

**YESLER TERRACE
BLOCK 5 | BLDG B**

EAST DESIGN REVIEW BOARD

DESIGN RECOMMENDATION MEETING

1020 S MAIN ST | PROJECT #3028954

11.14.2018

YESLER TERRACE 1020



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PROJECT INFORMATION

Project Data & Goals **04**

EDG GUIDANCE & RESPONSE SUMMARY

EDG Guidance & Response Overview **06**

EDG Response Massing Overview Diagram **07**

ITEMIZED EDG RESPONSE

1. Massing, Height, Bulk, and Scale **08**

2. Streetscapes, Frontage Edges, and Entries **14**

3. Water Management **21**

4. History of the Site **22**

5. Vehicular Access **24**

6. Materials, Character, and Appearance **27**

LIGHTING & SIGNAGE

Signage **29**

Lighting **30**

Details **32**

LANDSCAPE

Landscape Concepts **34**

DEPARTURES

Departure #1 **43**

Departure #2 **45**

Departure #3 **46**

Departure #4 **48**

APPENDIX

Complete EDG Responses **50**

Concept **52**

Zoning Summary **54**

Survey Map **56**

Development Data **57**

City Context & Transit **58**

Surrounding Uses **59**

Solar Analysis **60**

Floor plans **61**

Elevations **72**

Renderings **76**

PROJECT INFORMATION - BLOCK 5/ BUILDING B

PROJECT DATA

PROJECT ADDRESS:

1020 S MAIN ST

SDCI PROJECT #:

3028954 - BUILDING B

RELATED PROJECT #: 3026743 - BUILDING A

For the purpose of this packet, Phase II will be referred to as Building B. Building A & B are completely independent. Construction, parking levels, residential levels, amenities, mechanical and utilities will not be shared between the two buildings.

OWNER :

SEATTLE TENTH, LLC

ARCHITECT:

ANKROM MOISAN ARCHITECTS

LANDSCAPE ARCHITECT:

SITE WORKSHOP

215 UNITS APPROX.

110 PARKING STALLS APPROX.

In 2006, the Seattle Housing Authority initiated the redevelopment of Yesler Terrace following four guiding principles established by a Citizen Review Committee: Social Equity, Economic Opportunity, Environmental Stewardship and Sustainability, and One-for-One Replacement Housing. With Yesler Terrace, SHA and the City of Seattle intend to build a model community that emphasizes increased density and economic diversity.

New streetscapes, bike and pedestrian paths, hill climbs and parks are key features of the new plan. Street adjustments include the removal of Spruce Street and the creation of Fir Street west of Broadway. The new master plan includes replacement low-income housing, market rate housing and neighborhood improvements.



SITE CONDITION:

CHANGE IN HEIGHT FROM
HIGHEST TO LOWEST POINT OF
THE SITE =

49'-0"

AVERAGE SLOPE OF SITE =

OVER 8%



1. PROVIDE MARKET RATE AND AFFORDABLE HOUSING FOR THE YESLER TERRACE NEIGHBORHOOD

The proposed development seeks to provide new market rate & affordable housing units in two phased buildings. The project design goals are closely aligned with the objectives of the Yesler Terrace Master Planned Community Design Guidelines. Our goal is to provide a diverse range of housing options that respond to the unique topography of the site, provide spaces that cultivate community engagement, and reinforce the existing urban framework.



2. CREATE AN INVITING RESIDENTIAL SCALE

The Yesler Terrace Master Plan includes up to 4,500 new residential units. One of the top design priorities is to provide a distinctly residential scale and character to the new development. Beyond the required zoning setbacks, inviting residential scale is created with the inclusion of stoops, patios, additional setbacks, height variation, building modulation, balconies, extensive planting, pedestrian-sensitive street design, and minimizing vehicular impact on site.



3. HONOR THE UNIQUE HISTORY OF THE YESLER TERRACE COMMUNITY WITH A NOD TO THE FUTURE

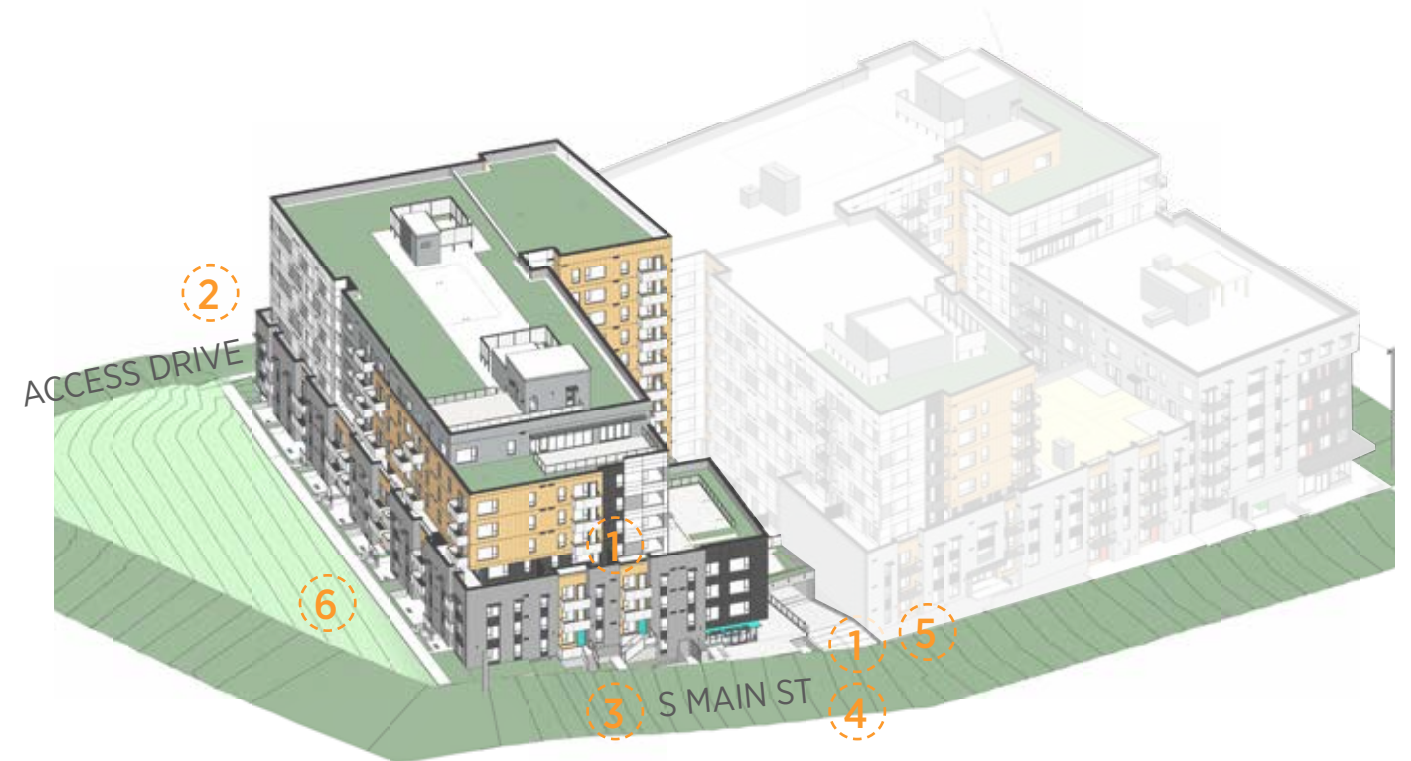
Yesler Terrace was Washington’s first public housing community and the first racially integrated public housing development in the United States. We firmly believe the diversity of people, languages, cultures, and religions enhance and enliven the future of the site. The success of the planned development is contingent on the continued diversity of cultural perspectives and identities. We seek to create spaces that celebrate and support both individual expression and community engagement.

| GUIDANCE THEME | BOARD GUIDANCE | DESIGN RESPONSE | APPLICABLE DESIGN GUIDELINES |
|--|--|--|---|
| 1. MASSING OPTIONS, HEIGHT, BULK AND SCALE | <ul style="list-style-type: none"> a. Board supported 3-story upper volume and notch b. Board approved of entry dark material c. Board strongly supported deep balconies d. Board strongly approved of direct connection between courtyard and street e. Board supported the departure for a reduced setback area along the access drive MUP: Brick massing at SW corner revision | <ul style="list-style-type: none"> 3-story upper volume maintained Dark material and lobby entry maintained Deep balconies maintained Courtyard level maintained | <ul style="list-style-type: none"> CS2 Urban Pattern and Form PL2 Walkability PL3 Street Level Interaction DC2 Architectural Concept |
| 2. STREETScape, FRONTAGE, EDGES AND ENTRIES | <ul style="list-style-type: none"> a. Board supported the relationship to grade at the courtyard b. Board supported residential frontage facing the Pocket Park and supported the departure request for slightly below grade stoops c. Board strongly supported the “stoop walk” and maximizing residential entries | <ul style="list-style-type: none"> Courtyard level maintained Pocket Park residential frontage maintained “Stoop Walk” along access drive is maintained, residential entries maximized | <ul style="list-style-type: none"> CS2 Urban Pattern and Form CS3 Architectural Context and Character PL1 Connectivity PL2 Walkability PL3 Street Level Interaction DC1 Project Uses and Activities |
| 3. WATER MANAGEMENT | <ul style="list-style-type: none"> Board supported the proposed bio-retention planters and has the potential to create visual interest | <ul style="list-style-type: none"> Bioretention provided adds visual interest near sidewalk area | <ul style="list-style-type: none"> CS1 Natural Systems and Site Features |
| 4. HISTORY OF THE SITE | <ul style="list-style-type: none"> Board approved of the intent to work with the community and a local artist for the mural | <ul style="list-style-type: none"> Working with local artists and Urban Artworks on the mural design, community room and gate focusing on the main mission of this building (3) Community outreach meetings have taken place | <ul style="list-style-type: none"> PL1 Connectivity CS3 Historical/ Cultural References |
| 5. VEHICULAR ACCESS | <ul style="list-style-type: none"> Board agreed the courtyard and mural placement cleverly conceals the proposed vehicular access | <ul style="list-style-type: none"> All parking is below-grade Unique landscaping added to surround visible parking entry Sight triangle, mirrors and landscaping provided near parking entries | <ul style="list-style-type: none"> DC1 Project Uses and Activities |
| 6. MATERIALS, ARCHITECTURAL CHARACTER AND APPEARANCE | <ul style="list-style-type: none"> Board approved of the high quality materials, in particular the masonry and the horizontal/vertical textures a. Board approved of design intent and indicated cladding with a thicker panel depth would be acceptable b. Board was concerned with the detailing of the vertical wood-look fiber cement panel c. Board acknowledged amount of masonry at base, slight deviation from Yesler Terrace Design Guidelines at access drive corner acceptable d. Board supported the intent to clad the two phases with the same materials and distinguishing the two structures through detailing, scale of materials and window proportions | <ul style="list-style-type: none"> High-quality materials provided All street-level facades provide 70%+ high-quality materials Wood-look material revised to horizontal orientation Same materials will not touch between buildings A & B to avoid time-gap issue | <ul style="list-style-type: none"> DC2 Architectural Concept DC4 Exterior Elements and Finishes |

EDG PREFERRED MASSING - BOARD SUPPORTED



DRB REVISED MASSING



1 MASSING OPTIONS, HEIGHT, BULK AND SCALE

- 3-story upper volume maintained
- Dark material and lobby entry maintained
- Deep balconies maintained
- Courtyard level maintained

2 STREETScape, FRONTAGE, EDGES AND ENTRIES

- Courtyard level maintained
- Pocket Park residential frontage maintained
- "Stoop Walk" along access drive is maintained, residential entries maximized

3 WATER MANAGEMENT

BIORETENTION PROVIDED ADDS VISUAL INTEREST NEAR SIDEWALK AREA

4 HISTORY OF THE SITE

- Working with local artists and Urban Artworks on the mural design, community room and gate focusing on the main mission of this building
- (3) Community outreach meetings have taken place

5 VEHICULAR ACCESS

- All parking is below-grade
- Unique landscaping added to surround visible parking entry
- Sight triangle, mirrors and landscaping provided near parking entries

6 MATERIALS, ARCHITECTURAL CHARACTER AND APPEARANCE

- High-quality materials provided
- All street-level facades provide 70%+ high-quality materials
- Wood-look material revised to horizontal orientation
- Same materials will not touch between buildings A & B to avoid time-gap issue

1. MASSING HEIGHT BULK AND SCALE

BOARD GUIDANCE:

a. The Board supported the proportion of the 3-story upper volume and the translation of the horizontal to vertical notch as shown in the packet on page 15, as the design breaks up the bulk and scale of the frontage and logically defines the corner.

b. Related to the notch, the Board also approved of the dark material treatment which highlights the main entry and reinforces a cohesive design.

c. The Board strongly supported the proposed deep balconies as they create shadows and depth along the facades.

MUP: The podium massing (facing the pocket park) has been bifurcated at the corners. The previous design reviewed by the Board effectively addressed the height, bulk and scale and established a better massing proportion. Revert back to the previous design or provide additional alternates.

RESPONSE:

The 3-story upper volume remains and is further delineated by adding a 6" setback to the surrounding upper massing on the West facade. The dark horizontal/vertical notch has also been set back 6" since EDG from the adjacent white mass. The deep balconies have been maintained along the park. The playful composition of the balconies at the 3-story wood mass creates rhythm across that facade.

SW Corner Brick massing: A MUP comment was received regarding the revised brick at the SW corner. The brick spacing was revised to allow for a greater distribution of the unit entries along the pocket park and to reduce the overwhelming brick massing at the corner.

RELEVANT GUIDELINES:

CS2 Urban Pattern and Form:

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

PL3 Street Level Interaction

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

DC2 Architectural Concept:

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

EDG 2 DESIGN



WEST ELEVATION



SW CORNER



1. MASSING HEIGHT BULK AND SCALE

BOARD GUIDANCE:

d. The Board strongly approved of the direct connection between the courtyard and the street which provides large scale modulation along S Main St and diminishes the appearance of one long building when considered with Phase 1 (Building A). The Board also supported the thoughtful development of the courtyard including the overall proportion, function and arrangement of surrounding uses.

e. Related to massing, the Board indicated early support for the requested departure for a reduced setback area along the access drive, as the encroachment establishes a singular vertical break which better differentiates the two phases and breaks up the bulk and scale of the frontage.

RESPONSE:

The courtyard configuration and modulation along S Main St has been maintained since EDG. The main lobby entry remains at grade with the sidewalk. The setback departure supported by The Board allows for the courtyard to open up the building massing.

The Board approved of the dark material at the lobby massing, this has been maintained. Although Building B is not at a gateway location, in response to Recommendation meeting comments for Bldg A the blue accent color has been incorporated at the primary entry as a signifier of 'Entrance.'

Option 1 incorporates the blue accent color at the entry canopy and in-grade LED light strips. The incorporation of blue is kept simple to allow for the mural and community courtyard artwork to be the more prominent language in the space. Option 2 adds the blue accent color in a pattern on the black facade. Option 3 maintains the original design with no accent color.

RELEVANT GUIDELINES:

CS2 Urban Pattern and Form:

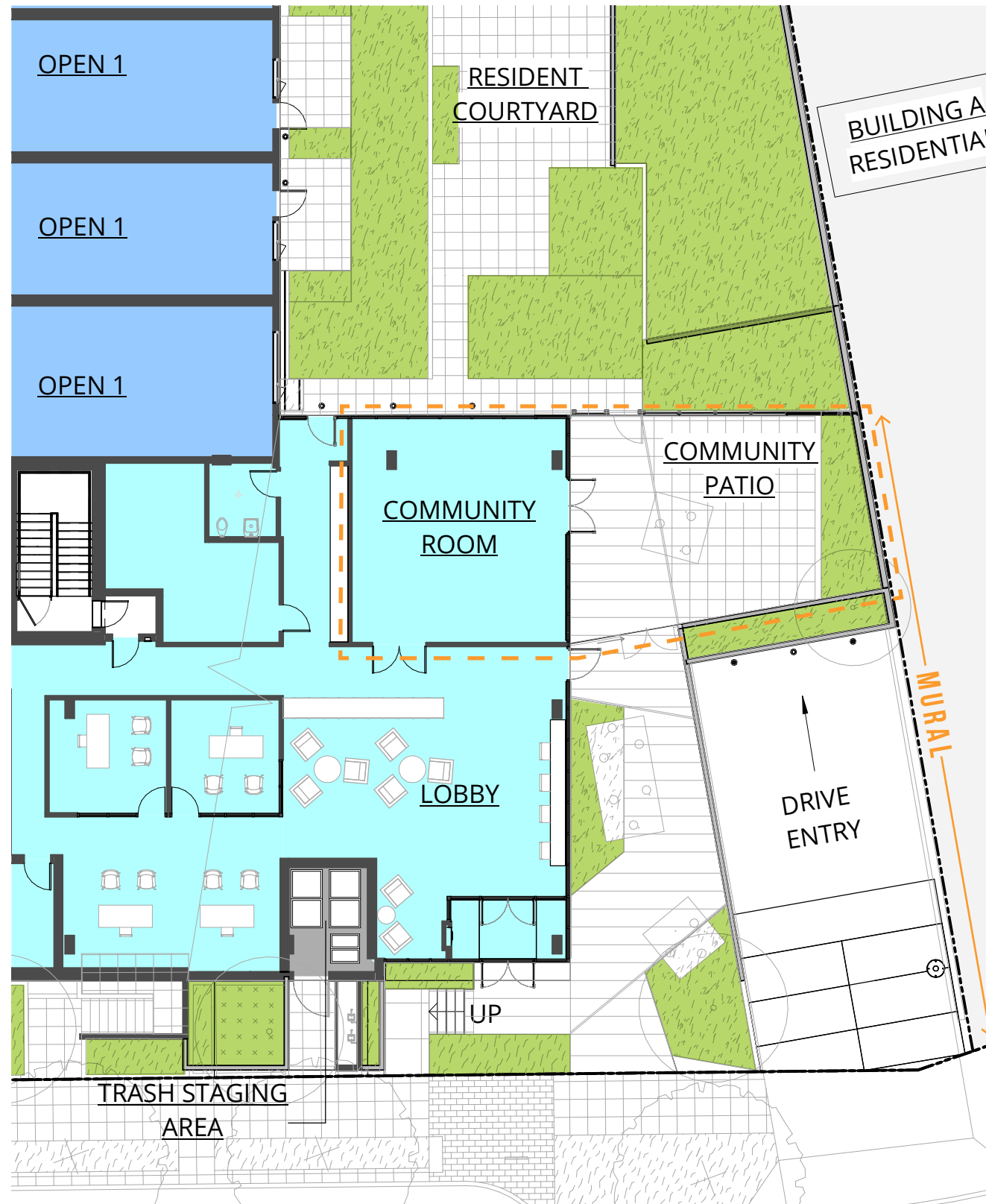
Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

PL3 Street Level Interaction

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

DC2 Architectural Concept:

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.



LEVEL 1 COURTYARD PLAN

*Note: Design exploration of interior space planning of lobby not complete, active uses to be maintained along exterior glazing.

WAVE BENCH CONCEPT



LED LIGHT CONCEPT





WEST COURTYARD



1. MASSING HEIGHT BULK AND SCALE



TEAL ACCENTS ON BLACK FACADE @ LOBBY



NO TEAL ACCENTS @ LOBBY

WEST COURTYARD





SOUTH ELEVATION



2. STREETSCAPES, FRONTAGE EDGES, AND ENTRIES

BOARD GUIDANCE:

a. Related to the lobby along S Main St, the Board supported the proposed relationship to grade and the courtyard as well as the inclusion of a community room.

b. The Board supported the revised residential frontage facing the pocket park as the refined entry sequence creates a front door experience for the individual units and thoughtfully transitions to the pocket park. The Board initially supported the related departure request as the slightly below grade frontage is mitigated with the proposed series of stepped panthers and stoops.

RESPONSE:

The lobby courtyard relationship to the grade and the community room design have been maintained since EDG.

The residential frontage facing the pocket park with 8 park facing entries have been maintained and further dispersed since EDG. Each patio entrance is separated from the park through several layers of privacy.

RELEVANT GUIDELINES:

CS2-B2 Connection to the Street

Identify opportunities for the project to make a strong connection to the street and public realm.

PL1-B Walkways and Connections

Connect on-site pedestrian walkways with existing public and private pedestrian connections within and outside the project.

PL2-B3 Street Level Transparency

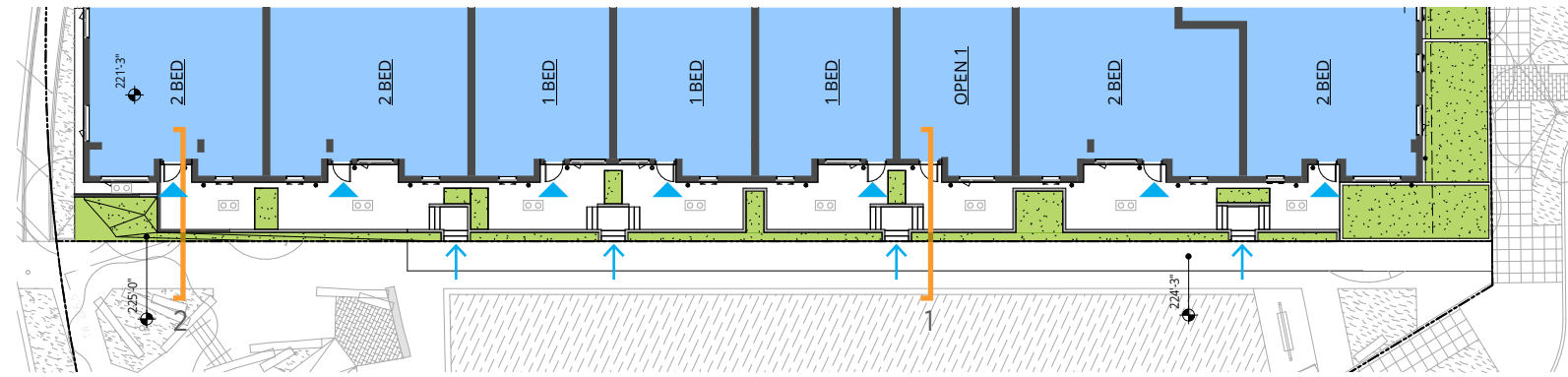
Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.

