



Maddux South—

Address—

2800 M L King Jr. Way S
Seattle, WA 98144

Project Number—

3033743 - EG
3028449 - LU

Applicant Team—

Developer : Mt. Baker
Housing Association
Architect / LA: Mithun

Planner Review Comment	Relevant Design Guideline	Applicant Response	Page Reference
1. Massing			
a. While all three massing options appear to be similar in their layout scheme and outward appearance, Staff supports continued exploration of the preferred option, Option 3, which emphasizes the corner as a gateway or focal point into the neighborhood and ground floor commercial space that wraps the corner, assisting the project in activating the street frontage and taking advantage of foot traffic going to and from the public transit facilities located to the southwest.	(CS1-C-1, CS1-C-2, CS2-A, CS2-D, CS2-I-ii, DC2-I-i)	This Design Review Recommendation package features the development of Option 3, the preferred massing scheme. The scheme reinforces the gateway corner, maintains a strong street wall, and provides a generous setback from the residentially zoned parcel at the southwest corner.	2, 3, 9, 11
b. While Staff supports further exploration of Option 3, it is unclear how the proposal relates to existing buildings located to the east and to the south. As such, Staff requests additional exhibits which show the relationship of the proposed building height and massing to the adjacent properties located to the east and the south. The added studies shall identify all height relationships and potential for upper level setbacks, shade and shadow relationships, potential impacts to existing relationships, setbacks, shade and shadow relationships, potential impacts to existing relationships, potential view impacts, and potential impacts related to the placement, staging, or removal of solid waste and recycling.	(DC2-A-2, DC2-D, DC2-I-i)	The zoning height limit on the adjacent parcels is 55'. The structures on the adjacent properties are one story buildings. We anticipate that these buildings will make way for taller multi-use structures that make better use of the land in the foreseeable future. The building is setback from the residentially zoned lot to the southeast. Shadow studies are included in the packet.	11, 16, 18, 35
c. Staff supports how the commercial spaces will wrap the corner from S. McClellan St along ML King Jr. Way S. Staff requests further information as to how these spaces might be used as one large space or broken down into smaller spaces with the ability to provide individual access doors along ML King Jr. Way S.	(CS1-C-2, CS2-II-iii).	Commercial space wraps the corner of S. McClellan Street and M.L. King Jr. Way South. The commercial space may be used as one contiguous tenant space or divided into multiple, smaller retail tenant spaces. The floor slab steps to relate to the sidewalk elevation, but may be over framed as dictated by need.	23
d. Staff requests elevation and section drawings to demonstrate the extent of the grade change between the adjacent property located to the east and the proposed project's ground plane, the residential entryway and finish floor elevations for the commercial floor spaces	(CS2-A-2, CS2-D, CS2-II-iii, DC2-A-1, DC2-A-2, DC2-D, DC2-E)	A section drawing is provided on page 22 to better describe how the building corresponds to existing grade. Reference the elevations also to see how the spaces relate to the sloping sidewalk. In general, large expanses of transparent glazing face the sidewalk at Level One. Every effort is taken to preserve the building frontage for uses that enhance the pedestrian experience along the sidewalk rather than building service uses.	14, 16, 17, 18, 19, 22, 23, 24
2. Architectural Concept			
a. Materials, window sizes and depths and façade treatments will be critical to the success of the preferred massing option. Please explore the use of varying textures and materials that will create greater visual interest along the west facing building façade. The current massing appears to be a solid flat wall mass with very little modulation or articulation, and will be highly visible from the west.	(DC2-C-1, DC2-D- 1, DC2-D-2)	The long facade along M.L. King Jr. Way South is broken down to reduce its scale and express the individual dwelling unit and the residential character of this project. Operable windows and colorful accent panels create visual interest and variety across the façade, while repetition unifies the whole. Accent panels provide shadow and texture. The building massing expresses the simple volumetric organization of the scheme.	15, 16, 17, 18, 19, 20

b. Staff requests that the design team develop an overall design concept that centers on a unifying and unique design language with an organizing theme that emphasizes different building planes and façade depths.	(PL3-A-1, DC2-B-1, DC2-C-1, DC2-D-1, DC3-A, DC4-A)	The façades are designed with unity and variety in mind, balancing visual interest, individual expression with community and visual coherence. The repetition of individual elements, like windows and façade accent panels, allow for dynamism and life, while maintaining a disciplined composition that operates at the scale of the neighborhood. Massing is simple and ordered, anchoring the corner and establishing continuous street edge.	12, 13, 15, 16, 17, 18, 19, 20, 36
c. Staff is concerned with the large flat building surface along the upper regions of the M.L. King Jr. Way S. facing facades. Staff suggests further exploration on ways of breaking down the façade into smaller units; possibly using the gasket or notch or other approach used on the S. McClellan St facing façade.	(DC2-A-2, DC2-B-1, DC2-C- 1, DC2-D-1)	A vertical recess occurs where the corridor daylights at the street. The long west facing facade is broken down into smaller divisions that relate to the scale of each residential unit. The architectural language disciplined, balancing visual interest and residential scale with the ordered whole. The detailing of the facade accent panels created relief, shadow and texture.	14, 15, 16, 26
3. Residential Entry:			
a. The design team shall provide additional information on how the residential entry will be designed to create an architectural statement and visual cue that announces its location.	(PL2-A, PL2-B, PL2-D-1, PL3-A-4, PL3-I-I, PL4-A, DC4-C)	An overhead canopy, signage, lighting, storefront glazing, sidewalk adjacency, accent color on the entry door, framing landscape planters, specialty paving at the entryway - all serves to identify the residential lobby viewed from the street.	24, 25, 27, 28
b. Both residential and commercial entries shall be designed to have a strong connection to the street and with an emphasis on creating opportunities for interaction with the public realm.	(CS2-II-iii, PL1-B-3, PL1-I-vi, PL2-A-1, PL2-D)	Patios, glazed storefront assemblies facing the sidewalk, landscaped planting beds, overhead canopies and lighting create a rich pedestrian experience along ML King Jr. Way and S. McClellan Street.	25, 28, 48, 49, 53
c. Staff is concerned with the placement of the southern entry stairway as potential ambush point, and an area lacking eyes on the street. The design team shall provide additional information its programming and usage.	(PL1-B-3, PL2-B-1, PL3-A-4, PL4- B)	A gate protects the service entryway from the sidewalk at the southwest corner of the site.	29, 33, 34
4. Corner Site:			
a. Per the City Wide design guidelines, corner sites should serve as focal points due to their high visibility from two or more streets and long distances as one travels to and fro.	(CS2-B-1, CS2-B-2, CS2-I-ii, PL2-B-3, DC1-A-4, DC2-B-1, DC4-D-4)	The northwest corner of the site is distinguished by strong massing and height.	12, 13
b. The design team shall provide greater clarity on how this corner building will function as a gateway in terms of the programming; exterior building materials; ground plane treatments; fixtures and furnishings; and how these will be perceived by both vehicular and pedestrian traffic traveling into the area from various approaches.	(CS2-A-1, CS2-A-2, PL1-B-3, PL2-B-3, PL1-I-vi)	Maddux South, together with Maddux North, forms a gateway located at the edge of the Mt. Baker Town Center. The two projects belong together but that have independent identities that express the unique programs of each. The treatment of the site along the sidewalk, a bold sidewalk crossing, the commercial use at grade, facade materials, and the residential entries that are both located along S. McClellan Street work in concert in service to the gateway concept.	5, 6, 7, 8, 11, 12, 13, 48, and 49
5. Courtyard:			
a. Staff generally supports the concept of the open courtyard located on the south side of the building but requests additional information on how the space will programmed for maximize usability and how any impacts to neighboring properties located to the west and south will be mitigated.	(CS2-D-5, DC1-A-2, DC3-A, DC3-B, DC3-C-2, DC4-C, DC4-D-2)	The courtyard offers a convenient opportunity for residents to step outside, but will be programmed to accommodate a variety of uses. Generally, the courtyard is conceived as quiet and secluded, though larger open areas provide areas for gathering. Like that of Maddux North, this landscaped space includes plantings, trees, fixed seating, and moveable seating. Views to and from adjacent properties are screened for privacy.	30, 31, 32, 50, 35
6. Bicycle Parking			

a. The design team shall demonstrate how the long term bicycle parking space functions, including circulation and access points, along with the proposed number of spaces. The team shall also develop a program for short-term bicycle parking that is integrated into other site improvements such as benches, landscaping, lighting or other features.	(PL-4-B)	The bicycle storage room is located on the ground floor service level, with access directly from ML King Jr. Way from the southwest corner of the site. The room may also be accessed via the stair and elevator from the levels above. Ample short term bicycle parking is provided along the public ROW, with racks located conveniently at the building entrances, in plain sight from the interior spaces for safety.	33, 49
7. Trash:			
a. The design team shall describe in both written and graphic detail how solid waste collection will function; where the collection area is located; and how it will be staged and/or picked up for both residential and commercial uses.	(DC1-C-4)	Solid waste pickup shall be from the southwest corner of the site, accessed via the service access point located on the south side of the project. The trash staging area is located along ML King Jr. Way south, separated from S. McClellan Street, the primary pedestrian frontage. This way waste management is separated from the residential entry and primary commercial entry point at the NW corner.	34, 49
8. Adjacent Site:			
a. Staff requests additional information on the relationship of the maximum development envelope or potential of the adjacent properties located to the east and development envelope or potential of the adjacent properties located to the east and south of the development proposal.	(CS2-D-5, CS2-II, DC4-A-1)	The maximum development envelope is roughly indicated on the west and east elevation views. The height limit on the adjacent parcels is 55', so 20' lower than the project site. The existing structures located on the neighboring sites fall well short of utilizing the development capacity of the sites.	16, 18, 35
DEVELOPMENT STANDARD DEPARTURES			
<p>1. Amenity Area (SMC 23.47A.024) The Code states that amenity areas are required in an amount equal to 5 percent of the total gross floor area in residential use, except as otherwise specifically provided in this Chapter 23.47A.</p> <p>Required amenity areas shall meet the following standards;</p> <ul style="list-style-type: none"> • All residents shall have access to at least one common or private amenity area. • Amenity areas shall not be enclosed. <p>The applicant is requesting up to a 5 percent reduction in the total common amenity space required for this project.</p> <p>The applicant suggests that the remainder of the required common amenity space could be made up by providing added amenity space to the adjacent mixed-use development proposal located at 2802 S. McClellan St., Record Number 3032630-EG.</p>	-	<p>Four (4) Development standard departures are now requested. The development standard departures result from site constraints and building code limitations. Departure requests are as follows:</p> <p><u>1. 23.47A.005.C.1 Street Level Uses:</u> The residential lobby exceeds 20% of the façade length along S. McClellan Street.</p> <p><u>2. 23.47A.008.A.3 Street Level Facades:</u> The street level, street facing façade located along ML King Jr. Way south is located more than 10' from the lot line.</p> <p><u>3. 23.47A.014 Setback Requirements:</u> The required setback from the residentially zoned lot located to the SE begins at a height that exceeds 13' measured from grade.</p> <p><u>4. 23.47A.024 Amenity Area:</u> Amenity area is less than 5% of the gross floor area in residential use.</p>	<p>41, 42, 43, 44</p> <p>41</p> <p>42</p> <p>43</p> <p>44</p>

Staff currently is not in support of this departure as it has not been adequately demonstrated how this would make this proposal a better project or how the intent of the Design Guidelines are being better met with the departure. In addition, the provision of common amenity area in another location off-site and across a busy thoroughfare is not justification enough for granting a departure for the reduction of common amenity area for this project. The applicant will need to provide a better rationale for staff to support this departure request.	(DC1-A-2. Gathering Places, DC3-B. Open Space Uses and Activities)	<u>23.47A.024 Amenity Area</u> : The applicant seeks to transfer the expense of constructing a limited use roof-top outdoor amenity area to the landscaped areas at grade, ones that may be shared by residents of the project and the community alike. Further, shared amenities with Maddux North will enhance community. With a generous landscaped courtyard located at Level 2, and shared amenities located at Maddux North, the project meets the intent of Land Use Code Section 23.47A.024, that is to provide an outdoor space on site where residents may conveniently step outside. The limited resources allocated to the construction of affordable housing units across the city warrant a reduction in the common amenity area requirement.	44
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SUMMARY OF EARLY DESIGN GUIDANCE

1. MASSING

- Continue to explore the preferred option, emphasize the gateway corner, and the ground floor commercial space that wraps the NW corner.
- Show the relationship of the proposed building massing to the adjacent properties located to the east and the south.
- Clarify how commercial space may be broken down into smaller spaces along the length of MLK Jr. Way South, and the relationship of the spaces to the sidewalk.
- Illustrate the grade change along S. McClellan Street to exhibit relationship between floor elevations and the project site to the east.

2. ARCHITECTURAL CONCEPT

- Create visual interest along the west facing building facade by implying a variety of textures and materials.
- Create different building planes and facade depths.
- Request details on building articulation & the use of quality materials
- Break down the street facing facades into smaller units.

3. RESIDENTIAL ENTRY

- Residential entry shall create an architectural statement and announce it's location with visual cues.
- Emphasize a strong connection to the street for commercial entries.
- Eliminate unprotected blind entries that aren't visible from the sidewalk.

4. CORNER SITE

- This corner site should serve as focal points when viewed from a distance.
- Clarify the gateway corner in terms of programming, materials, ground plane treatments.

5. COURTYARD

- Maximize flexibility of use and address impact to neighboring property to the east and to the south.

6. BICYCLES & TRASH AMENITIES

- Provide long & short-term bicycle parking and access routes.
- Develop a program for short term bicycle parking that is integrated into other site improvements such as benches, landscaping, lighting or other features.

7. TRASH

- Describe how solid waste collection functions, where the collection area is located, and how it will be staged and picked up.

8. ADJACENT SITE

- Request additional information on the maximum development envelope or potential of the neighboring properties located to the east and south of the site.

DEVELOPMENT STANDARD DEPARTURE REQUESTS

1. STREET LEVEL USES

—**23.47A.005** - Street Level Uses: Residential lobby exceeds 20% of the street facing facade along S. McClellan Street.

2. STREET LEVEL FACADES

—**23.47A.008.A.3** - Street Level Facades: Facade facing MLK Jr. Way South is located greater than 10'-0" from the westernmost lot line.

3. SETBACK REQUIREMENT

—**23.47A.014** - Setback Requirement: The project does not comply with setback requirements from the residential zoned lot to the SE due to sloping site topography.

4. AMENITY AREA

—**23.47A.024** - Amenity Area: Amenity Area provided is less than 5% of the gross floor area in residential use.

DESIGN PROPOSAL: NEIGHBORHOOD CONTEXT

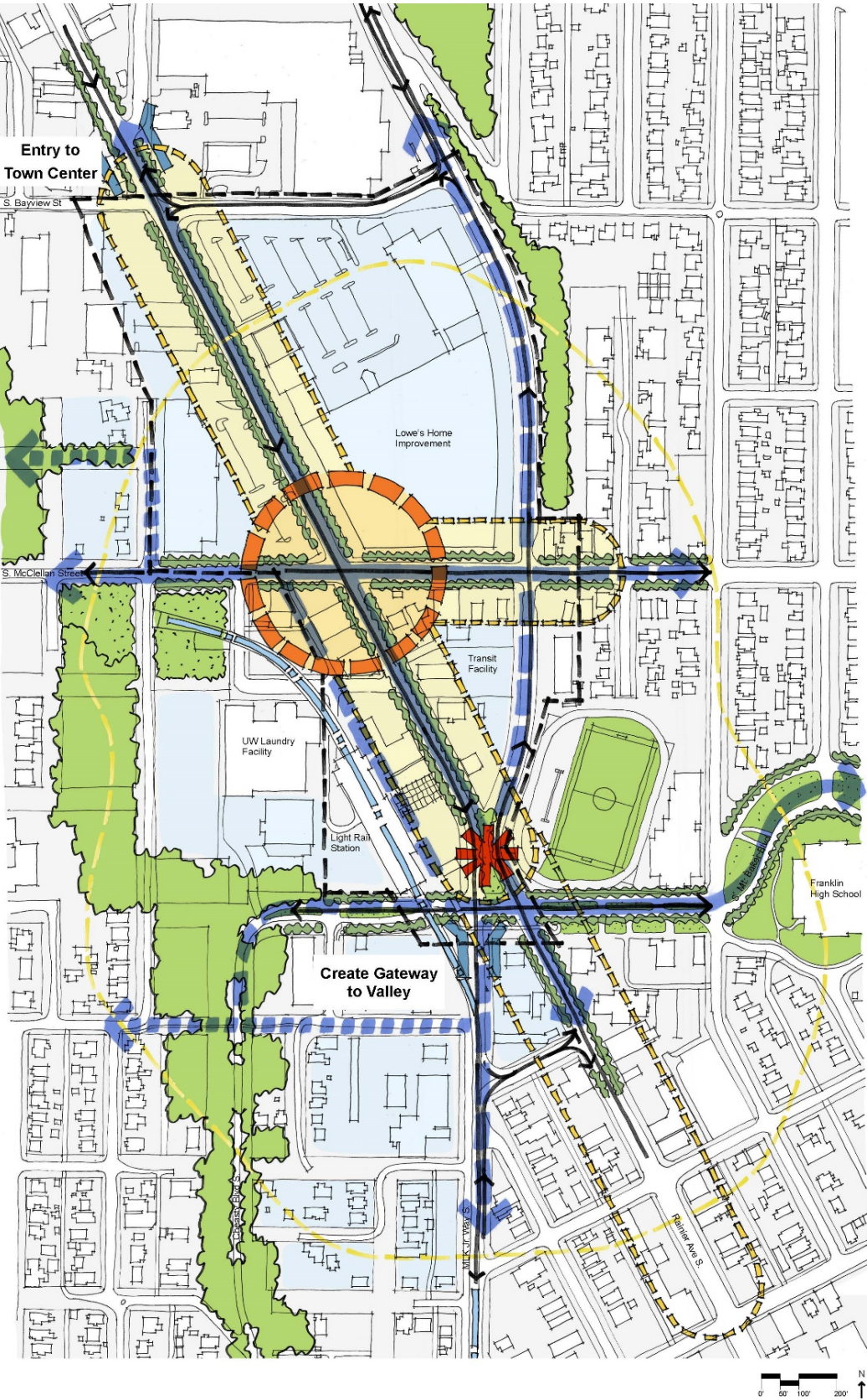


SITE OVERVIEW

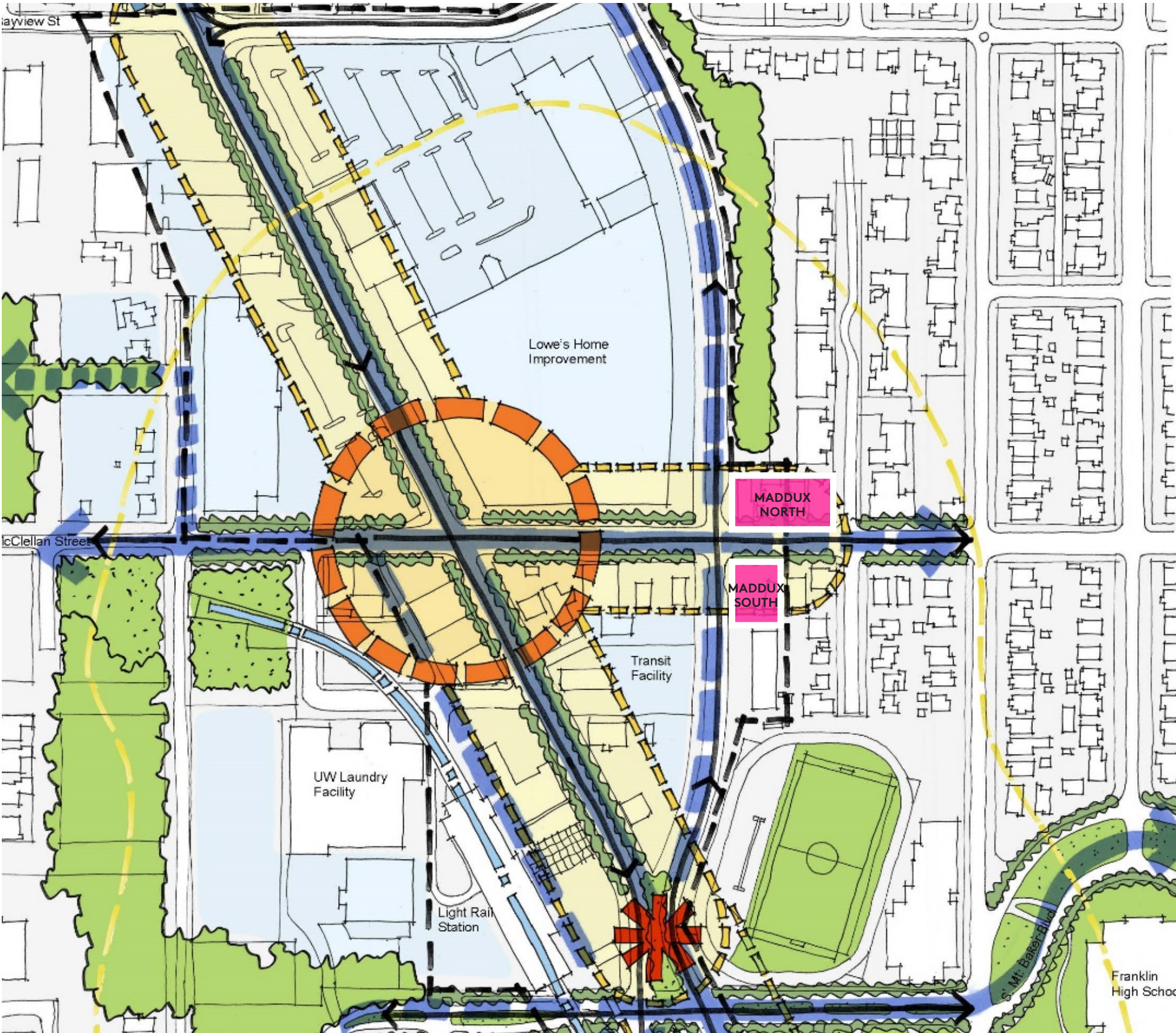
The Maddux project is located along an east/west pedestrian designated corridor (class II pedestrian street) linking the Mt. Baker Town Center to the Mt. Baker residential neighborhood located to the east. The Maddux project sites sit on the edge of the town center and form a gateway to the neighborhood to the east.

The project sites are contained within the Mount Baker Station Overlay District and form catalysts for future development in the area. The City and Neighborhood has drafted a sweeping urban design vision for the area and identified design guidelines to be considered in the development of the project. The diagram on the following page was prepared as part of an early urban design study for the district, upon which Maddux North and Maddux South feature prominently.

DESIGN PROPOSAL: URBAN DESIGN VISION



Mount Baker Urban Design Framework



URBAN ANALYSIS / SITE ACCESS

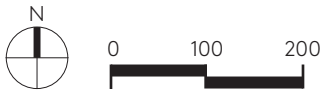


SUMMARY

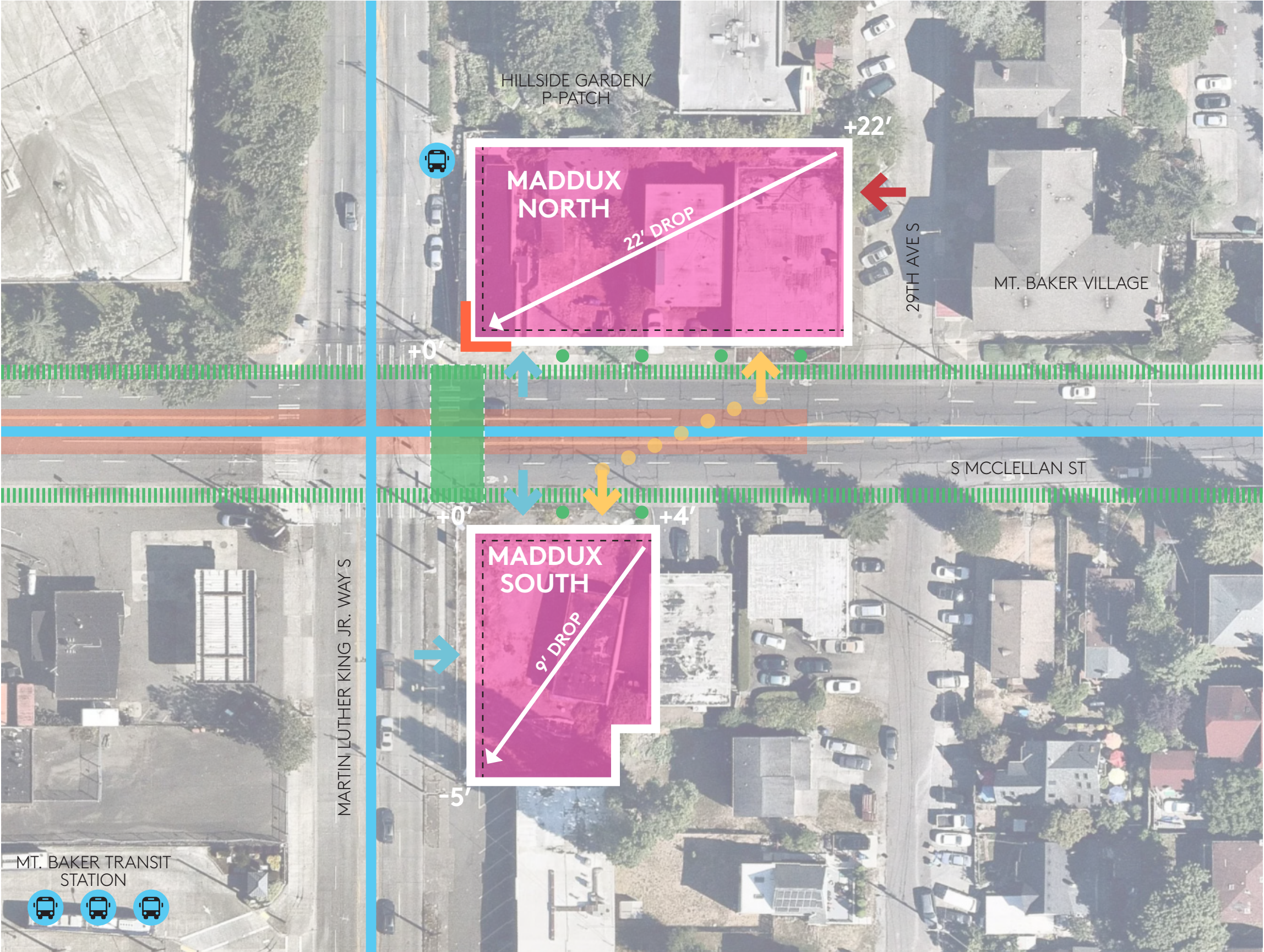
Maddux is located along an east/west pedestrian designated corridor (class II pedestrian street) linking the Mt. Baker Town Center to the Mt. Baker residential neighborhood located to the east. Bus service is currently provided along S. McClellan St. and MLK Jr. Way S. The Link Mt. Baker light rail station is located to the southwest, within walking distance of the project site.

