lenora, the primary gateway corner for Cornish College of the Arts. In collaboration with Cornish, the project is designed to include a performing arts center and an art gallery for the school. The gallery is envisioned to anchor this vital corner, which will be highly visible from Denny Way.

Adjacent to the site fronting Boren Avenue is Cornish's Raisbeck Performance Hall, formerly Norway Hall, built in 1915. To respect the landmark structure, the podium is set back from the property line, and the placement of the tower is set to the north of the site along the green street. This setback minimizes the tower's impact on the smaller, historic structure.

Along Lenora Street the project is designed to enhance the green street, with a focus on being a **gateway and "main street" for the campus**. Enhancements include recessing a portion of the first floor to provide a weather protected, terraced seating area backed by an art wall designed for exhibits curated by Cornish. Three-dimensional art will be placed on designated podiums, and within the landscaped areas along Lenora. The seating area can be converted into a **small performance "stage"** for occasional outdoor performances by Cornish students that will be visible to the public.

The project design includes three levels of office space within the podium, and 37 levels of residential apartments. Levels 5 and R1 will contain both indoor and outdoor residential amenities. The design for this vertically integrated community presents the residential, commercial, educational, cultural and artistic components of the project in a cohesive ground level expression.

The tower above will reach for the sky with **vertically oriented** extrusions, each of which is articulated with a window wall glazing system utilizing a mix of patterns and materials to create distinct movements in the massing. The tower is grounded through a reveal in the podium that breaks through the office floors which appear to float above the ground level. The scale of the podium complements the surrounding Cornish buildings, and grounds the verticality of the tower without breaking the cohesion of the whole.

**44** Floors

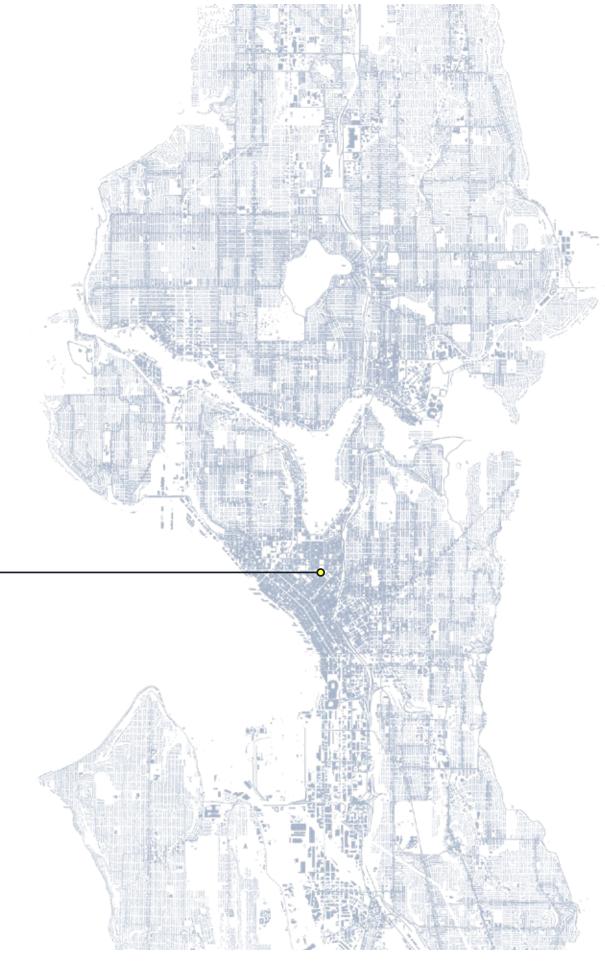
**393** Residential Units

369 Below Grade Parking Stalls (71 Commercial, 298 Residential)

**7,150 SF** Ground level Arts Facilities

47,675 SF Commercial Office Space

340,740 SF Total Residential Area



## PROJECT VICINITY AND BUILDING USE





## NEARBY HIGH-RISE DEVELOPMENTS







**1200 STEWART** #3020943



**1901 MINOR** #3019625



NEXUS CONDOS #3019625



CIRRUS #3010926



**THE CURE** #3019542



STRATUS #3016305



MCKENZIE APARTMENTS



KIARA #3018935



121 BOREN AVE. N #3021386



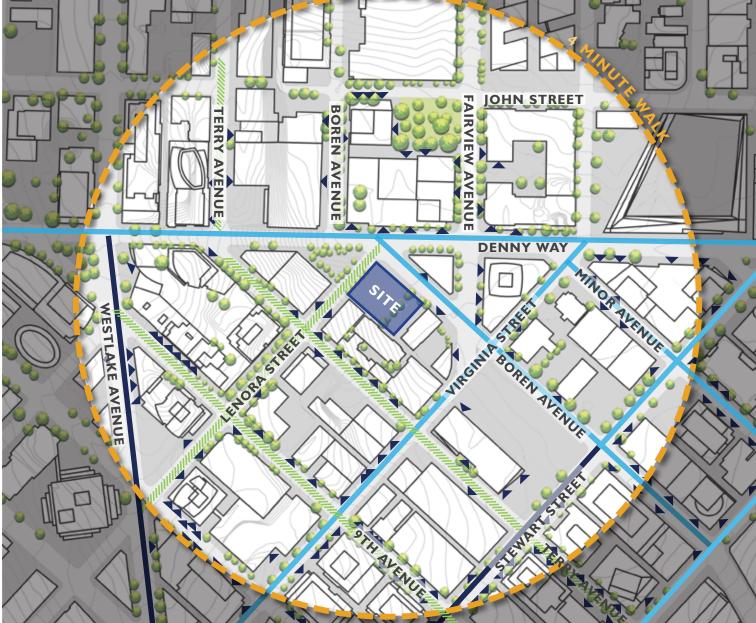
**I001 JOHN ST.** #3020563



**ONNI TOWERS** #3017232

## SITE TRANSIT AND ACCESS ANALYSIS





TRANSIT















PEDESTRIAN EXPERIENCE



PEDESTRIAN BUILDING ENTRIES



/////// DESIGNATED GREEN STREETS



TREE CANOPY



CLASS I PEDESTRIAN STREET



CLASS I I PEDESTRIAN STREET

### CORNISH IN SEATTLE

#### **CORNISH COLLEGE**

Cornish College of the Arts is the premier generative arts college in the Pacific Northwest. They have been inspiring artistic and academic excellence for more than 100 years. Their holistic approach to education promotes experimentation, discovery, and innovation, giving artists the creative intelligence they need to thrive in their disciplines and beyond.

### SEATTLE IS KNOWN FOR ARTS AND INNOVATION. AND CORNISH'S URBAN SETTING IS AT THE CENTER OF IT ALL.

- Seattle is a thriving city of creative and social progress, and the Cornish community embraces its responsibility to the city's future.
- With its main buildings next to South Lake Union and buildings on Capitol Hill and at the Seattle Center – Cornish is at the heart of arts, culture, and innovation in Seattle.
- As artists develop a depth of knowledge at Cornish, they have direct access to a breadth of opportunities in the thriving fields right in their backyard.
- The area is teeming with activity, including a new high-rise residence hall and the innovative Centennial Lab space.
- The Cornish Playhouse at Seattle Center brings together community leaders to inspire cultural exchange.
- Cornish embraces the intersections of art, science, and technology, and collaborates with a variety of organizations on a shared understanding of the role of artists in civic life.
- Collaborators include:
  - Kronos Quartet
  - Fred Hutchinson Cancer Research Center

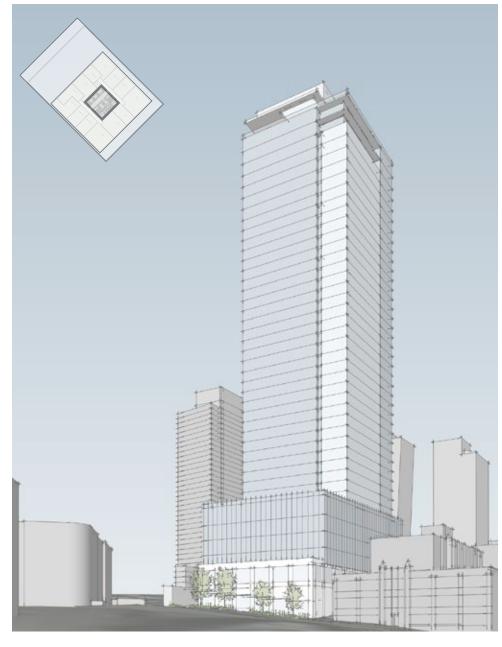
### CORNISH AT THE INTERSECTION OF ART AND INNOVATION

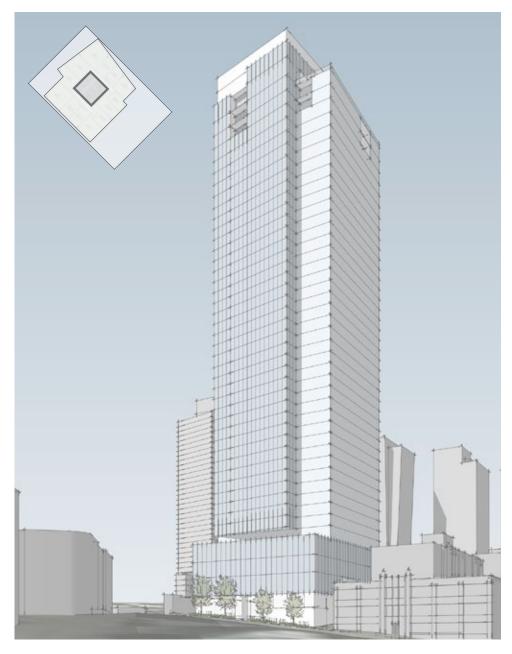
In 2000, Cornish had the inspiration and courage to start a new chapter by extending down from Capitol Hill to the now-thriving South Lake Union corridor. The school's center is now located, quite literally, where art and innovation meet. Cornish is an innovative arts hub, a city soul next to a flourishing tech center. Here, opportunities for daring collaboration begin accruing, side by side, one on top of the other. And we're making the most of them.



PARCEL DETAILS 130.2' PARCEL #: 066000-1475 (2031 BOREN AVE.) LIGHT POLE IN 2'X2' CONC. BASE 7,200 SF LOT 7 STEEL POST, NO SIGN PARCEL #: 066000-1480 (2025 BOREN AVE.) 7,200 SF LOT 8 · 2' SIDEWALK WIDENING PARTIAL DEDICATION PARCEL #: 066000-1485 (2019 BOREN AVE.) MIDPOINT ON BOREN AVE 7,200 SF LEWORDSTREET LOT 9 GREEN STREET LEGAL DESCRIPTION: Lots 7, 8, and 9, block 40, heirs of Sarah A. Bell's 2nd addition to the City of Seattle, STEEL POST, NO SIGN according to the plat thereof recorded in Volume 1 of plats, page 121, in King County, Washington. SDCB, RIM=131.38 IE 6" DI (NE)=129.78 - 10" DC \rightarrow CONC. PAVERS CORNISH COLLEGE OF THE ARTS PARCEL #066000-1475 LOT 7 SDCB, RIM=118.79 IE 8" DI (NW)=116.89 - SDCB, RIM=131.16 IE 4" RCP (NE)=129.83 TOTAL PARCEL AREA: 21,600 SF M=116.69 )=115.99 133.6' CONC. RETAINING WAL HEIGHŢ VARIES GRAHAM PARKING PARCEL #066000-1480 6' LONG CONC. WHEEL STOPS (TYP.) LOT 8 ±7,197 SQUARE FEET ×132.0 132.5' FRIENDS OF RECOVERY CAFE 132.6 PARCEL #066000-1485 2' ALLEY PARTIAL DEDICATION LOT 9 ±7,197 SQUARE FEET ,132.1 133.6 BUILDING OVERHANG POWER METER IN WALL, 118.5' CORNISH COLLEGE OF THE ARTS 066000-1490 132.5' 130.2' BOREN DESIGN REVIEW | 11.20.2018 | PAGE 8 HOLLAND

# MASSING OPTIONS AT EDG

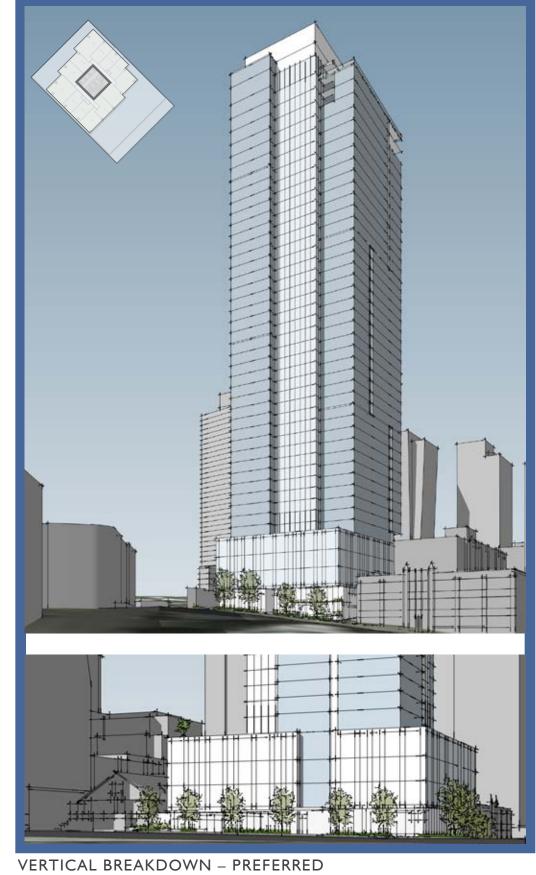




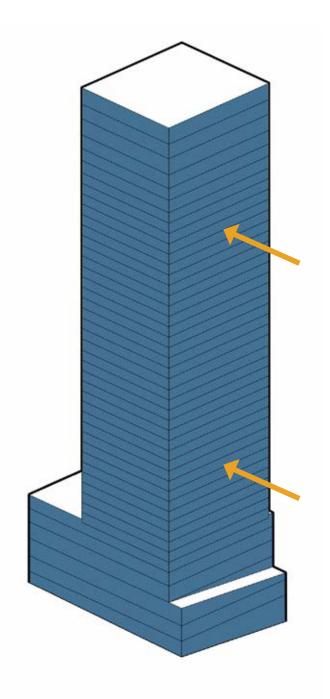






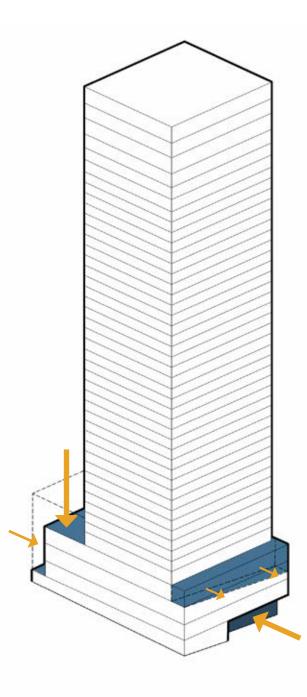


### MASSING PARTI



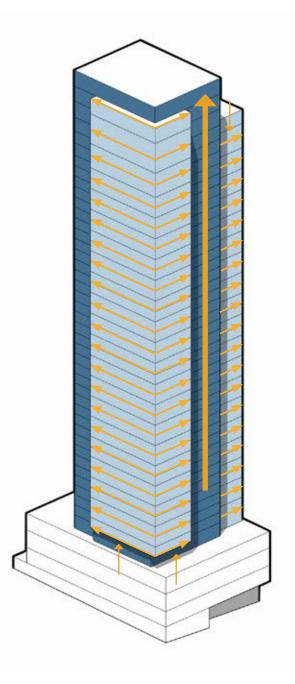


The tower's location was dictated primarily by two factors. The first factor was the desire to locate the tower on the major street corner, anchoring the block and allowing the amenity roof decks to face south to maximize sunlight. The second factor was the code-prescribed green street setback above 45', which pushes the tower 15' back from Lenora, opening the street up to more light and air.



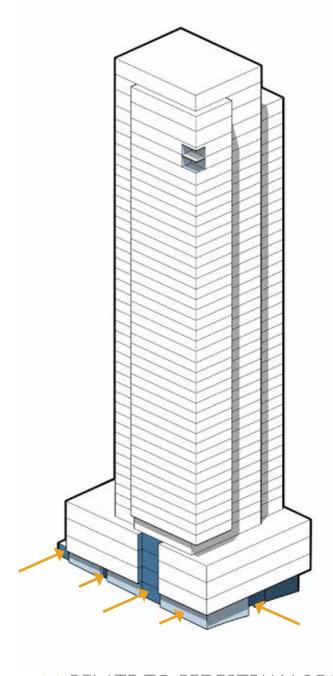
### 2.0 RESPOND TO THE SURROUNDINGS

The second major shift in massing derived from the study of the context and the relationships with neighboring projects. At the south end of the site sits the landmark Raisbeck Hall, a single story traditional Norwegian style hall that sits on a raised podium. To better relate to the structure, the massing of the tower steps down and away from the landmark structure, and out on Lenora to create a more cohesive and unified podium. We then pulled the ground level on Lenora in, dedicating a large portion of that space captured above to the public where it is accessible.



### 3.0 BREAK DOWN THE MASS

The next move was to break down the mass of the tower into smaller, vertical elements that reduce the scale and visual bulk of the footprint. The tower is broken down into three elements, each stepping back away from the green street further and terminating at different heights to create a dynamic terminus to the forms and elegant composition of facades. The two flanking shoulder elements are accentuated horizontally, with bands that break up their scale, and the central mass is a vertical expression that carries all the way to the top of the tower.

