



3028392

310 11th Ave E | SEATTLE WA 98102
EARLY DESIGN GUIDANCE MEETING
MEETING DATE: March 21, 2018 6:30 pm
ADDRESS: Seattle University
1000 E James Way
Student Center 210

HYBRID

1205 E PIKE STREET 2D | SEATTLE, WA 98122
www.hybridarc.com | 206.267.9277





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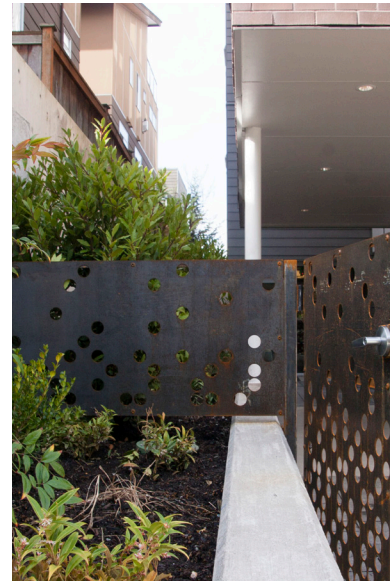
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Previous Projects Designed by Hybrid Architecture
located in Capitol Hill neighborhood of Seattle



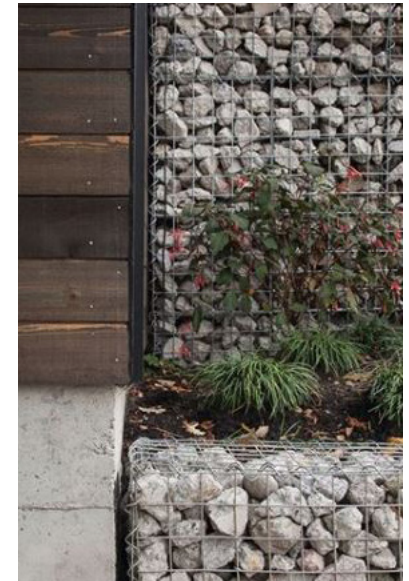
Remington Court Townhomes



741 Harvard Entry Gate & Planter



Betula Apartments



Integration of Gabion walls, concrete, cedar siding



Redwood Apartments



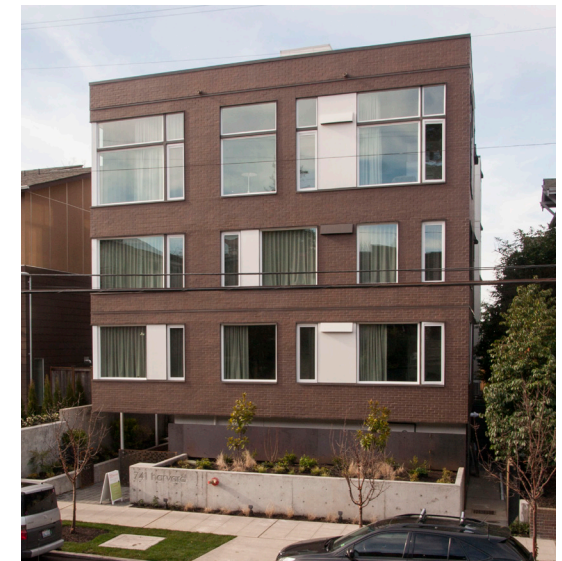
Killebrew Apartments



Bellevue Avenue Midrise



Main Entry at Redwood Apartments



Harvard Avenue Apartments

Architect:
Hybrid Architecture
1205 E Pike St #2D, Seattle, WA 98122
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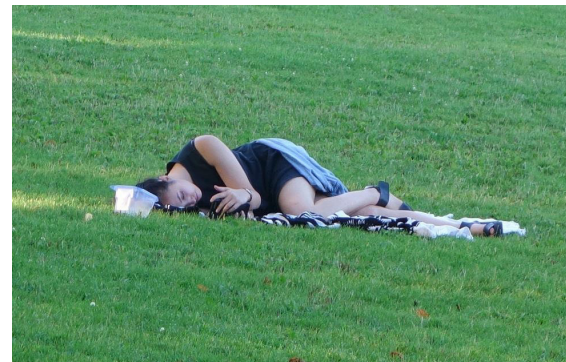
Owner:
Lexington Asset Management
2212 Queen Anne Ave N 629, Seattle WA 98109
www.lex-asset-mgmt.com | 901.722.3595

Provide mix of 48 condominium units that shall range from studio to 2 bed units.

Provide below grade vehicular parking garage

Create project that will provide new type of housing in quickly densifying area that is slated to undergo HALA transition from LR3 to MR zoning.

This project will activate a site that is currently occupied by two single family homes along a residential street that features a mix of low to medium housing scales. This neighborhood is just north of the Capitol Hill Light Rail Station and just to the east of Broadway, which features a variety of neighborhood amenities that allow for a very walkable place to live. This development will increase the density of the neighborhood and look ahead to the proposed HALA zoning changes that will respond to the housing need in the area.



