
Early Design Guidance UPTOWN APARTMENTS

3028640

215 QUEEN ANNE AVE N | SEATTLE WA 98109

HYBRID

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MEETING DATE: **October 18, 2017**

MEETING ADDRESS: Queen Anne Community Center
1901 1st Ave W
Room 1



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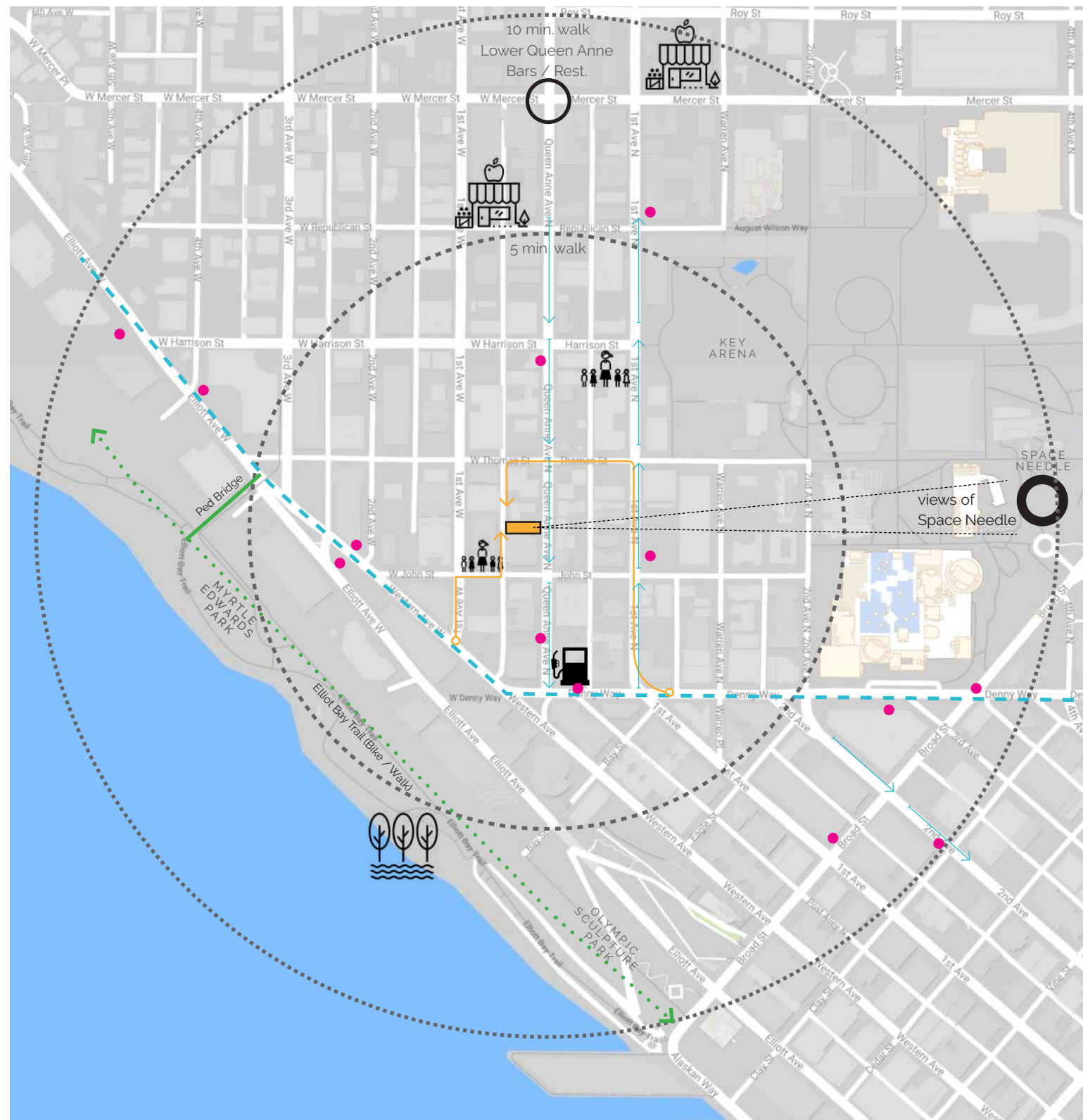
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Development Objectives

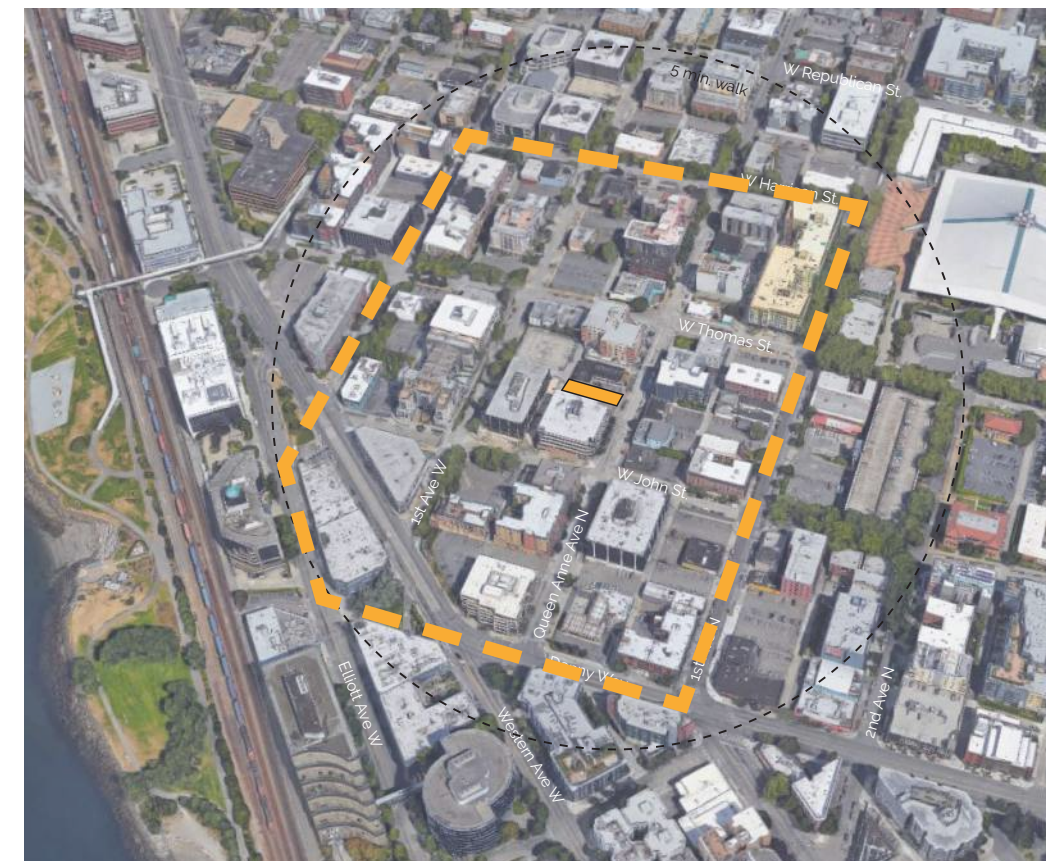
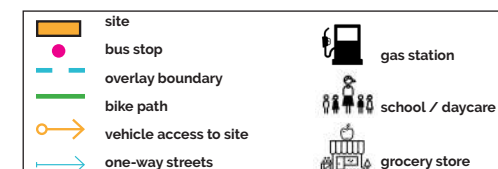
- Provide mix of 46 street facing and courtyard apartment units
- Provide 9 underground vehicular parking spots and 12 bicycle spots.
- Create project with strong sense of community

This project will activate a site that is currently occupied by one single family home along a busy urban street, Queen Anne Ave N. This neighborhood is currently going through an increase in development with new rental and sale properties in both design and construction phases along this active pedestrian and vehicular thoroughfare. Project includes demolition of residential structure.