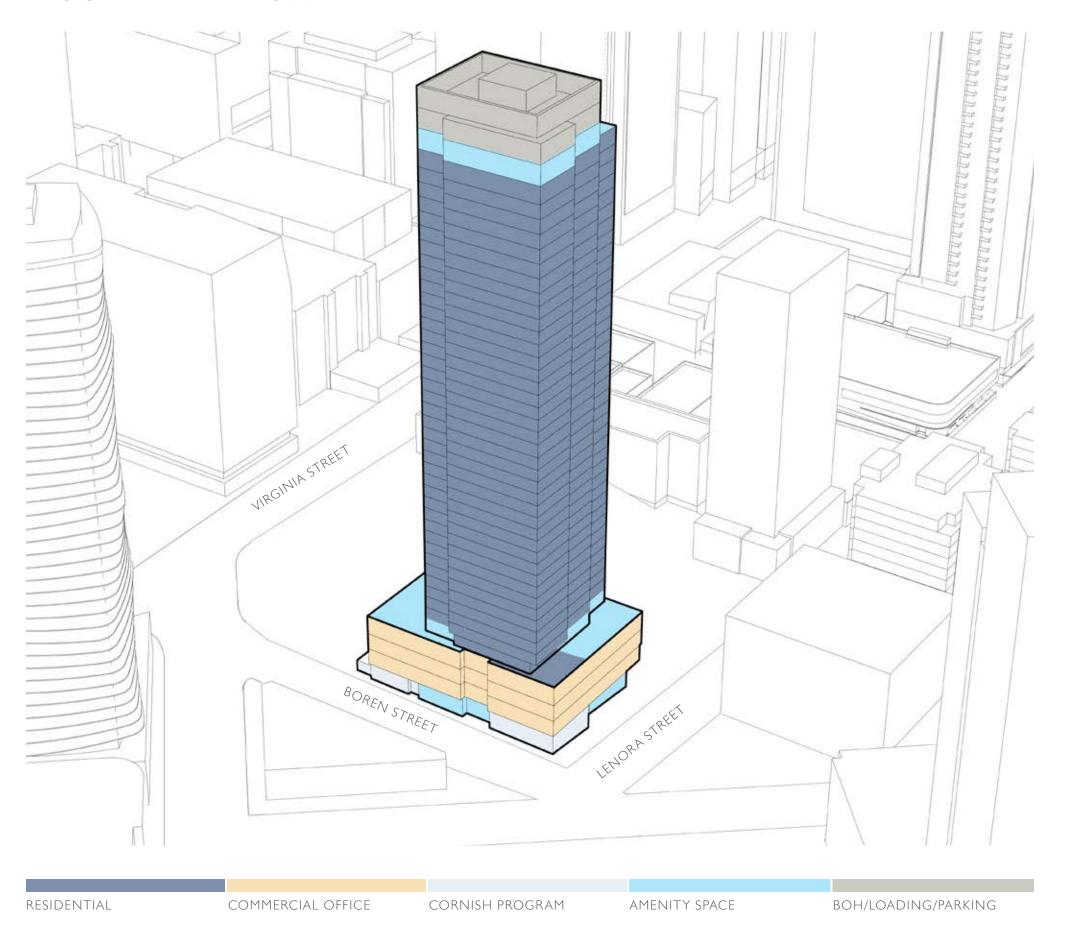


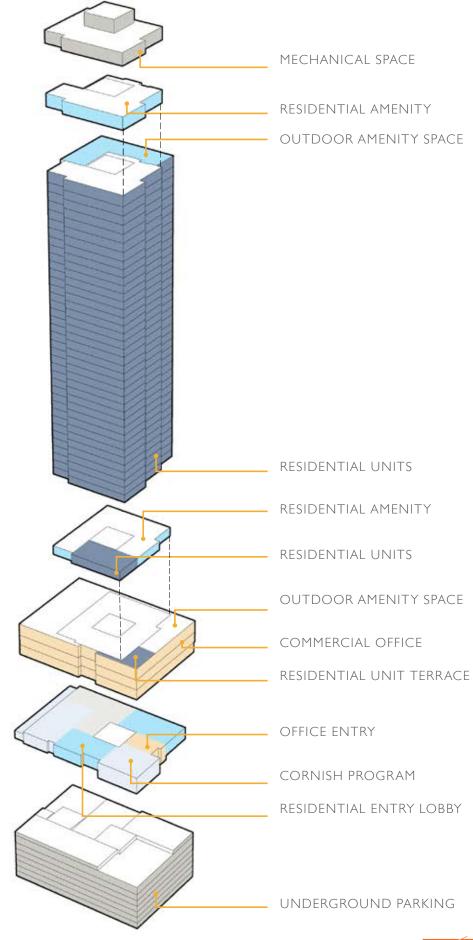
### 4.0 RELATE TO PEDESTRIAN SCALES

At the ground level and podium it was important to create finer grained, human scaled moves in massing and design that relate more directly to the pedestrian. A reveal in the podium calls attention to the main tower entry, and secondary reveals define other building entries. A gasket at Raisbeck Hall provides breathing room between our podium and the landmark structure. Small setbacks of all other ground level spaces define the pedestrian realm from the floating commercial floors above.



## PROGRAM BREAKDOWN





# RESPONSE TO EDG COMMENTS



### SUMMARY OF BOARD GUIDANCE AT EDG

MASSING: The Board gave guidance to move forward with the Option 3 ground plane, podium and tower design and expressed their appreciation for the design team's public outreach. (A1, B4)

### TOWER DESIGN:

The Board was supportive of the Option 3 tower but asked the design team to provide details at the Recommendation meeting, showing the horizontal and vertical massing breaks and the relationship of the tower to the podium. In response to a Board clarifying question the applicant confirmed that the placement of the tower is being driven by the proposed performance hall at grade and the need to avoid large structural elements in that space. (AI, BI, B4)

- The Board was concerned that the staggered "vertical stripes" on the tower will date the design. The shifting of the facades to break up the tower volume is sufficient as a design move, and the vertical stripes are unnecessary. (A2, B4)
- Maintain the orthogonal shifts of the tower. (A1)
- Use the horizontal lines at the unit type shifts to break up the scale of the tower. (B4)
- The Board supported the change of scale at top of the tower and the consideration of the mechanical space design on the roof massing. (A2, B4)

#### **BOREN AVE STREET LEVEL TREATMENT:**

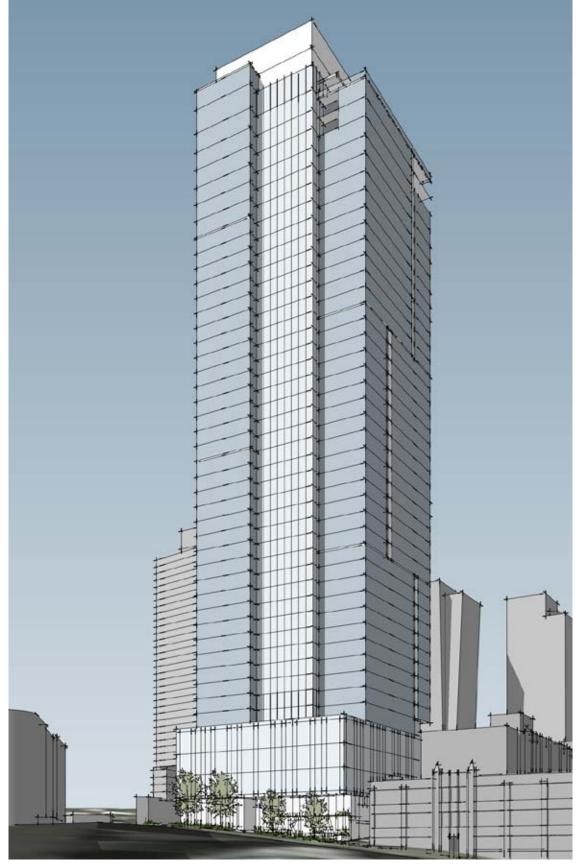
The Board supported the setback from Raisbeck Hall and the proposed performance hall to be located near the Landmark. They were concerned that the uses along Boren Ave would not provide activation of the street. The design team stated that the Performance hall space is planned to be used by Cornish for up to 16 hours a day, and that the gallery space at the corner will be used as a classroom activity space with a shared window wall to the lobby. (BI, B3, CI, C5)

- The Board supported the setback from Raisbeck Hall. The gasket between the Landmark structure and the podium is an import feature. (BI, B3)
- Provide uses on Boren Ave that will promote street activity. (C1, C4)

#### LENORA ST. AND ALLEY STREET LEVEL TREATMENT:

The Board was concerned about the Option 3 treatment along sloped Lenora St, noting that as shown it will be used mostly by Cornish students. The Board stated this frontage should be designed to provide activation at the proposed blank façade. The Board supported the gallery space at corner of Lenora St and Boren Ave, as it will help provide a connection to the neighborhood as a whole. The design team stated that the office space above the corner of Lenora St and the alley may be used by Cornish. (AI, BI, CI, C4, C6, DI)

- The Board supported the gallery at corner as it will improve connection to the neighborhood. (BI, CI)
- Activate the blank façade on Lenora at the public amenity open space. (CI, C3, DI)
- Provide a detailed study of the area at the entry to the gallery and office space in the podium and the public amenity open space along Lenora St. (C1, C3, C4, D1)
- Show the relationship of the interior uses at the corner of Lenora St and the alley to the public amenity open space, at the sidewalk and the floor above. (CI, C3, C6, DI)
- Provide additional information at the alley facade with a section through the proposed project and the existing structure across the alley, showing floor alignment and window studies. (BI, C6)



TOWER DESIGN AT EDG

## RESPONSE: TOWER DESIGN

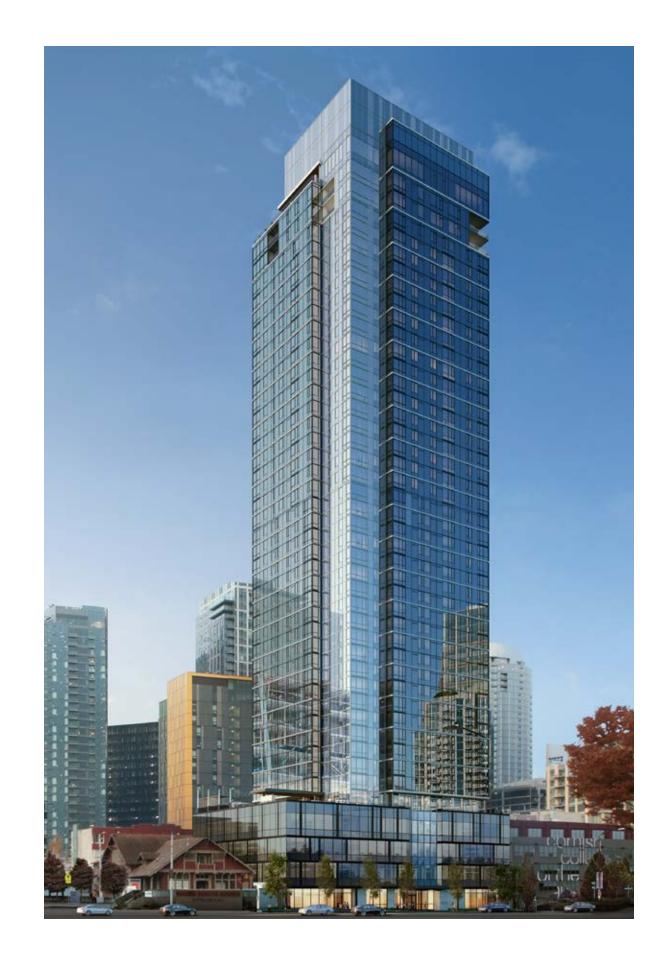


The Board was concerned that the staggered "vertical stripes" on the tower will date the design. The shifting of the facades to break up the tower volume is sufficient as a design move, and the vertical stripes are unnecessary.

Maintain the orthogonal shifts (massing) of the tower.

# **EDG** vs REC

Per the boards guidance and concerns, we have removed the "vertical stripes" on the tower, retaining the same massing moves for the volume of the tower as at EDG. The **orthogonal shifts** in the tower are still **accentuated by two contrasting design languages**, the **central mass with a lighter**, **vertical expression**, and the outer elements are a deeper tone with stronger horizontals that create a rhythm up the tower.



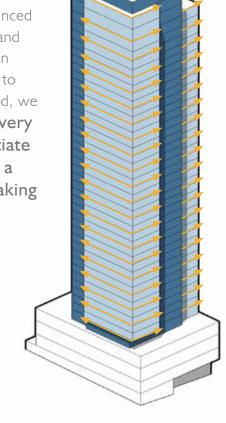
### RESPONSE: TOWER DESIGN



- Use the horizontal lines at the unit type shifts to break up the scale of the tower. (B4)
- The Board supported the change of scale at top of the tower and the consideration of the mechanical space design on the roof massing. (A2, B4)

# **EDG** vs REC

The subtle horizontal lines at the unit stratifications were less legible when the vertical elements that announced their presence were removed, and some changes to the stratification levels left them un-proportional to what was shown at EDG. Instead, we used a horizontal pattern every other level to help differentiate the two masses and create a rhythm up the tower, breaking down the scale.



The rooftop screen was always envisioned as a graceful termination to the central mass and the sky. The design therefore evolved to more closely tie the two systems and languages together to create an element that will both feel unified and proportional but also enhance the skyline and create interest.



### RESPONSE: LENORA STREET LEVEL TREATMENT





PUBLIC AMENITY ALONG LENORA – Artwork shown is for reference only.



- The Board supported the gallery at corner as it will improve connection to the neighborhood. (BI, CI)
- Activate the blank façade on Lenora at the public amenity open space. (CI, C3,
- Provide a detailed study of the area at the entry to the gallery and office space in the podium and the public amenity open space along Lenora St. (C1, C3, C4, D1)
- Show the relationship of the interior uses at the corner of Lenora St and the alley to the public amenity open space, at the sidewalk and the floor above. (C1, C3, C6, D1)

# **EDG**

# **REC**

Working collaboratively with Cornish and our Landscape team, we created a concept for the ground level that both puts emphasis on the visual and performing arts, but also on a usable space 365 days a year for the office tenants, students, and public alike. The flexible art wall remains, now set back behind a level, landscaped terrace that will be used as seating, public gatherings and for an occasional outdoor performances by Cornish students that will be visible to the public. The art wall itself is now integrated holistically into the design of the facade, using the same materials and rhythmic patterns to create a uniform surface that frames the many types of art that will be displayed over it. Benches weave through the space creating large areas of seating for pedestrians, while attachment points for art installations blend into the landscaping. The soffit and paving utilize a composition inspired by musical notations to create a cadence for pedestrians and call attention to the character of the space. While vegetation wraps the ground level wood wraps up and over the space in overlapping forms, creating a warm and inviting space any time of day.

### RESPONSE: BOREN AVE STREET LEVEL TREATMENT



GASKET BETWEEN RAISBECK HALL AND CORNISH PERFORMING ARTS CENTER



CORNISH PERFORMING ARTS CENTER ALONG BOREN.

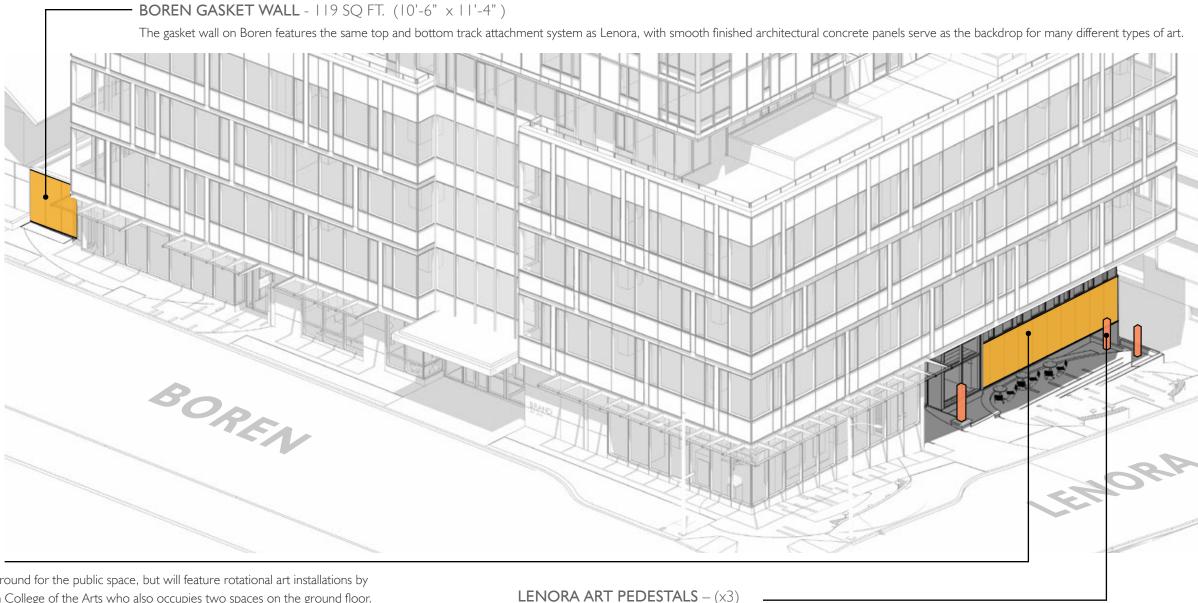
- The Board supported the setback from Raisbeck Hall. The gasket between the Landmark structure and the podium is an import feature. (BI, B3)
- 3.b. Provide uses on Boren Ave that will promote street activity. (CI, **C4**)

Between EDG and DRB, we studied the relationship between Raisbeck on our project and how the "gasket" could be a unifier between the two arts spaces that celebrates both uses. In collaboration with Cornish, we will develop another location for art along this wall, with a base of landscaping that continues the planting strategy in front of Raisbeck. In contrast to the highly transparent facades of the performance hall next door, this space will supplement both projects by creating a focal point at the center, and use smooth finish, architectural concrete similar to the Raisbeck podium to tie the two languages together.

### ARTWORK INTEGRATION

#### **CORNISH EXTERIOR ARTWORK**

In collaboration with Cornish, art installations will be integrated into the streetscape and building facades. These installations will include works by Cornish students, faculty, alumni, and local artists that will be refreshed on a periodic basis. This activity will enhance the streetscape and neighborhood experience, allowing the opportunity for artists to introduce themselves to the community and provide a vehicle for community engagement. The five locations in the diagram to the right allow for a variety of two and three-dimensional art, of varying size and orientation.



**LENORA ART WALL** – 364 SQ FT. (9'-2" × 39'-8") —

The main installation wall along Lenora not only serves as a background for the public space, but will feature rotational art installations by both students, professors, and guest artists, all curated by Cornish College of the Arts who also occupies two spaces on the ground floor.

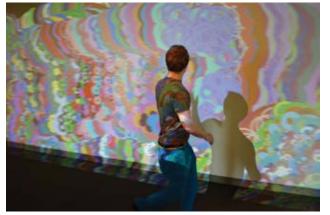
Art pedestals will serve as three additional points of display for visual art. The first pedestal frames the entry to the office and gallery space, and the second two are integrated into the landscaping.

#### Artwork shown is for reference only.











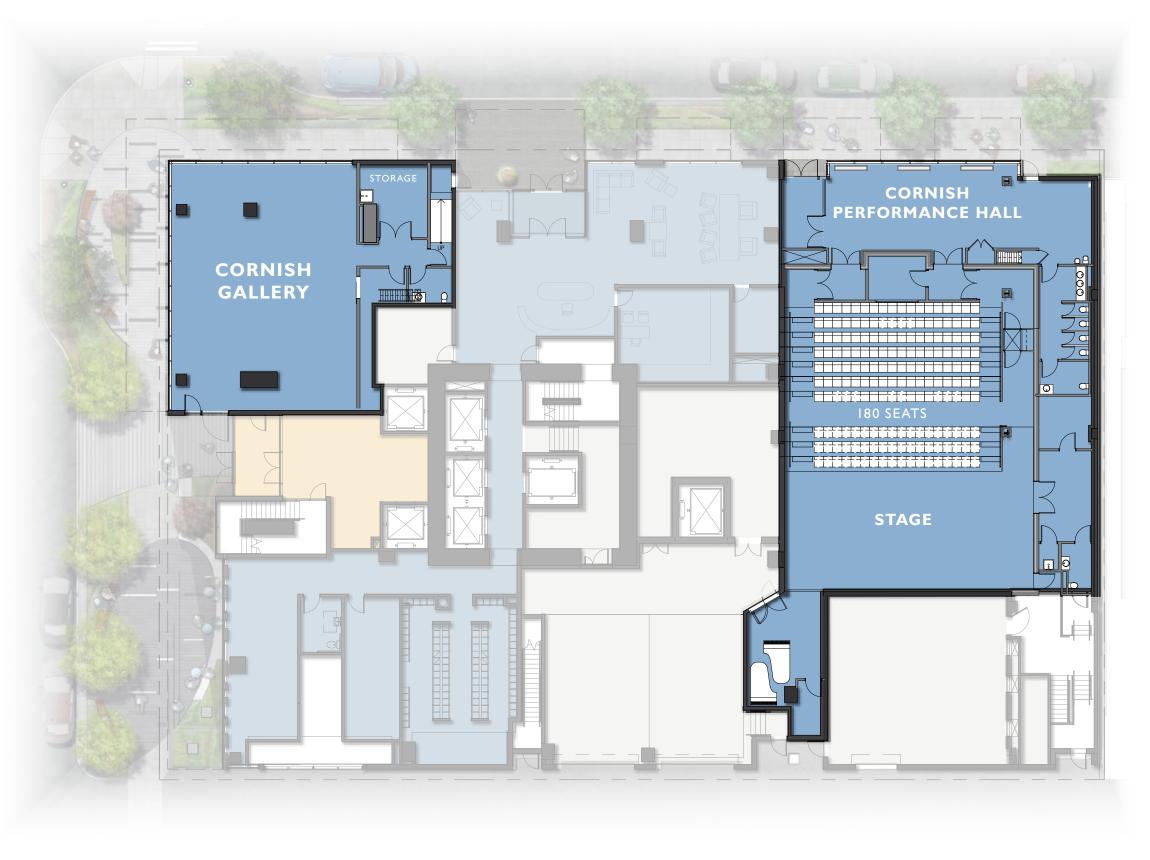
## CORNISH PROGRAM

### **CORNISH PROGRAM**

The project provides two new facilities that further the mission of Cornish College of the Arts. The street level of the project will include space at the corner of Boren and Lenora for an art gallery and multi-purpose space that will showcase the works of Cornish artists and faculty. In addition, a 180-seat performing arts center fronting Boren Avenue provides a much-needed Cornish community asset and sits immediately adjacent to the Raisbeck Performance Hall. The synergy of these spaces creates a performing arts hub for the campus. Both spaces provide Cornish students and faculty the opportunity to engage the college and the public and create a community amenity for presenting a variety of artistic performances.