Landscape / Parks
Cal Anderson / Volunteer Park



Active
Walkable, Bikeable, Movement



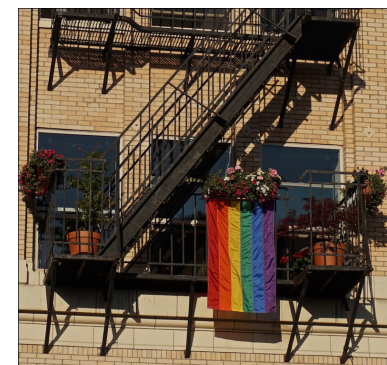
Vibrant
Mix of arts, cultural exchange



Social
Places for gathering and enjoying the outdoors



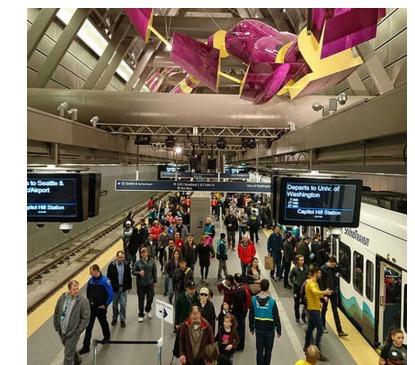
Quiet
Calm of parks / Picnics / Hangout on Porches



Expressive
Personal expression of values and ideals



Engaging
Marches / Parades / Political and Social Interaction



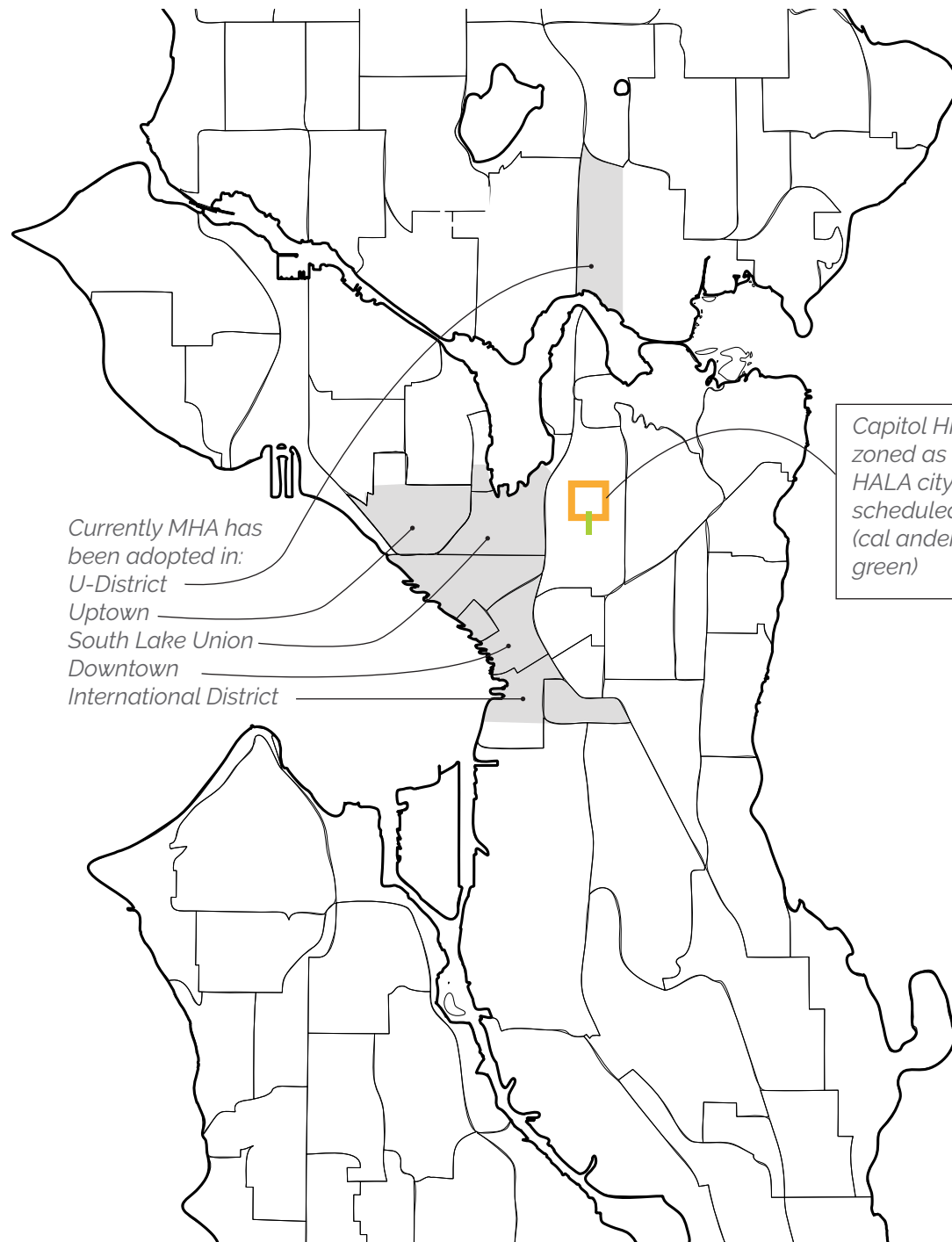
Forward Thinking
Rapidly developing mass transit system

Create an economical and lasting development that derives inspiration from the character of Capitol Hill while also looking forward to the future growth of Seattle.

RE - Zone

Housing Affordability and Livability - (H A L A)