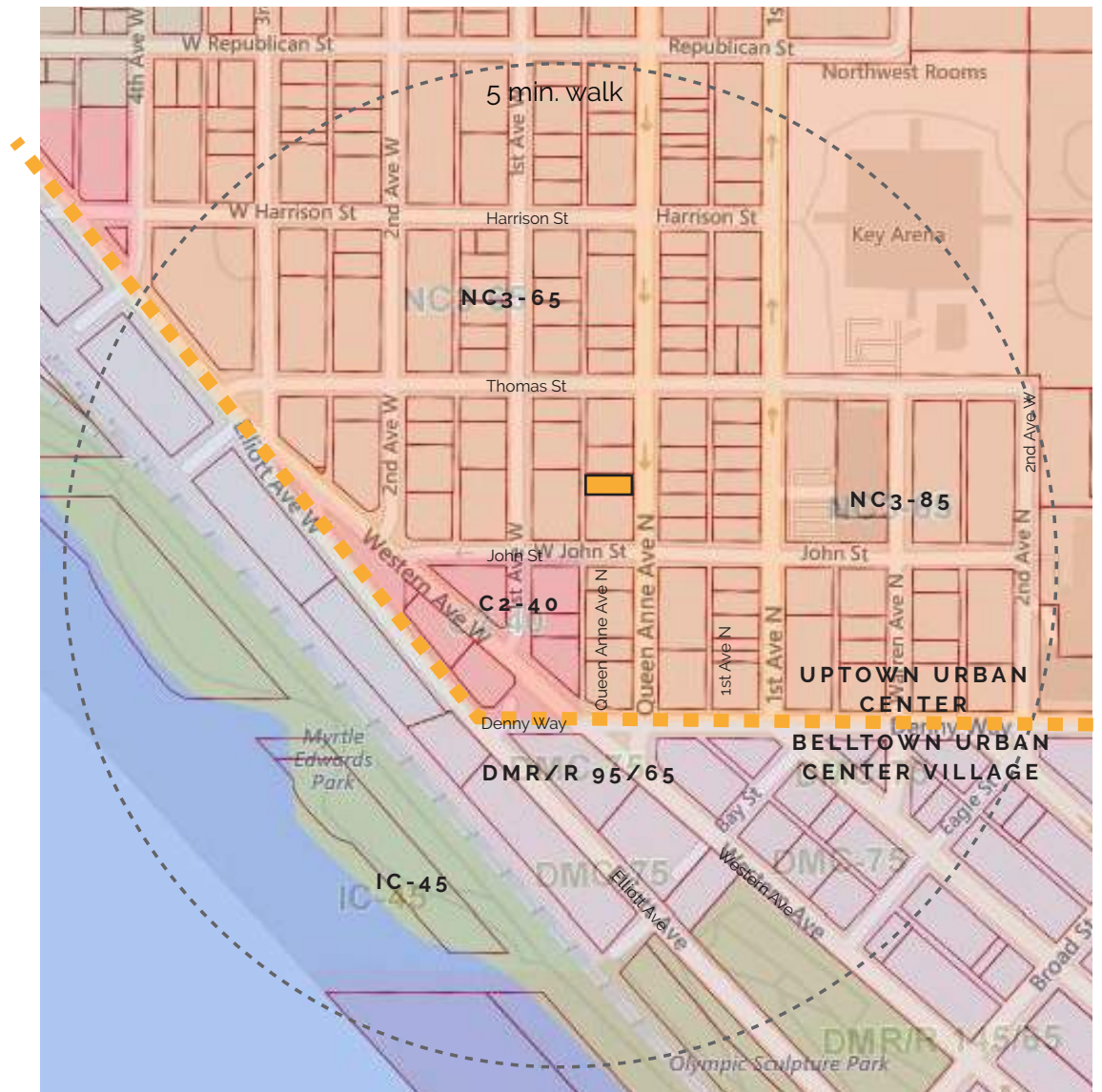
Area Map ⓘ

Map Key



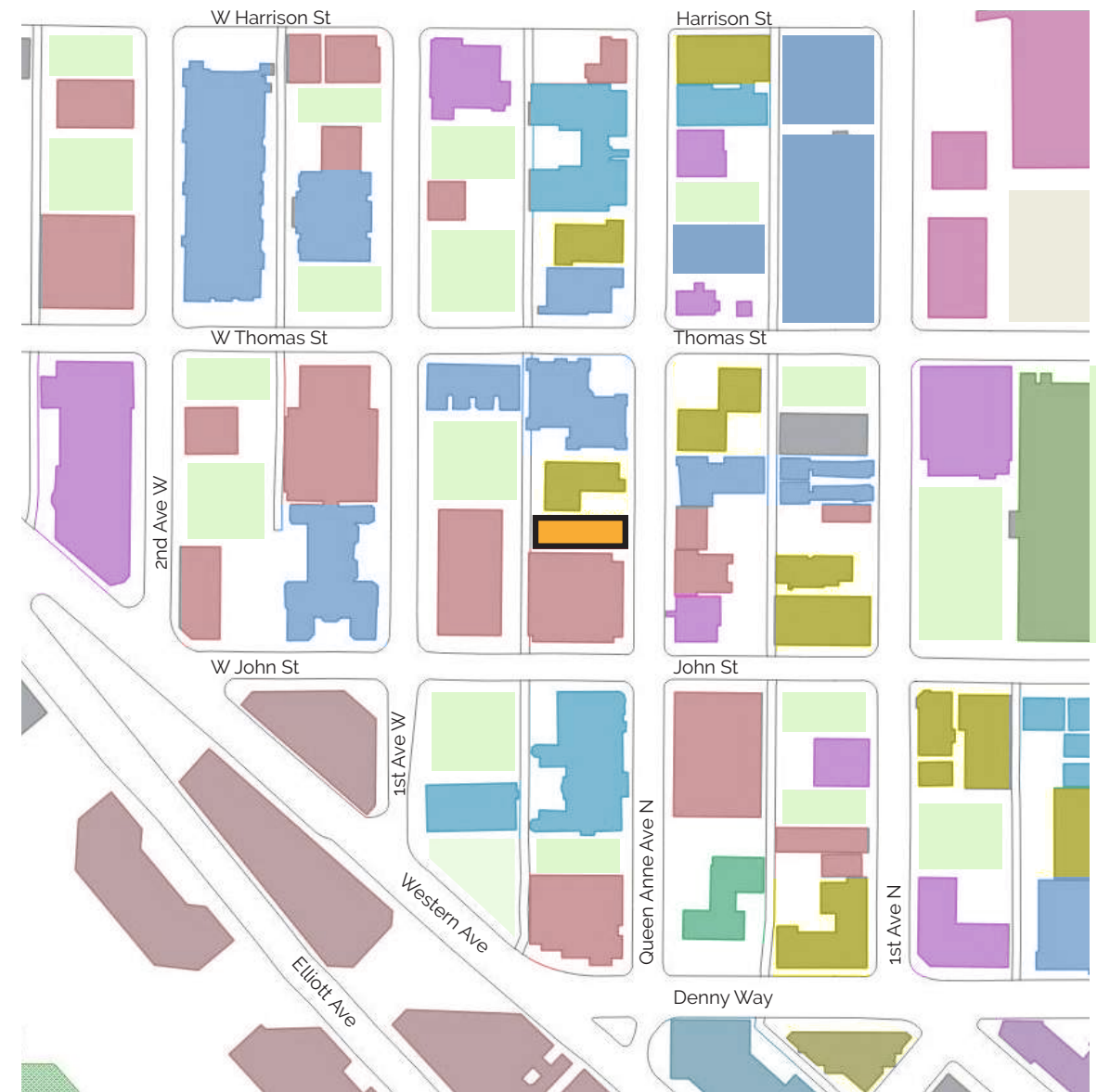
Aerial Map ⓘ

9 block surrounding



① Zoning Map

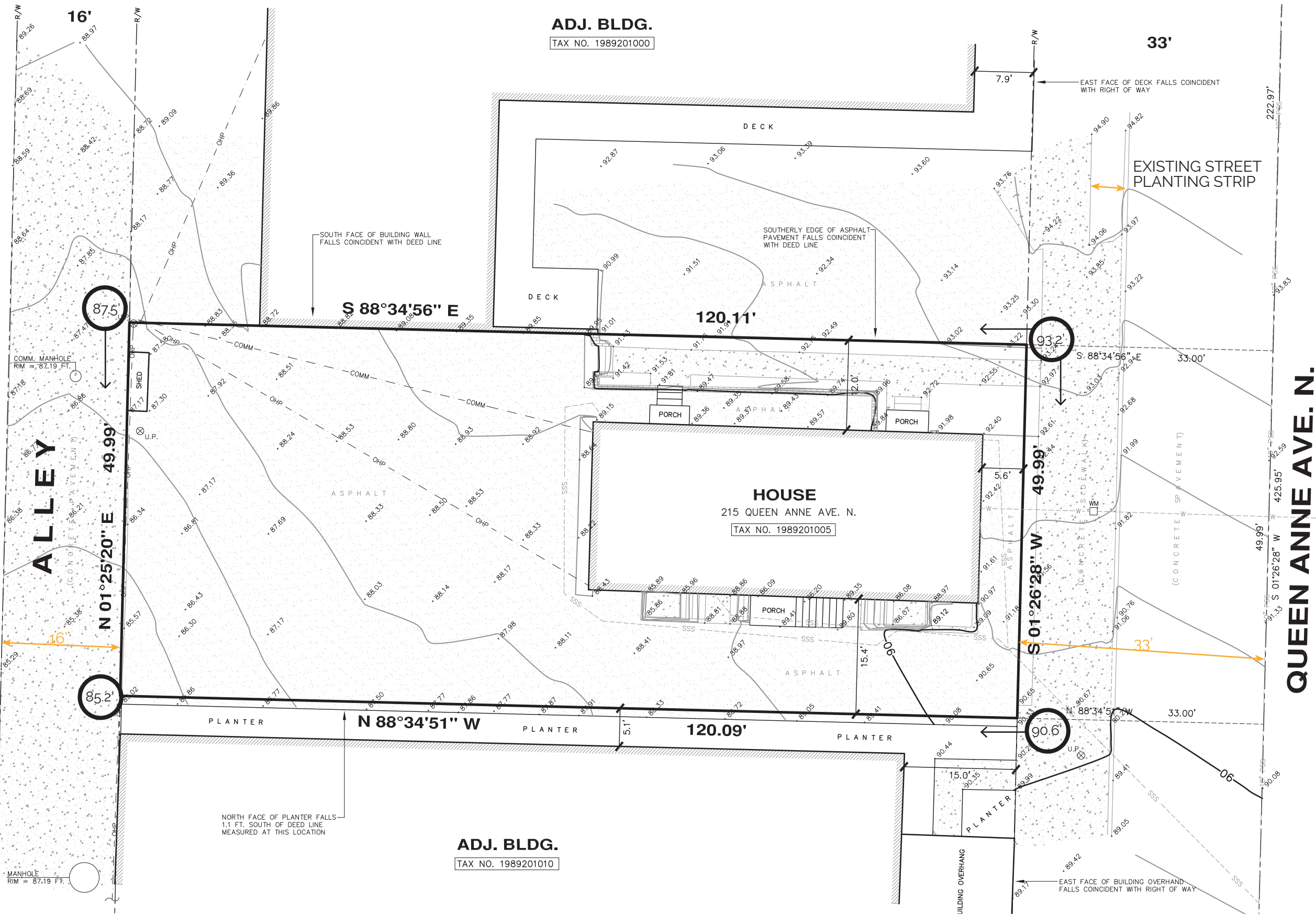
Site is zoned NC3-65 within the Uptown Urban Center Overlay in Queen Anne. The site does not border any other zones and is in a neighborhood that is densifying with a many new mixed use projects under construction or set to start building in the near future.



① Typologies/Usages

Neighboring area includes residential, apartments, condominiums and mixed use, office, restaurant and parking uses with new developments tending residential or mixed use.

- Parking
- Office
- Apartment
- Mixed Use Apartment
- Condominium
- Gas Station
- Restaurant / Retail
- Seattle Center



Site Analysis

ADDRESS:
215 QUEEN ANNE AVE N

PARCEL NO.:
1989201005

DESCRIPTION:
LOT 4, BLOCK 20, NORTH SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1 OF PLATS, PAGE 41, RECORDS OF KING COUNTY, WA, EXCEPT THE NORTH 10 FEET THEREOF.

SITE AREA:
6000 SF

ZONING:
NC3-65

STREET:
QUEEN ANNE AVE N
SLOPES DOWNHILL N>S
33'-0" TO C/L OF STREET
6" CONC. CURB
CONC. SIDEWALK

ALLEY:
16' WIDE PAVED ALLEY
SLOPES DOWNHILL N>S

UTILITIES:
WATER - STREET
SEWER - STREET
POWER - ALLEY
COMM - ALLEY
TRASH - ALLEY

TOPOGRAPHY:
SITE SLOPES DOWNHILL 30"
ALONG STREET FROM N>S

SITE SLOPES DOWNHILL 27.6"
ALONG ALLEY FROM N>S

HIGHEST POINT - NE CORNER
LOWEST POINT - SW CORNER

ADJACENT BUILDINGS:
SOUTH - 201 QUEEN ANNE AVE N
5-STORY OFFICE BUILDING

NORTH - 219 QUEEN ANNE AVE N
3-STORY APARTMENT BUILDING

WEST - 200 1ST AVE W
6 STORY OFFICE BUILDING



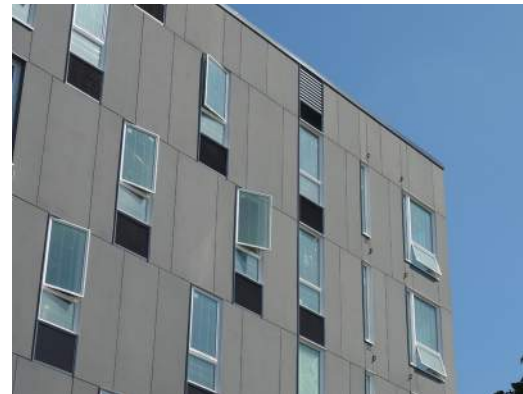
Uptown Neon Signage



New Contemporary Construction on QA Ave



Private Outdoor Space in new apt bldg nearby



Vertical Openings in cement board cladding



Covered exterior entry space - new Hotel on 1st



Neutral Color Scheme with ordered openings



Central entry courtyards in older brick buildings



Blank wall condition - vertical materials add interest



Pottery NW - classic ordered brick building

Surrounding Context

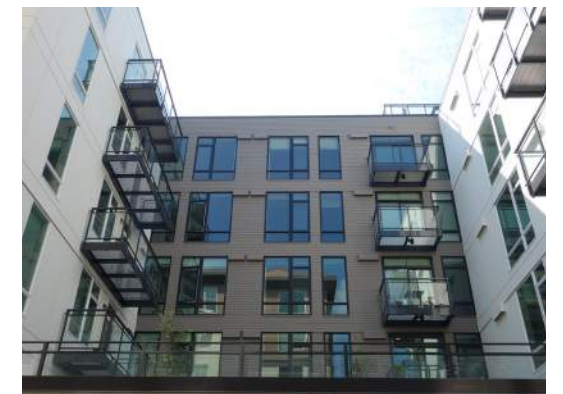
This neighborhood of lower Queen Anne features a variety of architectural styles and mix of older brick buildings (Pottery NW and Older Apartment buildings) along with newer Mixed Use Developments clad in cement board, metal and other contemporary materials.



New apt building w/ mass pulled back at side yard



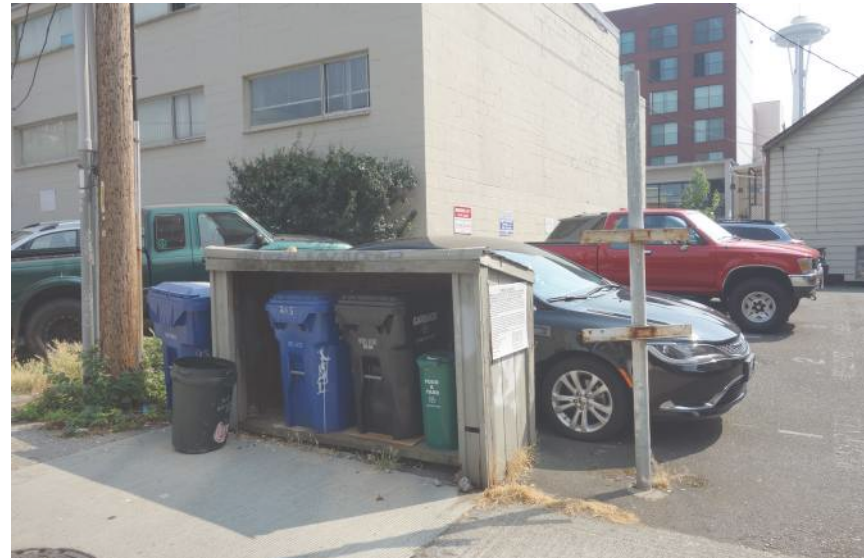
Modern office building with simple fenestration



New apt building with central courtyard



1: Rear of Site - Looking east



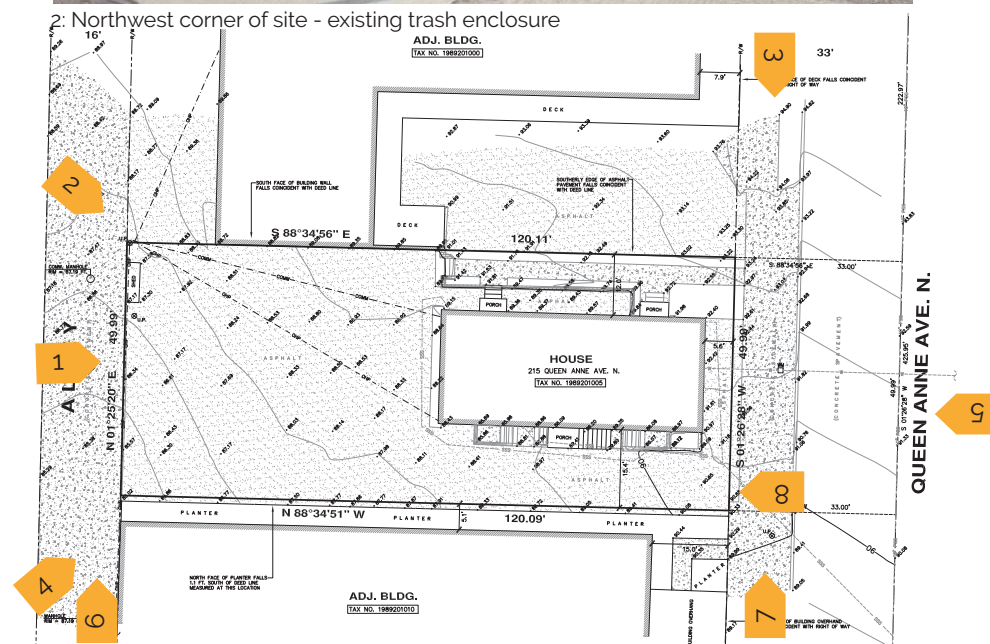
2: Northwest corner of site - existing trash enclosure



3: Sidewalk approach to site from north



4: Alley approach to site from south



5: View of site from Queen Anne Ave N



6: View of alley from John Street



7: Sidewalk approach to site from south



8: Southern property line with office building to south (left)



Building massing steps back at the street, Planter along property line. Windows that face the site

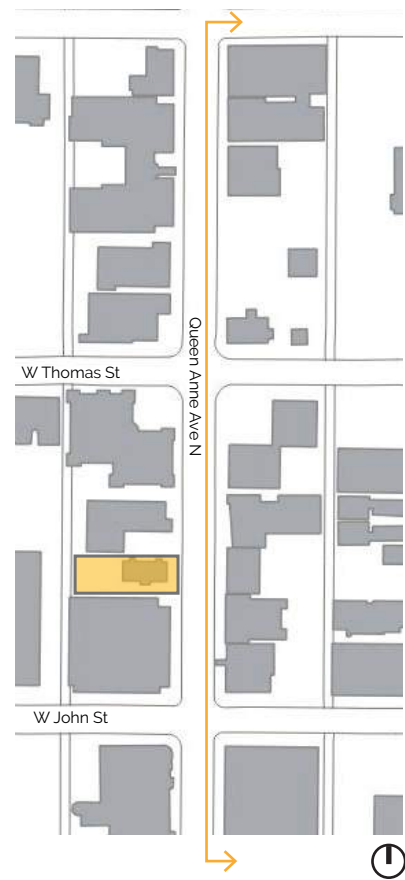


New Elan Flats apartments under construction north of the site.



Entry Courtyard at the Athena Condominiums that features landscaping and water feature to activate the space





Entry Courtyard at the Athena Condominiums that features landscaping and water feature to activate the space



Lobby with fixed seating to encourage activity at the street front



Treatment of blank facade



Apartment

Condominium

Restaurant, Retail

Parking

Mixed Use, Apartment

Restaurant, Retail

Apartment

Mixed Use, Apartment

Office

Office

Restaurant, Retail

W John St

Restaurant, Retail

Zoning Summary

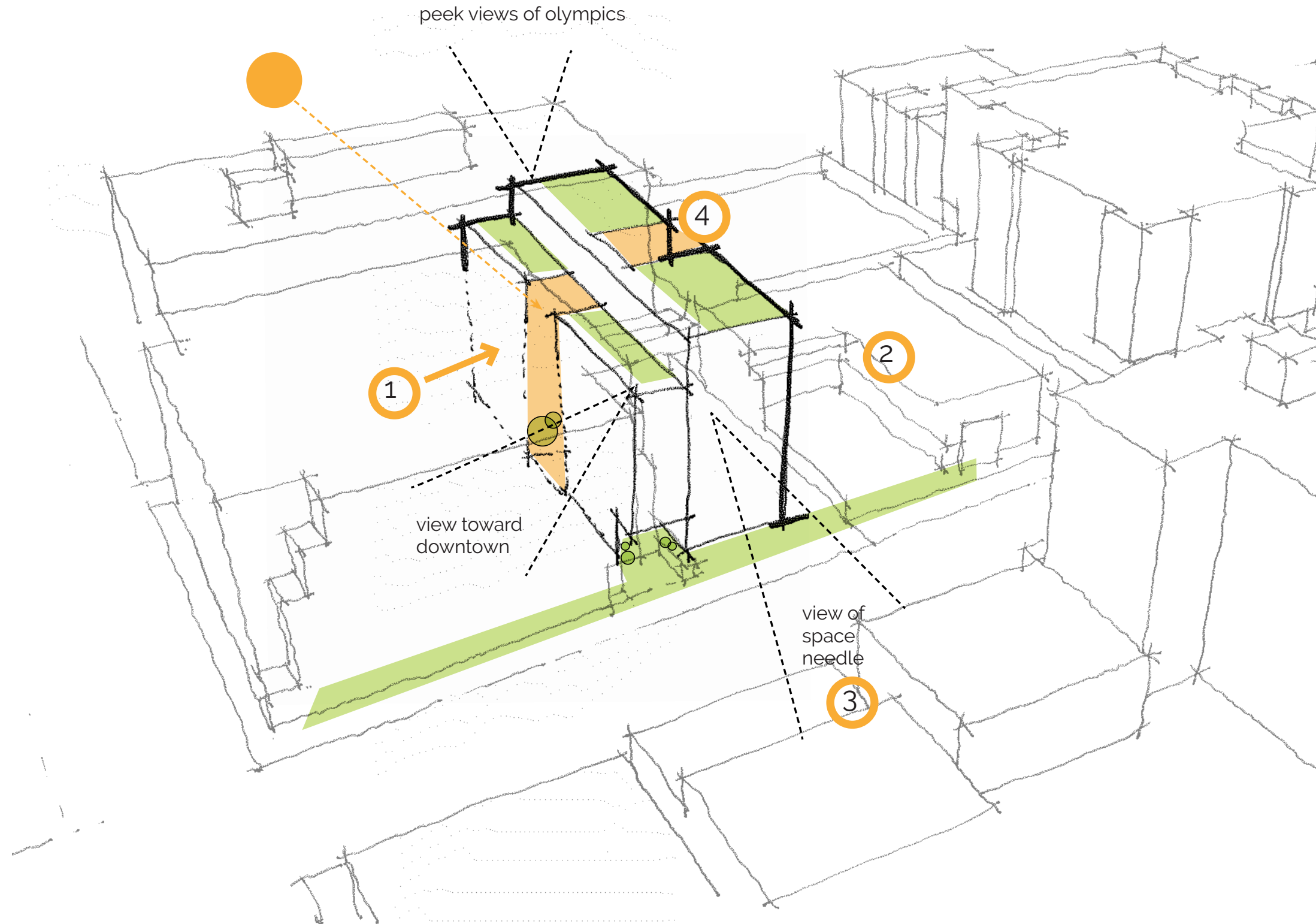
SITE LOCATION	215 QUEEN ANNE AVE N
SITE ZONING	NC3-65
OVERLAY	UPTOWN URBAN VILLAGE FREQUENT TRANSIT
ECA	NO - ECA
SEPA REVIEW 23.05.800 - TAB A/B	NO SEPA REQ (BELOW 200 UNITS)
PARKING REQUIRED	NO PARKING REQ
HEIGHT 23.45.514 SITE AREA	65' MAX HEIGHT Potential max height 85' after upzone *
SITE AREA	6,000 SF
FLOOR AREA RATIO 23.45.510	4.25 BASE FAR / 4.75MAX FAR W/ COMMERCIAL USE
FLOOR AREA	25,500 SF (BASE FAR) /28,500 SF (MAX FAR)
SETBACKS 23.45.518	NO SETBACKS REQUIRED PROJECT NOT ADJACENT TO ANY RES. ZONES
AMENITY AREA 23.45.522	5% OF RESIDENTIAL AREA 25,500 SF = 1,275 SF REQ