## RESPONSE: LENORA STREET LEVEL TREATMENT





**OFFICE AND GALLERY ENTRY OFF LENORA** – Artwork shown is for reference only.



- 4.a. The Board supported the gallery at corner as it will improve connection to the neighborhood. (BI, CI)
- 4.b. Activate the blank façade on Lenora at the public amenity open space. (C1, C3, D1)
- 4.c. Provide a detailed study of the area at the entry to the gallery and office space in the podium and the public amenity open space along Lenora St. (CI, C3, C4, DI)
- 1.d. Show the relationship of the interior uses at the corner of Lenora St and the alley to the public amenity open space, at the sidewalk and the floor above. (CI, C3, C6, DI)

# EDG vs REC



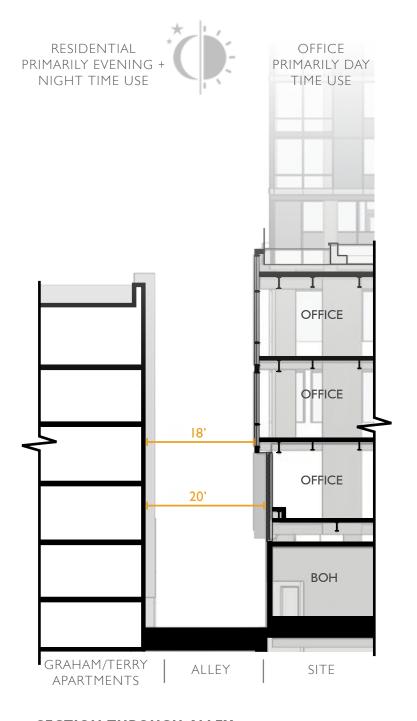
At EDG, the setback on Lenora was designed as a hill climb, integrating art, landscaping and stairs/benches to create a linear experience through the space. While that concept provided a benefit for the public, it did not address the boards concerns about activation and our own goals of creating a space for the neighborhood to interact.

The new design aims to be much more; not only does the art become a showcase in the space, but a stage-like plinth extends out creating platforms for impromptu performances, public gatherings and presentations. Benches wrap the entire space on both sides of the sidewalk, with larger landscaping beds softening the edges and housing platforms for the art installations. The feature office stair that was previously hidden frames the stair as a window of movement and transitioning between the art and office entry. Warm wood tones continue to wrap the soffit and wall framing the entire expression, and align in one unified expression that integrates lighting for the artwork.

## ALLEY STREET LEVEL TREATMENT

4.e. Provide additional information at the alley facade with a section through the proposed project and the existing structure across the alley, showing floor alignment and window studies. (BI, C6)











## PREFERRED GROUND LEVEL CONCEPT



## GRADE LEVEL PLAN / ELEVATION STUDY — BOREN



## PODIUM ON BOREN



PODIUM FROM THE CORNER OF BOREN AND LENORA.

## GRADE LEVEL PLAN / ELEVATION STUDY — LENORA



## PODIUM ON LENORA



**PODIUM ON LENORA** – Artwork shown is for reference only.

## GRADE LEVEL PLAN / ELEVATION STUDY — ALLEY



LIGHTING —

## PODIUM IN THE ALLEY

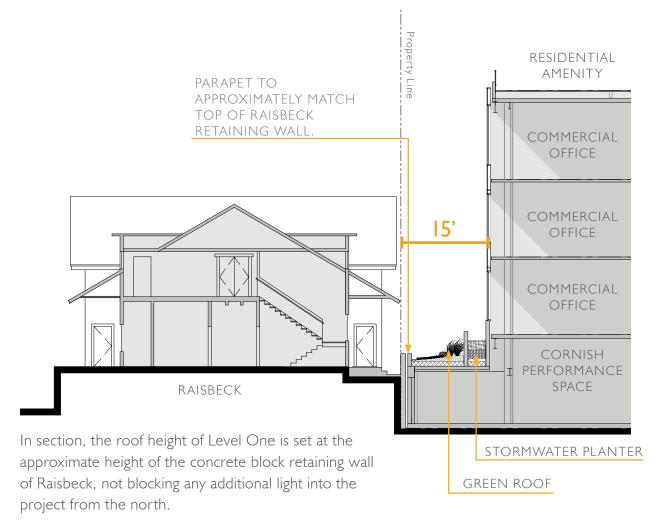


PODIUM AT LENORA / ALLEY CORNER – Artwork shown is for reference only.

## SETBACK FROM RAISBECK HALL



The 15' voluntary setback from the Raisbeck Performance Hall respects the historic structure and allows for light and air around its perimeter and also negates the need for a solid wall facing south along the property line. Another setback in plan allows glass to wrap the corner and visually connect the two Cornish performance spaces as well as create a transition between the two architectural styles. (Street tree in front of gasket hidden for clarity)





## SETBACK FROM RAISBECK HALL

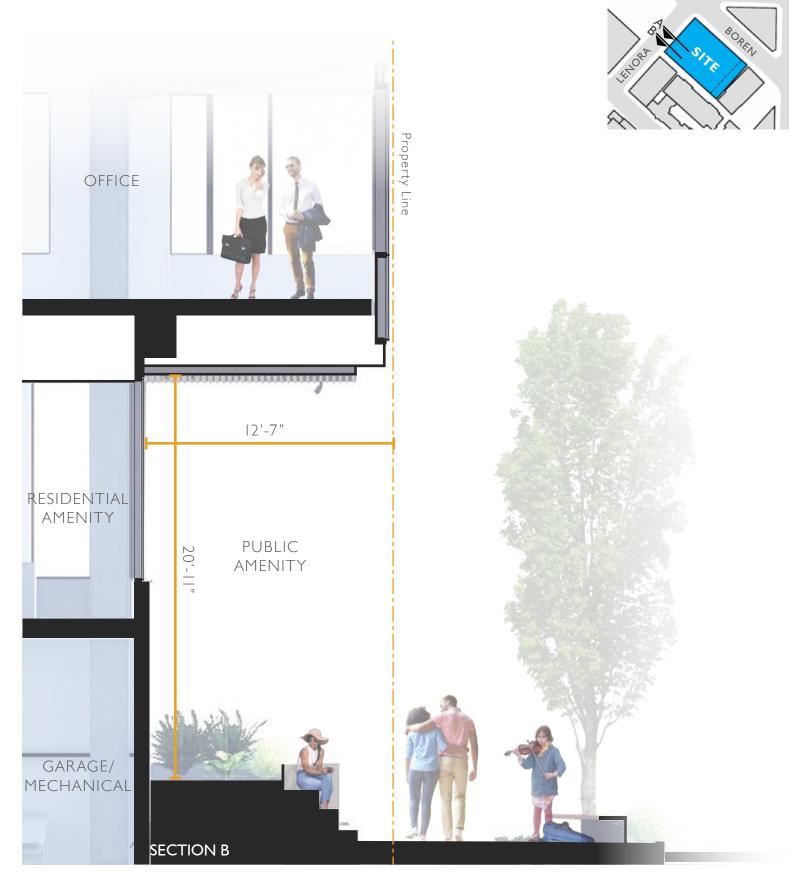


PODIUM ALONG BOREN AT RAISBECK HALL – Artwork shown is for reference only.

# PROJECT STREET SECTIONS – LENORA PUBLIC AMENITY/SETBACK







# PROJECT STREET CHARACTER – LENORA PUBLIC AMENITY/SETBACK



PEDESTRIAN VIEW LOOKING WEST DOWN LENORA AND THROUGH THE PUBLIC AMENITY SPACE IN THE SETBACK – Artwork shown is for reference only.

# PROJECT STREET CHARACTER – LENORA PUBLIC AMENITY/SETBACK



PEDESTRIAN VIEW LOOKING SOUTH ALONG LENORA TO THE PUBLIC AMENITY SPACE IN THE SETBACK – Artwork shown is for reference only.



# PROJECT STREET CHARACTER – LENORA PUBLIC AMENITY/SETBACK



PEDESTRIAN VIEW LOOKING EAST UP LENORA AND THROUGH THE PUBLIC AMENITY SPACE IN THE SETBACK – Artwork shown is for reference only.

# PROJECT STREET SECTIONS – LENORA OFFICE/GALLERY ENTRY







SECTION AT OFFICE ENTRY PEDESTRIAN VIEW OF THE OFFICE AND GALLERY ENTIRES IN THE GROUND LEVEL SETBACK ALONG LENORA



# PROJECT STREET CHARACTER – LENORA OFFICE/GALLERY ENTRY



PEDESTRIAN AT THE COMMERCIAL OFFICE ENTRY AND ITS RELATIONSHIP TO THE PUBLIC AMENITY SPACE – Artwork shown is for reference only.

# PROJECT STREET SECTIONS – BOREN GALLERY





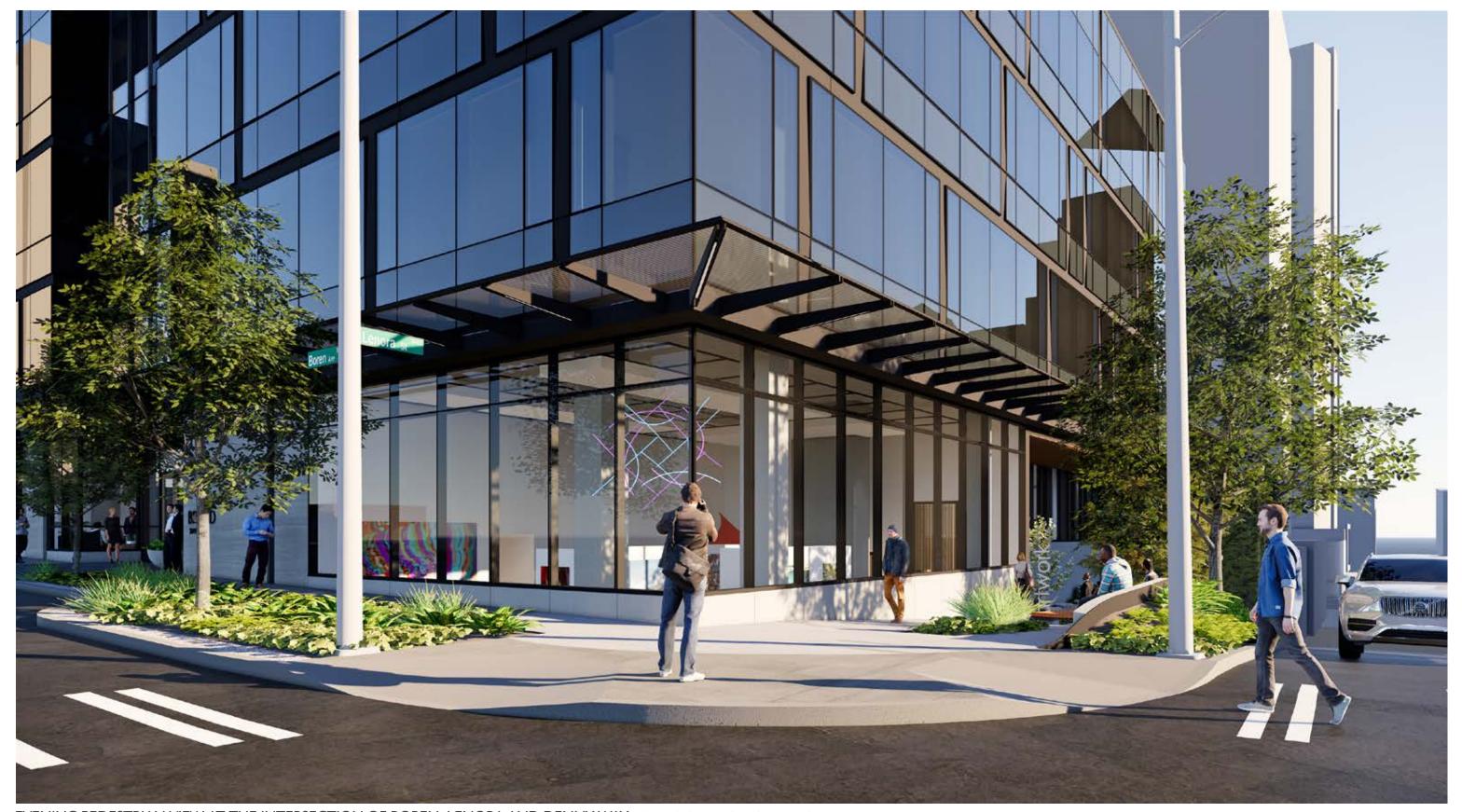






EARLY MOMRNIG PEDESTRIAN VIEW AT THE CORNER OF BOREN AND LENORA – Artwork shown is for reference only.

# PROJECT STREET CHARACTER – BOREN GALLERY



EVENING PEDESTRIAN VIEW AT THE INTERSECTION OF BOREN, LENORA AND DENNY WAY – Artwork shown is for reference only.

# PROJECT STREET SECTIONS – BOREN RESIDENTIAL ENTRY







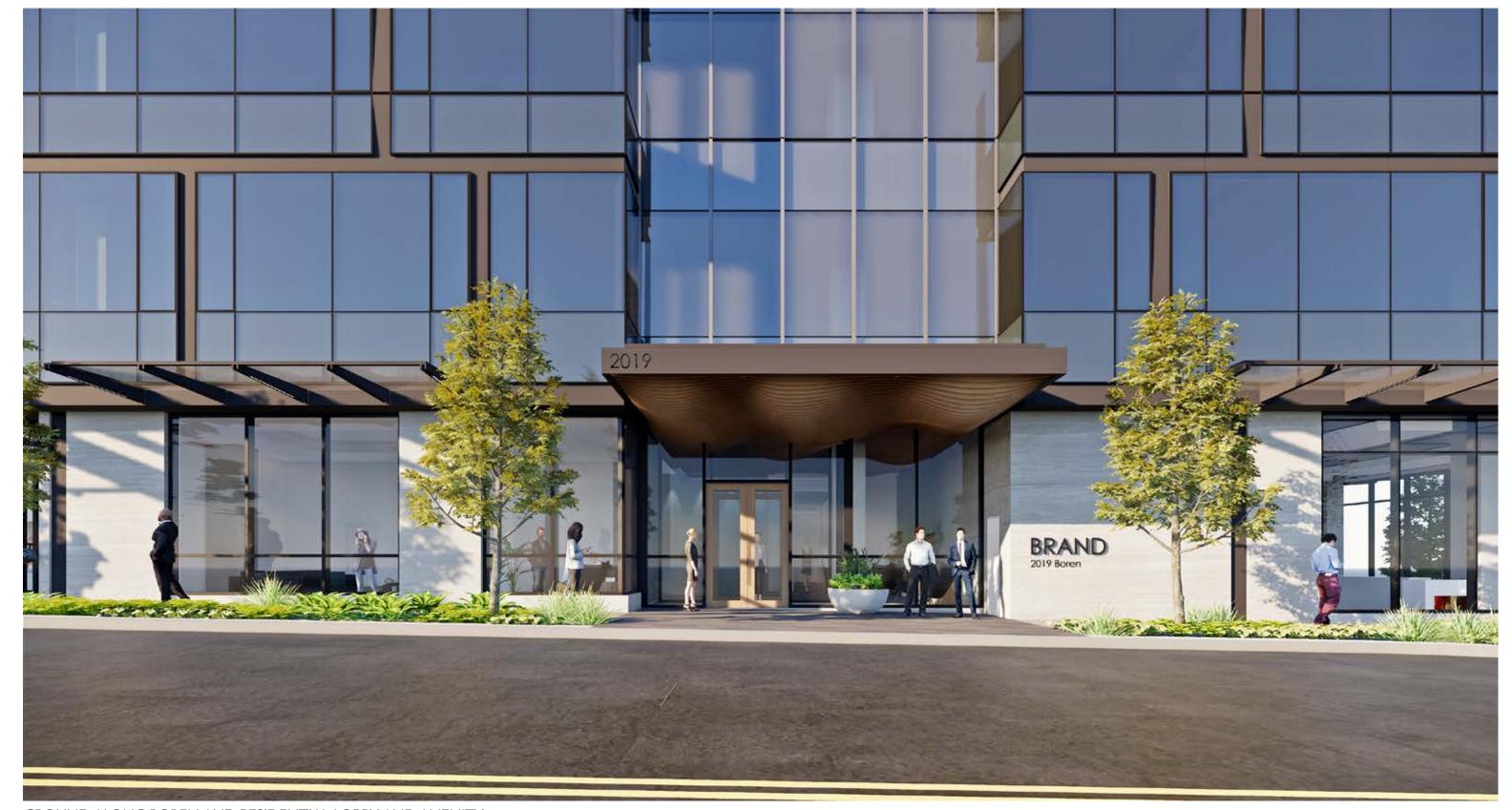
GROUND LEVEL VIEW LOOKING AT RESIDENTIAL ENTRY.

SECTION AT RESIDENTIAL ENTRY



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# PROJECT STREET CHARACTER – BOREN RESIDENTIAL ENTRY



GROUND ALONG BOREN AND RESIDENTIAL LOBBY AND AMENITY.

# PROJECT STREET SECTIONS – BOREN PERFORMING ARTS CENTER







PODIUM GROUND LEVEL VIEW AT PERFORMANCE HALL – Artwork shown is for reference only.

SECTION AT PERFORMANCE HALL ENTRY



# PROJECT STREET CHARACTER – BOREN PERFORMING ARTS CENTER



GROUND LEVEL VIEW AT PERFORMING ARTS CENTER – Artwork shown is for reference only.

# PROJECT STREET SECTIONS – BOREN GASKET







PEDESTRIAN VIEW AT THE ART WALL AND GASKET CONDITION BETWEEN PROJECT AND RAISBECK – Artwork shown is for reference only.