Mandatory Housing Affordability (MHA)
Citywide Adoption ~fall 2018



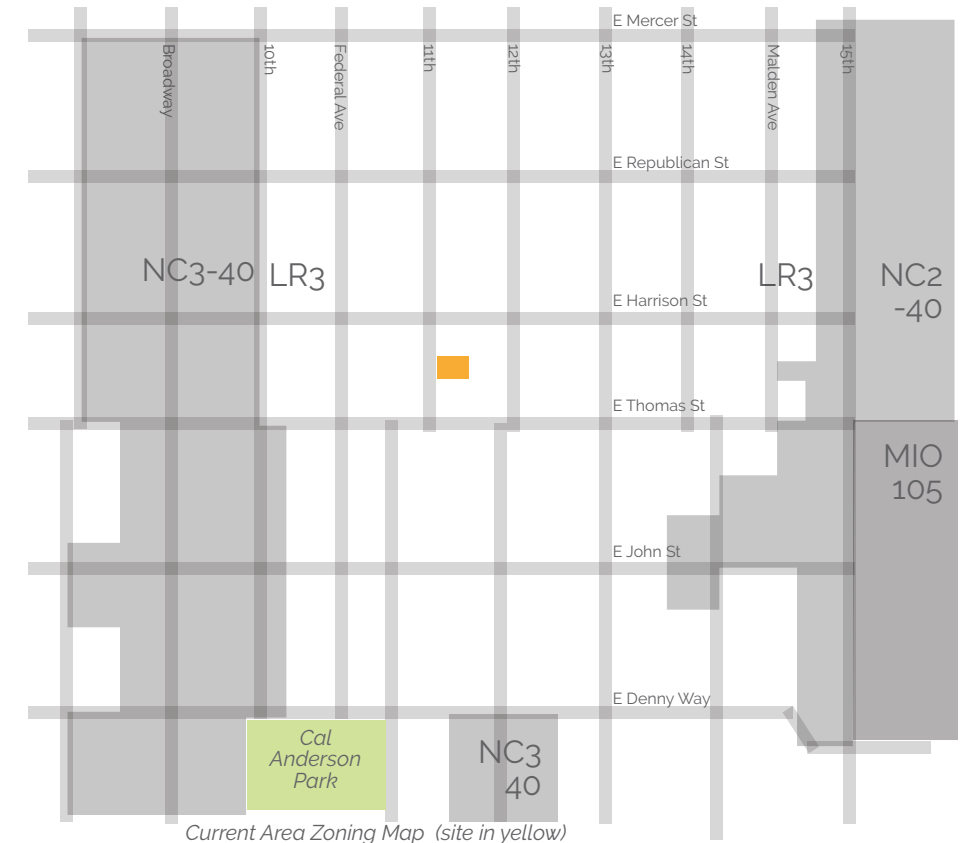
Capitol Hill to be re-zoned as a part of the HALA city-wide rezone scheduled for fall 2018. (cal anderson park in green)

Current Zoning

LR3 - Low Rise 3

site is currently well within LR3 zoning that contains mix of condos, townhouses & sf residences

HEIGHT 23.45.514	40' BASE MAX HEIGHT
FLOOR AREA RATIO 23.45.517.B.2	2.0 MAX FAR
FLOOR AREA 23.45.517.B.2	15,600 SF (MAX FAR)
SETBACKS 23.45.518	FRONT - 5' MIN / 7' AVG REAR - 15'-0' MIN (WITHOUT ALLEY) SIDE - 5' MIN / 7' AVG
AMENITY AREA 23.45.522.C	5% OF RESIDENTIAL AREA 1755 SF REQ
FACADE LENGTH 23.45.527	65% OF LOT LENGTH



Current Area Zoning Map (site in yellow)

MHA Rezone

MR (M1)

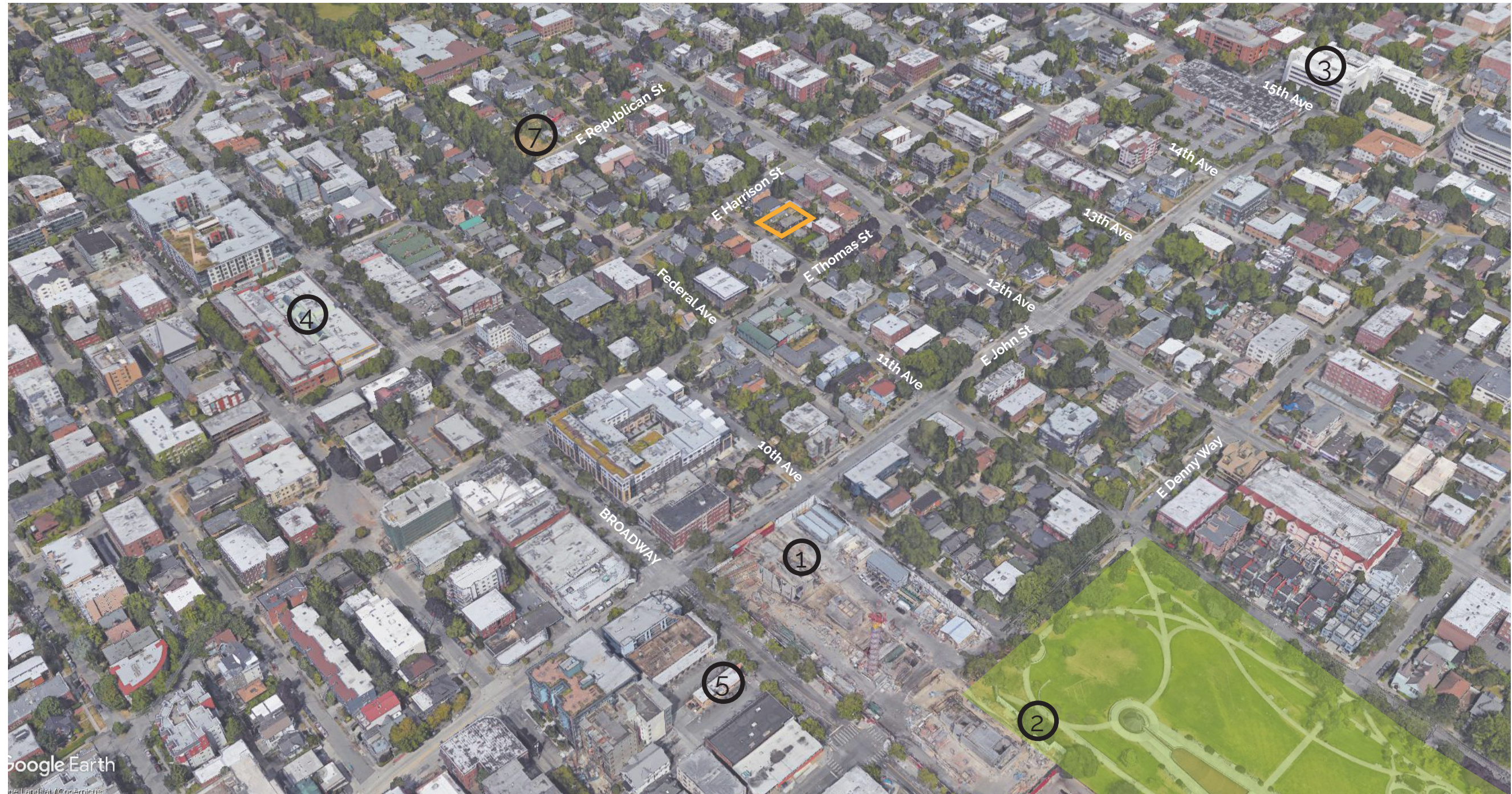
under new zoning site would be within midrise zoning an only a block away from NC3 75' zoning.