PL3-C Retail Edges

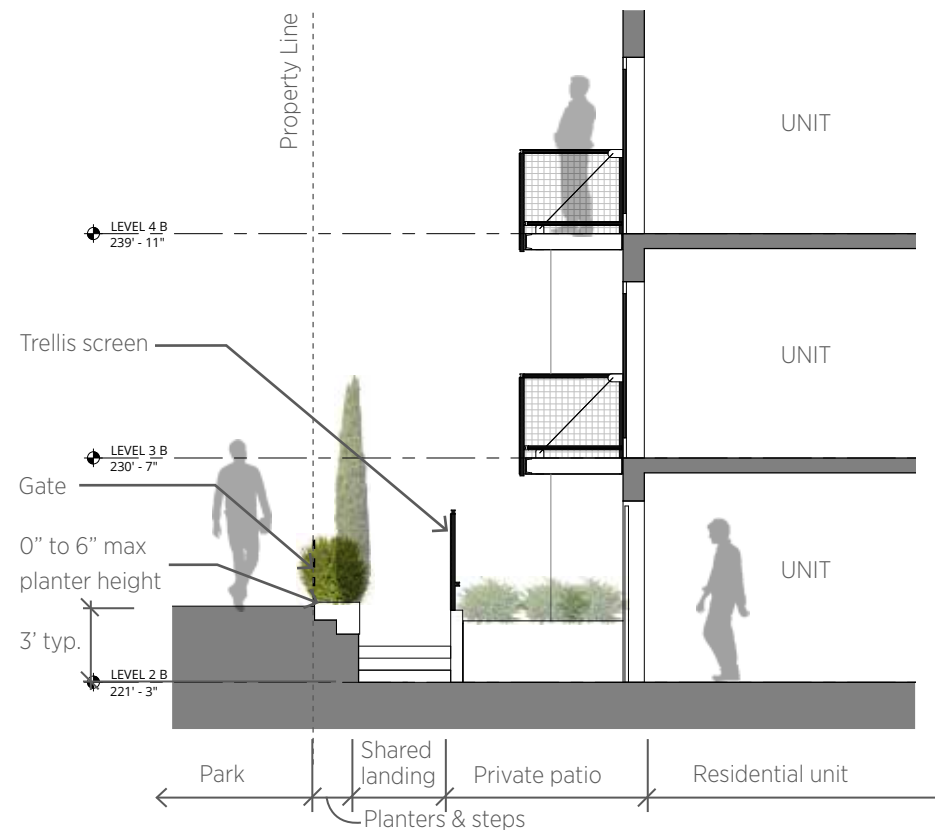
Engage passersby with opportunities to interact visually with the building interior using glazing and transparency. Create multiple entries where possible and make a physical and visual connection between people on the sidewalk and retail activities in the building.

DC1-A Arrangement of Interior Uses

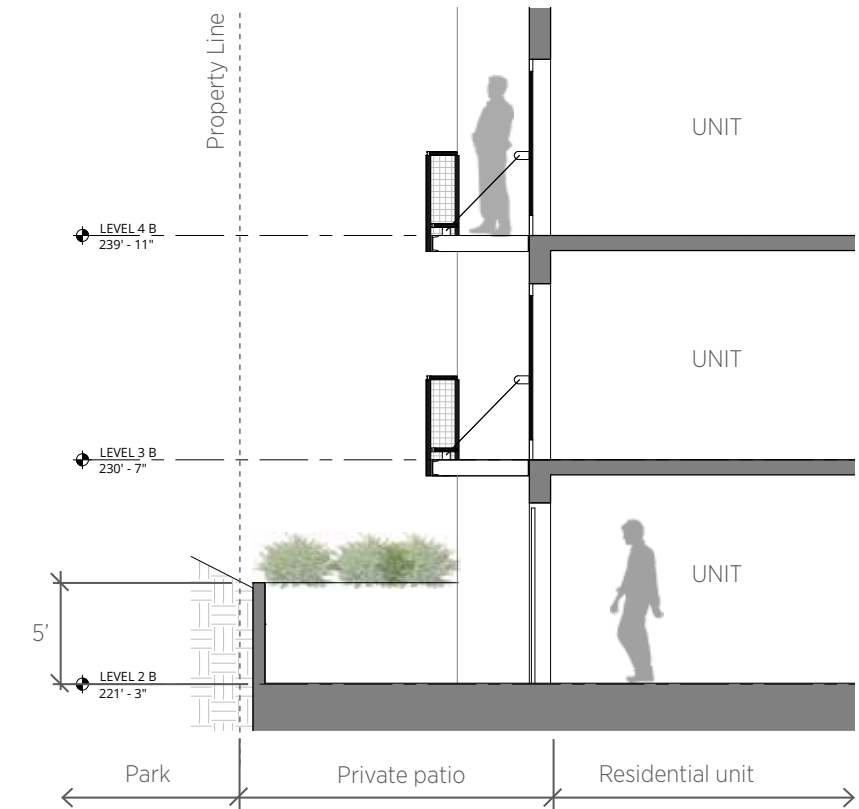
Locate uses and services frequently used by the public in visible or prominent areas, such as at entries or along the street front.



ENLARGED PLAN @ POCKET PARK

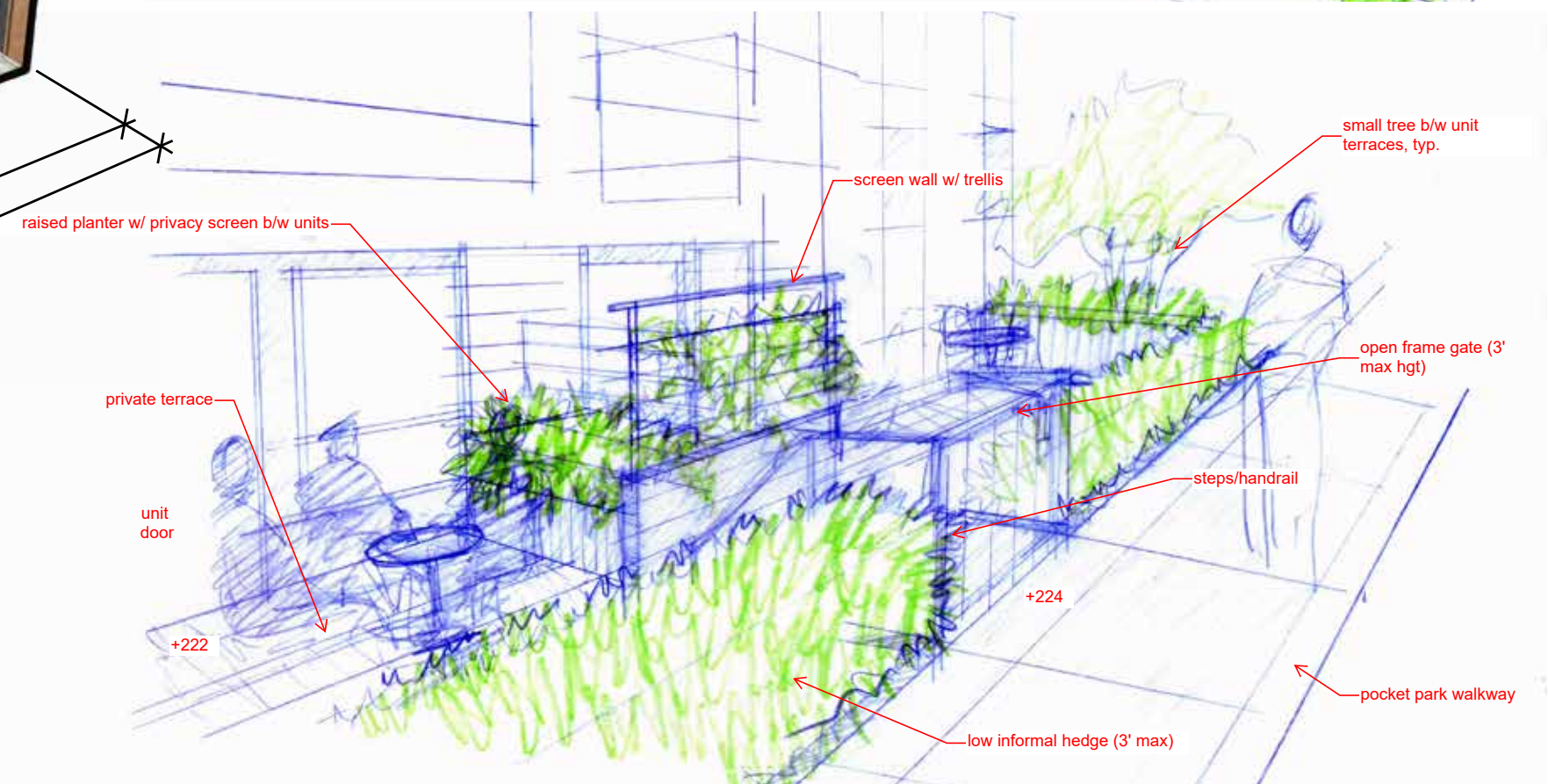


1 TYPICAL POCKET PARK PATIO SECTION



2 NW POCKET PARK UNIT PATIO SECTION (NO DIRECT PARK ACCESS)

2. STREETSCAPES, FRONTAGE EDGES, AND ENTRIES

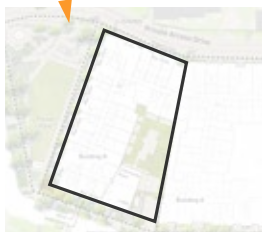


Note: Images on this page concept only. Materials per elevations and renderings.

2. STREETSCAPES, FRONTAGE EDGES, AND ENTRIES



POCKET PARK





WEST ELEVATION



2. STREETSCAPES, FRONTAGE EDGES, AND ENTRIES

BOARD GUIDANCE:

c. For the access drive frontage, the Board strongly supported the proposed alternate with direct entries and shared circulation space, referred to as the “stoop walk.” The Board agreed the design appropriately incorporates CPTED principles, which recommended “eyes on the street” and maximizing the number of ground-related residential entries, addresses safety concerns and better meets the intent of the access drive to function as a woonerf.

RESPONSE:

As discussed in EDG 2, the “stoop walk” has been maintained along the Access Drive at Building B. The residential entries along the stoop walk have been maximized with an additional 2 entries added, totalling at 5 entries spread across the Building B Access Drive frontage. This brings the total number of entries in both buildings along the Access Drive to 12. There will be several points of pedestrian access onto the stoop walk based on the topography.

The stepping walkway mitigates the slope and is accessible by the public. Artwork will continue to be incorporated at the planters along the access drive, per the Building A final Recommendation meeting.

RELEVANT GUIDELINES:

CS2-B2 Connection to the Street

Identify opportunities for the project to make a strong connection to the street and public realm.

PL1-B Walkways and Connections

Connect on-site pedestrian walkways with existing public and private pedestrian connections within and outside the project.

PL2-B3 Street Level Transparency

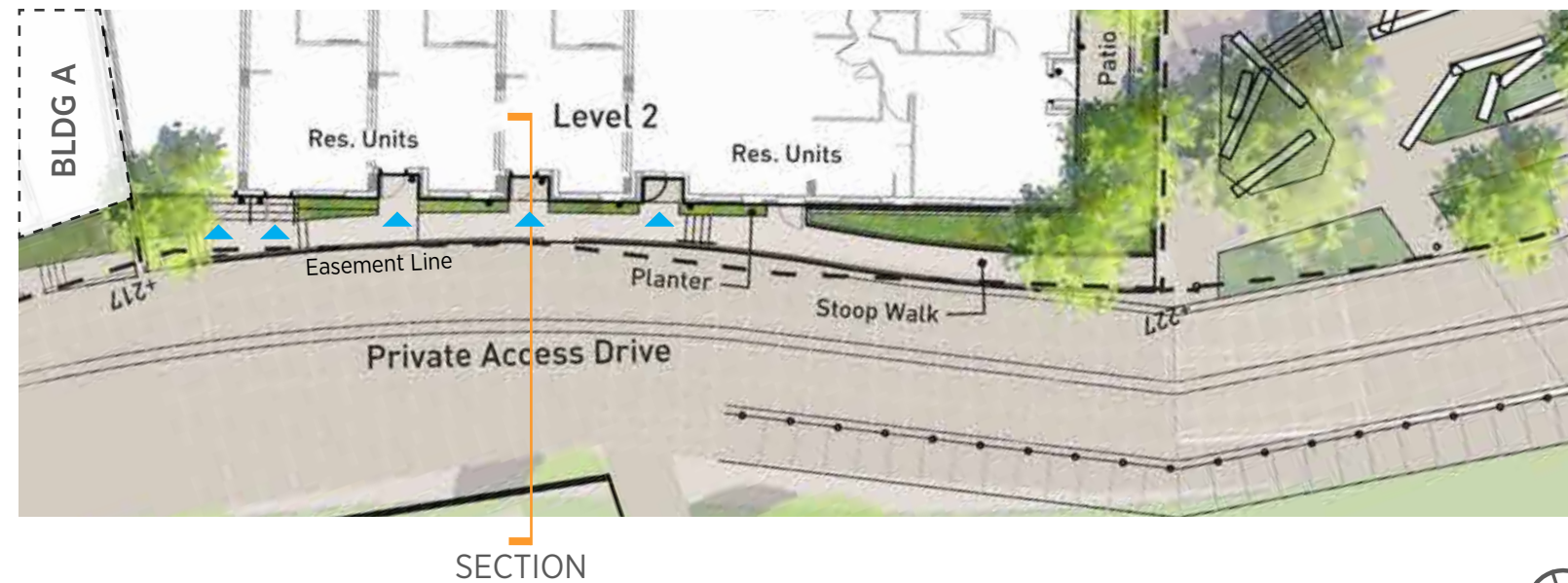
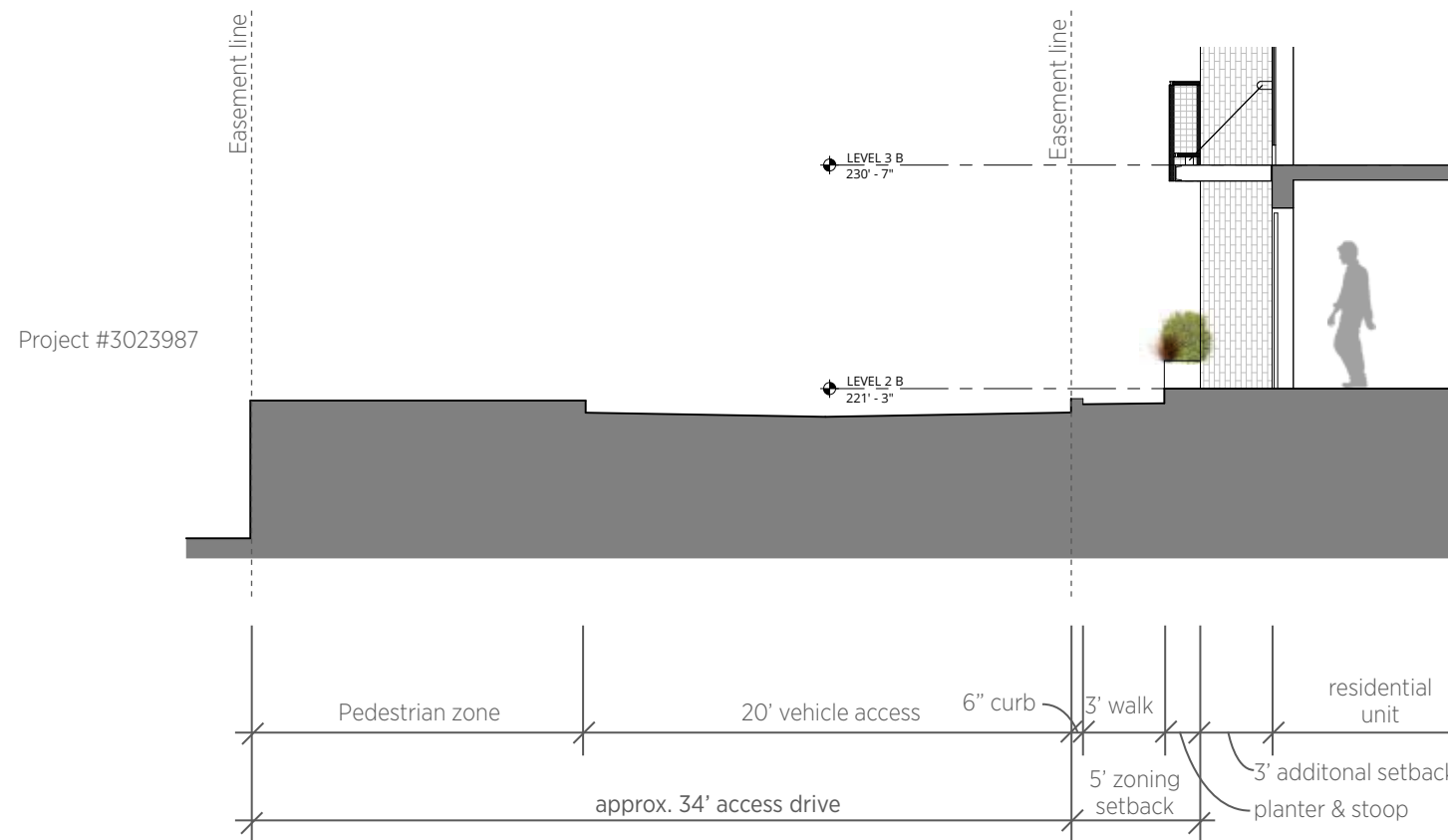
Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.

PL3-C Retail Edges

Engage passersby with opportunities to interact visually with the building interior using glazing and transparency. Create multiple entries where possible and make a physical and visual connection between people on the sidewalk and retail activities in the building.

DC1-A Arrangement of Interior Uses

Locate uses and services frequently used by the public in visible or prominent areas, such as at entries or along the street front.



PLANTER ART CONCEPT



STOOP WALK CONCEPT IMAGE



2. STREETSCAPES, FRONTAGE EDGES, AND ENTRIES



STOOP WALK



3. WATER MANAGEMENT



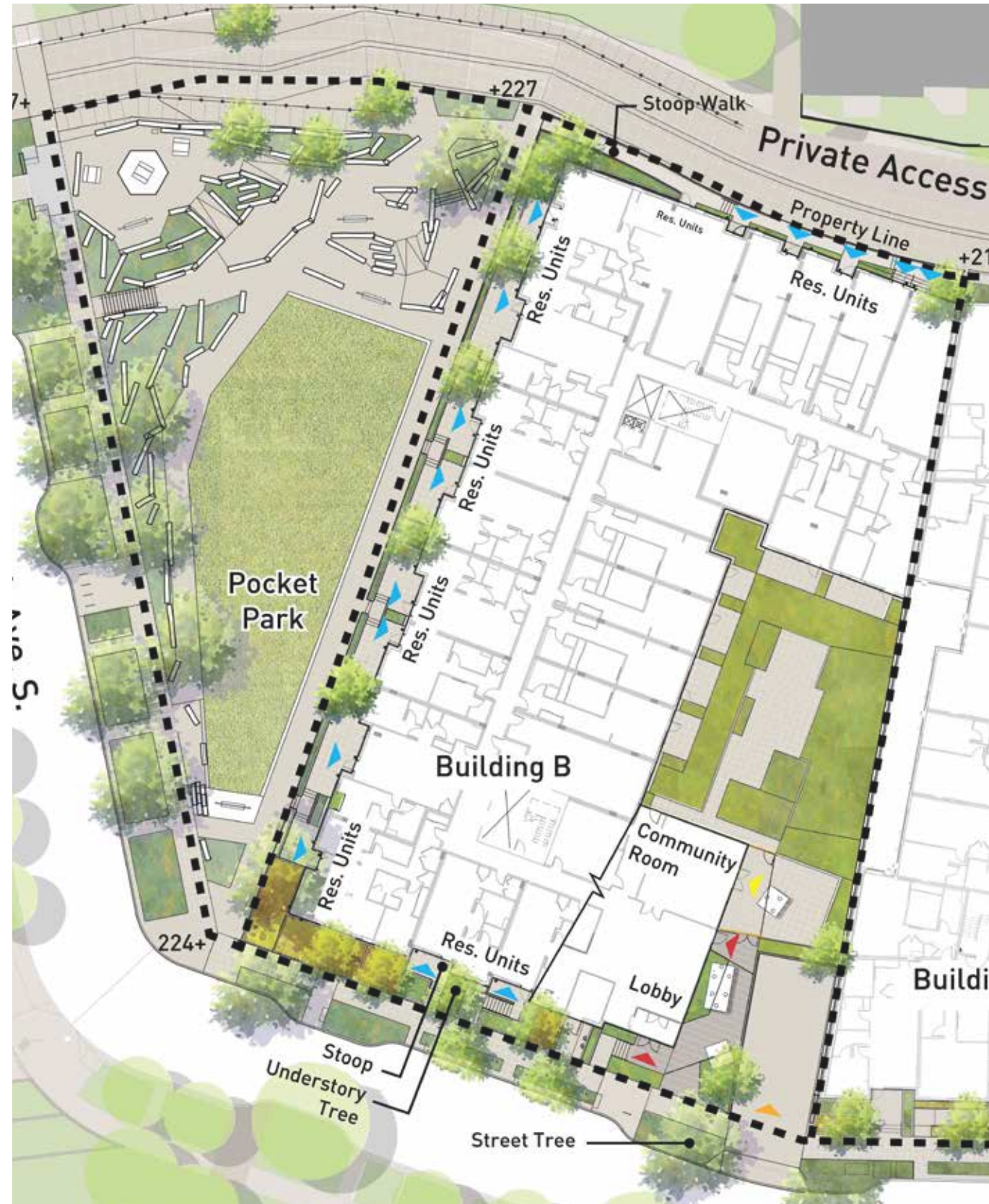
ON-GRADE PLANTER



CIP CONC. PLANTER WALL



CIP CONC. PLANTER WALL



BOARD GUIDANCE:

The Board supported the proposed bio-retention and stormwater planters near the S Main St sidewalk as the design takes advantage of the site topography and has the potential to create visual interest for the pedestrian.