LEGEND

- MADDUX SITE
- BUS ROUTE
- LINK LIGHT RAIL
- BUS STOP
- LINK LIGHT RAIL STOP
- PEDESTRIAN ACCESS (CLASS II PED. STREET)



URBAN ANALYSIS / SITE CONTEXT



SUMMARY

The Maddux project sites are located on the north and south side of S McClellan Street. Together, the sites form a gateway within the Mt. Baker Town Center.

S McClellan is identified as a Class II pedestrian street, and serves as the principal east to west walk route from the Mt. Baker Link station, commercial services, and the residential neighborhood located immediately to the east.

Existing high voltage power lines are located along MLK Jr. Way S. and S. McClellan St. Setbacks must be provided from the power lines.

The sites slope substantially from the east to the west.

Due to proximity of the North site to the intersection of the arterials and SDOT street classifications, parking garage access is provided from 29th Avenue S, located on the high side of the property.

Pedestrian entries and commercial frontage is concentrated along S. McClellan Street.

Residential entries are proposed along S. McClellan St.

An artistic gateway crosswalk is proposed for the east side of the intersection, supporting the neighborhood design guidelines.

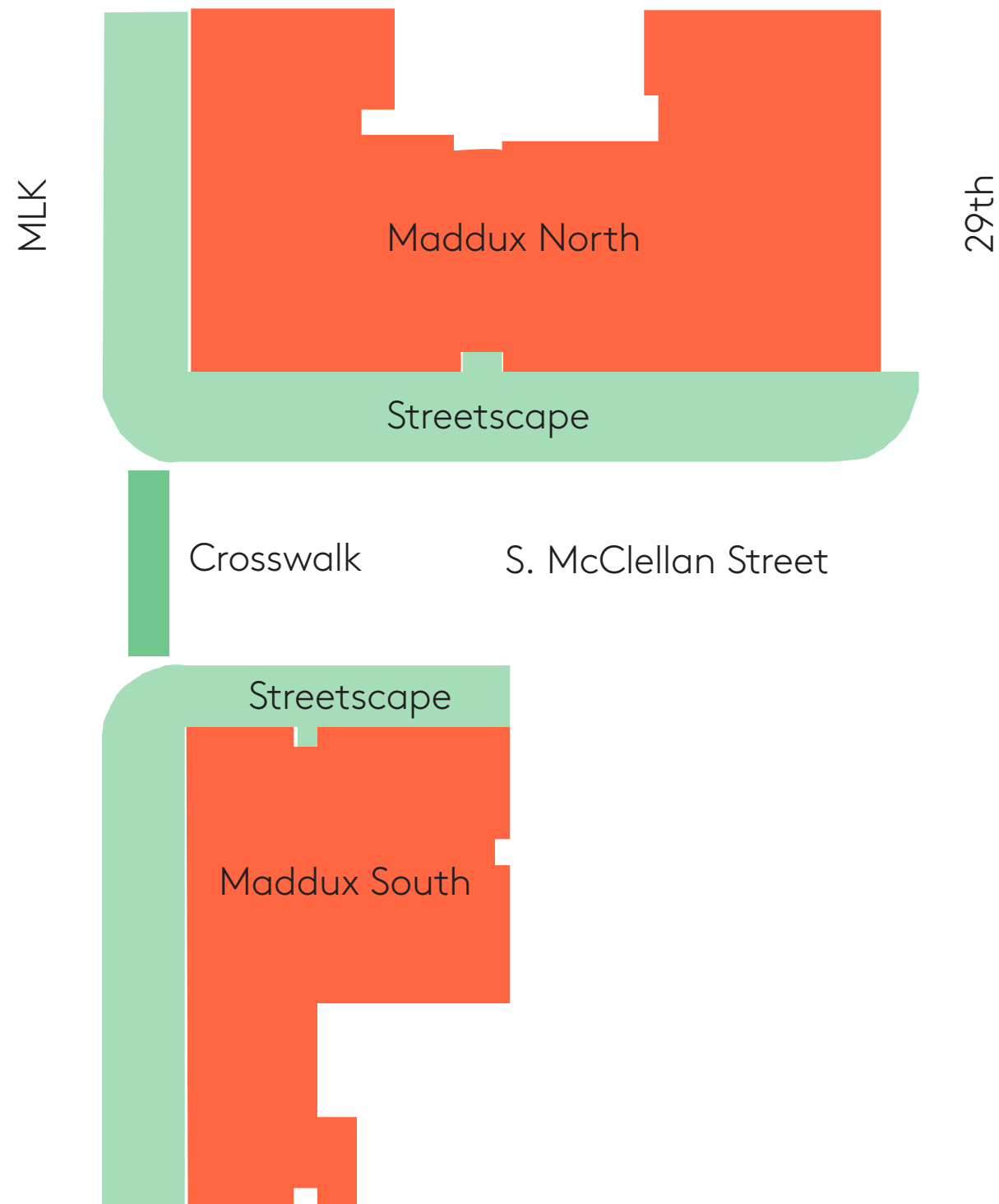
Public bus services is provided along both arterials, while the Link light rail station is located within walking distance.

LEGEND

- MADDUX SITE
- BUS ROUTE
- BUS STOP
- COMMERCIAL ENTRY
- RESIDENTIAL ENTRY
- PARKING ENTRY
- RESIDENTIAL CONNECTION
- PEDESTRIAN ACCESS
- PEDESTRIAN NODES
- POWER LINE SETBACK
- ARTISTIC GATEWAY CROSSWALK
- CLASS II PEDESTRIAN STREET

KEY DESIGN CONCEPT

DESIGN REVIEW RECOMMENDATION 8



GATEWAY

MBH & COMMUNITY VISIONS

Create a “gateway” between the Mt. Baker Town Center and the Mt. Baker residential neighborhood

Create an anchor for the community that is affordable, environmentally responsible and exhibits extraordinary design

DESIGN APPROACH - GATEWAY ELEMENTS

Maddux North Building + Maddux South Building

Streetscape along both sides of S McClellan Street

Streetscape along MLK + Crosswalk

TRANSFORM

Urban environmental clean-up

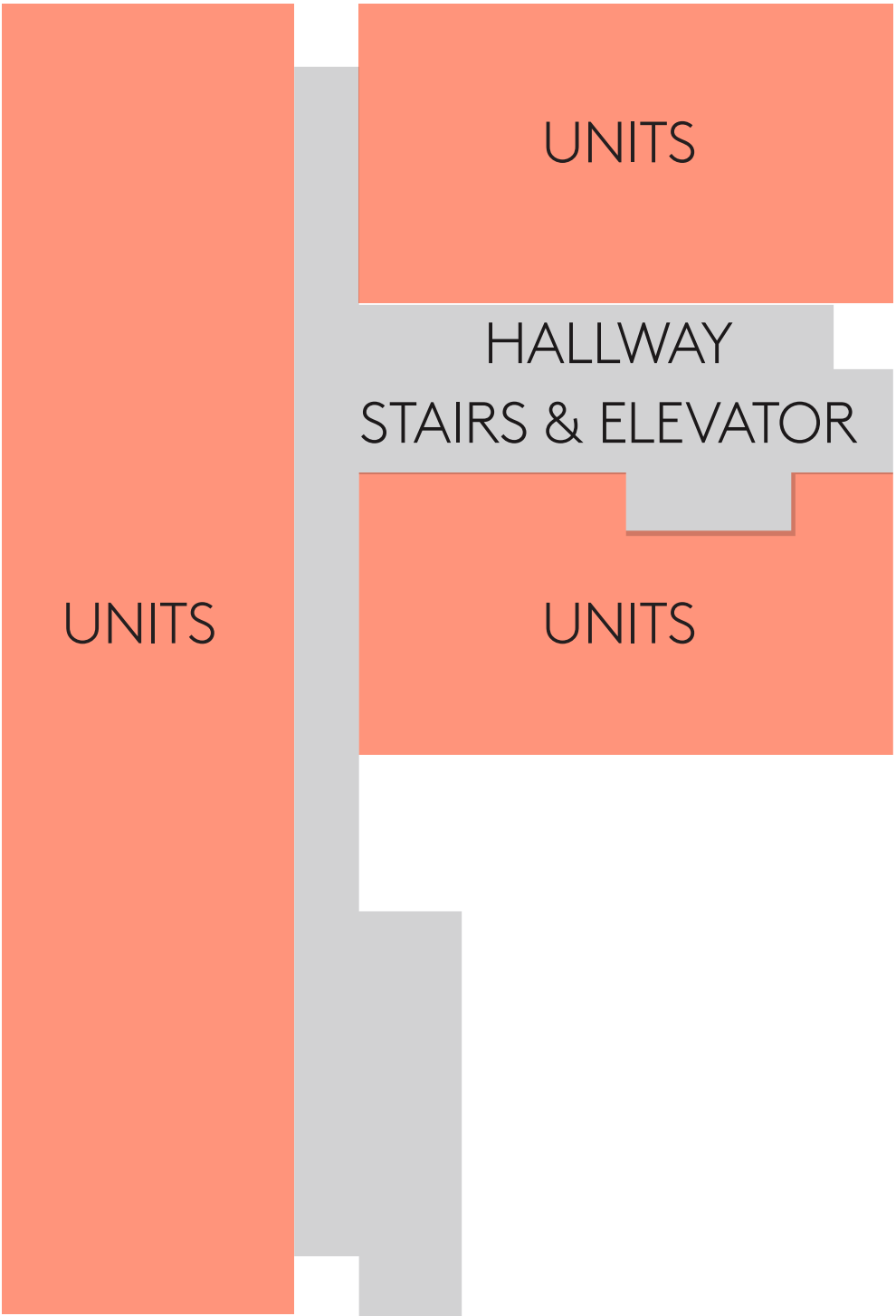
A blighted corner into gateway

SYNERGY

MASSING DIAGRAM

S MCCLELLAN ST

MARTIN LUTHER KING JR. WAY S



ARTICULATION INSPIRATIONS

DESIGN REVIEW RECOMMENDATION 10



SIMPLE MASS

EXPRESS
INDIVIDUAL UNIT

DYNAMIC
PATTERN

RESIDENTIAL
SCALE

TEXTURE

COLOR



DESIGN PROPOSAL: RESPONSE TO EDG - MASSING, ARCHITECTURAL CONCEPT & CORNER SITE



GATEWAY TRANSFORM SYNERGY

COMMON TIES, UNIFIED AESTHETIC, SHARED AMENITIES

- Upper residential floors over horizontal recessed transparent base.
- Street-level setback to activate public edges, recessed building base, hardie 2.0 panel, integrated with streetscape elements
- Wide streetscape along McClellan Street and ML King create an inviting and friendly pedestrian environment, and enhance the pedestrian connection to light rail station & Mt. Baker transit center.
- Large floor-to-ceiling windows

MADDUX NORTH

- Building form steps uphill
- Distinct massing and use of wood composite panel siding at SW corner
- Projected bays at street-facing facades - express volume of 2-bedroom family scaled units
- Projected bay patterning & scale relates to residential character of the neighborhood
- Colorful accents on the projecting bays.

MADDUX SOUTH

- Building massing forms continuous street edge and emphasizes NW corner at the intersection
- Simple geometric volumes divided by light-filled corridor
- Repetition of street-facing facade pattern and vertical window offset express scale of the efficiency dwelling units
- Pattern of texture and color through the use of fiber cement planks establishes residential scale
- Accent color relates to the base, and to Maddux North

DESIGN PROPOSAL: RESPONSE TO EDG - MASSING, ARCHITECTURAL CONCEPT & CORNER SITE



PERSPECTIVE VIEW FROM WEST

MASSING STRATEGY

- Building massing forms continuous street edge and emphasizes NW corner at intersection
- Simple volumes organized by light-filled corridors
- Upper residential floors over recessed transparent base
- Tall recessed horizontal commercial base activates pedestrian street edges

GATEWAY CORNER

- Dynamic window & accent panel pattern wraps around the gateway corner
- Tall, recessed horizontal commercial base wraps around the corner to anchor the building, activates the street frontage & enhances the pedestrian experience
- Commercial entry highlighted with accent color is located at the corner off McClellan Street to further activate the corner
- Continuous canopy with highly visible commercial entry signage wraps around corner
- Wall sconce lighting fixtures on all weathering steel wall panels reinforce the continuous commercial frontage at night

DESIGN PROPOSAL: RESPONSE TO EDG - MASSING, ARCHITECTURAL CONCEPT & CORNER SITE



PEDESTRIAN LEVEL PERSPECTIVE VIEW FROM NORTHWEST

MASSING STRATEGY

- Building massing forms continuous street edge and emphasizes NW corner at intersection
- Simple volumes organized by light-filled corridors
- Upper residential floors over recessed transparent base
- Tall recessed horizontal commercial base activates pedestrian street edges

GATEWAY CORNER

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DESIGN PROPOSAL: RESPONSE TO EDG - MASSING, ARCHITECTURAL CONCEPT & CORNER SITE



WEST ELEVATION

MASSING STRATEGY

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GATEWAY CORNER

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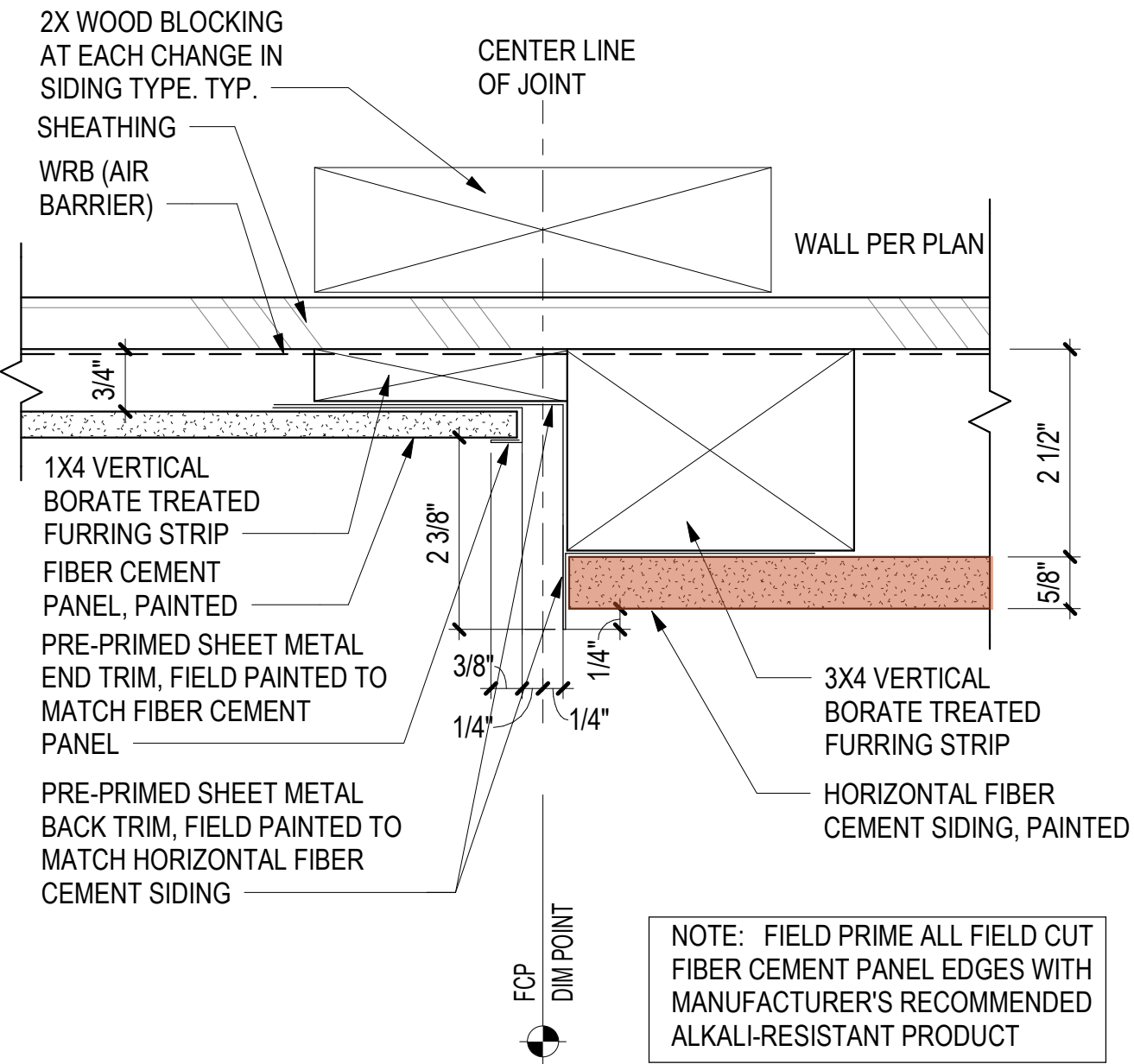


DESIGN PROPOSAL: RESPONSE TO EDG - MASSING, ARCHITECTURAL CONCEPT & CORNER SITE



FACADE ARTICULATION

- Unified & unique design language along street-facing facades emphasizes simple massing organized by light-filled corridors
- Reduction of facade into smaller units reduces scale, provides strong character and visual interest.
- Dynamic window & accent panel pattern & rhythm expresses micro unit program
- Accent panel with horizontal fiber cement planks provides residential scale & texture
- Subtle projection of accent panel provides added depth & shadow
- Warm accent color on horizontal siding panel at upper levels provides a earthy visual tone
- Large floor-to-ceiling windows



DESIGN PROPOSAL: RESPONSE TO EDG - MASSING, ARCHITECTURAL CONCEPT & CORNER SITE

16
DESIGN REVIEW RECOMMENDATION



WEST ELEVATION WITH STREETScape

SITE ADJACENCY

- 75' zoning height limit.
- 65' proposed height for development measured above the average grade.
- Zoning height limit of adjacent lot is 55', moving away from S. McClellan Street to the south.
- Building is constructed against the south, interior lot line.
- The building is setback from existing high-voltage power lines on the north and west street facing facades of the building.



DESIGN PROPOSAL: RESPONSE TO EDG - MASSING, ARCHITECTURAL CONCEPT & CORNER SITE



NORTH BUILDING ELEVATION

GATEWAY CORNER

- Dynamic window & accent panel pattern wraps around the gateway corner
- Tall, recessed horizontal commercial base wraps around the corner to anchor the building, activate the street frontage & enhance pedestrian experience
- Commercial entry with accent color at the corner off McClellan further activates the corner
- Continuous canopy with highly visible commercial entry signage wraps around corner
- Wall sconce lighting fixtures on all weathering steel wall panels reinforce the continuous commercial frontage at night

FACADE DESIGN STRATEGIES

- Distinct, identifiable residential entry
- Projected volumes at the upper levels
- Warm colored, textured accent panels reduce scale of street facing facade
- Dynamic patterning of windows and accent panels promotes visual interest
- Facade pattern ties to Maddux North while color relates to the commercial base
- Recessed windows allow daylight into corridor and reduce facade length of upper stories



DESIGN PROPOSAL: RESPONSE TO EDG - MASSING, ARCHITECTURAL CONCEPT & CORNER SITE

18
DESIGN REVIEW RECOMMENDATION



SITE ADJACENCY

- 75' zoning height limit.
- 65' proposed structure height measured above average grade.
- 55' zoning height limit on adjacent lot, moving away from MLK Jr. Way S to the east.
- Building is constructed to the east, interior lot line

NORTH ELEVATION WITH STREETScape

DESIGN PROPOSAL: RESPONSE TO EDG - ARCHITECTURAL CONCEPT



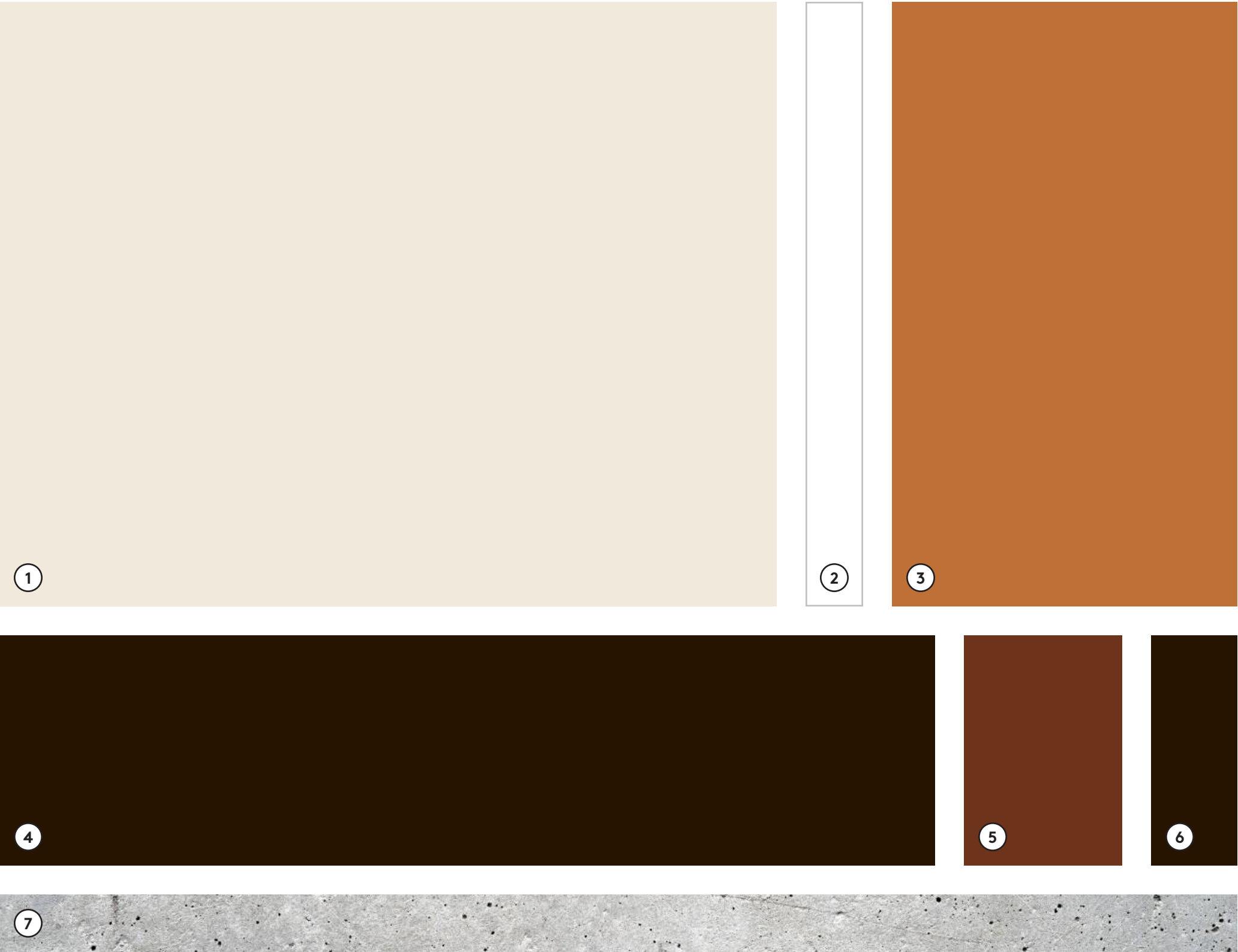
- ① Fiber Cement Panel - Painted - FCP-1
- ② Vinyl Window - White
- ③ V-Rustic Fiber Cement Panel - Painted - FCP-2
- ④ Kawneer Permanodic Anodized - Dark Bronze
- ⑤ Hardie 2.0 - Painted - FCP-3
- ⑥ Painted Steel Gate - Dark Bronze
- ⑦ Cast in Place Concrete

WEST BUILDING ELEVATION



DESIGN PROPOSAL: RESPONSE TO EDG - ARCHITECTURAL CONCEPT

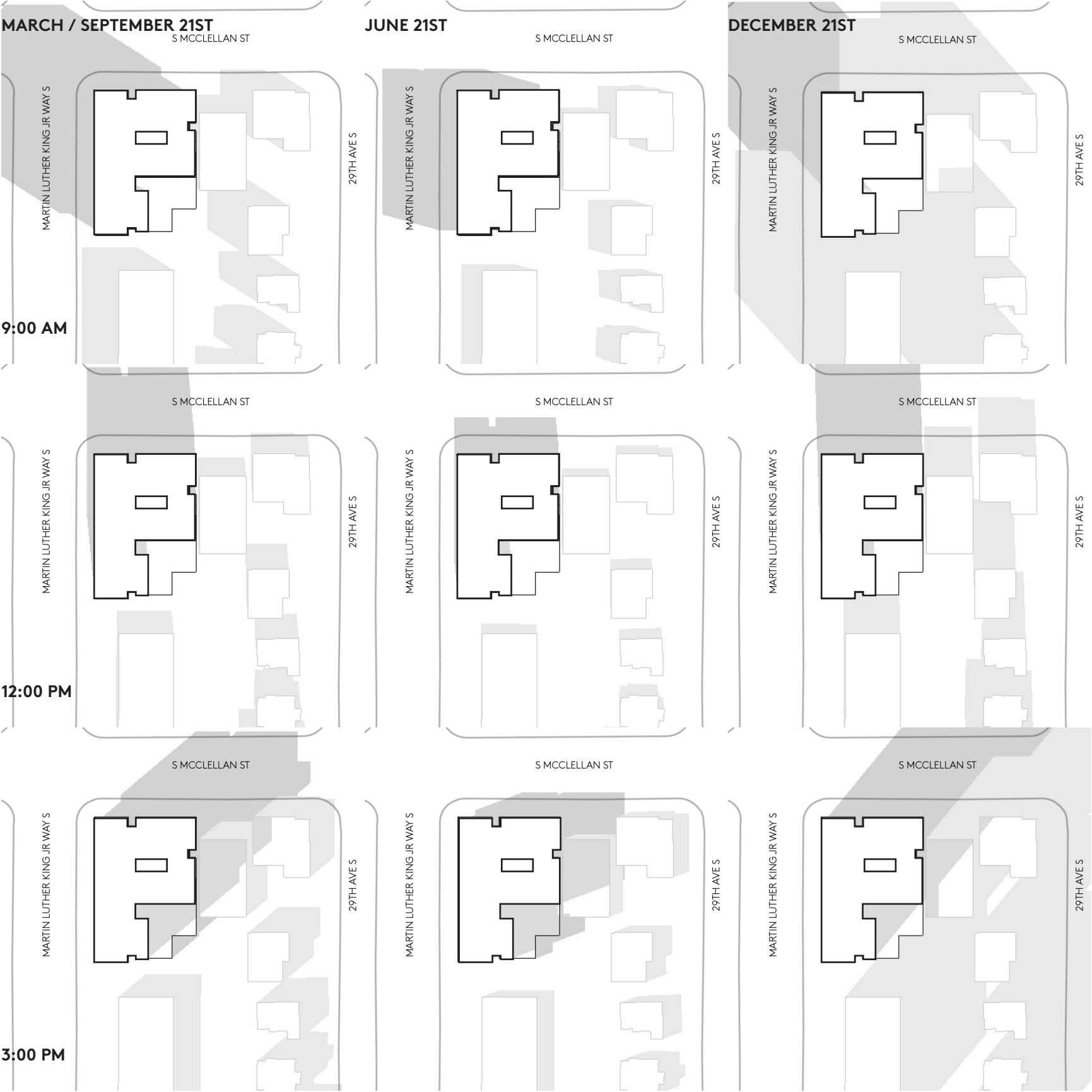
DESIGN REVIEW RECOMMENDATION 20



- ① PPG 1202-1 Vanilla Tan - FCP-1
- ② Vinyl Window - White
- ③ PPG 1201-7 Lucky Penny - FCP-2
- ④ Kawneer Permanodic Anodized - Dark Bronze
- ⑤ BM 2163-10 Log Cabin FCP-3
- ⑥ Painted Steel Gate - Dark Bronze
- ⑦ Cast in Place Concrete