HEIGHT 23.45.514	80' BASE MAX HEIGHT
FLOOR AREA RATIO 23.45.517.B.2	4.5 MAX FAR
FLOOR AREA 23.45.517.B.2	35,100 SF (MAX FAR)
SETBACKS 23.45.518.B	FRONT - 5' MIN / 7' AVG (NO SETBACK IF COURTYARD AT STREET) REAR - 15'-0' MIN (WITHOUT ALLEY) SIDE (BELOW 42' IN HEIGHT) - 5' MIN / 7' AVG SIDE (ABOVE 42' IN HEIGHT) - 7' MIN / 10' AVG 5% OF RESIDENTIAL AREA 1755 SF REQ
AMENITY AREA 23.45.522.C	



Rezoned Area Zoning Map (site in yellow)





Aerial Map ↻



LINK - Lightrail Station



Cal Anderson Park



Kaiser Permanent - Hospital



Broadway Market



Dick's Drive - In



Broadway Hill Park

Commercial and Cultural Center

To & From

Houses and Housing

Capitol Hill, along with many of the other neighborhoods in Seattle, has gone through a great deal of densification over the past decade with much of the city's traditional single family building stock becoming transformed into much denser multi-family townhouse, apartment and condominium developments.

Typologies & Use Map 

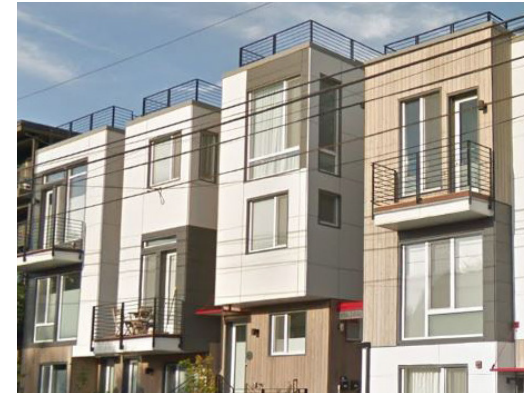
- ① Broadway Ave
Commercial Center
Parade Route
Busses / Bikes

- SITE

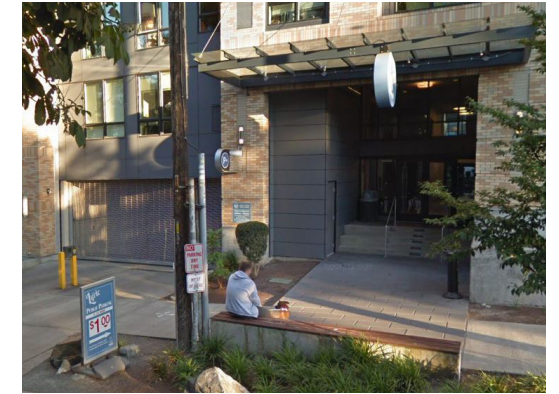
Context Photos



Microhousing on 11th - Tall, Contemporary



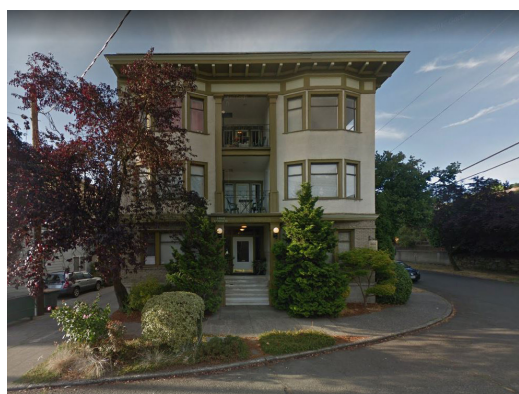
New contemporary townhomes on 12th



Ped and Car entry to Lyric on Thomas Street



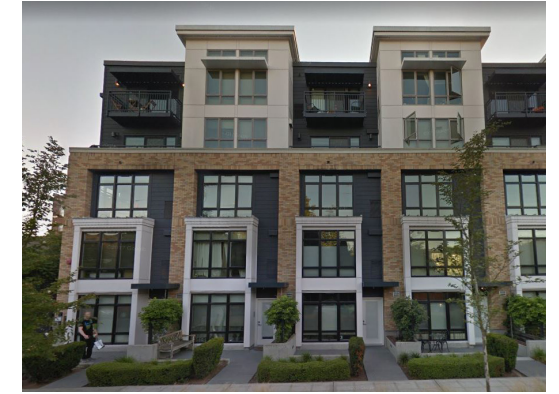
3 Story Brick Apt on 12th - Simple, ordered