RESPONSE:

This concept both addresses stormwater management in environmentally responsible ways and creates expressive landscape that celebrates stormwater. Bioretention planters along S Main Street are repositioned and realigned to foster a greater public interest and enjoyment in a cascading form. Planters are allowed to step with site grade and continue under Lobby stair to allow moments of curiosity and varied perspectives.

Runnel/weir elements transport stormwater away from the building into bioretention planters. Runnels' layout compliments building edges and plant realignment.

RELEVANT GUIDELINES:

CS1-E Water

1. Natural Water Features:
If the site includes any natural water features, consider ways to incorporate them into project design, where feasible.
2. Adding Interest with Project Drainage:
Use project drainage systems as opportunities to add interest to the site through water-related design elements. Features such as trees, rain gardens, bioswales, green roofs, fountains of recycled water, and/or water art installations can create movement and sound, air cooling, focal points for pedestrians, and habitats which may already be required to manage on-site stormwater and allow reuse of potable water for irrigation.

4. HISTORY OF THE SITE

BOARD GUIDANCE:

The Board approved of the addition of a mural and the intent to work directly with the community and a local artist for the art development to address the history and diversity of the site.

RESPONSE:

Three community outreach meetings to various groups have been completed since the last EDG meeting. The design team has received feedback and inputs from the local neighborhood groups.

A mural/ artwork will be proposed on the west wall of Building A. This will be a collaborative work between the design team and three local artists. The mural will be painted by Urban Artworks. The theme will combine the historical and cultural reference of Yesler Terrace and be cohesive with the mission of the building:

- Create a deep sense of home within a highly desirable building.
- Be part of a neighborhood transformation and the cornerstone between Yesler Terrace and the rest of the city.
- Provide a vibrant platform for inspiration, growth and stability.

In the revised design @ EDG2 of Building B a community room and an outdoor terrace are proposed next to the mural. Both of the spaces will be open to the public, with the community room for rental use at office hours. A facing mural will be incorporated into the Building B community room.

Comments from the Building A Final Recommendation have been incorporated into the lobby design for Building B. The accent color denoting 'entry' has been added at the lobby in two optional levels of incorporation: 1) Canopy and Paver design 2) Canopy, Paver and Facade pattern design.

RELEVANT GUIDELINES:

PL1 Connectivity

Adding to Public Life: Seek opportunities to foster human interaction through an increase in the size and/or quality of project-related open space available for public life.

CS3-B-1 Placemaking:

Explore the history of the site and neighborhood as a potential placing-making opportunity. Look for historical and cultural significance, using neighborhood groups and archives as a resources.

CS3-B-2 Historical / Cultural References:

Throughout the site, reference the history and unique cultural mix of Yesler Terrace.



- ① MURAL/ ARTWORK
- ② COMMUNITY ROOM
- ③ GATED OUTDOOR TERRACE



4. HISTORY OF THE SITE



YESLER TERRACE COMMUNITY
COUNCIL PRESENTATION
1.9.2018

COMMUNITY OUTREACH MEETINGS

*Three community outreach meetings to various groups
have been completed since the last EDG meeting.*



SEATTLE CHINATOWN
INTERNATIONAL DISTRICT
PRESERVATION AND DEVELOPMENT
AUTHORITY PRESENTATION
(SCIDpda)
1.25.2018

- Open House
- Design discussions/explanations



YESLER TERRACE CITIZEN REVIEW
COMMITTEE PRESENTATION
5.10.2018

- Complementary of design
- Discussed Yesler Terrace standard
site furnishings
- Security - CPTED Principles

5. VEHICULAR ACCESS

BOARD GUIDANCE:

The Board agreed the location of the courtyard open space and the placement of the mural cleverly conceals the proposed vehicular access and parking function.

RESPONSE:

All parking structures are below grade. The mural wall is proposed next to the Building B parking entry for aesthetic. There will be landscaping over the vehicle entry and the site triangle at vehicle exit will be maintained to provide a visually interesting and safe environment. The location of the vehicle entry allows for a greater visual opening of the interior courtyard.

RELEVANT GUIDELINES:

DC1-B Vehicular Access and Circulation

Emphasize use of the sidewalk for pedestrians, and create safe and attractive conditions for pedestrians, bicyclists, and drivers.

DC1-C

Locate parking below grade wherever possible. Reduce the visual impacts of parking lots, parking structures, entrances, and related signs and equipment as much as possible.



DRIVE ENTRY ALONG MAIN ST

- High visibility of pedestrians for safety
- Street level residential entry to the West for eyes on the street
- Landscape screening above vehicle entry
- Larger visual connection into interior courtyard



GARAGE DOOR MATERIAL



10' X 10' Sight triangle provided on the exit side of garage entry for pedestrians' safety.

APPROACH:

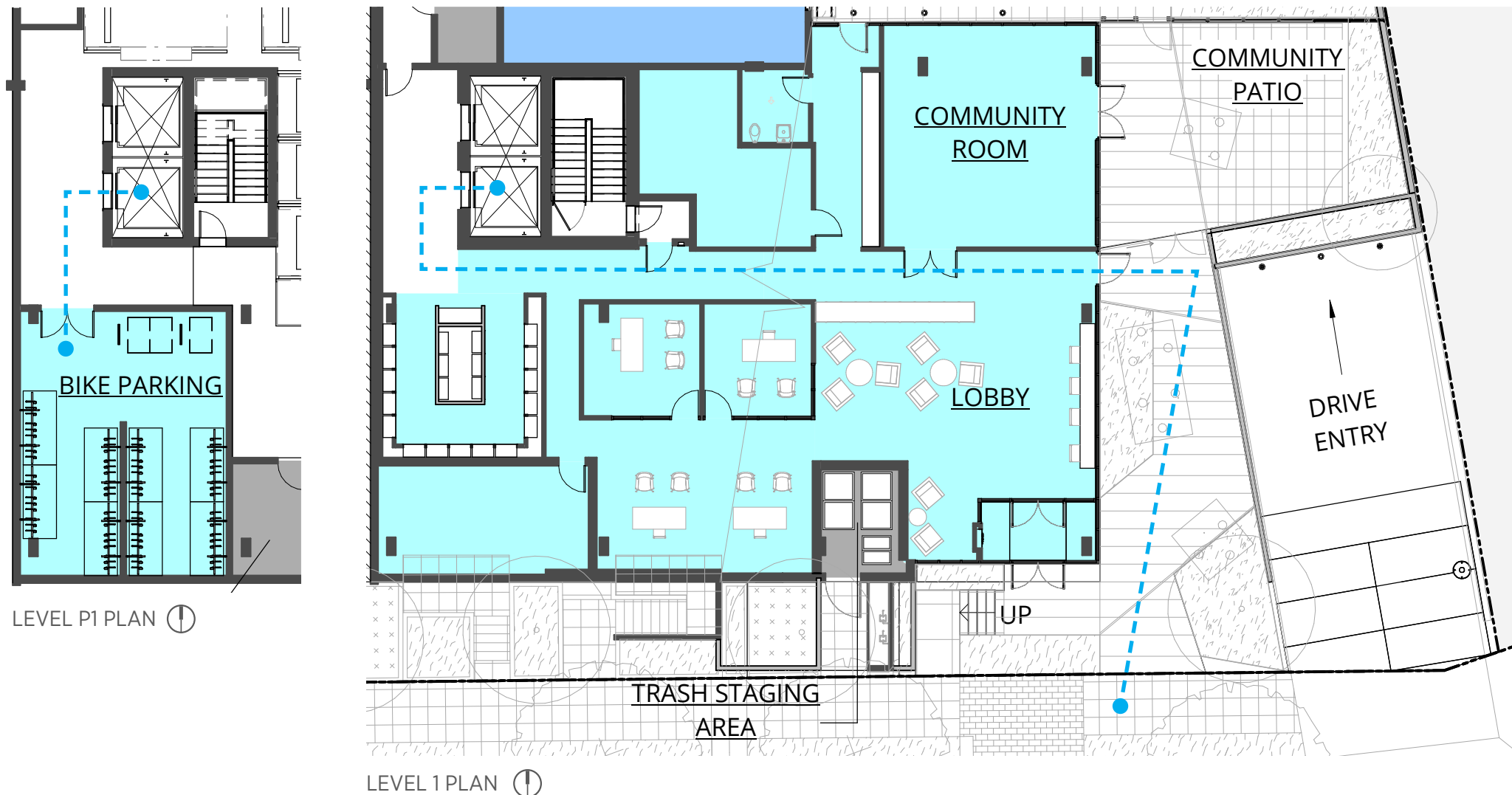
We are providing bicycle parking beyond what is required per code. The storage room is located on level P1 as shown on the diagram in this page. The most convenient access to this level can only occur along S. Main Street., through the lobby and down the elevator.

We have considered a direct and separate access to the elevator from the street, however due to the steep slope along S. Main Street as you move west, this direct access is impossible to achieve without making a cyclist's transport a bike down a set of stairs before one can reach the grade of the lobby level.

RELEVANT GUIDELINES:

PL4-B-2 Bike Facilities

Facilities such as bike racks and storage, bike share stations, shower facilities and lockers for bicyclists should be located to maximize convenience, security, and safety.



● - - - ● BIKE PARKING ROUTE

TRASH STAGING

APPROACH:

During the Design Review Recommendation of Building A, the Board recommended that the outdoor trash staging area be relocated internally to avoid staging at the street and/or provide greater screening along the street. We have continued this approach to Building B but unfortunately the grades are much steep at B limits our possible locations.

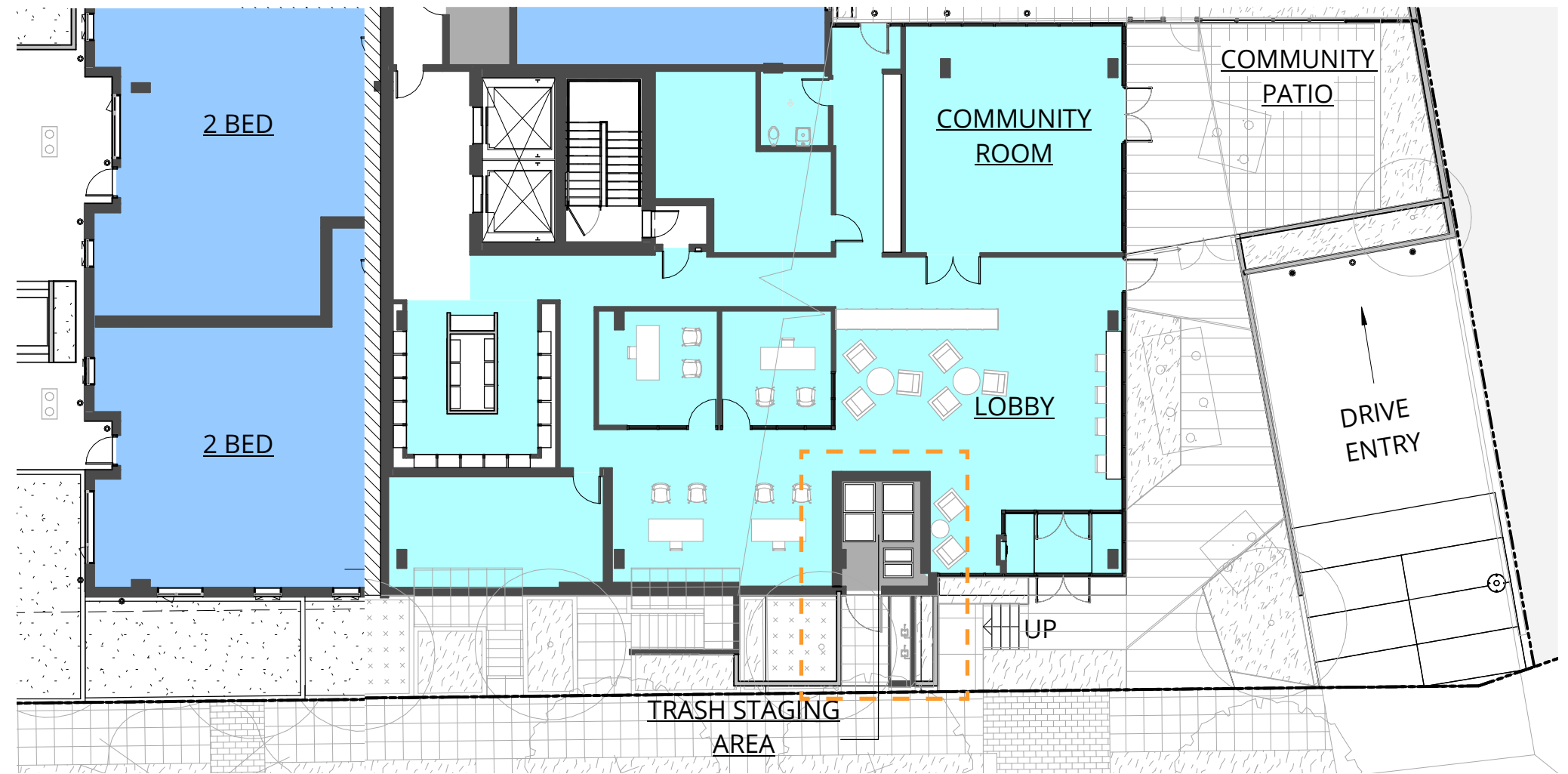
Building B takes a similar approach to Building A where the trash staging area is located next to the residential lobby. In Building B, it is tucked away discreetly between a planter and a pocket wall for the screened gas meter.

Other locations were considered but found impractical. Along S. Main Street next to the residential units is not feasible because of steeper grades and proximity to the Pocket Park. Aesthetically, it would reduce glazing and eyes on the street, breaking the massing of the building at this corner.

RELEVANT GUIDELINES:

DC1-4 Service Uses

Locate and design service entries, loading docks, and trash receptacles away from pedestrian areas or to a less visible portion of the site to reduce possible impacts of these facilities on building aesthetics and pedestrian circulation.



LEVEL 1 COURTYARD PLAN ①

BOARD GUIDANCE:

The Board supported the high quality materials proposed, in particular the masonry and the combination horizontal and vertical texture to provide an additional layer of detail.

a. Although the Board approved of the design intent, the Board observed the large amount of fiber cement proposed and noted the range of quality between fiber cement panel products. The Board indicated cladding that would be acceptable that includes a thicker panel depth and potentially integral color. The Board agreed samples were needed to determine if the wood-look fiber cement panel would qualify as a higher quality material, consistent with the Yesler Terrace Design Guidelines and requested photographs of built precedents.

b. The Board was concerned with the detailing of the wood-look fiber cement panel in the vertical orientation.

c. The Board acknowledged the amount of masonry proposed along the base and agreed that a slight deviation from the Yesler Terrace Design Guidelines related to materials would be acceptable for the corner volume along the access drive.

RESPONSE:

Buildings A and B maintain a coherent design. Each building is unique by itself but belongs to the same family. This will be achieved by applying similar/same materials but with different details, different proportion/scale of materials, patterns, accent colors, brick modules etc. Facades and materials of Buildings A/B will be designed holistically so that they are interconnected, yet unique. Like materials will no longer be touching between Buildings A/B, minimizing the material time-gap issue. Although this site is not located along *build-to line* or *reduced setback area* standard facades and not required to provide preferred materials at all heights of facades, all street-level facades in Building B maintain 70%+ preferred materials.

The following high-quality materials will be provided for both Building A and Building B:

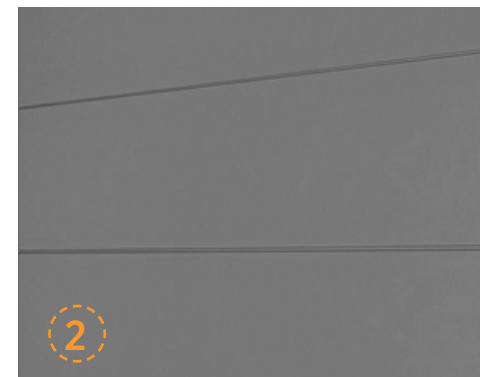
- Masonry
- Woodtone Fiber Cement Lap Siding
- 5/8" Painted Fiber Cement Shiplap
- 7/16" Painted Fiber Cement Panel
- High-transparency Storefront
- Vinyl windows
- Accent colors

A physical materials board will be provided at Recommendation Meeting.

BUILDING B MATERIALS



WOODTONE FIBER CEMENT LAP SIDING - ASPEN RIDGE



FIBER CEMENT SHIPLAP - P3



BRICK - 'PLATINUM' VERTICAL COURSING



RAILING - BLACK METAL MESH



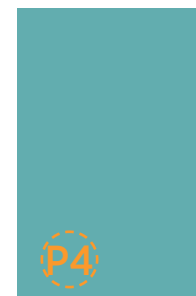
FIBER CEMENT



FIBER CEMENT



SHIPLAP



ACCENT COLOR



BLACK OUTSIDE CORNER TRIM @ WOODTONE



BLACK METAL/STOREFRONT



VINYL WINDOW - BLACK



VINYL WINDOW - WHITE

6. MATERIALS, ARCHITECTURAL CHARACTER, AND APPEARANCE



WOODTONE PRODUCT USED AT THE ELEANOR APARTMENTS, RAVENNA

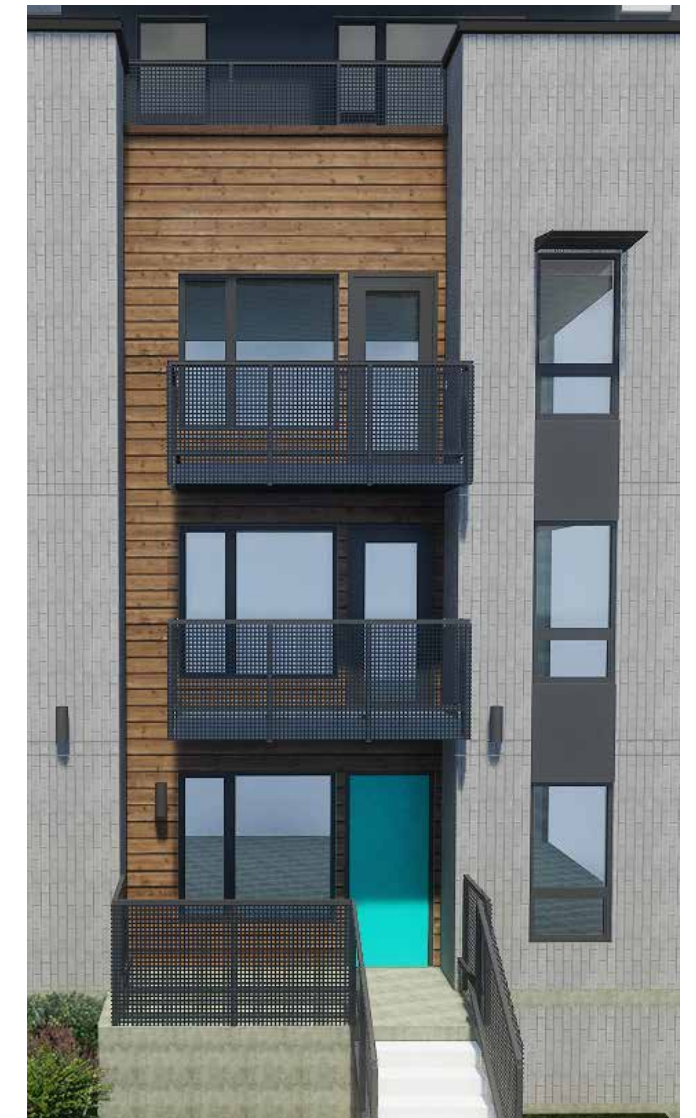
BOARD GUIDANCE:

d. The Board also supported the intent to clad the two phases with the same materials and distinguishing the two structures through different detailing, scale of materials and window proportions.