Zoning Matrix

PERMITTED AND PROHIBITED USES SMC 23.47A.004	ALL USES ARE PERMITTED OUTRIGHT G.1. LIVE WORK UNITS ARE PERMITTED OUTRIGHT COMMERCIAL USES PER SMC 23.47A.004 TABLE A	PROPOSED: COMPLIES
STREET LEVEL USES SMC 23.47A.005	RESIDENTIAL USE AT STREET LEVEL PERMITTED	PROPOSED: COMPLIES
CONDITIONAL USES SMC 23.47A.006	DOES NOT APPLY	
MAJOR PHASE DEV SMC 23.47A.007	DOES NOT APPLY	
STREET LEVEL DEV STANDARDS SMC 23.47A.008	A. BASIC STREET LEVEL REQUIREMENTS 1. APPLY TO STRUCTURES THAT CONTAIN RES. USE IN C ZONE 2. BLANK FACADES a. BLANK DOES NOT INCLUDE WINDOWS / DOOR / STAIR / DECK / BAL / SCREENING AND LANDSCAPING OF FACADE b. BLANK SEGMENT BETWEEN 2-8 FEET NOT EXCEED 20 FEET IN WIDTH c. TOTAL OF ALL BLANK FACADE SEGMENTS NO EXCEED 40% OF WIDTH OF FACADE 3. FACADE LOCATED WITHIN 10 FEET OF STREET LOT LINE B. NON-RESIDENTIAL STREET LEVEL REQUIREMENTS 1. APPLY TO STRUCTURES W/ STREET LEVEL NON-RESIDENTIAL USES (LIVE-WORK) THAT ALSO CONTAIN RESIDENTIAL USES IN C ZONES 2. TRANSPARENCY a. 60% OF STREET FACING FACADE BETWEEN 2-8 FEET SHALL BE TRANSPARENT. b. TRANSPARENT AREAS SHALL PROVIDE VIEWS INTO AND OUT OF THE STRUCTURE. 3. DEPTH PROVISIONS - 30 FEET AVERAGE DEPTH / 15 FEET MINIMUM 4. NON-RES USE AT STREET LEVEL SHALL HAVE FLOOR TO FLOOR HEIGHT OF 13 FEET MINIMUM. C. DOES NOT APPLY - PROJECT IS NOT WITHIN A PED. ZONE D. WHERE RES. USE IS LOCATED ALONG STREET FACING FACADE 1. AT LEAST ONE OF STREET LEVEL - STREET FACING FACADES CONTAINING RES USE SHALL HAVE A VISUALLY PROMINENT PEDESTRIAN ENTRY 2. FLOOR OF DWELLING UNIT SHALL BE SHALL BE AT LEAST 4 FEET ABOVE OR 4 FEET BELOW SIDEWALK GRADE OR BE SET BACK AT LEAST 10 FEET FROM THE SIDEWALK. E. WHEN A LIVE-WORK UNIT IS LOCATED ON A STREET-LEVEL STREET-FACING FACADE 1. NON-RES PORTION MIN 15 FEET DEEP ACROSS ENTIRE LENGTH. SHALL NOT CONTAIN KITCHEN, BATH, SLEEPING OR LAUNDRY. 2. INCLUDE EXTERIOR SIGN 3. OWNER OF EACH UNIT MUST KEEP COPY OF CURRENT BIZ LICENSE IN UNIT.	PROPOSED: PROJECT DOES NOT CONTAIN BLANK FACADES GREATER THAN 20 FEET IN LENGTH AND DOES NOT EXCEED 40% - COMPLIES DEPTH PROVISIONS - COMPLIES FLOOR TO FLOOR HEIGHT - 13' MIN IN NON RESIDENTIAL USE - COMPLIES
STANDARDS APPL. TO SPEC. AREAS SMC 23.47A.009	DOES NOT APPLY	
MAX. SIZE OF NON-RES USE SMC 23.47A.010	DOES NOT APPLY	
OUTDOOR ACTIVITIES SMC 23.47A.011	DOES NOT APPLY	
STRUCTURE HEIGHT SMC 23.47A.012	A. DOES NOT APPLY B. DOES NOT APPLY C. ROOFTOP FEATURES 2. RAILINGS, CLERESTORIES, GREENHOUSES MAY EXTEND UP TO 4 FEET ABOVE HEIGHT LIMIT. INSULATION MATERIAL, ROOFTOP DECKS AND OTHER SIMILAR FEATURES OR SOIL FOR LANDSCAPING LOCATED ABOVE THE STRUCTURAL ROOF SURFACE MAY EXCEED THE MAX. HEIGHT LIMIT BY 2 FEET IF ENCLOSED BY PARAPETS. 3. SOLAR COLLECTORS MAY EXTEND 4 FEET ABOVE HEIGHT LIMIT 4. SOLAR COLLECTORS, STAIR / ELEV PENTHOUSES MAY EXTEND 15 FEET ABOVE MAX HEIGHT LIMIT TO A MAX OF 20% ROOF COVERAGE / 25% IF INCLUDES STAIR / ELEV PENTHOUSES OR SCREED MECH EQUIP. STAIR / ELEV MAY EXTEND UP TO 16 FEET IF ADD HEIGHT IS REQ. TO ACCOMMODATE ENERGY EFFICIENT ELEVATORS. 6. GREENHOUSES THAT ARE DEDICATED TO FOOD PRODUCTION ARE PERMITTED TO EXTEND 15 FEET IF ALL FEATURES GAINING ADD HEIGHT DOES NOT EXCEED 50% OF ROOF AREA. 7. SOLAR COLLECTORS, CLERESTORIES, GREENHOUSES - MUST BE 10 FEET AWAY FROM THE NORTH EDGE	PROPOSED: NC3-65 ZONE THEREFORE PROPOSED MAX 65FT HEIGHT LIMIT COMPLIES

FLOOR AREA RATIO SMC 23.47A.013	A. FAR LIMITS APPLY TO ALL STRUCTURES IN ALL NC ZONES 1. ALL GROSS AREA NOT EXEMPT UNDER D IS COUNTED AGAINST MAX GFA ALLOWED BY PERMITTED FAR. 3. PARKING THAT IS WITHIN OR COVERED BY A STRUCTURE OR PORTION OF A STRUCTURE AND THAT IS WITHIN A STORY THAT IS NOT UNDERGROUND SHALL BE INCLUDED IN GFA CALCS TO COUNT TOWARDS FAR. B. TOTAL FAR THAT IS SOLELY RES OR NON-RES USE IN 40' ZONE = 3.0 TOTAL FAR FOR ALL USES ON A LOT THAT IS OCCUPIED BY A MIX OF USES. PROVIDED THAT THE FAR LIMR FOR EITHER ALL RES USES OR THE FAR FOR NON-RES USES SHALL NOT EXCEED 3.0 IN 40' ZONE = 3.25 D. FOLLOWING GFA NOT COUNTED TOWARD MAX FAR. 1. ALL UNDERGROUND STORIES 2. PORTIONS OF A STORY THAT EXTEND NO MORE THAN 4 FEET ABOVE EXISTING OR FIN. GRADE WHICHEVER IS LOWER, EXCLUDING ACCESS	PROPOSED: BASE FAR = 4.25 MAX FAR PER USE = 4.25 B/C MIX OF RES AND NON-RES USES, TOTAL FAR = 4.75 SITE AREA: 6,000 SF FAR: 4.25 BASE FAR = 25,500SF (RESIDENTIAL) 4.75 TOTAL FAR = 28,500SF (3,000 SF COM) PARKING UNDERGROUND AND NOT INCLUDED IN FAR COMPLIES
SETBACK REQ. SMC 23.47A.013	ALONG QUEEN ANNE AVE - NO SETBACK REQ SIDE - NO SETBACK REQ ALONG ALLEY - NO SETBACK REQ	PROPOSED: COMPLIES
VIEW CORRIDOR SMC 23.47A.015	DOES NOT APPLY	
LANDSCAPING AND SCREENING STANDARDS SMC 23.47A.016	A. LANDSCAPING REQ. 2 - GREENFACTOR SCORE OF 0.3 OR GREATER B. STREET TREE REQ C. SCREENING WHERE REQ. - 1.FENCES, HEDGES, WALLS, BERMS PARKING GARAGE TO BE BELOW GRADE - NO SCREENING REQ.	SEE LANDSCAPE - COMPLIES
NOISE STANDARDS SMC 23.47A.018	DOES NOT APPLY	
ODOR STANDARDS SMC 23.47A.020	DOES NOT APPLY	
LIGHT AND GLARE STANDARDS SMC 23.47A.022	A. EXTERIOR LIGHTING MUST BE SHIELDED AWAY FROM ADJ USES B. INT LIGHTING IN PARK GARAGES MUST BE SHIELDED TO MIN. NIGHT GLARE	
AMENITY AREA SMC 23.47A.024	A. AMENITY AREAS ARE REQ IN AN AMOUNT EQUAL TO 5% OF TOTAL GFA OF RES USE. EXCLUDES MECH AND PARKING AREA B. A.A. SHALL MEET FOLLOWING STANDARDS 1. ALL RES HAVE ACCESS TO AT LEAST ONE COMMON OR PRIVATE A.A. 2. A.A. SHALL NOT BE ENCLOSED 3. PARKING NOT COUNT AS AA 4. COMMON AA SHALL HAVE MIN HORIZONTAL DIST. OF 10FEET - NO COMMON AA LESS THAN 250 SF 5. PRIVATE BALCONIES AND DECKS MIN. 60 SF 6. ROOFTOP AREAS EXCLUDED BECAUSE THEY ARE NEAR MINOR COMMUNICATION UTILITIES AND ACC. COMM. DEVICES NO DO QUALIFY AS A.A.	PROPOSED: 25,500 SFGFA RES USE X 0.05 = 1,275 SF AA REQ. - COMPLIES
LANDMARK DIST. AND DESG. LAND. STRUCTURE SMC 23.47A.027	DOES NOT APPLY	
STAND. FOR DRIVE IN BUSINESSES SMC 23.47A.028	DOES NOT APPLY	
REQ. PARKING AND LOADING SMC 23.47A.030	PARKING PER 23.54.015 ACCESS TO PARKING SHALL BE FROM THE ALLEY IF THE LOT ABUTS AN ALLEY IMPROVED TO THE STANDARDS OF SUBSECTION 23.53.030.C	PROPOSED: PARKING ACCESS TO BE FROM ALLEY - COMPLIES
PARKING LOCATION AND ACCESS SMC 23.47A.032	A3 - IN C1 ZONES ACCESS TO OFFSTREET PARKING MAY BE FROM A STREET, ALLEY OR BOTH. STRUCTURES IN C ZONES W/ RES USE SHALL MEET REQ. OF NC ZONES. A1 - NC ZONES - ACCESS TO PARKING SHALL BE FROM ALLEY IF LOT ABUTS AN ALLEY.	PROPOSED: PARKING ACCESS TO BE FROM ALLEY - COMPLIES
REQUIRED PARKING SMC 23.54.015	PER 23.54.015 TABLE B L. ALL RESIDENTIAL USES WITHIN URBAN CENTERS - NO MINIMUM REQUIREMENT.	NO PARKING REQUIRED, HOWEVER 9 SPOTS PROVIDED - COMPLIES
SOLID WASTE AND RECYCLABLE MATERIALS SMC 23.54.040	PER TABLE A - 26-60 DWELLING UNITS REQUIRES 375 SF; NON RESIDENTIAL DEVELOPMENT - 0-5000 SF REQUIRES 825SF MIXED USE DEVELOPMENT THAT CONTAINS BOTH RESIDENTIAL AND NON-RESIDENTIAL USES SHALL MEET THE STORAGE SPACE REQUIREMENTS SHOWN IN TABLE A FOR RESIDENTIAL DEVELOPMENT, PLUS 50 PERCENT OF THE REQUIREMENT FOR NON-RESIDENTIAL DEVELOPMENT. IN MIXED USE DEVELOPMENTS, STORAGE SPACE FOR GARBAGE MAY BE SHARED BETWEEN RESIDENTIAL AND NON-RESIDENTIAL USES, BUT SEPARATE SPACES FOR RECYCLING SHALL BE PROVIDED.	PROPOSED: 46 RES UNITS = 375SF 3000SF COM = 825SF X 50% = 412SF TOTAL = 416SF SEPARATE RECYCLING PROVIDED. - COMPLIES

*Note: This project complies with zoning code before Upzone.



1 - SOUTH SETBACKS

Respect privacy of adjacent office use for daily occupants of the building. Also take advantage of massing setback at the street of building that steps back on the ground floor entry and at top.

2 - ASSUMED POTENTIAL DEVELOPMENT TO NORTH

Assumed that a new structure to the North would extend the lot line, Therefore this facade has been left blank and with no setback. To address the period before a new building is constructed, this proposal will articulate this blank wall to provide visual interest.

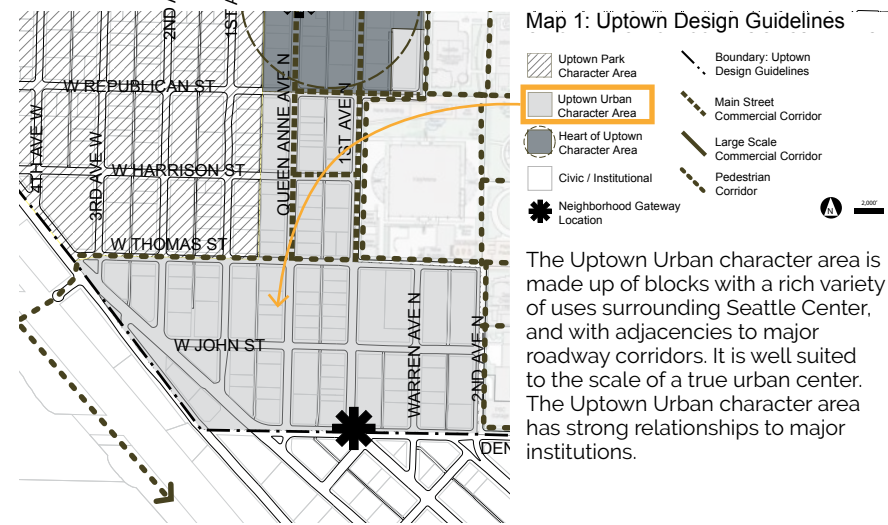
3 - VIEWS (EAST & WEST)

The project aims to take advantage of the views to the east towards the Space Needle and West towards the Puget Sound / Olympic Mountains. On the upper level and roof deck there is also a view opportunity to the south towards downtown.