SECTION AT "GASKET"



# PROJECT STREET CHARACTER – BOREN GASKET



PEDESTRIAN VIEW AT THE ART WALL AND GASKET CONDITION WITH RAISBECK IN THE FOREGROUND – Artwork shown is for reference only.





# PODIUM MATERIALS

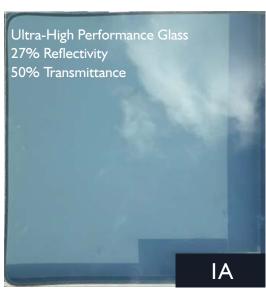




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# PODIUM MATERIALS

- IA Medium Vision Glass
- **IB** Dark Blue-Gray Vision Glass
- IC Clear Low-Iron Glass Storefront
- 2A Light Blue-Gray Spandrel Glass
- 2B Dark Blue-Gray Spandrel Glass
- 2C Light Blue-Gray Spandrel w/ Frit
- 3A Clear Glass Railing
- 4A Laminated Glass with Linear Frit
- 6A Pewter Gray Metal
- 6B Charcoal Gray Metal
- 6C Steel-City Silver Window Wall Accent Band
- 9A Pewter Gray Louver
- 9B Charcoal Gray Louver
- 10 Wood Grain Metal Slat Soffit + Wall
- 13 Smooth Finished Concrete
- 14 Wood Print HPL Panels
- 15 Wood Grain Residential Canopy Soffit
- 16 Light Gray Horizontal Striated Stone (Engineered or Natural)





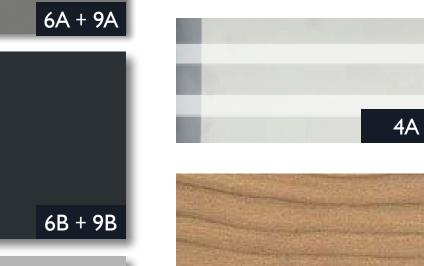














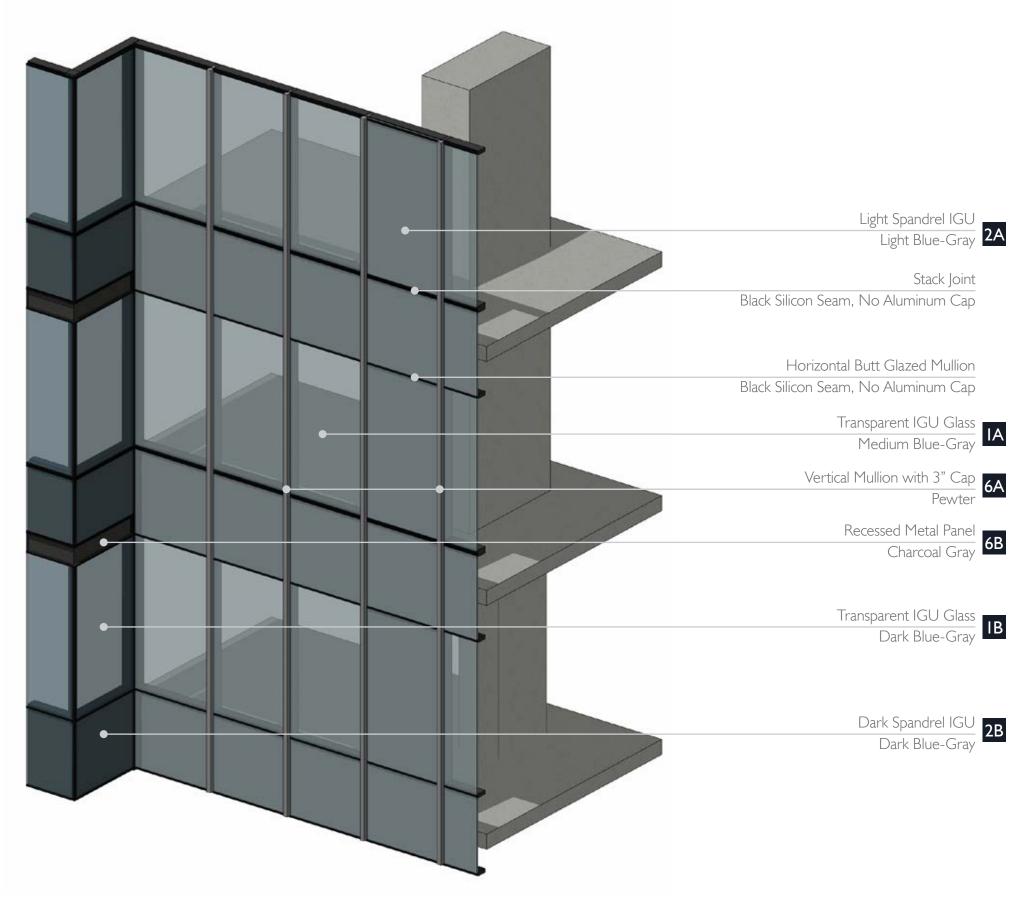


6C





# PODIUM DETAILS – REVEAL







# PODIUM DETAILS – TYPICAL OFFICE LEVELS







Tower View looking southeast

A view taken above the street at the intersection of Terry and Denny Way



# Tower View from the East

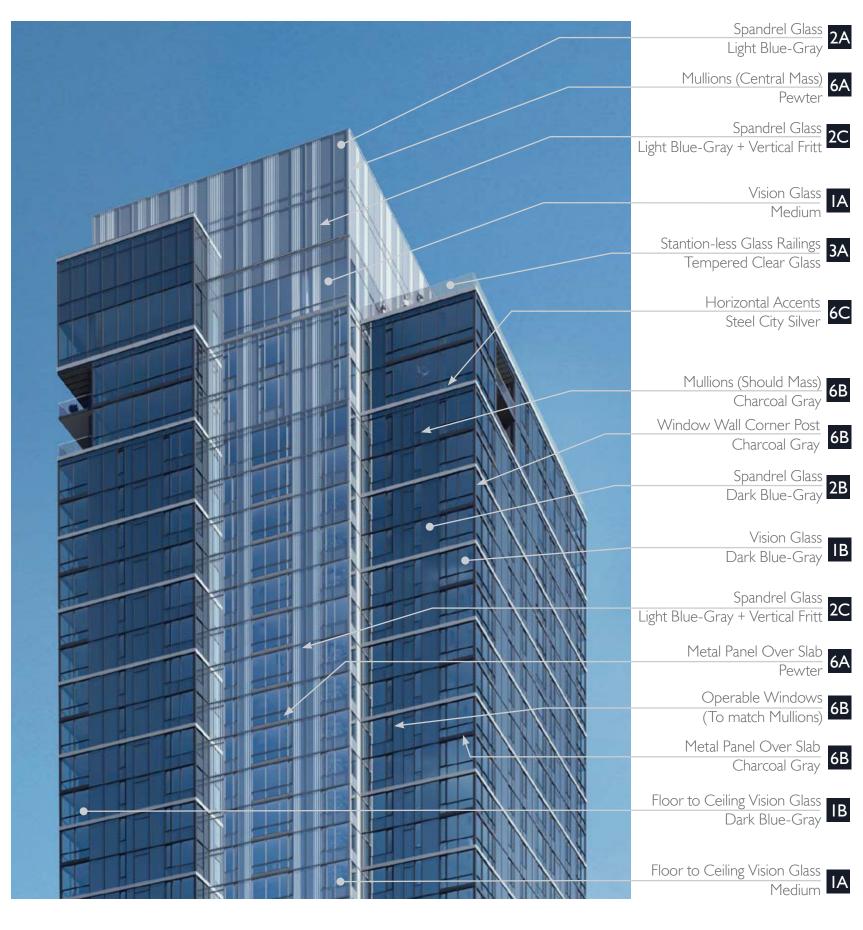
Pedestrian view from the Corner of Denny Way and Virginia S



Aerial Tower view look west

With the Space Needle, Puget Sound and Olympics in the background.

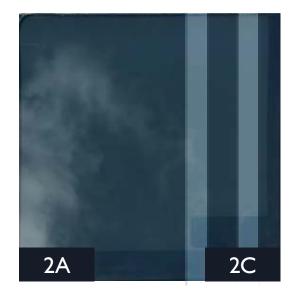
# TOWER MATERIALS

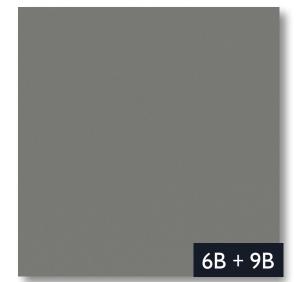


#### **Center Mass**

Vertical Accents





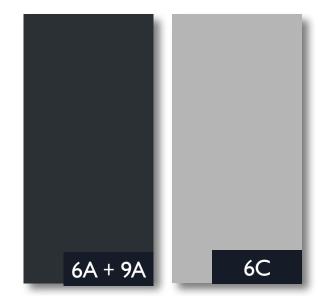


#### **Shoulder Mass**

Horizontal Accents



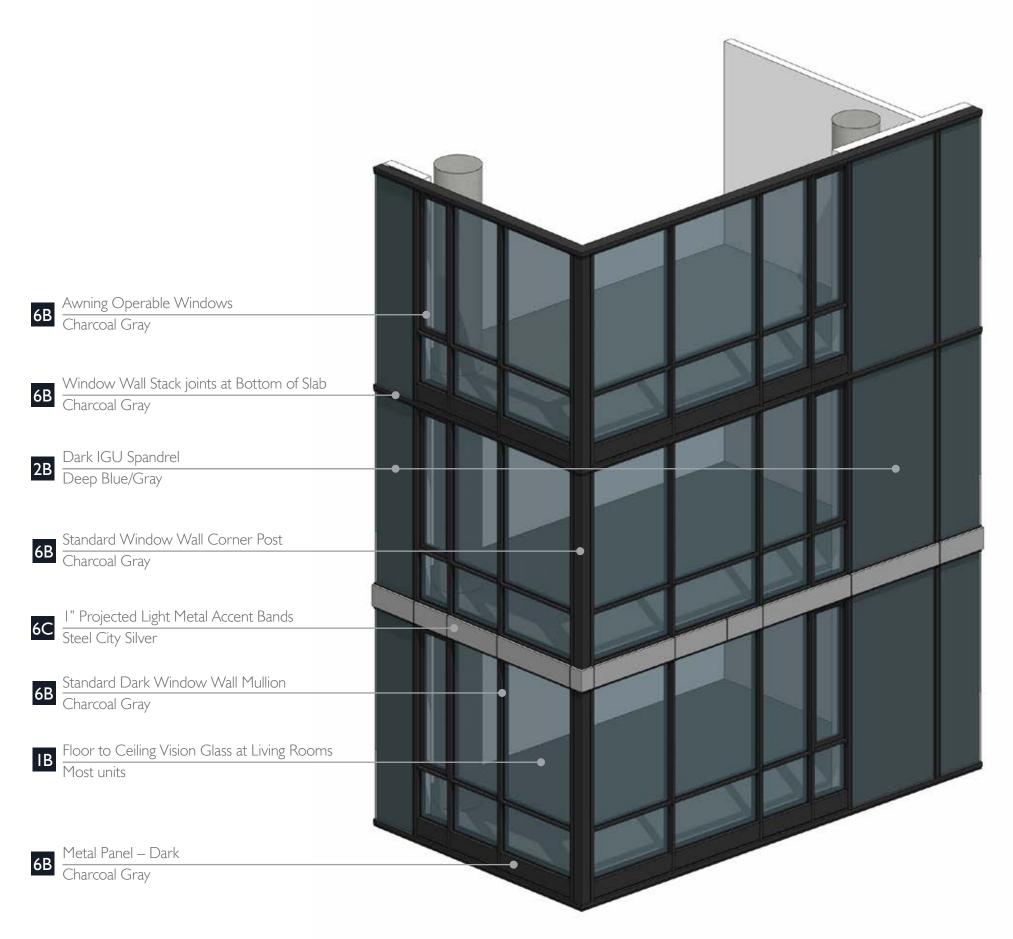




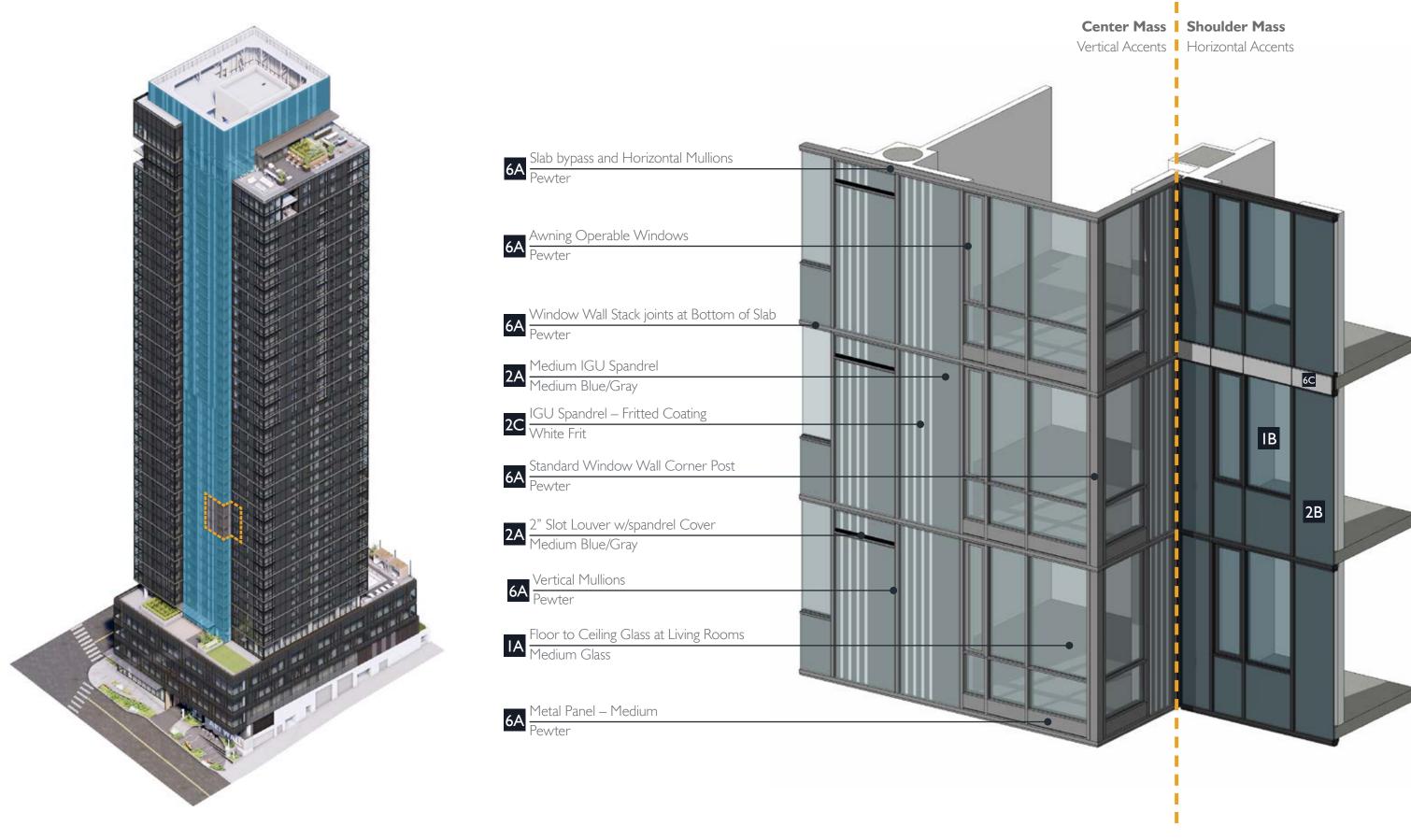


# TOWER FACADE DETAILS



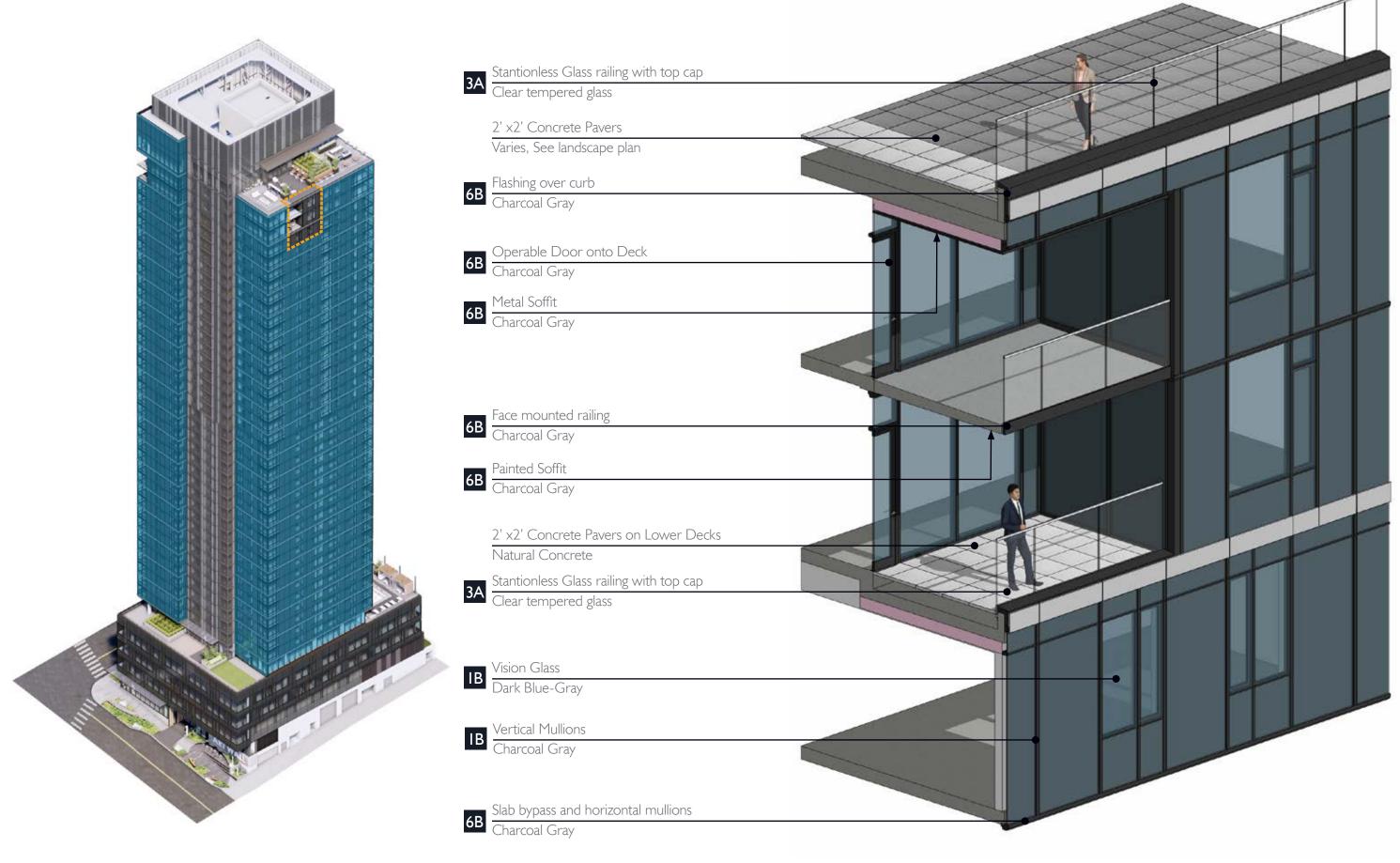


# TOWER FACADE DETAILS





# TOWER FACADE DETAILS





#### **ROOFTOP COVERAGE**

Code Requirement

Departure Request

Difference

**Explanation for Departure** 

#### SMC 23.49.008 D.2

The following rooftop features are permitted up to the heights indicated below, as long as the combined coverage of all rooftop features, whether or not listed in this subsection 23.49.008.d.2, does not exceed 55% of the roof area for structures that are subject to maximum floor area limits per story pursuant to section 23.49.058...5) Mechanical equipment...)