'SIMILAR BUT DIFFERENT'



BUILDING A MATERIAL SCHEME



BUILDING B MATERIAL SCHEME



1 RESIDENTIAL SIGNAGE ABOVE CANOPY

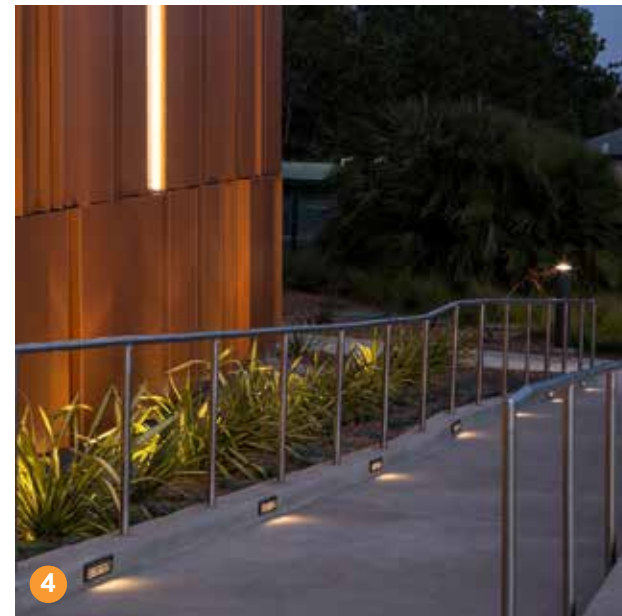
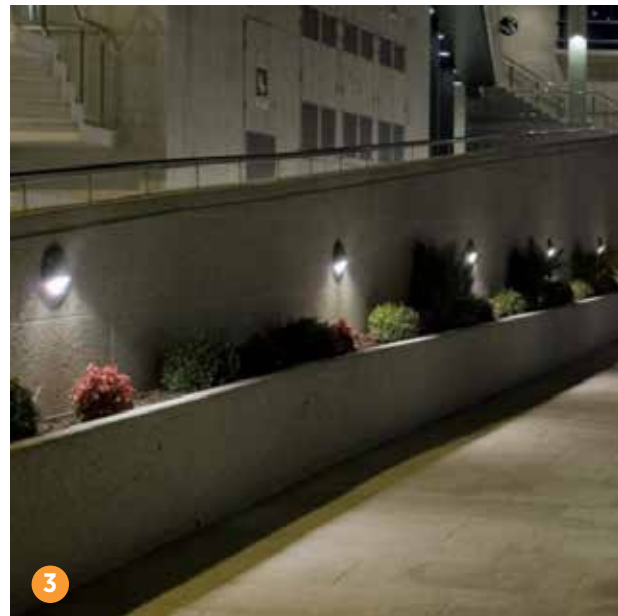


MAIN ST - BUILDING SIGNAGE LOCATION OPTIONS



GROUND LEVEL LIGHTING PLAN

- 1 CYLINDER WALL SCONCE
- 2 CANOPY LIGHTING AT LOBBY
- 3 TYPICAL STEP/WALL LIGHTS
- 4 STEP/WALL LIGHTS AT STOOP WALK
- 5 LED STRIP LIGHT AT LOBBY



DETAILS

A black metal architectural trim will be used at all outside corners of the wood texture material. By using black, the wood boxes are defined and complementary to the black vinyl windows.

RELEVANT GUIDELINES:

DC2-B Architectural and Facade Composition

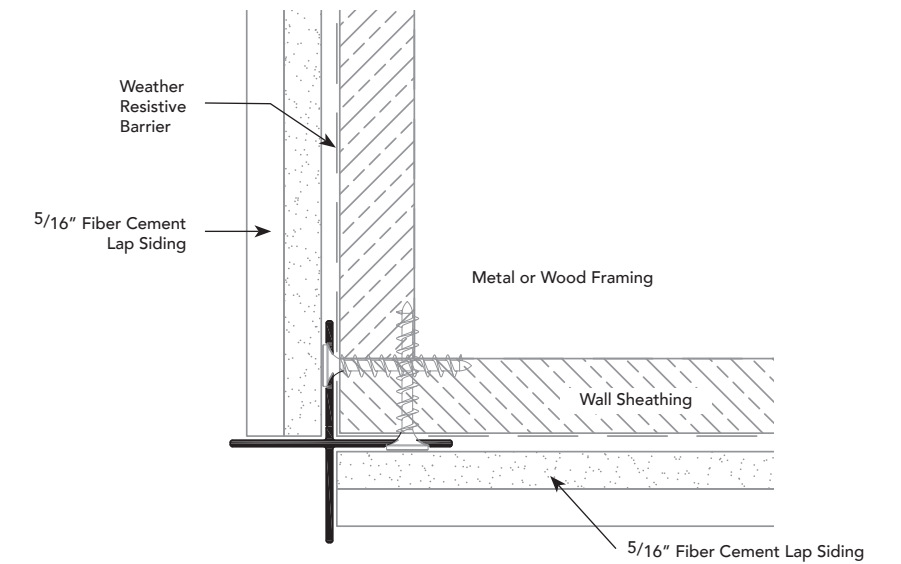
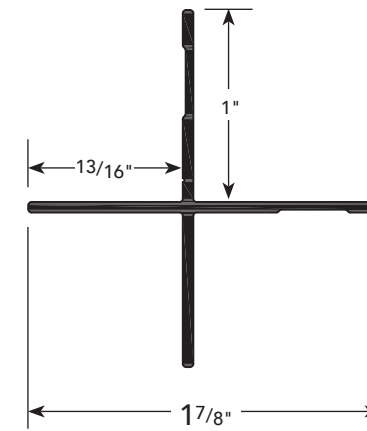
Design all building facades - including alleys and visible roofs - considering the composition and architectural expression of the building as a whole. Ensure that all facades are attractive and well-proportioned.

DC2-D Scale and Texture

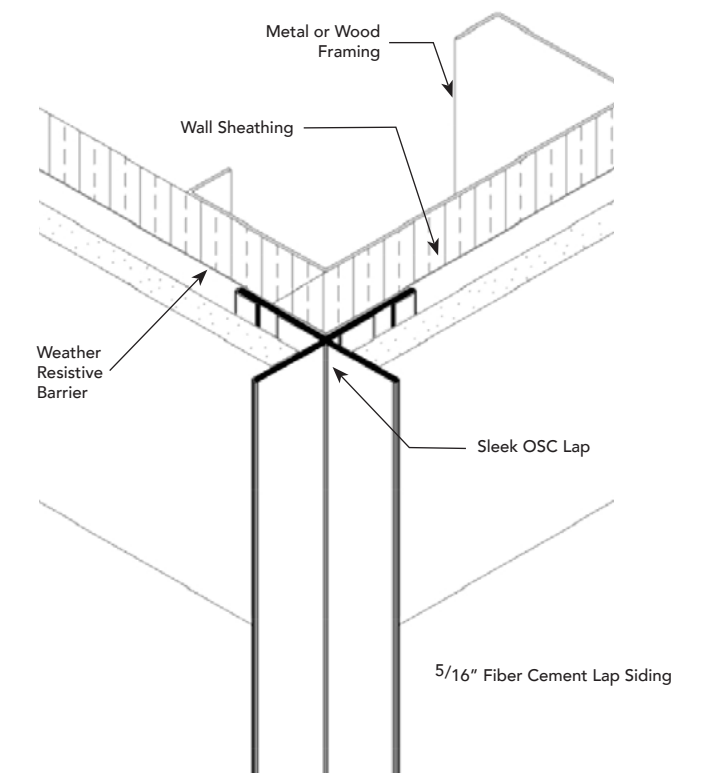
Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept.

DC4-A Exterior Elements and Finishes

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.



INSTALLATION DETAIL / ISO View



An effort has been made to move all possible vents off the front facing brick facades. The vents used in all facades will be high-quality flush vents. These are reflected in the renderings and as shown in the precedent images.

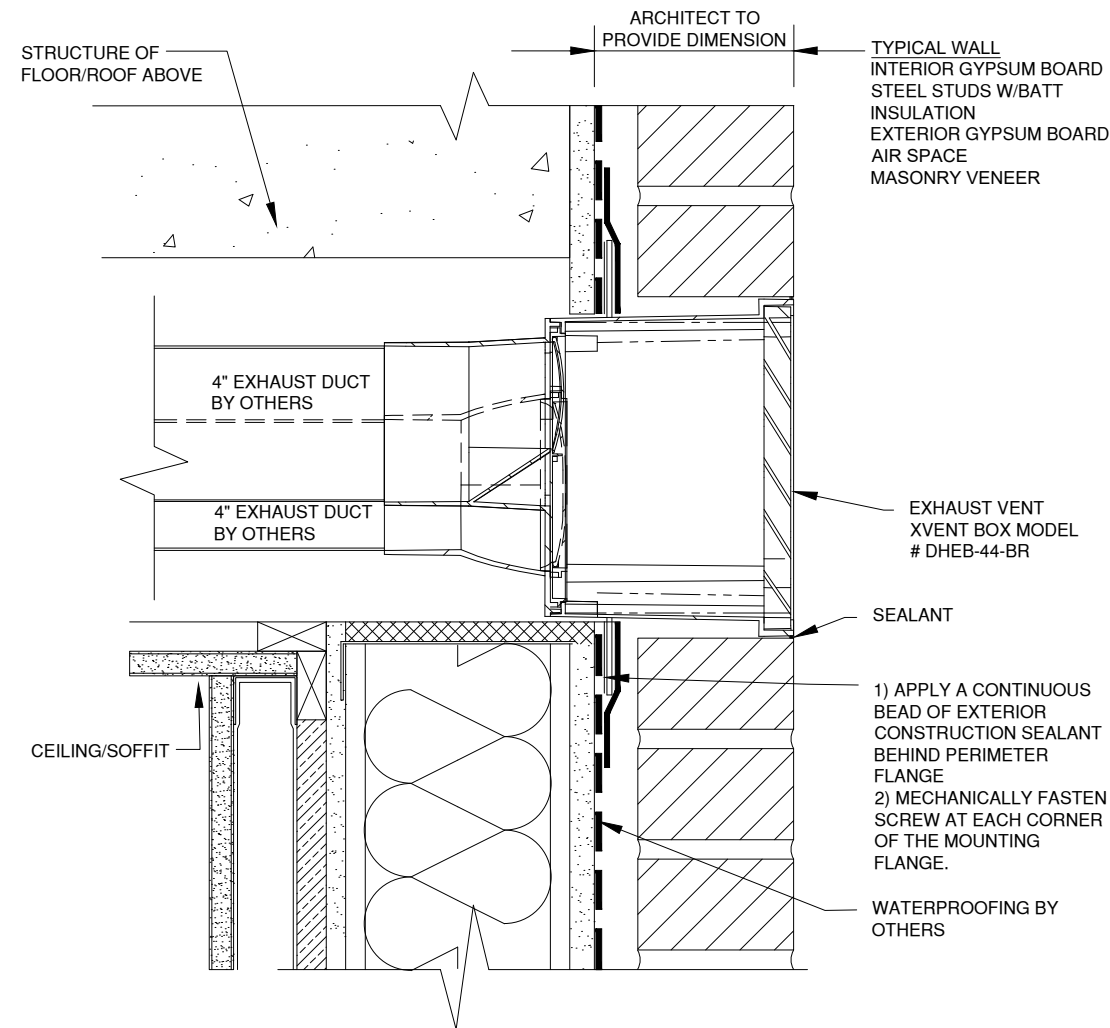
RELEVANT GUIDELINES:

DC2 Architectural Concept

Develop an architectural concept that will result in a functional and harmonious design.

DC4-A Exterior Elements and Finishes

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.











FLUSH VENT AT ALL FACADES

PRECEDENT IMAGERY



STREETSCAPE SITE PLAN




- Legend**
-  Sidewalk Paving: Standard CIP concrete pavement, no color, 2x2 saw cut scoring
 -  Pedestal Paving
 -  Understory Planting
 -  Bioretention Planting
 -  Lobby Entry
 -  Residential Entry
 -  Garage Entry
 -  Community Room Entry



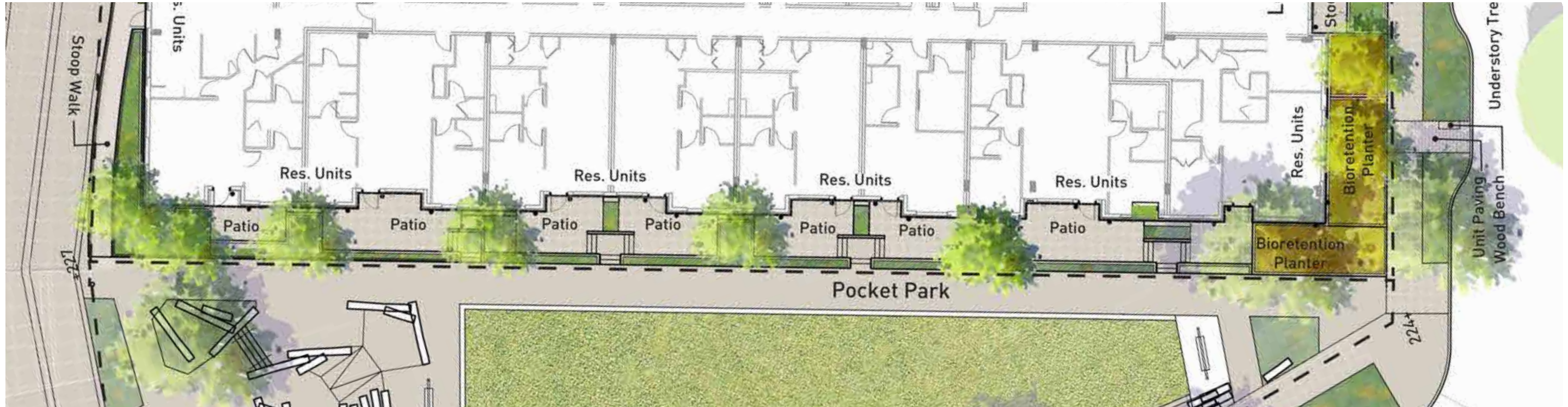
S MAIN ST ENLARGEMENT PLAN





Legend

-  Sidewalk Paving:
Standard CIP concrete
pavement, no color, 2x2 saw
cut scoring
-  Understory Planting
-  Bioretention Planting

POCKET PARK ENLARGEMENT PLAN





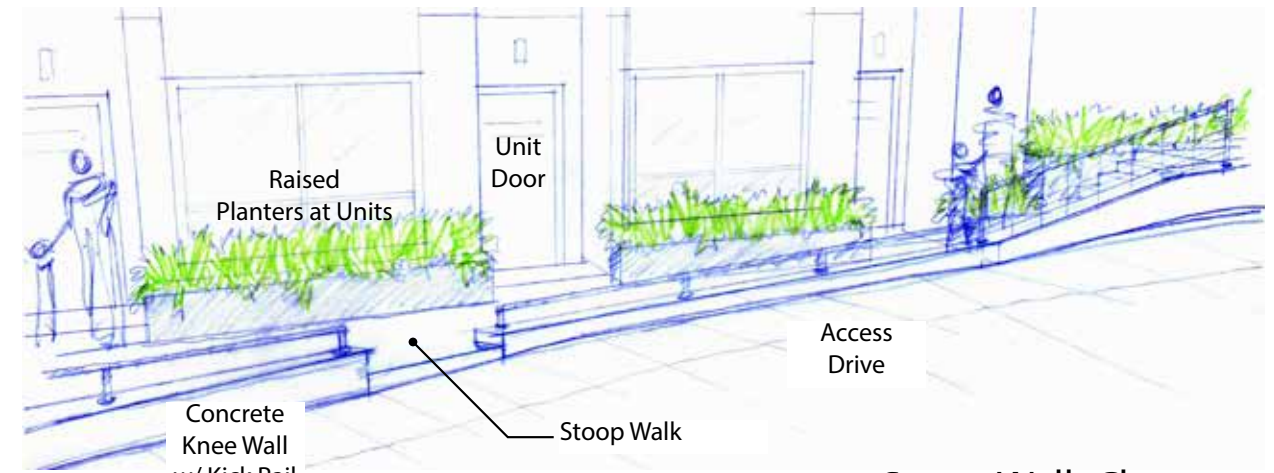
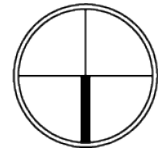
Legend

-  Sidewalk Paving:
Standard CIP concrete
pavement, no color, 2x2 saw
cut scoring
-  Understory Planting

PRIVATE ACCESS DRIVE ENLARGEMENT PLAN

Legend

-  Sidewalk Paving: Standard CIP concrete pavement, no color, 2x2 saw cut scoring
-  Understory Planting



Stoop Walk Character

STREETSCAPE MATERIALS

MATERIALS



Sidewalk Paving



Planter Wall



Bioretention Planter Wall



Bike Racks



Wood Bench



Seat Wall + Wood Bench

PROPOSED STREET TREES



Quercus rubra
(S Main St.)
Red Oak

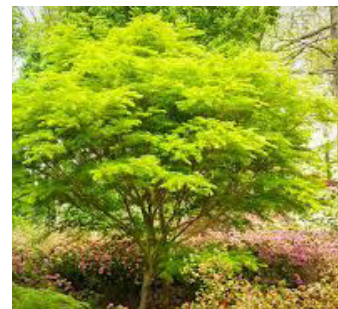


Nyssa sylvatica
(S Main St.)
Black Tupelo



Gymnocladus dioicus
(12th Ave S)
Kentucky coffeetree

PROPOSED UNDERSTORY TREES



Acer circinatum
Vine Maple

UNDERSTORY PLANT MIX



Vaccinium glauco-album
Himalayan Huckleberry



Blechnum penna-marina
Alpine Water Fern



Allium sp.
Allium



Sesleria autumnalis
Autumn Moor Grass

BIORETENTION PLANT MIX



Pachysandra axillaris
Windcliff Fragrant Pachysandra



Spiraea japonica 'Little Princess'
Japanese Spirea



Polystichum polyblepharum
Tassel Fern



Epimedium grandiflorum
Bishop's Hat

STREETSCAPE MATERIALS



CONCRETE PLANTER




METAL PLANTER



STOOP ENTRY

TERRACE AND ROOFDECK PLAN

Legend

-  Pedestal Paving
-  Raised Planter
-  Green Roof



TERRACE AND ROOFDECK MATERIALS

MATERIALS



PEDESTAL PAVING



DECORATIVE COBBLE



RAISED PLANTERS

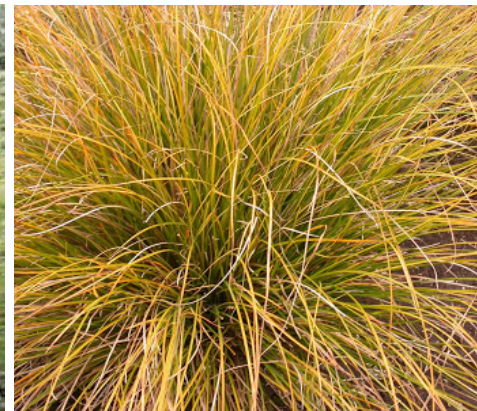


METAL EDGING

PLANTS



Poa cita
Silver Tussock



Carex dipsacea
Autumn Sedge



Allium sp.
Allium



Sedum spp.
Green Roof Sedum Mix

DEPARTURES SUMMARY

| DEPARTURE # | REQUIREMENT | REQUEST | APPLICABLE DESIGN GUIDELINES |
|-------------|---|---|---|
| 1 | <p>SMC 23.75.140.A and J.1</p> <p>For residential uses in structures subject to required setbacks from a street or a park open to the public, bay windows and other portions of structures containing enclosed space may project a maximum of 4 feet into required setbacks, provided that the projection does not exceed 30 feet in width, and provided that no portion of the projection is closer than 2 feet from the boundary. Portions of structures allowed to project into required setbacks under this subsection 23.75.140.J.1 shall be separated by a minimum of one-half the width of the wider of the two projections.</p> | <ul style="list-style-type: none"> Extend the maximum projection into the required setback from 4 ft. to 10 ft. Extend the projection width to exceed the 30 ft. requirement. The above requests apply only to the upper levels (4) at the North facade of Phase 2 building facing the Access Drive. | <p>PL2 Safety & Security - Eyes on the street</p> <p>PL3 Residential Frontage</p> <p>DC3 Building-Open Space relationship</p> |
| 2 | <p>SMC 23.75.170.C.1</p> <p>The floor level at the doorway providing access from the dwelling unit to the amenity area shall not be lower than finished grade at the closest point of the closest boundary.</p> | <p>Provide entries of dwelling units below grade. Proposed height difference = 3 ft. typical below grade. The planters, steps and shared landings create a nice transition from public to private uses.</p> | <p>PL2 Walkability</p> <p>PL3 Street-level interaction - Frontage</p> <p>DC2 Human Scale</p> |
| 3 | <p>SMC 23.75.180.I.1.b</p> <p>Access is not allowed within 20 feet of a structure corner that includes a regulated facade on one or both sides.</p> | <p>Locate the access drive closer than 20 feet of the regulated facade on Building A as presented to the board at EDG 2.</p> | <p>CS3 Architectural Context & Character</p> <p>PL1 Open Space Connectivity</p> <p>PL2 Walkability</p> <p>PL3 Street-Level Interaction</p> <p>DC2 Architectural Concept</p> <p>DC3 Building - Open Space Relationship</p> |
| 4 | <p>23.75.140.J.9.b</p> <p>Above-grade green stormwater infrastructure (GSI) features are allowed without setback restrictions if: b. Each above-grade GSI feature is less than 4 feet wide.</p> | <p>Provide GSI features that are 6' wide within the setback.</p> | <p>CS1 Natural Systems and Site Features</p> |

DEPARTURE 1 - STRUCTURES IN REQUIRED SETBACK (BOARD SUPPORTED)



REQUIREMENT:

SMC 23.75.140.J.1
 For residential uses in structures subject to required setbacks from a street or a park open to the public, bay windows and other portions of structures containing enclosed space may project a maximum of 4 feet into required setbacks, provided that the projection does not exceed 30 feet in width, and provided that no portion of the projection is closer than 2 feet from the boundary. Portions of structures allowed to project into required setbacks under this subsection 23.75.140.J.1 shall be separated by a minimum of one-half the width of the wider of the two projections.

REQUEST:

- Extend the maximum projection into the required setback from 4 ft. to 10 ft.
- Extend the projection width to exceed the 30 ft. requirement.
- The above requests apply only to the upper levels (4) at the North facade of Phase 2 building facing the Access Drive.

