

2432 NW 56TH STREET

PROJECT NUMBER: 3028825 | EARLY DESIGN GUIDANCE | FEBRUARY 26TH 2018.

ARCHITECT:

DAVID VANDERVORT ARCHITECTS

CC: MIKE BUTRIM

2000 FAIRVIEW AVE E, SUITE 103

SEATTLE, WA 98102

(206) 784-1614

PROPERTY OWNER:

ATTOLLO DEVELOPMENT.

CC: JAY KENNEDY & VLAD BAY

10900 NE 8TH STREET, SUITE 1000

BELLEVUE, WA 98008

(425) 786-6505



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01.	PROJECT INFORMATION	5
	PROJECT DESCRIPTION	5
02.	SITE ANALYSIS	6
	9-BLOCK STUDY	6
	VICINITY MAP	7
	NEIGHBORHOOD STUDY - MASSING	8
	NEIGHBORHOOD STUDY - ELEVATIONS	9
	NEIGHBORHOOD STUDY - CONTEXT IMAGES	10
	OPPORTUNITIES & CONSTRAINTS	12
	VIEWS FROM THE SITE	13
	BLOCK FACE STUDY	14
	SUN / SHADOW STUDY	18
	EXISTING SITE CONDITIONS - SURVEY	20
	PROPOSED SITE CONDITIONS - SITE PLAN	21
	CODE RESEARCH	22
	WASTE / RECYCLING STRATEGY	23
03.	DESIGN STANDARDS	24
	DESIGN NARRATIVE	24
04.	BUILDING DESIGN	26
	DESIGN GOALS - INSPIRATION	26
	OPTION 1-3 COMPARISON	27
	OPTION 1 - NARRATIVE / PLANS	28
	OPTION 2 - NARRATIVE / PLANS	34
	OPTION 3 - NARRATIVE / PLANS	40
	ARCHITECTURAL CONCEPTS - RENDERED VIEWS	46
	ARCHITECTURAL CONCEPTS - SECTION VIEWS	48
	ARCHITECTURAL CONCEPTS - LANDSCAPE PLAN / REF.	50
05.	CODE DEPARTURES	52
	PREFERRED SCHEME: NO DEPARTURES REQUESTED	52
	REFERENCE IMAGES / WORK SAMPLES	53

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2432 & 2436 NW 56TH STREET



PROJECT DESCRIPTION.

The proposed multi-family condominium project is located on NW 56th Street in Ballard and does not have an alley access. It is in the MR-RC zone and is part of the Ballard Hub Urban Village. The property is composed of two lots; 2432 and 2436 NW 56th St. A duplex currently occupies each lot and both will be removed as part of this proposal.

The Affordable Housing Incentive Program will be utilized providing 2-3 affordable housing units while also achieving the maximum height and FAR allowed by the code.

As currently configured the project consists of 57 condominium units (one and two bedrooms) comprising eight stories. Although no parking is required by code (urban village and frequent transit) this proposal provides for two levels of below grade parking providing 48 stalls. There will be a large roof deck amenity area, individual decks for each unit and individual outdoor spaces for ground floor units.

Due to the lack of an alley both parking and pedestrian access will be from 56th.

PROJECT #.	3028825
LOT AREA.	10,000 SF
PROPOSED DWELLING TYPE.	APARTMENT (CONDOMINIUM)
RESIDENTIAL UNIT #.	57 UNITS
RESIDENTIAL SQUARE FOOTAGE.	40,318 SF
GROSS FLOOR AREA.	41,695 SF ALLOWED = 4.25 (10,000) = 42,500 SF
BUILDING HEIGHT.	75' (8 STORIES)
PARKING.	48 STALLS

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

9-BLOCK STUDY

SURROUNDING COMMUNITY

01. PROJECT INFORMATION

02. SITE ANALYSIS

03. DESIGN STANDARDS

04. BUILDING DESIGN

05. CODE DEPARTURES



VICINITY MAP

LANDMARKS & TRANSPORTATION

● BUS STOPS ●●●●● BIKE LANES — SITE



1. NEW NORDIC HERITAGE MUSEUM



2. BALLARD FARMERS MARKET



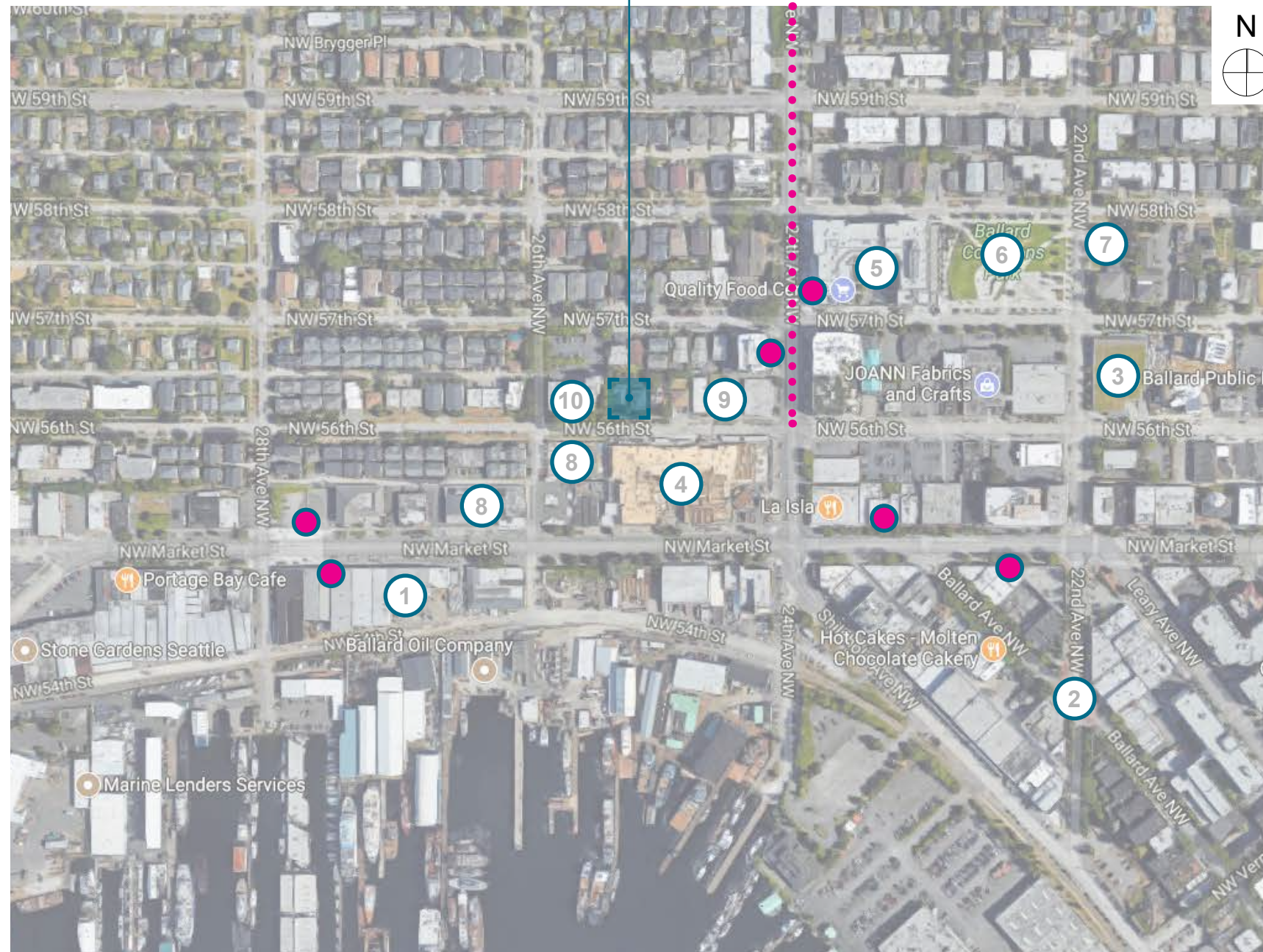
3. SEATTLE PUBLIC LIBRARY



4. AMLI MARK 24 APARTMENTS



5. ON THE PARK APARTMENTS



VICINITY MAP.



6. BALLARD COMMONS PARK



7. ST. LUKES EPISCOPAL CHURCH



8. LIMBACK LUMBER



9. MERRILL GARDENS BALLARD



10. BALLARD HOUSE

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

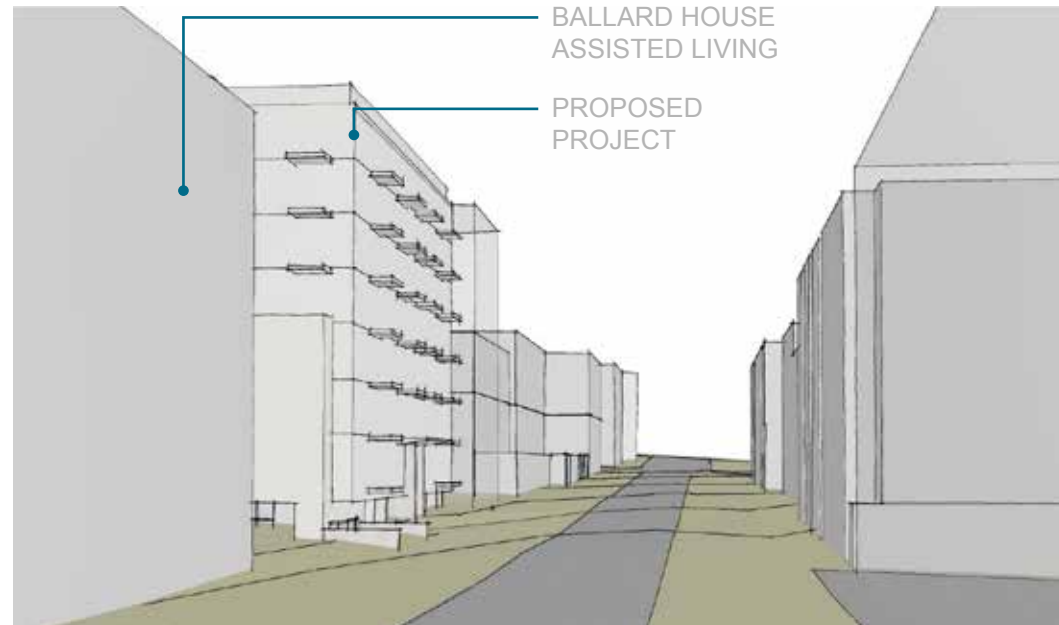
04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

NEIGHBORHOOD STUDY

56TH STREET MASSING

01. PROJECT INFORMATION



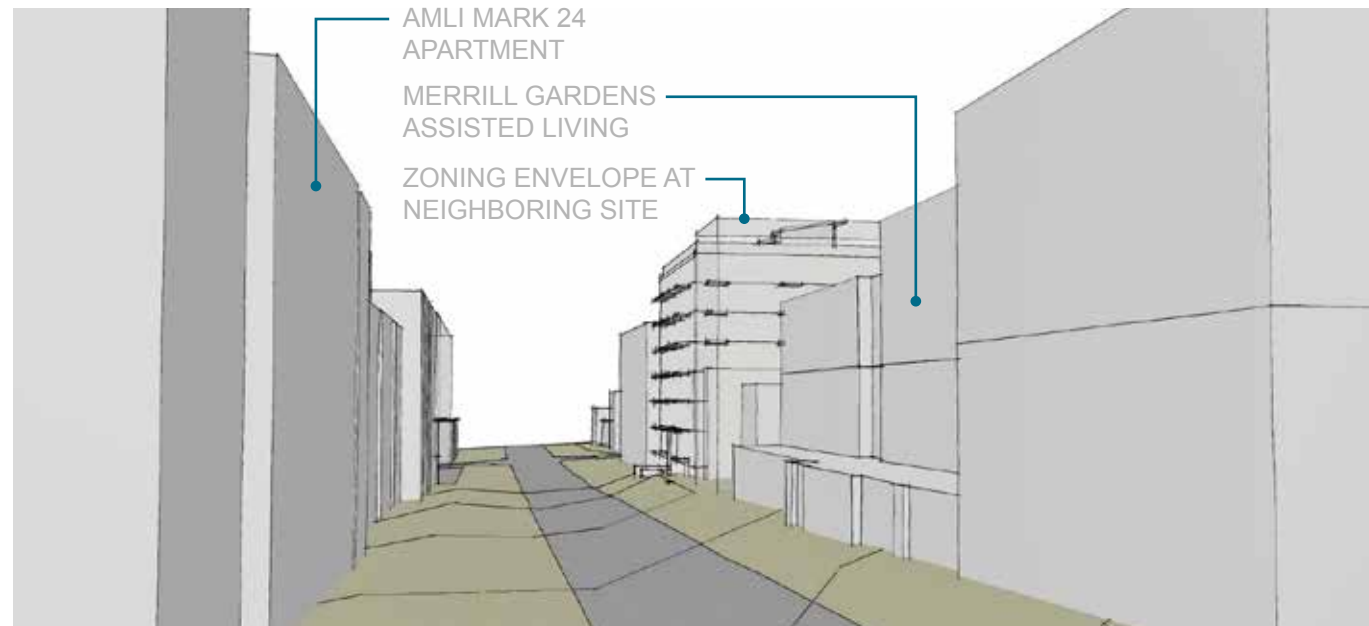
The block of NW 56st St between 24th and 26th Avenues is primarily composed of large scale housing developments of 6 and 7 stories in height. Other than the site of the proposed project there is only one small scale duplex structure left on this block (just west of the proposed site). The Limback Lumber site on the southwest corner is zoned to allow a complex similar in scale to the neighboring Mark24 apartment building.

02. SITE ANALYSIS

03. DESIGN STANDARDS

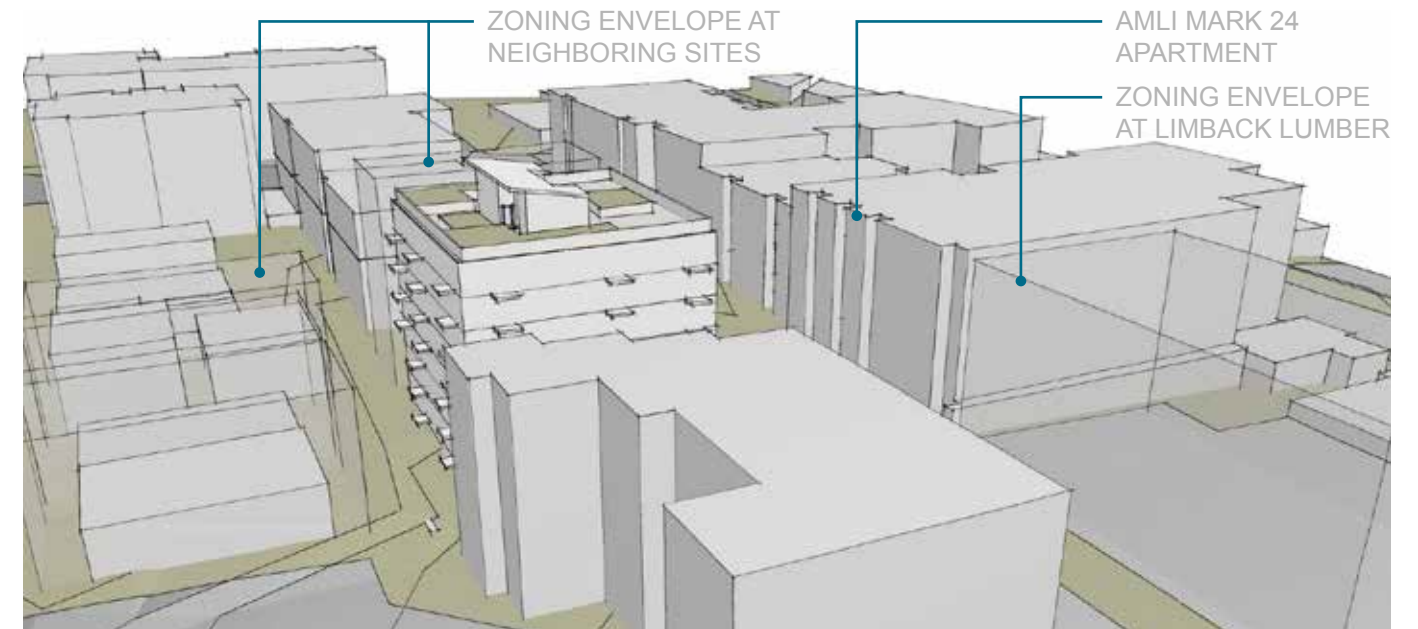
56TH STREET LOOKING EAST.

04. BUILDING DESIGN

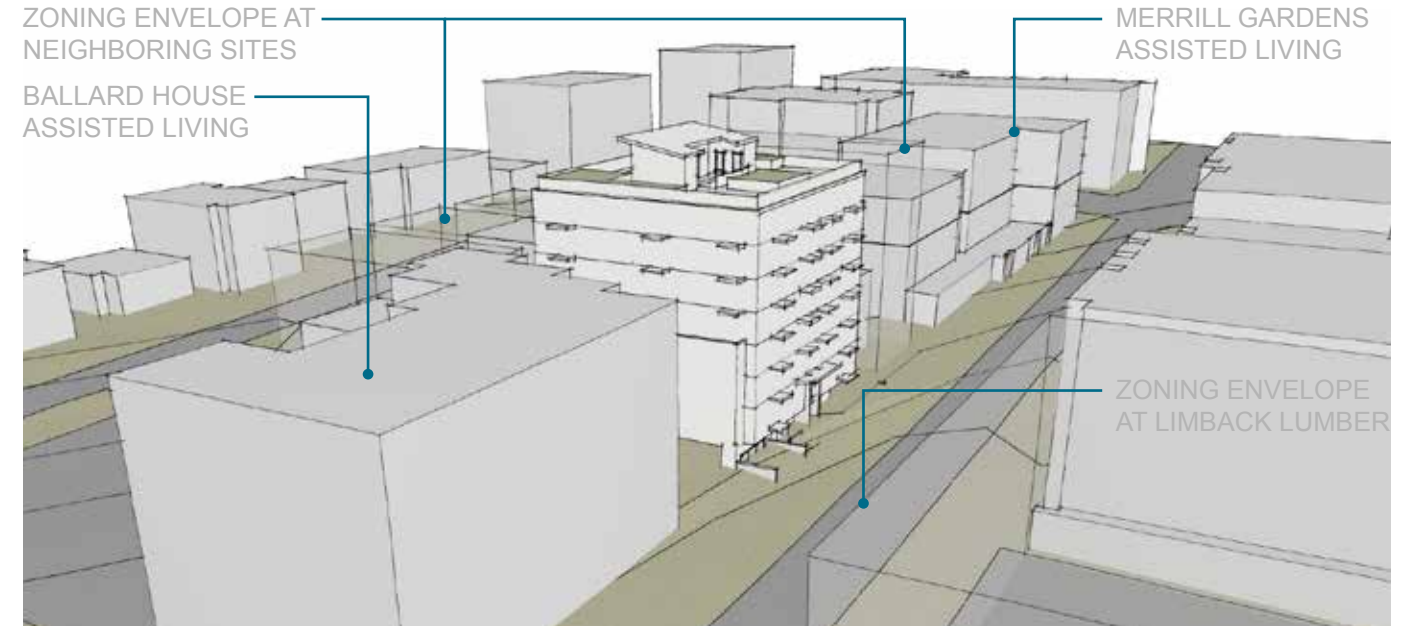


56TH STREET LOOKING WEST.

05. CODE DEPARTURES



ABOVE FROM NORTH WEST.



ABOVE FROM SOUTH WEST.

NEIGHBORHOOD STUDY

56TH STREET ELEVATIONS

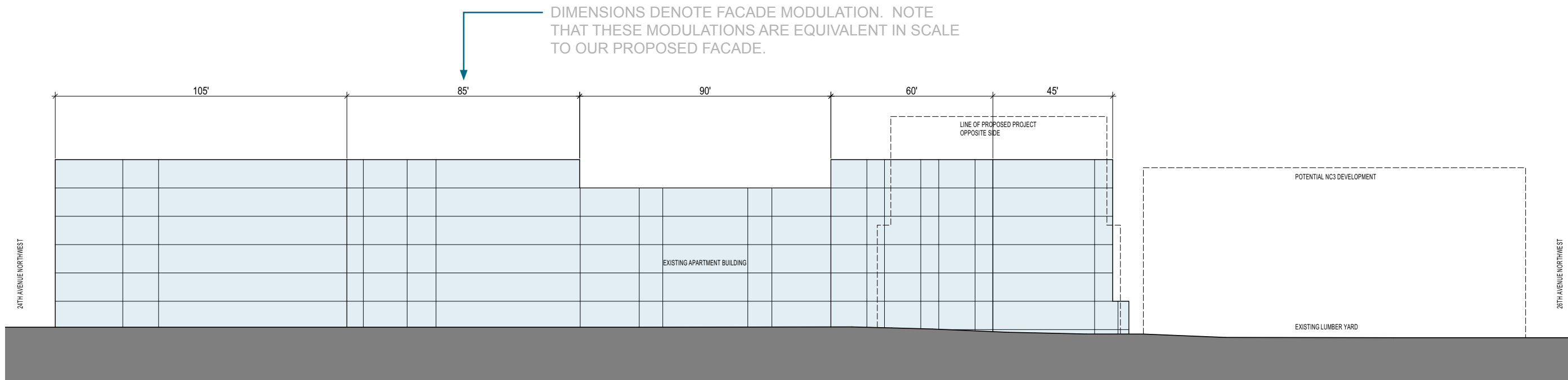
01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES



NW 56TH STREET LOOKING SOUTH.



NW 56TH STREET LOOKING NORTH

NEIGHBORHOOD STUDY

NW 56TH STREET CONTEXT IMAGES

01. PROJECT INFORMATION

- NW 56th Street consists primarily of multi-story residential structures that maintain the street edge.
- The Mark24 apartments on the south side of the block provides some private outdoor space for ground floor units.
- Merrill gardens provides a large scale pedestrian entrance, a parking entrance and a trash room access along the street level.
- The duplex just west of the proposed site provides smaller scale character and residential design elements to an otherwise more contemporary urban character.