Sherbrook Apts - Strong 3 story cornice



Condos on John and 11th with Large Bay Windows



Lyric apartments with pedestrian level units



Dublin Apts on Thomas - Ceremonious Entry, Brick



Galvanized Steel Townhomes - playful windows



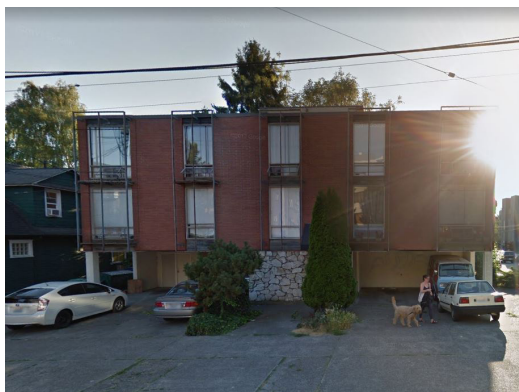
Simple craftsman single family homes on Harrison



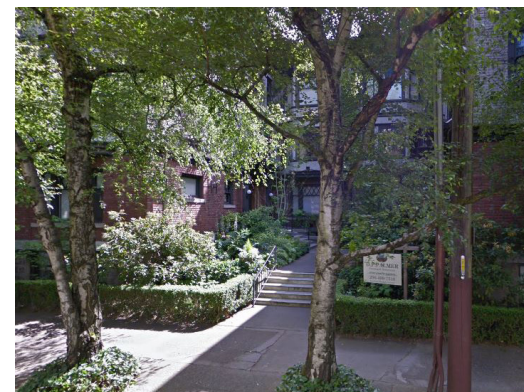
Craftsman homes on 11th across from site



Harrison Modern Apartments on 12th - Simple Design



Modern Apts on John and 11th - Large Windows



Courtyard Entry to The Harrison Apartments



Swansonia Apts on Harrison - simple brick windows

Site Analysis

ADDRESS:
310 & 316 11th Ave E - Seattle, WA 98102

PARCEL NO:
6852700190 (310)
6852700195 (316)

DESCRIPTION:
PONTIUS LINCOLN SUPL PLAT
PLat Block: 20 / Plat Lot: 4 - (310)
PONTIUS LINCOLN SUPL PLAT S 30 FT
PLat Block: 20 / Plat Lot: 5 - (316)

SITE AREA:
7800 SF

ZONING:
LR3 (current)

STREET:
11th Avenue East
SLOPES DOWNHILL N>S
30'-0" TO C/L OF STREET
6" CONC. CURB
CONC. SIDEWALK

ALLEY:
NO ALLEY

UTILITIES:
ALL UTILITIES SERVICED FROM STREET

TOPOGRAPHY:
SITE SLOPES DOWNHILL 24"
ALONG STREET FROM N>S

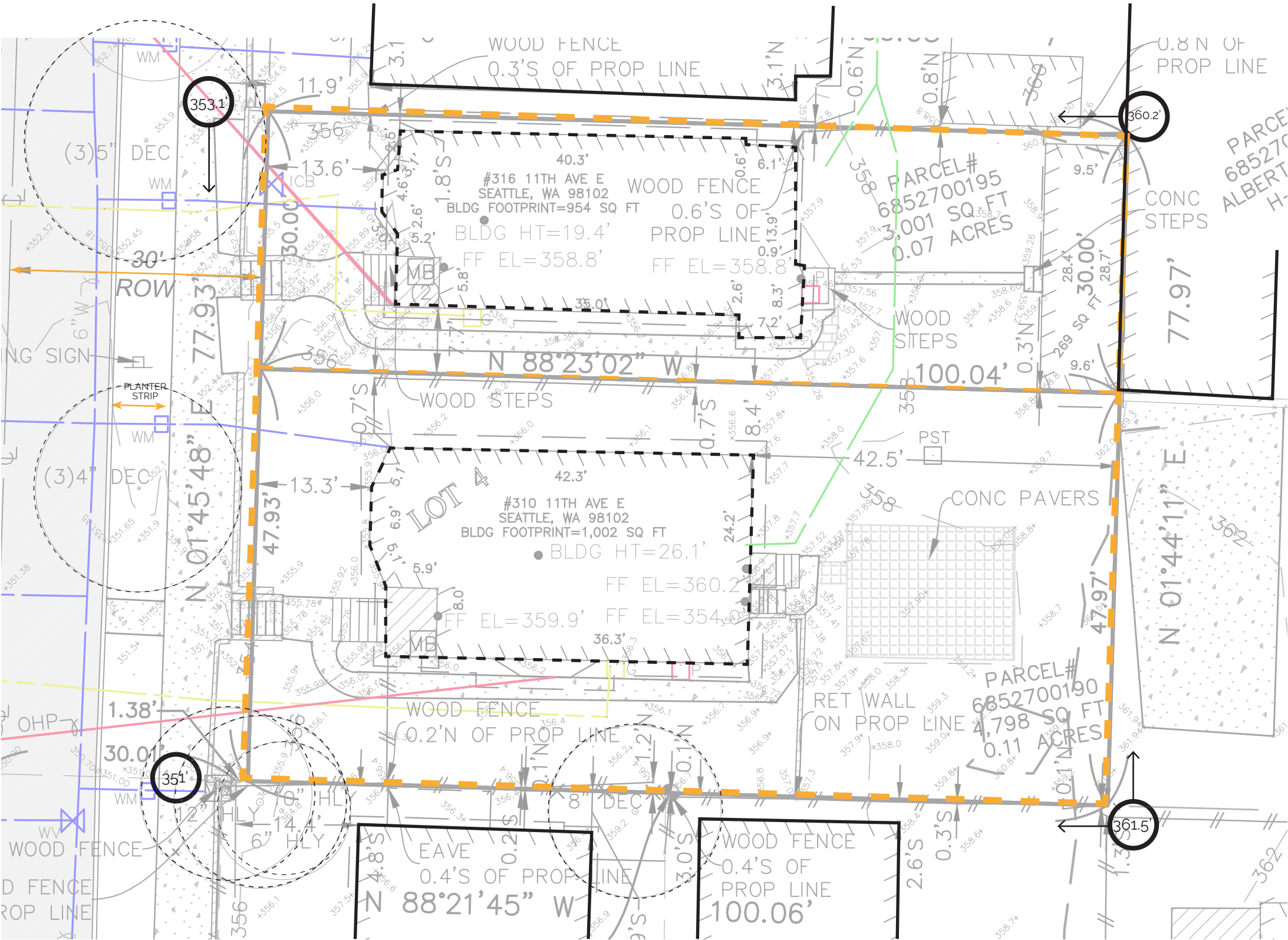
SITE SLOPES UP ~3.5' AT SIDEWALK
CONCRETE RETAINING WALL SUPPORT
SITE CONTINUES TO SLOPE ~6' - W>E