JUSTIFICATION & RELEVANT GUIDELINES:

The extended projection allows the upper levels of the Building B massing to align with the face of the podium below and creates a “grounding the tower” expression per the design board’s recommendation. The vertical “tower” expression breaks up the long facades at the podium and creates a hinge-point massing that differentiates the two phases. It also responds to the vertical character of the neighboring buildings.

The same material will no longer juxtapose between Buildings A and B, and will therefore minimize the materials time-gap issue.

The extended projections allow the courtyard on the South to be opened up to the sidewalk by relocating part of the massing to the north side. It also allows for a more pedestrian friendly brick base height. The following design guidelines will be enhanced:

PL1 Architectural Concept:

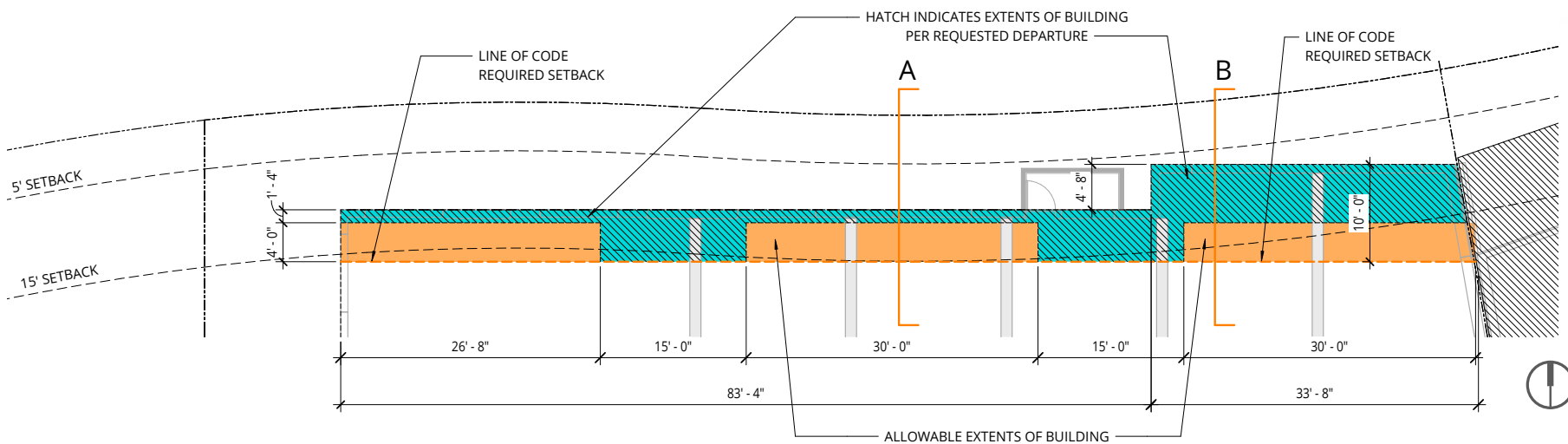
Massing to differentiate between portions of a building; foster architectural variety on a block.

DC2 Open Space Connectivity:

Relocating massing to create a network of open spaces and encourage connection between courtyard and the public street.

DC3 Building-Open Space relationship:

Integrate courtyard with building design, and with adjacent semi-private or public open spaces.

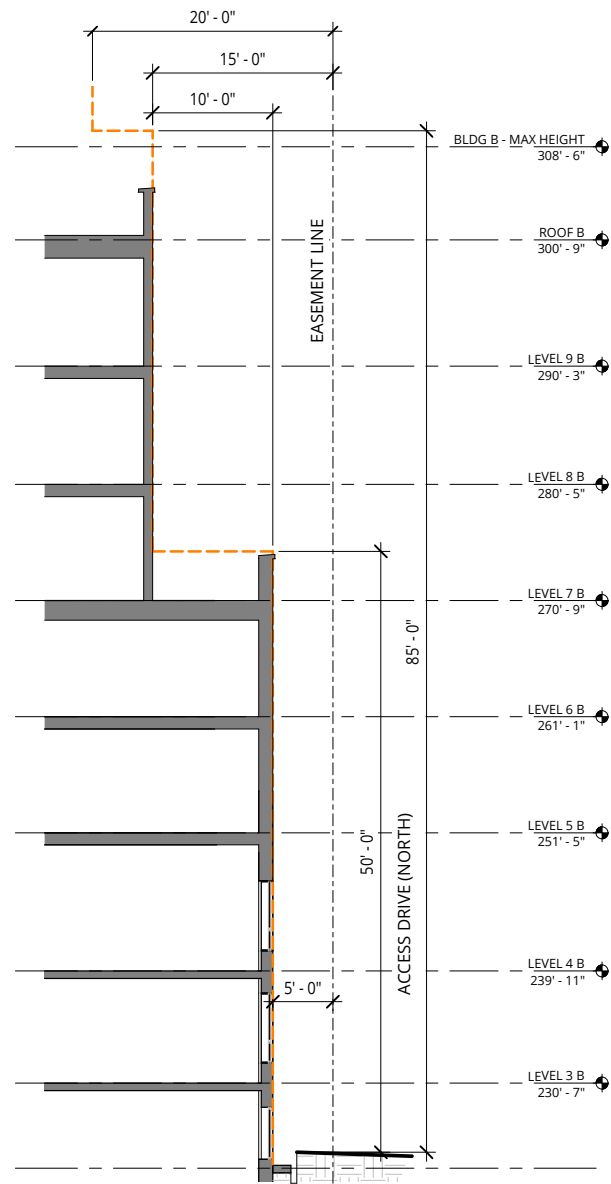


Total area of departure = 427 sf/floor. Total area of 4 floors = 1,708 sf.

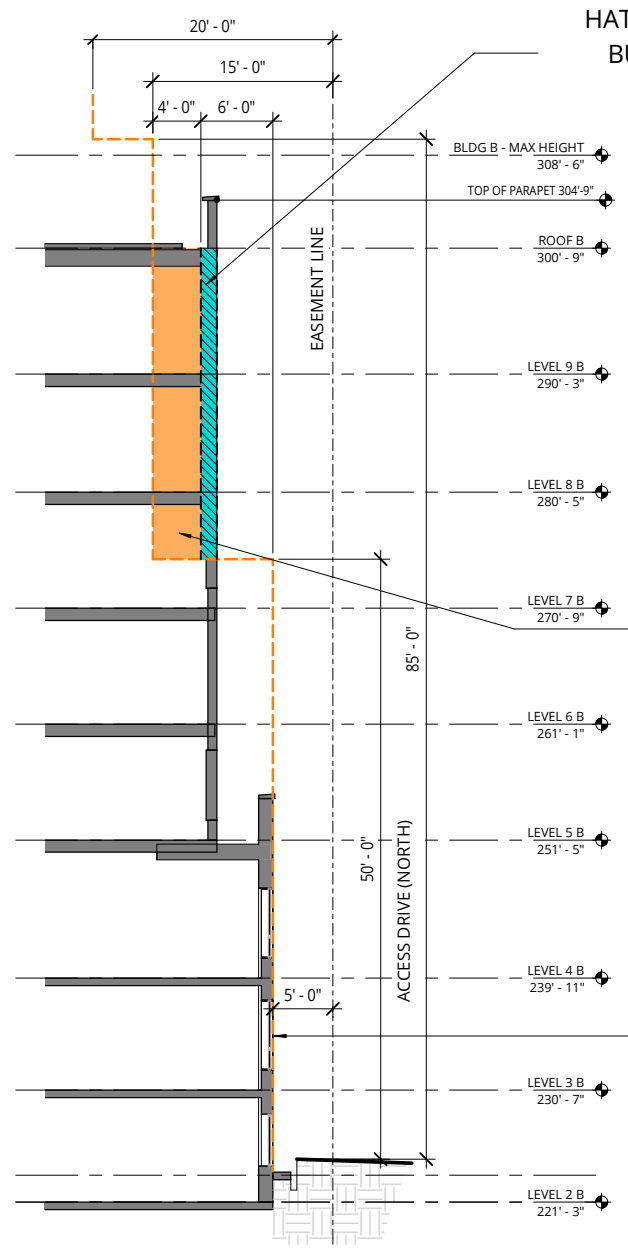
Total area with allowable max. 4' projections = 348 sf/floor. Total area of 4 floors = 1,392 sf.

Line of code-compliant setback

DEPARTURE 1 - STRUCTURES IN REQUIRED SETBACK (BOARD SUPPORTED)



CODE COMPLIANT SECTION
BRICK BASE @ PRIVATE ACCESS DRIVE

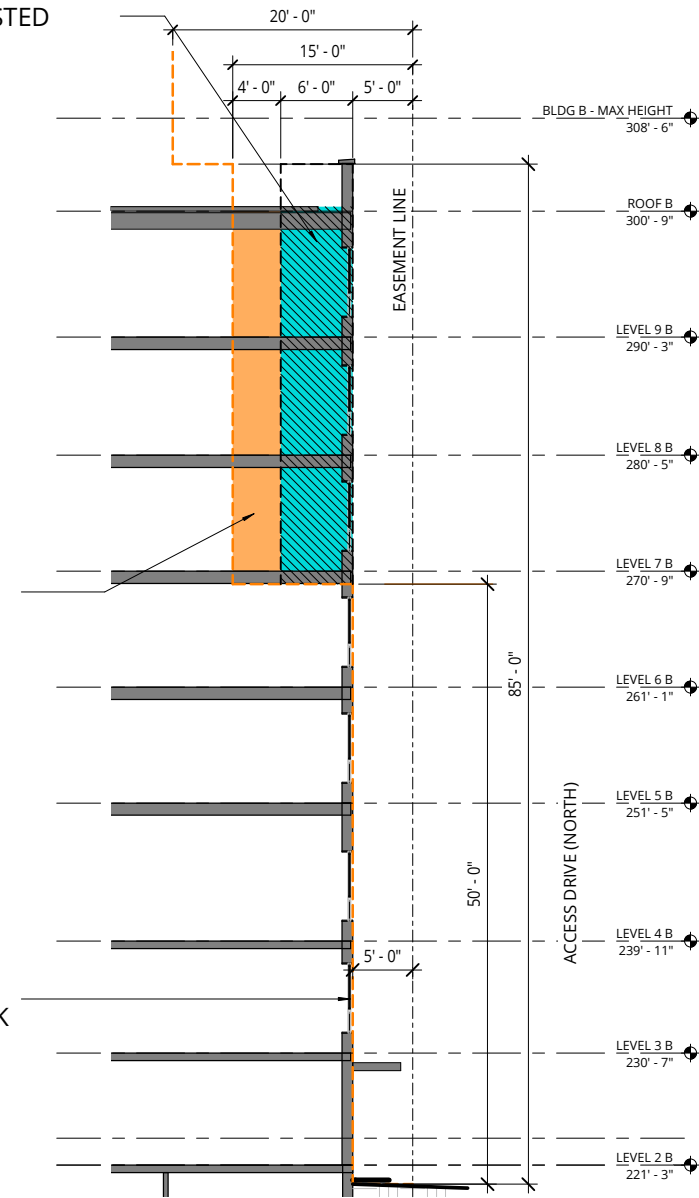


DEPARTURE - SECTION A
BRICK BASE @ PRIVATE ACCESS DRIVE

HATCH INDICATES EXTENTS OF BUILDING PER REQUESTED DEPARTURE

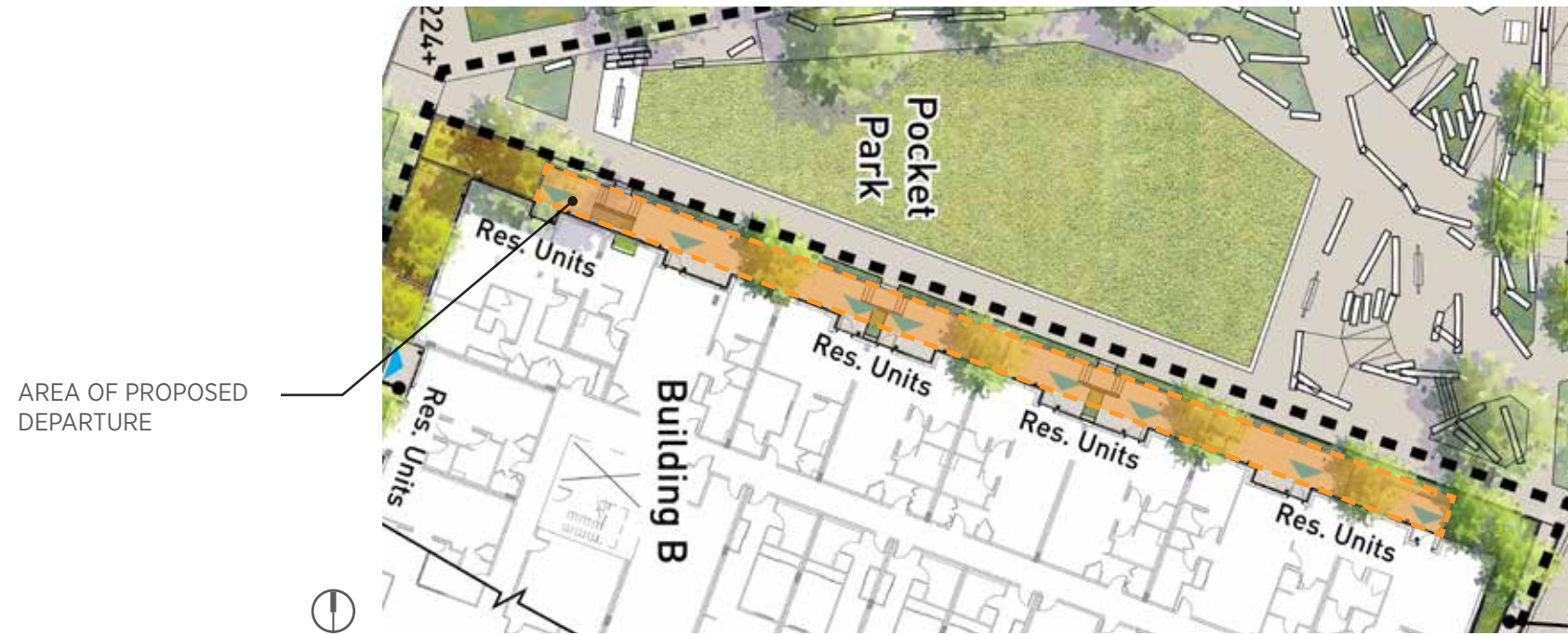
ALLOWABLE EXTENTS OF BUILDING

LINE OF CODE-REQUIRED SETBACK



DEPARTURE - SECTION B
TOWER MASS @ PRIVATE ACCESS DRIVE

DEPARTURE 2 - DWELLING UNIT ENTRIES (BOARD SUPPORTED)



REQUIREMENT:

SMC 23.75.170.C.1

The floor level at the doorway providing access from the dwelling unit to the amenity area shall not be lower than finished grade at the closest point of the closest boundary.

REQUEST:

Provide entries of dwelling units below grade. Proposed height difference = 3 ft. maximum below grade. The planters, steps and shared landings create a nice transition from public to private uses.

JUSTIFICATION & RELEVANT GUIDELINES:

By allowing the minor below grade entries, the steep slope of the site could be mitigated and the number of street-level dwelling unit entries connecting the park will be maximized. The interconnected network of dwelling unit entries, private patios and the park create a nice transition from private to public spaces which maximizes the safety and encourages street-level interaction and activities.

“Related to the entry sequence, the Board agreed that minor below grade changes could work with the design, provided that low landscaping successfully eases the grade change.”
- EDG #1 report

The following design guidelines will be enhanced:

PL1 Open Space Connectivity:

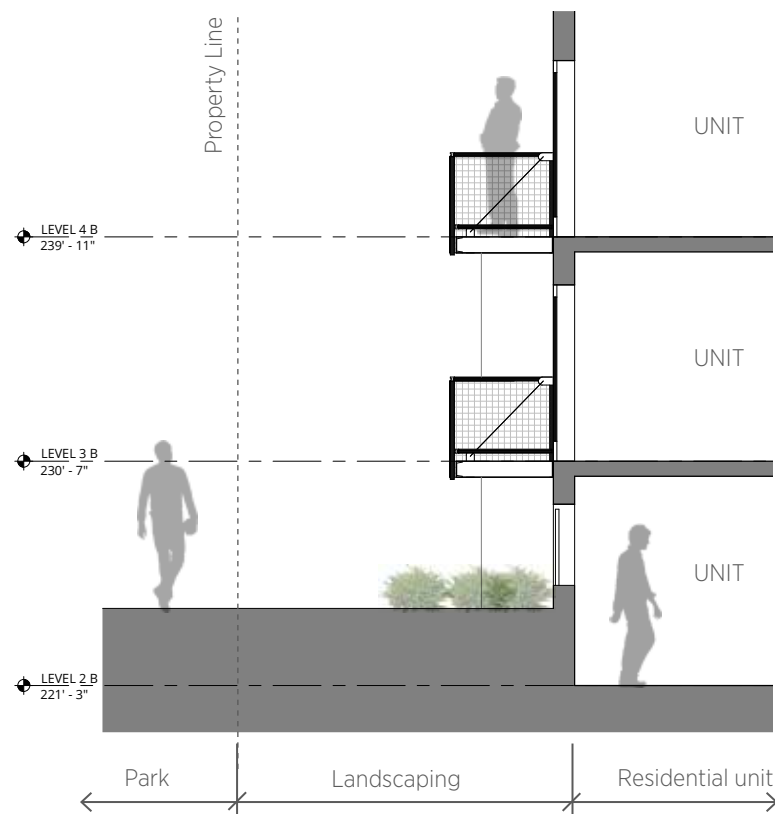
Interconnected network of patios and the park encourage walking and outdoor activities.

PL2 Walkability - Create a safe and comfortable walking environment:

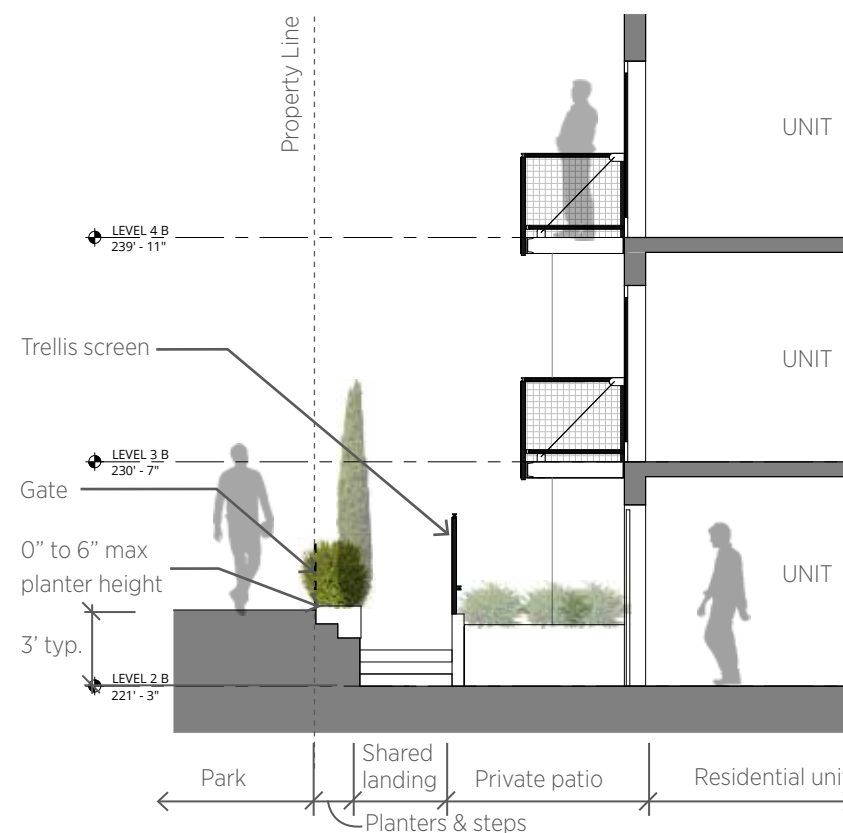
Maximize the number of ground-related residential entries to create activity and “eyes on the street” along the park edge.

DC3 Building - Open Space relationship:

Integrate patios and decks with building design, and with adjacent semi-private or public open spaces.



CODE COMPLIANT SECTION THROUGH TYPICAL BELOW-GRADE UNIT ENTRY AT POCKET PARK



DEPARTURE SECTION THROUGH TYPICAL BELOW-GRADE UNIT ENTRY AT POCKET PARK

DEPARTURE 3 - PARKING ACCESS (NEW)

REQUIREMENT:

SMC 23.75.180.1.1.b

Access is not allowed within 20 feet of a structure corner that includes a regulated facade on one or both sides.

REQUEST:

Locate the access drive closer than 20 feet of the regulated facade on Building A as presented to the board at EDG 2.

JUSTIFICATION & RELEVANT GUIDELINES:

We consider Buildings A and B to be two parts of a whole structure making the access drive to be a mid-block entry and not at the corner of Building B. Following the direction from the Design Review Board at our 1st EDG presentation, we separated the building masses to provide a visual connection to the courtyard and community room from the street and visual relief between the two structures creating the opportunity for the large community focused art mural. The impact on the overall project design to relocate the access drive would be significant. There is no alley to provide a less prominent vehicle access point. Considering alternative locations, access from the private access drive would eliminate at least one ground related unit and as the high point of the site would create a difficult and steep access to the below grade parking levels, no vehicle access would be allowed from the park and an alternative location on the South would also eliminate a 2 ground related units and 2 courtyard units which were strongly encouraged by the Board.

The following design guidelines will be enhanced:

CS3 - Architectural Context and Character: Line sidewalks with residential units with views to the street and ground-level entries.

PL1 - Open Space Connectivity: Relocating massing to create a network of open spaces and encourage connection between courtyard and the public street.