4 - CARVE OUT CENTER

Open up ground floor and center of the site so interior units have opportunities for views into a quiet private space for guests of the building. On the ground floor, this space will serve as an extension of the activity and life of the public realm.

UPTOWN DESIGN GUIDELINES



CS2: URBAN PATTERN & FORM

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

I. RESPONDING TO SITE CHARACTERISTICS

- i: Throughout Uptown new developments should, to the extent possible, be sited to further contribute to the neighborhood's pedestrian character.

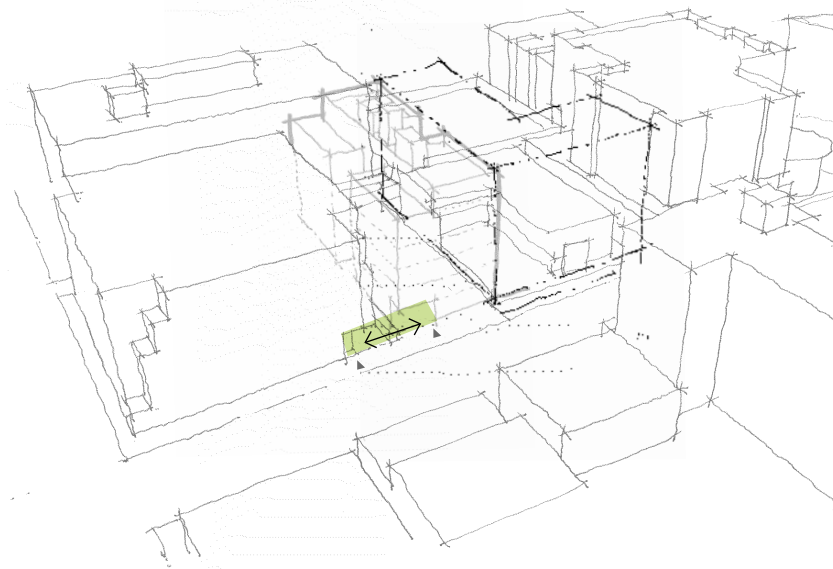
II. STREETScape COMPATIBILITY

- iii: In the Uptown Urban and Heart of Uptown character areas, encourage streetscapes that respond to unique conditions created by Seattle Center

IV: HEIGHT, BULK AND SCALE COMPATIBILITY

- i: Throughout Uptown, a departure would be supported for 3' of additional height for projects that step back the top floor of the structure a minimum of 6' from the street. This has the effect of reducing the impact of the structure height on the sidewalk below as well as reducing the length of shadows over the street. Where the Code regulates podium height, the additional 3' applies to the podium.
- iii: In the Uptown Urban character area larger massing units and less modulation are appropriate, provided they are carefully designed, with quality materials.

Building is considered as one mass facing the street and one mass facing the alley. A setback at upper levels could help to reduce the impact of the structure's height on the sidewalk.



PL1: CONNECTIVITY

Complement and contribute to the network of open spaces around the site and the connections among them.

I: STREETScape COMPATIBILITY

- i: Site outdoor spaces in accordance with the location and scale of adjacent streets, buildings, and uses. For example, an on-site plaza should not unduly interrupt the retail continuity of a street.
- ii. Locate plazas intended for public use at or near grade to promote both a physical and visual connection to the street. Special paving materials, landscaping, and other elements can be used to provide a clear definition between the public and private realms.
- iii. Define outdoor spaces through a combination of building and landscaping, and discourage oversized spaces that lack containment.

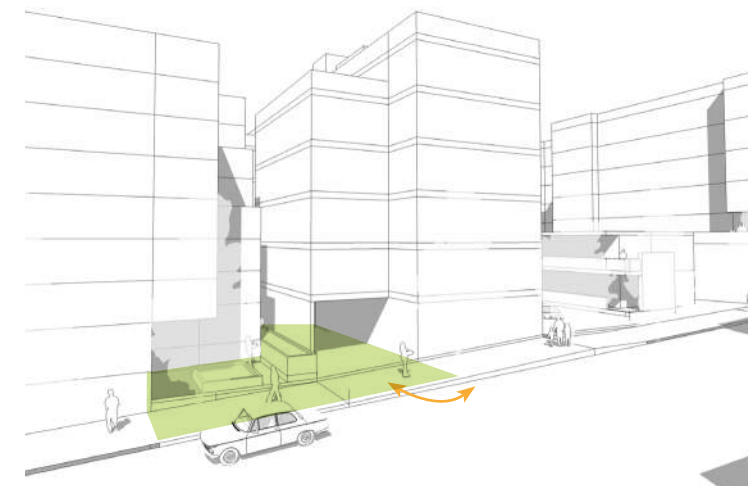
Create an on-site plaza within the site to provide outdoor space for the building residents. This plaza should have a visual connection to the street through the lobby but not interfere with commercial uses.

PL2: WALKABILITY

Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.

I. ENTRANCES VISIBLE FROM THE STREET

- Throughout Uptown, major entrances to developments should be prominent. The use of distinctive designs with historical references is strongly encouraged. Design, detailing, materials and landscaping may all be employed to this end. Building addresses and names (if applicable) should be located at entrances, tastefully crafted. Streets throughout Uptown should be sociable places that offer a sense of security, and residential building projects should make a positive contribution to life on the street.



II. PEDESTRIAN OPEN SPACES AND ENTRANCES

- i: Throughout Uptown entries should be designed to be pedestrian friendly (via position, scale, architectural detailing, and materials) and should be clearly discernible to the pedestrian.
- ii. Individual or unit entrances in buildings that are accessed from the sidewalk or other public spaces should consider appropriate designs for defensible space as well as safety features (e.g., decorative fencing and gating). Landscaping should be consistent with these features.

A small setback at the residential lobby entrance distinguishes residential use from commercial storefront. Materials and landscaping associated with the residences should be of a more residential quality.

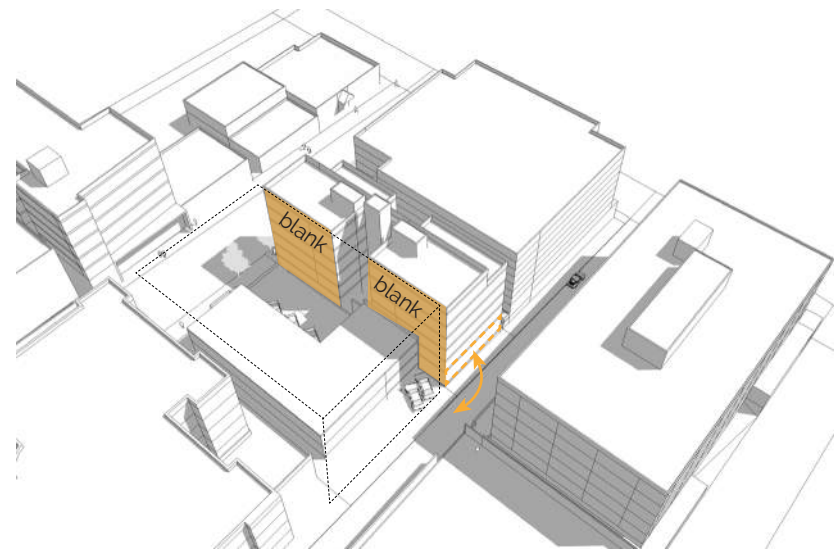
PL4: TRANSPORTATION

Incorporate design features that facilitate active forms of transportation such as walking, bicycling, and use of transit.

I. PEDESTRIAN OPEN SPACES AND ENTRANCES

- Including amenities for transit riders in a building's design rather than the traditional use of curbside bus shelters generates a safer and more active street.

No transit stops are located along this site's curb. However, bicycle parking will be accessible from both the Street entrance and alley.



DC1: PROJECT USES AND ACTIVITIES

Optimize the arrangement of uses and activities on site.

I. PARKING AND VEHICLE ACCESS

- Throughout Uptown the preferred location for surface parking lots is in the rear of the building or away from or otherwise screened from the street and sidewalk.

Parking will be contained within the building. Parking entrance located off the alley.

II. BLANK WALLS

- ii. In the Uptown Urban and Heart of Uptown character areas artwork and decorative surfacing may provide an alternative wall treatment to landscaping in some locations. However, painted murals are the least preferred solution to larger wall areas in Uptown.

Blank walls at North lot line covered in durable, low maintenance materials that can be articulated in a way in a way that creates visual interest.

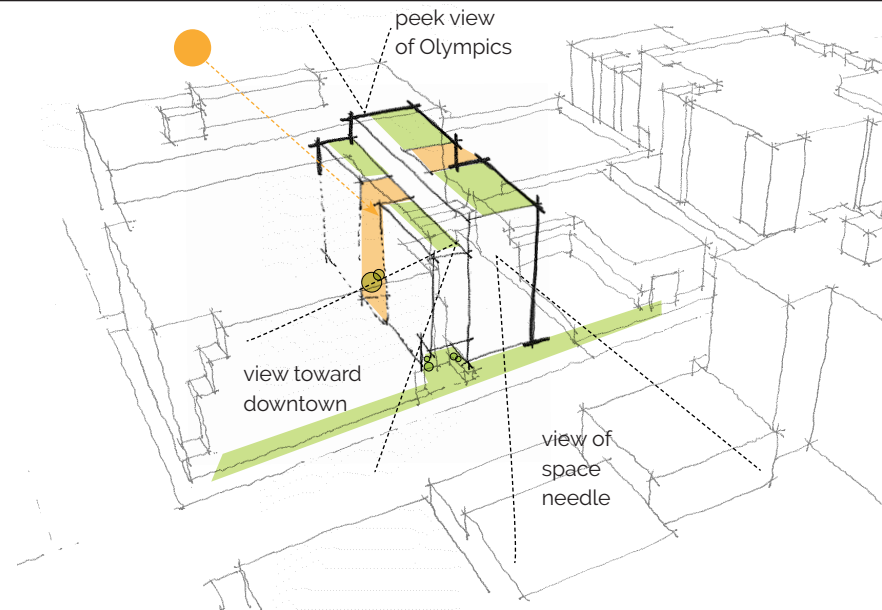
III. RETAINING WALLS

- Throughout Uptown retaining walls should be constructed of materials that will provide substantial pattern and texture. Rockery, stone, stacked stone or concrete, or brick are preferred. Poured concrete or other smooth treatments/ materials are strongly discouraged, unless treated to provide textural or design interest. Walls should be appropriately designed and scaled for the pedestrian environment. Landscaping in conjunction with retaining walls is strongly encouraged.

VI. TREATMENT OF ALLEYS

- Throughout Uptown ensure alleys are designed to be clean, maintained spaces. Recessed areas for recyclables and disposables should be provided.

Trash area recessed and screened for safety and maintenance.



DC2: ARCHITECTURAL CONCEPT

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

I: ARCHITECTURAL CONTEXT

- iii. Supplemental Guidance Scope: The Uptown Urban character area embraces high quality urban infill, and responds to special relationships with nearby civic institutions. The following features are encouraged:
 - a. Consistent street wall;
 - b. Engaging the sidewalk / storefront transparency;
 - c. Building siting that responds to Seattle Center entry points;
 - d. Defined cornices;
 - e. High quality, durable materials;
 - f. Distinct residential and commercial components; and
 - g. Throughout Uptown, upper level balconies are discouraged on the street side of residential buildings. Bay windows are a preferred architectural element on the street side. This guideline is intended to avoid open displays of storage, which are sometimes an unintended consequence of street side balconies.

II: ARCHITECTURAL CONCEPT AND CONSISTENCY

- Throughout Uptown buildings and landscaping should strive to create projects with an overall neat and cohesive appearance.

Overall mass of the project is broken to distinguish residential and commercial components. Masses are connected through a material and graphic visual language using high quality durable materials.

III: HUMAN SCALE

- iv. Throughout Uptown size signs, exterior light fixtures, canopies and awnings to the scale of the building and the pedestrian. Signs that add creativity and individual expression to the design of storefronts are encouraged. Signs should be integrated into the overall design of the building. Signs that appear cluttered and detract from the quality of the building's design are discouraged.

Signage at residential and commercial entrances promotes safety and visibility for pedestrians.

DC3: OPEN SPACE CONCEPT

Integrate open space design with the design of the building so that each complements the other.

I. LANDSCAPING TO ENHANCE THE BUILDING OR SITE

- Throughout Uptown landscaping should be substantial and include a variety of textures and colors, to the extent possible. Landscaping should be used to enhance each site, including buildings, setbacks, entrances, open space areas, and to screen parking and other less visually attractive areas. Encourage planted containers at building entries.

Landscaping at the residential entrance to provide a diversity of sidewalk experiences.

An on-site residential courtyard visually connects to the sidewalk and blurs boundaries between interior/exterior and public/private.

DC4: EXTERIOR ELEMENTS AND FINISHES

Use appropriate and high quality elements and finishes for the building and its open spaces.