MATERIAL BOARD

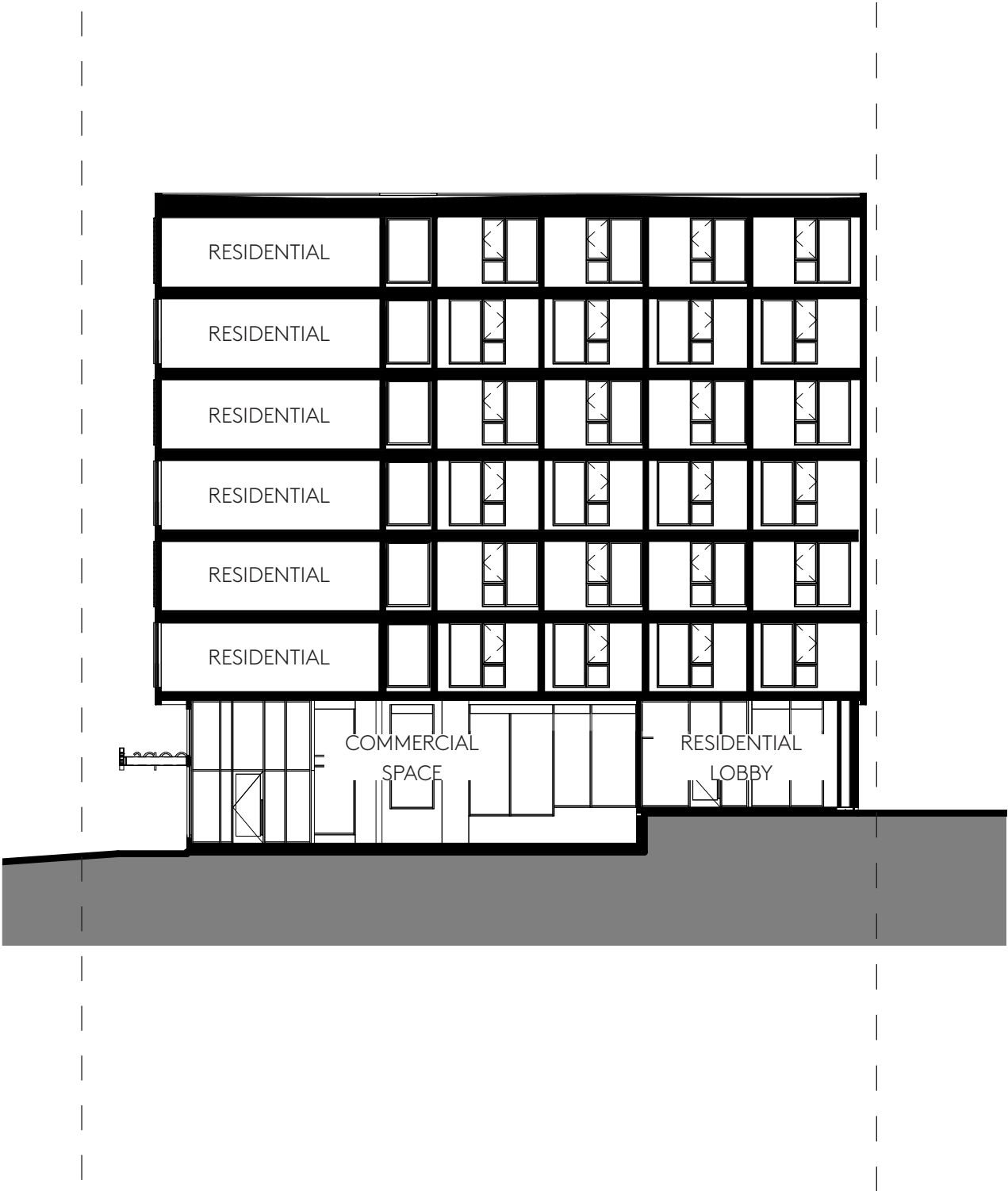
DESIGN PROPOSAL: RESPONSE TO EDG - MASSING, ARCHITECTURAL CONCEPT & CORNER SITE



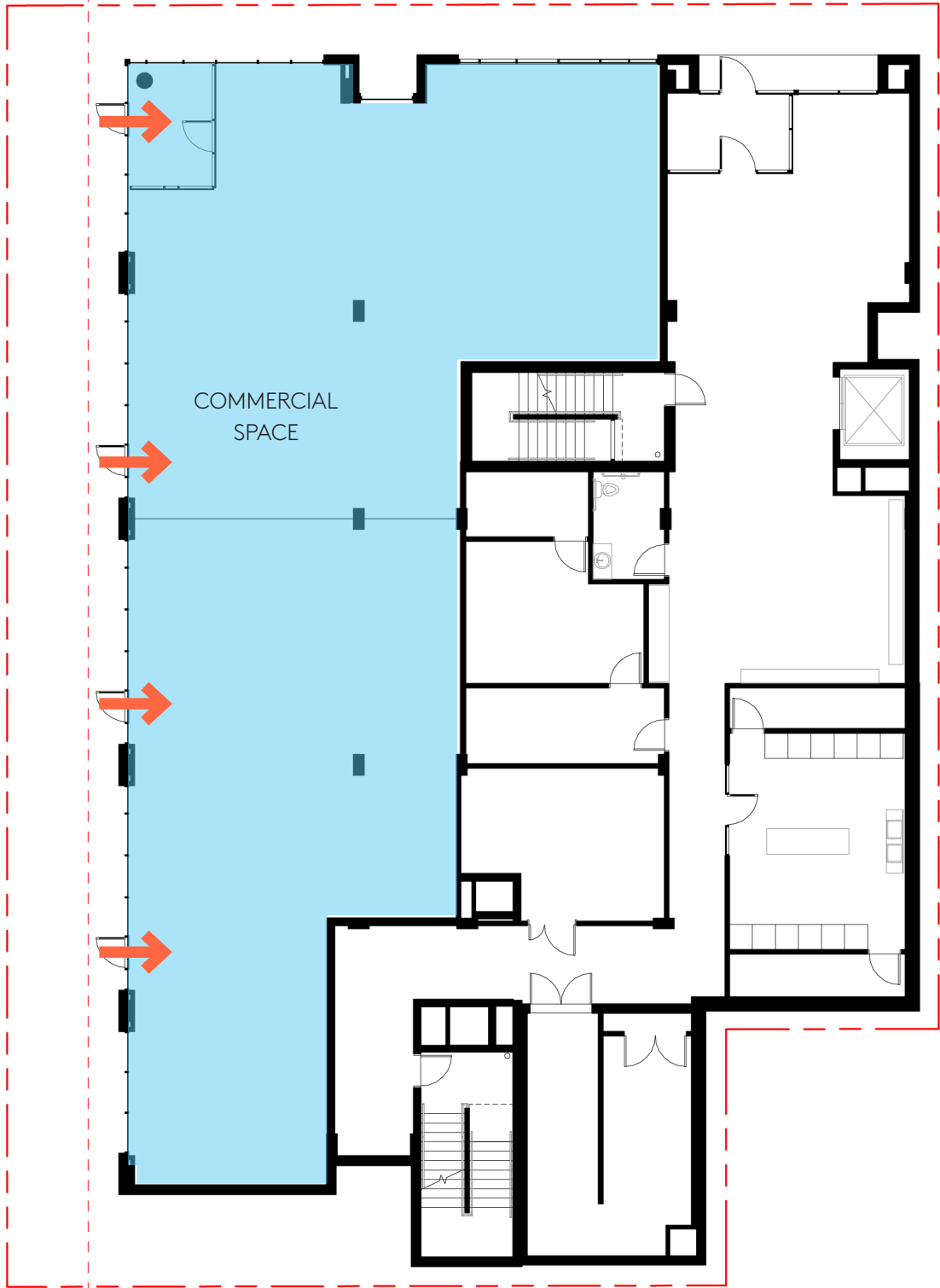
SHADE & SHADOW STUDY

SECTION - LOBBY AND
NORTH COMMERCIAL
SPACE

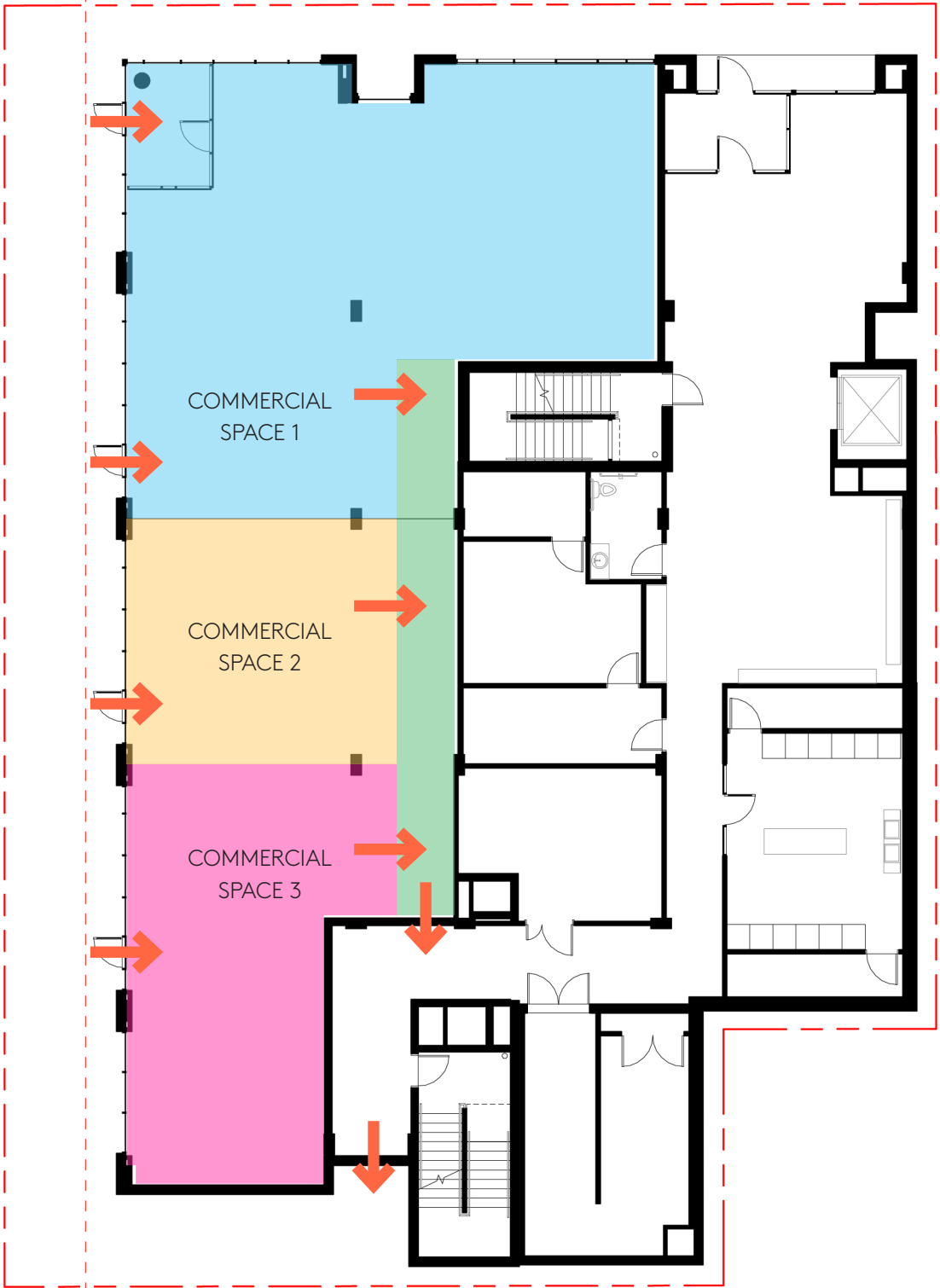
- The residential lobby floor elevation matches the sidewalk elevation to facilitate direct access from the sidewalk and to enhance seamless visual connectivity
- The north commercial space opens to S. McClellan street at the corner
- The floor elevation of the commercial space is set approximately 4'-6" lower than the residential entry lobby following the sloping grade along S. McClellan Street.



DESIGN PROPOSAL: RESPONSE TO EDG - MASSING - COMMERCIAL SPACES



COMMERCIAL SPACE : UNIFIED



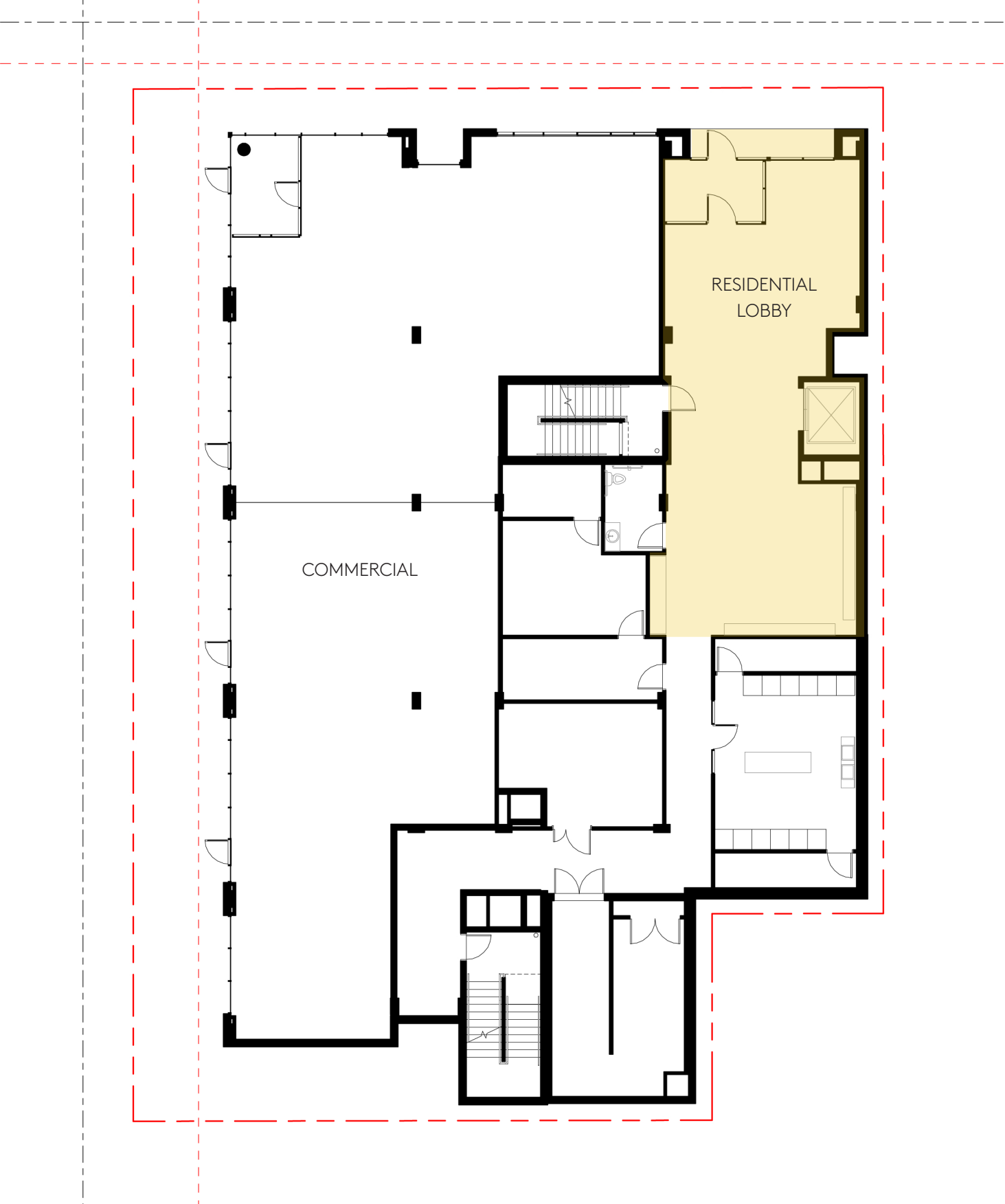
COMMERCIAL SPACE : DIVIDED

COMMERCIAL SPACE

- Commercial space wraps the north and west portion of the building at grade.
- Principal access to the commercial space provide from McClellan Street.
- Entry vestibule is located at the corner
- Floor slab steps to follow grade along MLK Jr. Way South
- Commercial space may serve a single, larger use
- Conversely, several smaller, neighborhood oriented commercial tenants may occupy the demised space along M..L. King Jr. Way S
- Egress provided along the back of the commercial space (green)

DESIGN PROPOSAL: RESPONSE TO EDG - RESIDENTIAL ENTRY

24
DESIGN REVIEW RECOMMENDATION

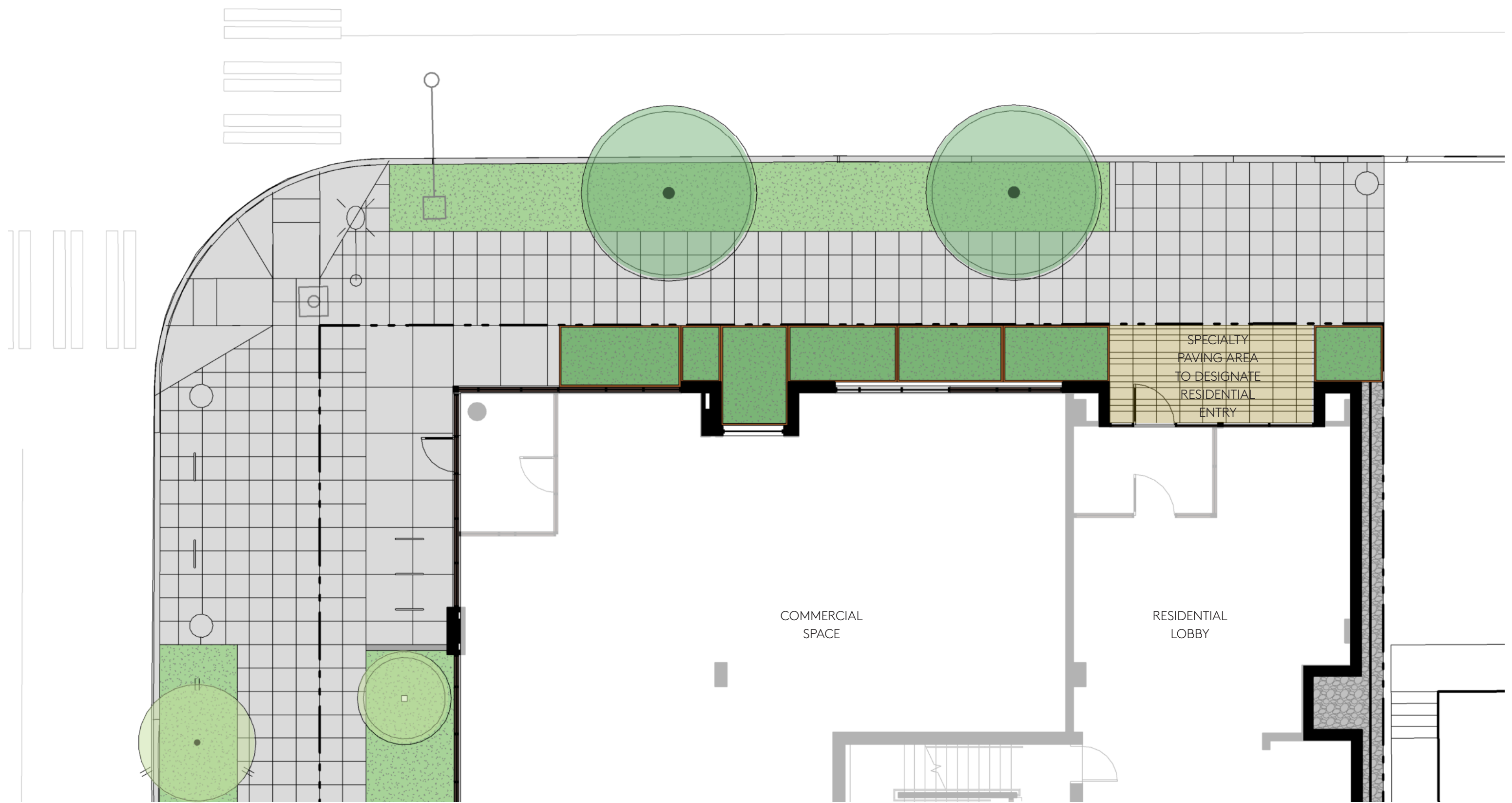


SITE / LEVEL 1 FLOOR PLAN

RESIDENTIAL ENTRY

- Gateway site: The residential entry opens onto S. McClellan Street.
- Gateway site: Residential entry lobby announces itself with a broad canopy, accent colored doorway, and signage, visible from Maddux North, further reinforcing kinship across the east/ west neighborhood pedestrian axis
- Sidewalk activation: Residential entry lobby glazing promotes safety, provides eyes on the street, and serves to activate the sidewalk.
- Sidewalk activation: Residential entry lobby floor is floated at elevation 69'-8", or 4'-2" above sidewalk grade at the intersection, and above the highest commercial floor elevation, following the sloping grade.
- Visible: Residential entry lobby features prominently along the north street facing facade, while programing accommodates a variety of uses, including mail delivery and pickup, waiting, management, and recreation.
- Height: 11'-6" floor to ceiling dimension in the residential lobby provides ample height to suit a variety of uses. The space, with it's glazed front, will glow at night breathing life to the sidewalk.
- Site: Trees and planting areas frame the entry way and create a line of demarcation between street and sidewalk, the public sidewalk, and the protected area of the entry patio.
- Specialty paving denotes the entryway as distinct from the sidewalk.

DESIGN PROPOSAL: RESPONSE TO EDG - RESIDENTIAL ENTRY



ENLARGED SITE/LEVEL 1 FLOOR PLAN

PERSPECTIVE VIEW LOOKING UP TO RAISED PANELS



DESIGN PROPOSAL: RESPONSE TO EDG - RESIDENTIAL ENTRY



PEDESTRIAN LEVEL PERSPECTIVE VIEW

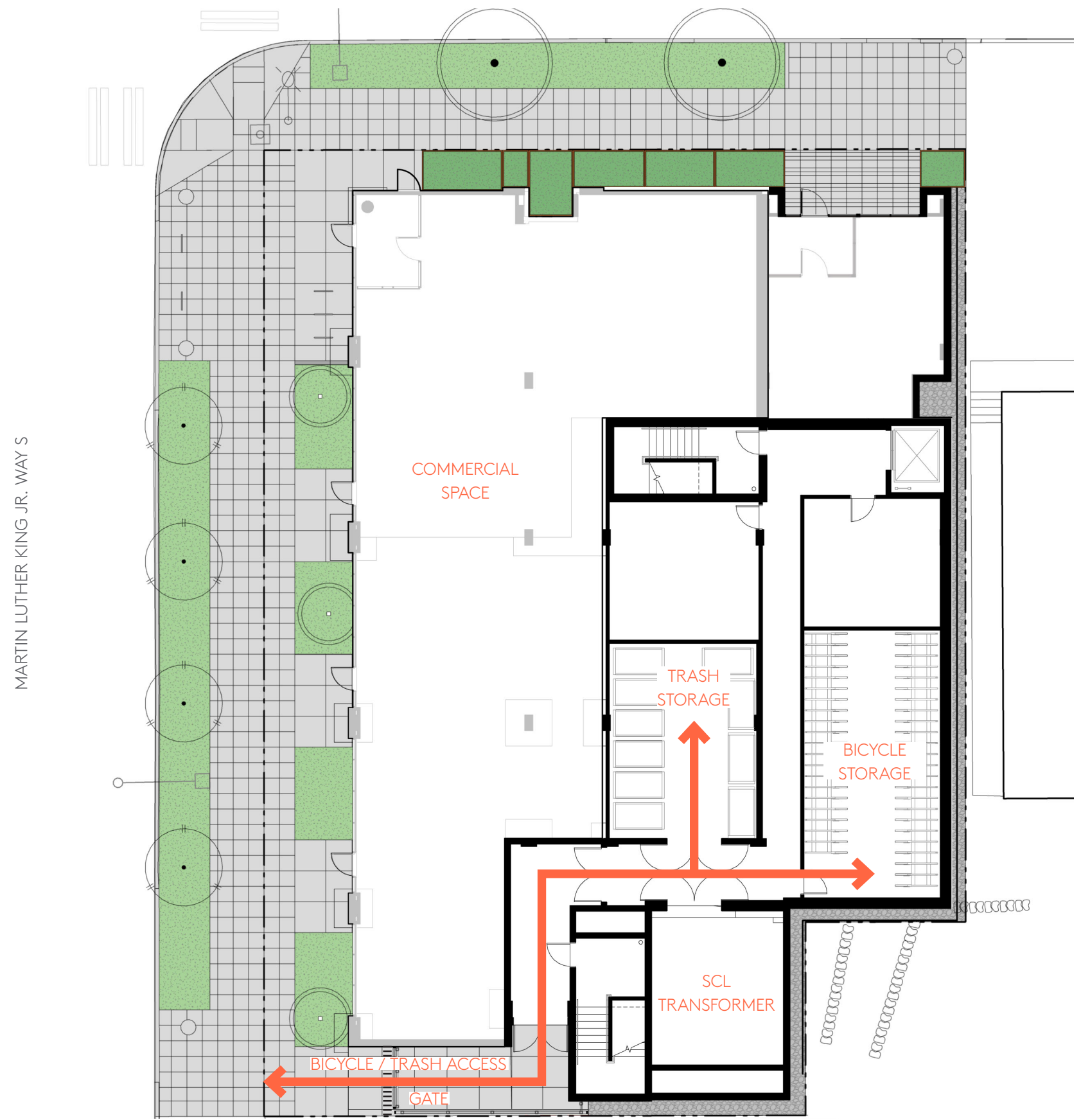
DESIGN STRATEGIES

- Prominently located along S. McClellan Street, a designated pedestrian way.
- Entry marked by canopy and signage.
- Bright accent color marks entry door and building identification signage.
- Landscape planting areas frame the entry.
- Specialty paving marks entry along the length of the sidewalk
- Visual link established between Maddux North and Maddux South across S. McClellan Street
- Transparent aluminum window wall allows views into and views from the residential entry lobby and sidewalk.