02. SITE ANALYSIS

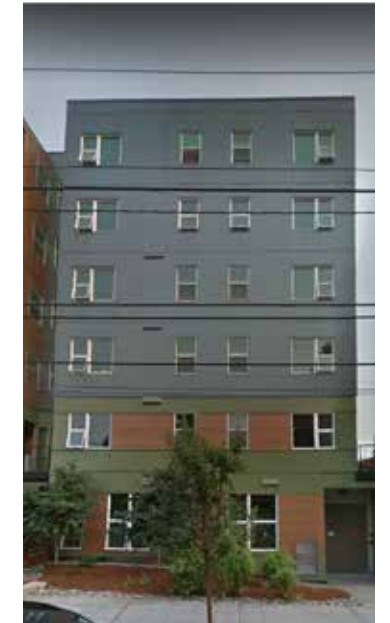
03. DESIGN STANDARDS

04. BUILDING DESIGN

05. CODE DEPARTURES



MARK 24 APARTMENT.



BALLARD HOUSE ASSISTED LIVING.



DUPLEX.

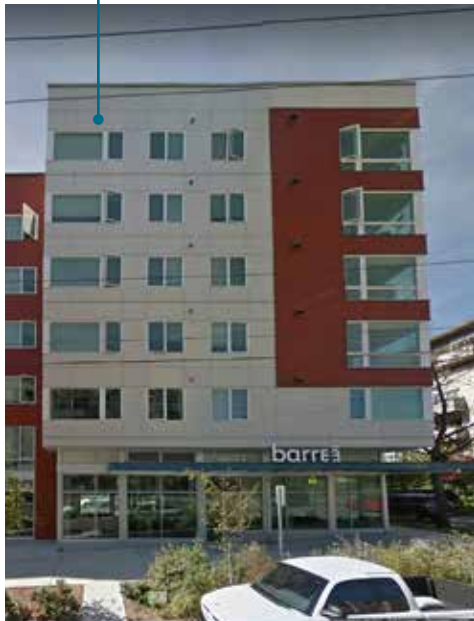


MERRILL GARDENS ASSISTED LIVING.



NEIGHBORHOOD STUDY

SURROUNDING AREA CONTEXT IMAGES



FACADE SCALE TYPICAL THROUGHOUT BALLARD.

RHYTHMIC FACADE ARTICULATION

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS



DUPLIX

APARTMENT

BALLARD HOUSE
ASSISTED LIVING

PARKING

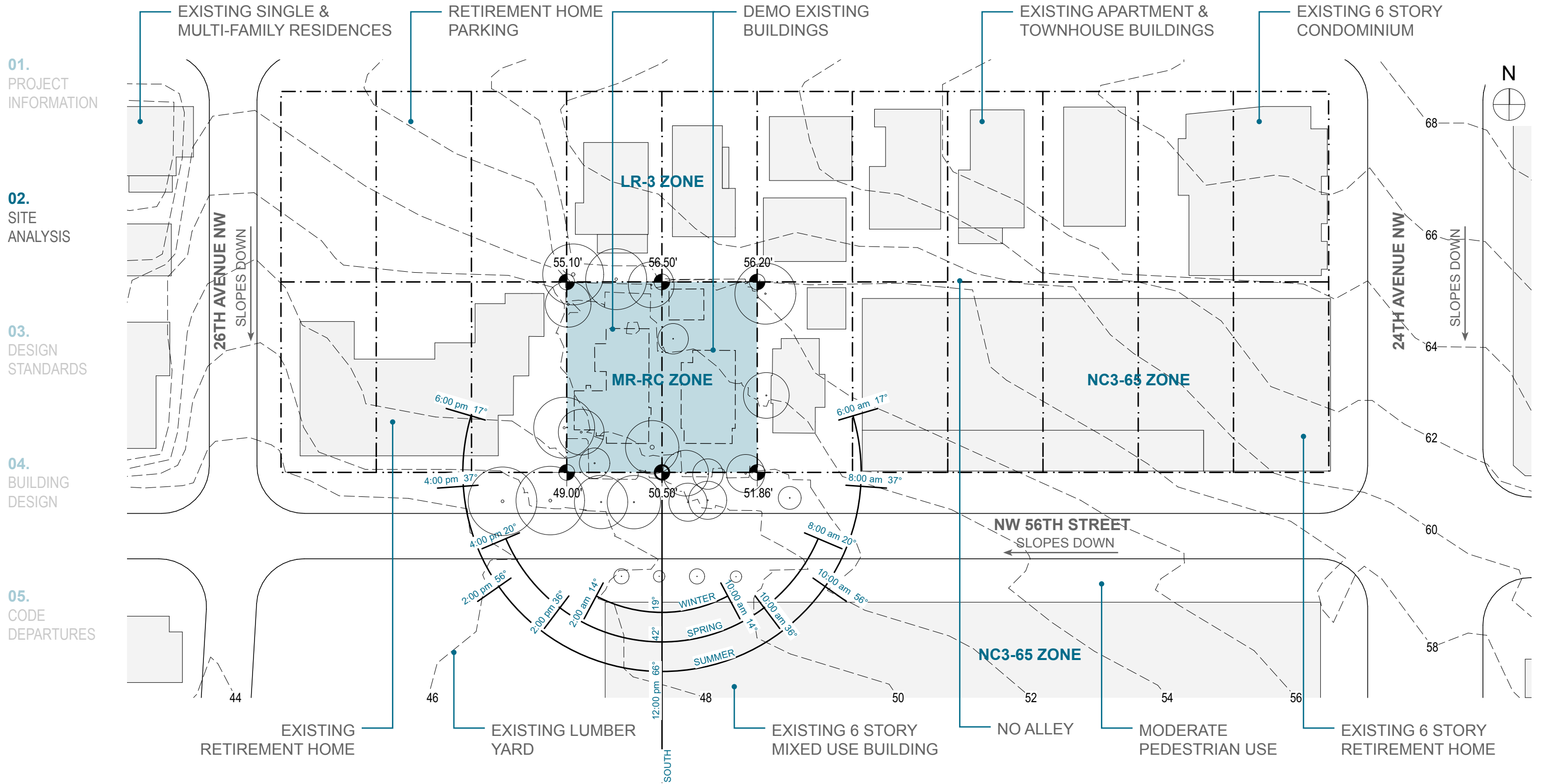
04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

VIEW OF NEIGHBORS TO THE NORTH FROM 57TH STREET.

OPPORTUNITIES & CONSTRAINTS

IMMEDIATE AREA MAP



VIEWS FROM THE SITE SITE PHOTOS



1. VIEW OF 2436 NW 56TH ST



2. VIEW FROM SOUTH WEST



3. VIEW OF SIDE YARD



4. VIEW OF BACKYARD



5. VIEW BETWEEN DUPLEXES

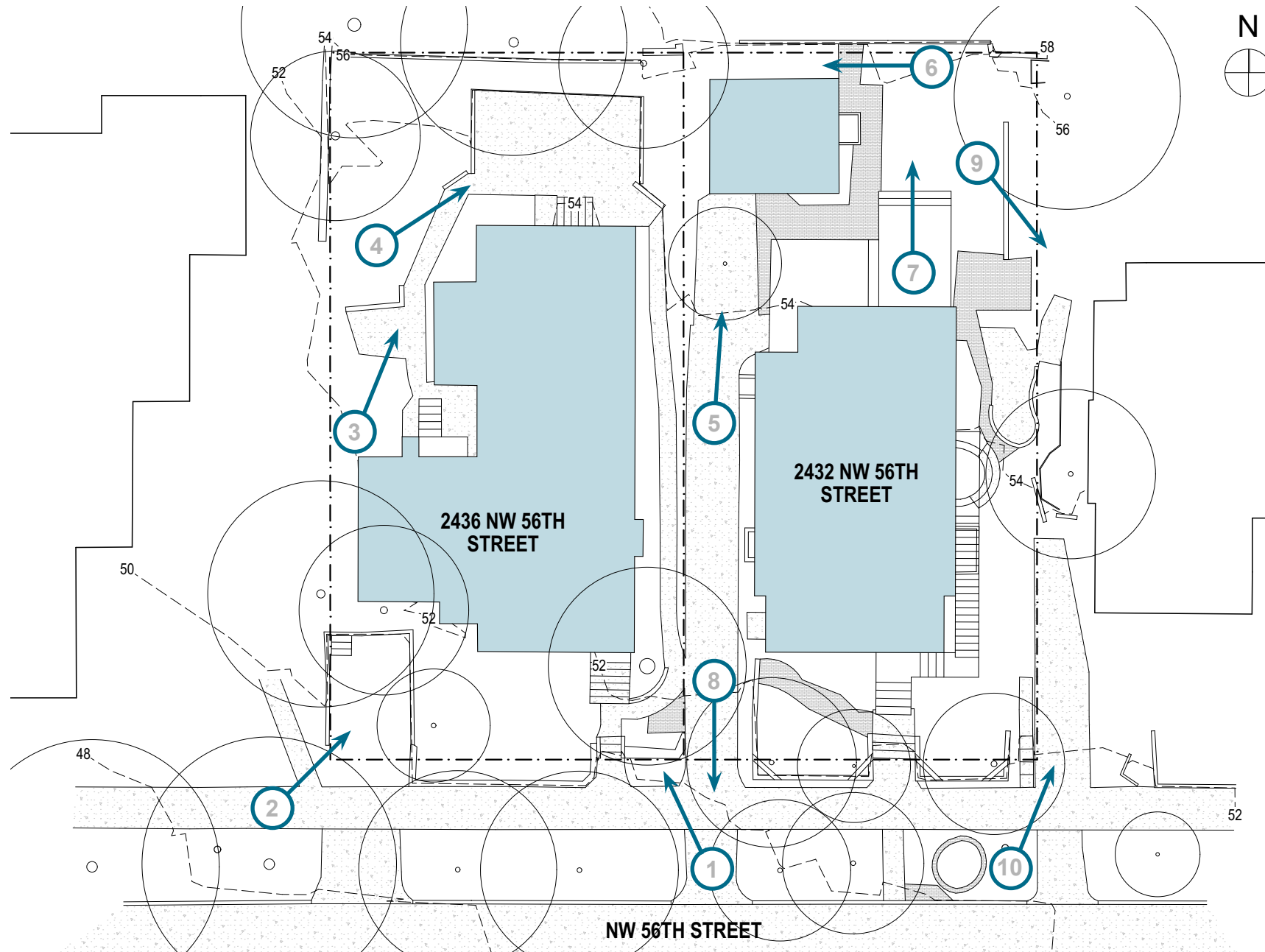


PHOTO KEY PLAN.



6. VIEW DOWN PROPERTY LINE



7. LR3 APARTMENTS TO NORTH



8. VIEW LOOKING SOUTH



9. VIEW OF NEIGHBORING DUPLEX



10. VIEW OF NEIGHBORING DUPLEX

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

CONCLUSION.

There are no large scale views either into or out from the site. The most open views are those of and from the adjacent street and from upper floors toward the north.

BLOCK FACE STUDY

NW 56TH STREET - LOOKING SOUTH

01.
PROJECT
INFORMATION

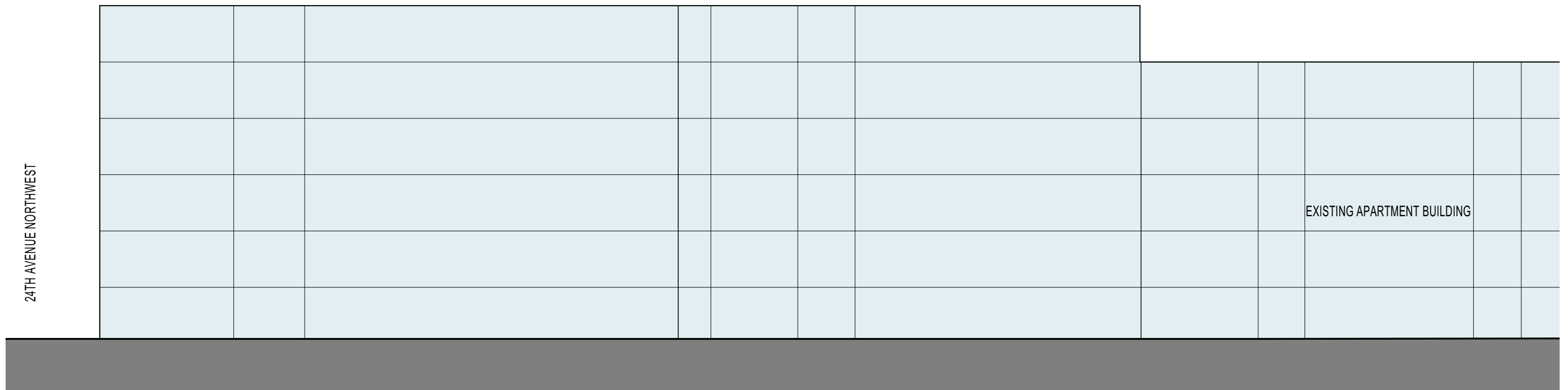


02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES



BLOCK FACE STUDY
NW 56TH STREET - LOOKING SOUTH



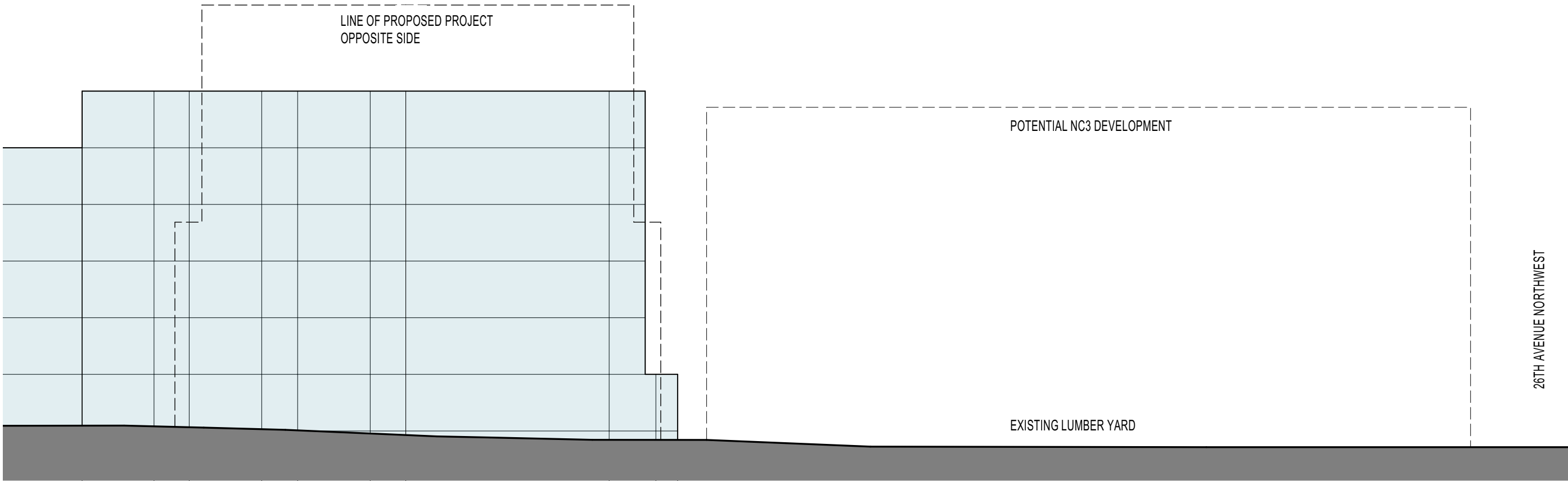
01.
 PROJECT
 INFORMATION

02.
 SITE
 ANALYSIS

03.
 DESIGN
 STANDARDS

04.
 BUILDING
 DESIGN

05.
 CODE
 DEPARTURES



BLOCK FACE STUDY

NW 56TH STREET - LOOKING NORTH

PROPOSED PROJECT SITE

01. PROJECT INFORMATION

26TH AVENUE NORTHWEST

02. SITE ANALYSIS



03. DESIGN STANDARDS

04. BUILDING DESIGN

05. CODE DEPARTURES



BLOCK FACE STUDY
 NW 56TH STREET - LOOKING NORTH



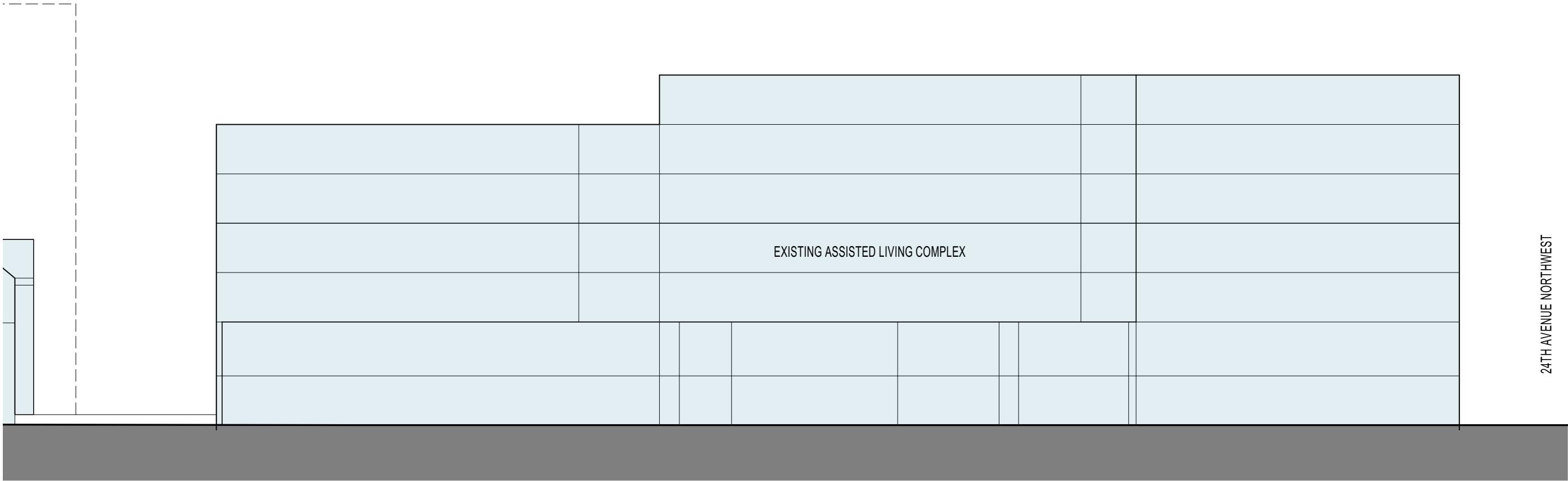
01.
 PROJECT
 INFORMATION

02.
 SITE
 ANALYSIS

03.
 DESIGN
 STANDARDS

04.
 BUILDING
 DESIGN

05.
 CODE
 DEPARTURES



SUN / SHADOW STUDY

IMPACTS ON SURROUNDINGS

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

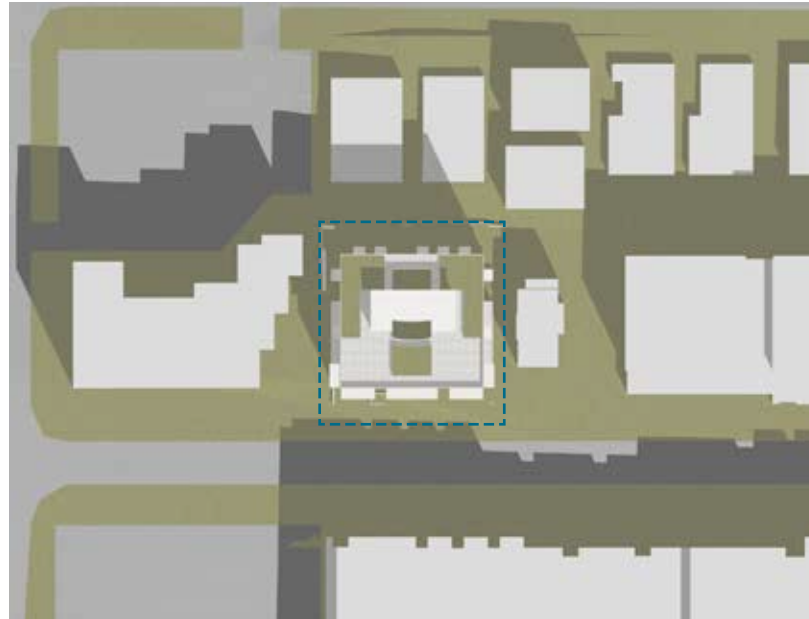
04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

MARCH 21ST. 9:00 AM



MARCH 21ST. NOON



MARCH 21ST. 3:00 PM



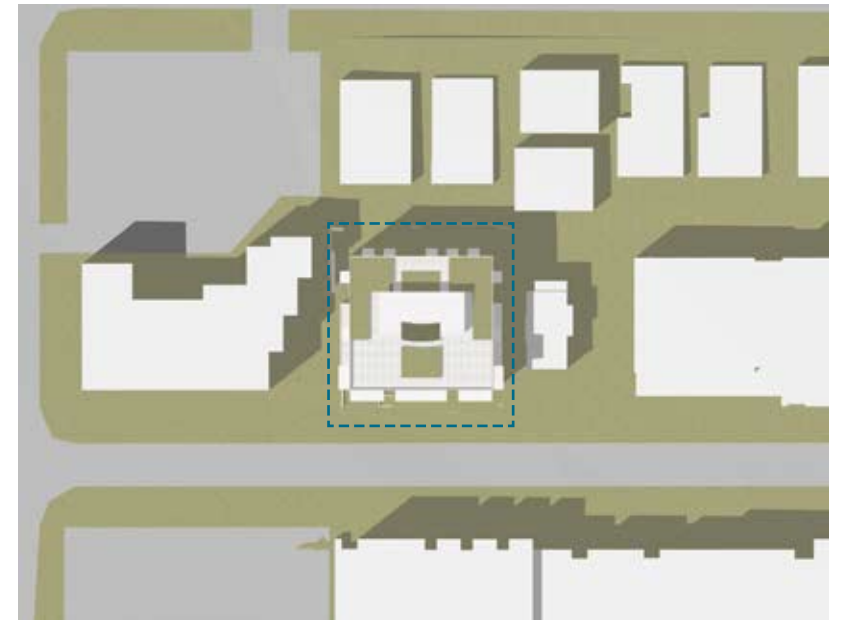
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JUNE 21ST. NOON