To provide residential amenity, mechanical spaces and screening, this departure proposes to increase the rooftop coverage from 55% to 72.4% (or only 59.4% when excluding the outdoor coverage area).

55% of the 11.199 SF roof area is 6,159 SF. The requested 8,114 SF is 72.4% of 11,199 sf, or a difference of 17.4% (1,955 sf). If you exclude the 1,466 sf covered outdoor area, then the coverage is 6,648 sf, or 59.4% coverage, a difference of 4.4% (489

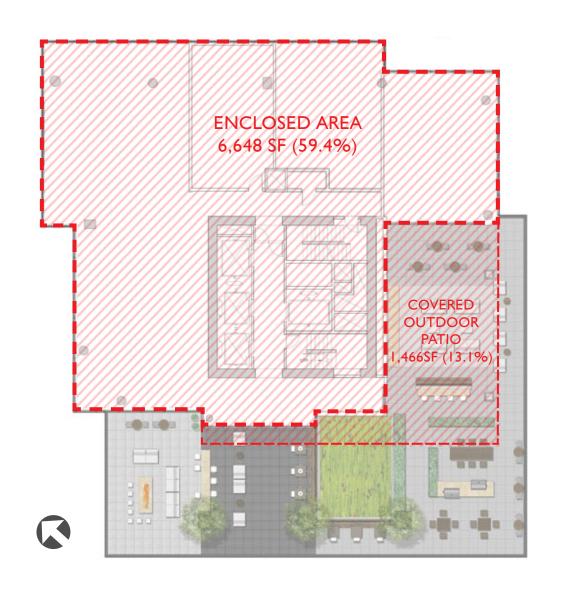
The massing for the building is broken into three vertical elements, the center element rises as an elegant extrusion to create a mechanical screen cap which fully encloses the core extrusion, elevator overruns, and mechanical equipment. The design solution creates a more composed rooftop form, than a compliant option. It allows the tower to reconcile itself in a seamless expression of the massing concept, with stepped forms representing the three massing shifts of the extruded tower. This creates a more well-proportioned and unified building. The stepped forms relate to the views, and sun exposure, maximizing rooftop terraces and resident amenity spaces that capture the view and sun 365 days-a-year.

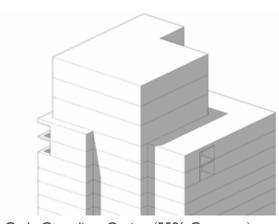
Associated Guidelines:

A-I Respond to physical environment

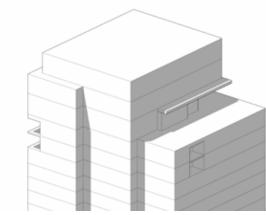
A-2 Enhance the skyline

B-4 Design a well-proportioned & unified building





Code Compliant Option (55% Coverage)



Preferred Option (72.4% Coverage)





Our preferred option allows the tower's three massing forms to terminate organically, each at different heights, allowing the residential floors, amenity level, and mechanical screen to blend together seamlessly rather then a harsh transition at the height limit.

#### UPPER LEVEL SETBACKS

Code Requirement

#### Departure Request

#### Difference

#### **Explanation for Departure**

#### SMC 23.49.058.E.2

If a lot in a DMC or DOC2 zone is located on a designated green street that is not a designated view corridor requiring view corridor setbacks according to section 23.49.024, as shown on map Id, view corridors, a continuous upper-level setback of 15 feet, measured from the abutting green street lot line, is required for portions of the structure above a height of 45 feet.

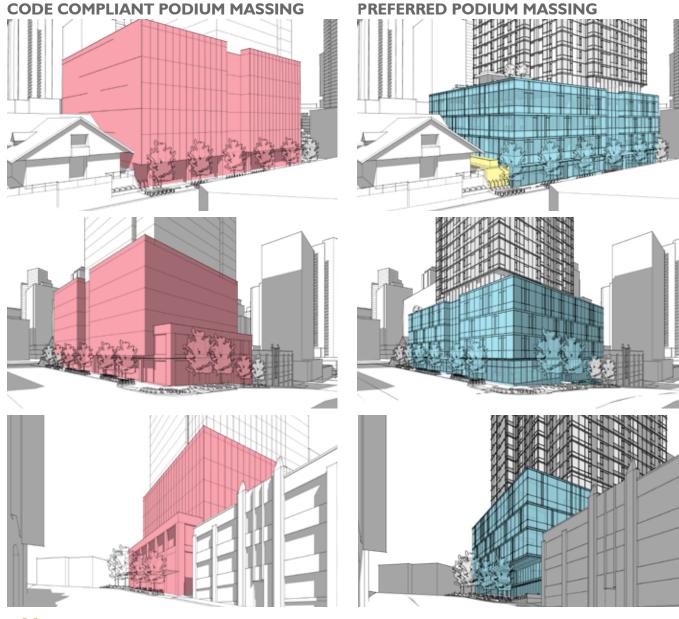
To provide light and air for Raisbeck hall, a landmark building, and a more unified podium design on a sloped site, this departure proposes to intrude into the 15' upper level setback between 14'-11 1/8" and 26' - 11" based on the slope of Lenora St.

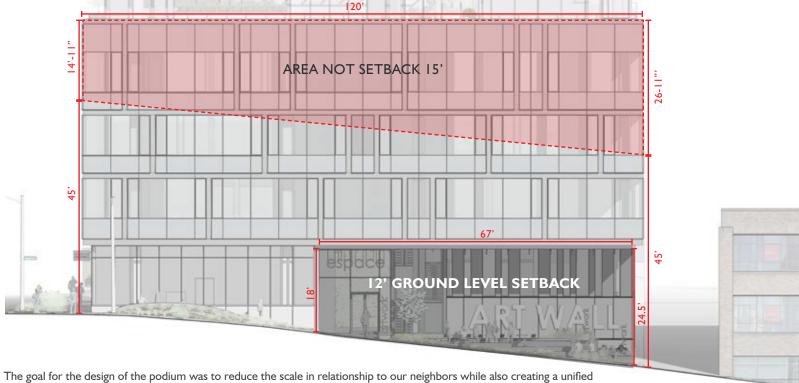
26'-II" at NW corner and 14'-11 1/8" at NE corner as measured from L5 floor level to 45' datum.

The podium height as designed (59' - 47/8" as measured from average grade datum along Boren), is held down to be (26' - 7 1/8") less than the maximum height allowed by code (85'-0"). Sun and shade studies show no appreciable impact on sunlight on Lenora for the proposed podium height as compared to the code compliant option. As a tradeoff for the departure, the project proposes to provide an enhanced green street experience that promotes pedestrian interaction. The design sets back the LI facade 12'-0" from the property line. This additional area gained through the setback creates landscaped eddies of pedestrian activity, which would include seating and art installations. The towers massing also includes a three tiered facade along Lenora that cascades away from the 15' setback requirement. Finally, a voluntary 15' podium setback is proposed along the south property line adjacent to the existing Raisbeck Performance Hall, allowing more light to the north side of the existing landmark structure. The project does not gain developable area with the departure either. While the project gains 3,598 sf in area due to the setback departure, it voluntarily gives up 5,397 sf for the 15' setback along Raisbeck, 850 sf for the LI setback, and nearly 14,000 sf of unrealized development potential for not maximizing the podium height. Therefore the proposal takes a net loss of 16,649 sf of developable area in trade for the departure. Associated Guidelines:

- A-I Respond to physical environment
- B-I Respond to neighborhood context
- B-3 Reinforce the positive urban form & architectural attributes of the immediate area
- B-4 Design a well-proportioned & unified building

- C-I Promote pedestrian interaction
- C-2 Design facades of many scales
- D-I Provide inviting & usable open space
- D-2 Enhance the building with landscaping
- D-3 Provide elements that define the place





architecture that encompassed the entire commercial space. Lowering the podium and unifying into a single move, and then carving out underneath to reinforce the building entries and create an interactive space for the pedestrians along the green street provided a more usable public space that can be shared with all three uses in the building, and the neighborhood.

# DEPARTURE #2 (CONTINUED)



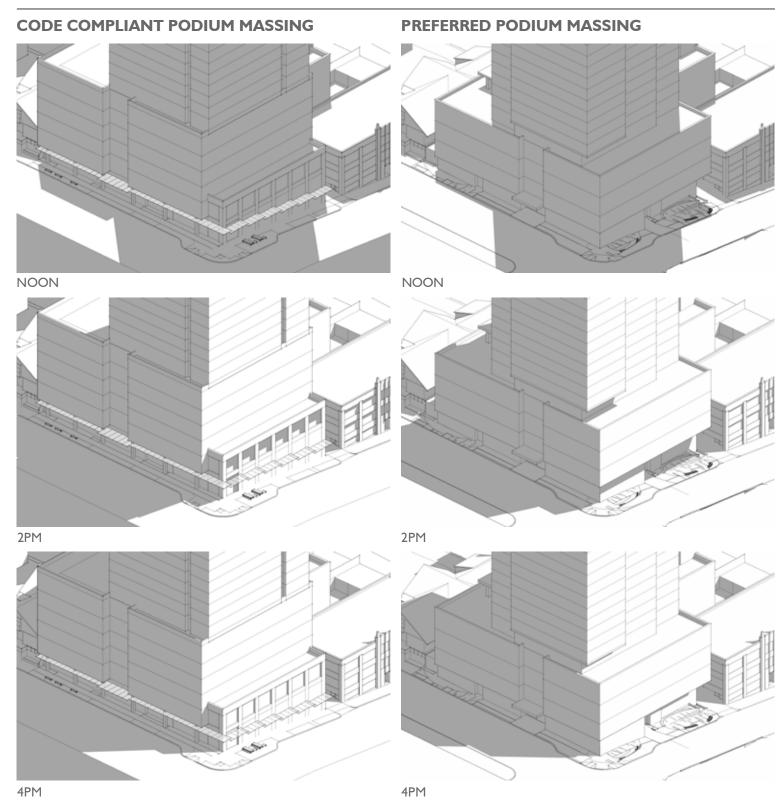
One of the core design concepts of the ground level setback was to create a space for the neighborhood, and not create a space that felt programmed for any single group. The gentle sweeping curves define the space, creating a sense of enclosure, while gracious areas of benches, landscaping, artwork and lighting bring the pedestrian environment to life, providing a space where residents, students and office workers can gather and innteract.

#### WINTER SOLSTICE

# **CODE COMPLIANT PODIUM MASSING** PREFERRED PODIUM MASSING NOON NOON 2PM 2PM 4PM

In the winter, having a NW orientation, the removal of the 15ft setback makes no noticeable different in solar exposure during the winter, and the ground level setback provides additional ground level area that receives sun in the afternoon.

#### SUMMER SOLSTICE



In the summer, the removal of the green street setback again makes little difference to the solar exposure along Lenora, and again in the later hours of the day after 1-2pm provides additional ground level area receiving sunlight.



#### **BLANK FACADE LIMITS**

Code Requirement Departure Request Difference Explanation for Departure

#### SMC 23.49.056.D

Blank facade limits for Class I pedestrian streets and designated green streets.

- a. Blank facades shall be no more than 15 feet wide except segments with garage doors may exceed a width of 15 feet and may be as wide as the driveway plus 5 feet. Blank facade segment width may be increased to 30 feet if the Director in a Type I decision determines that the facade segment is enhanced by features with visual interest such as architectural detailing, artwork, landscaping, or similar features.
- b. Any blank segments of the facade shall be separated by transparent areas at least 2 feet wide.
- c. The total width of all blank facade segments, including garage doors, shall not exceed 40 percent of the street-facing facade of the structure on each street frontage, or 50 percent if the slope of the street frontage of the facade exceeds 7.5 percent.

To accommodate a feature, curated art wall on Lenora, the departure proposes a blank wall to be 40'- 11 1/4" in width, exceeding the 15' baseline, and 30' condition that may be administratively allowed by SDCI.

25' - 11 1/4" over the 15' limit.

The topography of Lenora Street makes transparency undesirable toward the western half of the property line, as any transparency between 4' and 8' above grade would be looking directly into the parking garage and mechanical shafts. The building façade in this location is instead pushed in to create a greater pedestrian experience and the blank portion of the facade requesting departure is being incorporated into the design of this pedestrian space as a feature wall to exhibit art installations. The result is a space that enhances the pedestrian experience for the community.

Associated Guidelines:

- A-I Respond to physical environment
- C-I Promote pedestrian interaction
- D-I Provide usable open space
- D-2 Enhance the building with landscaping
- D-3 Provide elements that define the space





Pedestrian view through the space with Notion hall in the background Art shown is for reference only



Section through Art/Blank Wall

#### **OVERHEAD WEATHER PROTECTION – DEPTH**

Code Requirement

Departure Request

Difference

**Explanation for Departure** 

#### **SMC 23.49.018 B**

Overhead weather protection shall have a minimum dimension of eight (8) feet measured horizontally from the building wall or must extend to a line two (2) feet from the curb line, whichever is less.

To accommodate street trees, this departure proposes to reduce overhead weather protection canopy depth from 8' to 2' in certain locations (protection provided by building soffit).

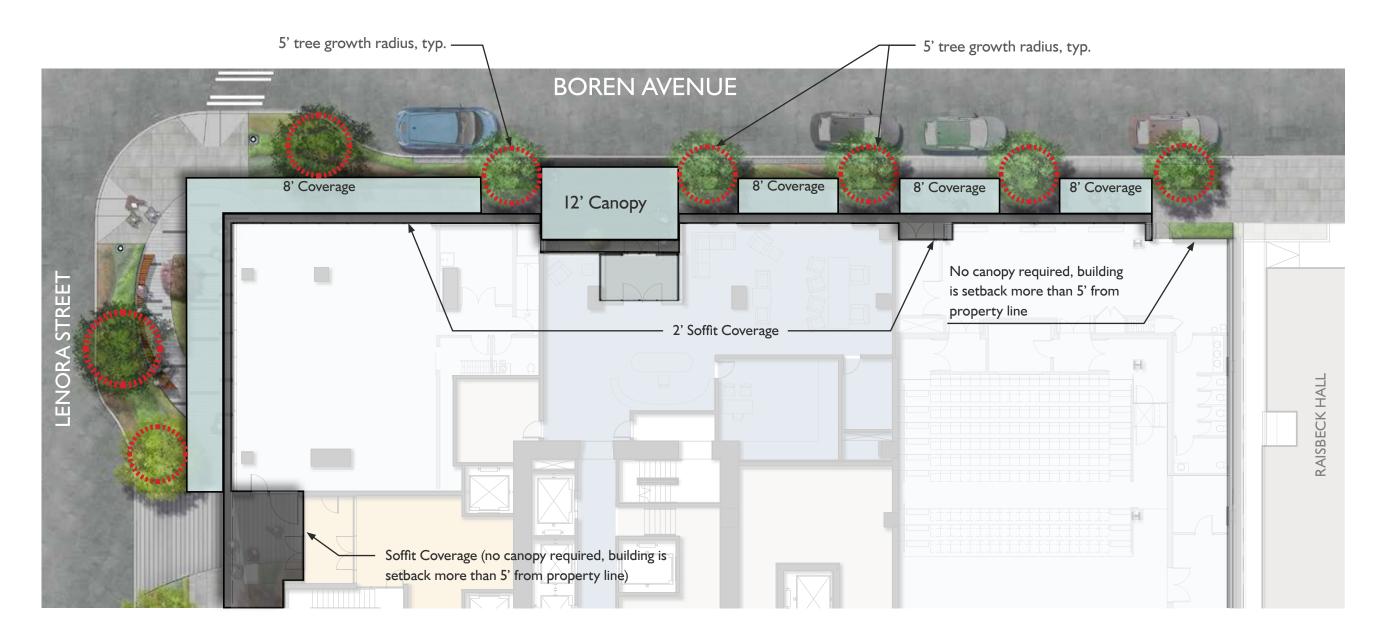
Proposed overhead protection is 8' deep from exterior face of building, where canopies are present, and 2'-0" canopies conflict with trees.

The zoning code requirement for 8' deep overhead protection conflicts with Seattle standards for tree planting in a 12' sidewalk. SDOT requires tree trunks to be 3.5' from curb. In this condition, the centerline of the tree trunk would be 6" from the edge of a compliant canopy which would not allow the tree to fully develop. SDOT from exterior face of building face where requires 5' radius from tree trunk to provide enough room for trees to grow and remain healthy. This benefits the public by providing shade to the pedestrian realm, and adding to the long term urban forest.

Associated Guidelines:

C-5 Encourage overhead weather protection

D-2 Enhance the building with landscaping



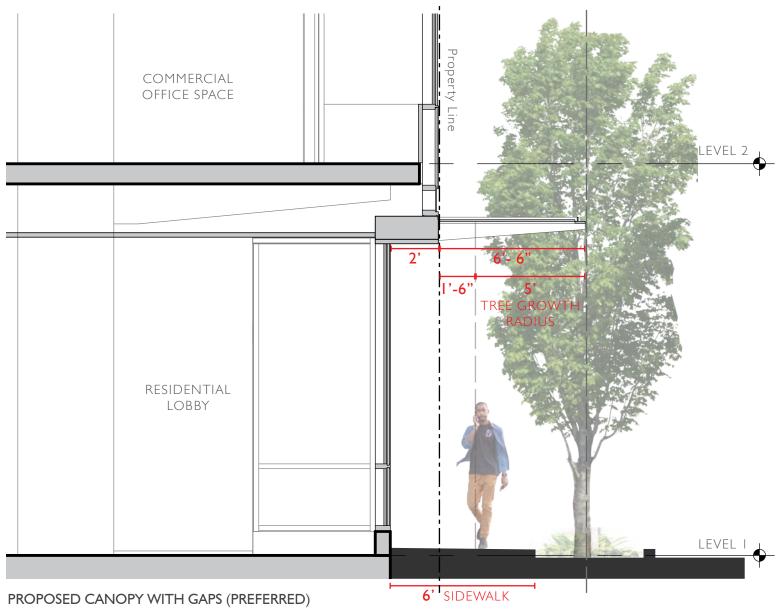


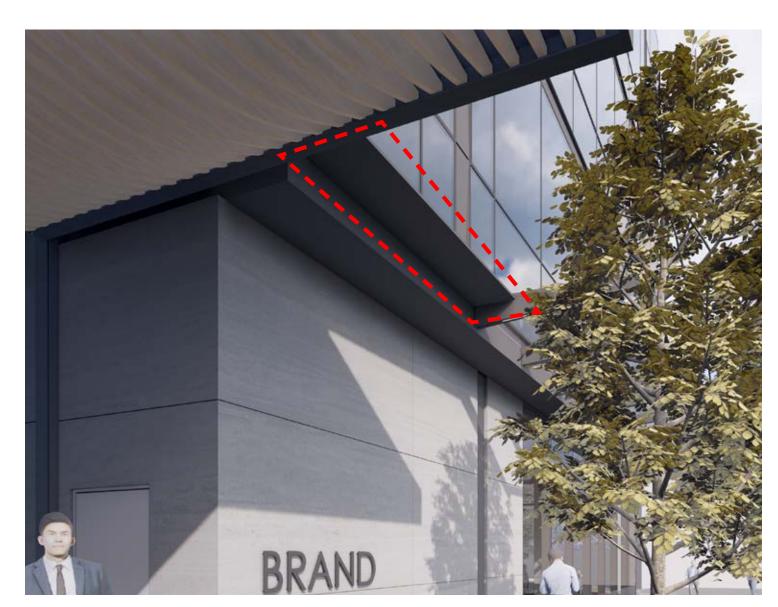
# DEPARTURE #4 (CONTINUED)

#### **ALTERNATE CANOPY DESIGN**

At EDG the board asked the design team to explore a canopy option where the 1'-6" gap between the 5' tree growth radius, and the 2' soffit, is covered with a small canopy.