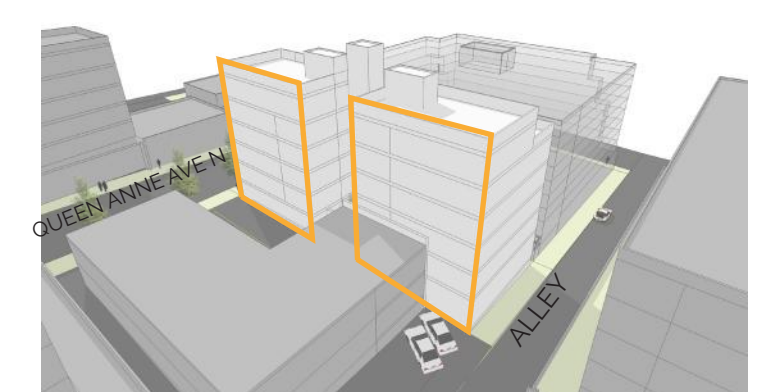
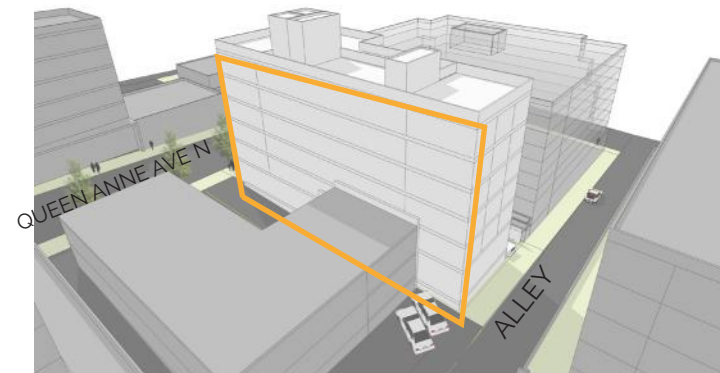
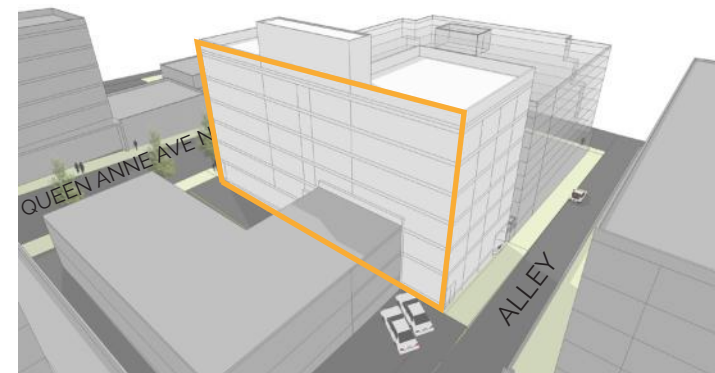
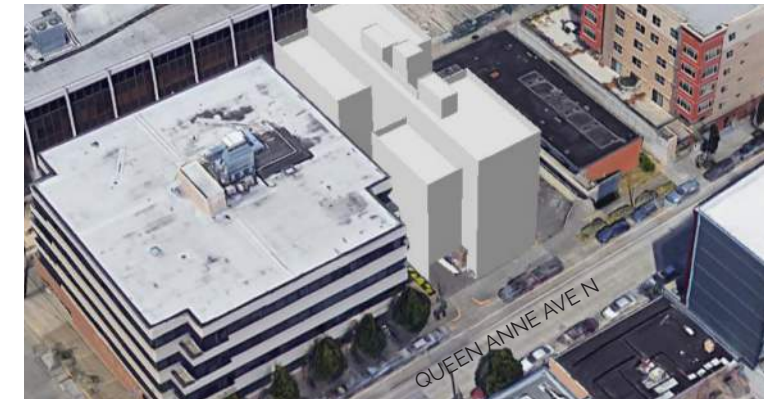
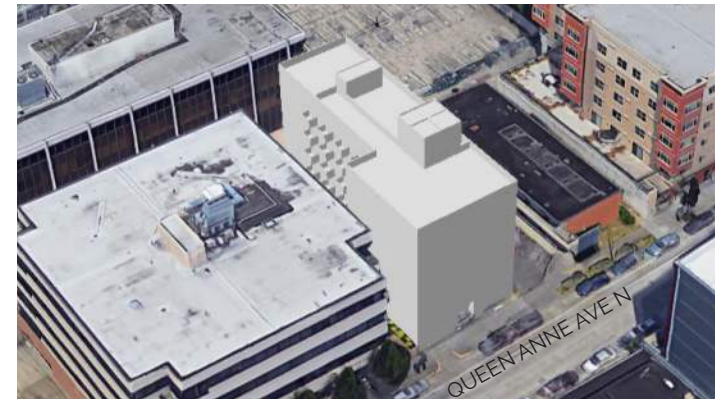
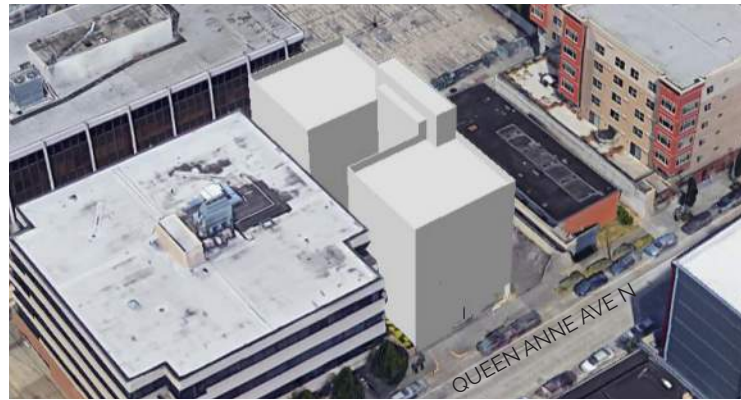
II. EXTERIOR FINISH MATERIALS

- ii. Decorative exterior treatments using brick, tile, and/or other interesting exterior finish materials are strongly preferred. Quality exterior finish materials should be incorporated at all levels and on all exterior walls. Use materials, colors, and details to unify a building's appearance; buildings and structures should be built of compatible materials on all sides.

III. COMMERCIAL SIGNAGE / IV: LIGHTING

High quality, durable materials will be selected to create texture that is visual interesting to pedestrians and neighbors. The building materials should wrap all sides.

MASSING SOLUTIONS



1: "C"ourt



50 Units (24 SEDU & 26 Dwelling Units)

Proposed FAR: 25,000 SF / 28,000 SF
 Max FAR: 25,500 (base)
 28,500 SF (max)
 Bike: 13
 Parking: 9

Positive

- Efficient Circulation
- Opens to South - Light / Air
- Views out to right of way (street / alley)
- Trash accessed from Alley

Negative

- Long Blank Facade along north
- Monotonous Form
- Elevator / Stair Core massive

Departures

- none

2: "L"inear



50 Units (24 SEDU & 26 Dwelling Units)

Proposed FAR: 25,000 SF / 28,000 SF
 Max FAR: 25,500 (base)
 28,500 SF (max)
 Bike: 13
 Parking: 9

Positive

- Units Face South
- Potential for balconies to south
- Central Stair / Elevator core

Negative

- Long Blank Facade along north
- Lack of privacy to southern neighbor
- Units facing alley
- Monotonous facade along street

Departures

- none

3: Private "I"

Preferred Scheme



46 Units (11 SEDU & 35 Dwelling Units)

Proposed FAR: 25,000 SF / 28,000 SF
 Max FAR: 25,500 (base)
 28,500 SF (max)
 Bike: 12
 Parking: 9

Positive

- Step Down Volumes
- Setback Volume from street
- Internal Courtyard(s)
- Mitigate Blank facade to north / south
- Central elevator / stair
- Increased setback to south

Negative

- Long Blank Facade along north
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Departures

- none

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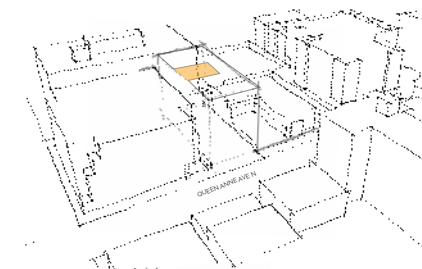
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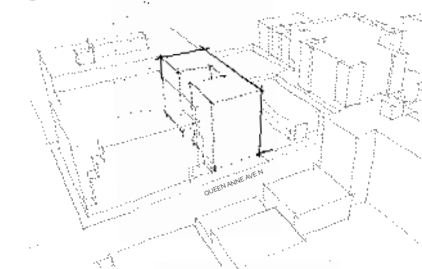
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Departures

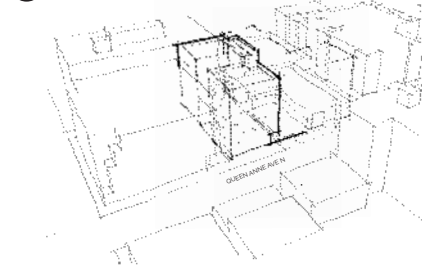
- none



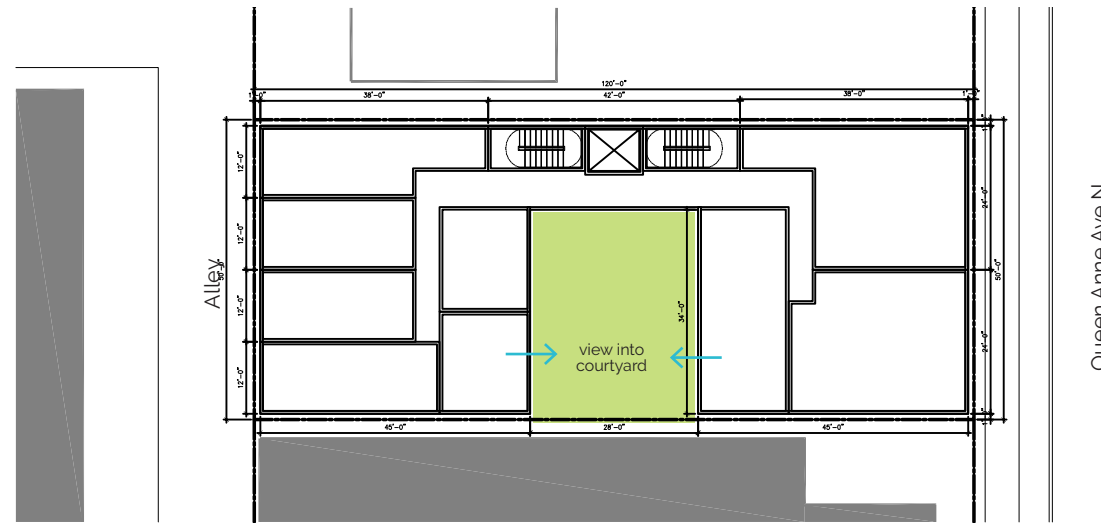
1 Max volume



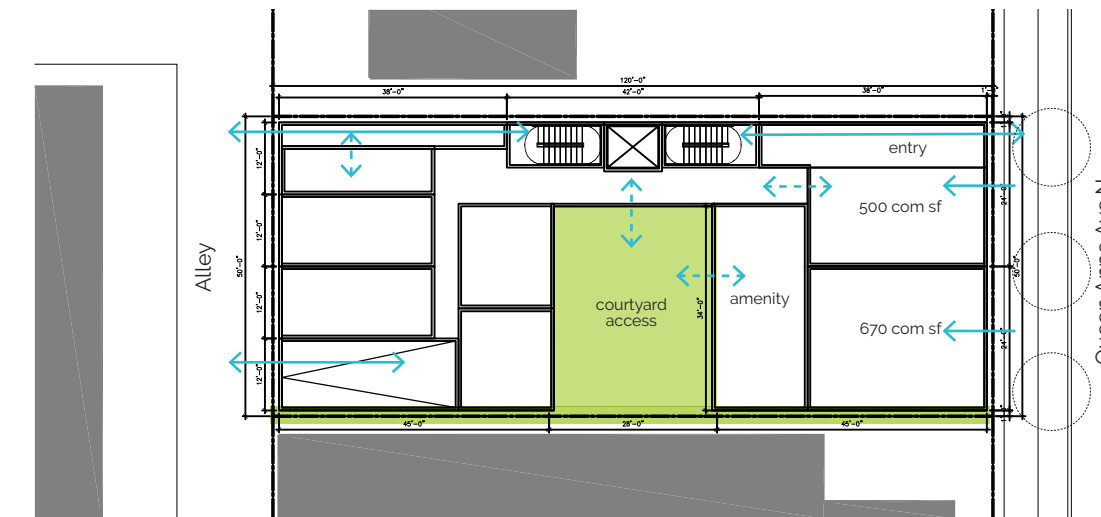
2 Carve South courtyard



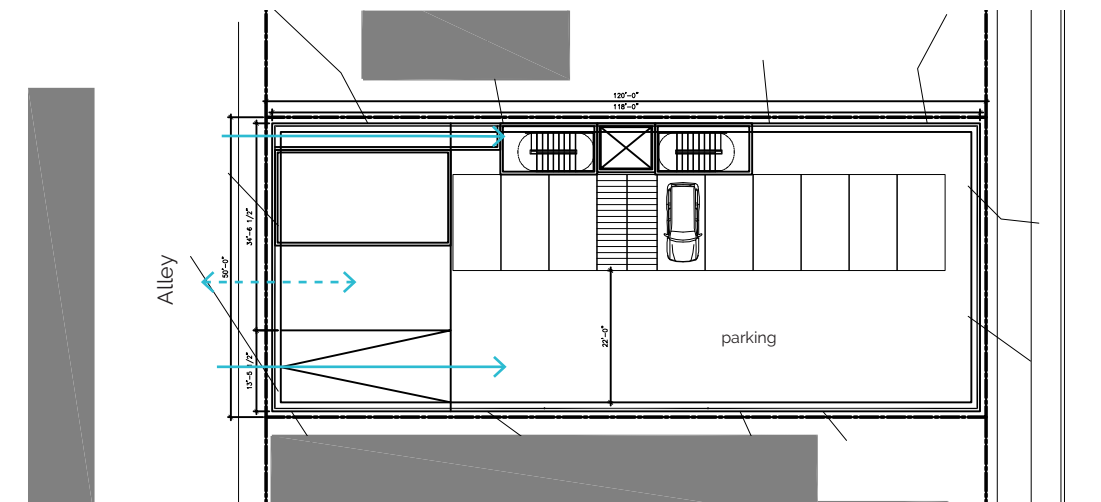
3 Localize circulation to the North edge of building



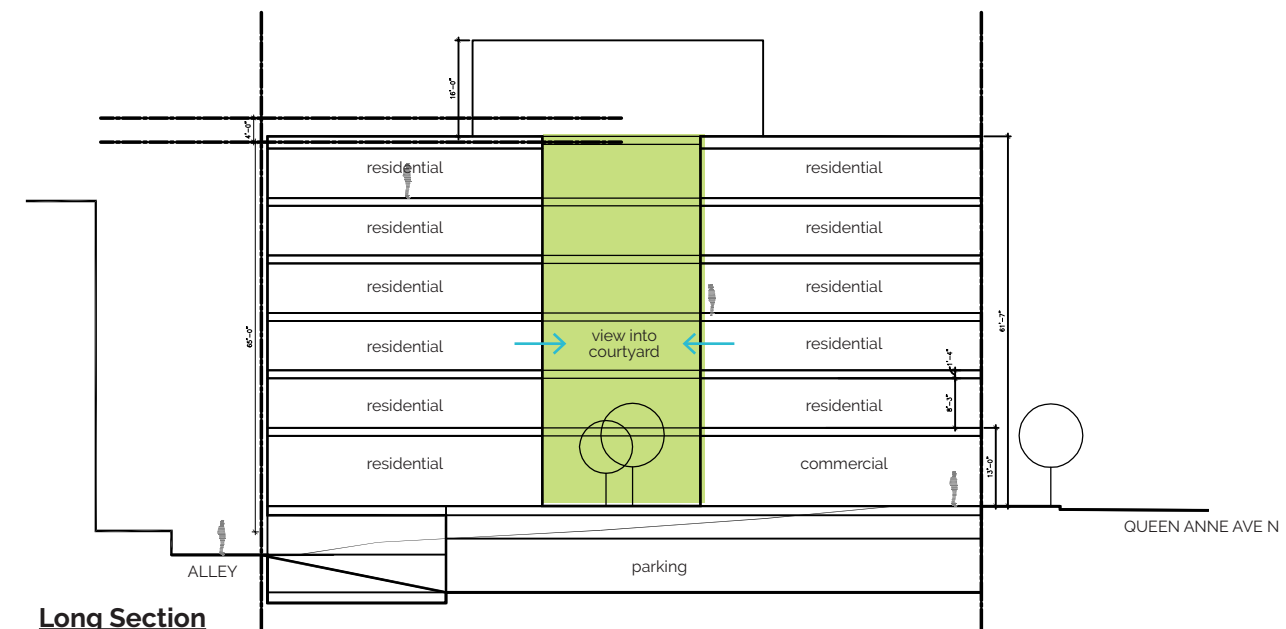
Typical Plan
scale: 1:32" = 1'-0"



Entry Plan
scale: 1:32" = 1'-0"



Parking Plan
scale: 1:32" = 1'-0"



Long Section
scale: 1:32" = 1'-0"

2: "L"inear

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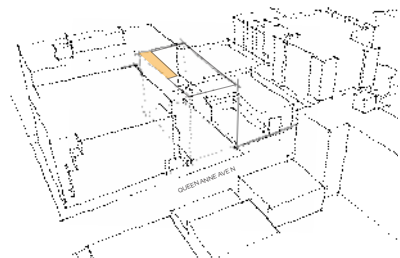
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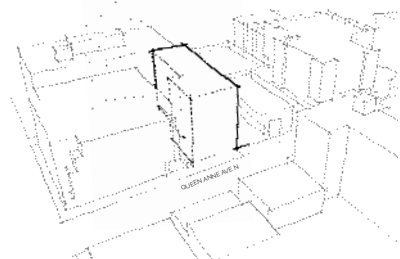
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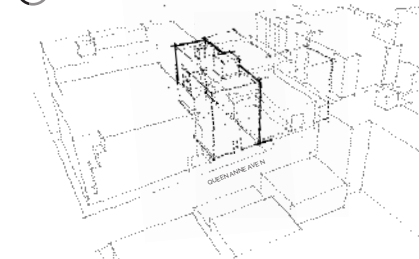
- none