PL2 - Walkability: Where feasible, mid-block pedestrian pathways and access drives should be designed to provide reduced slopes.

PL3 - Street-Level Interaction: Where feasible, provide street-facing entries for ground-level units.

DC2 - Architectural Concept: Massing to differentiate between portions of a building; foster architectural variety on a block.

DC3 - Building-Open Space Relationship: Integrate courtyard with building design, and with adjacent semi-private or public open spaces.



CODE COMPLIANT SCHEME

- LOSS OF 2 GROUND RELATED ENTRIES
- INTERRUPTION OF STOOP WALK
- LOSS OF 2 COURTYARD ADJACENT UNITS



DEPARTURE 3 - STORMWATER IN REQUIRED SETBACK (NEW)

REQUIREMENT:

23.75.140.J.9.b

Above-grade green stormwater infrastructure (GSI) features are allowed without setback restrictions if: b. Each above-grade GSI feature is less than 4 feet wide.

REQUEST:

Provide GSI features that are 6' wide within the setback.

JUSTIFICATION & RELEVANT GUIDELINES:

The design intent is to celebrate stormwater conveyance and support a unique/visible lobby entry sequence from Main Street.

Code compliant placement of bioretention planters tends to force placement either out of public view and limits ability to create a dynamic expression due to zoning/stormwater min/max planter width code requirements. Minimum width is 2' per stormwater code and max width is 4' per Yesler Terrace overlay requirements in zoning code.

Placement with proposed departure supports Building A REC 1 guidance and Building A REC 2 support. The following design guidelines will be enhanced:

CS1 Natural Systems and Site Features:

Use natural systems/features of the site and its surroundings as a starting point for project design.

CS1-E Water - Adding Interest with Project Drainage:

Use project drainage systems as opportunities to add interest to the site through water-related design elements.



CODE COMPLIANT - STORMWATER PLAN



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APPENDIX

COMPLETE EDG COMMENTS

1. MASSING OPTIONS, HEIGHT, BULK AND SCALE

EDG 1: Massing Options, Height Bulk and Scale: The Board discussed the strengths of the different massing options for both sites and strongly supported the at-grade open space shown in Options A and B and the response to the site and topography shown in Option C. The majority of the Board supported Massing Option C for both Phase 1 and 2 but also agreed that additional massing articulation and different scales of modulation is needed to diminish the appearance of one long building. The Board recommended that Phase 1 move forward to MUP application, while the Phase 2 return for another meeting in response to the guidance provided.

a. Both Sites: The Board approved of the strong proposed street wall articulation but had concerns with how the upper tower volumes met the podium. The Board recommended examining the connection to the base and noted that this condition presented an opportunity to differentiate the two phases, potentially be grounding the tower volume. If the tower volumes remained as an upper massing volume, the Board recommended expanding the height and depth of the upper setback in order to have it be legible from a pedestrian level. (CS2, PL3, DC2)

b. Phase 2: The Board struggled with the lack of clarity for the Phase 2 Massing Option C and requested the following development and information be provided for the next meeting:

i. The Board was concerned with the courtyard depth, proportion, function and lack of pedestrian access. In order to enhance light, air and access, the Board recommended providing a direct connection between the courtyard and the street by pulling apart the two buildings to reveal the courtyard. The Board considered this as an option for large scale modulation. The Board also requested landscape information for the interior courtyard. (CS2, PL3, DC2-A, DC2-B, DC2-C)

ii. The Board supported the massing for the upper stories shown in the model and recommended further developing the articulation, large scale modulation and separation along S Main St to diminish the appearance of one long building when considered with Phase 1. (CS2, PL3, DC2-A, DC2-B, DC2-C)

iii. The Board requested additional information for the access drive frontage and the pocket park frontage and recommended revising each to provide a strong public edge and better meet the Yesler Terrace Design Guidelines. (CS2-B2, PL1-A, PL1-B, PL2-A, PL2-B, PL3)

EDG 2: Massing and Height Bulk and Scale: c. The Board strongly supported the proposed deep balconies as they create shadows and depth along the facades.

MUP COMMENT: The podium massing (facing the pocket park) has been bifurcated at the corners. Related to the podium, the design shown at the EDG2 meeting had a strong vertical fenestration expression. The previous design reviewed by the Board effectively addressed the height, bulk and scale and established a better massing proportion. Revert back to the previous design or provide additional alternates.

2. STREETScape, FRONTAGE, EDGES AND ENTRIES

EDG 1: Streetscape, Frontage Edges and Entries: The Board gave guidance for the design development in response to the different frontages.

a. Both Sites: For the lobby spaces along 12th Ave S and S Main St, the Board recommended minimizing the frontage dedicated to these functions and rearranging the ground floor with more active uses along the street edge. Related to the lobby along S Main St, the Board struggled with the relationship to grade and requested sections for the next meeting. (CS2-B2, PL1-B, PL2-B3, PL3-C, DC1-A)

b. Phase 1: The Board agreed the design should maximize retail space and flexibility for varied retail uses to continue the vibrancy of Little Saigon. To encourage a lively street front, the Board recommended extending the retail along 12th Ave S. (CS2-B2, CS3-A, PL1-B, PL2-B3, PL3-C)

c. Phase 2: For the residential frontage facing the pocket park, the Board recommended developing each entry to read as a front door and requested more information illustrating the relationship between the individual units and pocket park. The Board also encouraged designing a path that is “discovered”, mindful of the boundary with the pocket park. Related to the entry sequence, the Board agreed that minor below grade changes could work with the design, provided that low landscaping successfully eases the grade change. (CS1-B2, PL1-A, PL1-B, PL2-A, L2-B, PL3-B)

d. Both Phases: The Board stressed the importance of encouraging pedestrian interaction along the access drive and strongly recommended including direct entries or patios buffered from the vehicular area. The Board supported the residential expression of Phase 1 along S Main St and encouraged development of a similar condition along the access drive. The Board also recommended revising a similar condition along the access drive to better meet the Yesler Terrace Design Guidelines, by either providing a shared circulation space, in the spirit of a woonerf, or incorporating an additional setback to create a buffer for the residential outdoor spaces. (PL3)

EDG 2: Streetscape, Frontage Edges, Entries, Safety and Security: The Board supported the overall development and gave guidance on the revised access drive frontage and the pocket park frontage.

c. For the access drive frontage, the Board strongly supported the proposed alternate with direct entries and shared circulation space, referred to as the “stoop walk.” The Board agreed the design appropriately incorporates CPTED principles, which recommended “eyes on the street” and maximizing the number of ground-related residential entries, addresses safety concerns and better meets the intent of the access drive to function as a woonerf. (PL2-B, PL3)

3. SAFETY & SECURITY

EDG 1: Both Sites: Related to the access drive, the Board acknowledged that safety and security are important considerations for both sites to create a safe and comfortable walking environment. The Board agreed the design should incorporate CPTED principles, consistent with the Yesler Terrace Design Guidelines, which recommended “eyes on the street” and maximizing the number of ground related residential entries.

EDG 2: For the access drive frontage, the Board strongly supported the proposed alternate with direct entries and shared circulation space, referred to as the “stoop walk.” The Board agreed the design appropriately incorporates CPTED principles, which recommended “eyes on the street” and maximizing the number of ground-related residential entries, addresses safety concerns and better meets the intent of the access drive to function as a woonerf.

4. WATER MANAGEMENT

***EDG 1: Both Sites:** The Board recommended thoroughly exploring natural water features and storm water planters into project design, to create visual interest for site drainage.*

5. HISTORY OF THE SITE

***EDG 1: Both Sites:** The Board agreed the design approach should be further developed to respond to the historic and cultural context, consistent with the Yesler Terrace Design Guidelines. The Board recommended integrating art in a meaningful way and encouraged working directly with the neighborhood groups for inspiration on how to address the history and diversity of the site.*

***EDG 2:** The Board approved of the addition of a mural and the intent to work directly with the community and a local artist for the art development to address the history and diversity of the site. (PL1, CS3-B)*

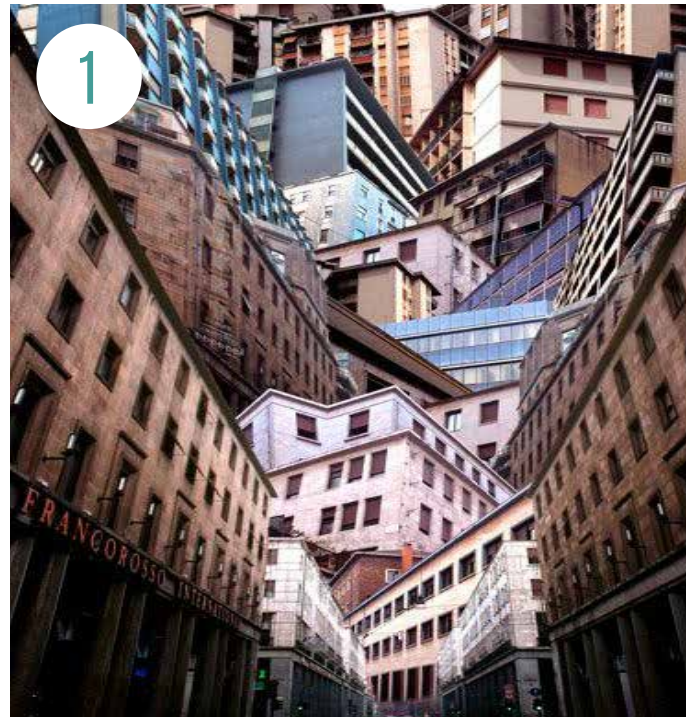
6. VEHICULAR ACCESS

***EDG 1: Both Sites:** The Board agreed that the preferred driveway locations along South Main St. for both sites appear to be the best options, given the topography and the opportunity to bring additional pedestrians through the access drive. In order to address the Design Guidelines, any parts of the parking structure that are visible above the grade along the street front should be completely masked, designed to be visually interesting, relate to the pedestrian environment and detailed for passive surveillance.*

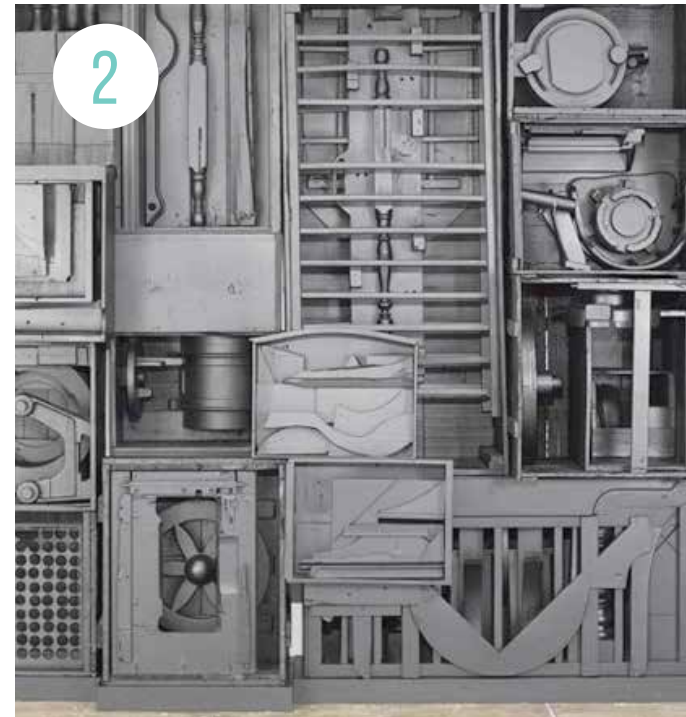
7. MATERIALS, ARCHITECTURAL CHARACTER AND APPEARANCE

***EDG 1: Both Sites:** The Board approved of the cladding and material response for the intersection at South Main St. and Boren and strongly supported the high quality materials indicated, in particular the masonry. The Board noted that the Yesler Terrace Design Guidelines have specific guidance for material quality and that the project should be consistent with the relevant Design Guidelines. The Board also supported the general intent to provide similar but different materials for the two phases. The Board recognized that the buildings may be built separately and agreed material selection should factor in a large time gap between construction. For the next meeting, the Board requested presenting the design intent for both phases with larger side by side elevations and additional renderings.*

***EDG 2:** The Board supported the high quality materials proposed, in particular the masonry and the combination horizontal and vertical texture to provide an additional layer of detail. Although the Board approved of the design intent, the Board observed the large amount of fiber cement proposed and noted the range of quality between fiber cement panel products. The Board indicated cladding that would be acceptable that includes a thicker panel depth and potentially integral color. The Board agreed samples were needed to determine if the wood-look fiber cement panel would qualify as a higher quality material, consistent with the Yesler Terrace Design Guidelines and requested photographs of built precedents.*



MASSING



TEXTURE

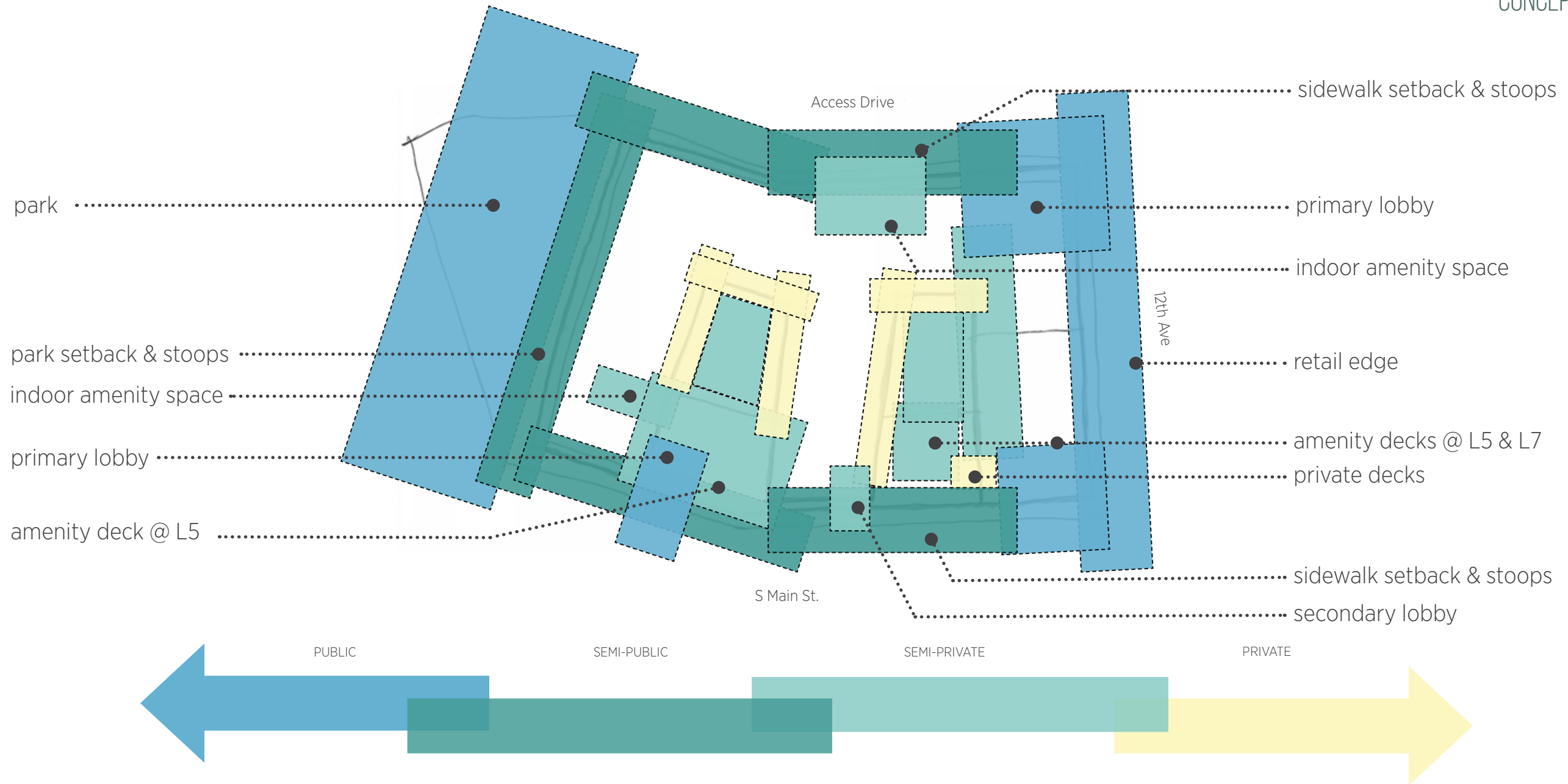


SURFACE

COLLAGE TECHNIQUE



**PRECEDENT
INSPIRATION**



ZONING SUMMARY

SITE INFORMATION - MPC-YT

Parcels: 9822000410, 9822000360, 9822000350, 9822000370, 9822000340, 9822000380, 9822000330, 9822000390, 9822000320, 9822000400, 9822000310

Cross Streets: 12th Ave. S & S. Main St.
10th Ave & S. Washington St.

Zoning: MPC-YT

Overlay District: None

Street Classification: There are no principal pedestrian streets or pedestrian designated zones requiring street level uses.

Approximate elevation change across site: 46'

No Landmark structures are on site; SEPA review completed

DETAILED ZONING - MPC-YT

SMC 23.75.050 PERMITTED USES

- Residential Uses are permitted outright

SMC 23.75.080 STREET-LEVEL USES

- A. Nonresidential uses are not allowed to occupy, in the aggregate, more than 20% of the total street-level street-facing facades along S. Washington Street.

SMC 23.75.090 NONRESIDENTIAL FLOOR AREA LIMITS

- A.2. Combined floor area for all other nonresidential uses shall not exceed 150,000sf.

SMC 23.75.100 BUILDING HEIGHT

- 85ft height limit for non-highrise structures. (160ft for high-rise structures)

SMC 23.75.110 ROOFTOP FEATURES

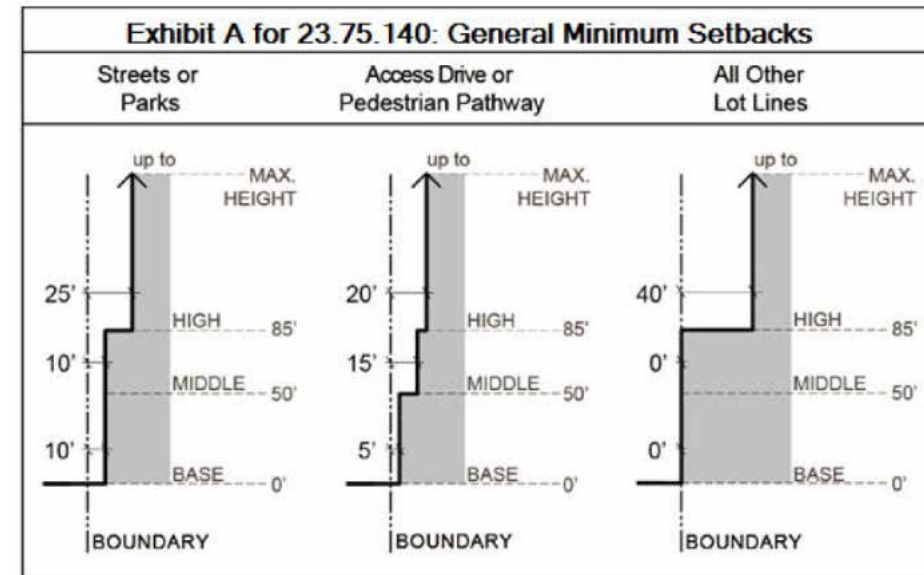
- B. Open railings, planters, skylights, clerestories, parapets and firewalls may extend 4ft above height limit.
- C. Rooftop solar collectors may extend 10ft above height limit.
- D. Stair penthouses and mechanical equipment can extend 15ft above height limit.
- E.2. Elevator penthouse may extend 25ft above height limit.

SMC 23.75.130 MAXIMUM WIDTH OF REGULATED FACADE

- limited to 240ft

SMC 23.75.140 SETBACKS AND PROJECTIONS

- A.1.a. Required setbacks per Exhibit A where no special setback condition identified per Exhibit C.
- Access Drive: South Washington St.
- Streets or Parks: South Main St, 10th Ave, and 12th Ave.



SMC 23.75.140.J - STRUCTURES IN REQUIRED SETBACKS

- For residential uses in structures subject to required setbacks from a street or park open to the public, bay windows and other portions of structures containing enclosed space may project a maximum of 4 feet into required setbacks, provided that the projection does not exceed 30 feet in width, and provided that no portion of the projection is closer than 2 feet from the boundary.
- Porches, balconies, and decks may project a maximum of 6 feet into required setbacks, provided that no portion of the porch, balcony, or deck is closer than 2 feet from the boundary.

SMC 23.75.150 RESIDENTIAL AMENITY AREA

- Amenity space equivalent to 5% of the res. gross area shall be provided, no more than 50% of which shall be enclosed.
- B.4. Areas open to the public easement do not qualify as required amenity areas.

SMC 23.75.170 STREET-LEVEL DEVELOPMENT STANDARDS

- (between 18 inches and 12ft above finish grade at the base of the facade).
- B.2. Blank segments may not exceed 15ft in width (up to 30ft of blank segment can be allowed by the Director as Type I decision).
 - C.2. At least 20% of the facade area shall consist of doors and/or transparent windows. For live-work units abutting street-level facade, at least 50% of the facade area shall consist of doors and/or transparent windows.
 - J.3. Cornices, eaves, gutters, roofs, and other forms of weather protection may project a max. of 4' beyond the building facade into required setbacks.

SMC 23.75.180 PARKING

- No minimum parking requirements.
- Maximum parking requirements per Table A 23.75.180.
- I. 1.a. Access for parking is not allowed within 40ft of the curb line of an intersection.
- I.1.b. Access for parking is not allowed within 20ft of a structure corner that includes a regulated facade on one or both sides.
- I.2. Each access drive is required to include a dedicated pedestrian area long at least one side of the drive. Min. 6ft of walking surface along the length of the drive, separated by a raised curb, bollards, landscaping or textured paving details.