In developing this study we discovered the application of a short canopy between tree spans creates a drip line in the center of the walking path. See detail below. Additionally the full depth canopy design does not lend itself to a 1'-6" depth dimension. Our design solution to fill the canopy gap at the trees along Boren with a horizontal plate detail (matching the soffit color) and allow the soffits to create 2'-0" of weather protection, creating a 3'-6" covered area against the building. Both from a design standpoint, and practicality of drip line location, our preferred solution is to break the canopies at the tree locations with a 10' gap and not try to introduce the additional plate, leaving a clean modern aesthetic and complementary connection of the ground level to the podium.





CANOPY STUDY WITH EXTENDED SOFFIT AT TREE LOCATIONS

Due to the setback of the building at grade, there will still be weather protection provided by the 2' soffits above.

#### **OVERHEAD WEATHER PROTECTION - HEIGHT**

Difference

**Explanation for Departure** 

#### SMC 23.49.018 D

The lower edge of the overhead weather protection must be a minimum of ten (10) feet and a maximum of fifteen (15) feet above the sidewalk.

Code Requirement

To provide a uniform canopy design on a sloping site, this departure proposes exceeding the 15' height up to 19' - 1 1/4" as the site slopes along Lenora.

Departure Request

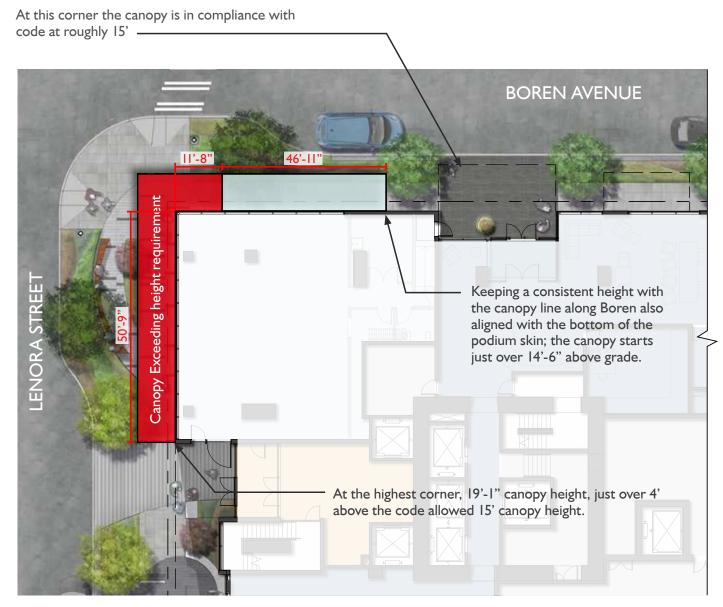
Up to 4'-1 I/4" of additional canopy height above the sidewalk.

In order to maintain a single canopy height for the arts facility space at the corner along a sloped site, we need to exceed the maximum canopy height along Lenora. This will allow the arts facility space to maximize unobstructed display space visible from the street, and create a more uniform space inside and out for art display and viewing.

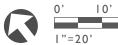
Associated Guidelines:

C-I Promote pedestrian interaction

C-5 Encourage overhead weather protection









#### PARKING SPACE STANDARDS

Code Requirement **Departure Request** Difference **Explanation for Departure** 

#### SMC 23.54.030.B.2.C

Non-residential uses - when 20 or more parking spaces are provided, a minimum of 35% of spaces shall be striped for large vehicles.

Medium size parking stalls are proposed in lieu of large stalls for non-residential parking.

Changing the 25 required large stalls to medium stalls.

Large Stall (8.5'w x 19'l x 24' aisle) Medium Stall (8'w x 16'l x 22' aisle)

Providing 35% large parking stalls is not dimensionally feasible due to site constraints. Medium stalls, consistent with the requirements for the residential parking are proposed instead of large stalls required for the non-residential parking. The proposed design seeks to avoid above grade parking, maintain the proposed street-level design/uses, and create as efficient a parking layout as possible, by spacing the structure efficiently and maximizing parking stalls. Smaller stalls help increase parking efficiency, and thus prevent the need for above grade parking. In an urban environment such as this site, this strategy promotes the use of smaller more fuel-efficient cars, which have, in turn, a smaller carbon footprint and are easier on the environment. Smaller cars entering and exiting the garage entrance in the alley also enhances pedestrian safety.

Associated Guidelines:

C-2 Design facades of many scales

C-3 Provide active, not blank facades



Section through project showing below grade parking.



Commerical office stalls are located on the first two levels of the below grade parking, but the layout is identical to the floors below.



## STREETSCAPE INSPIRATION + EXISTING LENORA CONDITION

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#### CIRRUS - 2030 8TH AVE

HOLLAND

EXTERIOR RESTING + GATHERING SPACES SPECIALTY PAVING AT ENTRY ACCENT SPECIALTY PAVING ALONG LENORA ENHANCED LANDSCAPING

# **LENORA**

#### LANSCAPE VISION

This project serves as a major gateway to the Cornish College of the Arts Campus and proposes a design that creates a vibrant public open space, featuring artwork installations curated by Cornish College. Refined materials reflect an artful expression through paving, seating and generous planting areas. The design takes cues from precedents seen on the adjacent green street blocks that include contrasting dark and light pavement, unique pavement patterning, public seating, as well as lighted elements. The unique experience blurs the division of public and private space in a meaningful way for use by all.

The building's podium terrace creates an urban oasis that is an extension of resident's living spaces with an elevated pool deck, cooking areas and a wrap around bar. The upper rooftop creates a destination to take in sweeping western views.

### WA TALKING BOOK & BRAILLE LIBRARY

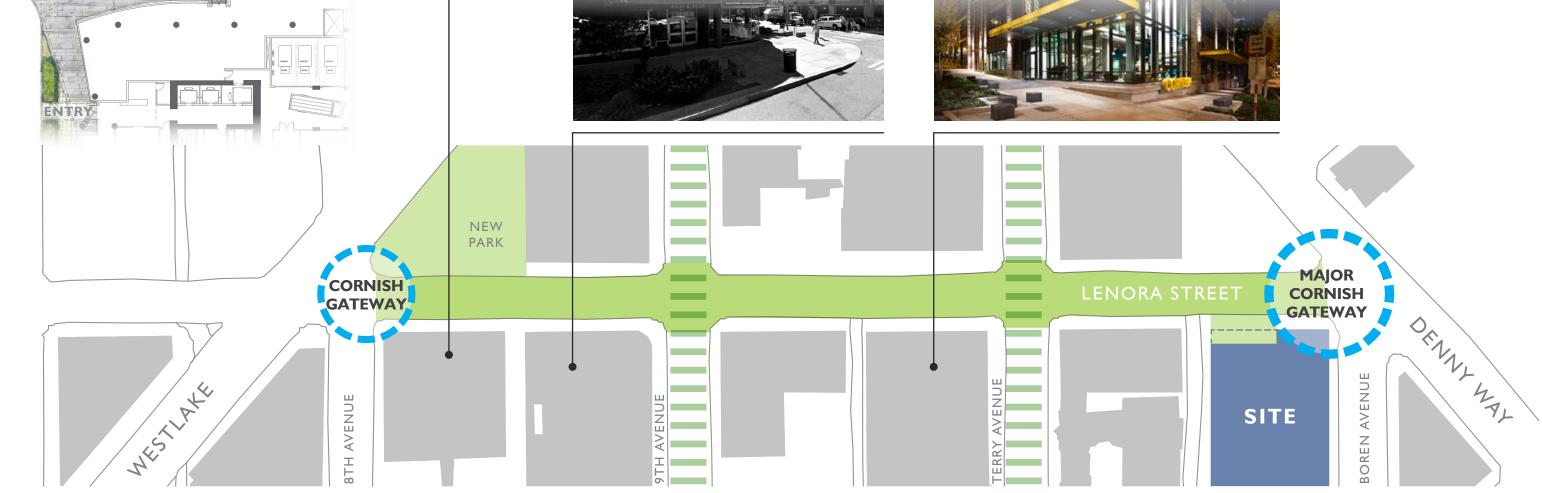
EXTERIOR RESTING + GATHERING SPACES ENHANCED LANDSCAPING



#### CORNISH COMMONS – 2025 TERRY AVE

EXTERIOR RESTING + GATHERING SPACES SPECIALTY PAVING AT ENTRY ENHANCED LANDSCAPING

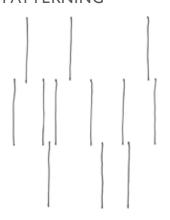




# STREETSCAPE INSPIRATION

OFFSET BARS -

INTEGRATES BUILDING FACADE TREATMENT INTO HARDSCAPE PATTERNING



CREATES MOVEMENT, EVOKES A SENSE OF MUSIC AND THE ARTS LOOPED FORM –

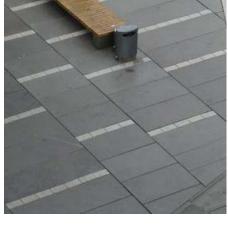


LENORA GREENSTREET REFERENCE IMAGES

HARDSCAPE





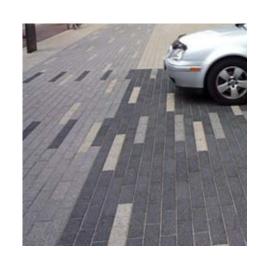






CORNISH COMMONS – 2025 TERRY AVE







CIRRUS – 2030 8TH AVE



# GRADE LEVEL LANDSCAPE PLAN







BOREN STREET TREES
OSTRYA VIRGINIANA / HOPHORNBEAM



LENORA EXISTING STREET TREES

CARPINUS BETULUS / EUROPEAN HORNBEAM



CORNER SIGNATURE TREES QUERCUS RUBRA / RED OAK



CAREX TESTACEA / ORANGE NEW ZEALAND SEDGE

IMPERATA CYLINDRICA 'RED BARON' /

JAPANESE BLOOD GRASS



LONICERA NITIDA 'LEMON BEAUTY' / LEMON BEAUTY BOX HONEYSUCKLE



CHOISYA TERNATA 'SUNDANCE' /
SUNDANCE MEXICAN ORANGE BLOSSOM



ABELIA X GRANDIFLORA 'KALEIDOSCOPE' / KALEIDOSCOPE ABELIA



LIRIOPE SPICATA 'SILVER DRAGON' / SILVER DRAGON LIRIOPE

#### LENORA STREET MIX



ARCTOSTAPHYLOS UVA-URSI / KINNIKINNICK



LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER



PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS



CORNUS SERICEA 'KELSEYI' /
KELSEY'S DWARF RED-OSIER DOGWOOD



TAXUS X MEDIA 'DARK GREEN SPREADER' / DARK GREEN SPREADER YEW



LYSIMACHIA NUMMULARIA/ CREEPING JENNY



ELYMUS MAGELLANICUS / BLUE WHEATGRASS



OPHIOPOGON PLANISCAPUS NIGRESCENS / BLACK MONDO GRASS

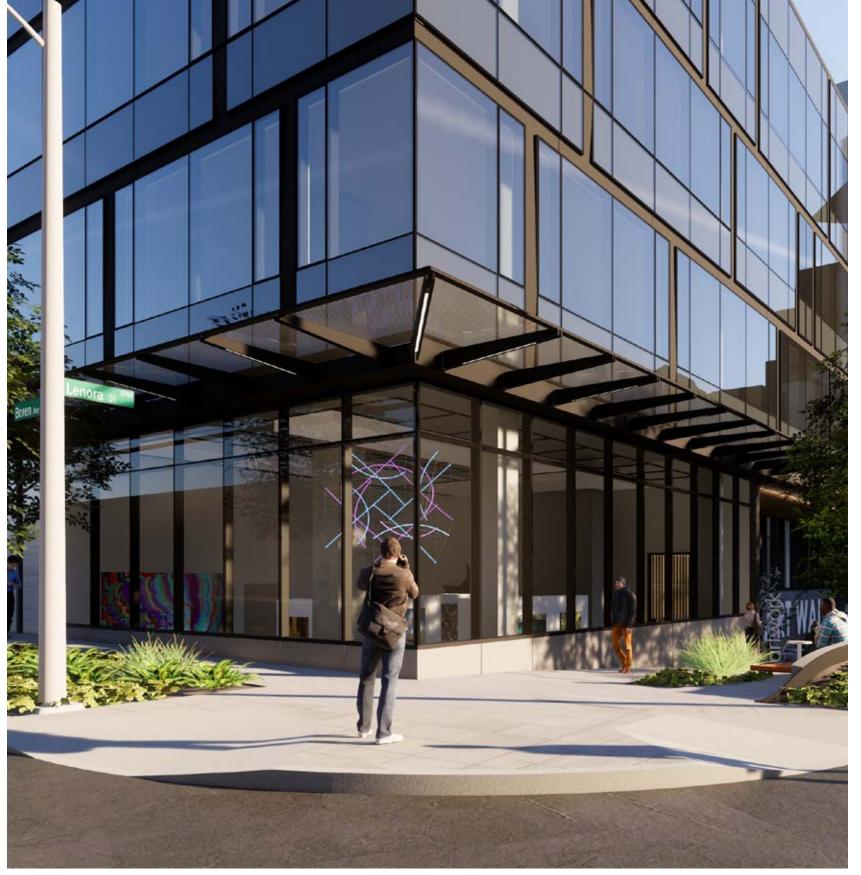
# LI STREETSCAPE VIEWS



STREETSCAPE VIEW OF BOREN AVENUE



STREETSCAPE VIEW OF LENORA STREET – Artwork shown is for reference only.



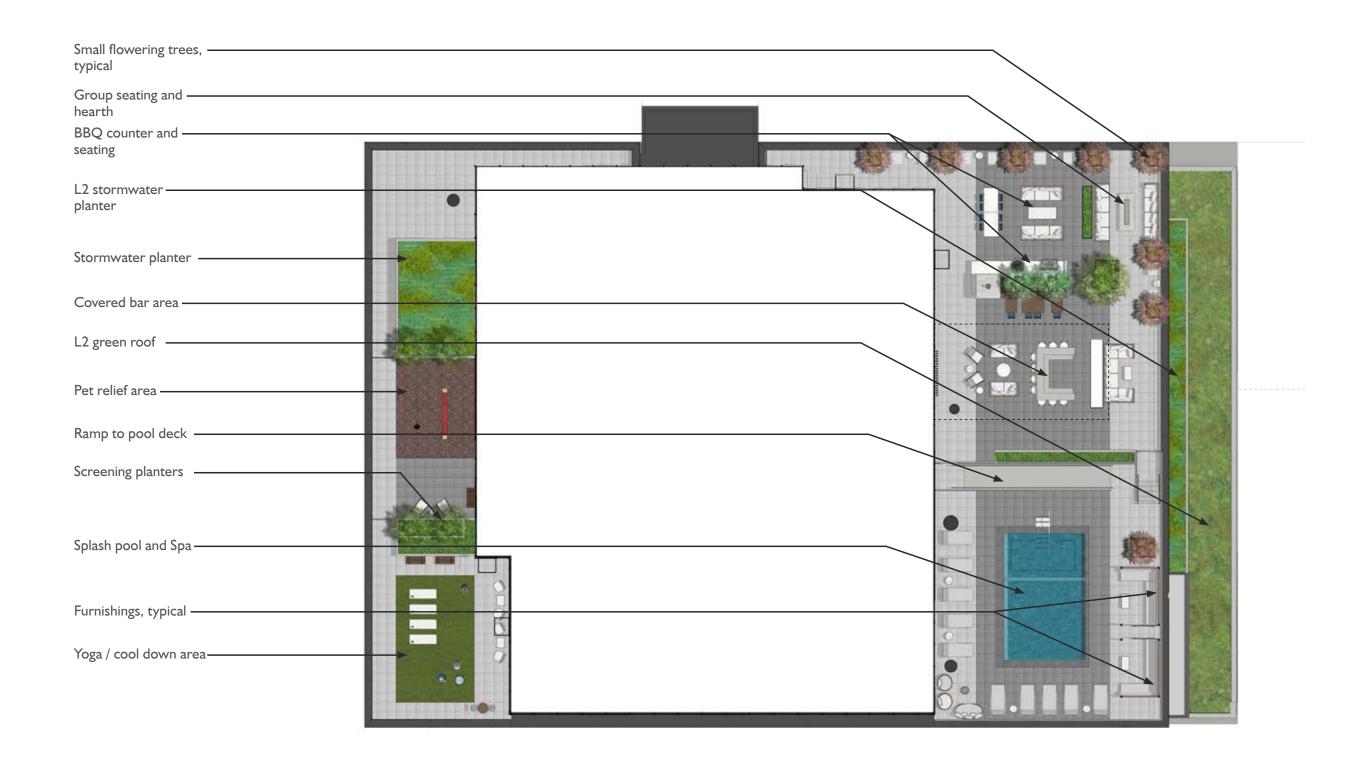
CORNER OF BOREN AND LENORA – Artwork shown is for reference only.