JUNE 21ST. 3:00 PM



SUN / SHADOW STUDY

IMPACTS ON SURROUNDINGS

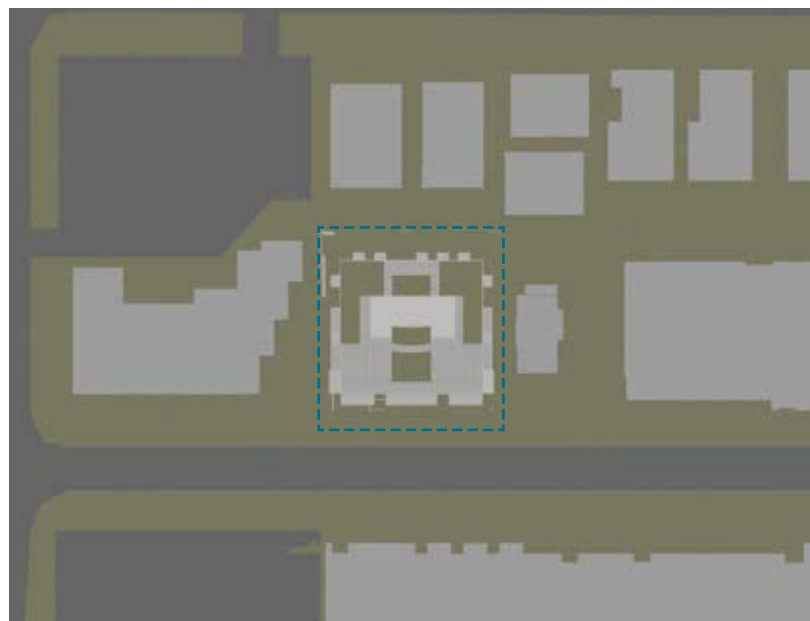
01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

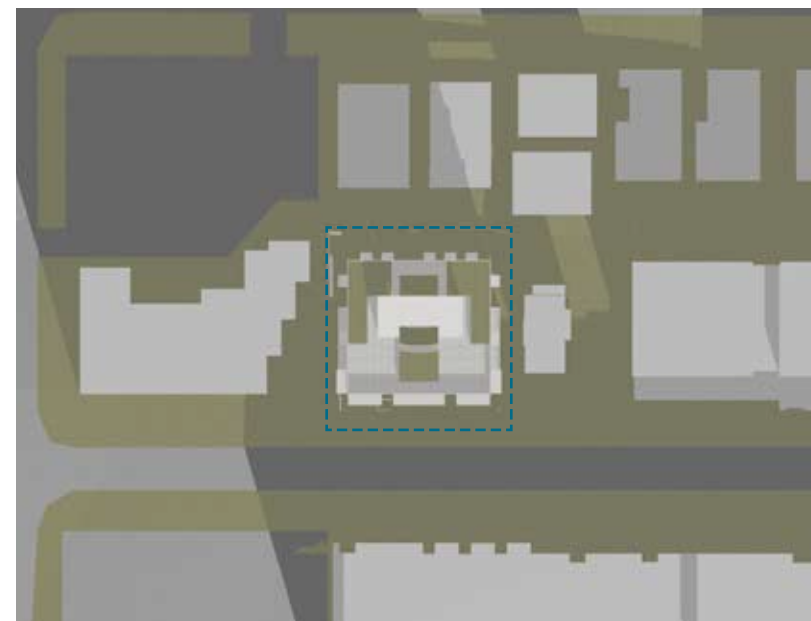
03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

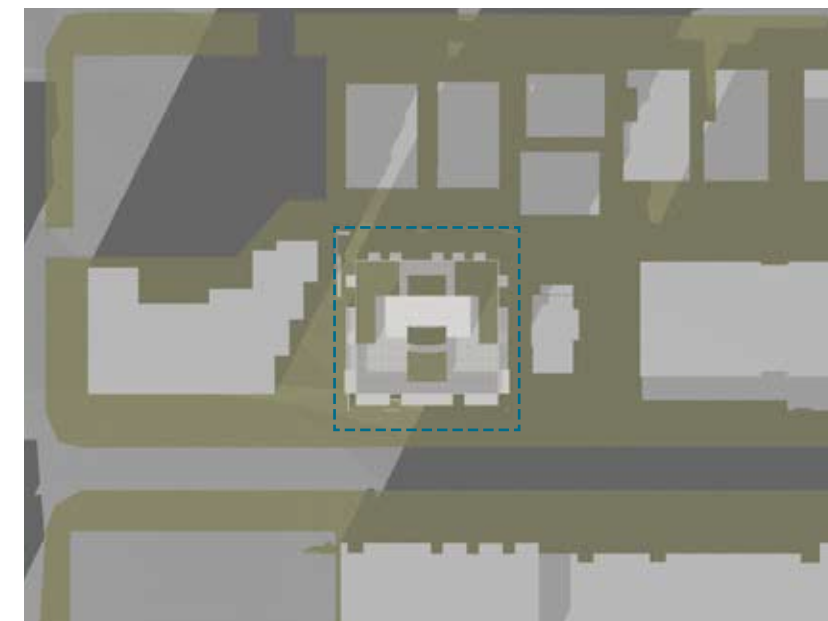
05.
CODE
DEPARTURES



DECEMBER 21ST. 9:00 AM

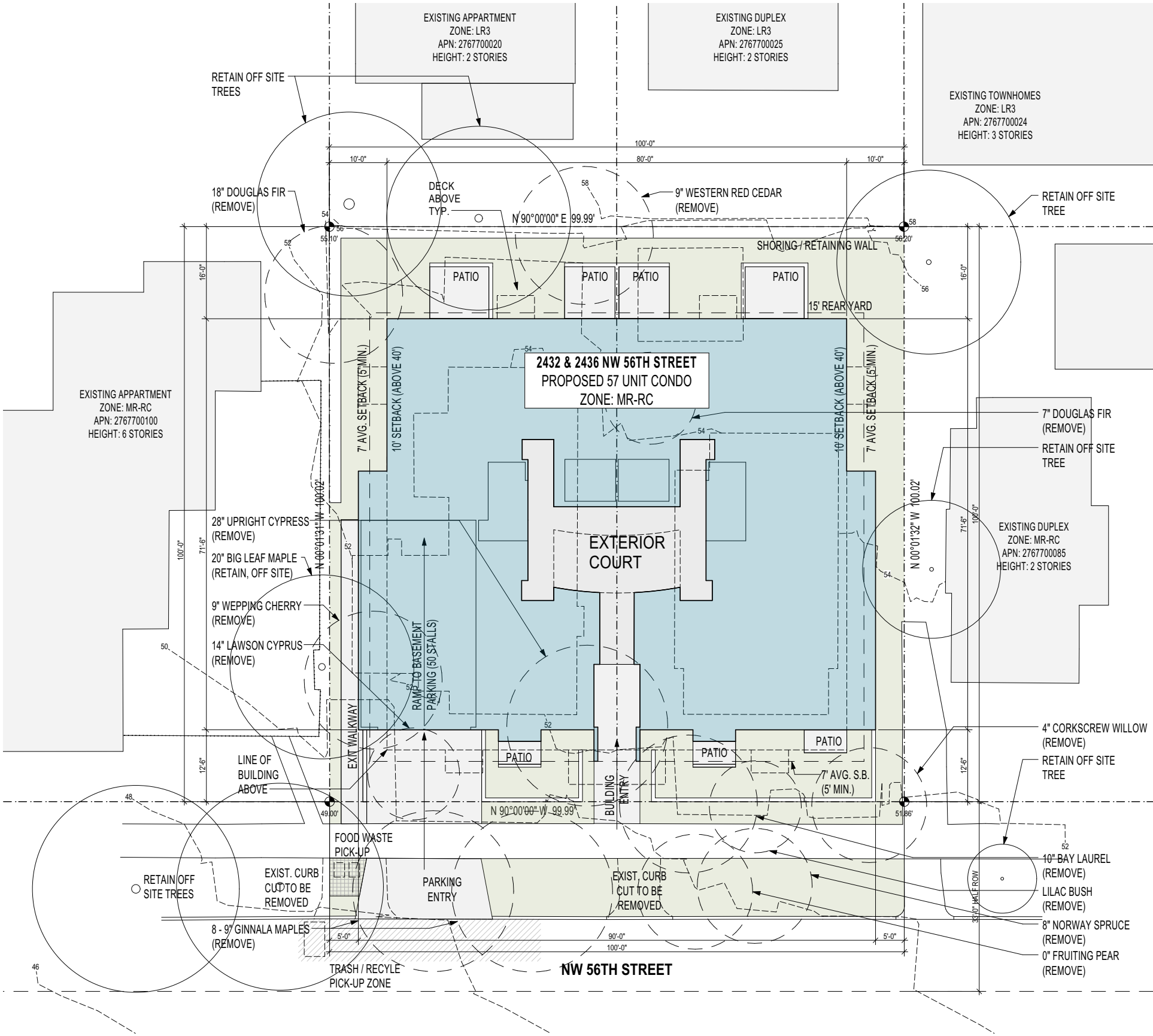


DECEMBER 21ST. NOON



DECEMBER 21ST. 3:00 PM

PROPOSED SITE CONDITIONS SITE PLAN



01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

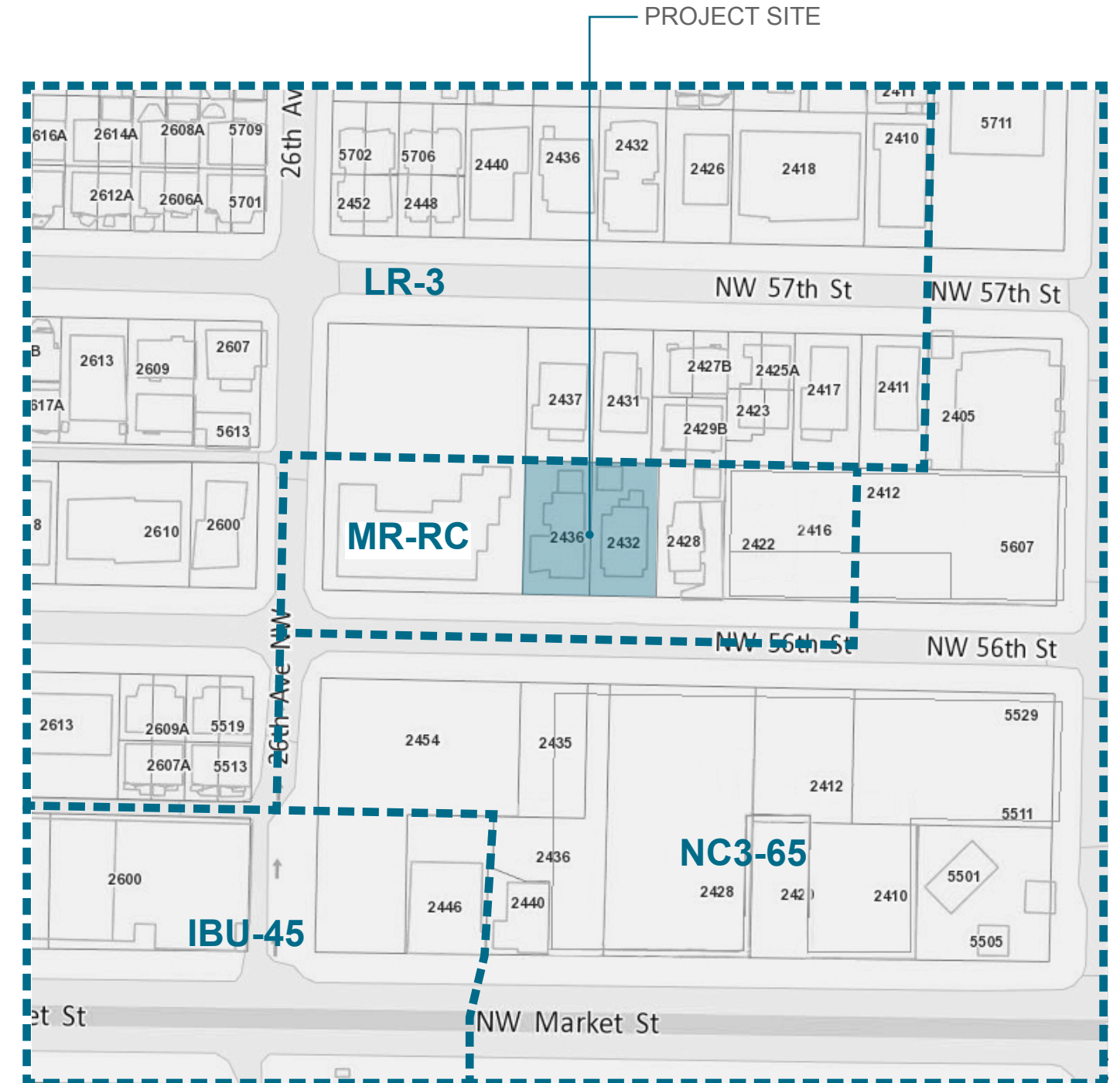
04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

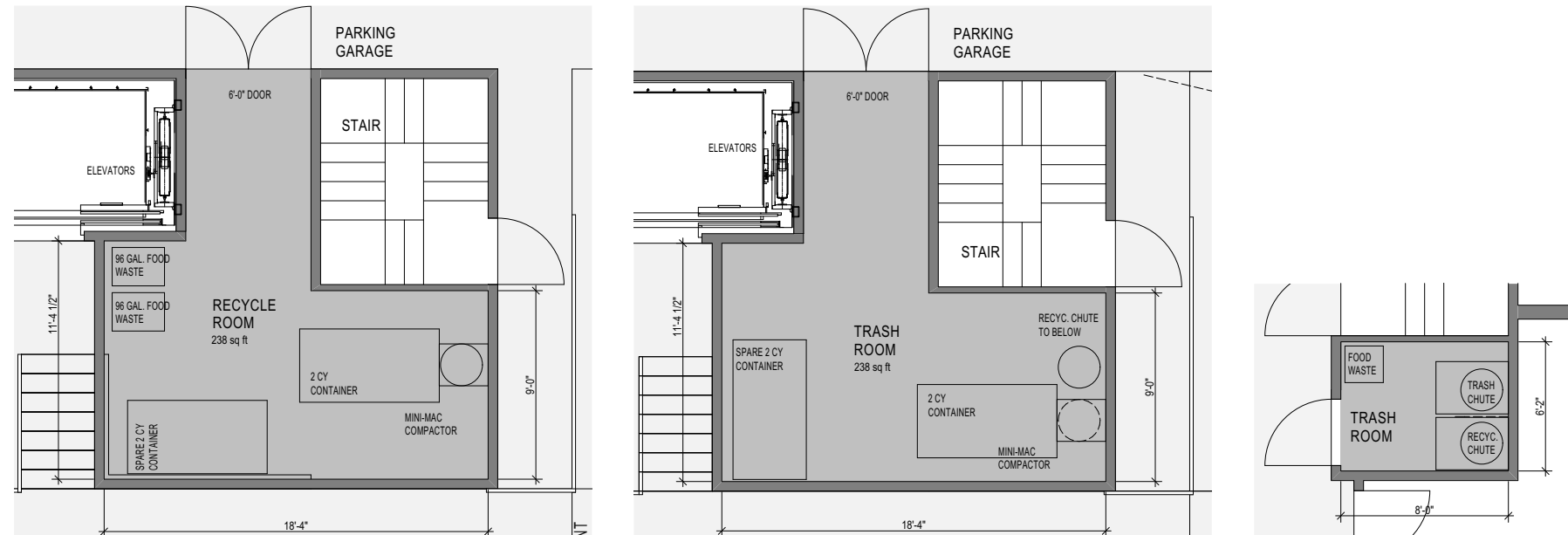
CODE RESEARCH

ZONING DATA

01. PROJECT INFORMATION	Lot Area:	10,000 SF
	Zoning:	MR-RC
	ECA:	N/A
02. SITE ANALYSIS	Commercial Use:	N/A
	Residential Use:	57 CONDOMINIUM UNITS
	FAR:	4.25 PER THE AFFORDABLE HOUSING INCENTIVE PROGRAM (TABLE B 23.45.510)
	HEIGHT:	75' BASE HEIGHT PER THE AFFORDABLE HOUSING INCENTIVE PROGRAM (TABLE B 23.45.514)
03. DESIGN STANDARDS	SETBACKS:	FRONT: 7' AVERAGE / 5' MINIMUM PER TABLE B 23.45.518
		SIDES: 7' AVERAGE / 5' MINIMUM PER TABLE B 23.45.518
		10' AVERAGE / 7' MINIMUM ABOVE 42' PER TABLE B 23.45.518
04. BUILDING DESIGN	REAR:	15' PER TABLE B 23.45.518
	PARKING:	NONE REQUIRED PER TABLE B 23.54.015 N
05. CODE DEPARTURES	PARKING ACCESS:	NO ALLEY – ACCESS OFF NW 56TH STREET
	BICYCLE PARKING:	1 BIKE PARKING SPACE PER 4 DWELLING UNITS PER TABLE D 23.54.015
	AMENITY AREA:	5% OF TOTAL GROSS RESIDENTIAL FLOOR AREA PER 23.45.522 C
	GREEN FACTOR:	A GREEN FACTOR SCORE OF 0.5 IS REQUIRED FOR THIS SITE PER 23.45.524.A.2



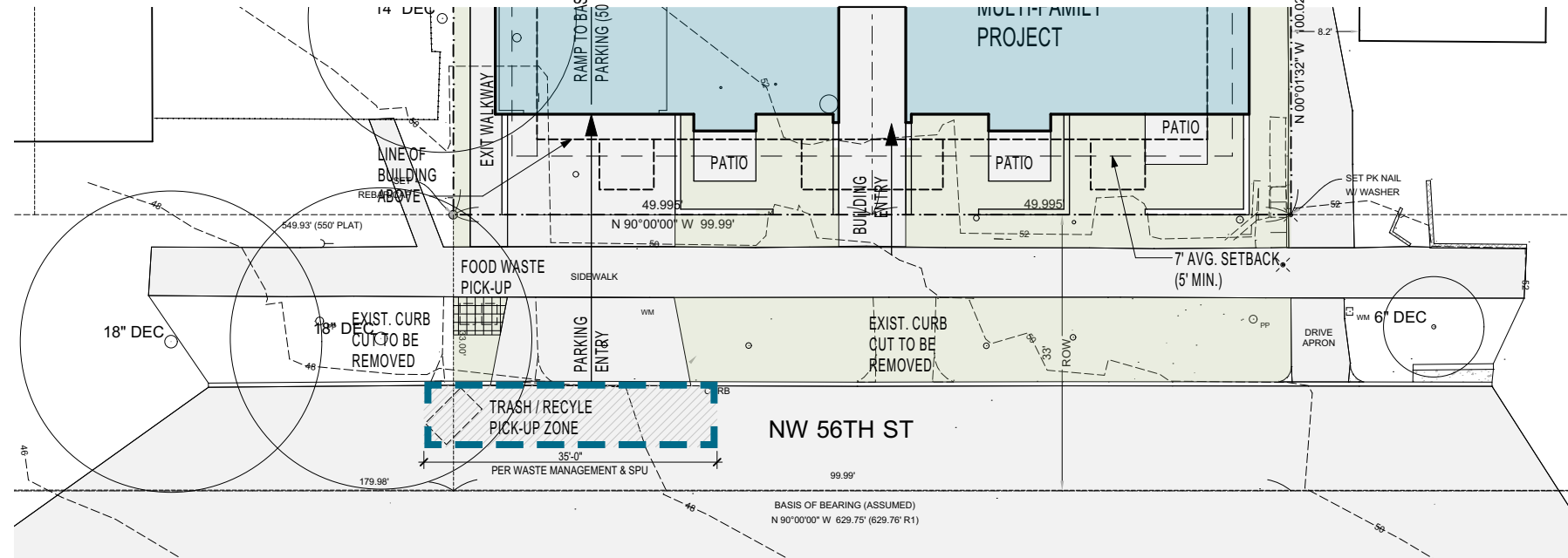
WASTE / RECYCLING STRATEGY



RECYCLING ROOM - B2.

TRASH ROOM - B1.

COLLECTION ROOM - L1-L8.



WASTE PICKUP / STAGING.

WASTE / RECYCLING STRATEGY.

- Trash, recycling and food-waste collection will occur at each floor level.
- Chutes will carry debris to the basement parking levels.
- Trash will be collected and compacted at a basement level one collection room.
- Recycling will be collected and compacted at a basement level two collection room.
- Compacted containers will be transported by facility management to the street for pick-up.
- Recycling and Trash pickup days will be staggered so only one container at a time will be on the street.
- We will pursue, with SDOT, temporary no parking during pickup periods. Waste management requires 35' for pickup. This has been combined with the entry drive to minimize impact to street parking.

This scheme will minimize the number and impact of trash containers and their access to pedestrians and occupants of NW 56th St.

NOTE:

This scheme has been reviewed and preliminarily approved by Angela Wallis - Senior Planning and Development Specialist, Solid Waste Contract at SPU.

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

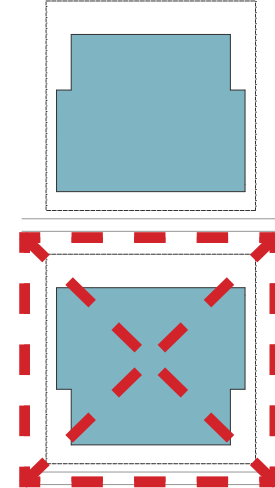
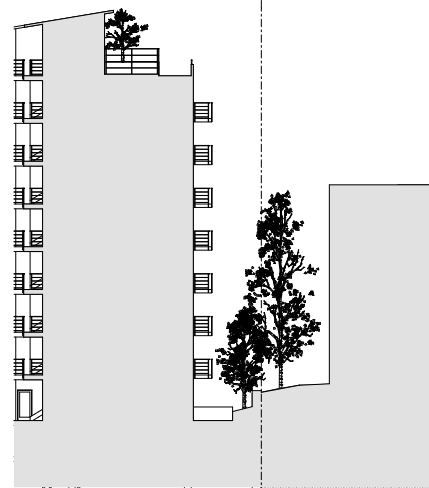
04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

DESIGN STANDARDS

DESIGN NARRATIVE

01. PROJECT INFORMATION



02. SITE ANALYSIS

03. DESIGN STANDARDS

04. BUILDING DESIGN

05. CODE DEPARTURES

CS2: Urban Pattern and Form

A.2 Architectural Presence

This building, being a mid-block residential structure on a block composed of residential structures is not a “high profile” building. Its design should be a calming presence on a street where, visually, there is already a lot going on. It seems appropriate to be a fairly simple volume emphasizing the street edge with the goal of an elegant composition of façade elements.