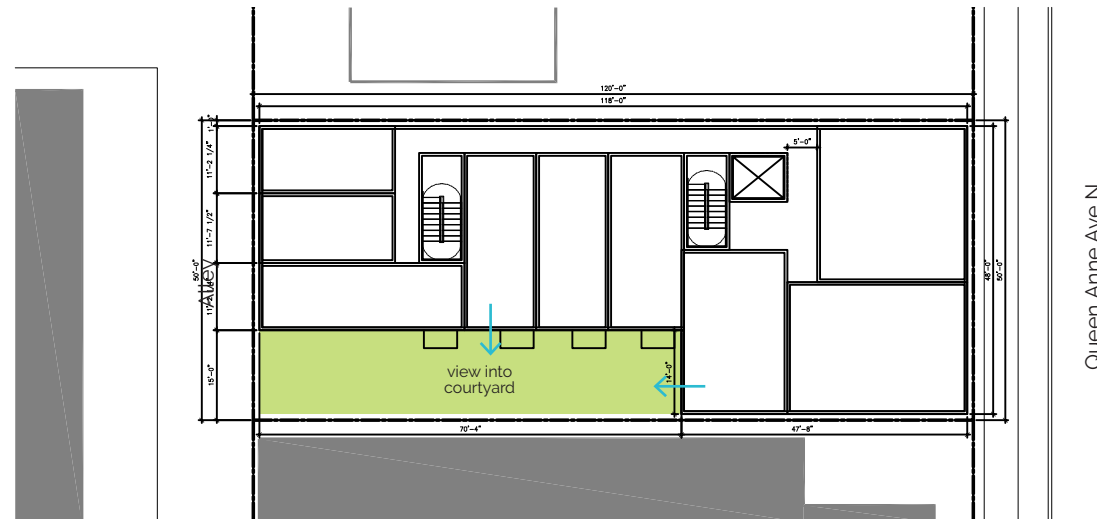
1 Max volume



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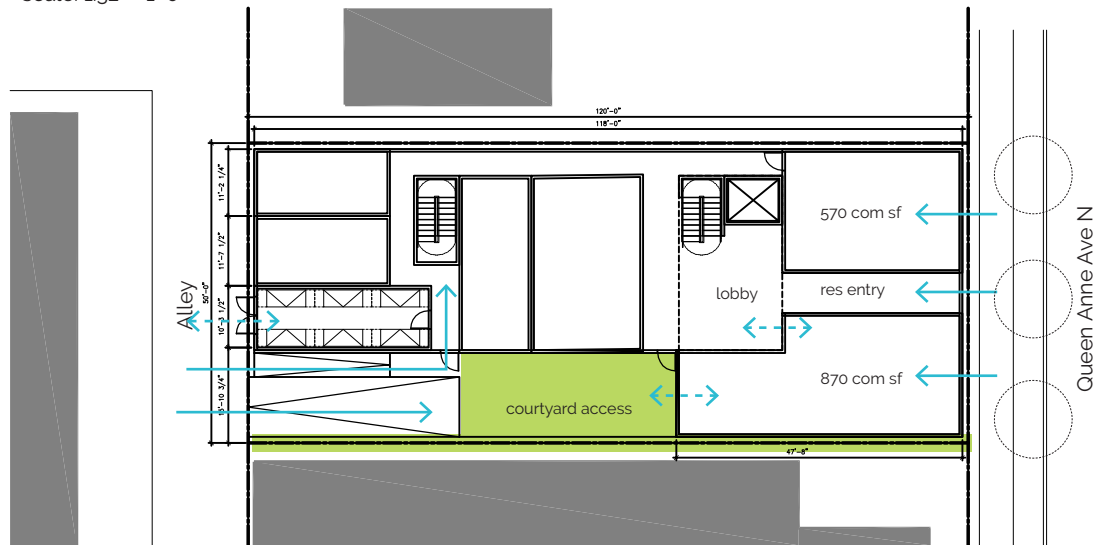


3 Localize circulation to the North edge of building



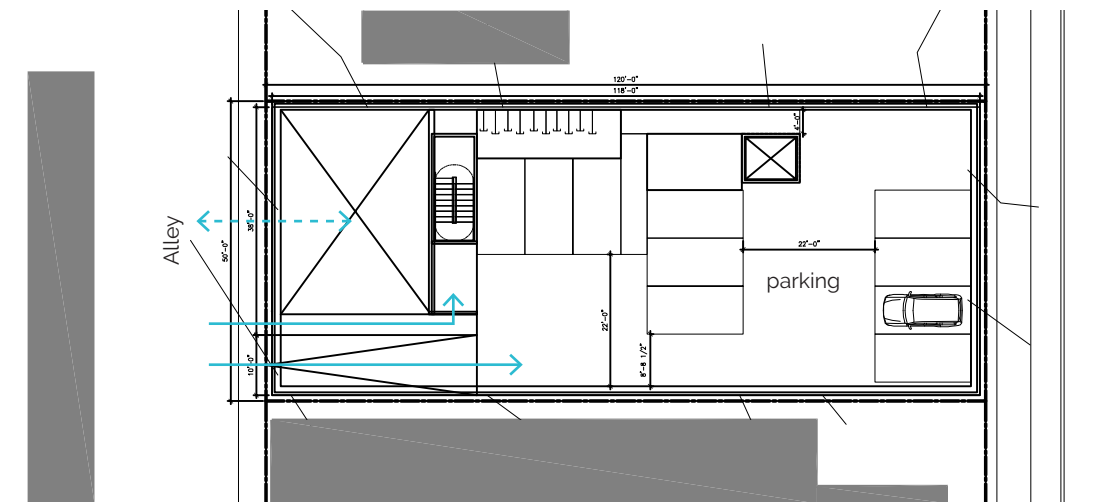
Typical Plan

scale: 1/32" = 1'-0"



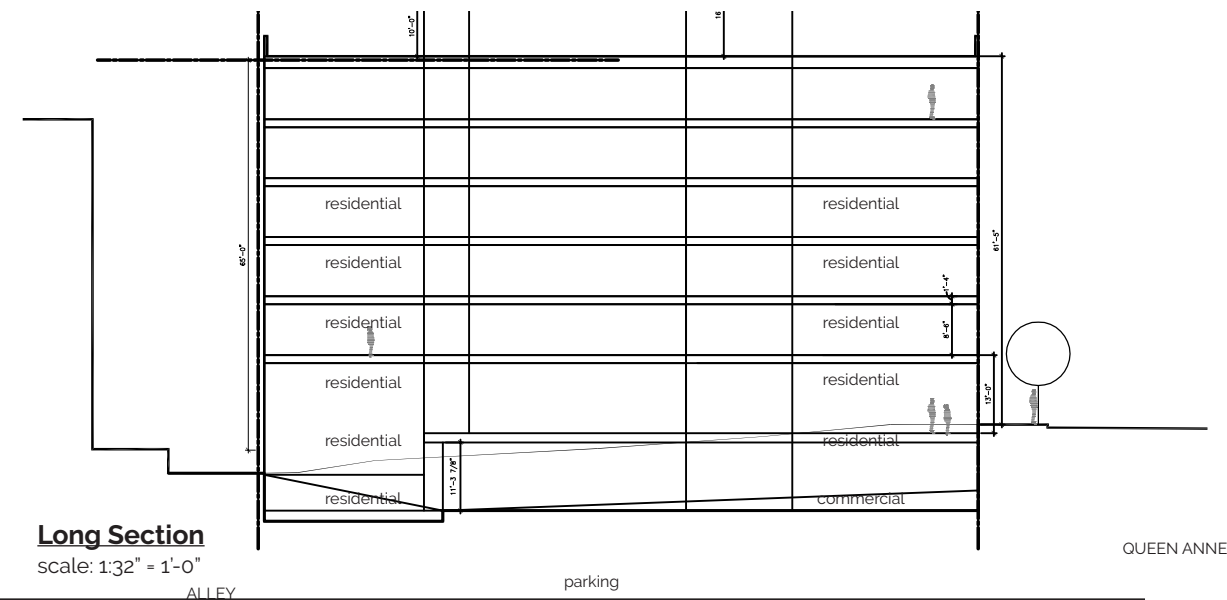
Entry Plan

scale: 1/32" = 1'-0"



Parking Plan

scale: 1/32" = 1'-0"

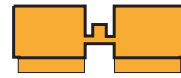


Long Section

scale: 1/32" = 1'-0"

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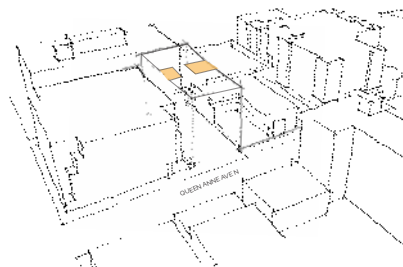
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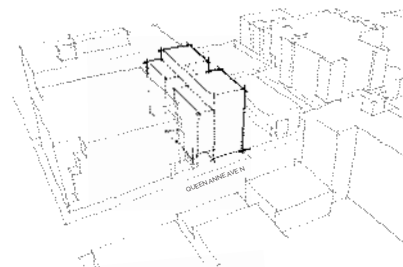
- Long Blank Facade along north
- Units facing alley

Departures

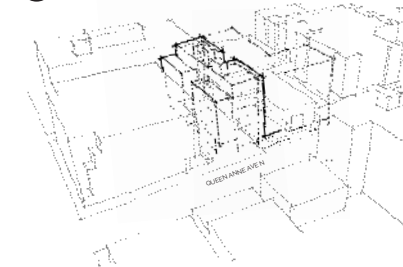
- none



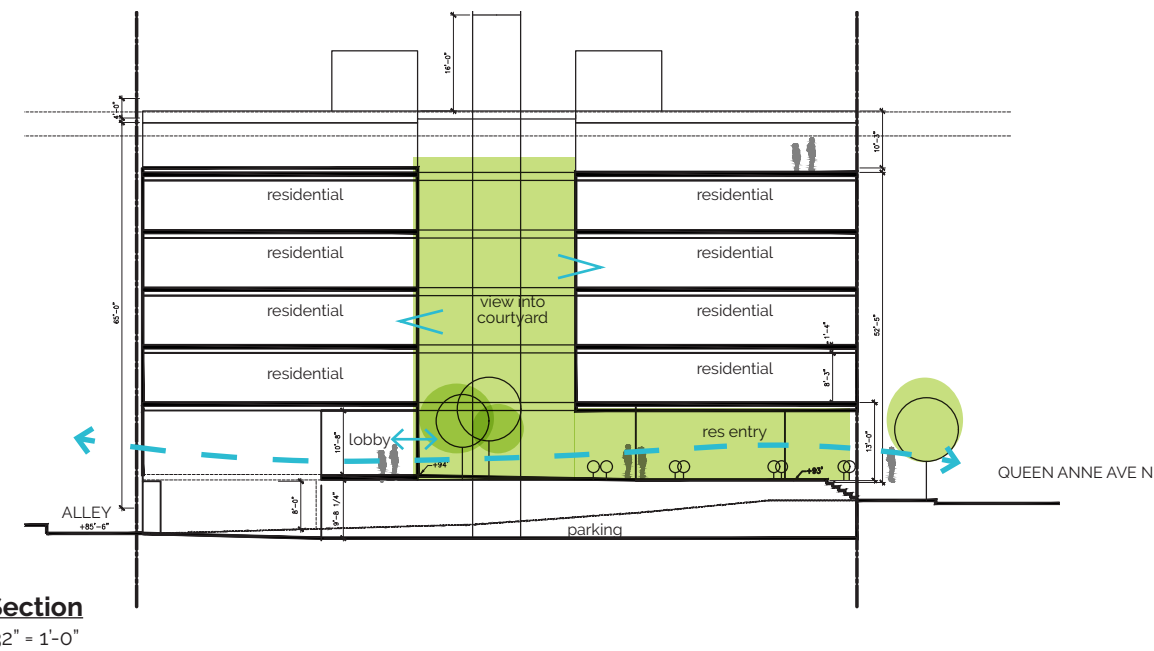
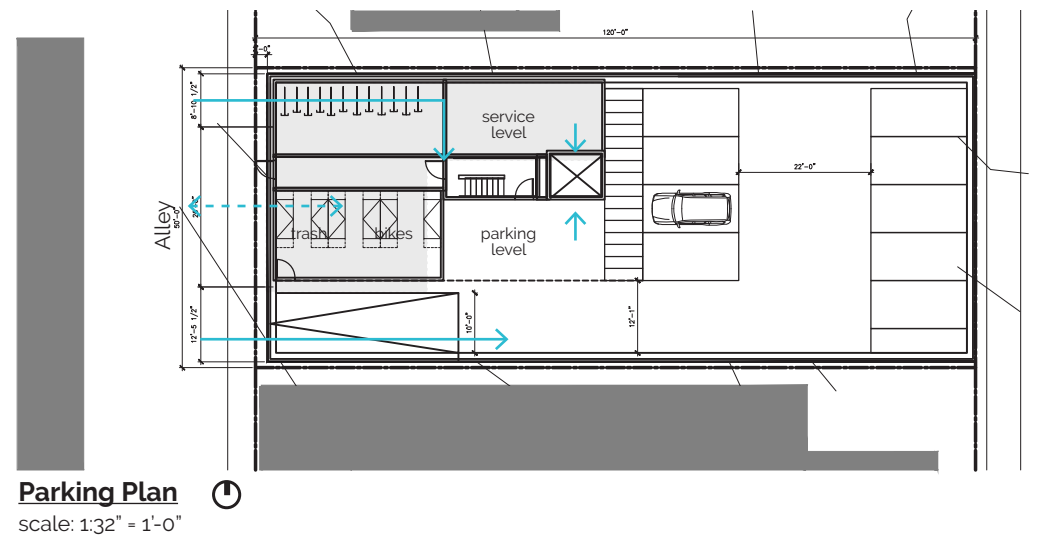
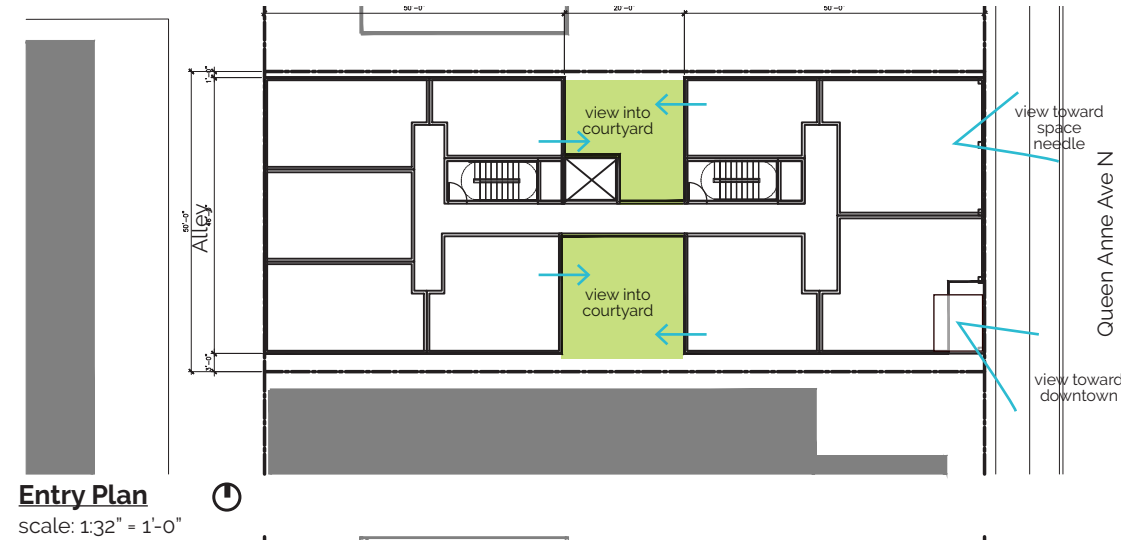
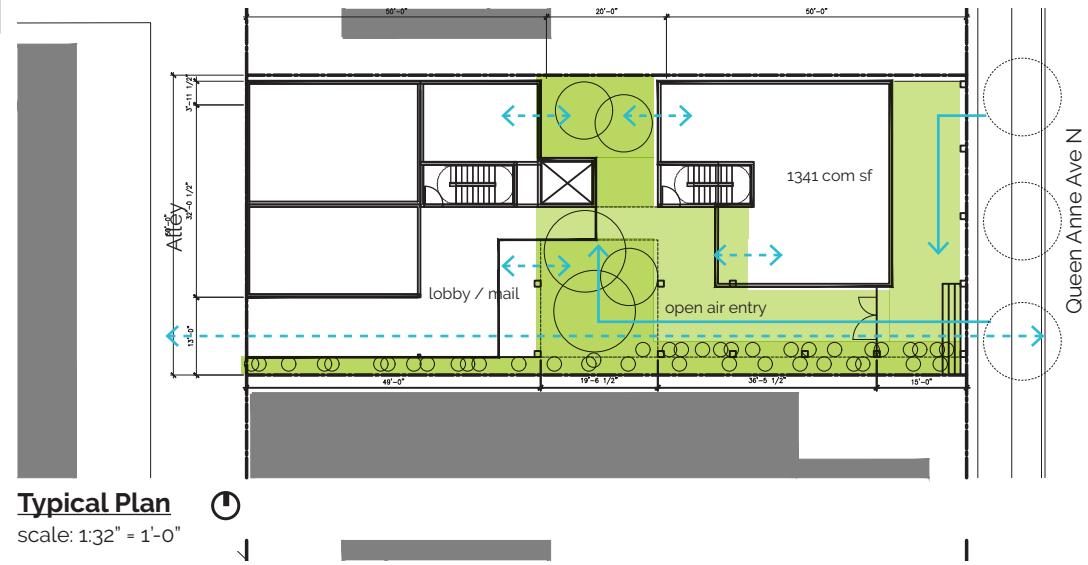
1 Max volume