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# L5 ROOF TERRACE LANDSCAPE PLAN & VIEWS



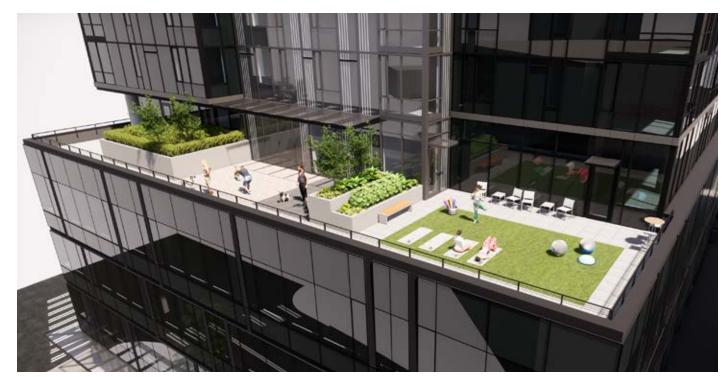




# L5 ROOF TERRACE LANDSCAPE PLAN & VIEWS



VIEW OF SOUTHERN OUTDOOR AMENITY



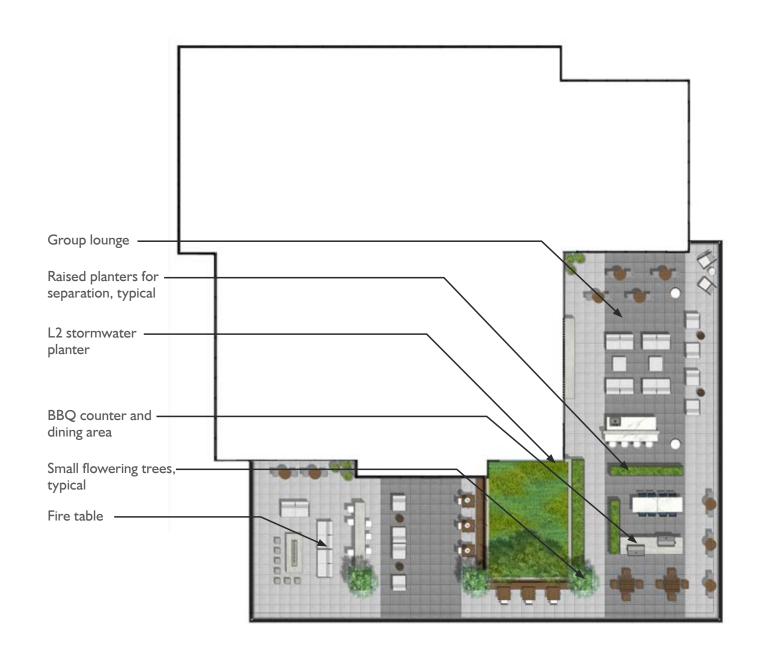
VIEW OF NORTHERN OUTDOOR AMENITY

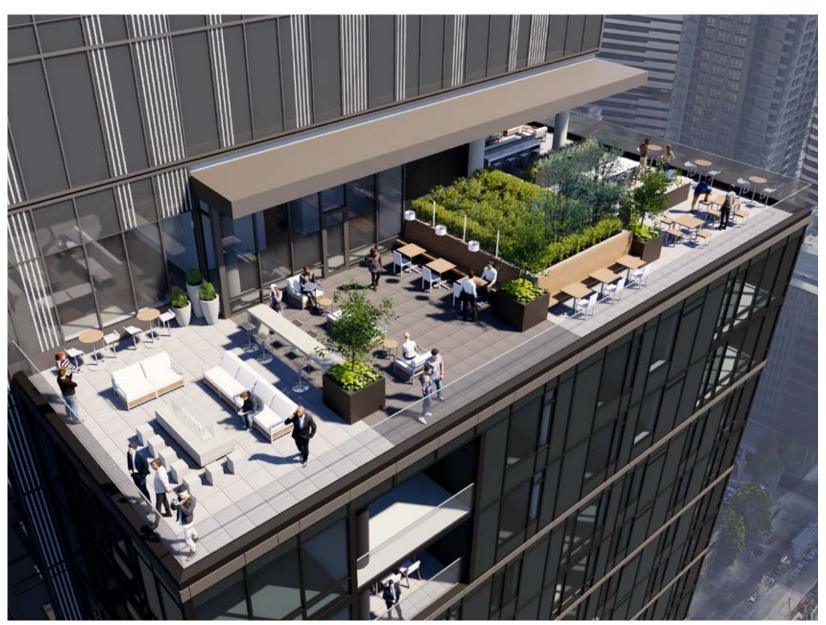


VIEW OF COVERED BAR



VIEW OF POOL DECK

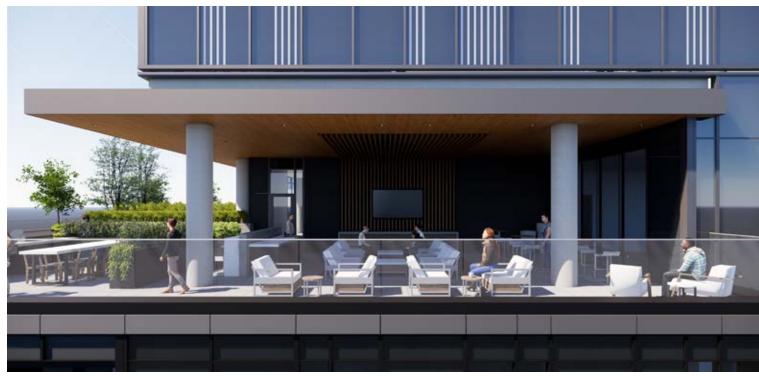




OVERALL VIEW OF RI AMENITY TERRACE LOOKING EAST



# RI ROOF TERRACE VIEWS



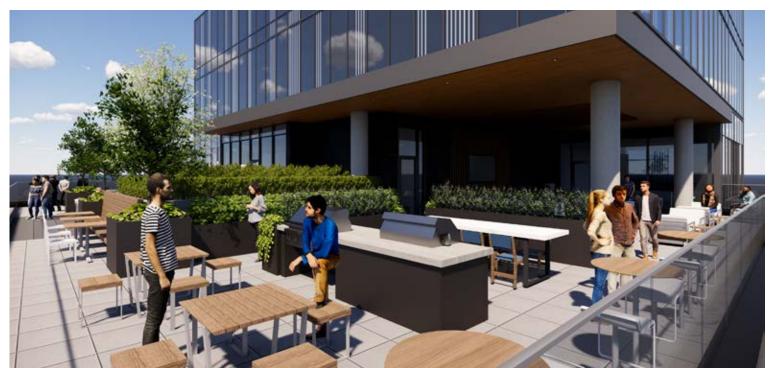
VIEW OF PRIVATE LIVING ROOM



VIEW OF FIRE FEATURE



OVERALL VIEW OF RI AMENITY TERRACE LOOKING WEST



VIEW OF BBQ AND DINING

# ALTERNATE CODE COMPLIANT GRADE LEVEL LANDSCAPE PLAN

### Note:

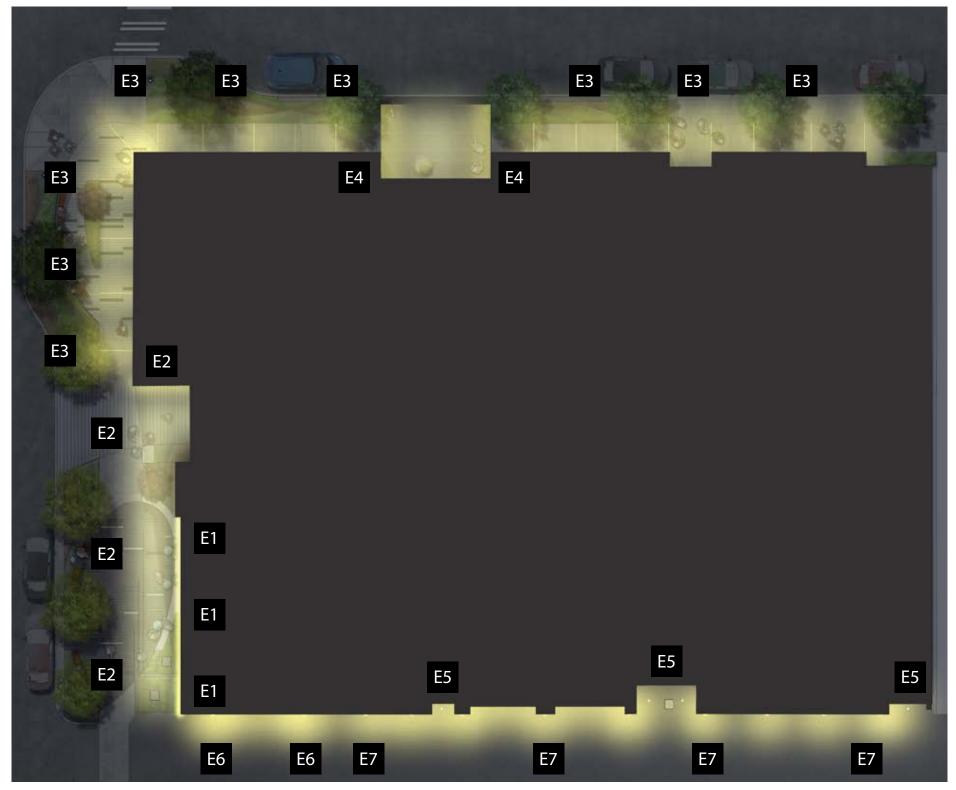
The design team is currently working with SDOT, through the Deviation Request process, to achieve approval of the preferred paving design as seen on the preceding Grade Level Landscape Plan sheet.

This plan represents a code compliant design with the SDOT standard 24"x24" score pattern (with natural concrete color) on the required sidewalk. The additional amenity paving in the Greenstreet R.O.W. would be 12"x12" score pattern on colored concrete.





# LIGHTING DESIGN – LI (LENORA)



### **ADJUSTABLE SPOT LIGHT** E1

Soffit-mounted spot lights for highlighting wall-mounted art.



### LINEAR LIGHT

Linear LED aligned with the wood slated soffit & wall provides ambient light below.



### LINEAR CANOPY LIGHT

Linear LED in the canopy structure provides general pathway lighting.



### WOOD CANOPY FEATURE

Edge mounted LED highlight the undulating wooden slats. Cylinder lights hidden between slats provide entry lighting.



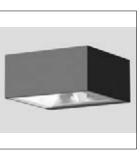
### **RECESSED DOWNLIGHT**

Downlights recessed in the soffit above provide egress lighting.



#### **AREA LIGHT** E6

Wall mounted area light guides motorists to the parking garage entry.



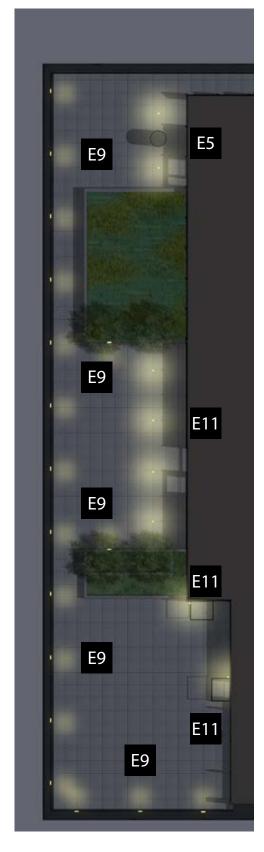
### WALL PACK E7

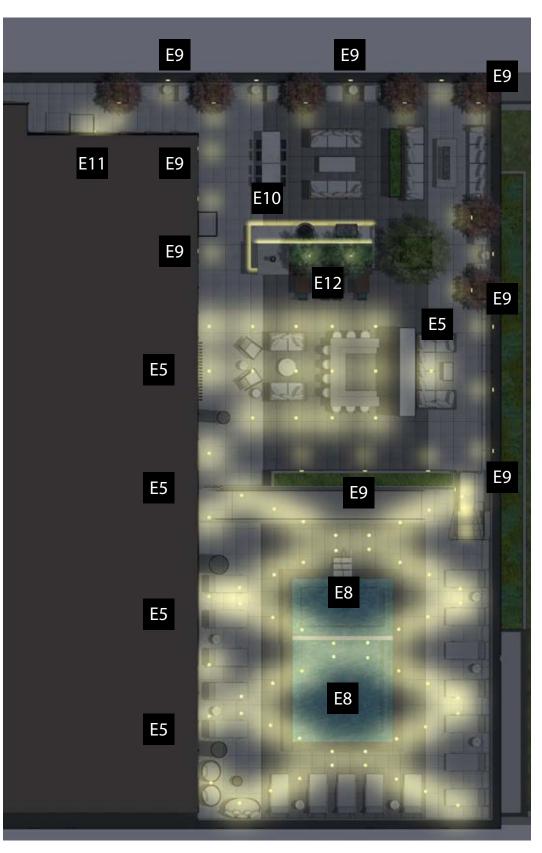
LED wall packs provide safety lighting along alley.





### LIGHTING DESIGN – L5 AMENITY





RECESSED DOWNLIGHT

Downlights recessed in the soffit above provide general lighting.



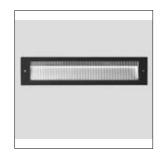
E8 CATENARY MOUNTED CYLINDERS

Cylinder downlights mounted to catenary structure provides pool lighting.



RECESSED STEPLIGHTS

Steplights recessed in the building, parapets, and planters provide low-level navigation lighting.



E10 UNDER COUNTER LIGHT

Linear LED light mounted under countertop anchors the space.



CANOPY MOUNTED BULLET LIGHT

Discrete canopy mounted lights provide entry lighting.



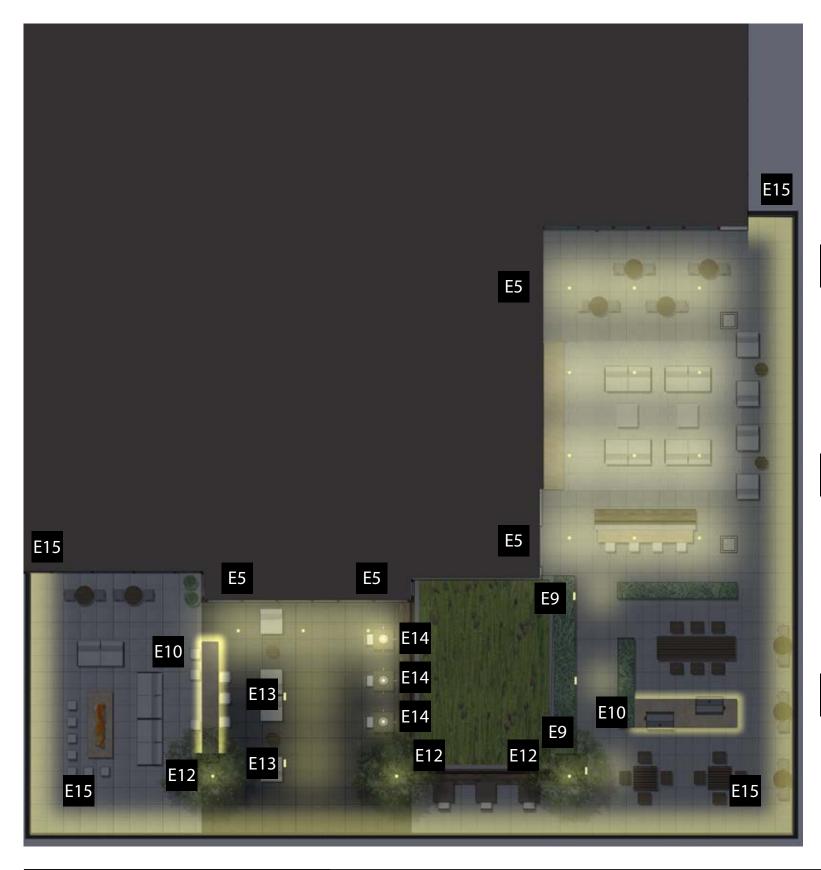
STAKE-MOUNTED TREE UPLIGHTS

Small-scale LED bullet lights mounted in the planter uplights the tree.









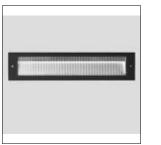
### **RECESSED DOWNLIGHT** E5

Downlights recessed in the soffit above provide general lighting.



### **RECESSED STEPLIGHTS**

Steplights recessed in planter walls provide low-level navigation lighting.



# E10

### **UNDER COUNTER LIGHT**

Linear LED light mounted under countertop anchors the space.





### STAKE-MOUNTED TREE UPLIGHTS

Small-scale LED bullet lights mounted in the planter uplights the tree.



E13

### **DIRECTIONAL BOLLARD**

Low, shielded bollards provide egress lighting to the terrace edge.



### **ARM-MOUNTED PENDANT**

Decorative lanterns on extended arms over seating area provide a soft glow.



### **TOEKICK LIGHT**

Low-level toekick light around the terrace perimeter provides general egress illumination.





# SIGNAGE DESIGN





Cornish Performing Arts Center Canopy Signage

- 3 dimensional
- internally lit
- clean design aesthetic

Blade Signs – Performing Arts Center and Residential

- internally lit
- clean design aesthetic







- modern
- simple design
- floating or embossed
- halo lit









SIGNAGE LOCATION VIGNETTE ALONG BOREN



# SIGNAGE DESIGN



Cornish Gallery Signage - artful interior installation

- visible to exterior

### Office Signage

- complement building materials
- internally or externally lit
- suspended in entry vestibule