B.2 Connection to Street

Being a mid-block site we have one opportunity to interact with the street and the city and that is the street facing façade. We desire to maintain the street edge with a consistent façade rhythmically composed of large glazing and cantilevered balconies. The ground floor is best set back to provide privacy and opportunities for landscaping along the sidewalk. Street level private areas would enliven the streetscape.

CS2: Urban Pattern and Form

D.2 Existing Site features

The site slopes up from the street to the rear of the property a total of 9 feet. Through the use of retaining walls we are able to utilize this grade difference to minimize the impacts of our project on the LR zoned properties to the north by reducing its mass. A garage entry location to the West utilizes the slope of the street to minimize the ramp slope for access to the parking garage.

D.4 Massing Choices

In transitioning to the LR zoned properties to the North additional building setback in the rear would be beneficial by incorporating landscaping that will screen and buffer the mass of our building. Being wider to the street and narrower to the rear would also benefit the neighbors to the north. A high percentage of glazing on the North elevation would increase transparency and thus reduce the perceived mass of the structure.



CS3: Architectural Context and Character

A.2 Contemporary Design

This project will incorporate modern design and materials in keeping with current explorations throughout the Ballard neighborhood. The design incorporates large window areas, cantilevered steel balconies, metal siding, panelized siding and clear forms.

A.4 Evolving Neighborhoods

Building upon other recent design trends in this evolving neighborhood of Ballard, this building explores contemporary design features but seeks to create a calming cohesive presence emphasizing composition and rhythm over bold forms.



PL3: Street-Level Interaction

A.1 Design Objectives

Emphasize the pedestrian building entry by centering it on the façade and accenting with an entry canopy. Access directly to the street with paved surfacing adjacent to landscape areas. Privacy to adjacent ground floor residences should be screened/ defined by retaining walls and planting. Continuity to the central external circulation court would provide a positive relationship of the exterior to the interior.

A.2 Ensemble of Elements

An entry portal integrated with other façade elements would a clear point of entry. Retaining walls, planting and paving should be used to emphasize the entry approach, provide privacy to adjacent private patios. The proximity of these private areas would enliven the street and building entry.

B.4 Interaction

A central exterior court would be a location for residents to meet and gather, and allow for interactions from floor to floor. The main building entry should lead directly to this court as an extension of this interaction. Cantilevered balconies will serve to connect individual units with the streetscape.

DC2: Architectural Concept

A.1 Site Characteristics and Uses

The street façade should emphasize the street edge and take advantage of views and interaction opportunities. The rear façade should be narrower in deference to the LR zoned properties to the North.

B.2 Façade Composition

The building should be conceived as a complete structure with the rear façade having much of the same character as the street façade. The sides should also maintain this cohesive approach while reducing the glazing area for privacy to neighboring structures. The composition of elements (windows, balconies, canopies) should be clear and rhythmic while relating to the internal uses.

C.1 Visual Depth and Interest

Cantilevered balconies create texture and articulation in keeping with many other Ballard residential projects. Increasing the setback of the ground level allows for maximum landscaping and the opportunity to introduce bay windows enlivening this ground level façade with an additional layer of human scaled massing.

DC4: Exterior Elements and Finishes

A.1 Exterior Finish Materials

The exterior should be composed of a limited number of exterior materials related to form. Metal siding, panelized siding, wood elements will clarify the form of the building and be consistent on all facades. The panel pattern should be designed to relate directly to the window arrangement.

A.2 Climate Appropriateness

The metal siding and panel siding are highly durable and will be designed for building envelope integrity. Darker colors will be more easily maintained. Being prominent, the balconies will be designed in steel so as to not visibly degrade over time.

D.1 Choice of Plant Materials

The entire site will be re-landscaped in a manner that is consistent with the project design and integrates appropriately with neighboring structures. Screening, security and an enjoyable natural environment will be the main goals. New street trees will be planted in consultation with SDOT.

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

DESIGN GOALS

INSPIRATION

01. PROJECT INFORMATION

DESIGN GOALS:

- Maintain the street edge.
- Create a cohesive massing that is calm and respectful.
- Provide a transition to the LR zoned properties to the North.
- Setback the ground level to allow for maximum landscaping along sidewalk.

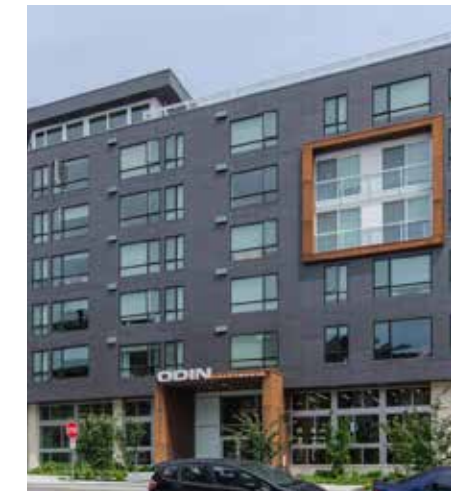
02. SITE ANALYSIS

03. DESIGN STANDARDS

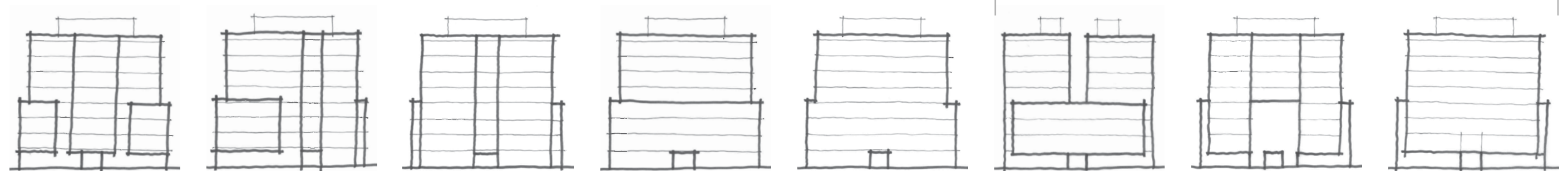
- Emphasize the main pedestrian entry.
- Relate units primarily to the street and rear yards.
- Reduce impact of vehicle entrance.
- Use corner articulation to reduce mass and enhance views.
- Utilize cantilevered balconies to provide façade articulation, contemporary aesthetic & street interaction.

04. BUILDING DESIGN

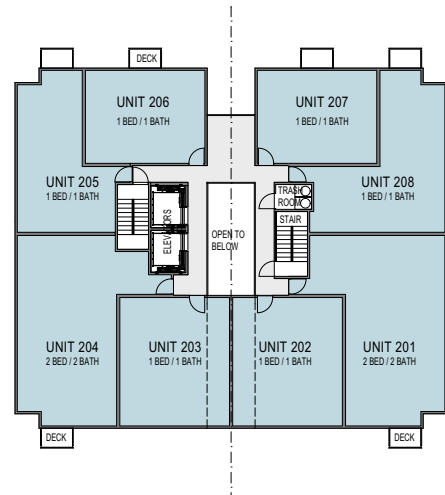
05. CODE DEPARTURES



PRELIMINARY MASSING STUDIES.



OPTION 1 SLOT DESIGN



UNIT AREA: 40,183 sq ft
 GROSS FLOOR AREA: 43,263 sq ft
 RESIDENTIAL FLOOR AREA: 41,823 sq ft

POSITIVES:

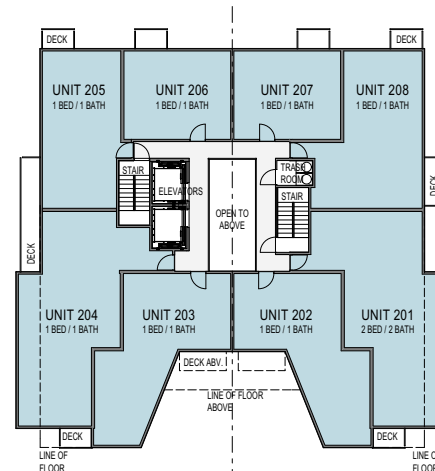
- Modulation of the street facing façade.
- Separation of the rear façade into two structures.
- Slot defines building entry at street and from afar.
- Slot provides light and air to circulation areas.

NEGATIVES:

- A more vertical expression emphasizes the building height.
- Reduced side yard building articulation.
- 16 units have primary outlook to side yards reducing privacy toward neighbors.
- More building area in side yards. A setback departure is required.



OPTION 2 COURT DESIGN



UNIT AREA: 41,147 sq ft
 GROSS FLOOR AREA: 44,504 sq ft
 RESIDENTIAL FLOOR AREA: 42,402 sq ft

POSITIVES:

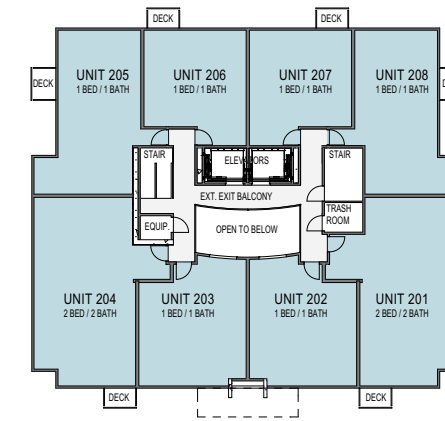
- Courtyard provides entry definition.
- Courtyard provides openness to street and cohesive landscape area.
- Increased depth allows sideyards to meet code requirements.
- Units primarily face north and south.

NEGATIVES:

- No front yard setback brings mass of building close to pedestrians.
- Landscaping along sidewalk is reduced.
- Street face established by other structures on NW 56th is not maintained.
- Isolates adjacent duplex structure from street.
- Req. departure for structure depth & configuration of the street facing court.



OPTION 3 PREFERRED DESIGN - CODE CONF.



UNIT AREA: 40,318 sq ft
 GROSS FLOOR AREA: 43,799 sq ft
 RESIDENTIAL FLOOR AREA: 41,695 sq ft

POSITIVES:

- Maximized streetscape area for landscaping adjacent to the sidewalk.
- Street level articulation and private outdoor spaces enliven the streetscape.
- Creates a massing similar in scale and articulation to others on the block.
- Narrow façade at rear allows openness for LR zoned properties to North.
- Main living areas to front and rear allows maximum glazing for façade transparency and more privacy to neighboring properties to East and West.
- Code conforming design.
- NEGATIVES:
- Consolidated form could be heavy if not properly modulated with glazing and finish materials.



01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

OPTION 1

DESIGN NARRATIVE / RENDERINGS

01. PROJECT INFORMATION

SLOT DESIGN:

This design arose from a desire to create a court space that connected to the exterior in plan as well as vertically and resulted in a division of the building into two distinct masses (east and west) at the upper levels. The building is divided fully at the rear. Through bifurcating the rear and front façades we mitigate some of the mass of the building in relation to the L3 zoned properties to the North and to the street. In order to accommodate this “slot” more area needs to be located in the side yard areas in order to have workable unit designs.

02. SITE ANALYSIS

POSITIVES:

- Modulation of the street facing façade.
- Separation of the rear façade into two structures.
- Slot defines building entry at street and from afar.
- Slot provides light and air to circulation areas.

03. DESIGN STANDARDS

NEGATIVES:

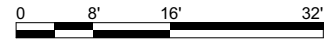
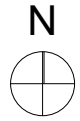
- A more vertical expression emphasizes the building height.
- Reduced side yard building articulation.
- 16 units have primary outlook to side yards reducing privacy toward neighbors.
- More building area in side yards. A setback departure is required.

04. BUILDING DESIGN

05. CODE DEPARTURES



FRONT VIEW.



OPTION 1 FLOOR PLANS

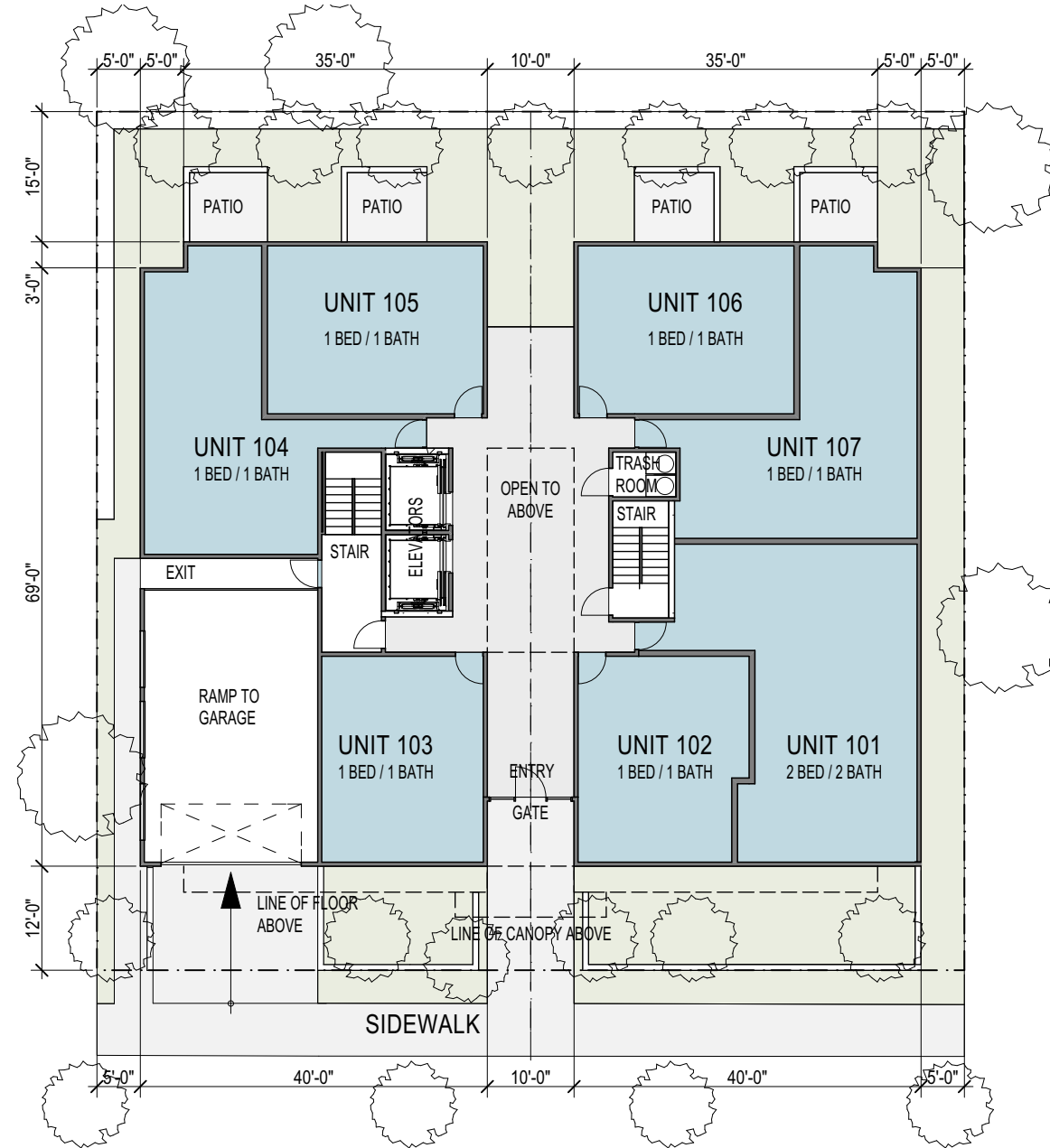
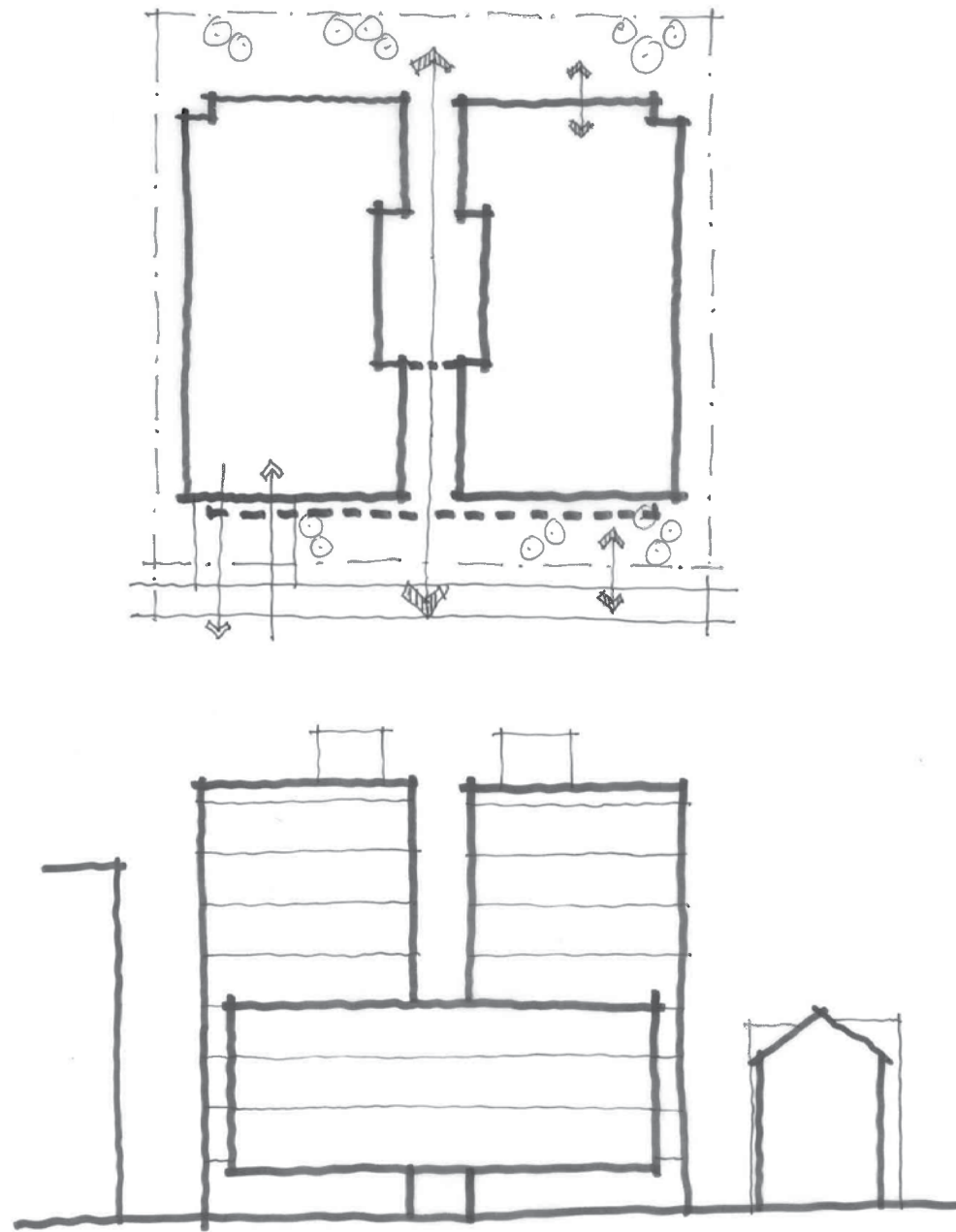
01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES



COMPOSITE FIRST FLOOR PLAN.