HIGHEST POINT - SE CORNER (361.5')
LOWEST POINT - SW CORNER (351')

ADJACENT BUILDINGS:
SOUTH - 1106 E THOMAS ST
5 UNIT CONDO - 3 STORY BRICK
SOUTH - 304 11TH AVE E
SINGLE FAMILY - 1.5 STORY WOOD

NORTH - 318 11TH AVE E
4 UNIT APT - 2 STORY WOOD

EAST (REAR)- 311 12TH AVE E
4 UNIT APT - 2 STORY BRICK
EAST (REAR)- 315 12TH AVE E
6 UNIT APT - 3 STORY BRICK



Site Photos



1: Looking at stairs up to 310 11th



2: Looking south down 11th Ave E at south end of site



3: Looking north up 11th at north end of site



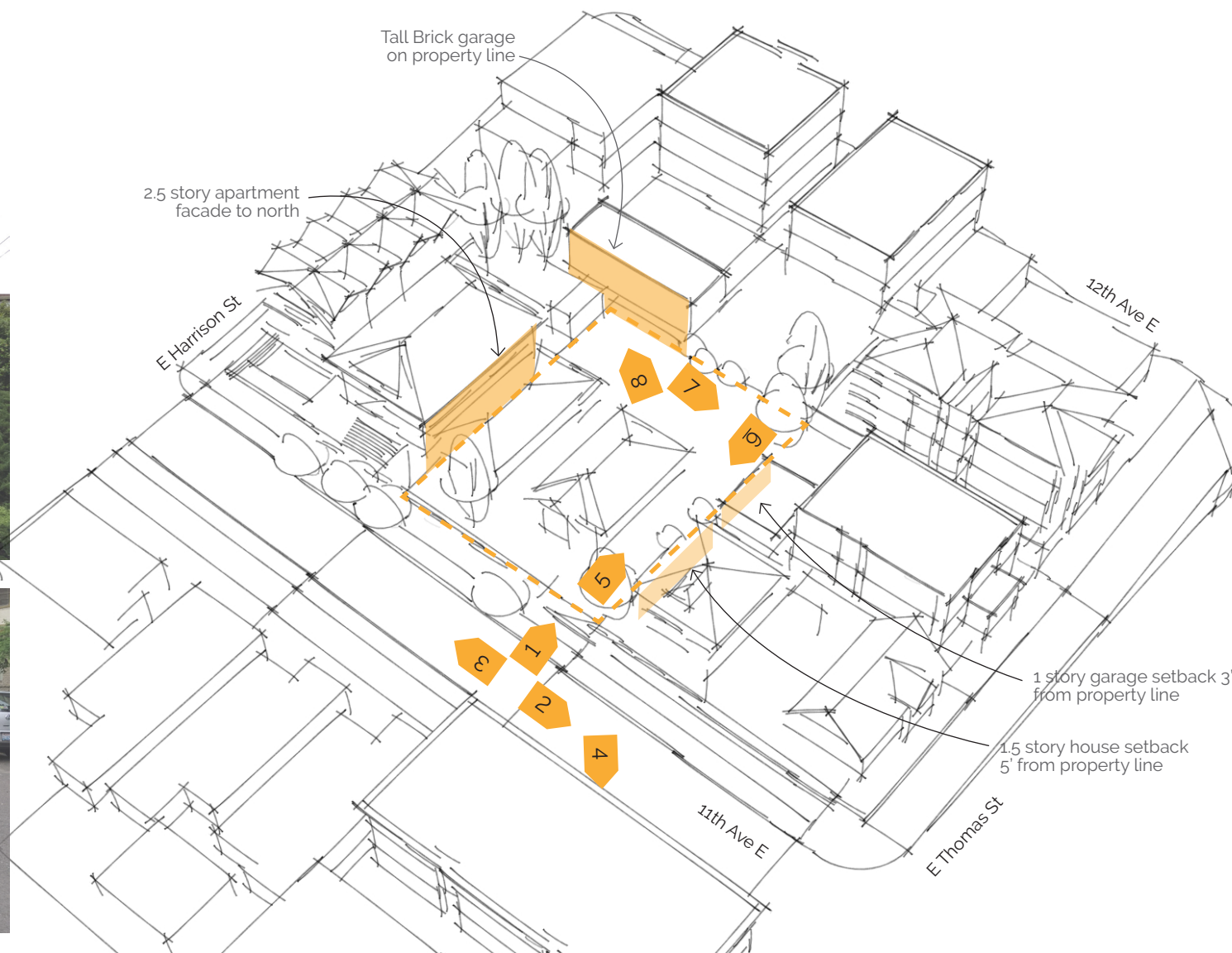
4: Power lines and transformer across 11th Ave -SW of site