PERSPECTIVE VIEW ALONG SOUTH MCCLELLAN STREET



DESIGN PROPOSAL: RESPONSE TO EDG - SERVICE ENTRY



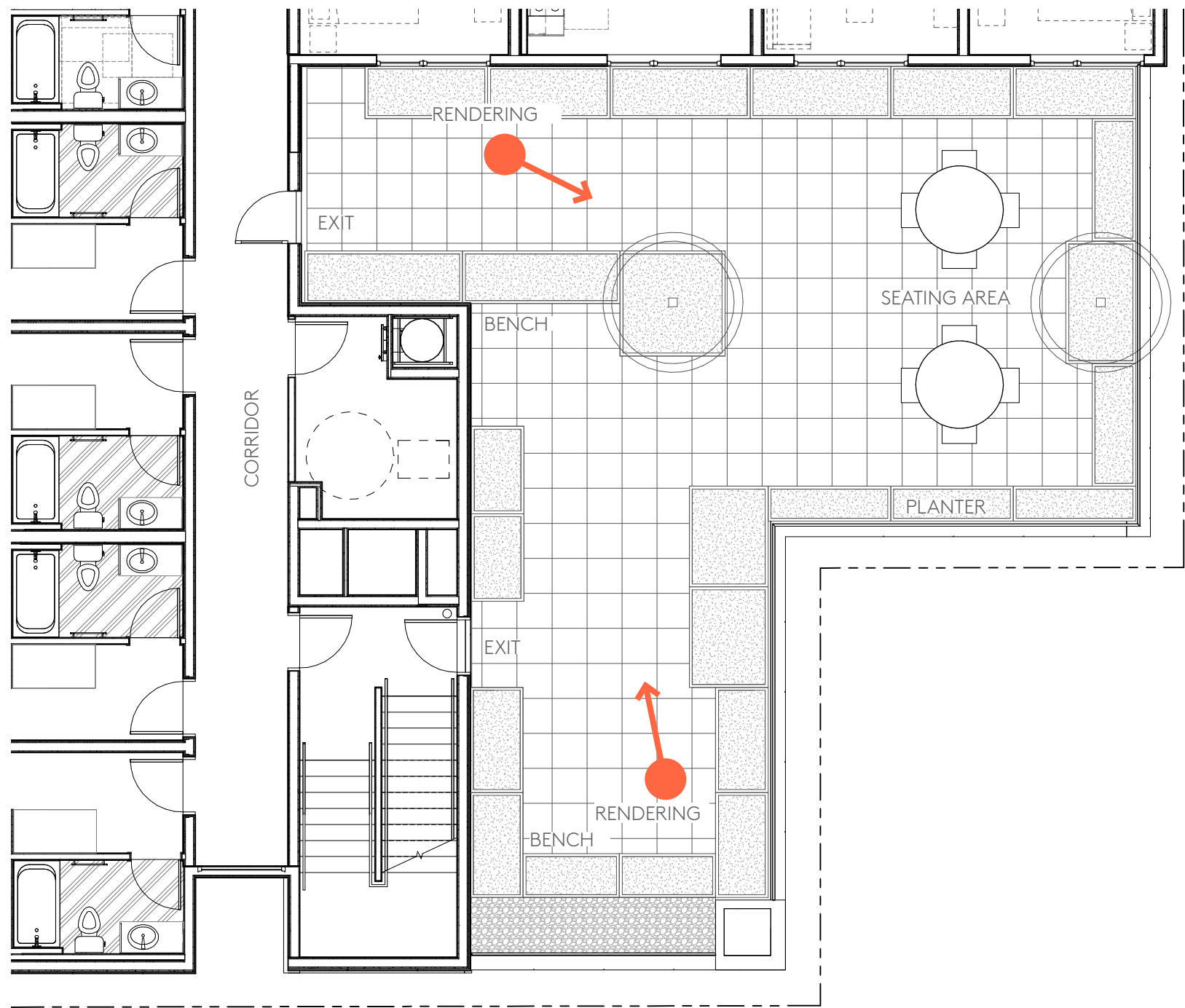
DESIGN STRATEGIES

- Discretely located along MLK Jr. Way S., away from the designated pedestrian way.
- Entry is protected behind secure gate.
- Trash and recycle staging occurs at the NE corner of the property in designated pick-up zone, clear of the sidewalk.
- Service entry is tucked in basement behind the commercial frontage to preserve commercial frontage along the sidewalk.
- Bicycle storage room access provided from service entry along M.L. King Jr. Way S., or through residential lobby via the stair/ elevator.
- Gated service way discourages vagrancy in obscure niche.

DESIGN PROPOSAL: RESPONSE TO EDG - SOUTH COURTYARD

IMPACT TO SOUTHEAST PROPERTIES

- Design of the courtyard serves a variety of uses while providing areas for quiet sitting, or entertaining.
- Landscaped plantings are located at the edge to soften views to adjacent properties and provide screening.
- Plantings at variety of scale create visual interest.
- Plantings are exclusively native non-invasive species and provide habitat complimentary to the surrounding neighborhood greenspace.



ENLARGED LEVEL 02 FLOOR PLAN - COURTYARD



DESIGN PROPOSAL: RESPONSE TO EDG - SOUTH COURTYARD



PERSPECTIVE VIEW FROM ENTRY

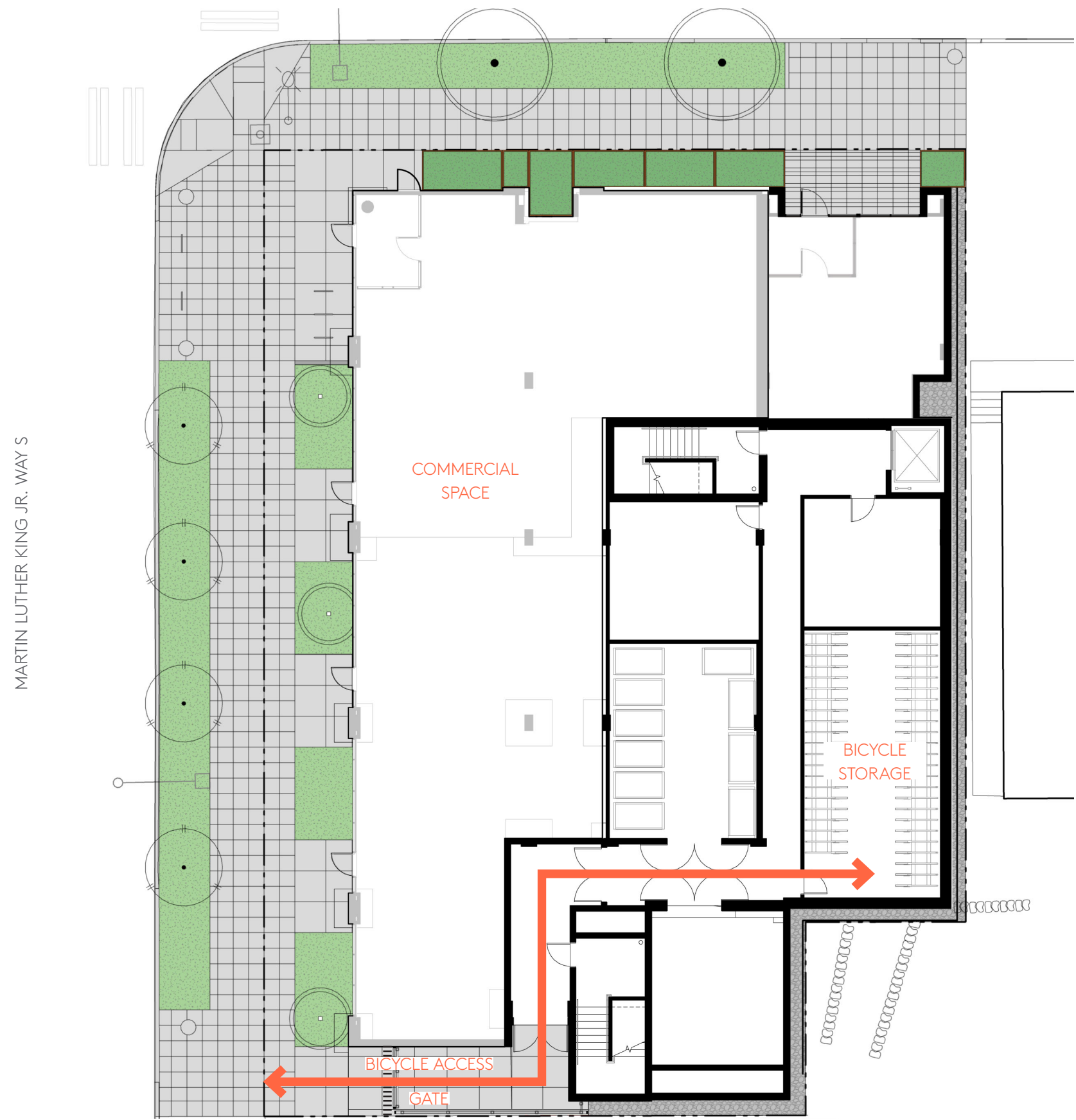
DESIGN PROPOSAL: RESPONSE TO EDG - SOUTH COURTYARD

32
DESIGN REVIEW RECOMMENDATION



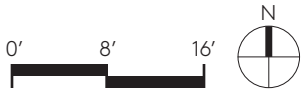
SEATED PEDESTRIAN LEVEL PERSPECTIVE VIEW

DESIGN PROPOSAL: RESPONSE TO EDG - BICYCLE PARKING

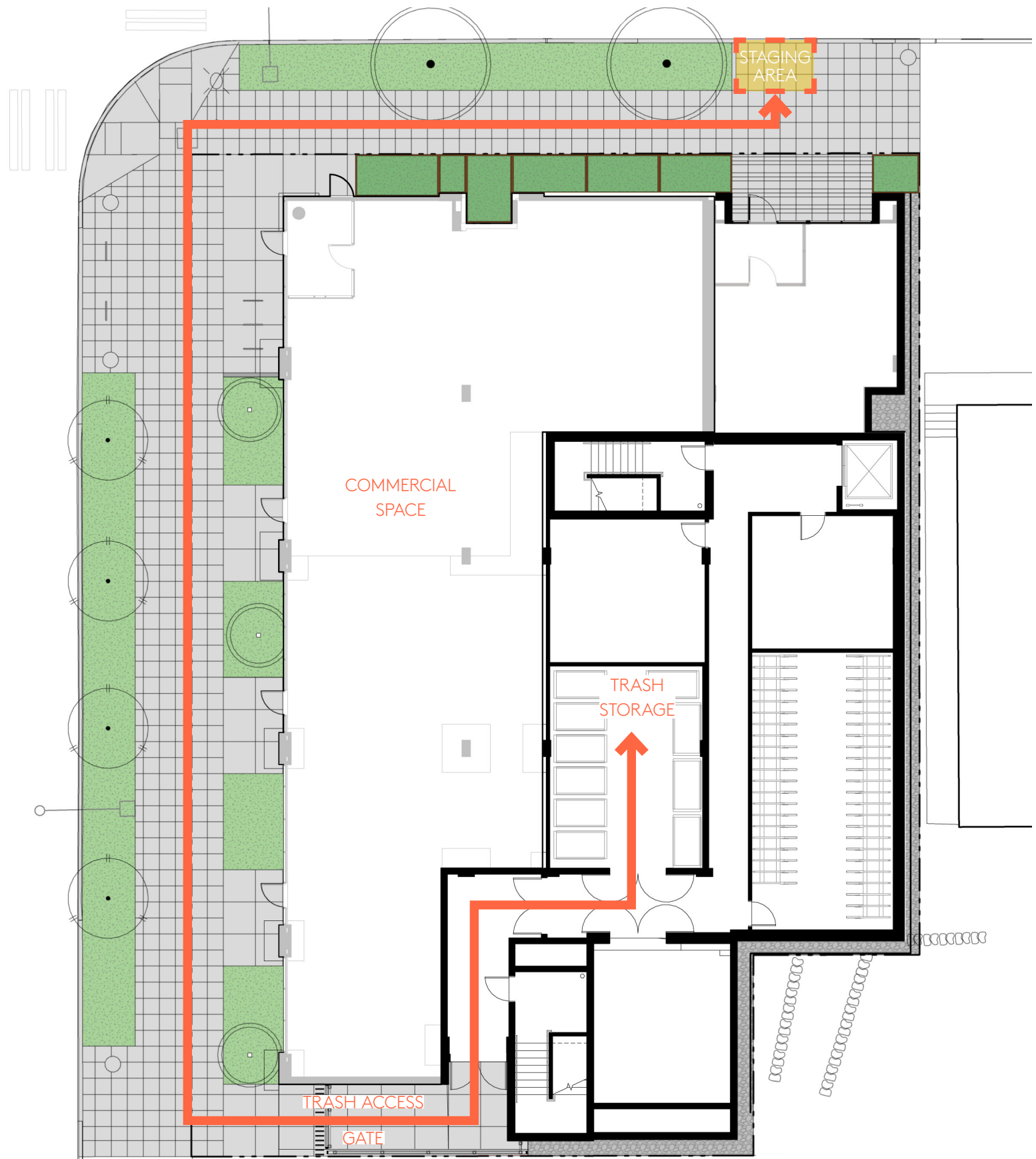


BICYCLE STORAGE

- Bicycle access principally from the southwest corner of the site, off of M.L. King Jr. Way s. at the basement level. Alternatively, long term bicycle storage located in the basement may be located directly from the residential lobby using the stair or elevator.
- Racks are located along the sidewalk at each commercial entry point and at the residential entry, located in public view for convenient, safe and secure parking.



DESIGN PROPOSAL: RESPONSE TO EDG - WASTE AND RECYCLE



WASTE AND RECYCLING

- The main trash and recycle facility is located in the basement level and is accessed via the service entry from M.L. King Jr. Way S.
- Staging of solid waste and recycling is located away from the residential lobby and the S. McClellan Street, the pedestrian way.
- Due to the varying floor elevations in the commercial spaces that relate to the sidewalk grade, commercial solid waste will be handled from the exterior by means of the sidewalk and service entry access to the trash room. Commercial and residential waste will be staged together at the curb side staging area located at the NE corner of the site, along S. McClellan Street.

DESIGN PROPOSAL: RESPONSE TO EDG - ARCHITECTURAL CONCEPT



EAST BUILDING ELEVATION

FACADE DESIGN STRATEGIES

- Building is setback from southeast corner and residentially zoned lot to the southeast
- Recessed windows allow daylight into corridor and reduce the length of the east facing facade located on the interior lot line.
- Windows on the corridor provide views into landscaped courtyard.

DESIGN PROPOSAL: ELEVATIONS



PEDESTRIAN LEVEL PERSPECTIVE VIEW LOOKING NORTHEAST

ZONING SUMMARY / MADDUX SOUTH

ADDRESS

2800 M L King Jr. Way S, Seattle, WA 98144

ZONING

NC1-75 (M1)

SITE AREA

10,839 SF

DEVELOPMENT STANDARDS

23.47A.004 PERMITTED AND PROHIBITED USES

Live work units permitted

23.47A.005 STREET LEVEL USES

Residential uses at street level are limited to 20% of the street level, street facing façade

23.47A.008 STREET LEVEL DEVELOPMENT STANDARDS

Blank facades are limited to 20’, between 2’ and 8’ above the sidewalk.

Total of all blank facades may not exceed 40% of the width of the façade along the street.

Street level facades must be located within 10-feet of the street PL.

Driveways of up to 22’ wide may be subtracted from the calculation.

Average depth of non-res uses shall extend an average depth of at least 30-feet and a minimum depth of 15 feet from the façade, up to 50% of the foot print of the structure.

Floor-to-floor height shall be at least 13’ for non-res uses at street level.

Where residential uses are located, at least one of the street level facades shall have a prominent pedestrian entry.

Standards for Live/Work units apply.

23.47A.012 STRUCTURE HEIGHT

Building height limit: 75 feet

Additional 4’ if floor to floor height is 13’ for non-residential use at street level.

The usual rooftop feature allowances apply per Section C.

23.47A.014 SETBACK REQUIREMENTS

Setback is required along any rear or side lot line that abuts a lot in a residential zone

10’ setback for portions above 13 feet to maximum of 65’

1’ additional setback for each 10’ above 65’

No entrance, window, or opening is permitted closer than 5-feet to an abutting res zoned lot.

23.47A.013 FLOOR AREA RATIO (FAR)

5.5 for 75’ height limit in commercial zones, per Table B 23.47A.013.

Area of required bicycle parking for small efficiency dwelling units is exempt from FAR calculation.

Minimum FAR 1.5

23.47A.016 LANDSCAPING AND SCREENING STANDARDS

A Green Factor score of .30 or greater

Street Trees are required.

23.47A.017 COMMERCIAL ZONES WITH MANDATORY HOUSING AFFORDABILITY SUFFIX

5.5 for single residential or non-res use; 5.5 for all uses if mixed use

23.47A.024 AMENITY AREA

5% of the total gross floor area in residential use

Amenity areas shall not be enclosed.

Minimum dimension is 10’, 250 SF.

23.47A.030 REQUIRED PARKING AND LOADING

Ref 23.54.015

Loading per 23.54.035

PROPOSED DEVELOPMENT

23.47A.004 PERMITTED AND PROHIBITED USES

The proposed uses are permitted outright (commercial, residential).

23.47A.005 STREET LEVEL USES

The proposed development includes residential use along S. McClellan S. that exceeds the street level use requirements. The residential entry lobby located off of S. McClellan Street will occupy > 20% of the street level, street facing facade. The project seeks a development departure for the facade length in residential use.

23.47A.008 STREET LEVEL DEVELOPMENT STANDARDS

Commercial uses meet the requirements for average and minimum depth, measured from the street level, street facing façade.

The floor to floor height at the ground level commercial uses is greater than 13 feet, min.

The west wall of the Level 1 commercial space exceeds the maximum setback from the MLK Jr. Way S. lot line. The setback is > 10’ due to the required high voltage power line setback. The project seeks a development departure for the facade length in residential use.

23.47A.012 STRUCTURE HEIGHT

The proposed design complies with the maximum allowable structure height of 75’ measured from average grade.

23.47A.013 FLOOR AREA RATIO (FAR)

The project meets the floor area ratio (FAR) standards for commercial zones with a 75’ height limit. Proposed FAR is approximately 4.48, <5.5.

23.47A.014 SETBACK REQUIREMENTS

The project meets setback requirements above 13’ from the residentially zoned lot to the SE (ref. Massing Option 3, the preferred alternative).

23.47A.016 LANDSCAPING AND SCREENING STANDARDS

The project design provides planting to meet a Green Factor score of .30 or Greater.

Street trees are provided along MLK Jr. Way South and S. McClellan Street.

23.47A.014 COMMERCIAL ZONES WITH MHA SUFFIX

The project meets the floor area ratio (FAR) standards assuming MHA zoning for affordable housing projects.

23.47A.024 AMENITY AREA

The project provides outdoor amenity space on the Level 2 courtyard and at level 1. The project will seek a development departure for reduced amenity area.

23.47A.030 REQUIRED PARKING AND LOADING

The project contains bicycle parking at a ratio of one bicycle per unit for the first 50, .75 bicycles for each unit is excess of 50. 77 bicycle parking spaces are provided on the Basement Level.

Space is not provided for the storage of motorized vehicles.

DESIGN GUIDELINES / MADDUX SOUTH

LIST OF PRIORITY DESIGN GUIDELINES

Priority applicable design guidelines have been identified based on both Mount Baker Town Center Neighborhood Design Guidelines and the citywide Seattle Design Guidelines.

CS1 Natural Systems and Site Features

- CS1-C Topography
- CS1-C-1. Land Form: Use the natural topography and/or other desirable land forms or features to inform the project design.
- CS1-C-2. Elevation Changes: Use the existing site topography when locating structures and open spaces on the site. Consider “stepping up or down” hillsides to accommodate significant changes in elevation.

PROPOSED DESIGN:

Building entries are situated so that doors are located at grade. Building programing takes advantage of the site slope.

CS2 Urban Pattern and Form

- CS2-A Location in the City and Neighborhood
- CS2-A-1. Sense of Place: Emphasize attributes that give a distinctive sense of place. Design the building and open spaces to enhance areas where a strong identity already exists, and create a sense of place where the physical context is less established.
- CS2-A-2. Architectural Presence: Evaluate the degree of visibility or architectural presence that is appropriate or desired given the context, and design accordingly.
- CS2-B Adjacent Sites, Streets, and Open Spaces
- CS2-B-1. Site Characteristics: Allow characteristics of sites to inform the design, especially where the street grid and topography create unusually shaped lots that can add distinction to the building massing.
- CS2-B-2. Connection to the Street: Identify opportunities for the project to make a strong connection to the street and public realm.
- CS2-D Height, Bulk, and Scale
- CS2-D-1. Existing Development and Zoning: Review the height, bulk, and scale of neighboring buildings as well as the scale of the development anticipated by zoning for the area to determine an appropriate complement and/or transition.
- CS2-D-2. Existing site Features: Use changes in topography, site shape, and vegetation or structures to help make a successful fit with adjacent properties.
- CS2-D-5. Respect for adjacent Sites: Respect adjacent properties with design and site planning to minimize disrupting the privacy of residents in adjacent buildings.

MOUNT BAKER SUPPLEMENTAL GUIDANCE

- CS2-I. Location in the City and Neighborhood
- CS2-I-ii. “Gateway” sites abound throughout the neighborhood, and have the

potential to provide a sense of arrival to the neighborhood or to a particular place. Identified “gateway” sites include the corners at the intersections of Rainier Ave., MLK Way, McClellan St., and Mount Baker Blvd.; and at Bayview St. to the north, and along McClellan St. to the east and west of the Town Center. Buildings at gateway sites should present strong forms that strengthen the corners through massing and height.

PROPOSED DESIGN:

Located at the intersection of MLK Way and S. McClellan St., both Maddux North and Maddux South sites are identified as “gateway” sites. To create a gateway to the neighborhood, the proposed Maddux South building is designed to build out to the corner to create a strong urban edge to anchor the block. The projected wrap-around corner at upper levels is articulated with greater level of openness and transparency for the units at the corner.

MOUNT BAKER SUPPLEMENTAL GUIDANCE

- CS2-II. Adjacent Sites, Streets, and Open Spaces
- CS2-II-iii. McClellan St between Rainier Ave. and 30th Ave. S. has been identified as one of the Town Center’s best opportunities for a relatively quiet, pedestrian-oriented, commercial street appropriate for neighborhood-focussed retail such as restaurants and cafes.
- CS2-II-iv. New buildings on McClellan between Rainier and 30th Ave. S should emphasize overhead weather protection, porous, transparent facades, and uses that spill out on to the sidewalk.

PROPOSED DESIGN:

Both Maddux North and Maddux South buildings are located along S McClellan St between MLK Way and 29th Ave. S., which has been identified as one of the Town Center’s best opportunities for a pedestrian-oriented commercial street. The Maddux South building is placed along S. McClellan St. to create a continuous street front with active, neighborhood scale commercial space and residential entry. The Maddux North building will have a continuous 5’ setback at the street level to increase the width of the sidewalk, provide street seating spaces, bicycle parking and planting, as well as enhance the pedestrian experience. Overhead canopies, porous and highly transparent facade will be provided along the S. McClellan St.

MOUNT BAKER SUPPLEMENTAL GUIDANCE

- CS2-III. Relationship to the Block
- CS2-III-i. New development should set a good precedent for future redevelopment on the block by building to the sidewalk, providing active street level uses, and minimizing surface parking.

PROPOSED DESIGN:

The proposed design is intended to set a good precedent for the future redevelopment in this transitional neighborhood. The building is designed to anchor the corner of MLK Way and S McClellan Street to create a gateway to the neighborhood, build to the sidewalk and provide active commercial space and residential lobby at the street level.

CS3 Architectural Context and Character

- CS3-A Emphasizing Positive Neighborhood Attributes
- CS3-A-1. Fitting Old and New Together: Create compatibility between new projects and existing architectural context, including historic and modern designs, through building articulation, scale and proportion, roof forms, detailing, fenestration, and/ or the use of complementary materials.
- CS3-A-4. Evolving Neighborhoods: In neighborhoods where architectural character is evolving or otherwise in transition, explore ways for new development to establish a positive and desirable context for others to build upon in the future.

PL1 Connectivity

- PL1 Connectivity: Complement and contribute to the network of open spaces around the site and the connections among them.
- PL1-B-3. Pedestrian Amenities: Opportunities for creating lively, pedestrian oriented open spaces to enliven the area and attract interest and interaction with the site and building should be considered.

PROPOSED DESIGN:

The building facades are setback from all street facing lot lines at grade. Setback areas include broad public commercial patios separated by generous planted areas. Planted areas include 100% native, drought tolerant plant species. Street trees and planters in the right of way provide a buffer from vehicular traffic and demarcate the pedestrian zone.

MOUNT BAKER SUPPLEMENTAL GUIDANCE

- PL1-II. Open Space Connectivity
- PL1-II-vi. Development that fronts on the main pedestrian travel routes to the light rail station and bus transfer center should benefit and serve all the development’s users by providing pedestrian amenities, such as street trees, pedestrian lighting, benches, newspaper racks, and public art.

PROPOSED DESIGN:

Pedestrian traffic to transit is funneled up and down McClellan Street around Franklin High School to the south and the nearly six acre Mt. Baker Village Apartments to the North. Further, S. McClellan Street connects the residential neighborhood to the Town Center and Link light rail station. The proposed design will provide pedestrian amenities including street trees, pedestrian lighting, street seating, bike parking and public art. An artistic gateway cross walk at the intersection of MLK Way and S. McClellan St is envisioned to reinforce the gateway concept and provide a clearer pedestrian travel route to the light rail station and bus transfer center.

PL2 Walkability

PL2-A Accessibility

PL2-A-1. Access for All: Provide access for people of all abilities in a manner that is fully integrated into the project design. Design entries and other primary access points such that all visitors can be greeted and welcomed through the front door.

PL2-B Safety and Security

PL2-B-1. Eyes on the Street: Create a safe environment by providing lines of sight and encouraging natural surveillance.

PL2-B-2. Lighting for Safety: Provide lighting at sufficient lumen intensities and scales including pathway illumination, pedestrian and entry lighting, and/or security lights.

PL2-B-3. Street-Level Transparency: Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.

PL2-D Wayfinding

PL2-D-1. Design as Wayfinding: Use design features as a means of wayfinding wherever possible.

PROPOSED DESIGN:

The building facades are setback from all street facing lot lines at grade. setback areas include broad public commercial patios separated by generous planted areas. Planted areas include 100% native, drought tolerant plant species. Street trees and planters in the right of way provide

a buffer from vehicular traffic and demarcate the pedestrian zone.

Maximal transparency provided by aluminum storefront windows at the residential entry and the commercial storefront areas enhance safety of the pedestrian environment at grade. Visual connection established between the sidewalk and spaces within the building.

PL3 Street-Level Interaction

PL3-A Entries

PL3-A-1. Design Objectives: Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight and lobbies visually connected to the street.

PL3-A-2. Common Entries: Multi-story residential buildings need to provide privacy and security for residents but also be welcoming and identifiable to visitors.

PL3-A-4. Ensemble of Elements: Design the entry as a collection of coordinated elements including the door(s), overhead features, ground surface, landscaping, lighting, and other features.

PL3-B Residential Edges

PL3-B-4. Interaction; Provide opportunities for interaction among residents and neighbors.

PROPOSED DESIGN:

Setback areas include broad public commercial patios separated by generous planted areas. Special emphasis paid to the design of the public way and the setback areas located along M.L.. King Jr. Way South and S. McClellan Street. Landscaped planters frame the residential entry, and a broad patio connects the entry lobby to the sidewalk. The residential entry is plainly visible from the sidewalk and street.

Maddux South extends the network of public greenways that characterize the Mt. Baker residential neighborhood to the east.

Planted areas include 100% native, drought tolerant plant species. Street trees and planters in the right of way provide a buffer from vehicular traffic and demarcate the pedestrian zone.

MOUNT BAKER SUPPLEMENTAL GUIDANCE

PL3-I. Entries

PL3-I-i. All new development should be built to the sidewalk edge with prominent pedestrian entries opening on to the sidewalk. The corners of buildings on corner sites should be designed to be filled with active uses and with transparent facades.