OPTION 1 FLOOR PLANS



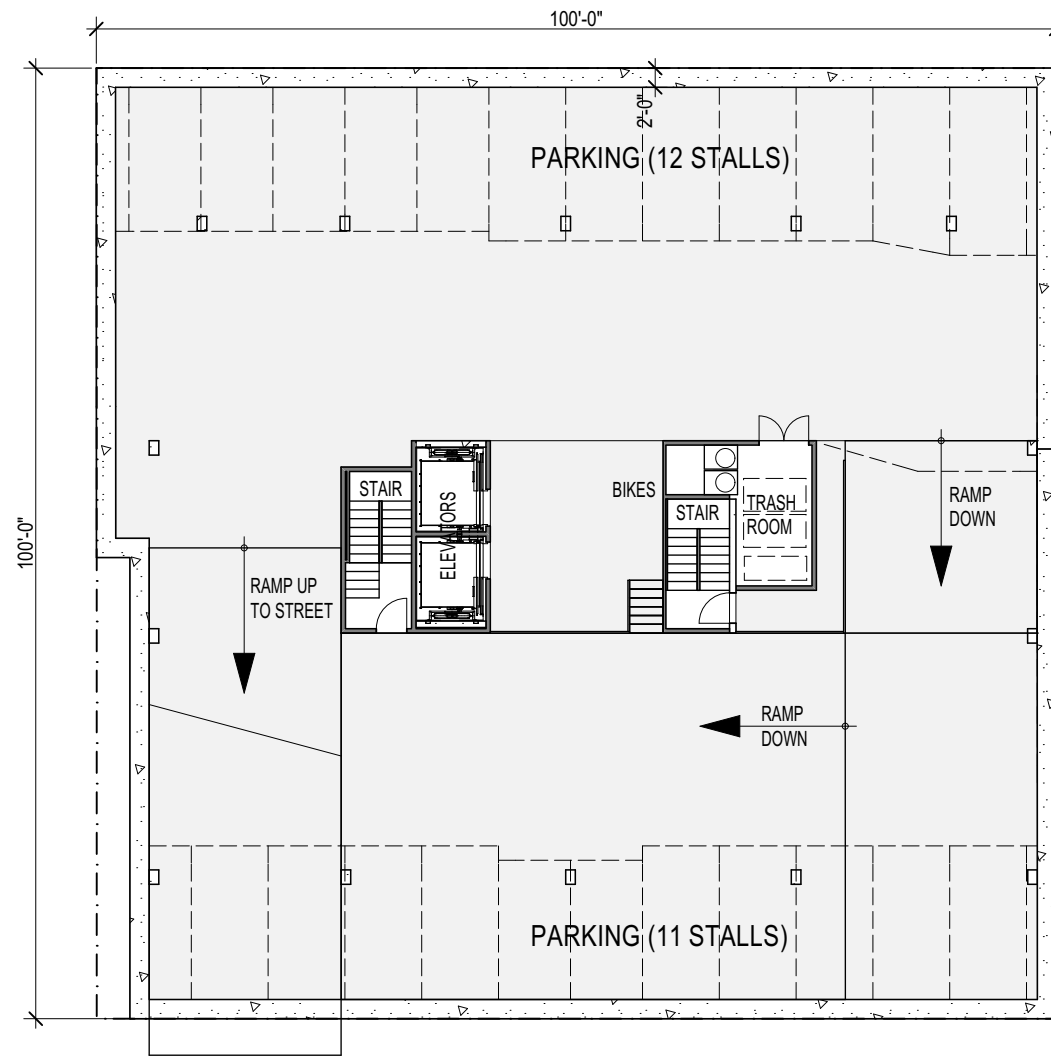
01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

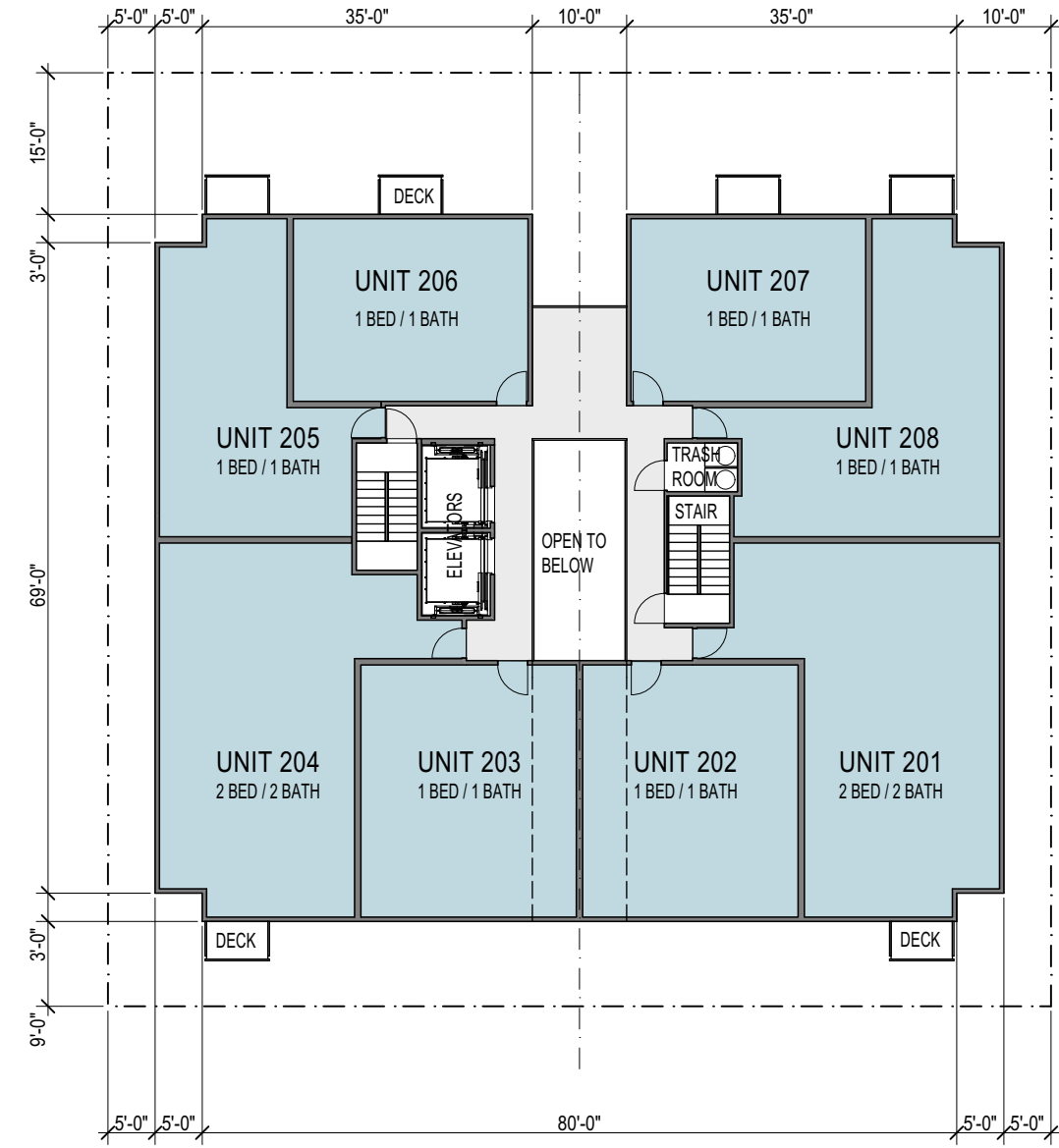
03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

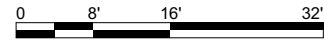
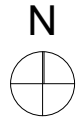
05.
CODE
DEPARTURES



GARAGE FLOOR PLAN.



SECOND - FOURTH FLOOR PLAN.



OPTION 1 FLOOR PLANS

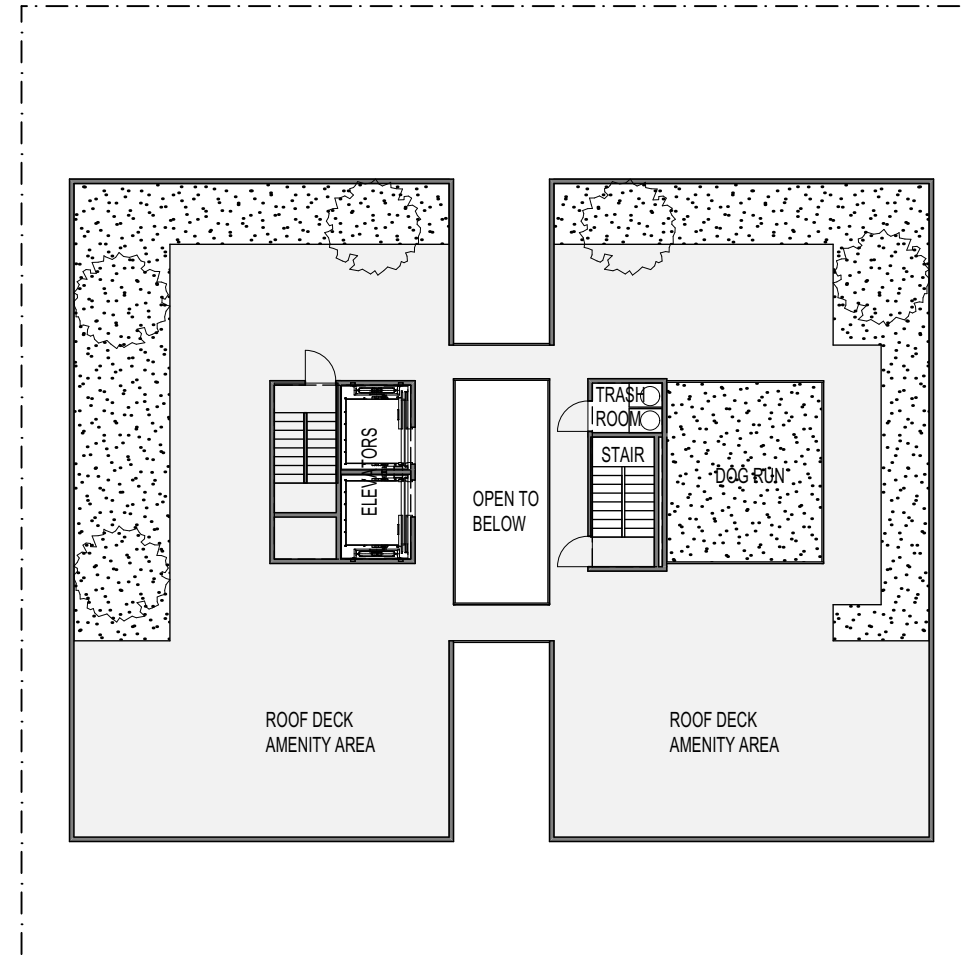
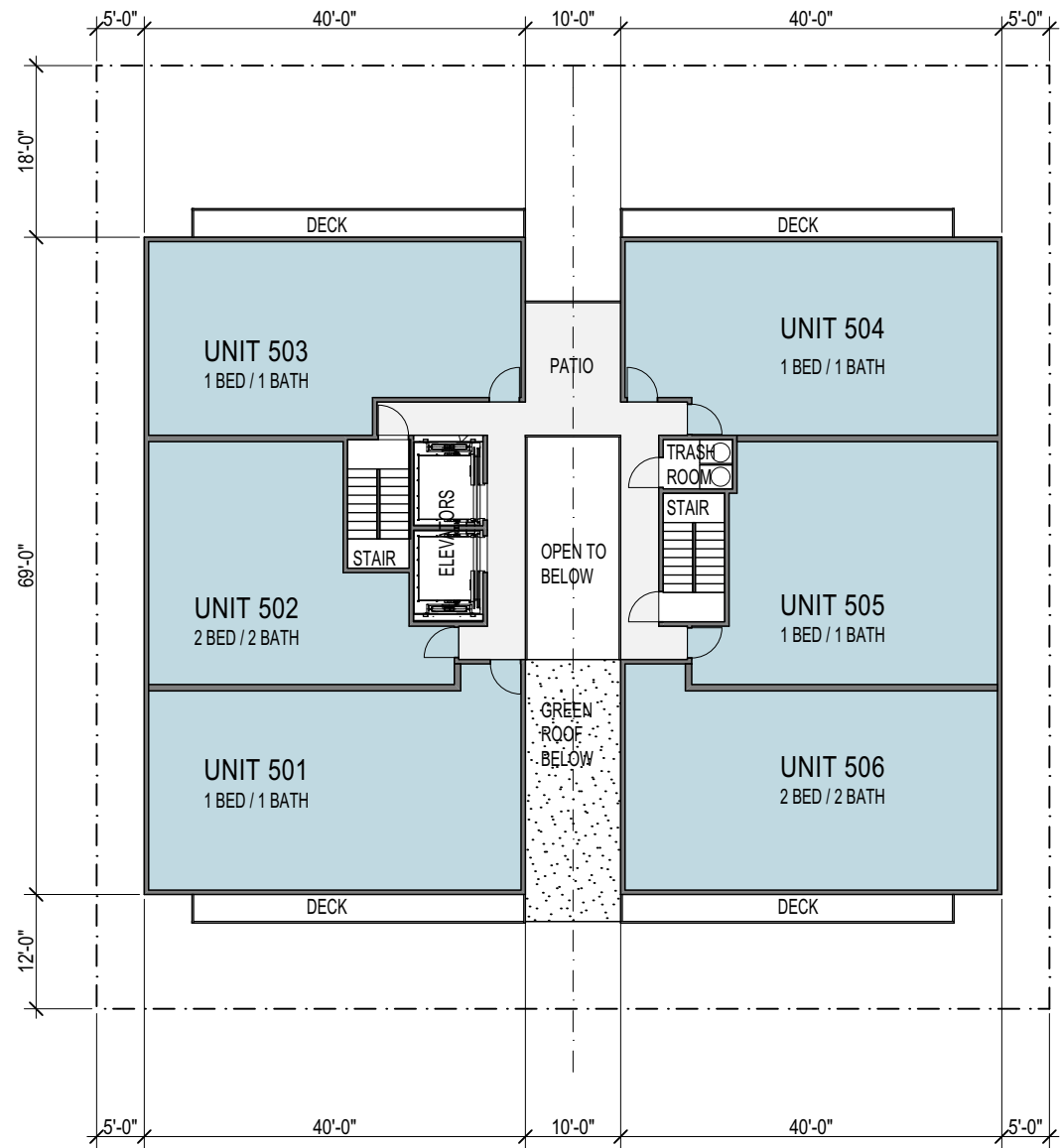
01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES



FIFTH - EIGHTH FLOOR PLAN.

ROOF DECK PLAN.

OPTION 1

ADDITIONAL IMAGES

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

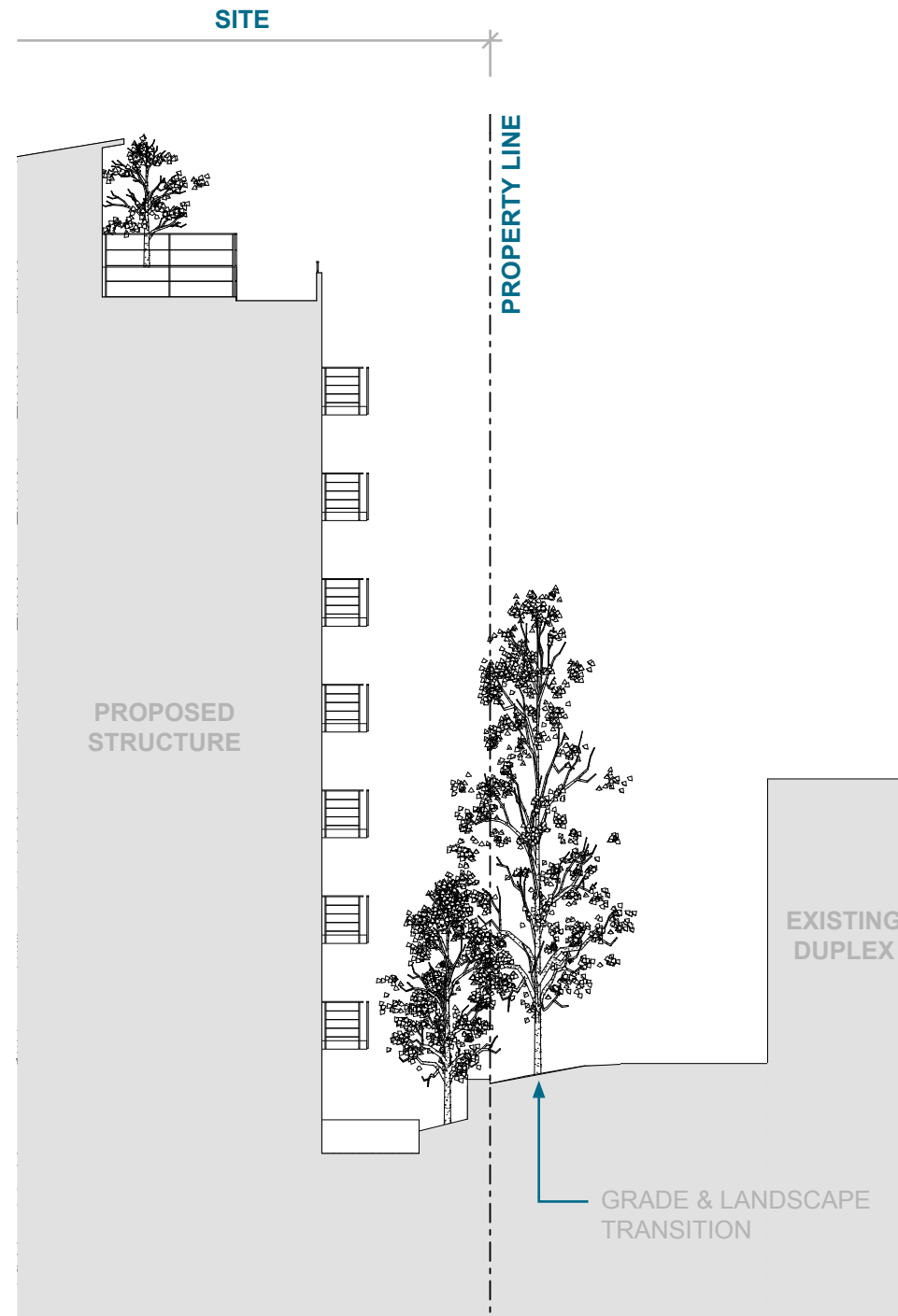
03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES



REAR VIEW FROM ABOVE.



OPTION 1

ADDITIONAL IMAGES



FRONT VIEW FROM STREET.

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

OPTION 2

DESIGN NARRATIVE / RENDERING

01. PROJECT INFORMATION

COURT DESIGN:

This scheme was conceived to consider the potential benefits of the introduction of a courtyard along NW 56th and the elimination of the front yard setback as allowed by the Land-use code (23.45.518 B). This courtyard would be utilized as the building entry and serve to modulate the street façade. The angled shape of the court allows for more functional unit layout but also provides more openness to the street.

02. SITE ANALYSIS

POSITIVES:

- Courtyard provides entry definition.
- Courtyard provides openness to street and cohesive landscape area.
- Increased depth allows sideyards to meet code requirements.
- Units primarily face north and south.
- Street façade articulation is maximized.

03. DESIGN STANDARDS

NEGATIVES:

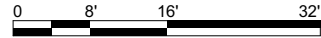
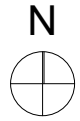
- No front yard setback brings mass of building close to pedestrians.
- Landscaping along sidewalk is reduced.
- Street face established by other structures on NW 56th is not maintained.
- Isolates adjacent duplex structure from street.
- Requires potential departures for structure depth and configuration of the street facing court.

04. BUILDING DESIGN

05. CODE DEPARTURES



FRONT VIEW.



OPTION 2 FLOOR PLANS

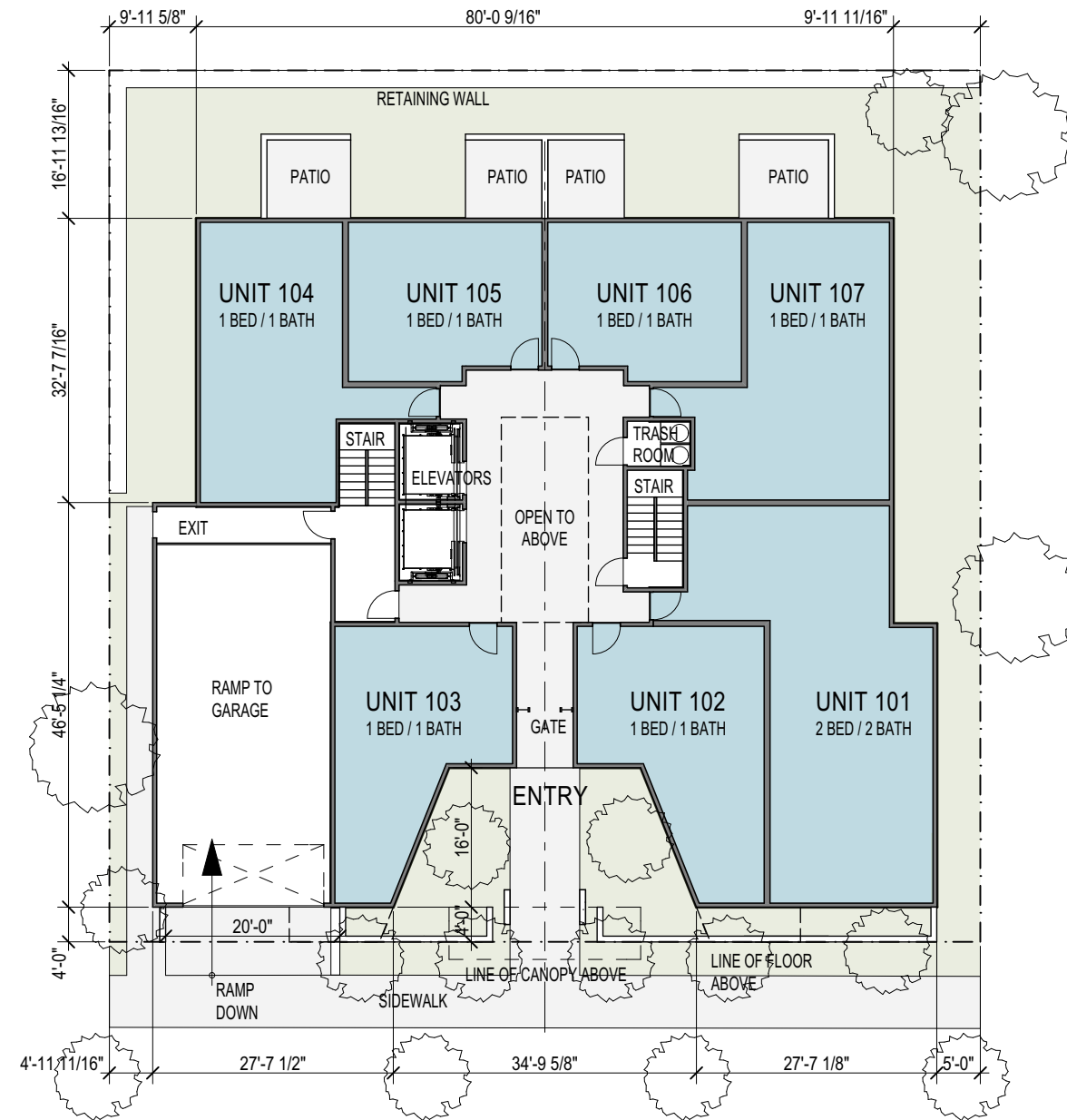
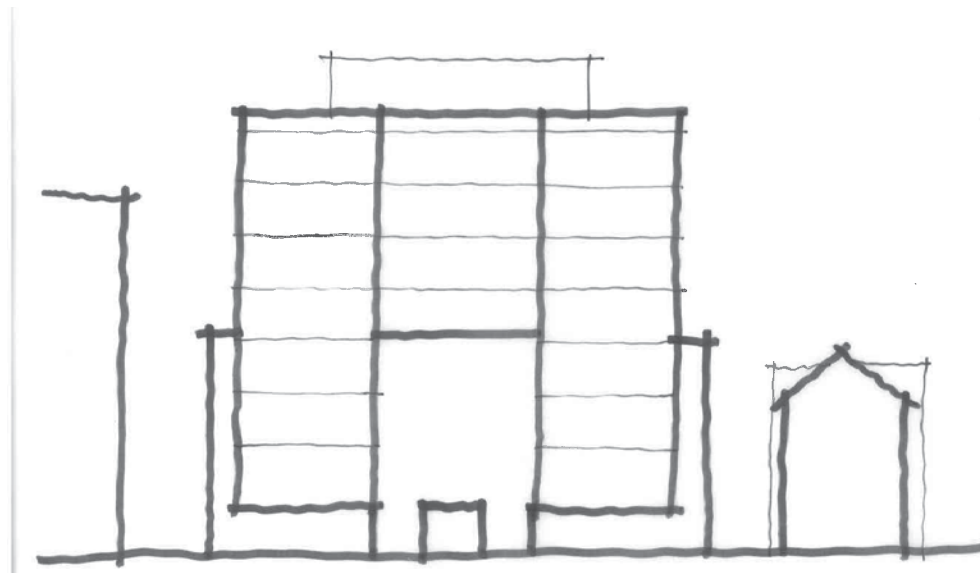
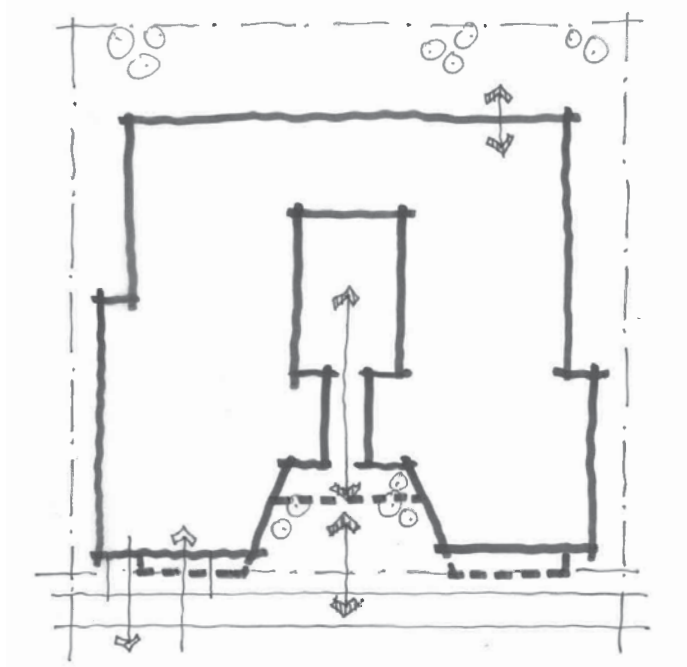
01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES



COMPOSITE FIRST FLOOR PLAN.