9: Looking north towards neighbor and existing 1 story garage



8: Looking between 310 (left) and 316 (right) towards west



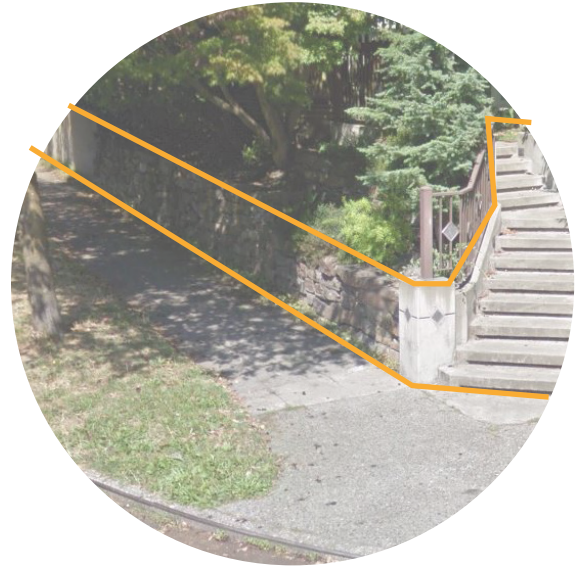
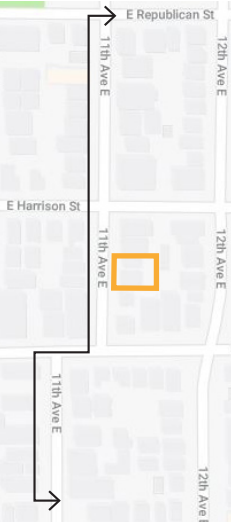
5: South property line looking east (neighbor to right)



6: South Property line looking west (neighbor the left)



7: Rear property line of site - looking south



11th Ave Elevation Looking East - at the site

The massing of buildings along 11th Ave E is typically broken in the middle to help divide the bulk and scale of the development

Trash and Parking is all taken off 11th Ave and therefore methods of mitigating the visual impact of garage doors and trash containers is to be considered

Due to the grade change along 11th Avenue (east side) many existing structures feature low concrete or stone walls and integrated steps and stoops to better engage with the pedestrian activity of the street.





11th Ave Elevation Looking West - across site



Courtyard Townhomes on 11th and Thomas feature gaps in the site plan to allow erosion of large development and break down of otherwise long elevations.

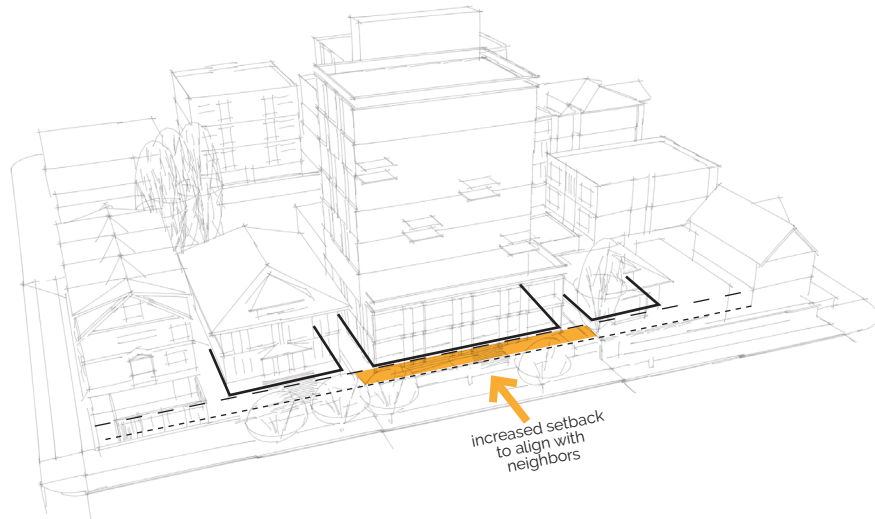


The sherbrook apartments across the street feature a prominent cornice that establishes a very strong horizontal datum along the street.



Along with the strong presence of street trees along 11th there are many homes (especially north) that feature generous landscaping treatment along the sidewalk





CS1: NATURAL SYSTEMS AND SITE FEATURES

Use natural systems and features of the site and its surroundings as a starting point for project design.

B. SUNLIGHT AND NATURAL VENTILATION

- 2. Daylight and Shading: Maximize daylight for interior and exterior spaces and minimize shading on adjacent sites through the placement and/or design of structures on the site

This midblock site takes advantage of the on site slope to bring parking underneath the building. Setback in front and rear will allow for gathering spaces and for landscaping that will resemble the landscape setbacks in the neighborhood.

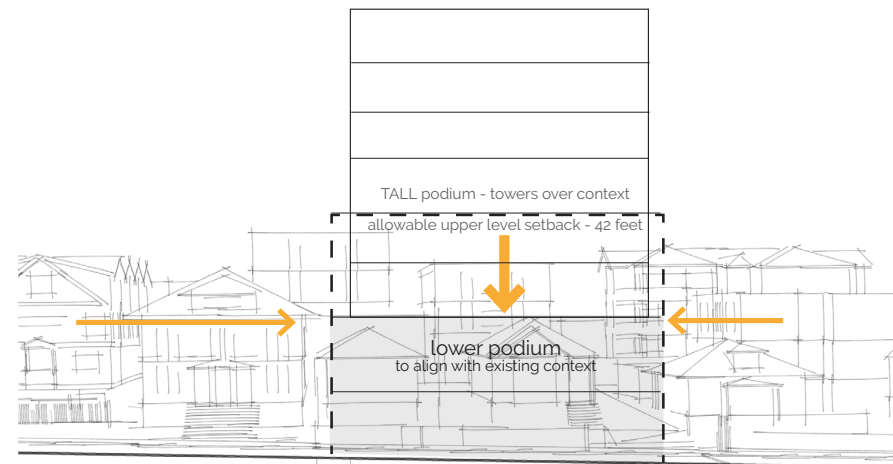
CS2: URBAN PATTERN AND FORM

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

C. RELATIONSHIP TO THE BLOCK

- 2. Mid-Block Sites: Look to the uses and scales of adjacent buildings for clues about how to design a mid-block building.