PROPOSED DESIGN:

Corners at intersection of MLK Way and S. McClellan St. is reserved for active commercial uses because of its prominent exposure. The residential entry opens on to the sidewalk with a 8' recess with outdoor seating and planting elements to provide a welcoming experience for residents. A commercial space entry is clearly defined with a collection of coordinated elements including overhead canopy, signage, lighting, landscaping and ground surface.

MOUNT BAKER SUPPLEMENTAL GUIDANCE

PL3-II. Retail Edges

PL3-II-i. Retail edges should provide porous, transparent facades with prominent entries.

PROPOSED DESIGN:

Higher percent of glazing will be provided than the Land Use code requirement along street facades to maximize visibility into the commercial spaces at the street level.

PL4 Active Transportation

PL4-A Entry Locations and Relationships

PL4-A-2. Connections to All Modes: Site the primary entry in a location that logically relates to building uses and clearly connects all major points of access.

PL4-B Planning Ahead for Bicyclists

PL4-B-2. Bike Facilities: Facilities such as bike racks and storage, bike share stations, shower facilities and lockers for bicyclists should be located to maximize convenience, security, and safety.

PROPOSED DESIGN:

Maddux promotes the use of the bicycle as a viable mode of transportation for the residents of the neighborhood. Bicycle racks are positioned at each and every commercial and residential entry. Racks are positioned for convenience, but also for safety and security.

DC1 Project Uses and Activities

DC1-A Arrangement of Interior Uses

DC1-A-2. Gathering Places: Maximize the use of any interior or exterior gathering spaces.

DC1-A-4. Views and Connections: Locate interior uses and activities to take advantage of views and physical connections to exterior spaces and uses.

DC2 Architectural Concept

DC2-A Massing

DC2-A-1. Site characteristics and Uses: Arrange the mass of the building taking into consideration the characteristics of the site and the proposed uses of the building and its open space.

DC2-A-2 Reducing Perceived Mass: Use secondary architectural elements to reduce the perceived mass of larger projects.

DC2-B Architectural and Facade Composition

DC2-B-1. Facade Composition: Design all building facades- including alleys and visible roofs- considering the composition and architectural expression of the building as a whole. Ensure that all facades are attractive and well-proportioned.

DC2-C Secondary Architectural Features

DC2-D Scale and Texture

DC2-D-1. Human Scale: Incorporate architectural features, elements and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept.

DC2-D-2. Texture: Design the character of the building, as expressed in the form, scale and materials, to strive for a fine grained scale, or "texture," particularly at the street level and other areas where pedestrians predominate.

DC2-E Form and Function

DC2-E-1. Legibility and Flexibility: Strive for a balance between building use, legibility, and flexibility. Design buildings such that their primary functions and uses can be readily determined from the exterior, making the building easy to access and understand. At the same time, design flexibility into the building so that it may remain useful over time even as specific programmatic needs evolve.

MOUNT BAKER SUPPLEMENTAL GUIDANCE

DC2-I. Architectural Concept
DC2-I-i. Use massing to differentiate between portions of a building with different functions.

PROPOSED DESIGN:

The building massing will clearly reflect building programs of upper residential floors over the mix-used base with greater level of openness and transparency for the units at the corner. The upper building massing is projected beyond the building base to create more animated street facades. Transparent facades at the ground level distinguish the commercial and residential amenity space from the residential units above.

DC3 Open Space Concept

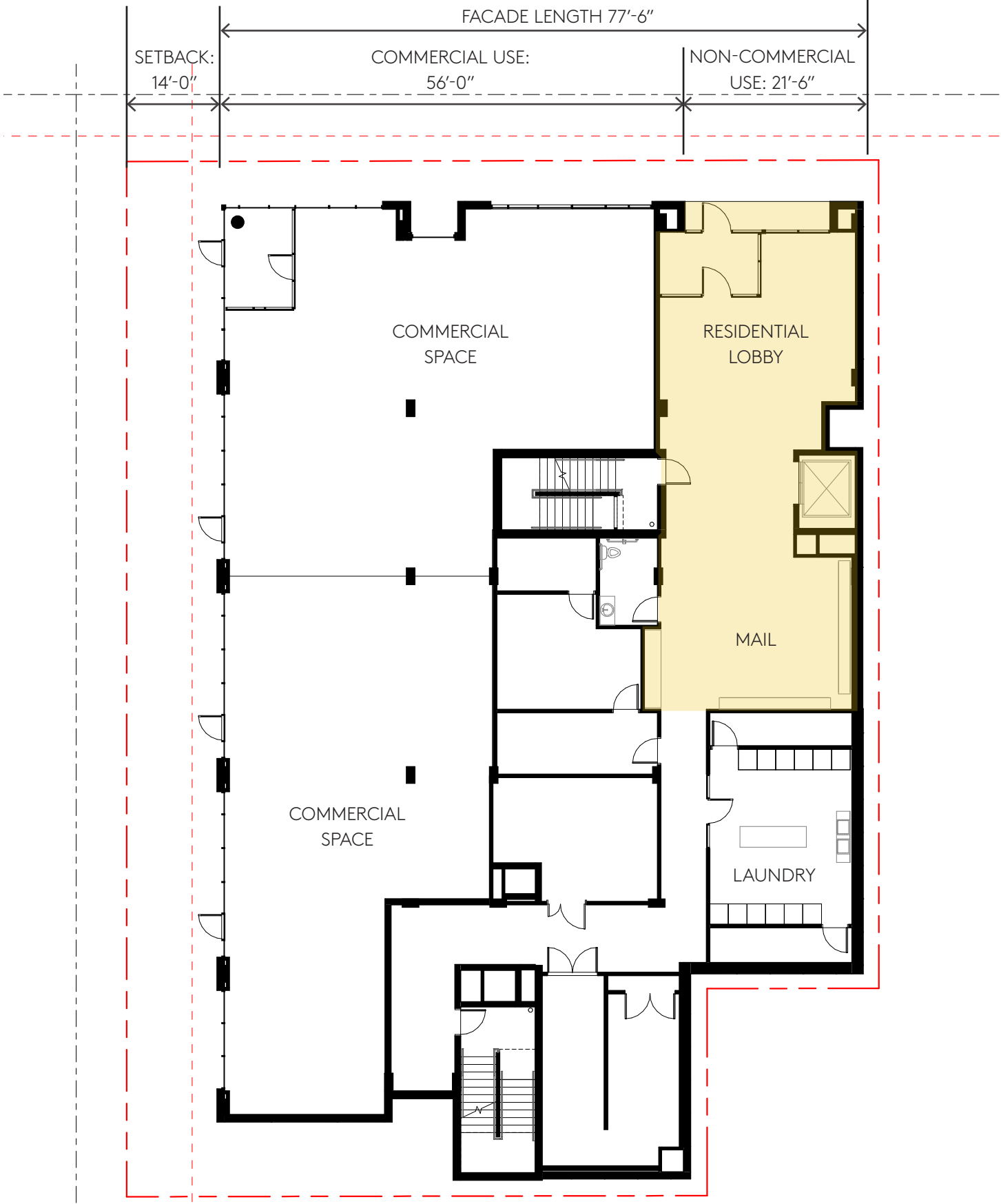
DC3-A Building-Open Space Relationship
DC3-A-1. Interior/Exterior Fit: Develop an open space concept in conjunction with the architectural concept to ensure that interior and exterior spaces relate well to each other and support the functions of the development.
DC3-B Open Space uses and Activities
DC3-B-4. Multifamily Open Space: Design common and private open spaces in multifamily projects for use by all residents to encourage physical activity and social interaction.
DC3-C-2. Amenities/Features: Create attractive outdoor spaces suited to the uses envisioned for the project.

DC4 Exterior Elements and Finishes

DC4-A. Exterior Elements and Finishes
DC4-A-1. Exterior Finish Materials: Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.
DC4-A-2. Climate Appropriateness: Select durable and attractive materials that will age well in Seattle’s climate, taking special care to detail corners, edges, and transitions.
DC4-C Lighting
DC4-C-1. Functions: Use lighting both to increase site safety in all locations used by pedestrians and to highlight architectural or landscape details and features such as

entries, signs canopies, plantings, and art.
DC4-D Trees, landscape, and Hardscape Materials
DC4-D-2. Hardscape materials: Use exterior courtyards, plazas, and other hard surfaced areas as an opportunity to add color, texture, and/or pattern and enliven public areas through the use of distinctive and durable paving materials.
Use permeable materials wherever possible
DC4-D-4. Place making: Create a landscape design that helps define spaces with significant elements such as trees.

MADDUX SOUTH / DEPARTURE REQUEST 1



SUMMARY - DEPARTURE REQUEST

Increase the length of non-commercial facade along S. McClellan Street from 20% to 28%

Code Citation:

23.47A.005.C.1 Street Level Uses

Code Requirement:

Residential uses at the street level are limited to 20% of the street level, street facing facade. Applies to both street facing facades in the NC-1 zone.

Proposed Design Departure:

21'-6" of non-commercial facade length is proposed at the residential entry lobby located along S. McClellan Street.

Total Facade Length is 77'-6"

$21'-6"/77'-6" = 27.7\%$

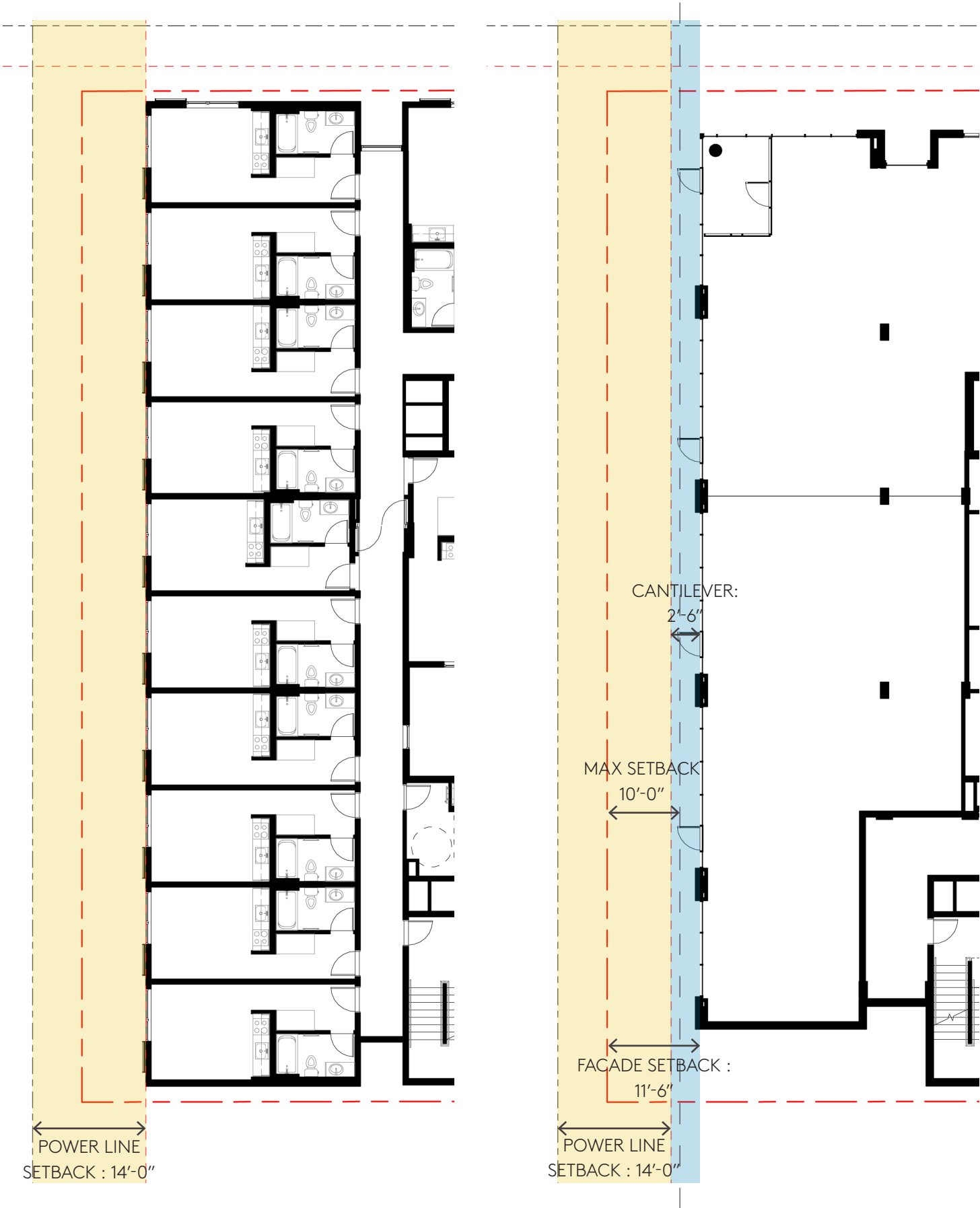
$27.7\% > 20\% \text{ Max.}$

Development standard departure is requested.

Rationale:

- The increased facade length at the residential entry lobby, combined with fully transparent glazed street facing wall, enhances the presence of the residential apartment complex on the street, thereby contributing a greater sense of community across S. McClellan Street.
- The increased width of the residential use facilitates flexible use of the lobby space, the lobby intended to function as a multi-purpose amenity room accessed directly from the sidewalk. This width allows the lobby to feel more like a room and less like a hallway.
- The overall length of the street level street facing facade is reduced due to the required 14' setback from the high-voltage power lines located several stories above grade.

MADDUX SOUTH / DEPARTURE REQUEST 2



SUMMARY - DEPARTURE REQUEST

Increase the maximum allowable street facing facade setback from 10'-0" to 11'-6".

Code Citation:

23.47A.008.A.3 Street Level Facades

Code Requirement:

Street level facades must be located within 10' of the street lot line.

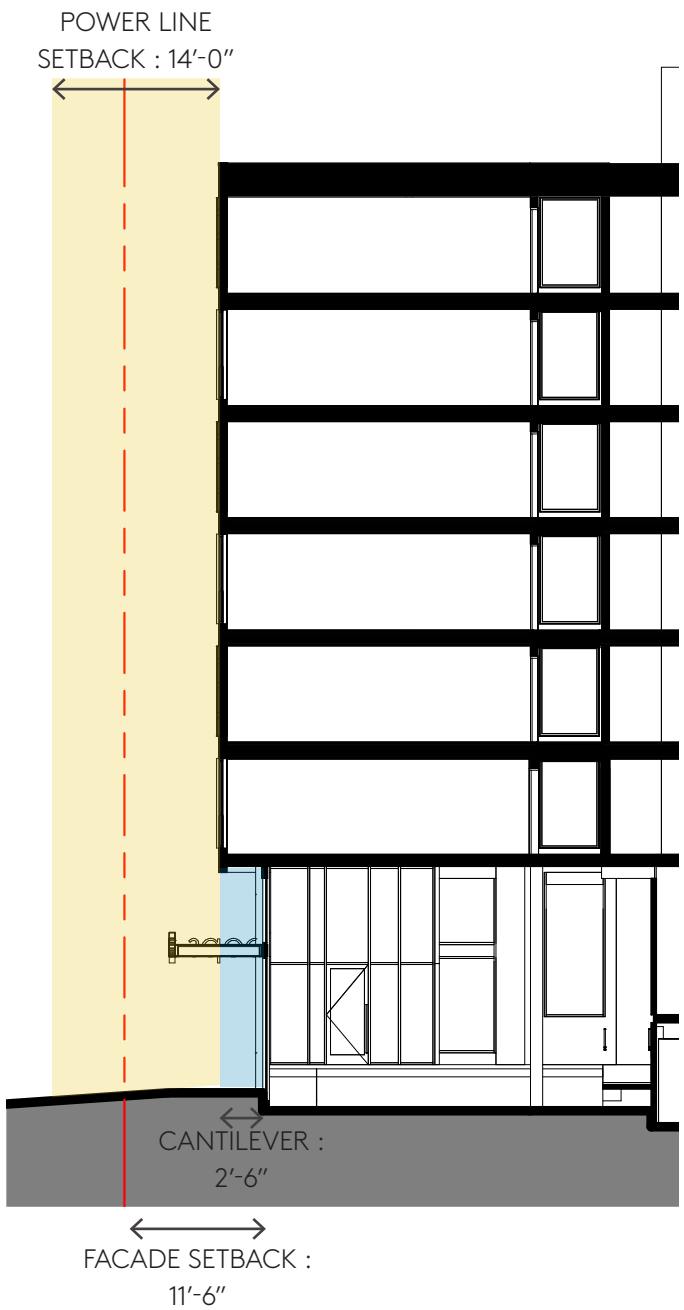
Proposed Design Departure:

The street level, street facing facade is located 11'-6" from the M.L. King Jr. Way S. street lot line.

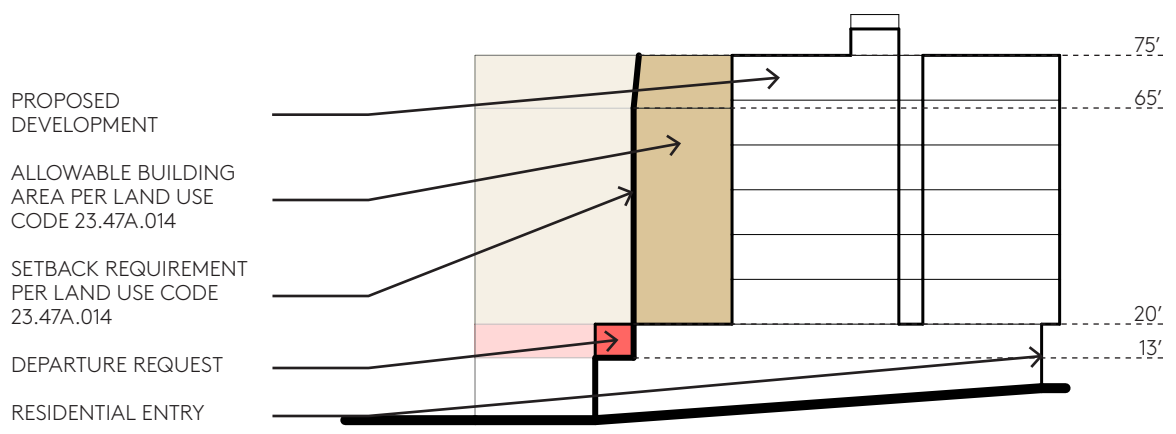
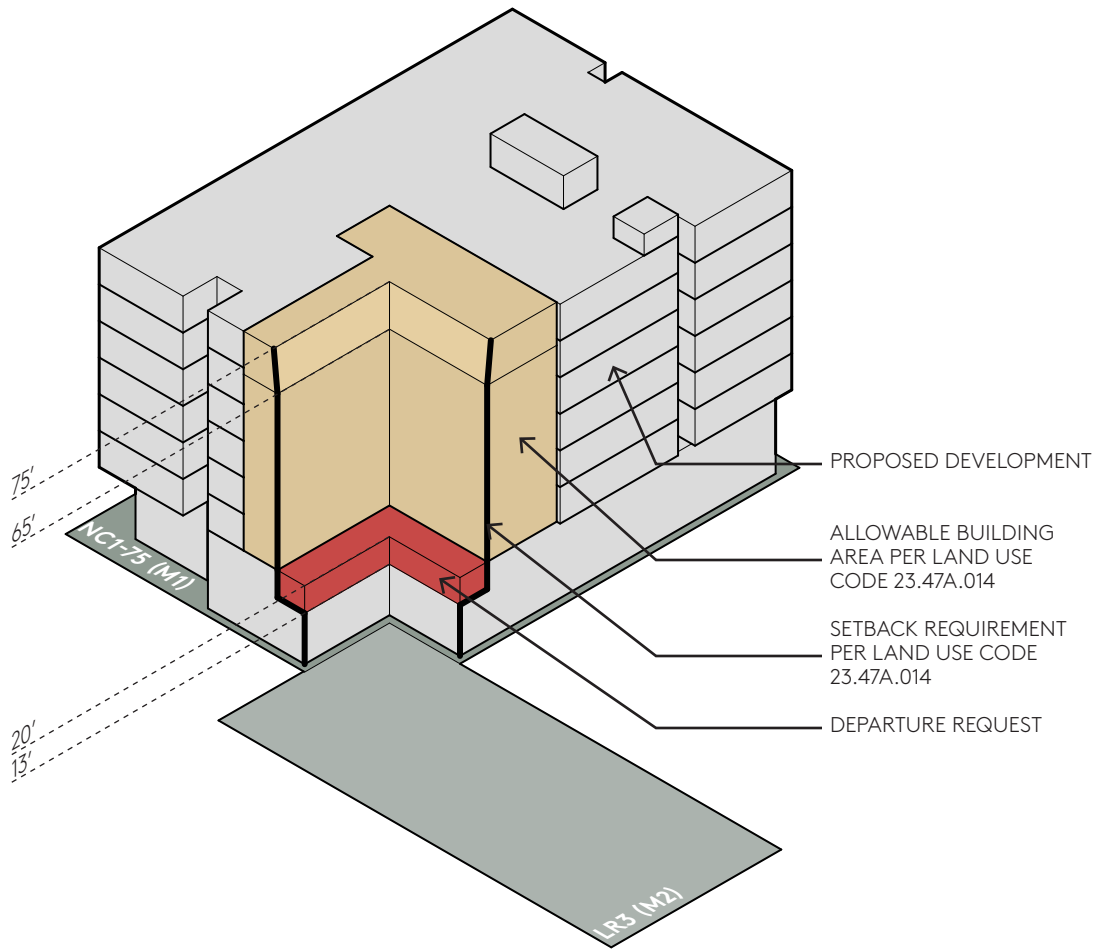
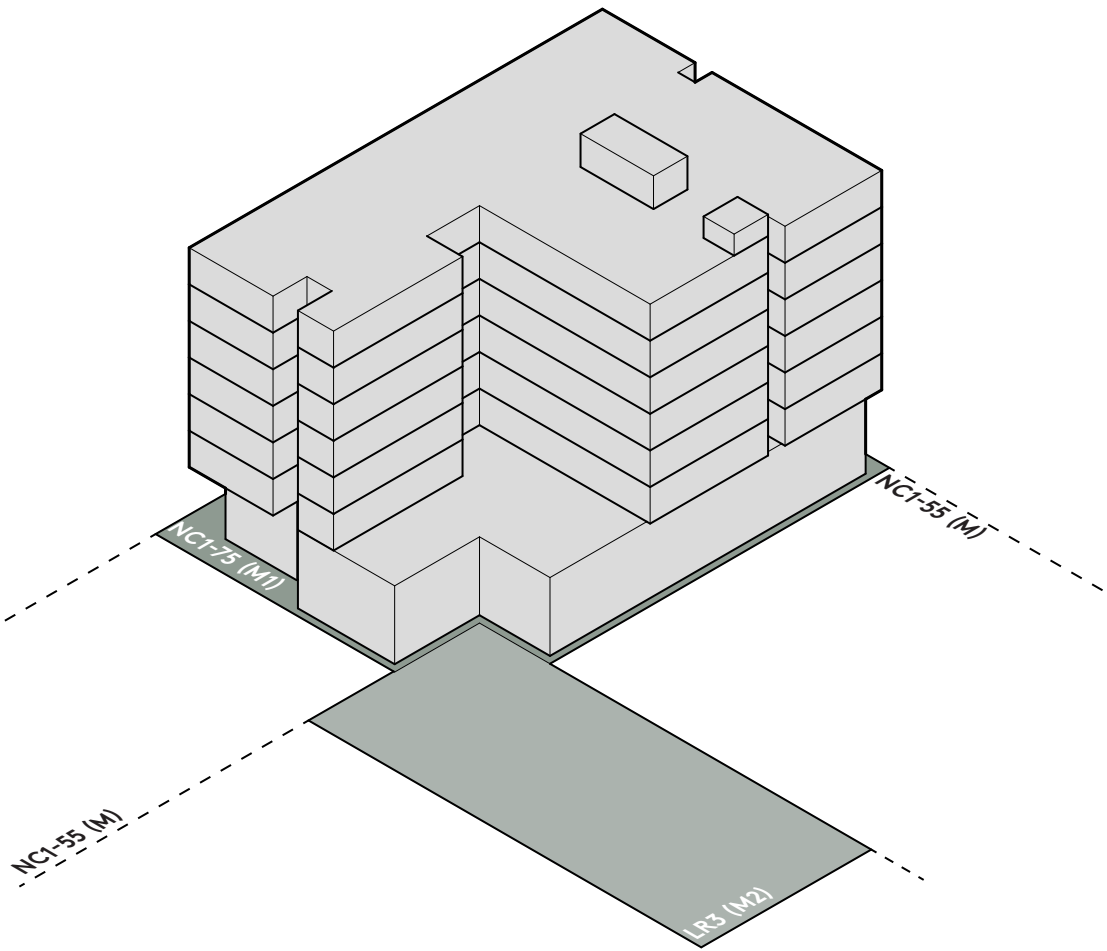
11'-6" > 10'-0".

Rationale:

- The building is setback 14'-0" from the high-voltage power lines located several stories above grade. A 2'-6" cantilever is proposed below the second story in order to highlight the tall, commercial base at the sidewalk. The resulting dimension locates the street level, street facing facade 11'-6" from the street lot line.
- The increased building setback allows for a broader sidewalk improvement zone while still meeting the intent of the land use code.



MADDUX SOUTH / DEPARTURE REQUEST 3



SUMMARY - DEPARTURE REQUEST

Increase height of setback from residentially zoned lot from 13' height to 18'.

Code Citation:

23.47A.014 Setback Requirement

Code Requirement:

10' Setback is required between 13' and 65' height where the site abuts a residentially zoned lot. An additional 1' setback is required for every 10' above 65', measured from grade.

Proposed Design Departure:

Building setbacks are provided from the residentially zoned lot at the SE corner of the project site.

Setbacks are provided above Level 2, elevation 83'-0", or approximately 18' above grade at the lowest corner.

Generous setbacks exceed 10' above Level 2.

Rationale:

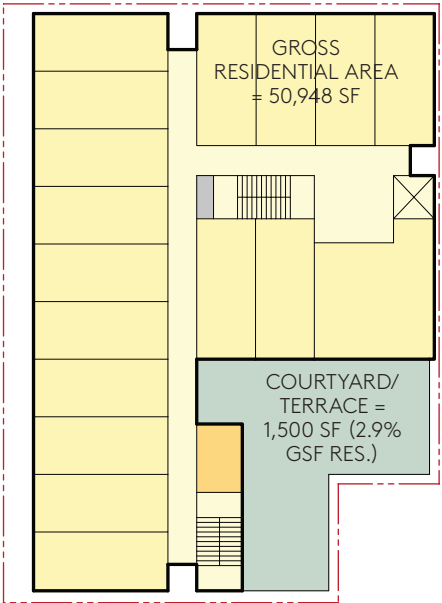
- Proposed setback above level 02 courtyard (brown) greatly exceeds required setback (red).
- The level 2 floor elevation is set at 83'-0" in order to provide adequate floor-to-ceiling clearance above the residential entry, and to provide generous commercial ceiling height along S. McClellan Street and ML King Jr. Way S.
- This site slopes in two directions along two street frontages, while the Level 2 floor elevation is consistent. At the residential entry, the floor to ceiling elevation is 13' but due to the slope along the eastern edge of the site the result is a courtyard
- The 13' height setback requirement assumes a flat site.
- Site geometry features cut out portion at the SE corner, where the commercially zoned lot (NC-1) abuts a residentially zoned lot (LR3).