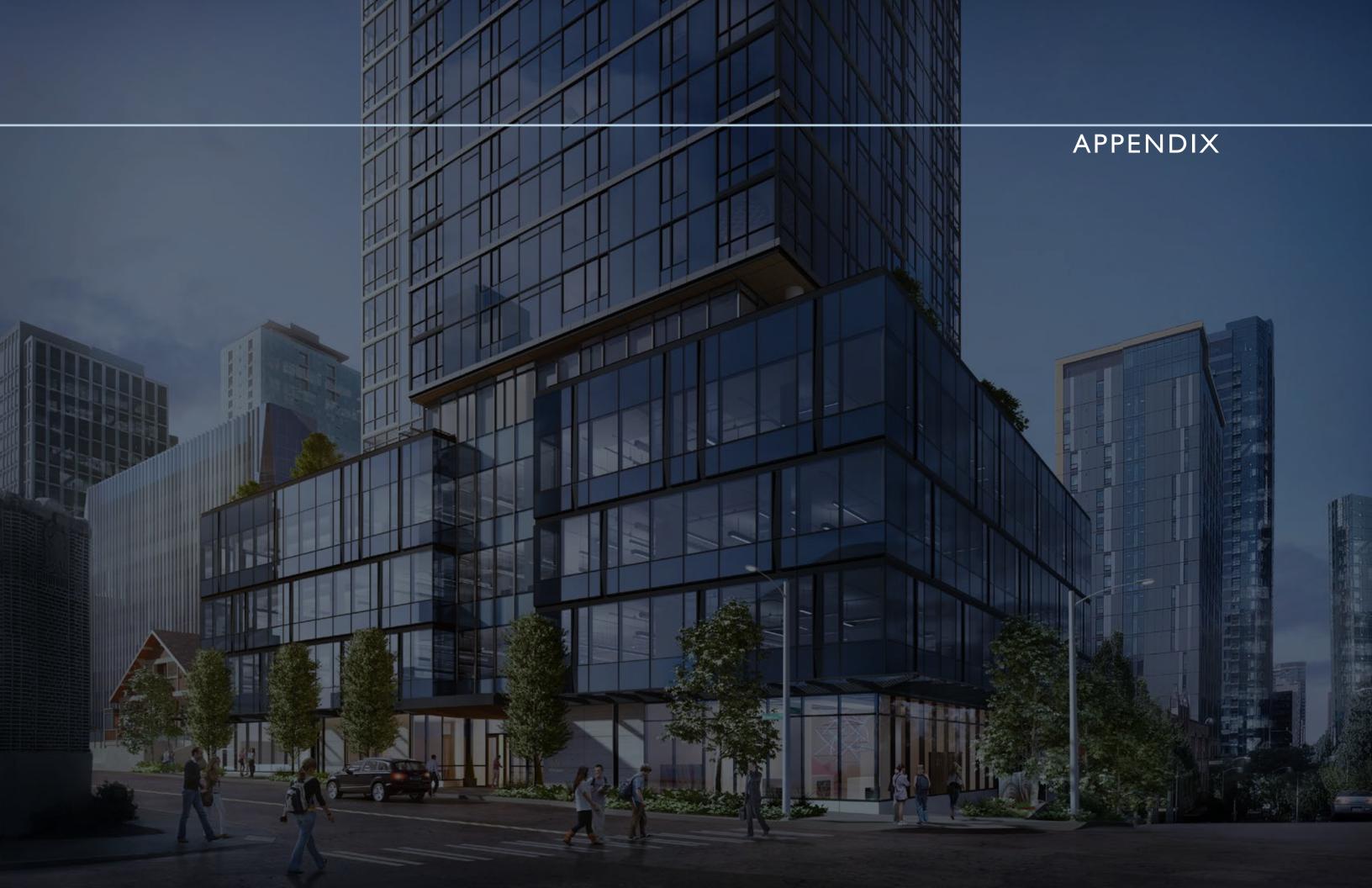


Cornish Gallery Signage

- internally or back lit
- clean design aesthetic
- floating letter style



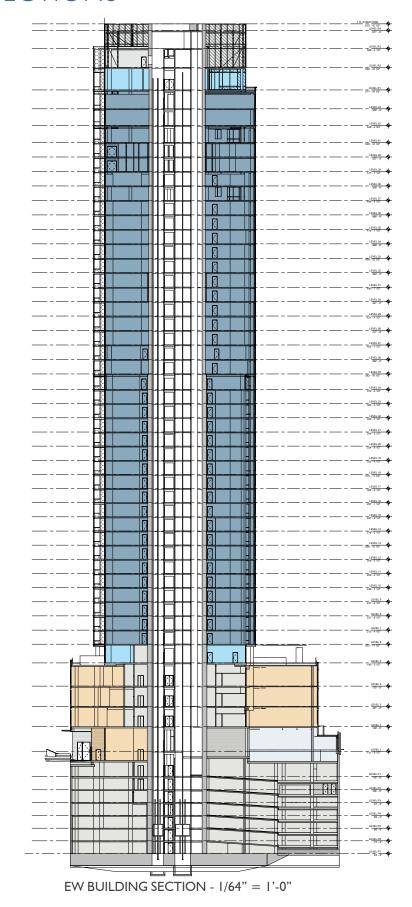


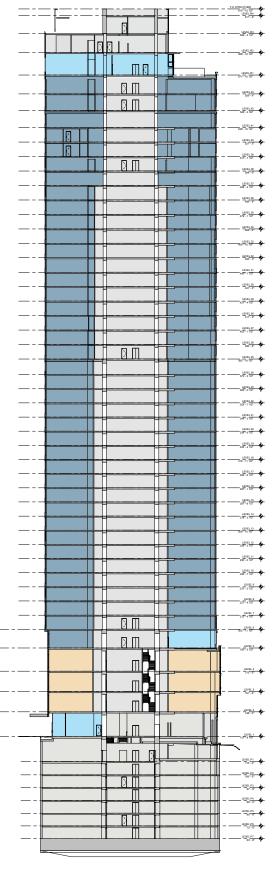


# ELEVATIONS



# APPENDIX - SECTIONS







#### **SPACE FUNCTION KEY**



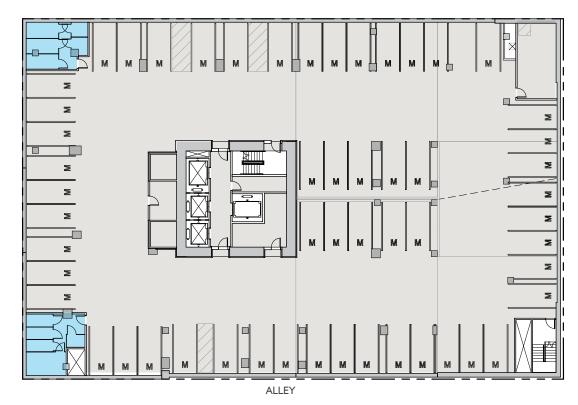


**AMENITY** 

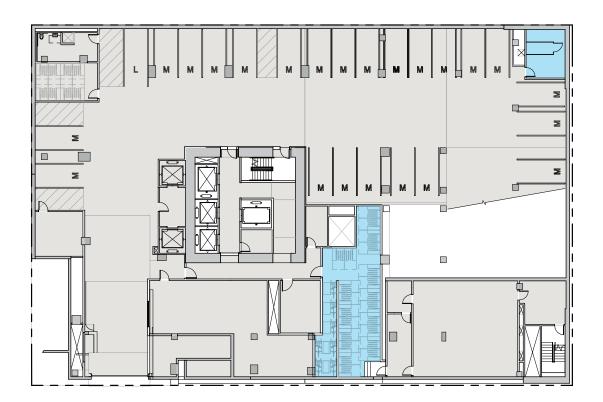






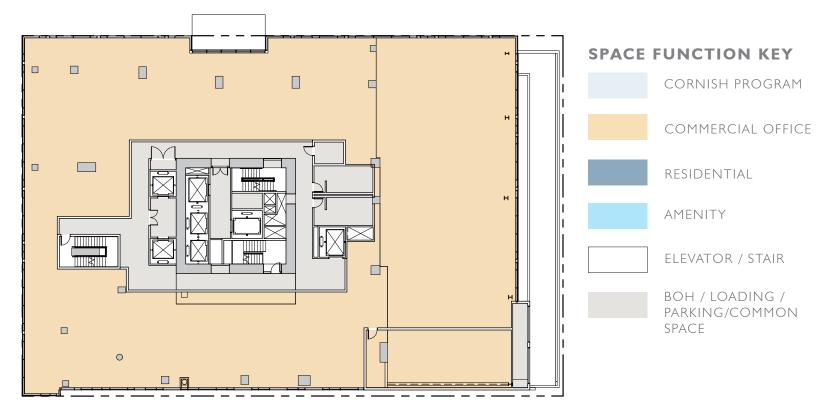


TYPICAL PARKING LEVEL PLAN





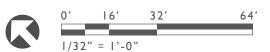
LI PLAN

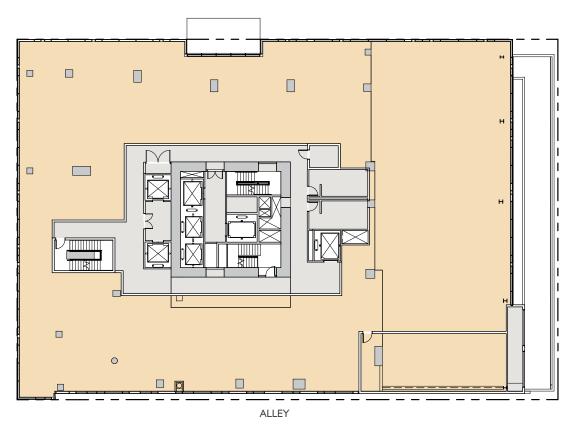


PI PLAN

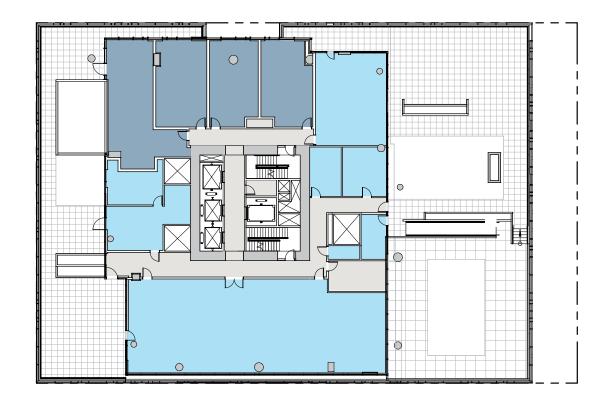


L3 PLAN

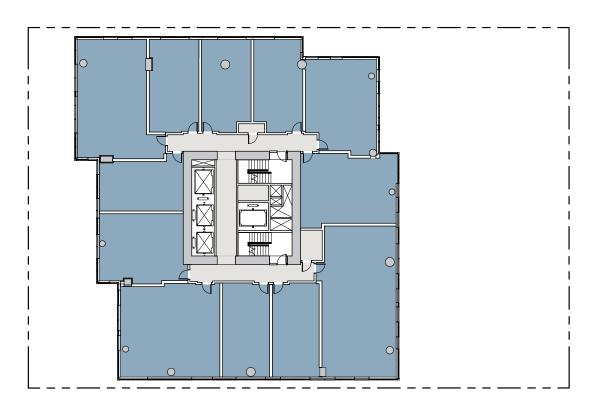




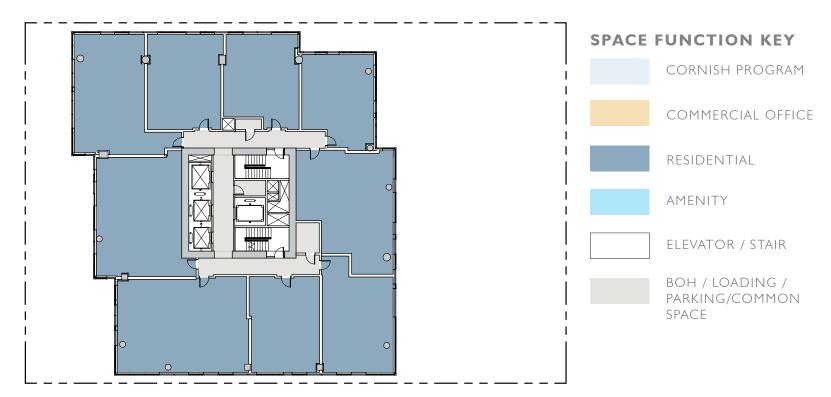
TYPICAL OFFICE PLAN

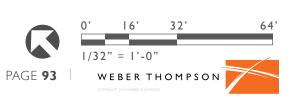


L5 AMENITY PLAN



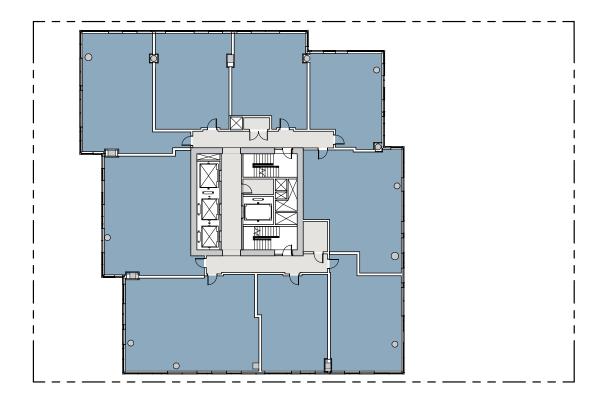
L6-L24 PLAN



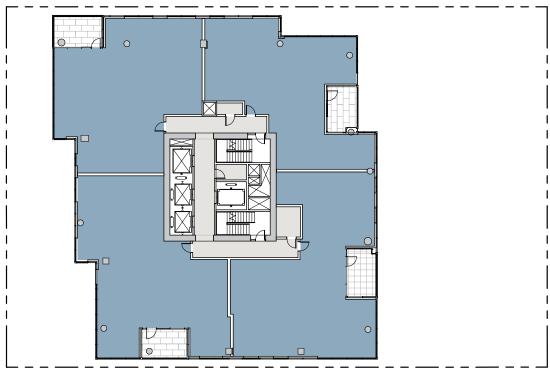


L25-L37 PLAN

# APPENDIX - PLANS

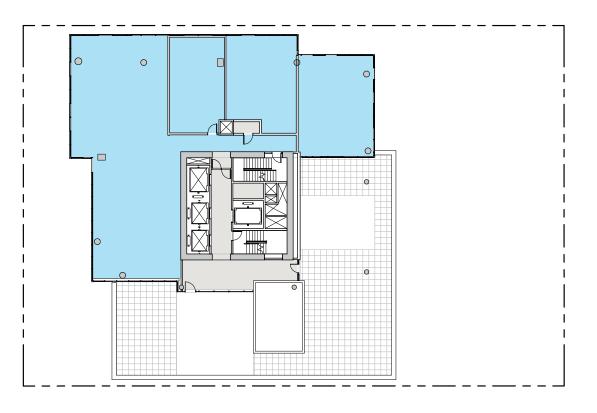


L38-L41 PLAN



L42-L43 PENTHOUSE PLAN





RI PLAN





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# PODIUM FACADE – ALLEY



# ZONING MAP







# ZONING SUMMARY

KING COUNTY PARCEL #'S	#066000-1475 #066000-1480 #066000-1485	OPEN SPACE (23.49.016)	OPEN SPACE IN THE AMOUNT OF TWENTY (20) SQUARE FEET FOR EACH ONE THOUSAND (1,000) SQUARE FEET OF GROSS OFFICE FLOOR AREA SHALL BE REQUIRED OF PROJECTS THAT INCLUDE EIGHTY-FIVE THOUSAND (85,000) OR MORE SQUARE FEET OF GROSS OFFICE FLOOR
SITE AREA	21,600 SF		
ZONING CLASSIFICATION (ZONING MAP 109)	DMC 240/290-440		AREA IN DOČI, DOČ2, DMC, DMR/C AND DH2 ZONES
NEIGHBORHOOD OVERLAY (23.49.056, MAP	DENNY TRIANGLE URBAN CENTER VILLAGE		NONE REQUIRED, OFFICE AREA UNDER 85,000 SF NO PARKING REQUIRED
A)		PARKING (23.49.019)	MAXIMUM OF 1 SPACE PER 1000 SF FOR NON-RESIDENTIAL
STREET CLASSIFICATIONS (MAP IB, MAP IF)	BOREN AVENUE: PRINCIPAL ARTERIAL; CLASS II PEDESTRIAN STREET LENORA STREET: GREEN STREET		BIKE SPACES: I SPACE FOR EVERY 2 DWELLING UNITS; I SPACE PER 5,000SF OFFICE
SIDEWALK WIDTHS (MAP IC)	BOREN AVENUE REQUIRES A 12' SIDEWALK.	LANDSCAPING REQUIREMENTS IN DENNY TRIANGLE URBAN VILLAGE (23.49.056.F.I)	ALL NEW DEVELOPMENT IN DMC ZONES IN THE DENNY TRIANGLE URBAN VILLAGE, SHALL PROVIDE LANDSCAPING IN THE SIDEWALK AREA OF THE STREET RIGHT-OF-WAY. THE SQUARE FOOTAGE OF LANDSCAPED AREA PROVIDED SHALL BE AT LEAST 1.5 TIMES THE LENGTH OF THE STREET LOT LINE (IN LINEAR FEET).
	LENORA STREET'S REQUIREMENTS ARE VARIABLE.		
STREET LEVEL USE REQUIREMENTS (MAP IG)	NONE REQUIRED		
VIEW CORRIDORS (MAP ID)	N/A	TOWER FLOOR AREA LIMITS (23.49.058, TABLE B)	10,700 SF AVERAGE MAXIMUM FLOOR PLATE SIZE FOR A TOWER THAT EXCEEDS THE BASE HEIGHT LIMIT. 11,500 SF MAXIMUM FLOOR PLATE SIZE FOR ANY STORY
PROPERTY LINE FACADE (MAP 1H)	N/A		
HEIGHT (23.49.008)	440' ALLOWED IF UTILIZING BONUS AVAILABLE UNDER SECTION 23.49.015 40' ADDITIONAL HEIGHT ALLOWED FOR STRUCTURES LOCATED IN DMC 240/290-440 OR 340/290-440 WHICH MAY EXCEED THE MAXIMUM HEIGHT	UPPER LEVEL SETBACKS (23.49.058.E.2)	IF A LOT IN A DMC OR DOC2 ZONE IS LOCATED ON A DESIGNATED GREEN STREET THAT IS NOT A DESIGNATED VIEW CORRIDOR REQUIRING VIEW CORRIDOR SETBACKS ACCORDING TO SECTION 23.49.024, AS SHOWN ON MAP ID, VIEW CORRIDORS, A CONTINUOUS UPPER-LEVEL SETBACK OF 15 FEET, MEASURED FROM THE ABUTTING GREEN STREET LOT LINE, IS REQUIRED FOR PORTIONS OF THE STRUCTURE ABOVE A HEIGHT OF 45 FEET.
	LIMIT FOR RESIDENTIAL USE BY 10% OF THAT LIMIT IF  1. THE FACADES OF THE PORTION OF THE BUILDING EXCEEDING THE HEIGHT LIMIT DO NOT ENCLOSE AN AREA EXCEEDING 9,000 SF.		
	COMMON RECREATION AREA ALLOWED UP TO 15' ABOVE THE MAX, AS LONG AS THE COMBINED COVERAGE OF ALL ROOFTOP FEATURES DOES NOT EXCEED 55% OF THE ROOF AREA FOR STRUCTURES THAT ARE	MIN. STREET FAÇADE HEIGHT REQUIREMENT (23.49.056.A.I)	LENORA STREET 25' (GREEN STREET); BOREN AVENUE 15' (CLASS II PEDESTRIAN)
COMMON RECREATION AREA (23.49.010.B)	AN AREA EQUIVALENT TO 5% OF THE TOTAL GFA IN RESIDENTIAL USE, EXCLUDING ANY FLOOR AREA IN RESIDENTIAL USE GAINED IN A PROJECT THROUGH A VOLUNTARY AGREEMENT FOR HOUSING. 50% MAX. MAY BE ENCLOSED. 15' HORIZONTAL MIN. DIMENSION, EXCEPT LANDSCAPE SETBACKS AT 10' MIN.  ABUTTING GREEN STREETS, UP TO 50 % OF THE COMMON RECREATION AREA REQUIREMENT MAY BE MET BY CONTRIBUTING TO THE DEVELOPMENT OF A GREEN STREET.	FAÇADE TRANSPARENCIES (23.49.056 C.4)	LENORA STREET: 50% MIN. OF STREET LEVEL-FACING (GREEN STREET) - STREET SLOPE EXCEEDS 7.5%
			BOREN AVENUE: 30% MIN. OF STREET LEVEL-FACING (CLASS II PEDESTRIAN)
		BLANK FAÇADE LIMITS (23.49.056 D.2 / 3)	BOREN AVENUE: CLASS II PEDESTRIAN: 30' MAX. EXCEPT FOR GARAGE DOORS (GARAGE DRIVEWAY + 5') OR 60' MAX. W/ DIRECTOR DECISION, OR 70% IF STREET FRONTAGE EXCEEDS 7.5% STREET SLOPE
			LENORA STREET: BETWEEN 4'-8', 15' MAX SEGMENT (OR UP TO 30' W/ DIRECTOR DECISION) NOT TO EXCEED 40% OF FAÇADE INCLUDING
FLOOR AREA RATIO (23.49.011)	BASE = 5, $MAX = 8$ WITH BONUSES	GREEN STREET SETBACK (23.49.058.E.2)	GARAGE DOORS (GAŔAGE DOORS MAY BE DRIVEWÂY + 5')
	RESIDENTIAL USE IS FAR EXEMPT		LENORA STREET: CONTINUOUS UPPER-LEVEL SETBACK OF 15 FEET, IS
OVERHEAD WEATHER PROTECTION (23.49.018)	CONTINUOUS OVERHEAD WEATHER PROTECTION REQUIRED ON ALL STREET FACADES WITHIN 5' OF PROPERTY LINE, 8' MINIMUM DEPTH		REQUIRED FOR PORTIONS OF THE STRUCTURE ABOVE A HEIGHT OF 45 FEET.
ROOFTOP FEATURES COVERAGE	55% IF ALL MECHANICAL EQUIPMENT IS SCREENED AND NO ROOFTOP FEATURES ARE LOCATED CLOSER THEN 10 FEET TO THE ROOF EDGE.	ALLEY IMPROVEMENT (23.53.030.F.I)	MIN. ALLEY WIDTH OF 20'. CURRENT ALLEY IS 16'. 1/2 THE DIFFERENCE REQUIRED AS DEDICATION = 2'-0"

# ADDITIONAL PROJECT VIEWS





# ADDITIONAL PROJECT VIEWS



# ADDITIONAL PROJECT VIEWS