OPTION 2 FLOOR PLANS



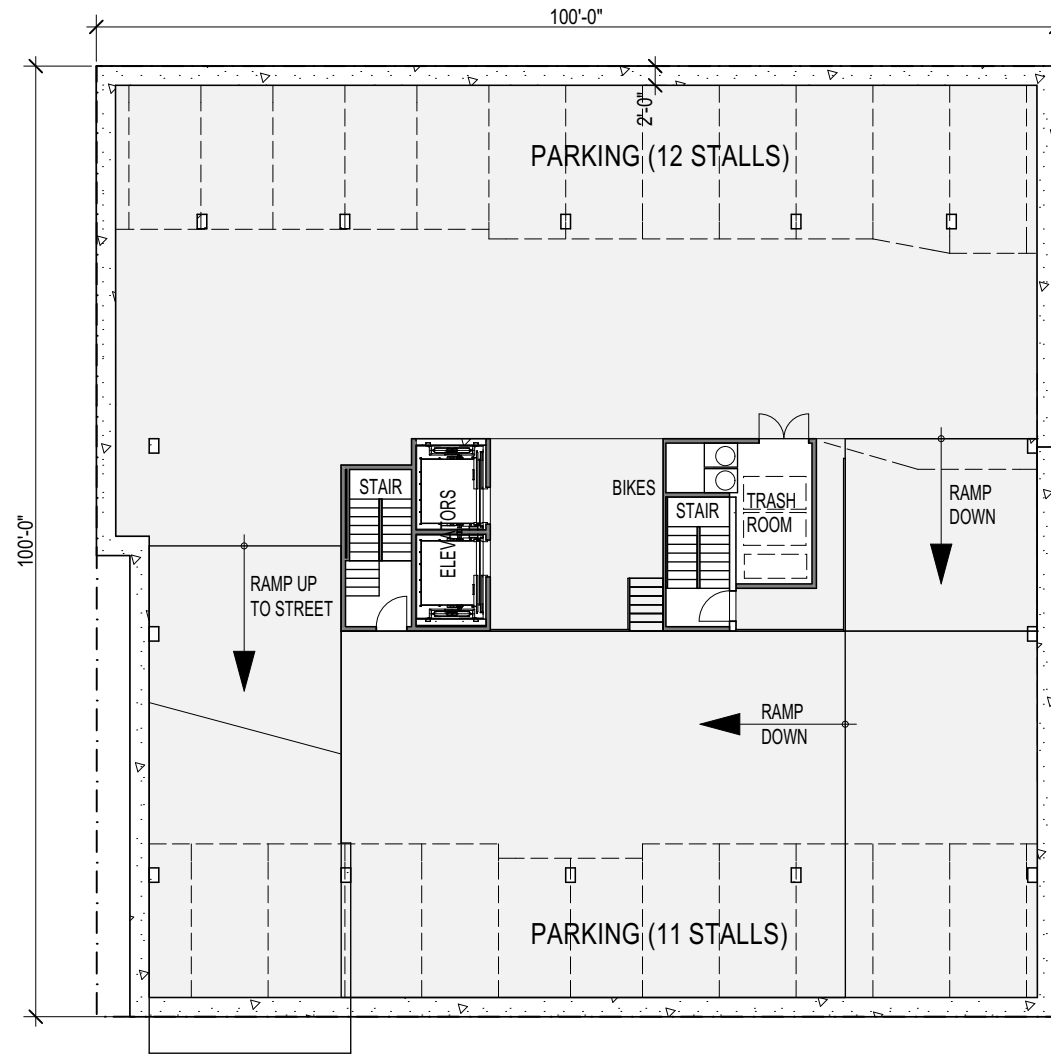
01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

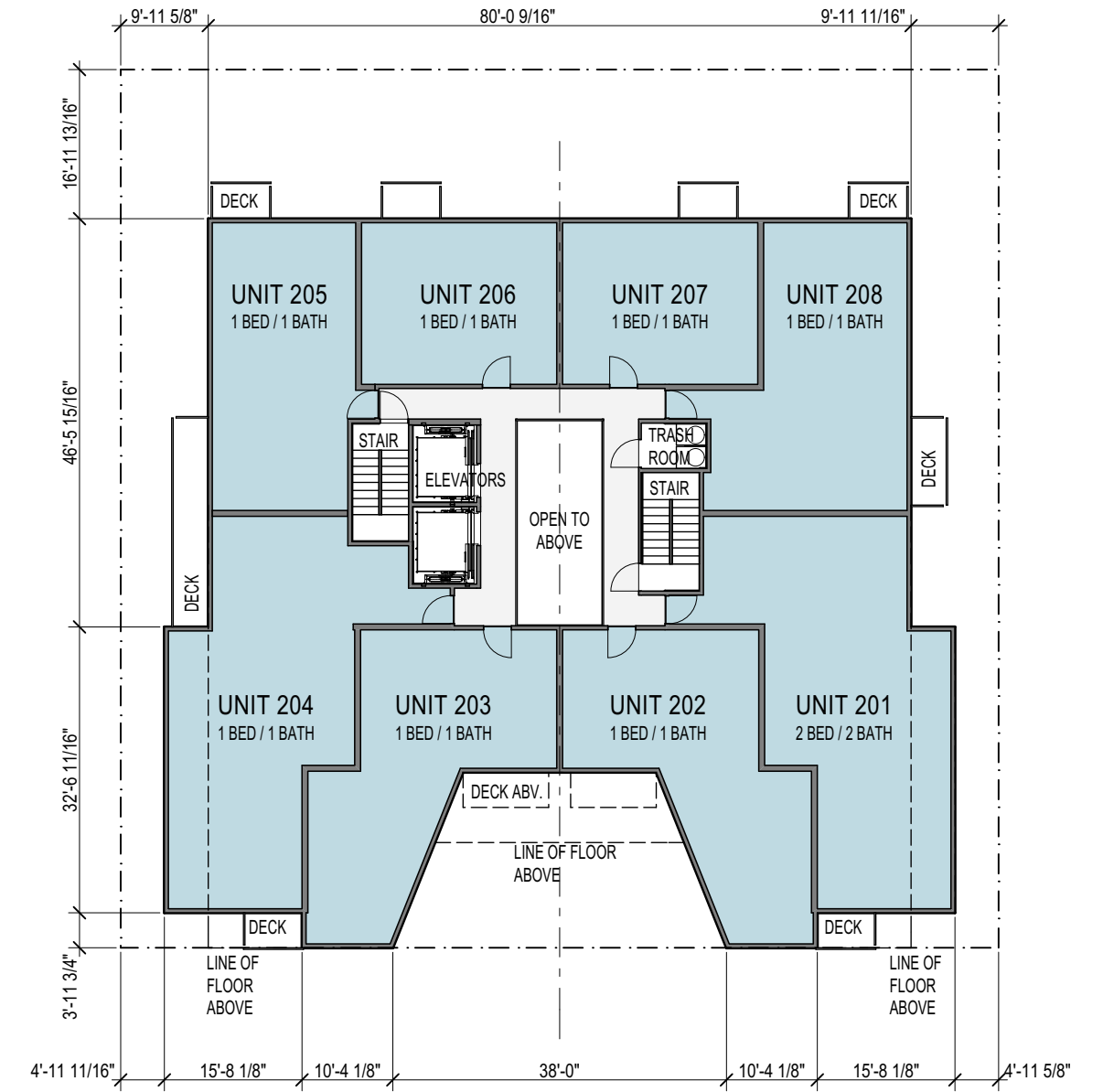
03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

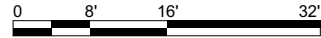
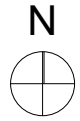
05.
CODE
DEPARTURES



GARAGE FLOOR PLAN.



SECOND - FIFTH FLOOR PLAN.



OPTION 2 FLOOR PLANS

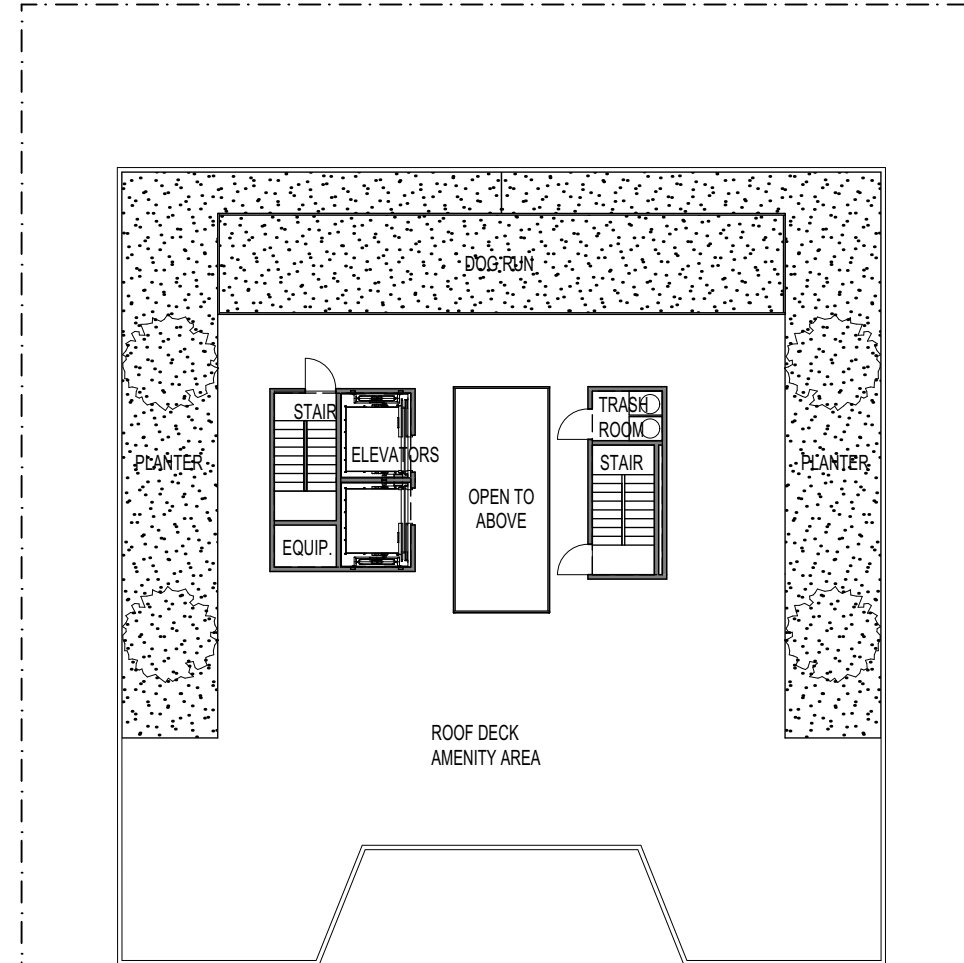
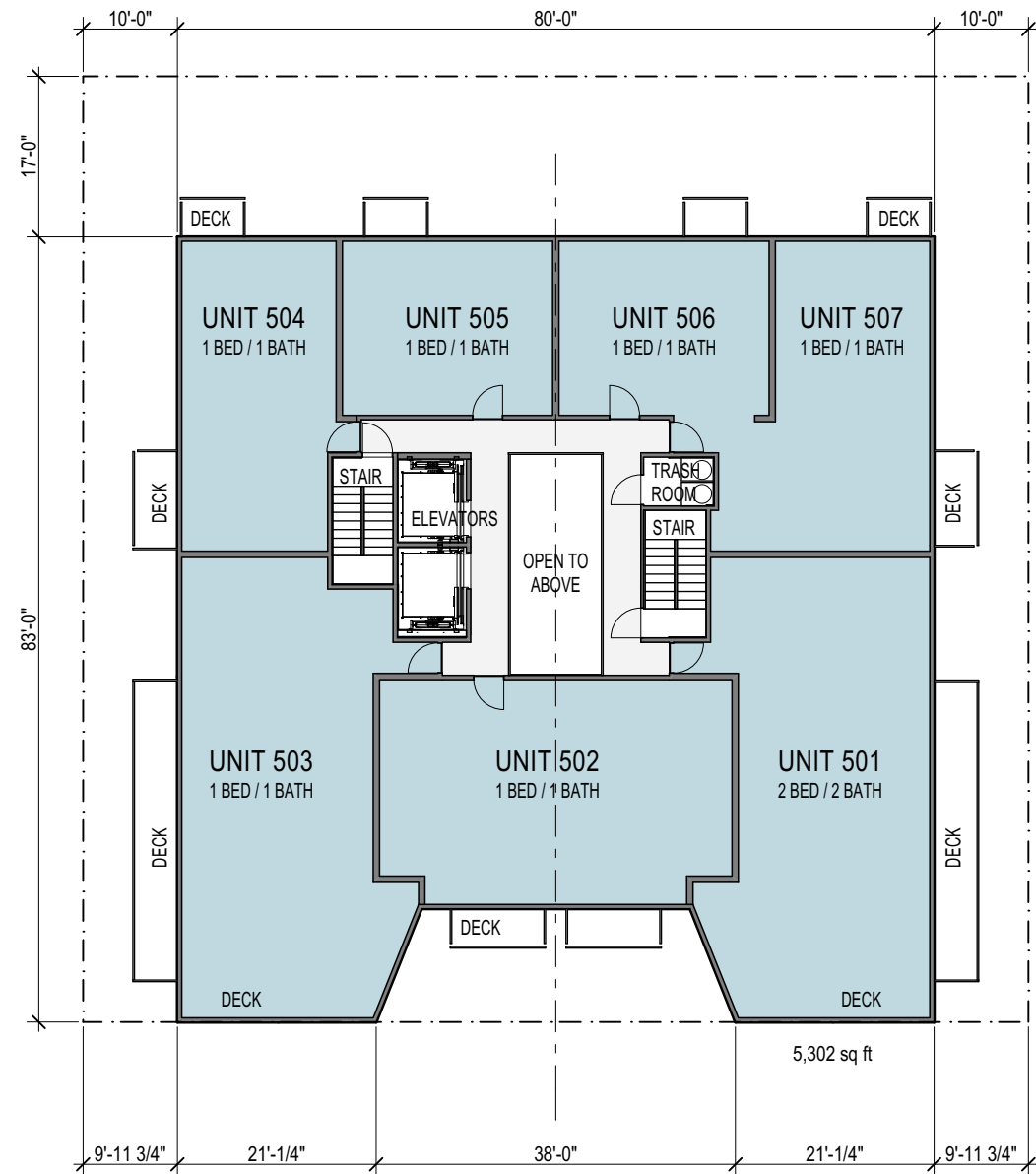
01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES



SIXTH - EIGHTH FLOOR PLAN.

ROOF DECK PLAN.

OPTION 2

ADDITIONAL IMAGES

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

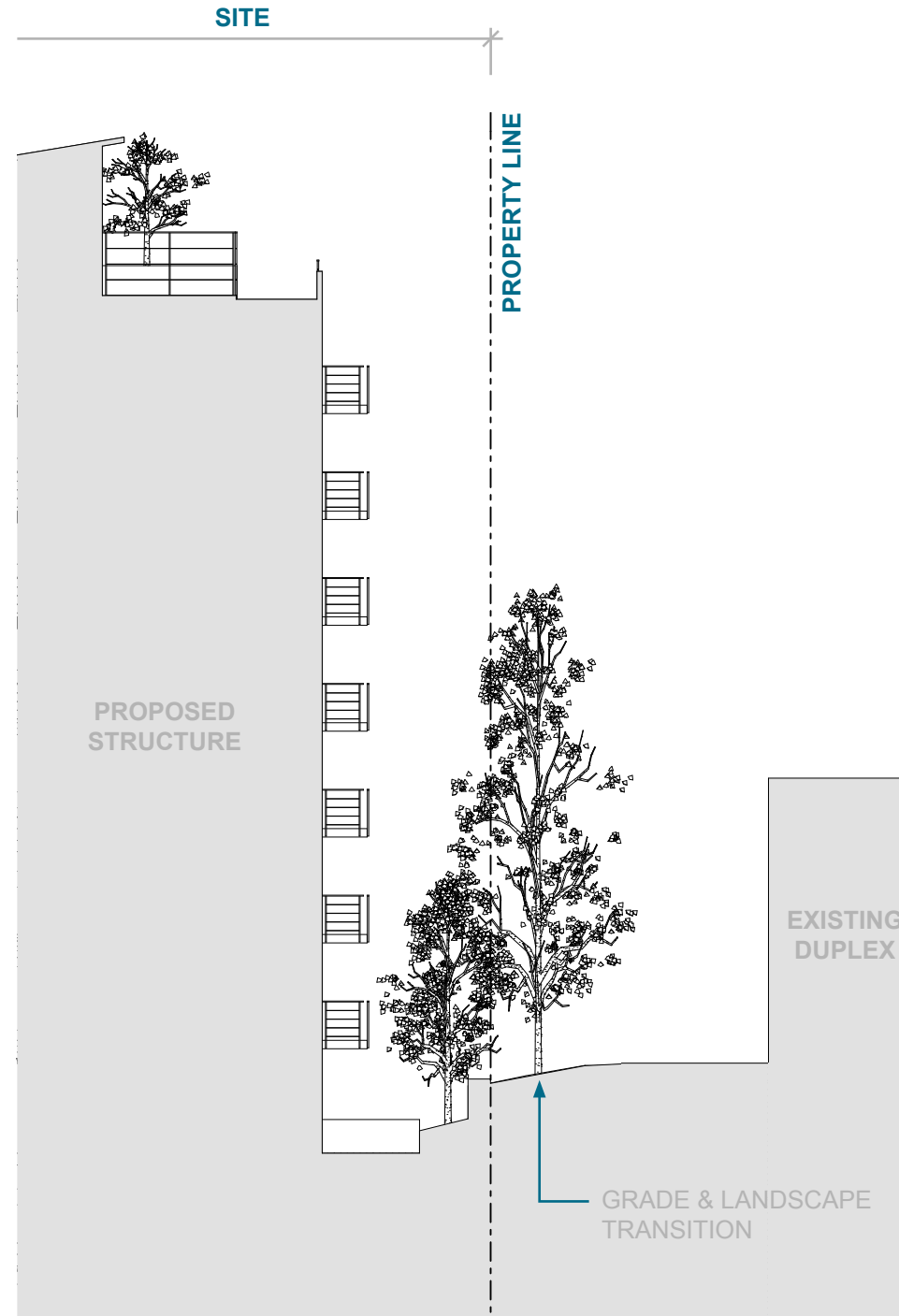
03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES



REAR VIEW EXISTING CONDITION.



OPTION 2

ADDITIONAL IMAGES



FRONT VIEW FROM STREET.

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

OPTION 3

DESIGN NARRATIVE / RENDERING

01. PROJECT INFORMATION

PREFERRED DESIGN:

This scheme utilizes a fully encompassed exterior court space for circulation providing visual interaction between levels and some openness to natural light while maintaining the building perimeter creating units focused to the streetscape / south views and to the large rear yard / openness to the north. It creates a cohesive, consolidated structure that addresses the street through a recessed and articulated ground level. The scale and composition of this façade is most in keeping with the other structures on the block face. By narrowing the structure at the rear we provide openness to the LR zoned properties to the North. This design is code conforming.

02. SITE ANALYSIS

POSITIVES:

- Maximized streetscape area for landscaping adjacent to the sidewalk.
- Street level articulation and private outdoor spaces that enliven the streetscape.
- Creates a massing similar in scale and articulation to others on the block.
- Narrow façade at rear allows more openness for LR zoned properties to North.
- Extensive street façade for units to be open to street and make use of corners for potential views.
- Main living areas to front and rear allows maximum glazing in those areas for façade transparency and more privacy to neighboring properties to East and West.
- Exterior court provides light and air for interior circulation and the ability to visually connect different levels.
- Code conforming design.