MADDUX SOUTH / DEPARTURE REQUEST 4



MADDUX NORTH ROOFTOP AMENITY
(SHARED COMMON SPACE)

MADDUX NORTH COURTYARD AMENITY
(SHARED COMMON SPACE)



LEVEL 02

SUMMARY - DEPARTURE REQUEST

Reduce common amenity area from 5% to 2.9% of gross floor area in residential use.

Code Citation:

23.47A.024 Amenity Area

Code Requirement:

Common amenity area equal to not less than 5% of the gross floor area in residential use shall be provided for the use of the residents.

Required common amenity area shall not be enclosed (interior).

The minimum horizontal dimension of common amenity area is 10'

The minimum area is 250 SF (10'x25').

Proposed Design Departure:

Approximately 50,948 GSF is proposed in residential use.

5% of 50,948 SF = 2,547 SF required as outdoor amenity area.

Approximately 1500 SF of common amenity area is proposed at the Level 2 courtyard. Common amenity area = 2.9% GSF in residential use.

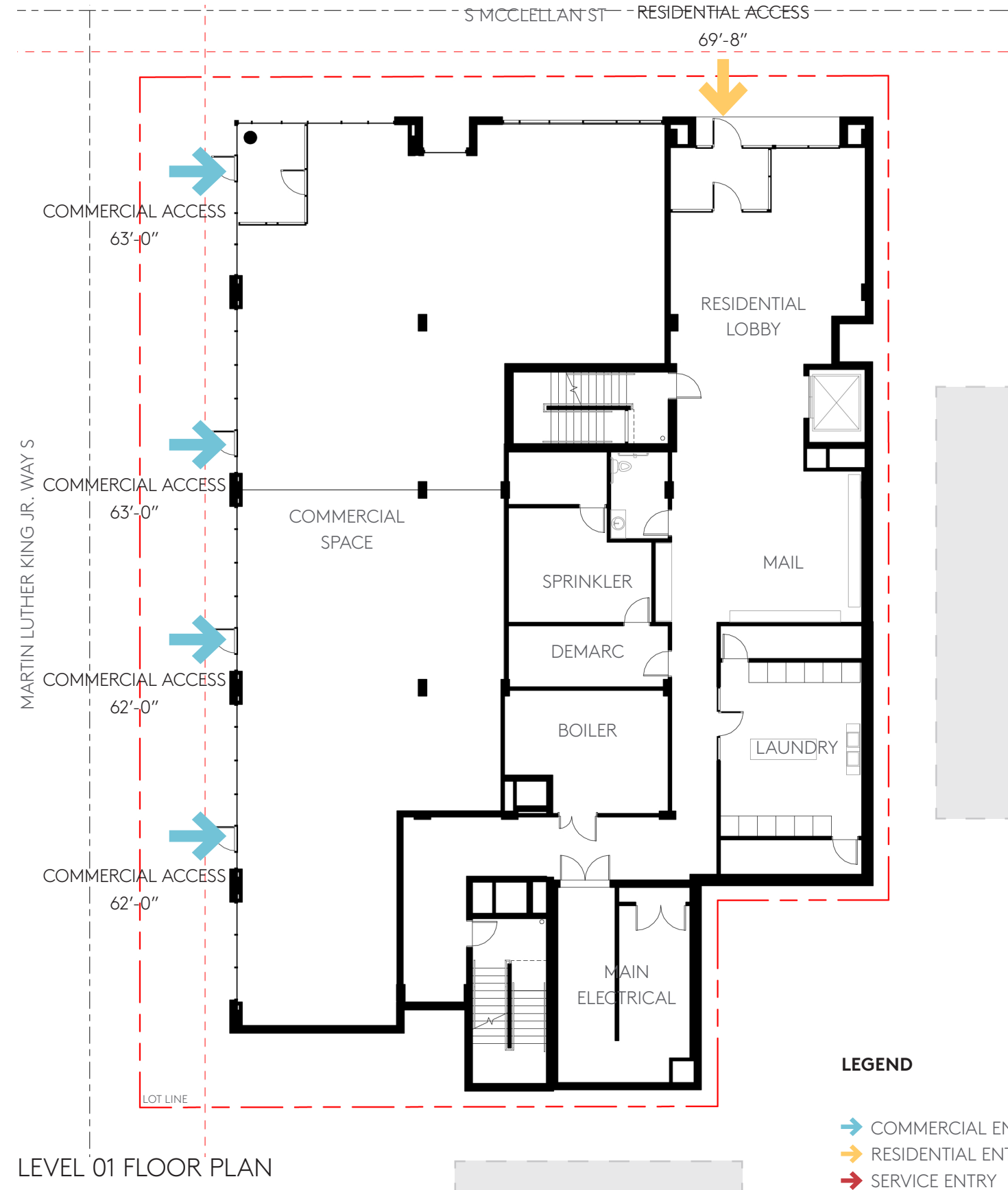
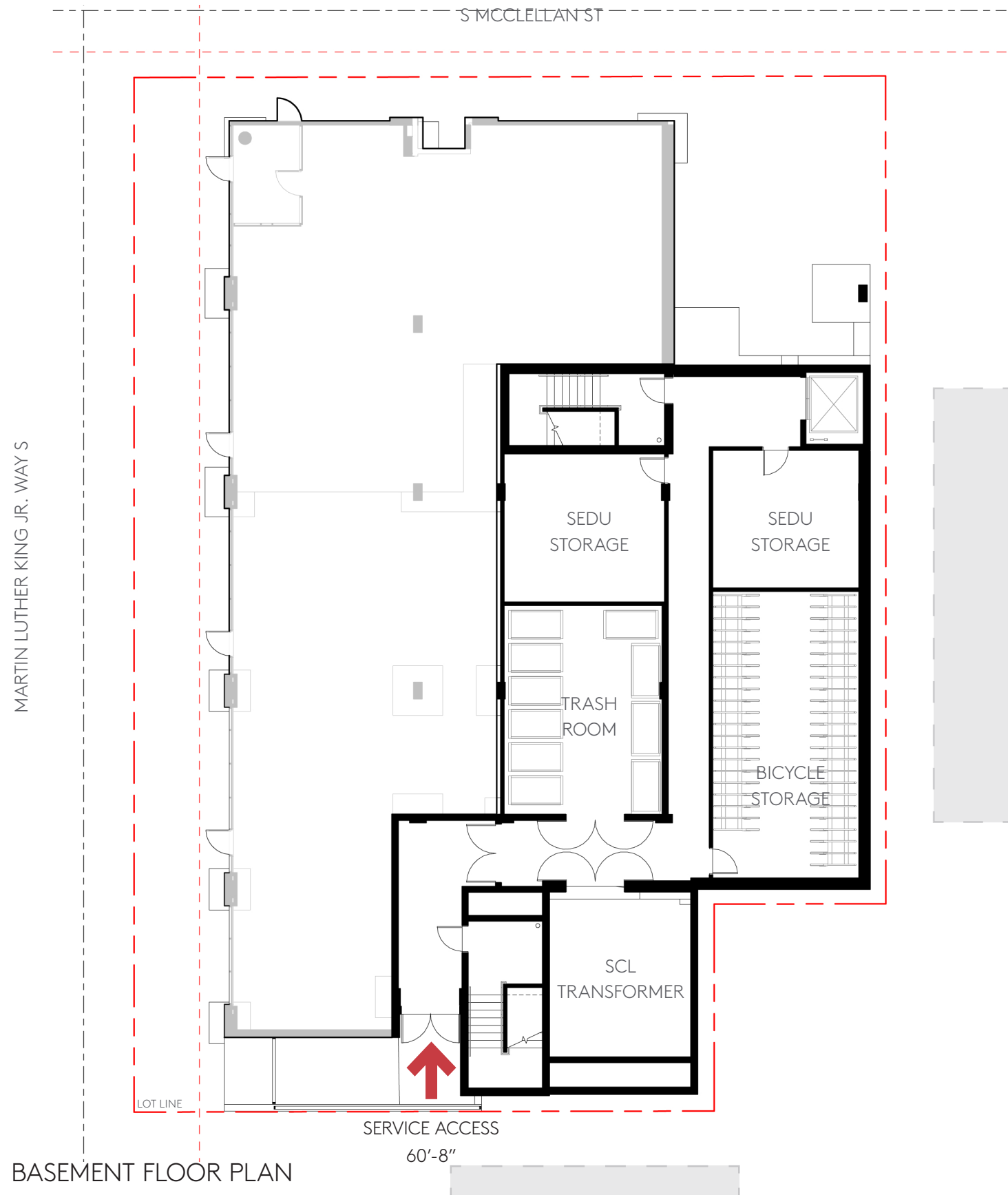
2.9% < 5% GSF in residential use

Development standard departure is requested.

Rationale:

- Residents of this project will share the rooftop amenity / courtyard amenity of the proposed affordable housing project located across S. McClellan St., Maddux North. Additionally, outdoor common amenity area is provided in the immediate vicinity, within projects also managed by Mt. Baker Housing. Common amenity area will be shared for use by residents of both buildings, North and South.
- Shared amenity space across the projects will foster greater community across in the district and increase pedestrian activity along S. McClellan Street..

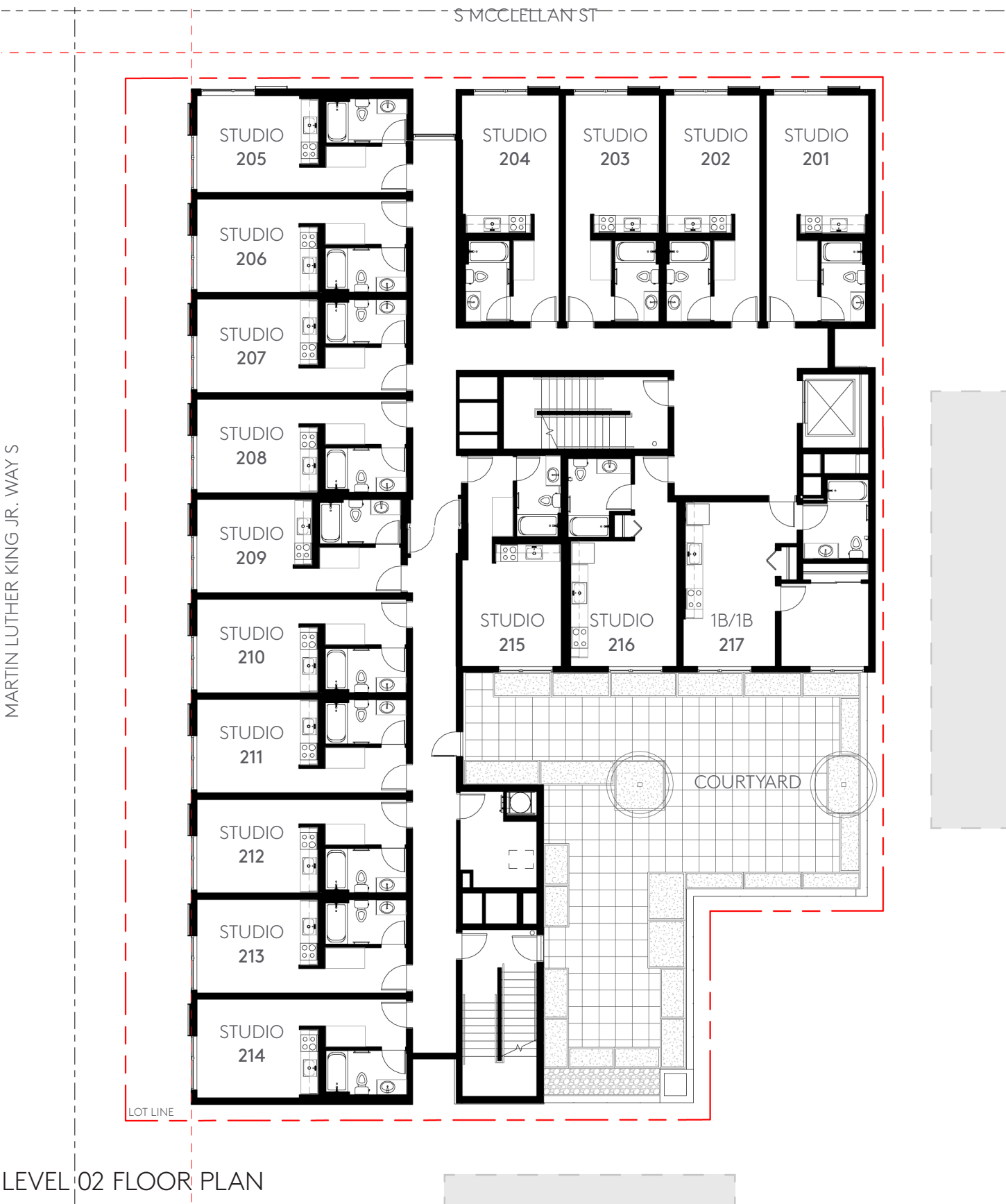
DESIGN PROPOSAL: FLOOR PLANS



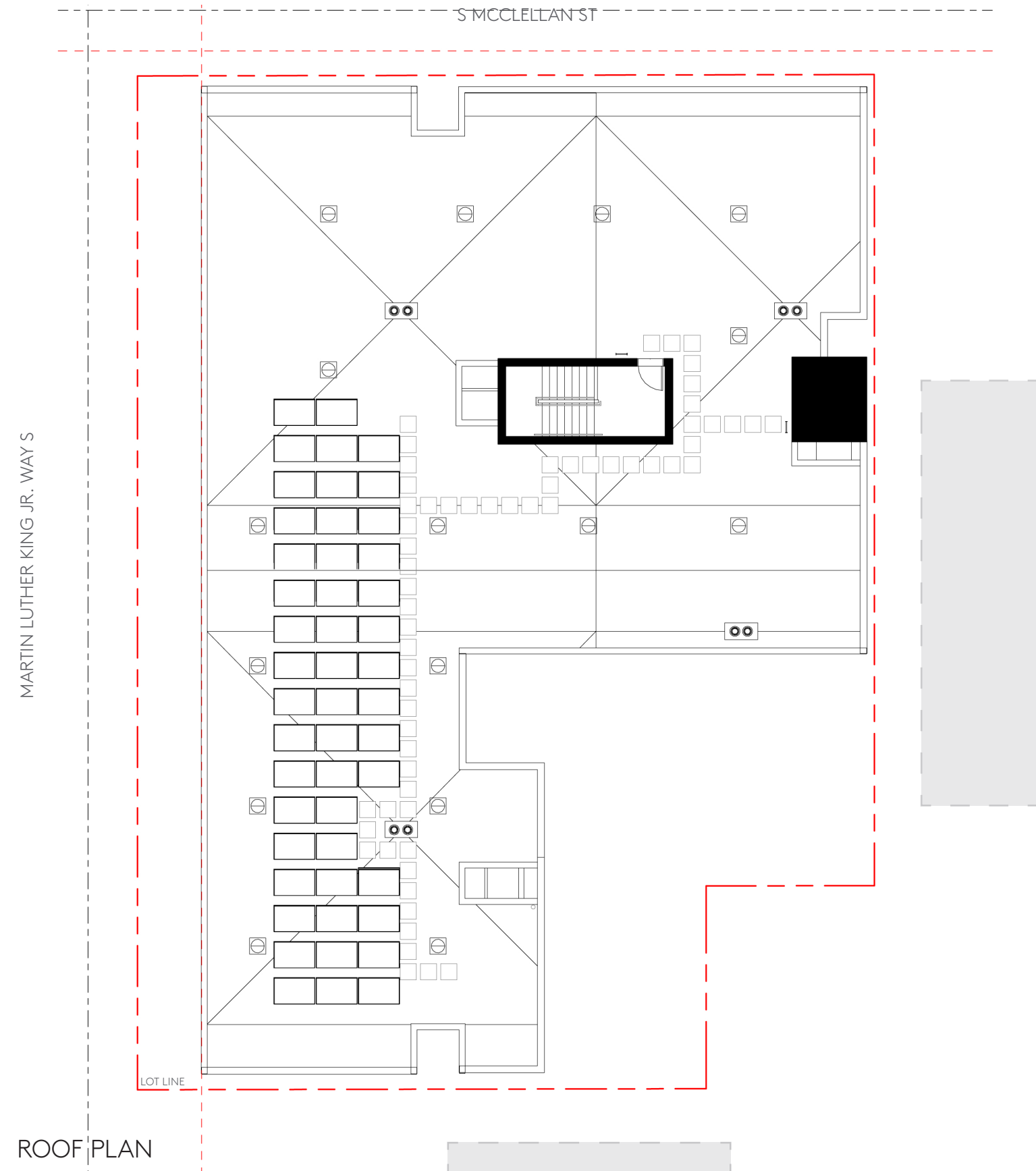
LEGEND

- COMMERCIAL ENTRY
- RESIDENTIAL ENTRY
- SERVICE ENTRY

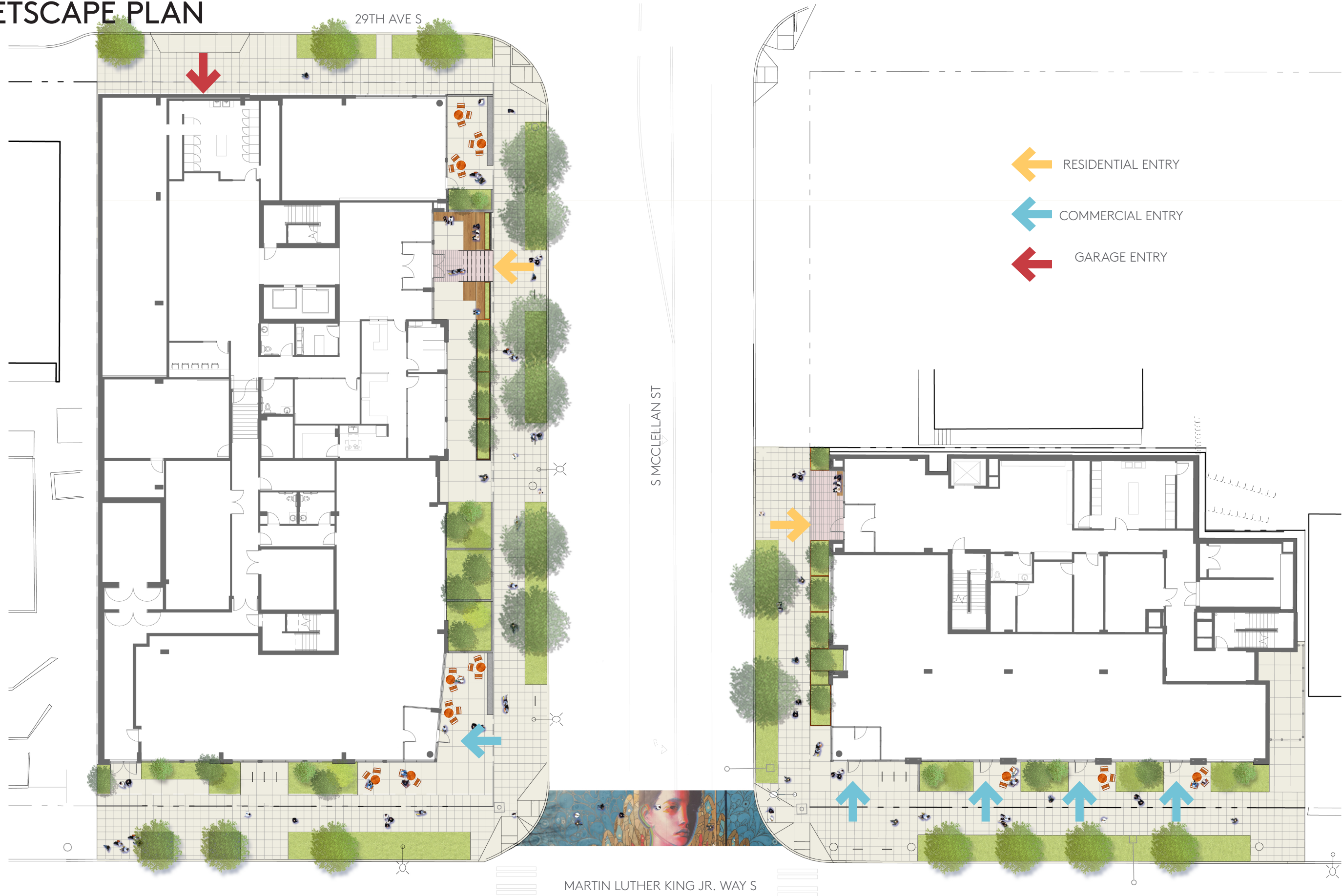
DESIGN PROPOSAL: FLOOR PLANS



DESIGN PROPOSAL: FLOOR PLANS



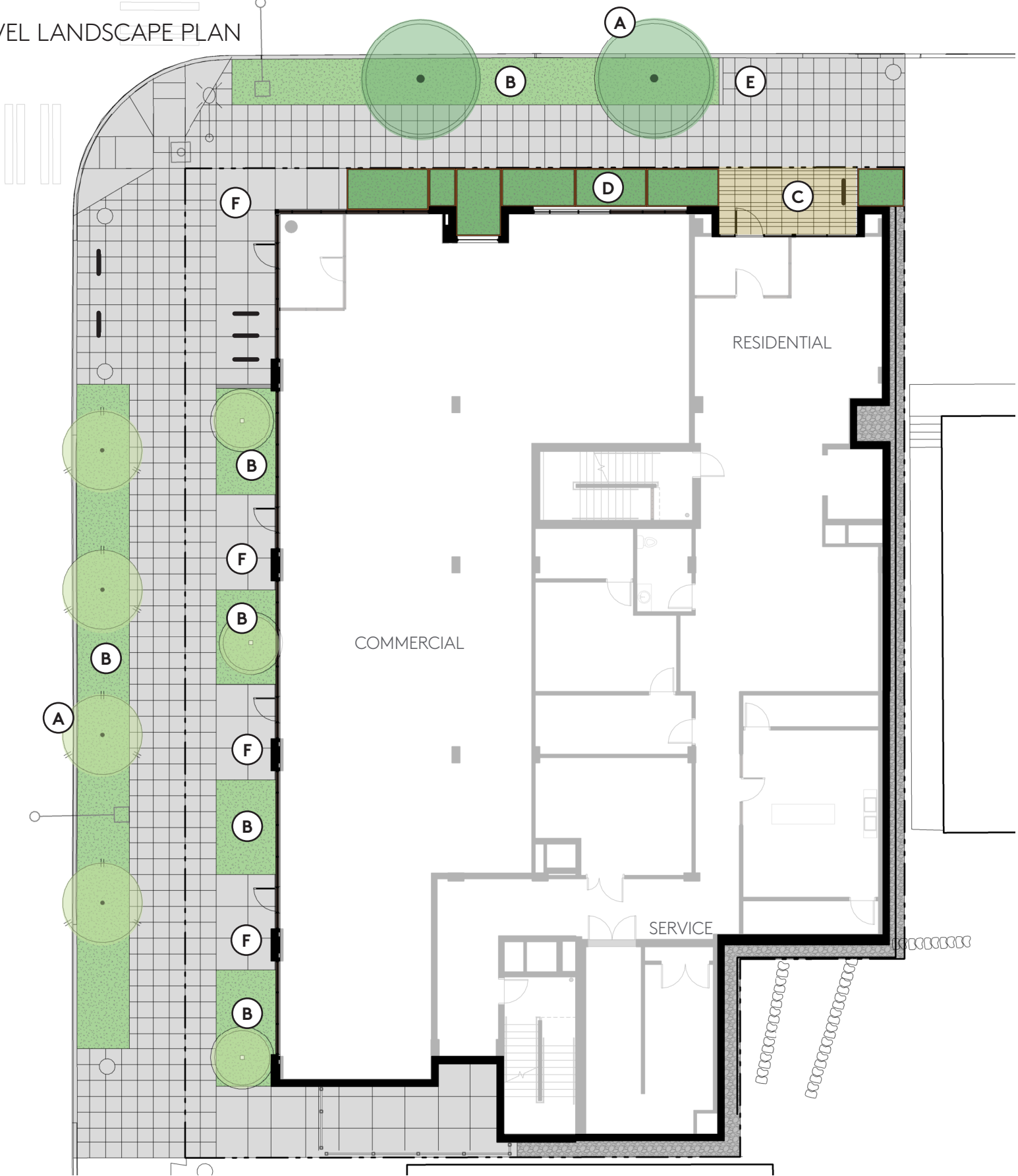
STREETSCAPE PLAN



DESIGN PROPOSAL: COMPOSITE LANDSCAPE PLANS

STREET LEVEL LANDSCAPE PLAN

MARTIN LUTHER KING JR. WAY S



LEGEND

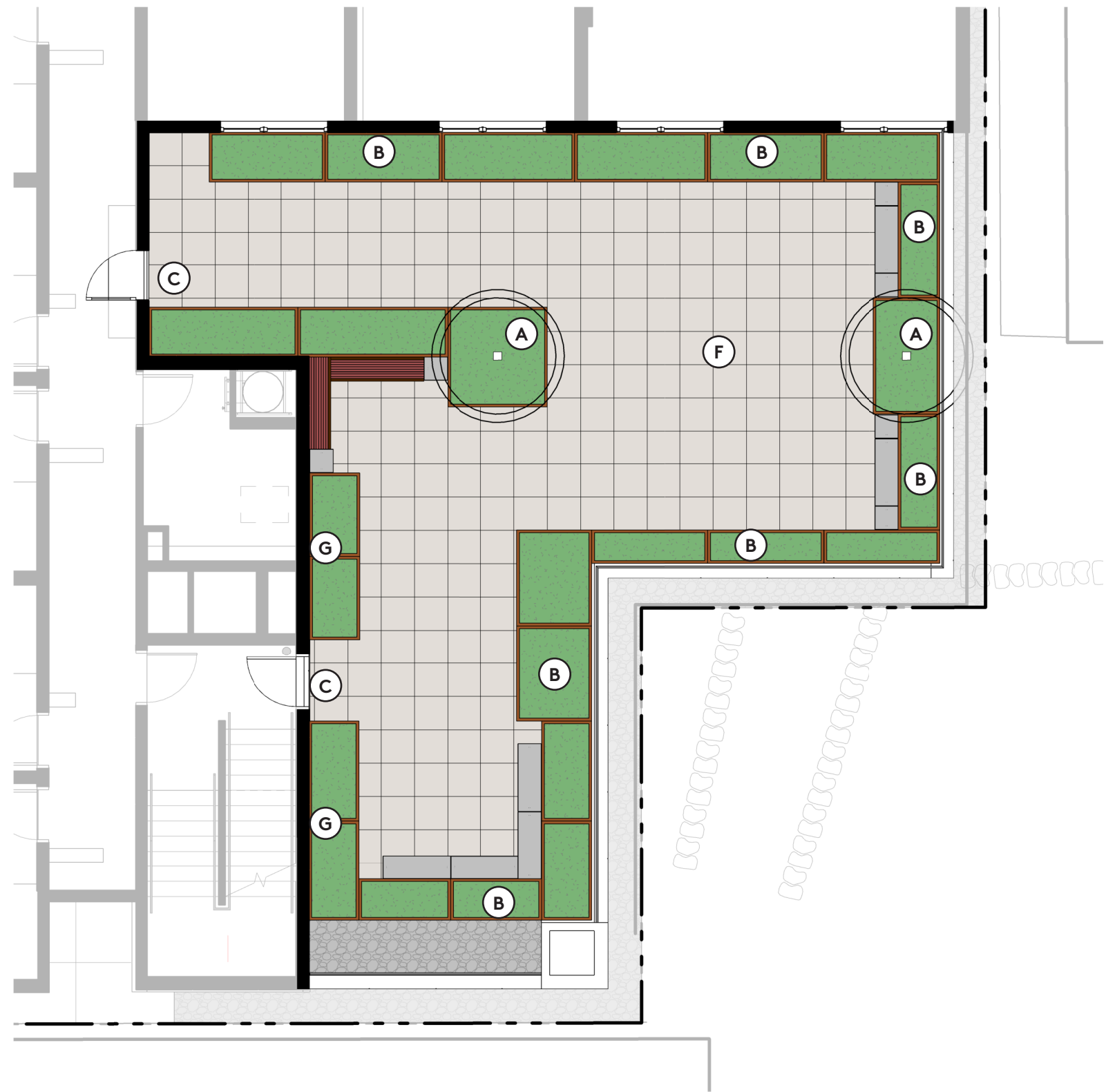
- PROPERTY LINE
- CONCRETE PAVING
- PLANTING AREAS
- RETAINING WALL
- RAISED PLANTERS
- GRAVEL
- BIKE RACK