SMC 23.53.025 ACCESS EASEMENT STANDARDS

- D.1. Easement width shall be min. 32 ft.
- D.2. The easement shall provide a surface roadway min. 20ft in width (in MPC-YT zone).
- D.4. A turnaround shall be provided unless the easement extends from street to street.



SITE INFORMATION - NC2-65

Parcels: 8591900215

Address: 225 12th Ave. S

Cross Streets: 12th Ave. S & S. Main St.

- Zoning: NC2-65
- Urban Village: First Hill Urban Center Village
- Overlay District: None
- Street Classification: There are no principal pedestrian streets or pedestrian designated zones requiring street level uses.
- Approximate elevation change across site: 46'
- No Landmark structures are on site.

DETAILED ZONING - NC2-65

SMC 23.47A.005 Street-level Uses

- C.1. In all NC and C zones, residential uses may occupy, in the aggregate, no more than 20 percent of the street-level street-facing facade in the following circumstances or locations: c. Within a zone that has a height limit of 85 feet or higher
- D. In pedestrian-designated zones the locations of uses are regulated as follows: m. Sales and services; c. Eating and drinking establishments; do not apply.

SMC 23.471.008 Street-level Development Standards

- B. Non-residential street-level requirements, Transparency: a. Sixty percent of the street-facing facade between 2' and 8' above the sidewalk shall be transparent. The width of a driveway at street level, not to exceed 22'.
- 4. Non-residential uses at street-level shall have a floor-to-floor height of at least 13'.
- C.4.b. The covered area shall have a minimum width of 6 feet
- C.4.d. The lower edge of the overhead weather protection shall be a minimum of 8' and a maximum of 12' above the sidewalk for projections extending a maximum of 6'. For projections extending more than 6' from the structure, the lower edge of the weather protection shall be a minimum of 10' and a maximum of 15' above the sidewalk.
- D.1. At least one of the street-level street-facing facades containing a residential use shall have a visually prominent pedestrian entry.

SMC 23.47A.012 Structure Height

- C.2. Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets, and firewalls may extend as high as the highest ridge of a pitched roof permitted by subsection 23.47a.012.b or up to 4' above the otherwise applicable height limit, whichever is higher.
- C.7. The rooftop features listed in this subsection shall be located at least 10' from the north lot line unless a shadow diagram is provided that demonstrates locating such features within 10' would not shade property to the north on Jan 21st at noon more than a structure built to maximum permitted height and FAR.

SMC 23.47A.013 Floor Area Ratio

- Total FAR permitted for all uses on a lot that is occupied by a mix of uses is 4.75. Minimum FAR = 2

SMC 23.47A.014 Setback requirements

- The side and rear lot line of the NC2-65 lot is abutting the MPC-YT Zone, Which is not a residential zone. This section and setback requirements do not apply.

SMC 23.47A.024 Amenity Areas

- A. Amenity areas are required in an amount equal to 5% of the total gross floor area in residential use (excludes areas used for mechanical equipment and accessory parking). For the purposes of this subsection, Bioretention facilities qualify as amenity areas.
- B.2. Amenity areas shall not be enclosed
- B.4 Common amenity areas shall have a minimum horizontal dimension of 10', and no common amenity area shall be less than 250 sf in size.

SMC 23.47A.032 Parking Location and Access

- A.1A. Access to parking shall be from the alley if the lot abuts an alley improved to the city standards (23.53.030.C) If alley access is infeasible, the Director may allow street access.

SMC 23.54.015 Required Parking | Cars

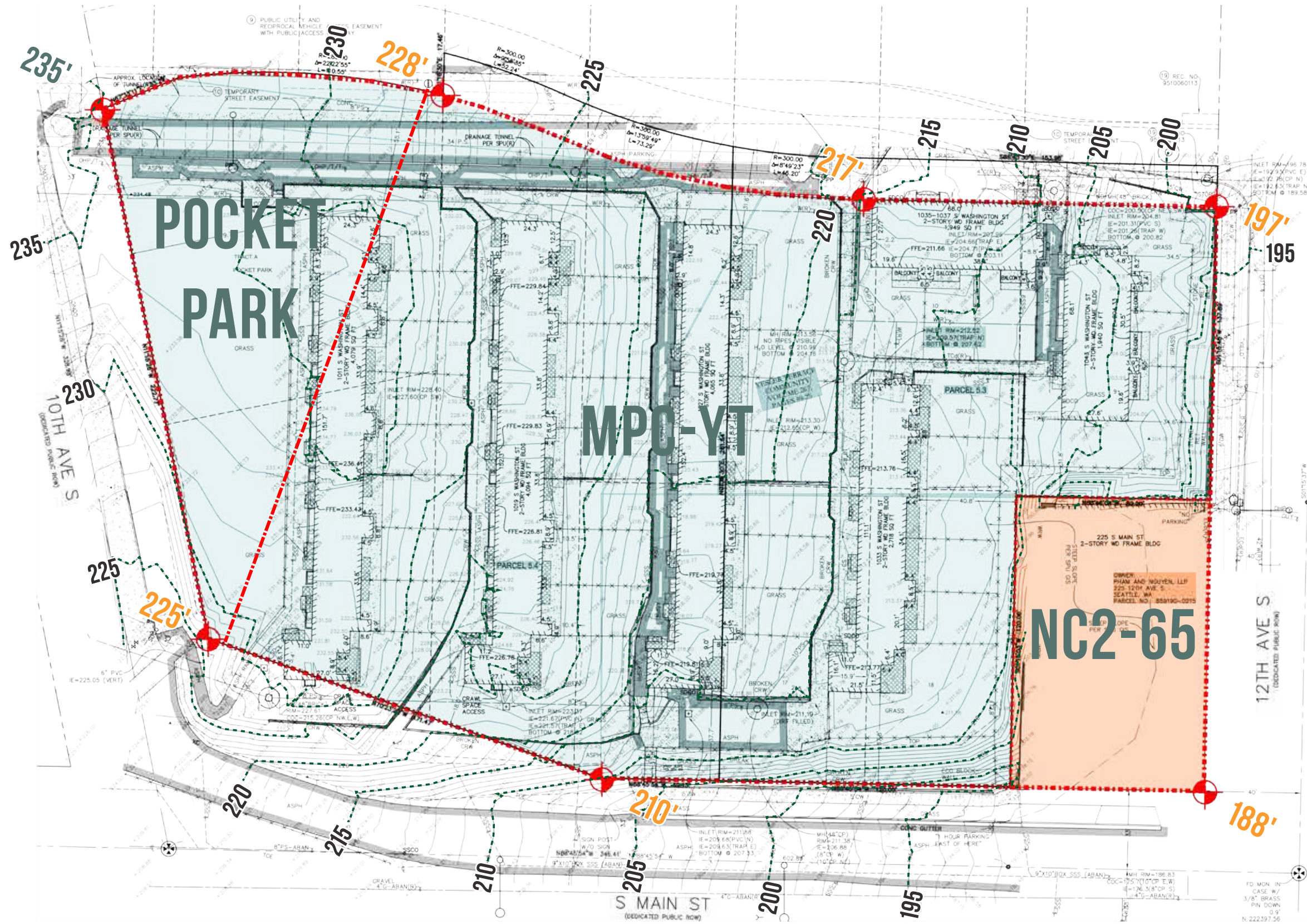
- J. Non-residential uses (retail) in urban center (First Hill Urban Center) = No minimum requirement
- L. All residential uses in urban centers = No minimum requirement

SMC 23.54.015 Required Parking | Bicycles

- A.1 - Eating and drinking establishments: Short-term = 1 per 2,000 sf | Long-term = 1 per 12,000 sf.
- A.6 - Sales and Services general: Short-term = 1 per 2000 sf | Long-term = 1 per 12,000sf.
- D.2 - Multi-family structures: Short-term = None | Long-term = 1 per 4 dwelling units or 0.75 per small efficiency dwelling unit.

SMC 23.54.035 Loading Berth Requirements and Space Standards

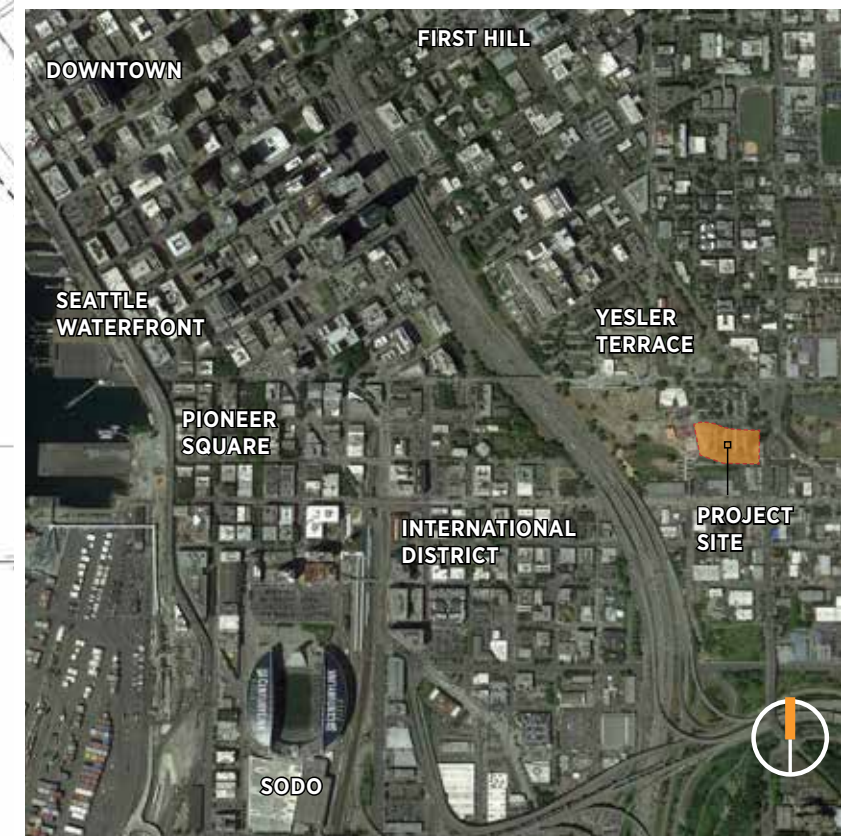
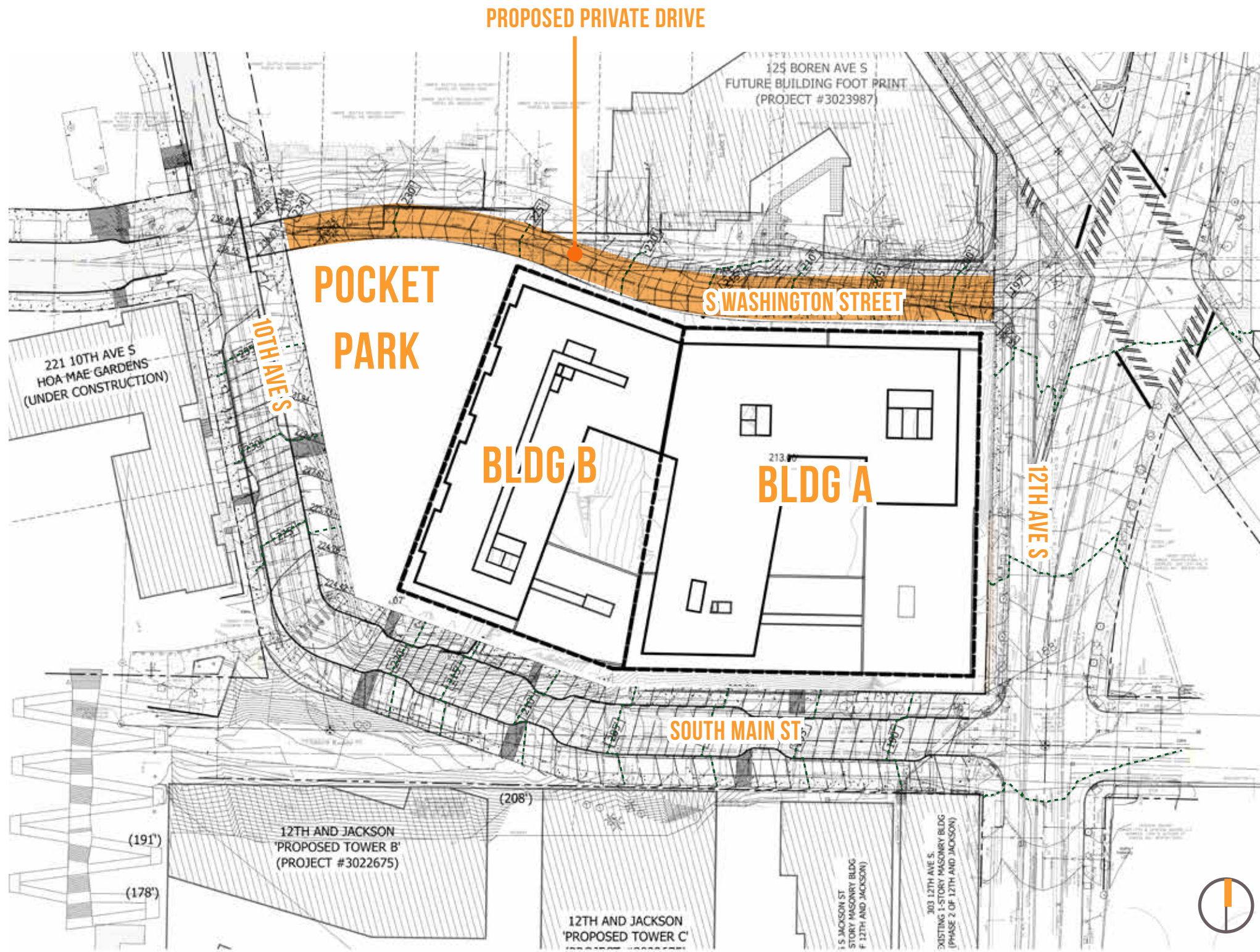
- B.2. Exception to loading requirements; within the MPC-YT zone, loading berth requirements may be waived or modified if the Director finds, after consultation with and approval by the Director of Transportation, that the number of loading berths in Table A for 23.54.035 is not required and that the modified number will be sufficient.
- Table A 23.54.035 - Personal and household retail sales and services, eating and drinking establishments = medium demand = less than 10,000 sf = 0 loading berth required.



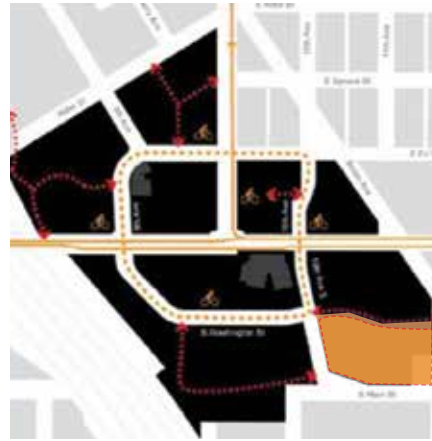
DEVELOPMENT DATA - BUILDINGS A + B

The proposed project is -510 apartment units between two phases of development:

- Building A (Phase I) - 318 apartment units, 174 parking stalls, Approximately 6,000sf retail
- Building B (Phase II) - 192 apartment units, 108 parking stalls
- -16,700 sf Pocket Park (to be approved by the Seattle Design Commission)
- Buildings A and B are completely independent. Construction, parking levels, residential levels, amenities, mechanical, and utilities will not be shared between the two buildings.



BICYCLE CIRCULATION DIAGRAM





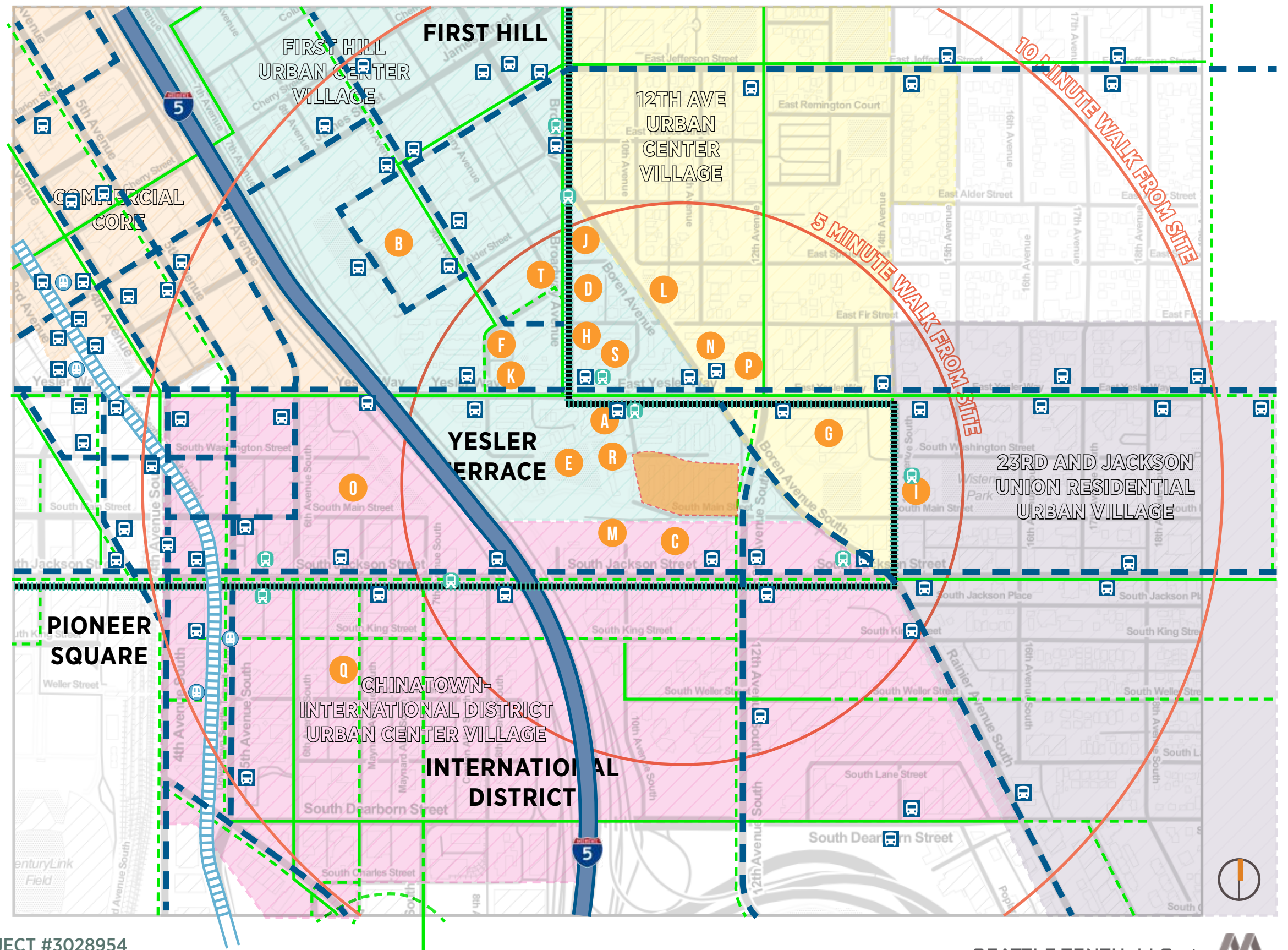
(Yesler Terrace Master Planned Community Design Guidelines, 2012.)

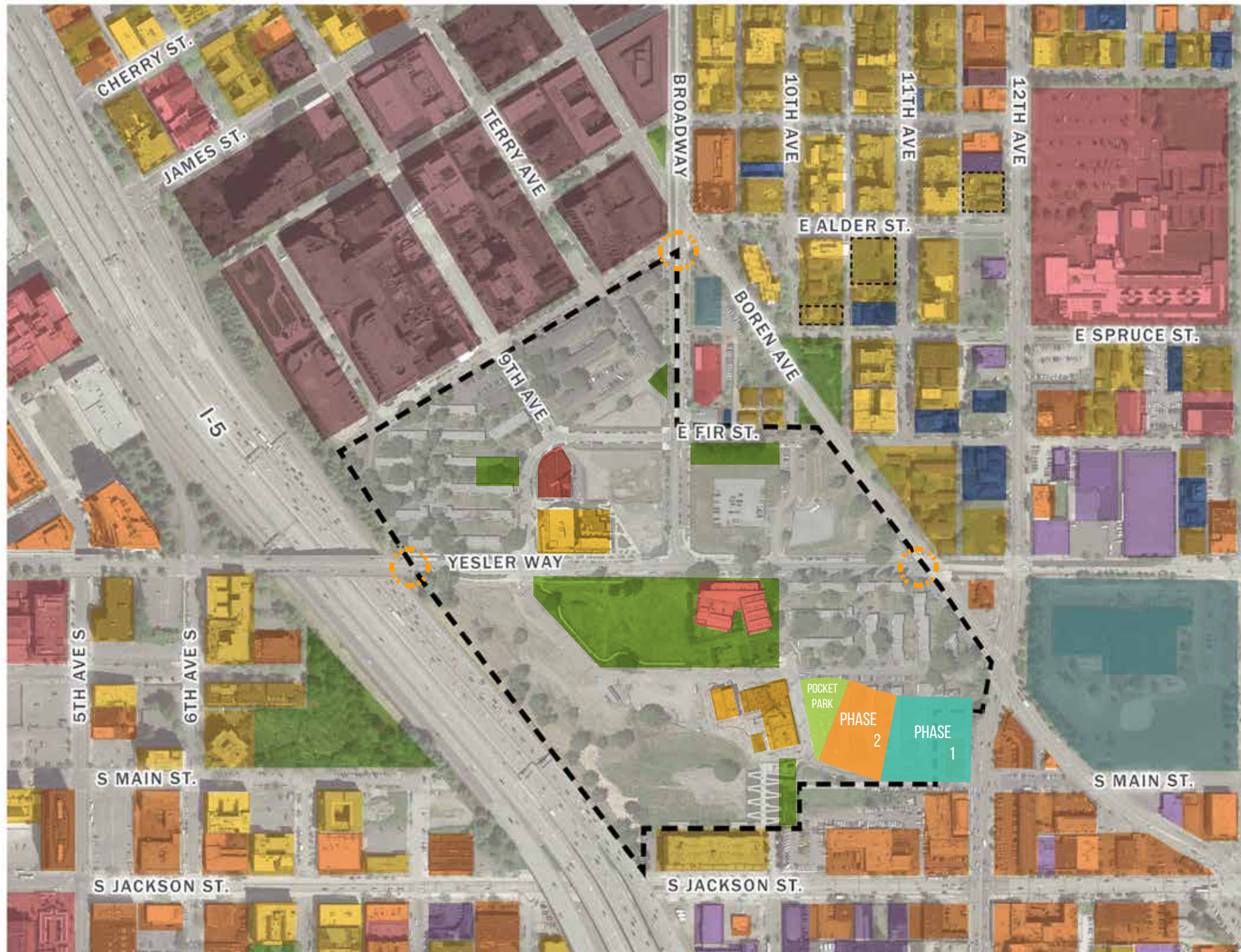
NEIGHBORHOOD GATEWAYS



(Yesler Terrace Master Planned Community Design Guidelines, 2012.)