03. DESIGN STANDARDS

04. BUILDING DESIGN

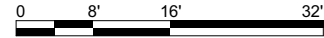
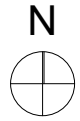
05. CODE DEPARTURES

NEGATIVES:

- Consolidated form could be heavy if not properly modulated with glazing and finish materials.



FRONT VIEW.



OPTION 3 FLOOR PLANS

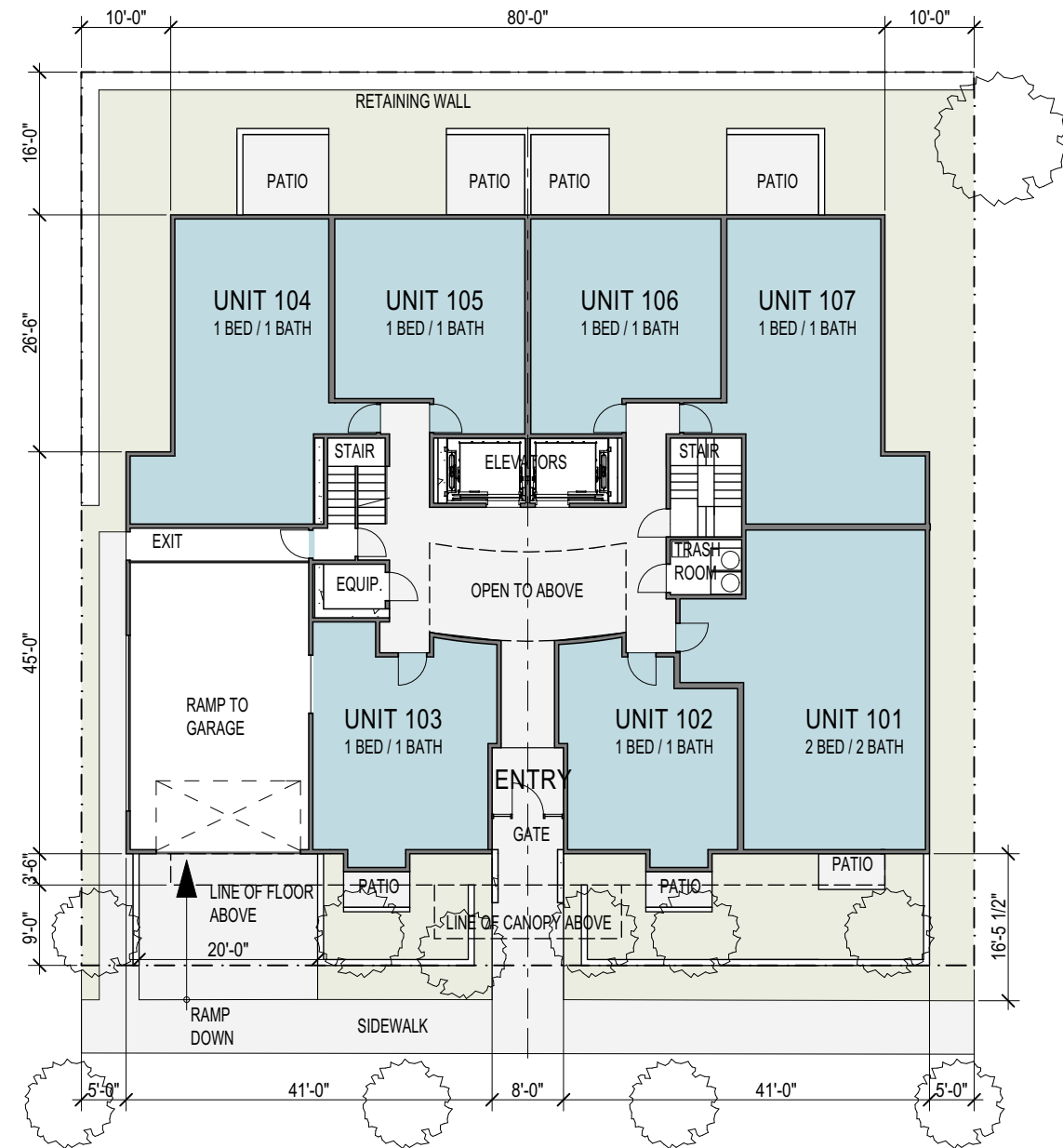
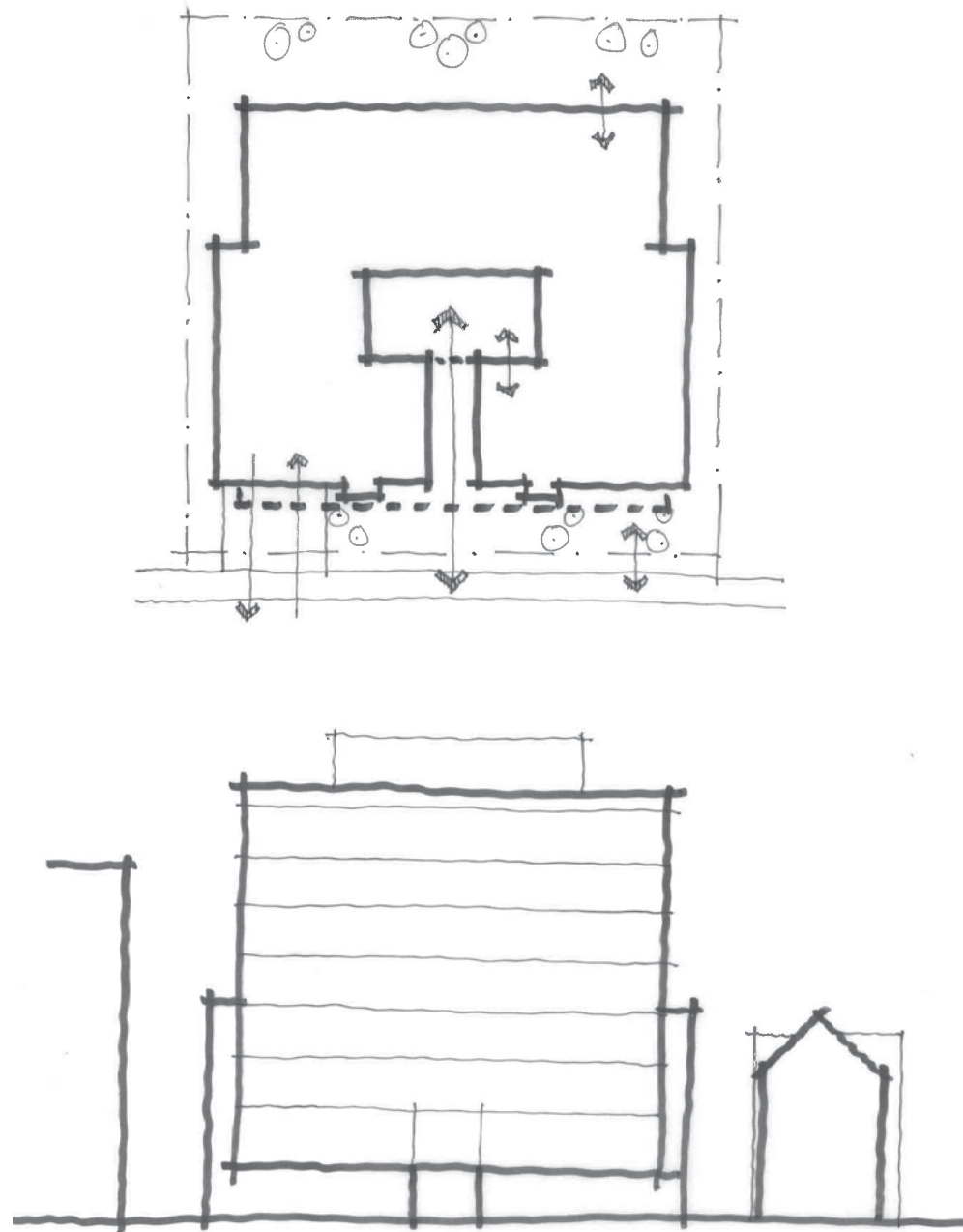
01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES



COMPOSITE FIRST FLOOR PLAN.

OPTION 3 FLOOR PLANS



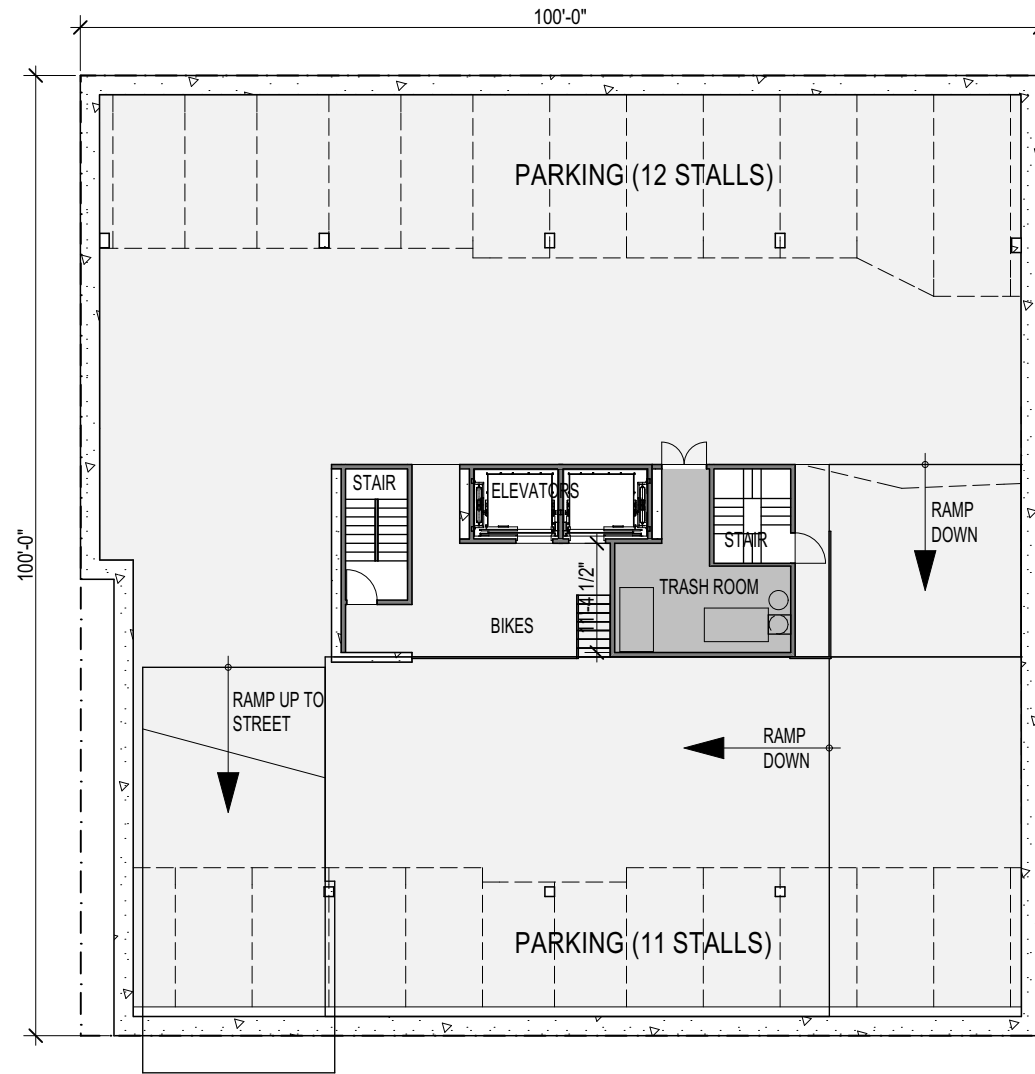
01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

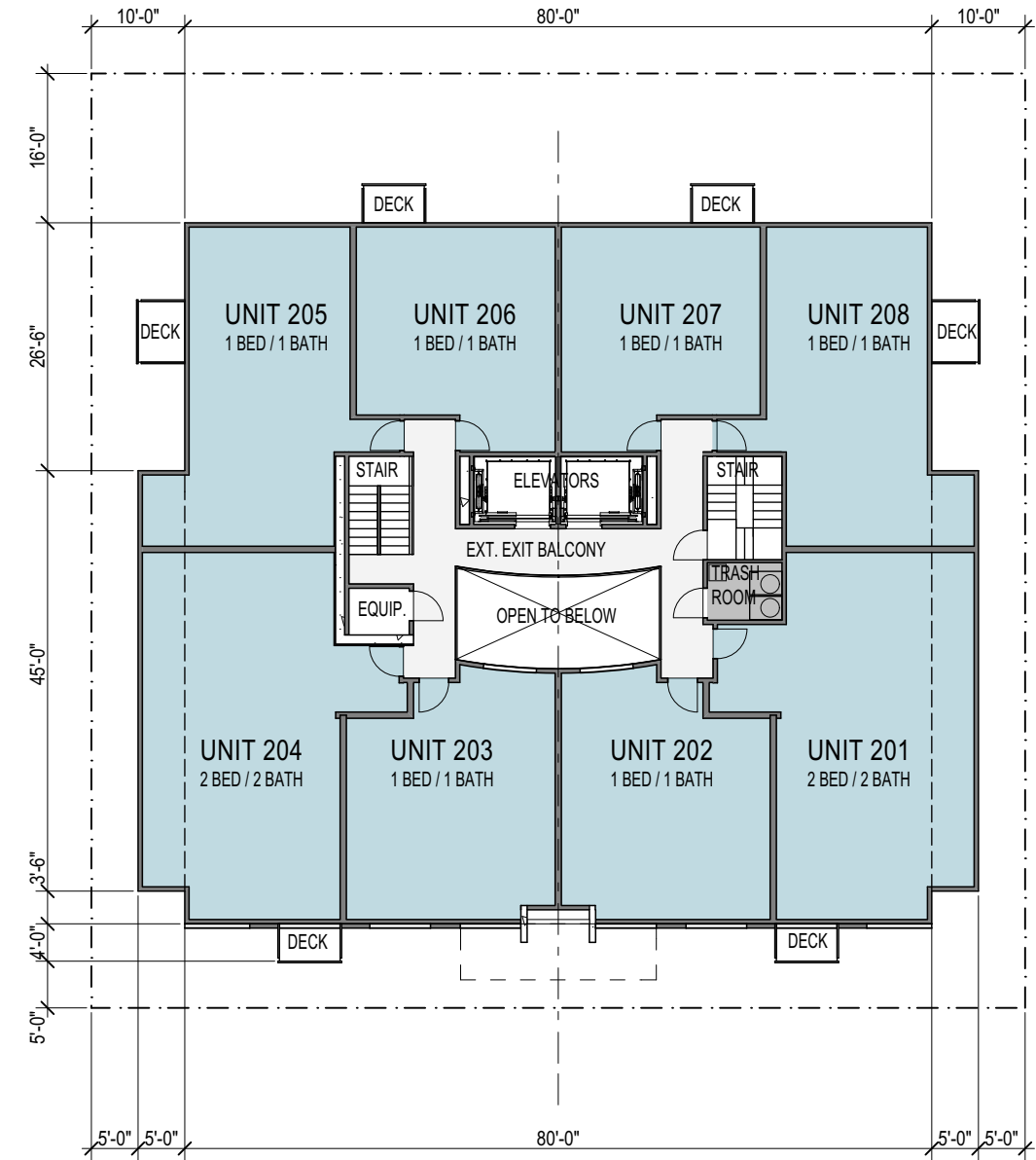
03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

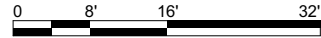
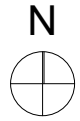
05.
CODE
DEPARTURES



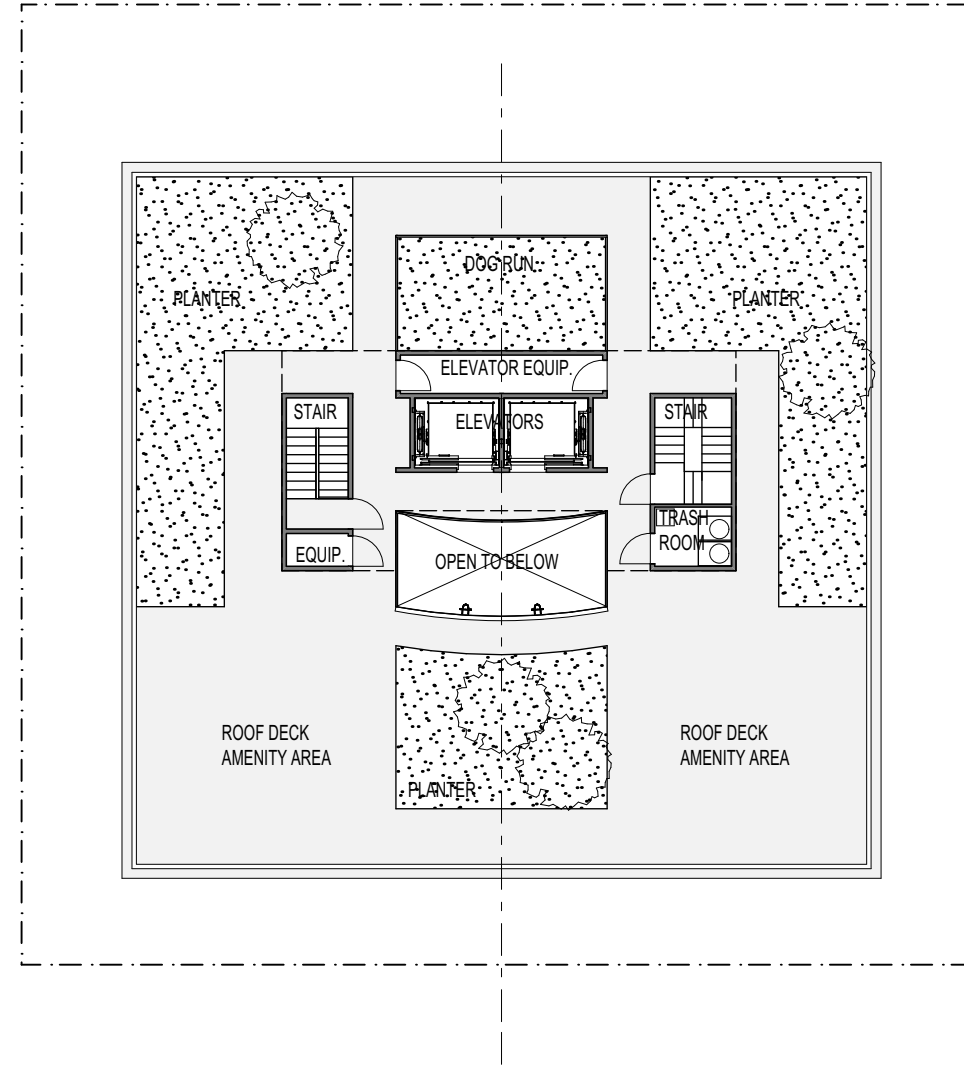
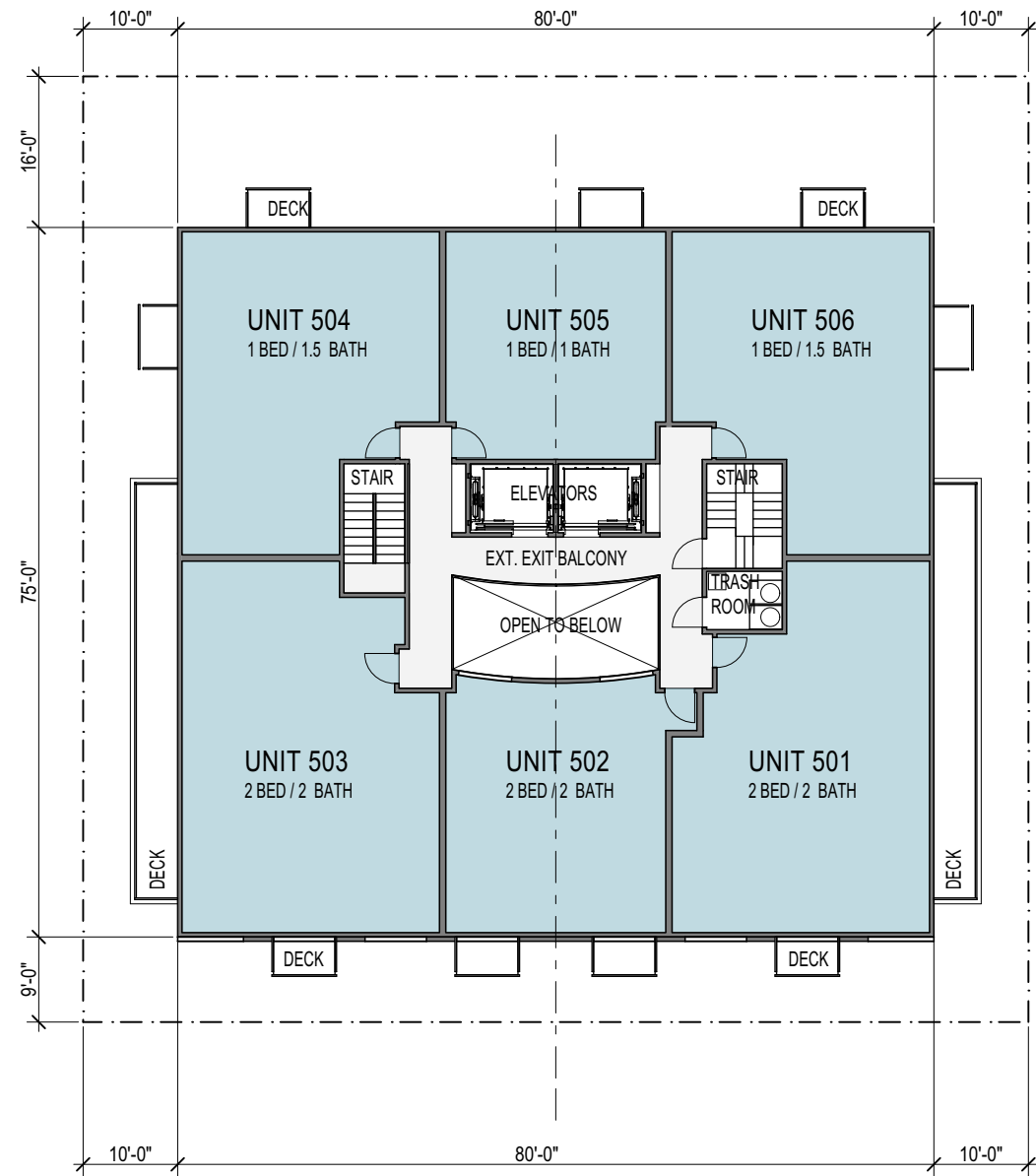
GARAGE FLOOR PLAN.