- A STREET TREES
- B MIXED SUN/SHADE PLANTINGS
- C RESIDENTIAL ENTRY WITH SPECIALTY PAVING
- D RAISED PLANTERS
- E TRASH/RECYCLING STAGING
- F OUTDOOR COMMERCIAL SEATING AREA

DESIGN PROPOSAL: COMPOSITE LANDSCAPE PLANS

LEVEL 02 LANDSCAPE PLAN

50
DESIGN REVIEW RECOMMENDATION



LEGEND

- RAISED PLANTERS
- PEDESTAL PAVERS
- GRAVEL
- WOOD BENCH
- CONCRETE BENCHES

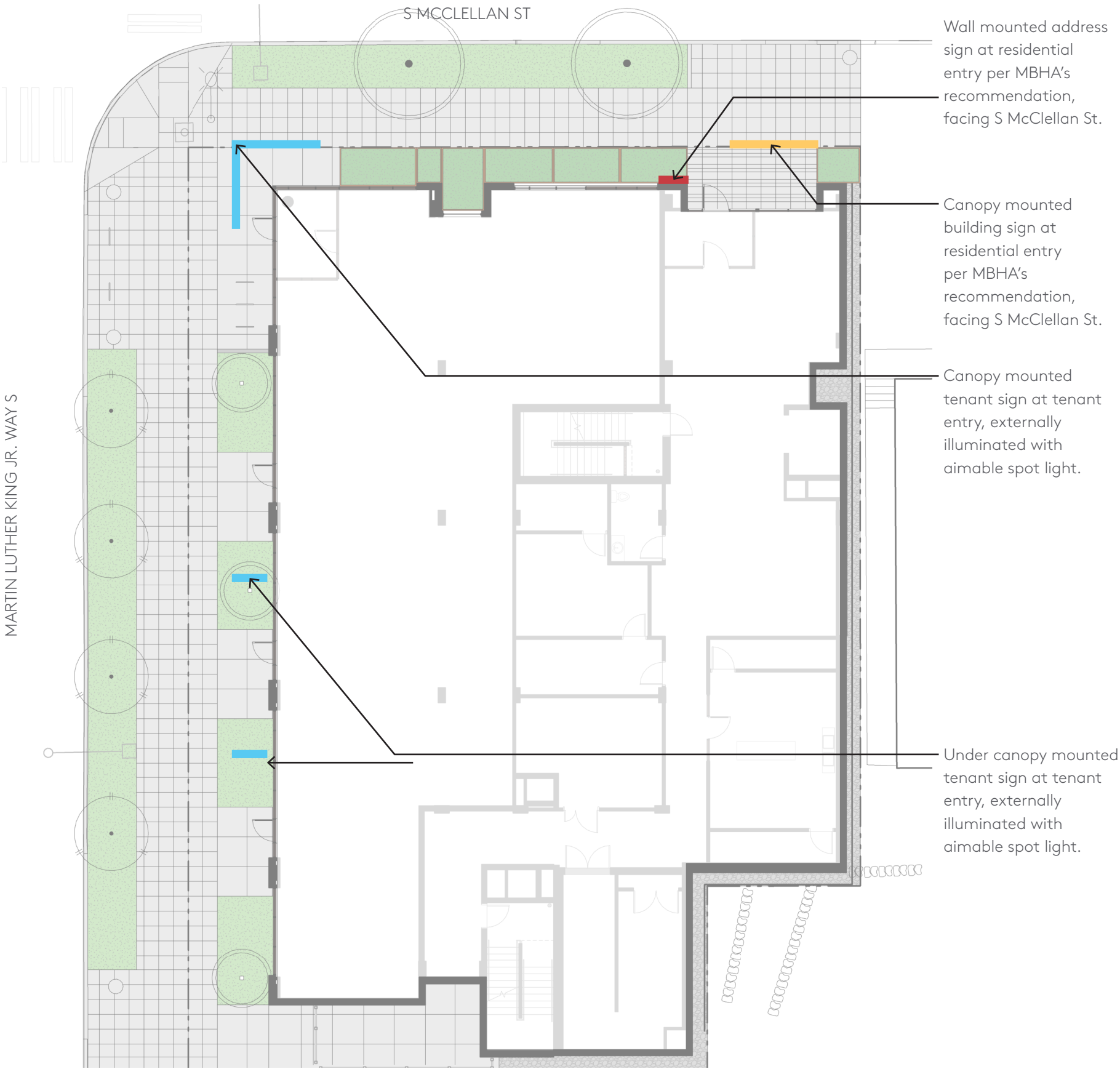
(A) COURTYARD TREES
(B) MIXED SUN/SHADE PLANTINGS IN RAISED PLANTERS
(C) ENTRY/EXIT
(F) SEATING AREA
(G) GREEN WALL

DESIGN PROPOSAL: PLANTING PALETTE



DESIGN PROPOSAL: CONCEPTUAL SIGNAGE PLAN

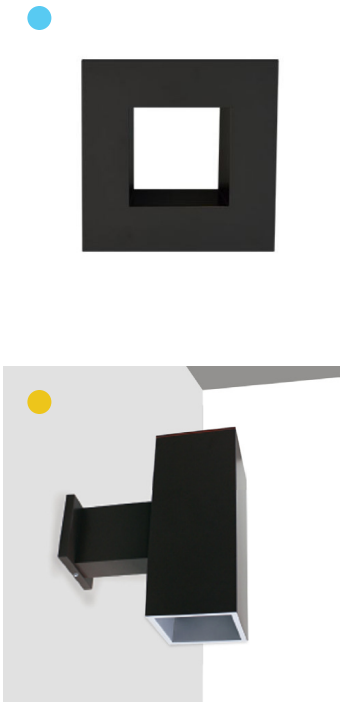
52
DESIGN REVIEW RECOMMENDATION



LEGEND

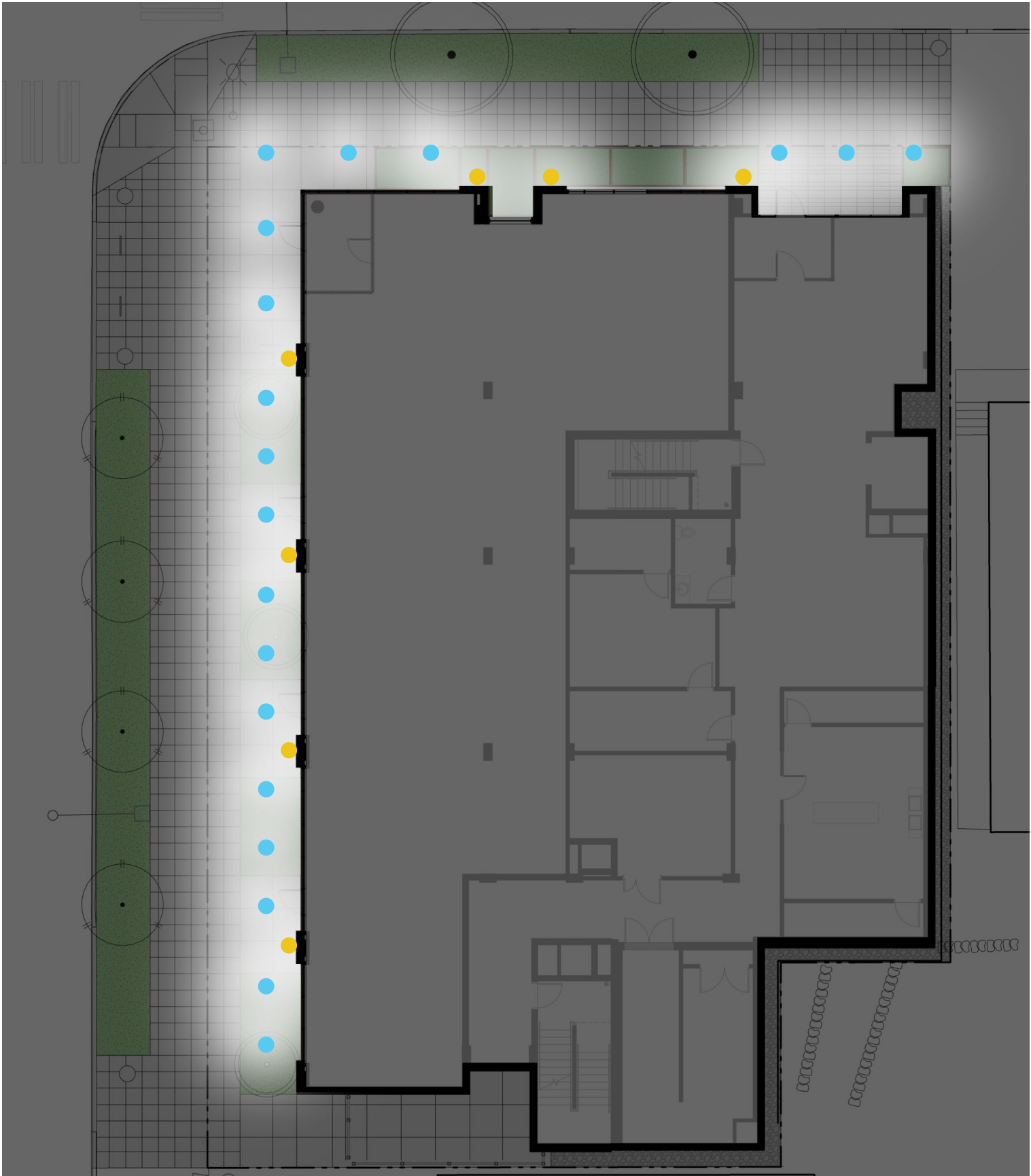
- COMMERCIAL
- RESIDENTIAL
- ADDRESS

DESIGN PROPOSAL: CONCEPTUAL LIGHTING PLAN



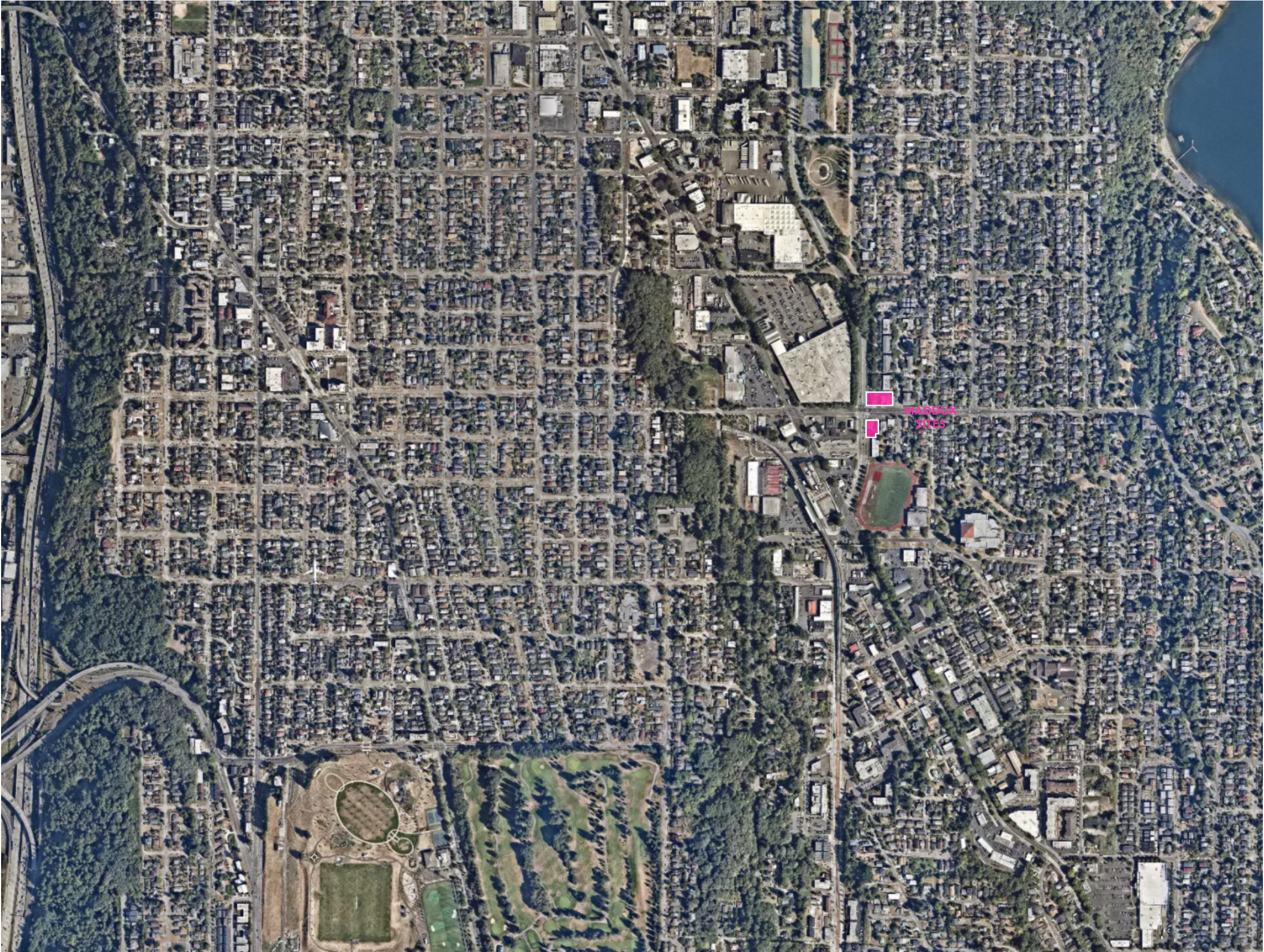
LEGEND

- CANOPY DOWNLIGHT
- WALL SCONCE UP / DOWN



Appendix—

PROJECT INFORMATION



PROJECT INFORMATION



MADDUX NORTH AND MADDUX SOUTH

Though conceived as a single undertaking, Maddux North and Maddux South are two separate buildings that flank the north and south sides of S. McClellan St, located at the 2800 block of ML KING Jr. Way S.

The project sites together form a gateway located along an important local east/west pedestrian street located within the Mt. Baker Town Center.

Together Maddux North and Maddux South will contain **166 affordable** apartment units, serving working families and individuals earning up to **60% AMI**. Both projects contain commercial use at grade and common amenities. All massing alternatives on both project sites assume **MHA** zoning increases for affordable units.

The Maddux will contain a mix of studio, 1-bedroom, 2-bedroom, 3-bedroom and SEDU units. 35% of the proposed units are family sized. The Maddux is a pilot project with the WA Dept. of Ecology supporting urban brownfield development for affordable housing.

Due to the timeline of the legislative process, the projects will seek a **Contract Rezone** that is consistent with of MHA in order to achieve additional height and area.

MADDUX NORTH

Residential unit count:	81 (proposed)
Residential area:	80,000 GSF (approx.)
Commercial area:	5,210 GSF (approx.)
Parking area:	12,700 GSF (approx.)
Parking stalls:	18 (proposed)

MADDUX SOUTH

Residential unit count:	85 (proposed)
Residential area:	45,300 GSF (approx.)
Commercial area:	3,560 GSF (approx.)
Parking:	None

DEVELOPMENT OBJECTIVES

- SUPPORT MOUNT BAKER HOUSING ASSOCIATION’S MISSION TO IMPROVE LIVES AND STRENGTHEN COMMUNITIES IN SOUTHEAST SEATTLE BY CREATING QUALITY, AFFORDABLE HOUSING AND SUPPORTING THEIR RESIDENTS
- ANCHOR THE CORNER OF ML KING JR. WAY S. AND S MCCLELLAN STREET TO CREATE A GATEWAY TO THE NEIGHBORHOOD
- CREATE A STRONG, ACTIVATED URBAN STREET EDGE
- ENHANCE THE PEDESTRIAN EXPERIENCE ALONG S MCCLELLAN STREET & MLK JR. WAY S.
- ADD TO THE PEDESTRIAN-ORIENTED & NEIGHBORHOOD-FOCUSED COMMERCIAL ACTIVITY OF S MCCLELLAN STREET
- MAXIMIZE THE AMOUNT AND THE QUALITY OF AFFORDABLE HOUSING
- MEET EVERGREEN SUSTAINABLE DEVELOPMENT STANDARD

SUMMARY OF DESIGN RELATED COMMENTS FROM COMMUNITY OUTREACH

SAFETY AND INTEGRITY OF THE NEIGHBORHOOD

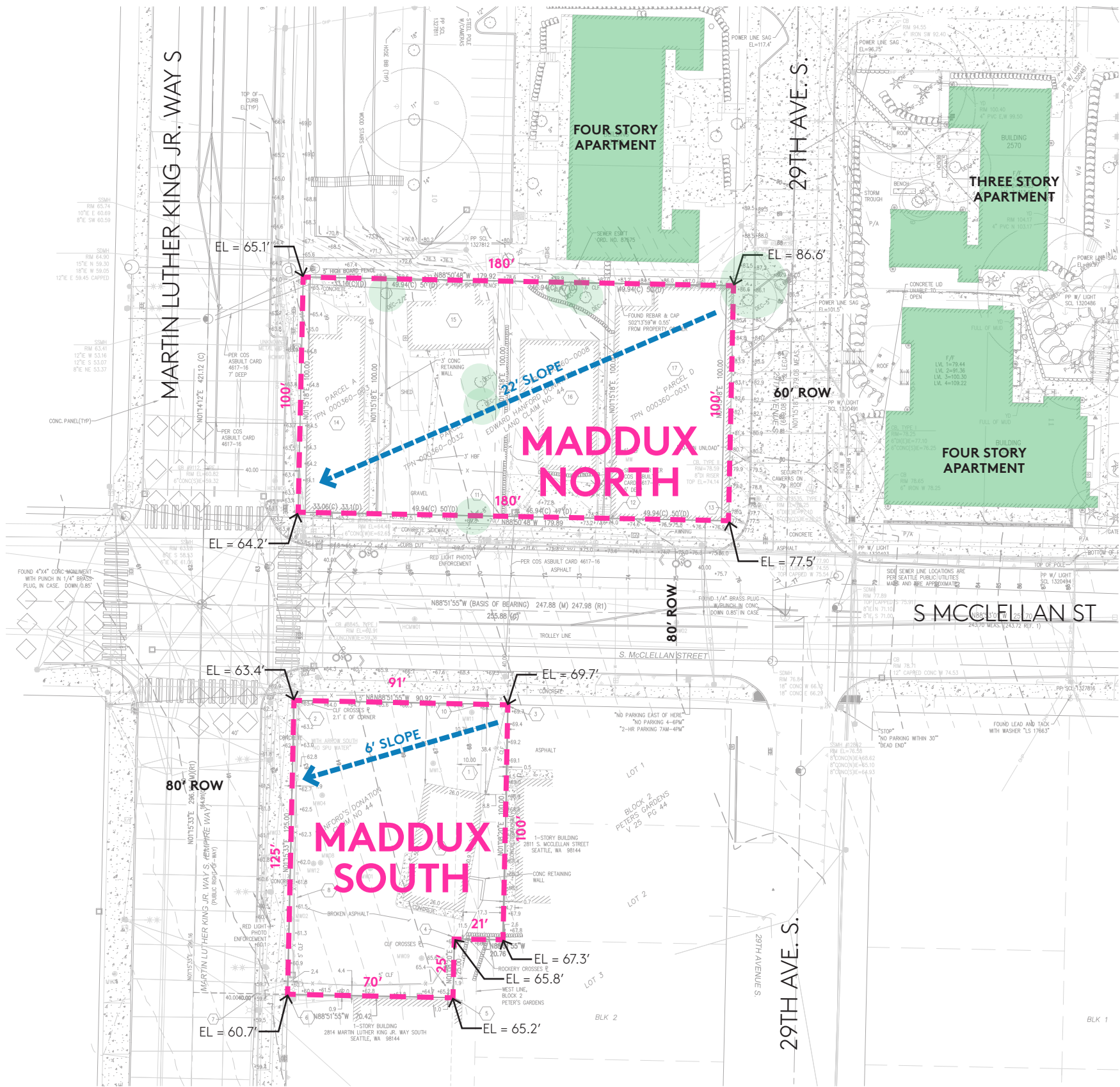
SIDEWALKS

- WIDER SIDEWALKS
- BETTER LIT

GROUND FLOOR AFFORDABLE COMMERCIAL SPACES

- ACTIVATE THE SIDEWALK
- PROVIDE RESTAURANT SPACE
- PROVIDE GYM
- EXPENSIVE TO BUILD IN SEATTLE
- PASS THE SPACE OFF AT COST TO INCUBATE NEIGHBORHOOD BUSINESS

SITE PLAN



LOCATION

Maddux North is located on the NE corner of the intersection of S McClellan St and MLK Jr. Way S

Maddux South is located on the SE corner of the intersection of S McClellan St and MLK Jr. Way S

LOT SIZE

Maddux North: 18,283 SF

Maddux South: 10,839 SF

EXISTING USES AND STRUCTURES

Maddux North:

Parcel A (west) contains a vacant building

Parcel B contains a single family residence

Parcel C contains a multifamily 4-plex

Parcel D (south) contains a demolished dry cleaners

Maddux South:

Hanford's Donation Claim No. 44 contains a vacant auto care detail shop

TOPOGRAPHY

Maddux North: Significantly sloping down east to the west with a change of approximately 22'. Relatively flat north to south on the west perimeter of the site. Approximately a 10' slope down north to south on the east perimeter of the site.

Maddux South: Slightly sloping down east to the west with a change of approximately 6'. Slightly sloping down north to the south with a change of approximately 4'.

EXISTING TREES

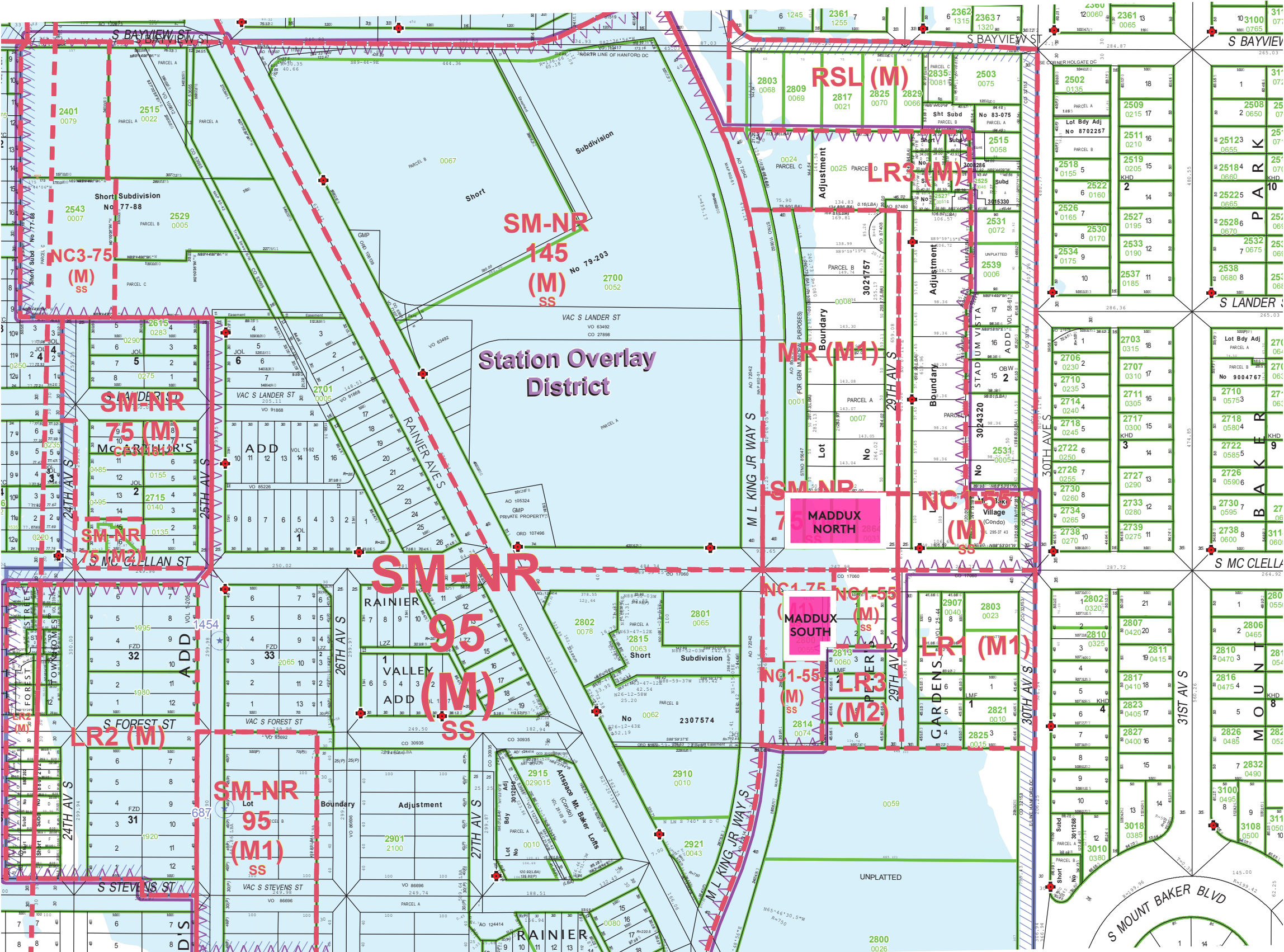
Maddux North: Several small deciduous trees are distributed across the site, to be removed with the development of the site. One large deciduous tree exists at the northeast corner of the project site and will remain.

Maddux South: There are not existing trees on the site.

URBAN ANALYSIS / SURROUNDING USES



URBAN ANALYSIS / ZONING



MADDUX NORTH

ADDRESS

2802 S McClellan St, Seattle, WA 98144

ZONING

SM-NR-75 (M)

SITE AREA

18,283 SF

STRUCTURE HEIGHT

Building height limit: 75 feet (base zoning)

+4' for typical paraphernalia

7 feet for solar collectors with unlimited coverage

+15' for solar collectors, stairs, elevators, mechanical, atria, play equipment, minor communication facilities up to 25% of roof area. May increase to 65% under conditions (screened mechanical, 10' setback from roof edge).