-  TRAILS
-  BICYCLE-FRIENDLY ROADS
-  BUS STOP
-  BUS ROUTES
-  STREETCAR STOP
-  STREETCAR LINE
-  LIGHT RAIL STOP
-  LIGHT RAIL LINE
-  INTERSTATE





- Recreation / Open Space
- Multifamily / Mixed-Use Residential
- Commercial / Retail / Office
- Civic / Religious
- Medical
- Industrial / Warehouse / Storage
- Institution / Education
- Single Family Residential
- Yesler Terrace Master Planned Community
- Yesler Neighborhood Gateways

SOLAR ANALYSIS

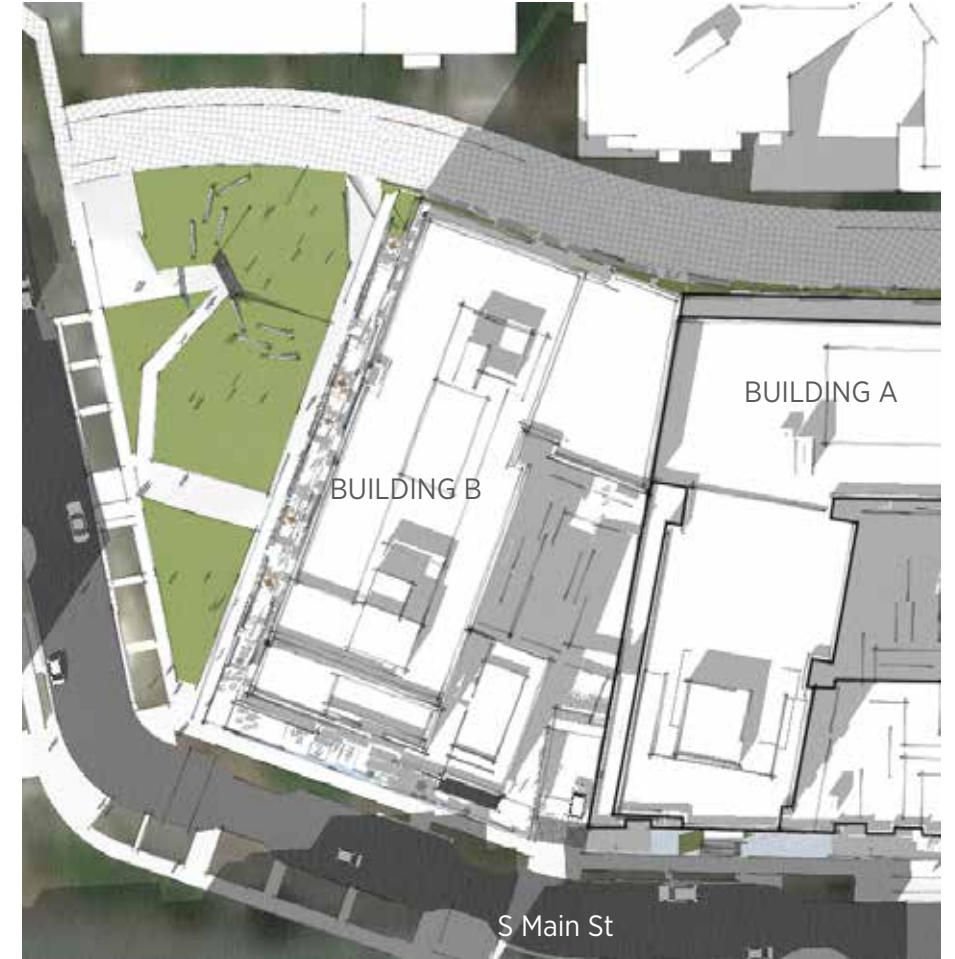
The revised massing maximizes daylight into the courtyard most of the time in a year, especially in summer.



MARCH/SEPT 21 - 10AM



MARCH/SEPT 21 - 12N



MARCH/SEPT 21 - 2PM



JUNE 21 - 10AM



JUNE 21 - 12N



JUNE 21 - 2PM



DEC 21 - 10AM



DEC 21 - 12N

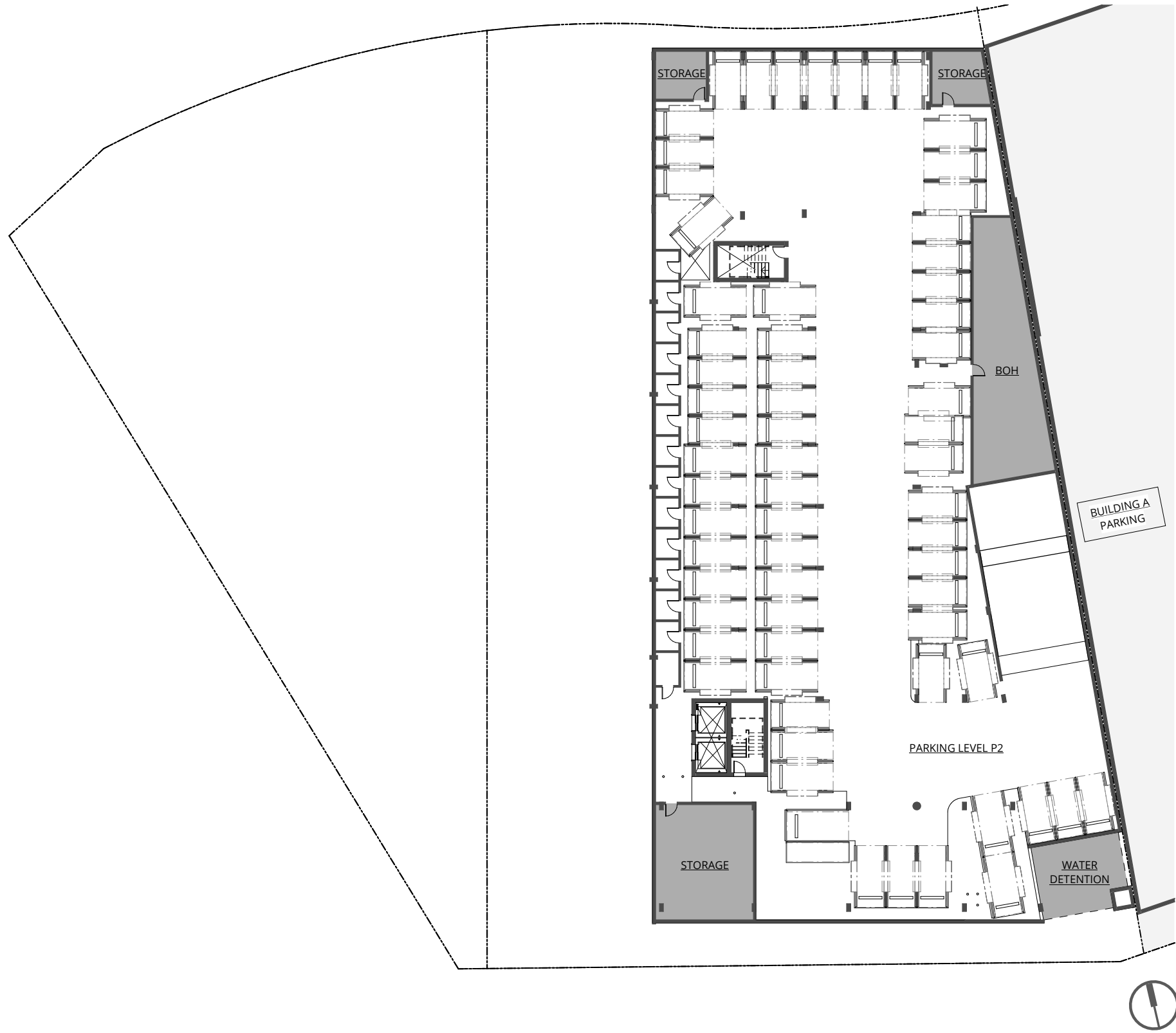


DEC 21 - 2PM

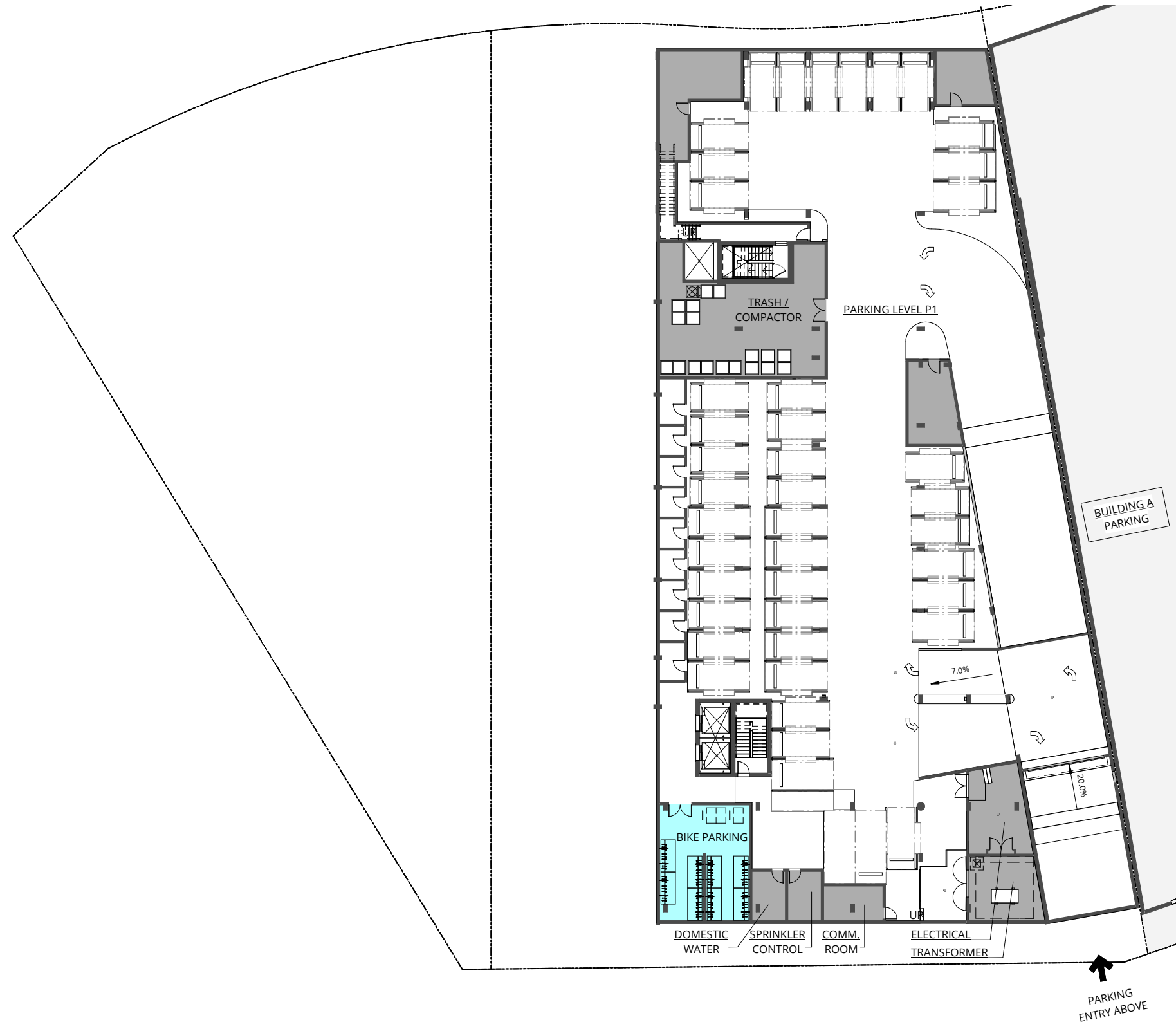




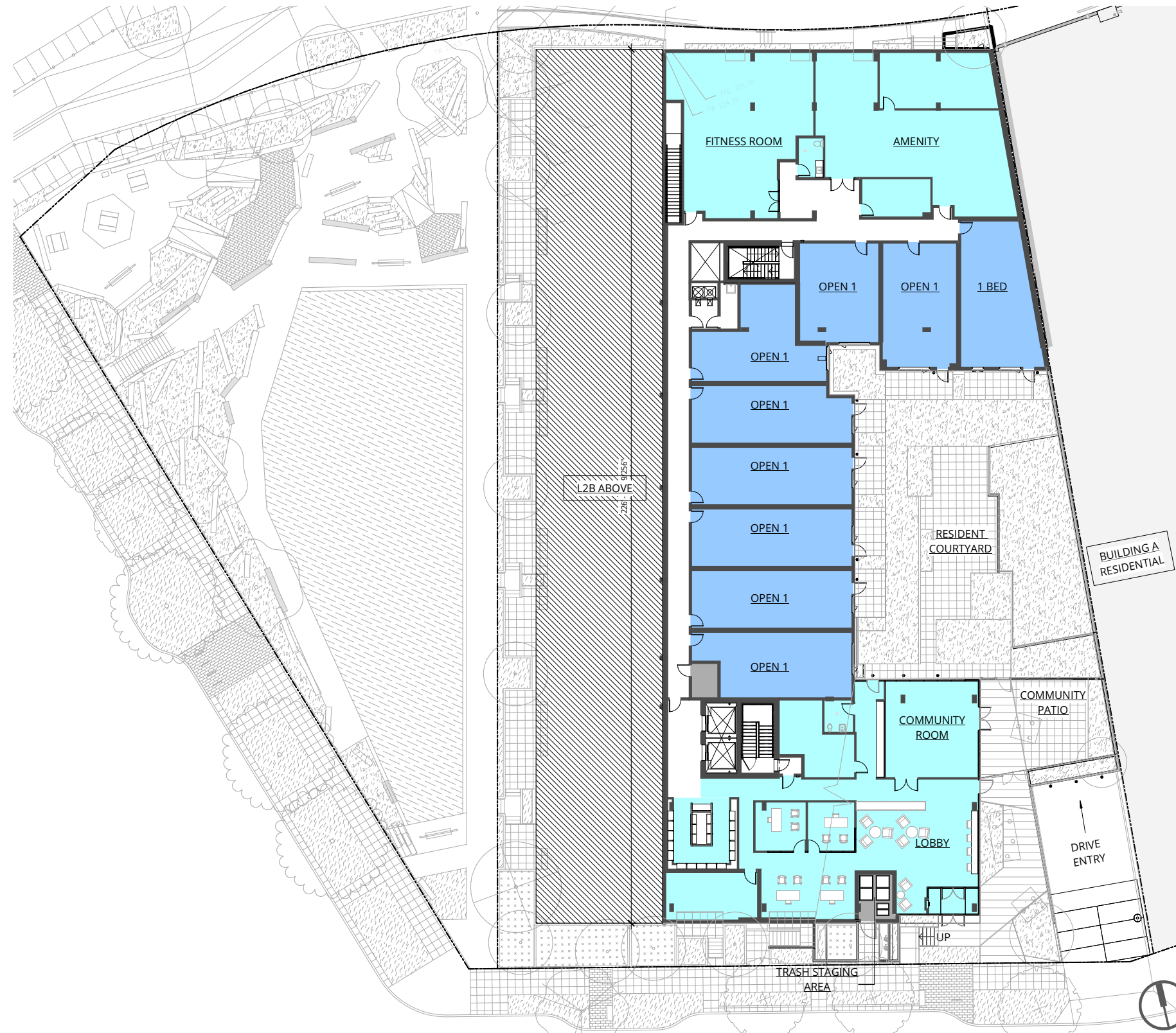
 COMPOSITE SITE PLAN



LEVEL P2



LEVEL P1



LEVEL 1



LEVEL 2



LEVEL 4



LEVEL 5





LEVEL 6



LEVEL 7





LEVEL 8



LEVEL 9



ELEVATIONS



SOUTH ELEVATION

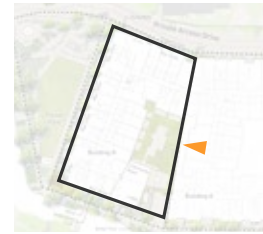




ELEVATIONS



EAST ELEVATION





NORTH ELEVATION





WEST COURTYARD



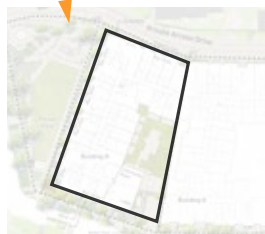


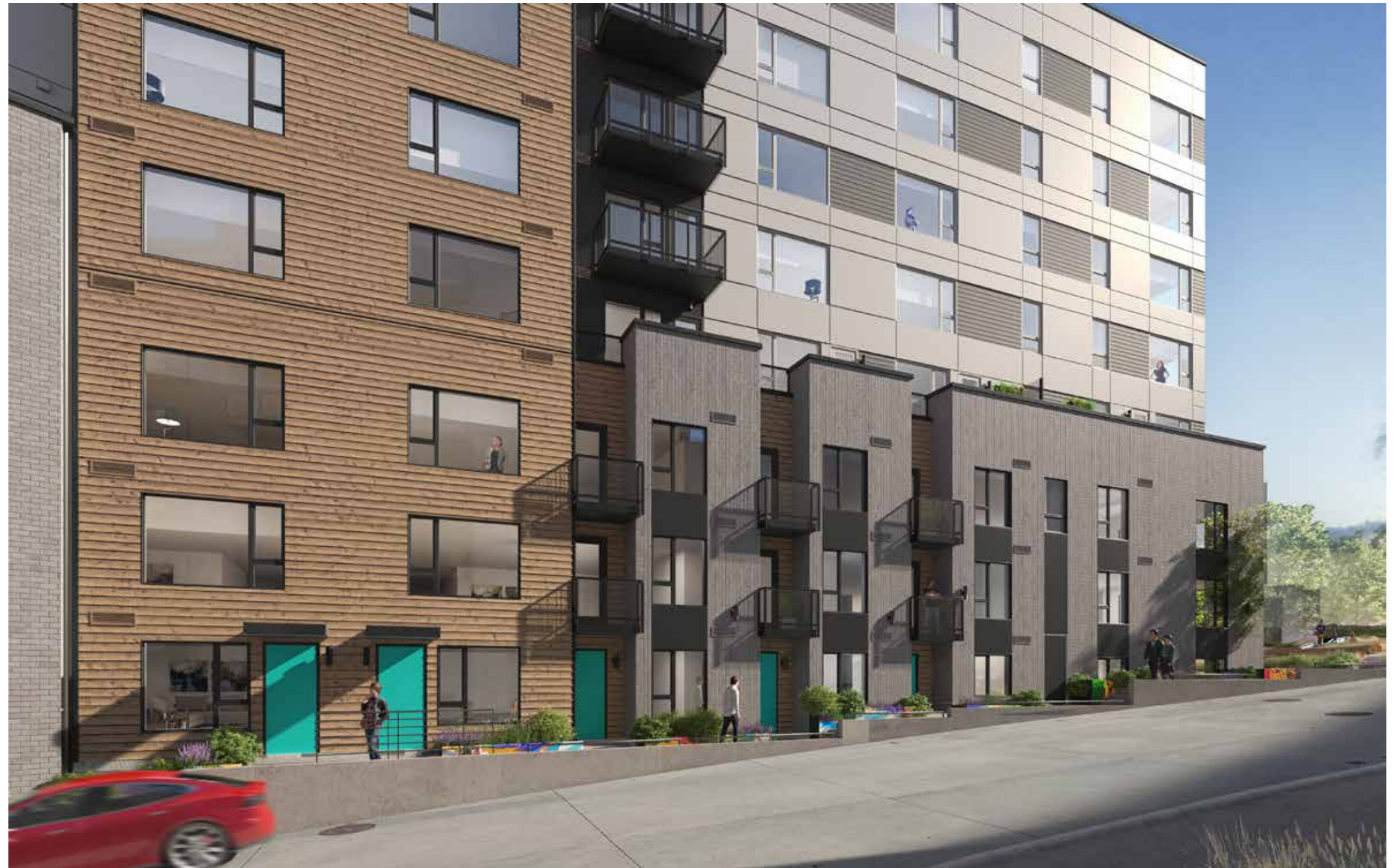
SW CORNER





POCKET PARK





STOOP WALK