2 Carve South courtyard



3 Localize circulation to the North edge of building

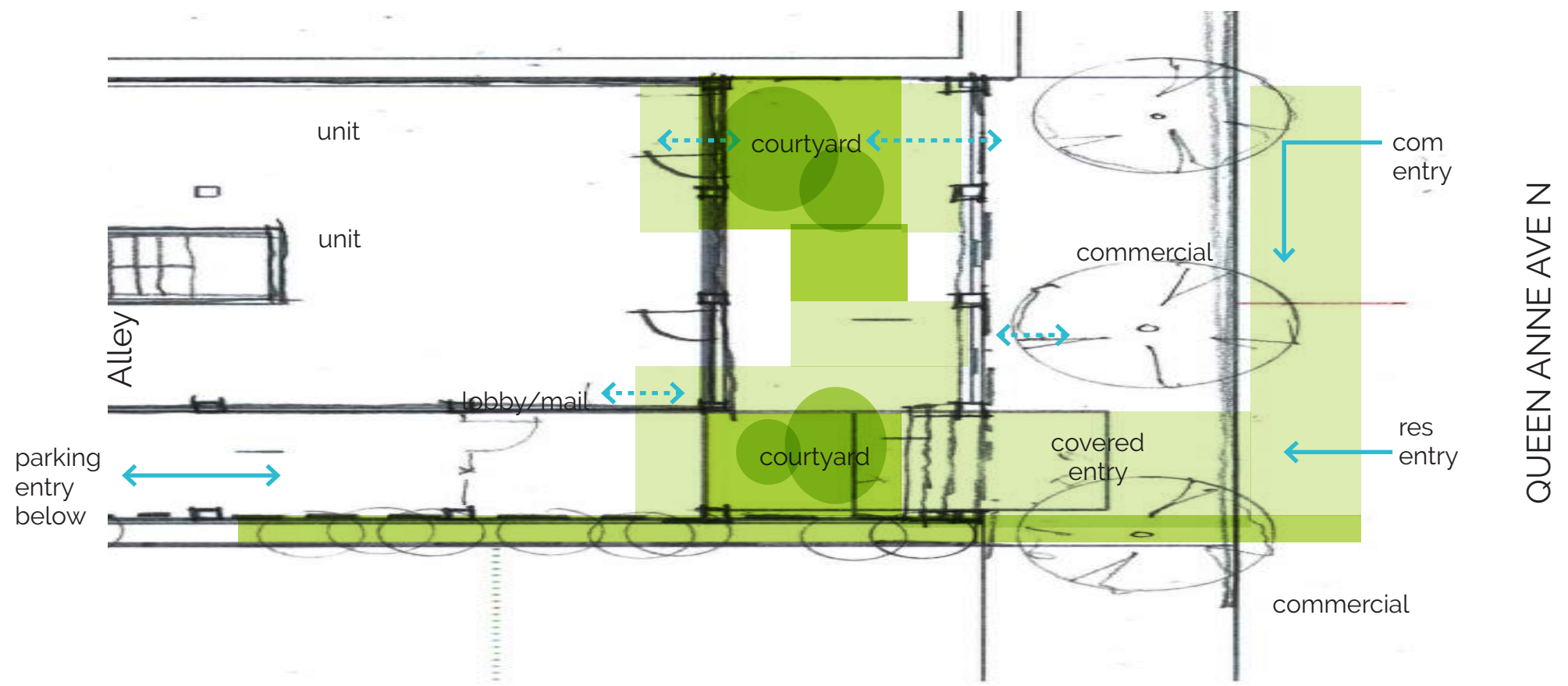


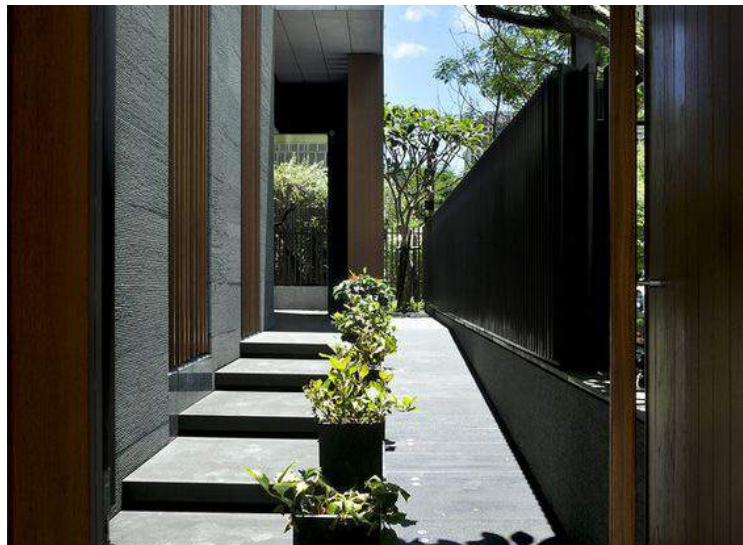
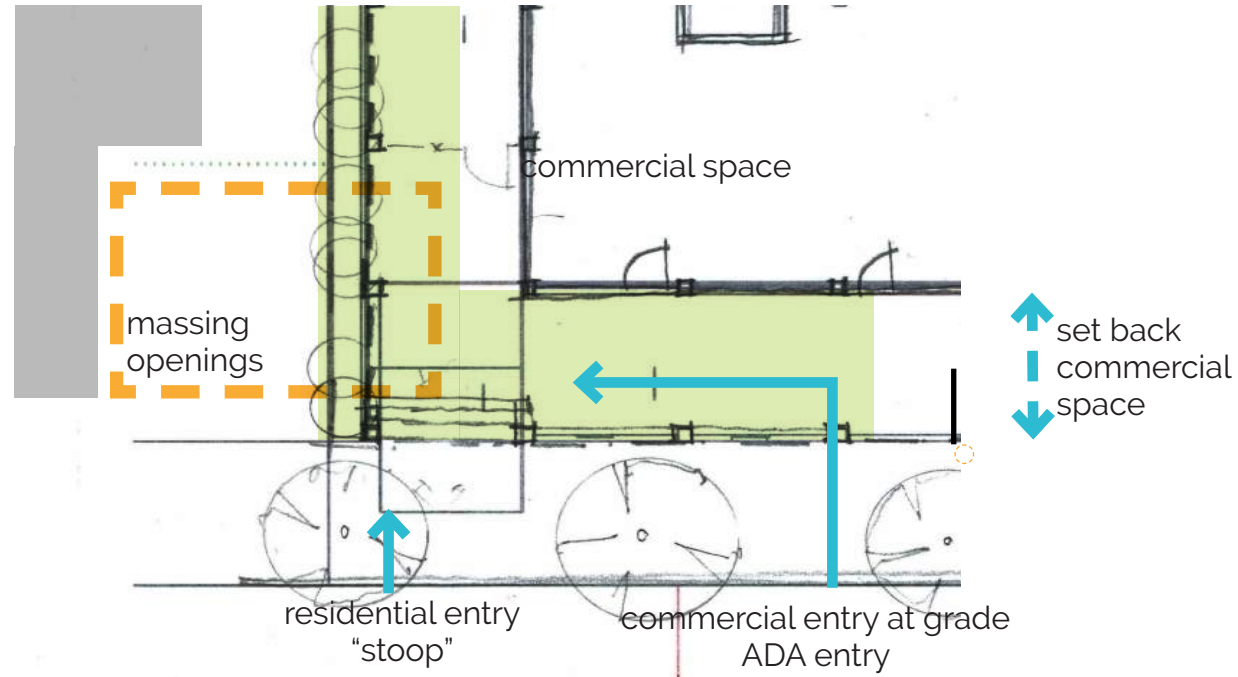


Queen Anne Examples

Site Plan Development

- 1 Queen Anne - Courtyard entry
- 2 Entry to Thompson Hotel
- 3 Gated entry to 101 John Apt.
- 4 Street activation - sidewalk interaction
- 5 Urban courtyard landscaping
- 6 Stair opening to courtyard





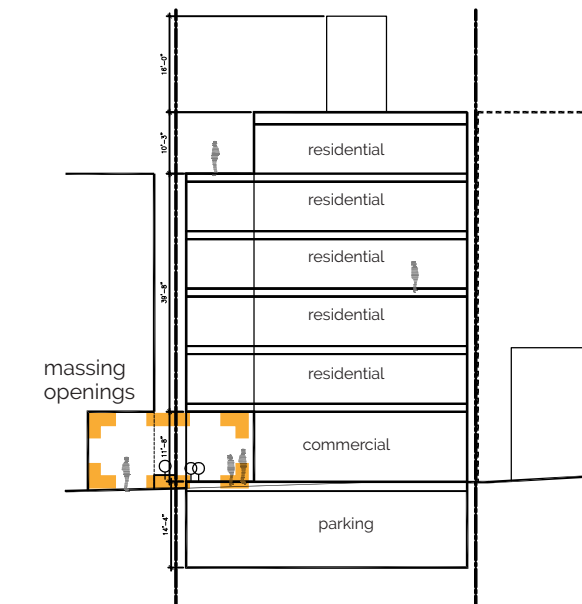
Precedent

Entry Development

- setback commercial space to allow covered commercial entries
- residential entry "stoop"
- relate residential entry opening to opening in adjacent building

QUEEN ANNE AVE N

Entry Plan
scale: 1:16" = 1'-0"