SECOND - FOURTH FLOOR PLAN.



OPTION 3 FLOOR PLANS



01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

FIFTH - EIGHTH FLOOR PLAN.

ROOF DECK PLAN.

OPTION 3

ADDITIONAL IMAGES

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

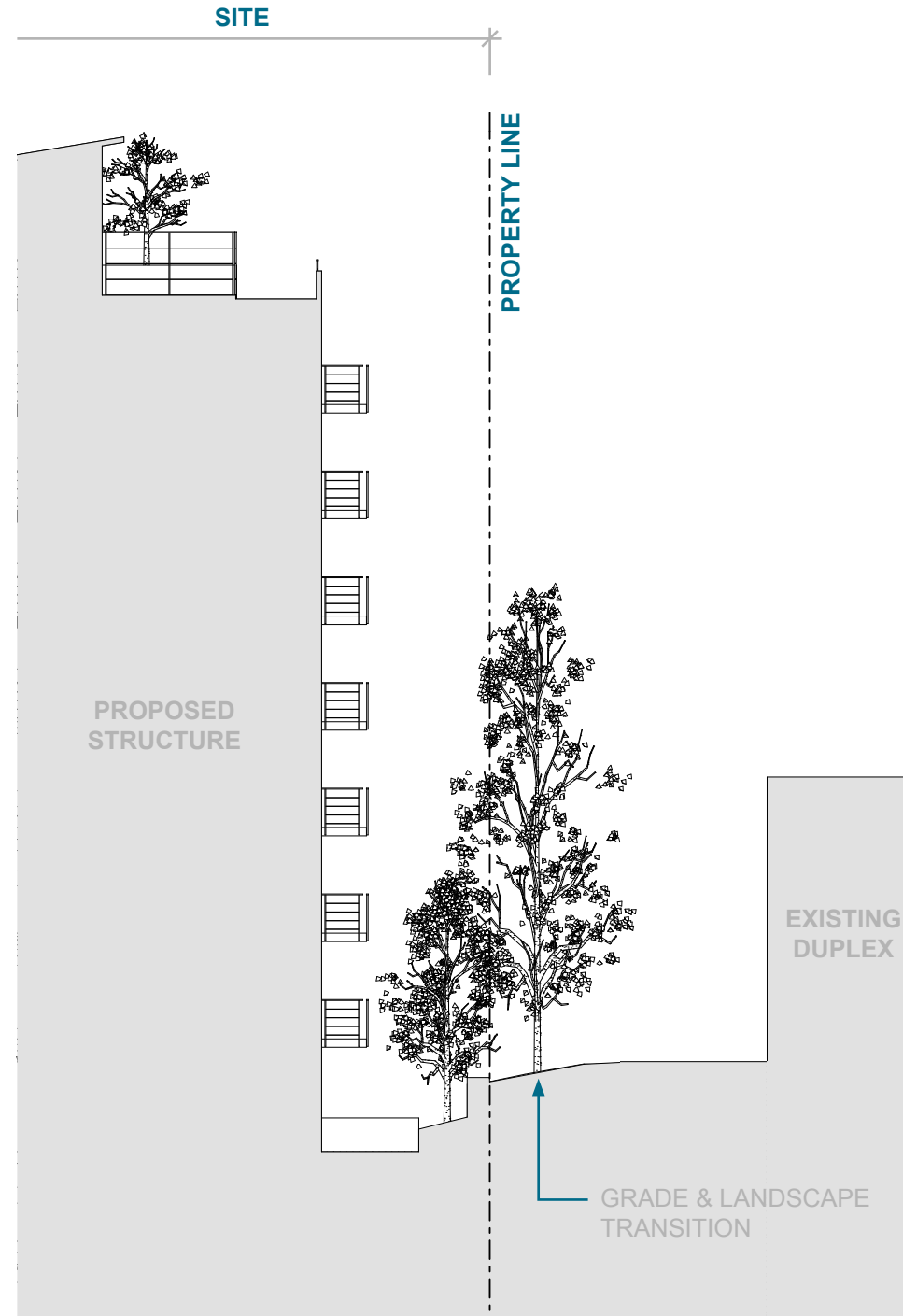
03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES



REAR VIEW FROM ABOVE.



OPTION 3

ADDITIONAL IMAGES



FRONT VIEW FROM STREET.

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

ARCHITECTURAL CONCEPTS

RENDERED VIEWS

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES



FRONT VIEW.



REAR VIEW FROM ABOVE.

ARCHITECTURAL CONCEPTS

RENDERED VIEWS



NW 56TH ELEVATION LOOKING NORTH.



SIDEWALK VIEW. (LANDSCAPING NOT SHOWN FOR CLARITY)

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

ARCHITECTURAL CONCEPTS

SECTION VIEWS

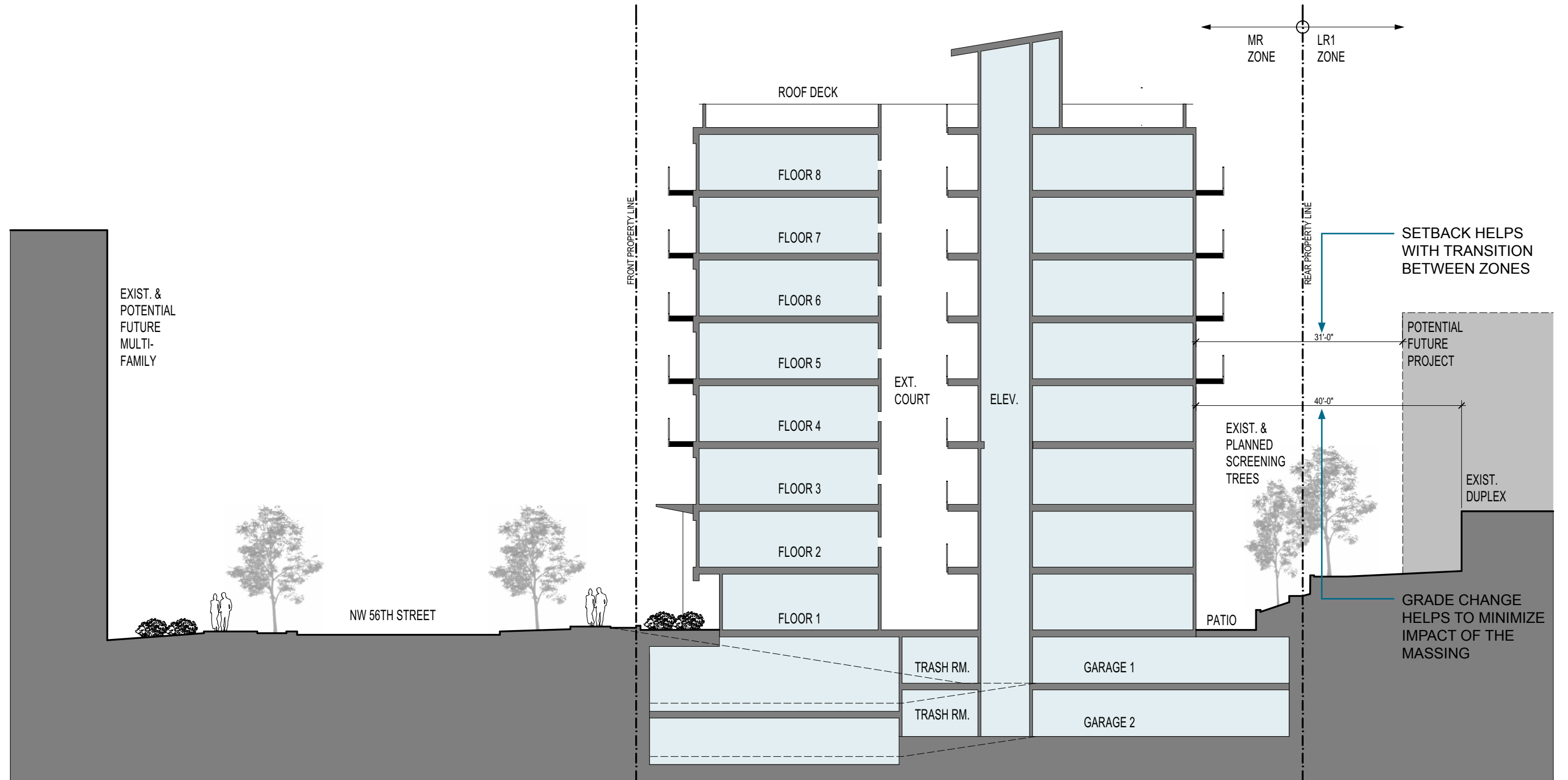
01. PROJECT INFORMATION

02. SITE ANALYSIS

03. DESIGN STANDARDS

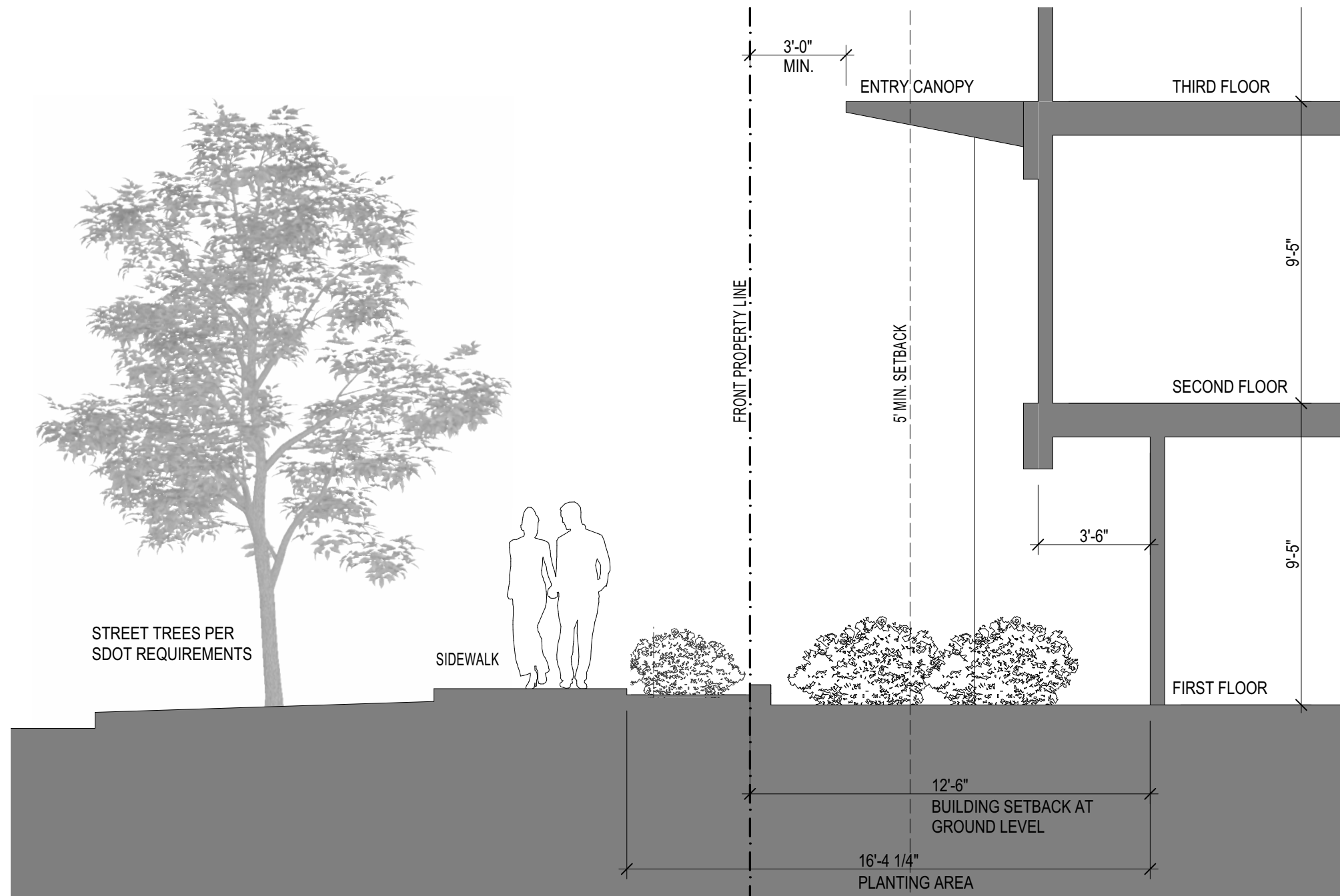
04. BUILDING DESIGN

05. CODE DEPARTURES



ARCHITECTURAL CONCEPTS

SECTION VIEWS



01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

ARCHITECTURAL CONCEPTS

CONCEPTUAL LANDSCAPE PLAN

01. PROJECT INFORMATION

LANDSCAPE CONCEPTS:

- Maximize landscaping at streetscape.
- Use plantings & retaining walls to define private space in front yard.
- Use trees and retaining walls at rear yard to create privacy for ground floor units and minimize mass of building to northern neighbors.
- Utilize plantings on east side yard to mitigate impacts on neighbor.
- Minimize impacts to offsite trees.

02. SITE ANALYSIS

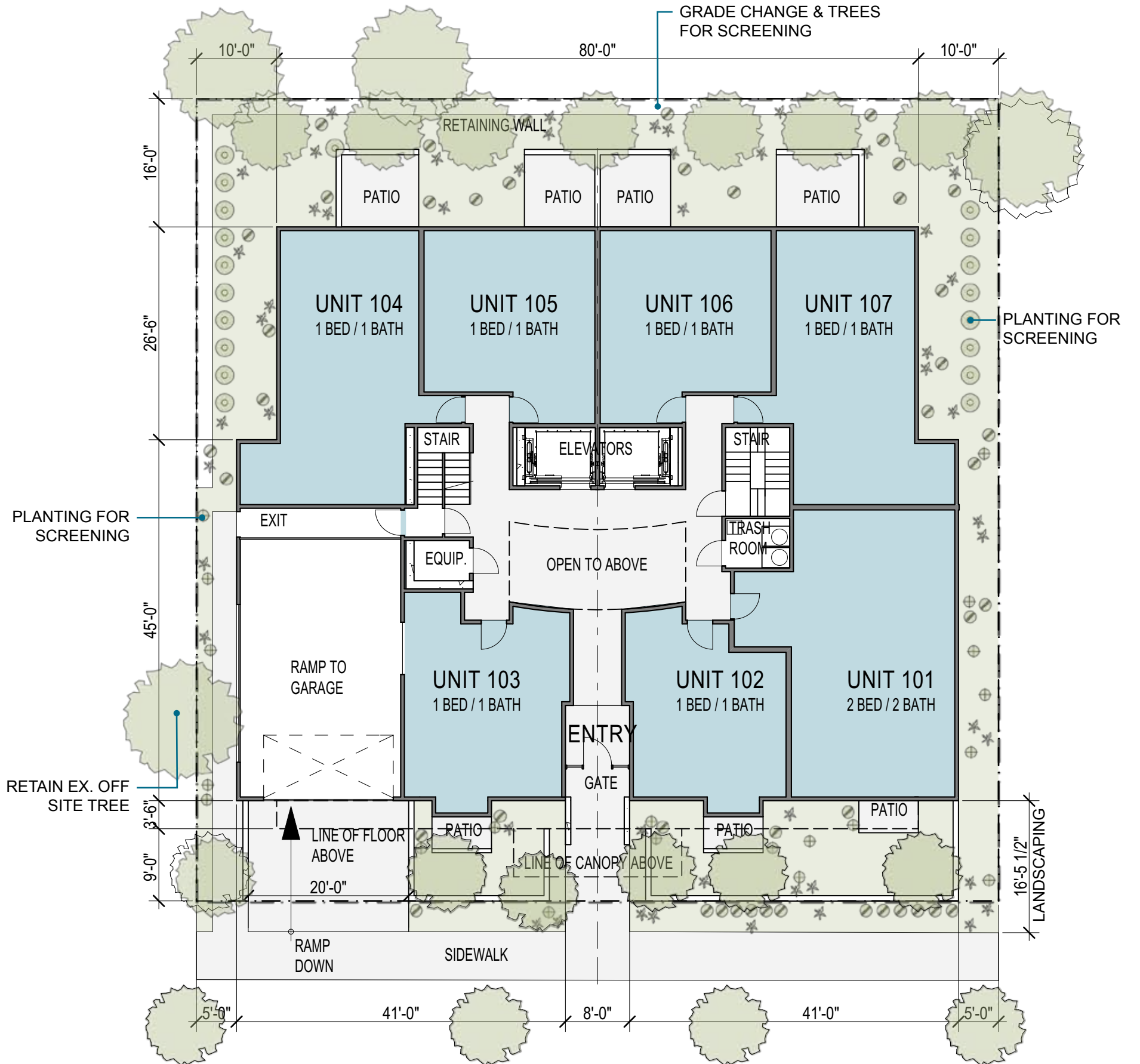
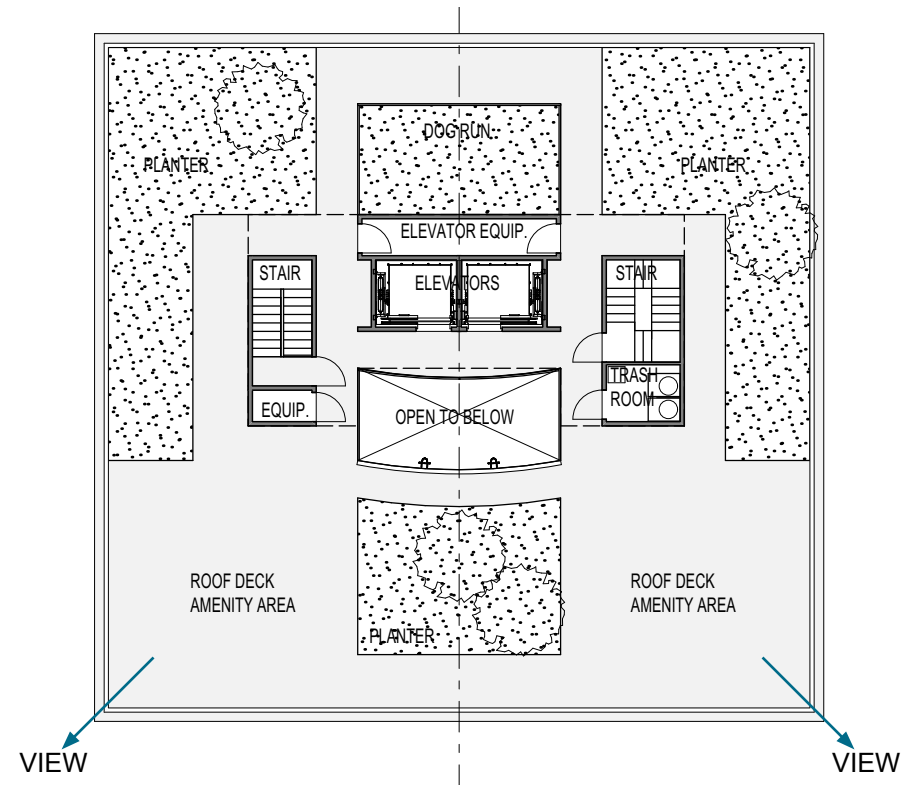
ROOF DECK / AMENITY AREA CONCEPTS:

- Use planter/green roof areas to focus activity to south and away from edges at rear and sides.
- Provide tenant amenities including barbeque facilities, dog-run, fireplace gathering and sunbathing.
- Define multiple areas of activity.

03. DESIGN STANDARDS

04. BUILDING DESIGN

05. CODE DEPARTURES



ARCHITECTURAL CONCEPTS

LANDSCAPE REFERENCE IMAGES

RETAINING WALLS & SCREENING TREES AT TRANSITION TO L1 ZONE TO NORTH



WIDE PLANTING AREA W/ RESIDENTIAL SCALE LANDSCAPING ALONG STREET EDGE



ROOF DECK AMMENITIES FOR ALL RESIDENTS



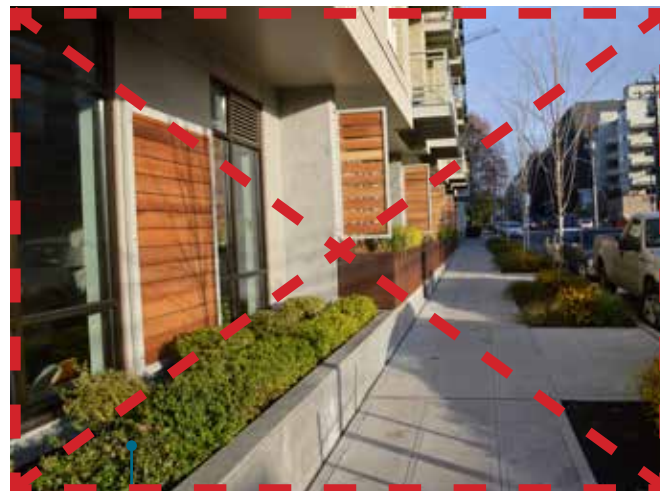
01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS



GATHERING AREAS AT CENTER OF ROOF DECK FOR PRIVACY TO NEIGHBORS



DO NOT WANT BUILDING CLOSE TO STREET W/ MINIMAL LANDSCAPE BUFFER



VIEW AREA AT ROOF DECK EDGE (SOUTH SIDE ONLY)

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

PROPOSED DEPARTURES
NONE REQUESTED

01.
PROJECT
INFORMATION

02.
SITE
ANALYSIS

03.
DESIGN
STANDARDS

PREFERRED SCHEME: NO DEPARTURES REQUESTED

04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

DAVID VANDERVORT ARCHITECTS

MULTI-FAMILY WORK SAMPLES



01.
PROJECT
INFORMATION



02.
SITE
ANALYSIS



04.
BUILDING
DESIGN

05.
CODE
DEPARTURES