MADDUX SOUTH

ADDRESS

2800 ML King Jr. Way S, Seattle, WA 98144

ZONING

NC1-75 (M1)

SITE AREA

10,839 SF

STRUCTURE HEIGHT

Building height limit: 75 feet (base zoning)

Additional 4' if floor to floor height is 13' for non-residential use at street level.

Rooftop feature allowances apply per Section C.

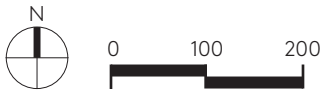
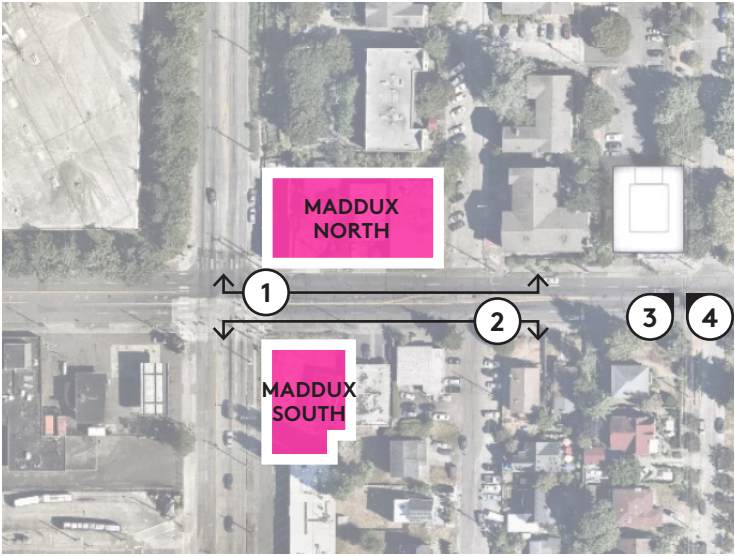
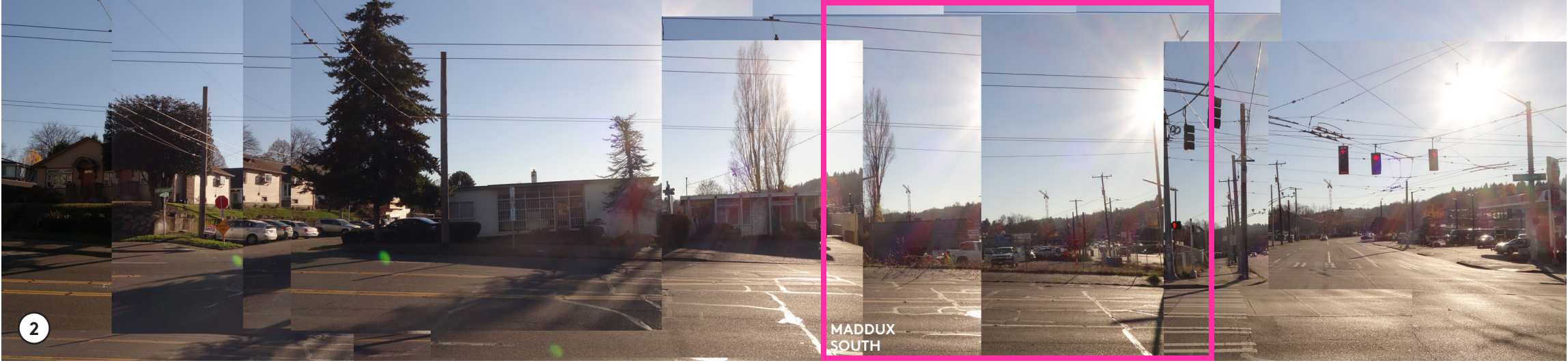
URBAN ANALYSIS / AXONOMETRIC



URBAN ANALYSIS / STREETScape



- View 1** Streetscape frontage located along S. McClellan street between MLK Jr. Way S and 29th Ave. S.
- View 2** Maddux South project site located at the SE corner of S. McClellan and MLK Jr. Way S, and existing one story buildings.
- View 3** Existing single family homes located on the north side of S. McClellan at the east corner of 30th Ave. S.
- View 4** Recent multi-unit mixed-use development located on the north side of S. McClellan at the west corner of 30th Ave. S.



URBAN ANALYSIS / STREETSCAPE

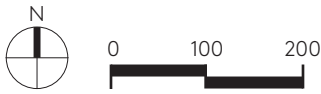
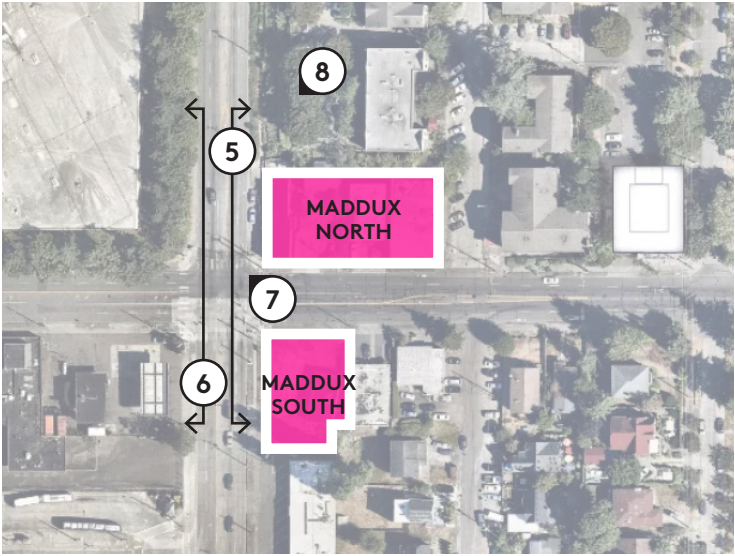
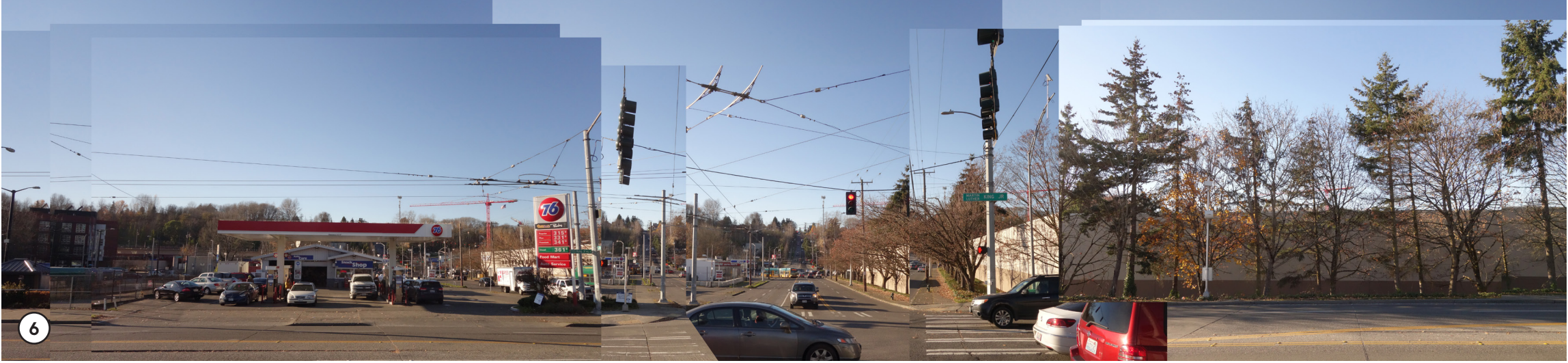


View 5 Maddux North and Maddux South sites viewed from the intersection of MLK Jr. Way S. and S. McClellan street. The existing building shown in the foreground will be demolished as part of the work.

View 6 Existing context opposite the project site located along the west side of MLK Jr. Way S.

View 7 Existing one story retail warehouse structure located at the NW corner of the intersection of MLK Jr. Way S. and S. McClellan St.

View 8 Existing pea-patch from above, looking southwest down toward MLK Jr. Way S.



URBAN ANALYSIS / SITE PHOTOS



View 1 Mural painted on the Cash America Pawn building.

View 2 MLK Jr. Way S shown from Maddux South site.

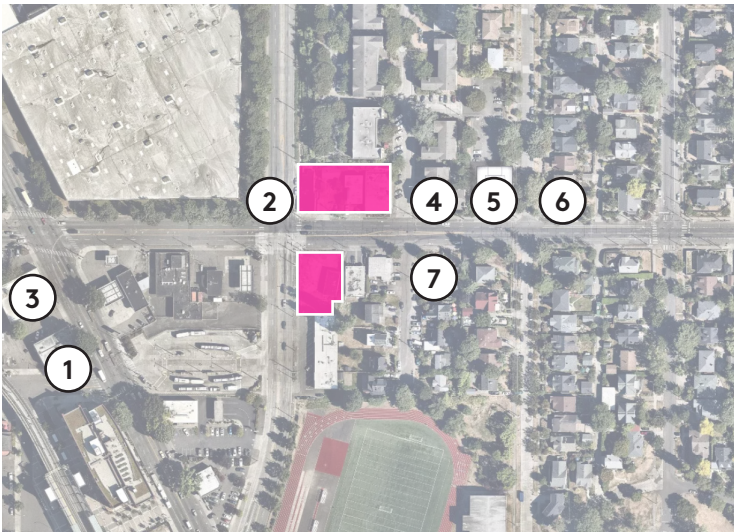
View 3 Mural painted on the O'Reilly auto parts building.

View 4 Mt. Baker Village apartment located on the north side of S. McClellan St on the east corner of 29th Ave S.

View 5 New apartment building located on the north side of S. McClellan St at the west corner of 30th Ave S.

View 6 Existing single family residence located on the north side of S McClellan at the east corner of 30th Ave. S.

View 7 Existing single family residence located on the south side of S McClellan St at the east corner of 29th Ave S.



MADDUX SOUTH / SCHEME 03 - PREFERRED



SUMMARY

A L-shaped scheme with an internal courtyard sits on the south side of S. McClellan Street.

Five stories of residential use is located above one story of commercial use and tenant amenities. Proposal assumes MHA incentives for affordable dwelling units. Courtyard occurs at the second level above grade. Outdoor common amenity area is provided in the courtyard.

Unit Count: 85 units

Parking Count: 0 stalls

Commercial Area: 3300 GSF

Pros:

The massing is located along the street edge to create a continuous street facade, defining and the urban edge.

Massing reinforces the neighborhood gateway concept at the intersection.

Daylight/views at the ends of the corridors - all locations.

Commercial space is concentrated along S. McClellan Street, designated Class II Pedestrian Street.

The building is setback from the residentially zoned lot at the SE corner.

Units have unobstructed views.

Courtyard is open to the south.

Maximized street frontage for daylight and views.

L-shaped building on L-shaped site.

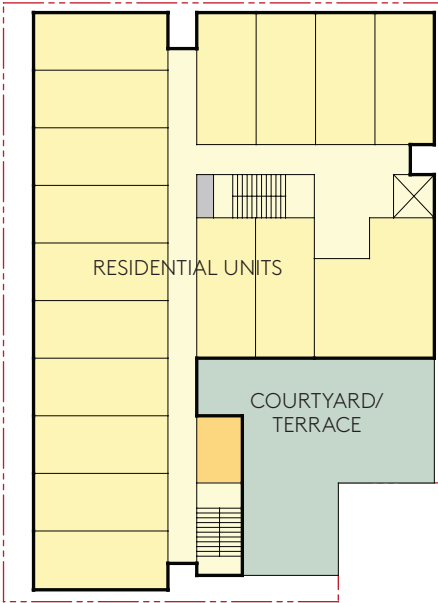
Cons:

Single loaded corridor along western leg of L.

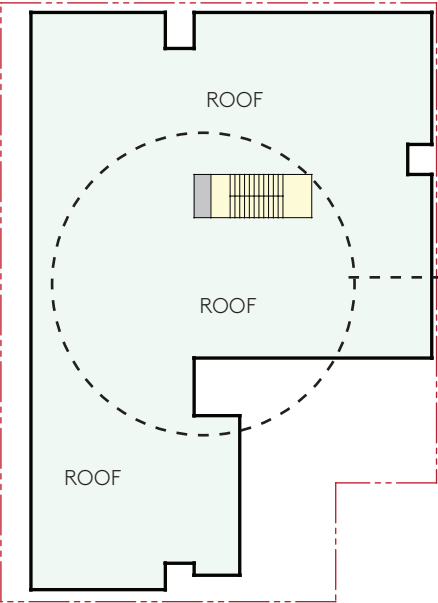
Departures:

- 1) Street Level Uses: Length of facade in non-commercial use at the street level exceeds 20%
- 2) Street Level Facades: Street level facade distance from lot line exceeds minimum.
- 3) Reduction in amenity area (<5% GFA residential use).

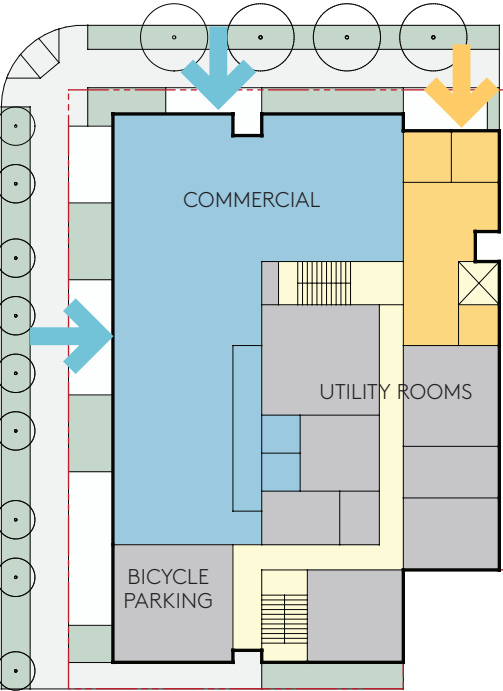
MADDUX SOUTH / SCHEME 03 - PREFERRED



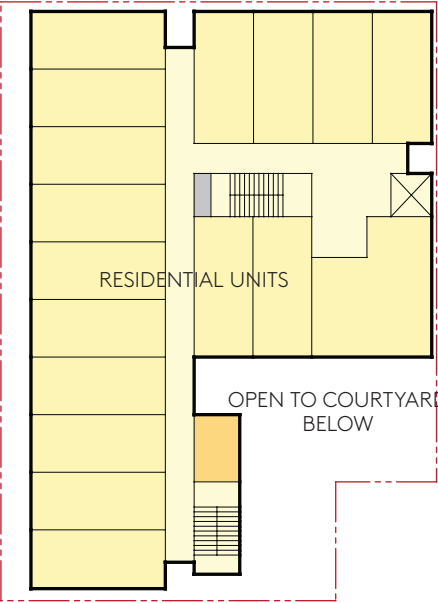
LEVEL 02



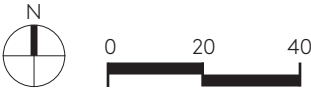
ROOF PLAN



LEVEL 01



LEVEL 03 - 07



MADDUX SOUTH / SCHEME 03 - PREFERRED



A L-shaped scheme with an internal courtyard sits on the south side of S. McClellan Street.

The zoning height limit is 75'. 6 stories of residential use above one story of commercial/amenity use is constructed to a maximum height of 74' above average grade.

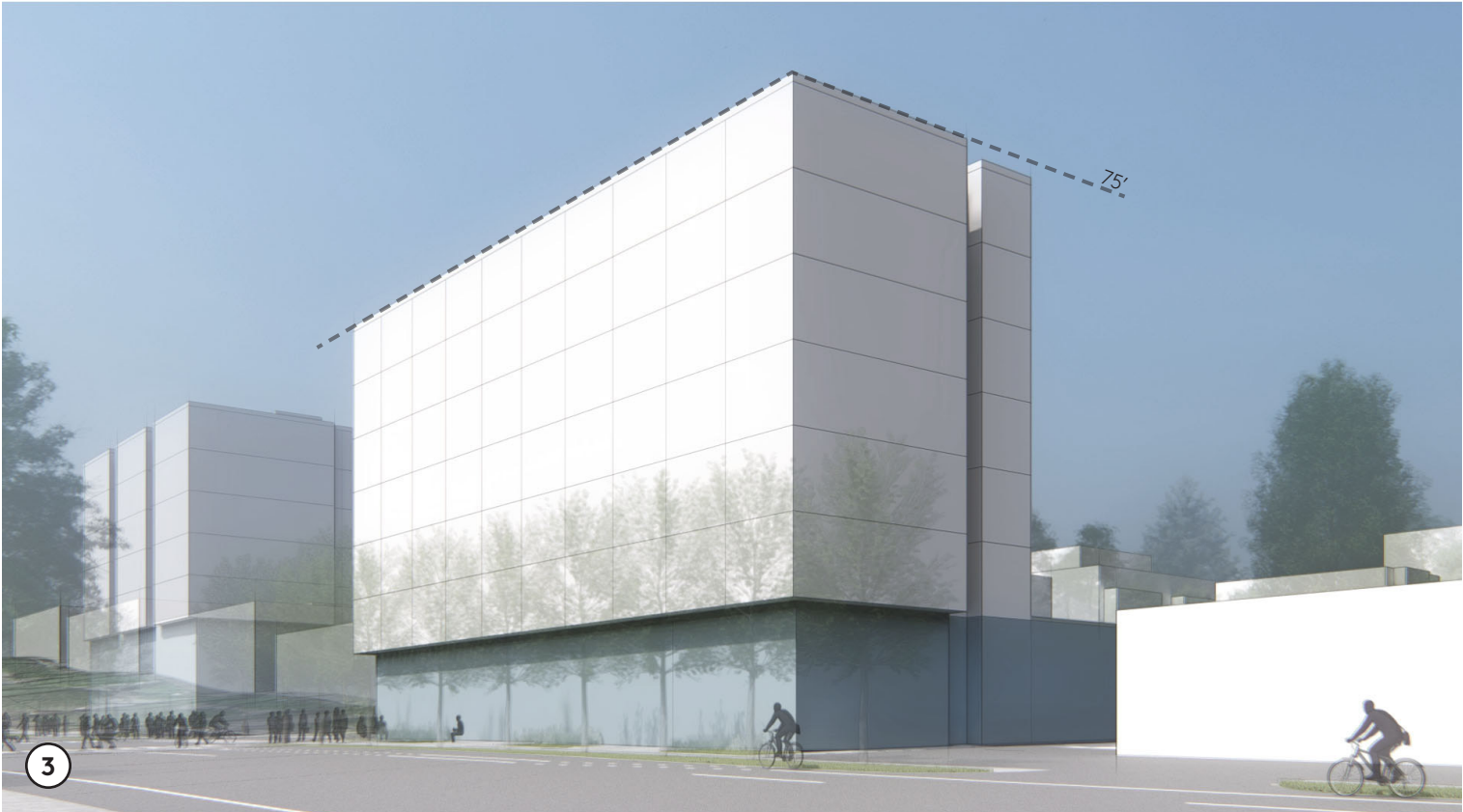
A two story transparent base is maintained at the street level to engage and enliven the pedestrian experience along the MLK Jr. Way S. and S. McClellan St. frontages.

Development Standard Departure requested:

- 1) 23.47A.005 - Street Level Uses
- 2) 23.47A.008.A.3 - Street Level Facades
- 3) 23.47A.014 Setback Requirements
- 4) 23.47A.024 - Amenity Area

LEGEND

-- ZONING HEIGHT LIMIT



MADDUX SOUTH / MASSING CONCEPTS



SCHEME 01

A U-shaped scheme with an internal courtyard sits on the south side of S. McClellan Street.

Six stories of residential use is located above one story of commercial use and tenant amenities. Proposal assumes MHA incentive for affordable dwelling units. Courtyard occurs at the second level above grade. Outdoor common amenity area is provided in the level 2 courtyard and on the upper roof.

Unit Count: 99 units

Parking Count: 0 stalls

Commercial Area: 3560 GSF

Development Departures: Setback from residential zone at the SW corner.



SCHEME 02

A bar-shaped scheme with an internal courtyard sits on the south side of S. McClellan Street.

Six stories of residential use is located above one story of commercial use and tenant amenities. Proposal assumes MHA bonus for affordable dwelling units. All outdoor common amenity area is provided on the roof.

Unit Count: 99 units

Parking Count: 0 stalls

Commercial Area: 3560 GSF

Development Departures: None



SCHEME 03 - PREFERRED

A L-shaped scheme with an internal courtyard sits on the south side of S. McClellan Street.

Six stories of residential use is located above one story of commercial use and tenant amenities. Proposal assumes MHA incentive for affordable dwelling units. Courtyard terrace occurs at the second level above grade. Outdoor common amenity area is provided on the level 2 courtyard terrace.

Unit Count: 102 units

Parking Count: 0 stalls

Commercial Area: 3560 GSF

Development Departures:

- 1) 23.47A.005 - Street Level Uses: Residential lobby exceeds 20% of street facing facade along S. McClellan Street.
- 2) 23.47A.008.A.3 - Street Level Facades; Facade facing MLKJ Way S is located reater than 10'-0" from the westernmost lot line.
- 3) 23.47A.014 Setback Requirements: The project does not comply with setback requirements from the residentially zoned lot to the SE due to sloping site topography.
- 4) 23.47A.024 - Amenity Area: Reduce common amenity area by 896 SF (1.8% gross floor area in res. use) and thereby eliminate outdoor common amenity space at the upper roof.

MADDUX NORTH / MADDUX SOUTH / DESIGN CUES

Welcoming and identifiable building entry (Image 3)

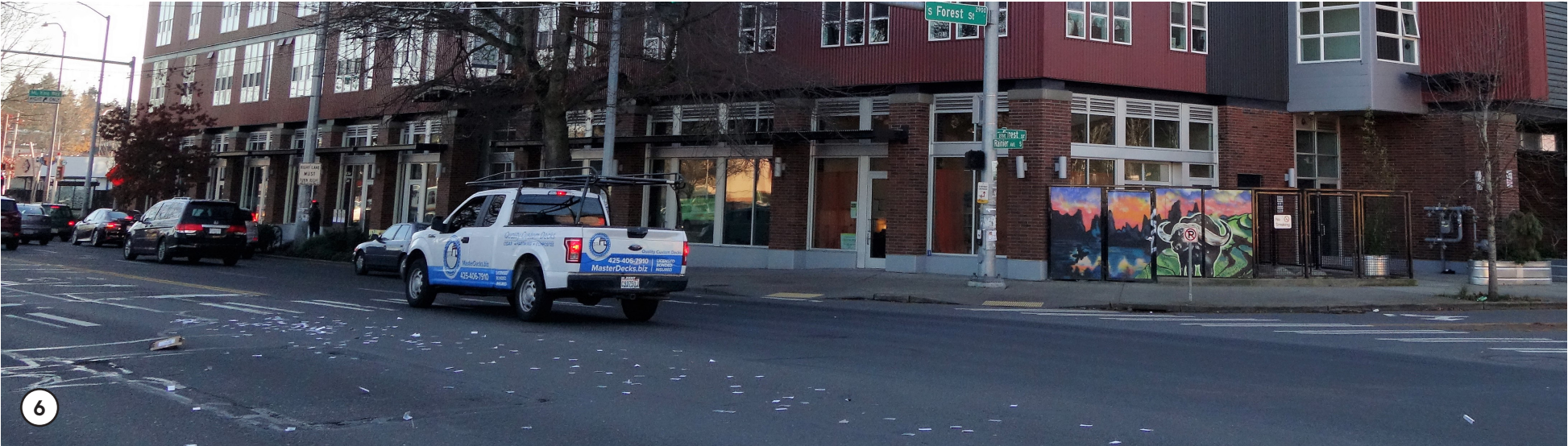
Streetscape - pedestrian oriented streets (Image 4)

Neighborhood scale commercial storefront (Image 1)

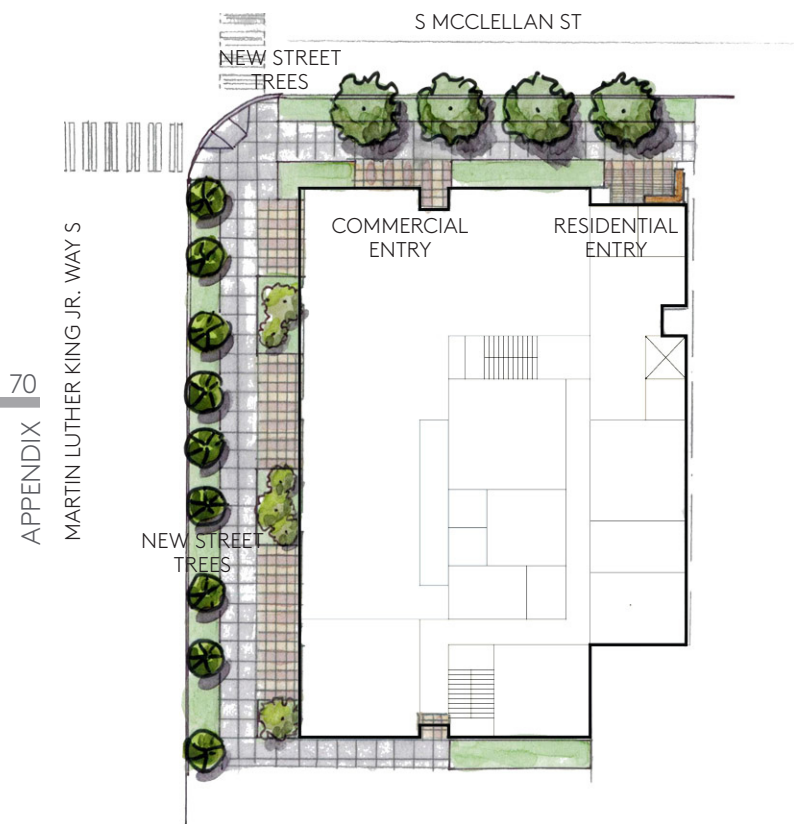
Pedestrian scale signage/art (Image 1)

Define urban street edge (Image 2, Image 6)

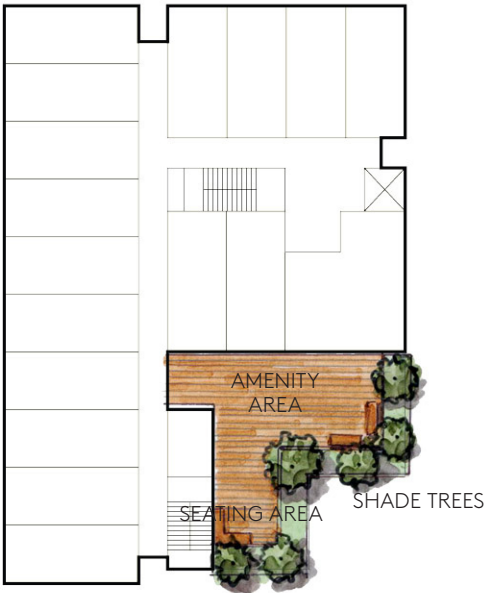
Enliven pedestrian experience/engage sidewalk (Image 4
Image 5, Image 6)



MADDUX SOUTH / LANDSCAPE CONCEPT PLANS



SITE PLAN



LEVEL 02 - COURTYARD