Section
nts

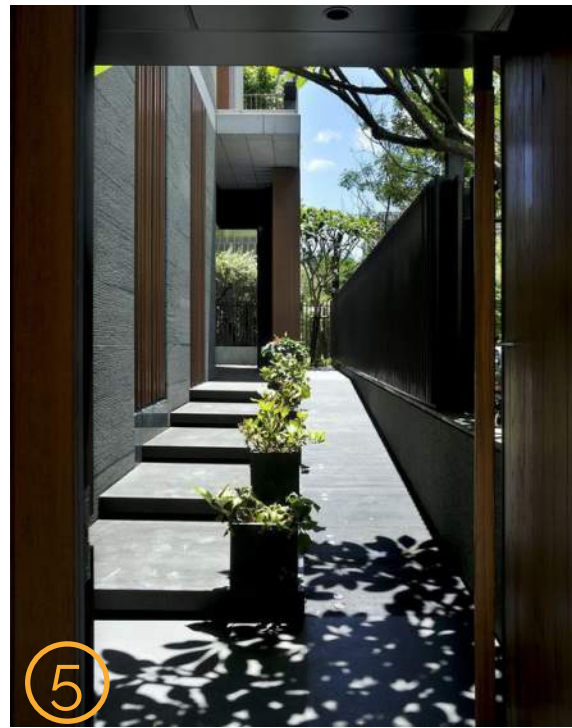




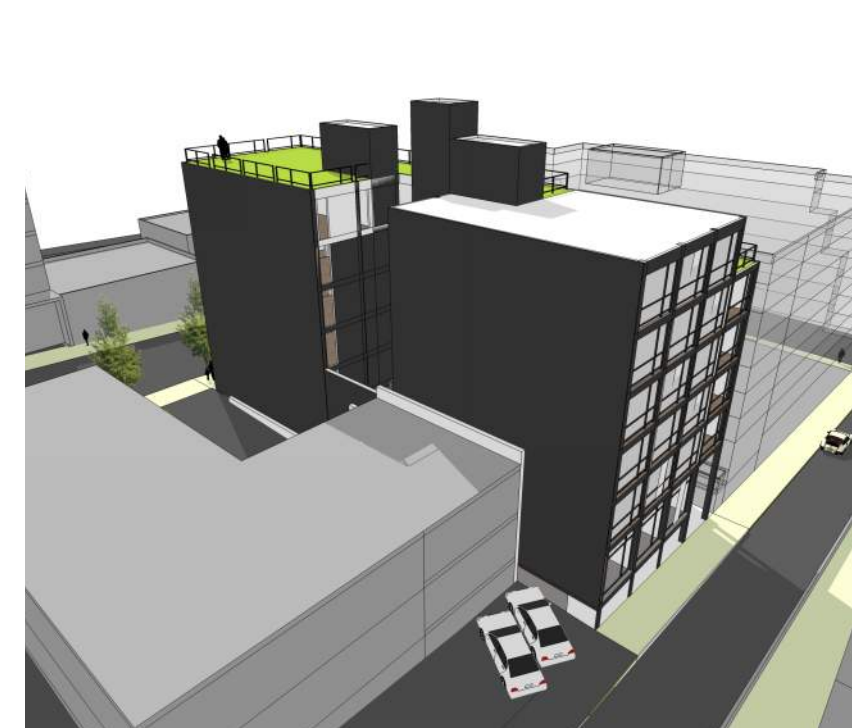
Queen Anne Examples

Materiality Development

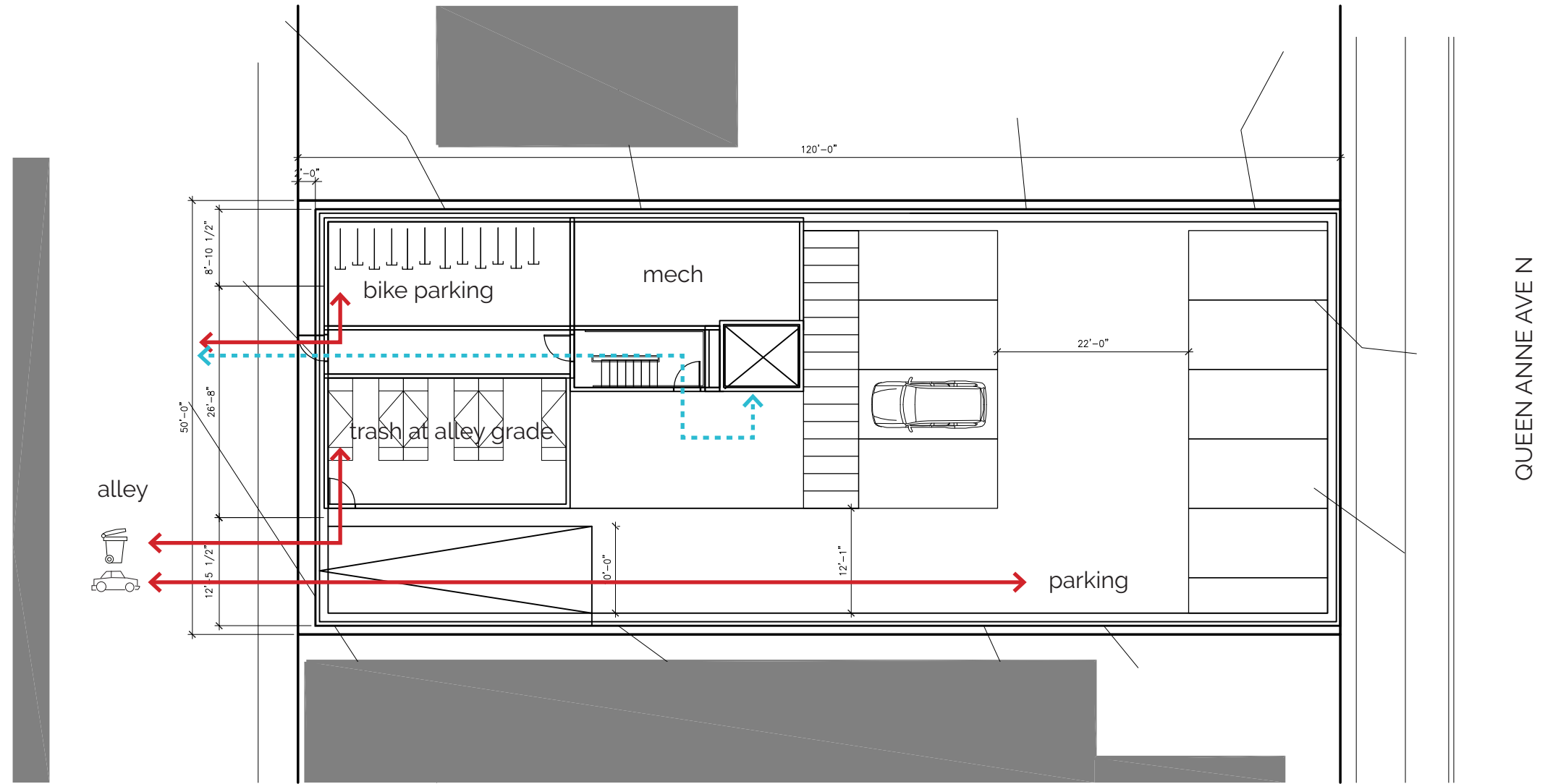
- 1 Facade pattering
- 2 Transparency
- 3 Urban courtyard landscaping
- 4 Corner balconies
- 5 Pedestrian side entry
- 6 Blank wall
- 7 Blank wall with articulation



Fenestration Concept



Northern Edge

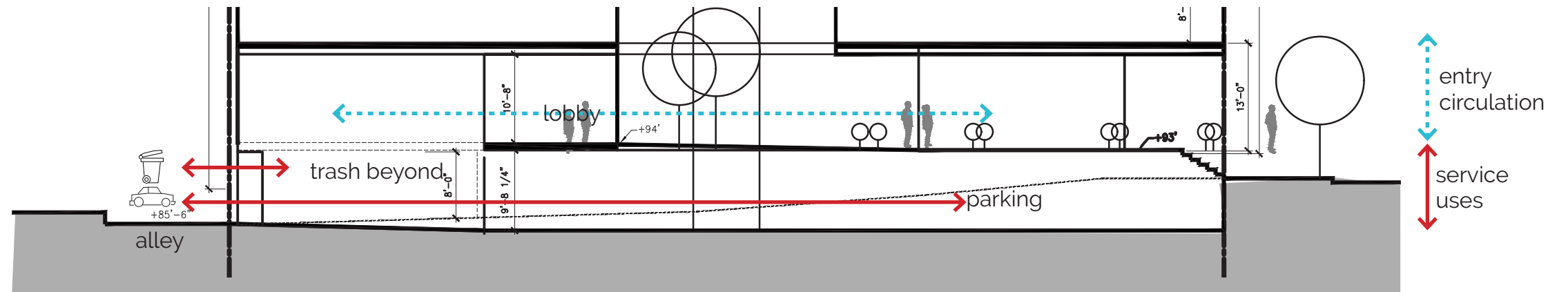


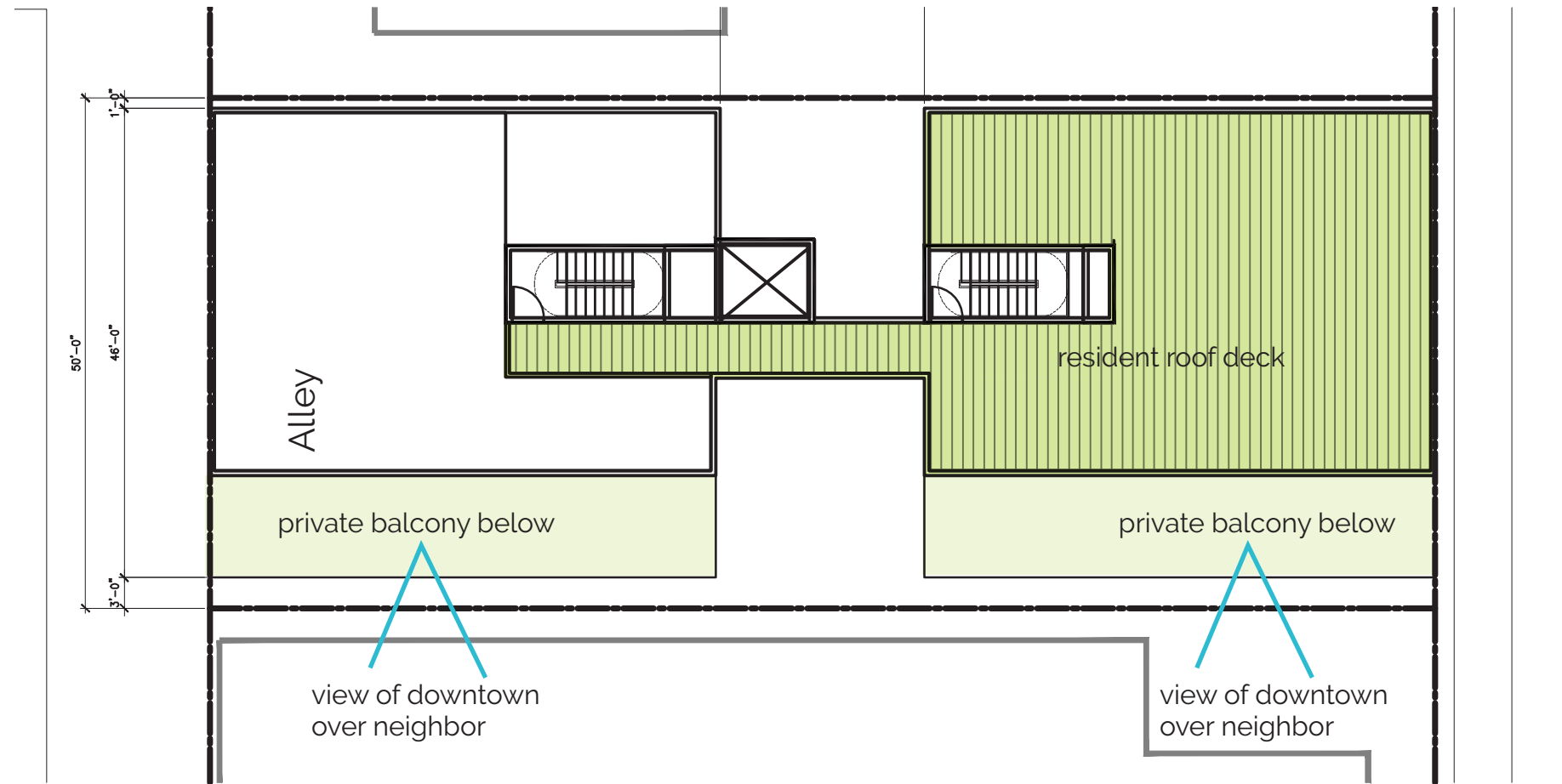
QUEEN ANNE AVEN

Parking Plan ○
scale: 1:32" = 1'-0"

Service Condition

- parking and trash entries at alley grade
- entry sequence and service circulation (parking, mech, trash) are separated





Roof Plan

scale: 1:32" = 1'-0"



Rooftop Development

- residential roof deck
- private balconies



solstice morning



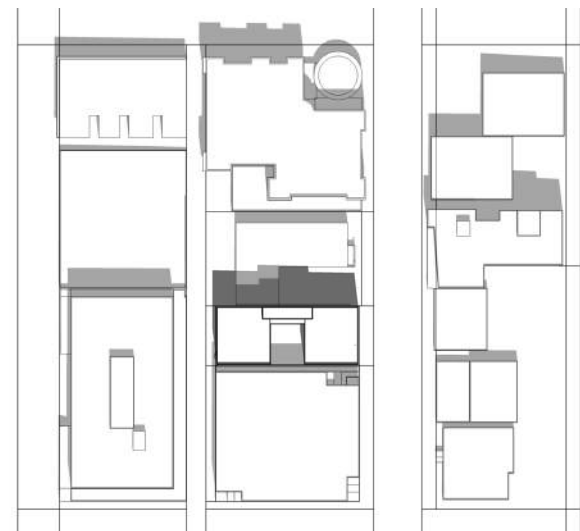
summer morning



winter morning



solstice noon



summer noon



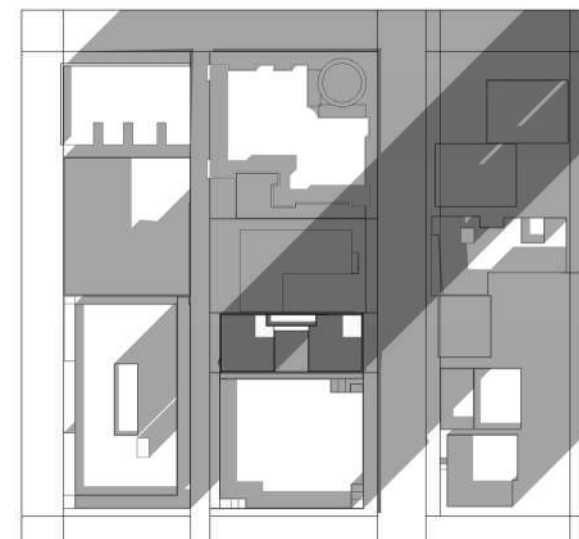
winter noon



solstice afternoon



summer afternoon



winter afternoon

"C"ourt

Solar study times:
9am, 12pm, 3pm on
3/21, 6/21, 12/21



solstice morning



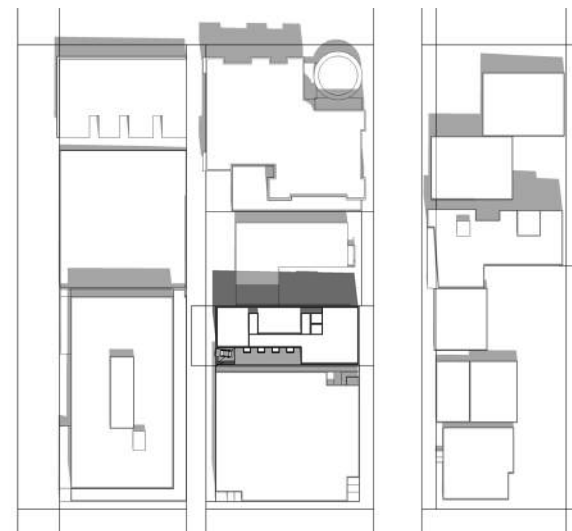
summer morning



winter morning



solstice noon



summer noon



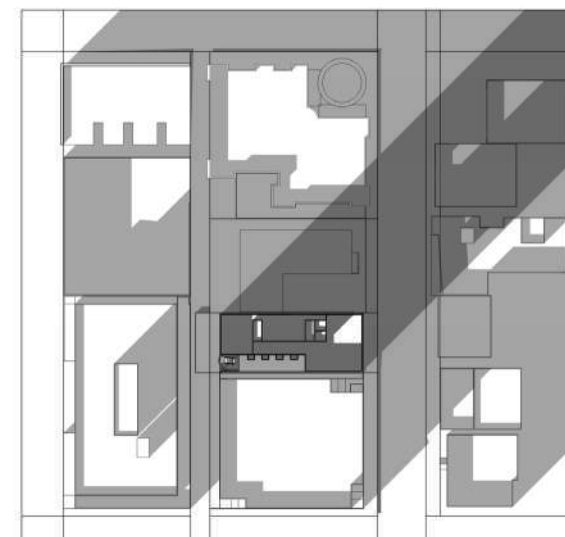
winter noon



solstice afternoon



summer afternoon



winter afternoon

“L”inear

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9am, 12pm, 3pm on
3/21, 6/21, 12/21



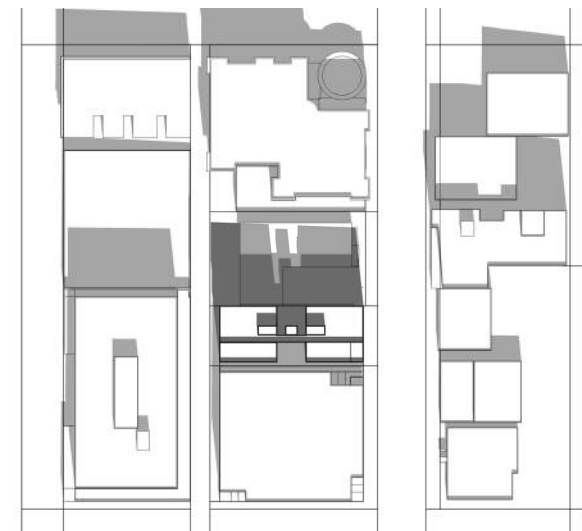
solstice morning



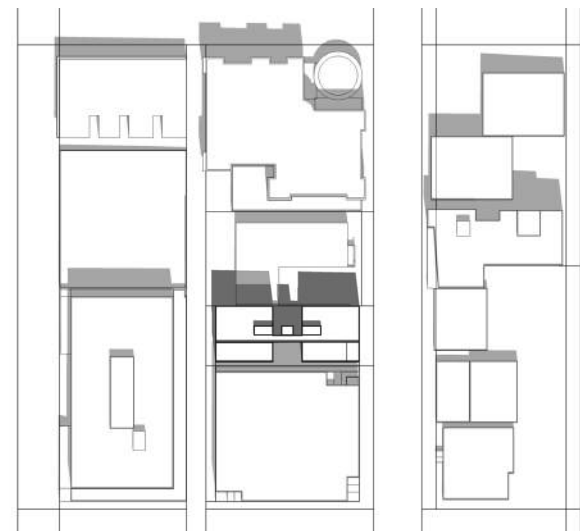
summer morning



winter morning



solstice noon



summer noon



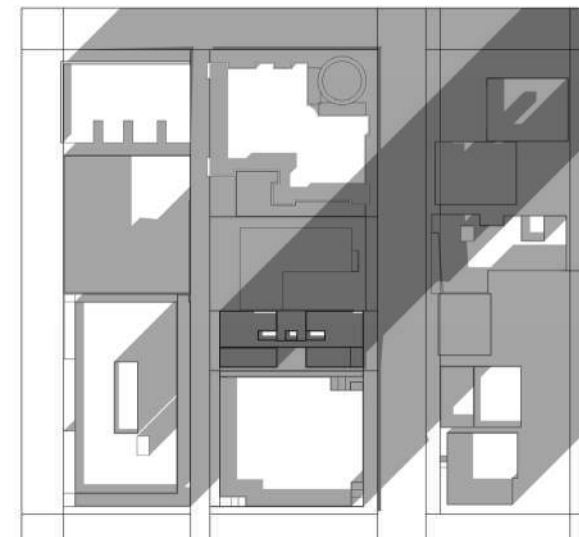
winter noon



solstice afternoon



summer afternoon



winter afternoon

Private "1"

Solar study times:
9am, 12pm, 3pm on
3/21, 6/21, 12/21



Remington Court Townhomes



Clover Lofts



Harvard Avenue Apartments



Killebrew Apartments



Bellevue Avenue Midrise