Because this building will be one of the first in the neighborhood to follow the upcoming city - wide upzone, for a short while it will be taller than it's neighbors. It will need to both respond to the single family scale of the surrounding fabric while simultaneously anticipating the height and bulk potential of future development. Setbacks and creating depth through balconies will help to reduce the scale and increase the residential character.



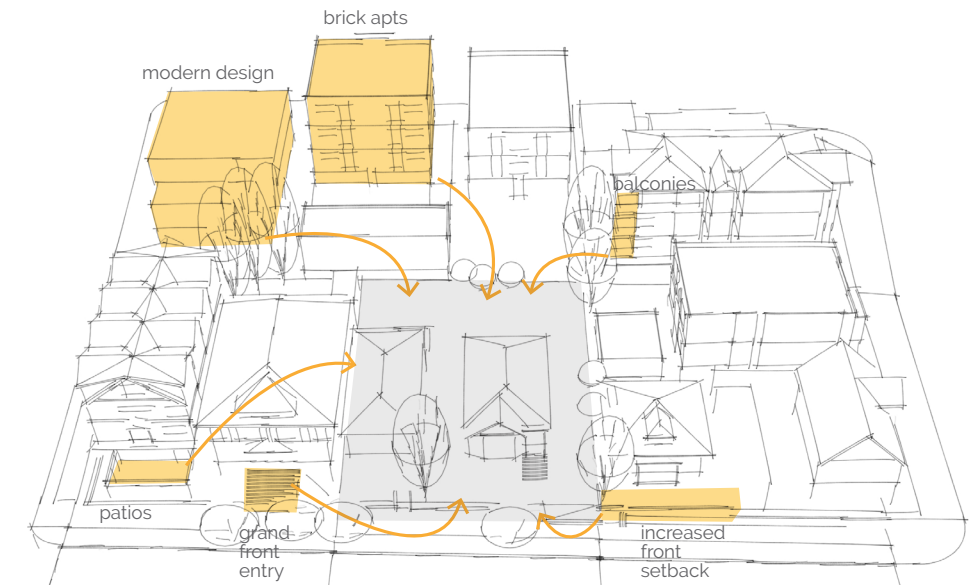
CS3: ARCHITECTURAL CHARACTER & CONTEXT

Contribute to the architectural character of the neighborhood

A. EMPHASIZE POSITIVE NEIGHBORHOOD ATTRIBUTES

- Fitting Old and New Together: Create compatibility between new projects, and existing architectural context, including historic and modern designs, through building articulation, scale and proportion, roof forms, detailing, fenestration, and/or the use of complementary materials.

This project proposes to emphasize the strongly residential character of neighborhood. The existing mixture of small cottages, old brick apartment buildings and new apartment buildings, are material and detail orientated. Naturally, the neighborhood is influenced culturally by the neighboring commercial area along Broadway and easy access to light rail and is primarily pedestrian.



PL1: CONNECTIVITY

Complement and contribute to the network of open spaces around the site and the connections among them.

A. NETWORK OF OPEN SPACES

- 1. Enhancing Open Space: Design the building and open spaces to positively contribute to a broader network of open spaces throughout the neighborhood.

Pedestrian experience along 11th Ave is an important consideration for this project. Ample landscaping as well as semi-public places for sitting alongside the street and fostering community through casual front-stoop interactions is a goal.

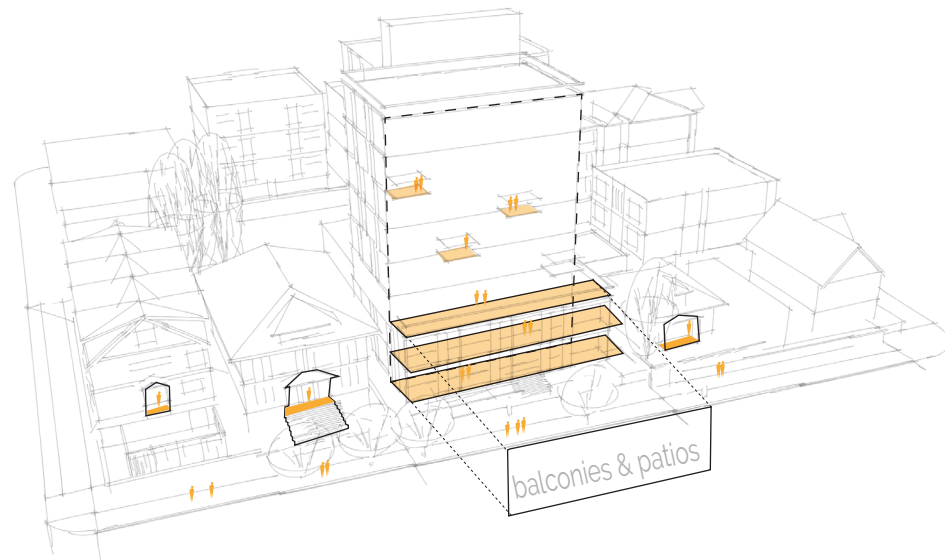
PL2: WALKABILITY

Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.

B. SAFETY AND SECURITY

- 1. Eyes on the Street: Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies and street-level uses

Recessed and covered entries are found throughout this neighborhood as an indicator of a residential entry. This project proposes a recessed, well marked front entry. Parking and trash access are tucked around the side of the lot to decrease their presence on the street.



PL3: STREET-LEVEL INTERACTION

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

B. RESIDENTIAL EDGES

- 2. Ground-level Residential: Privacy and security issues are particularly important in buildings with ground-level housing, both at entries and where windows are located overlooking the street and sidewalk.

Street level interaction is promoted at the residential entry through a covered stoop. The site edges are heavily landscaped to create a soft edge to the residential sidewalk.

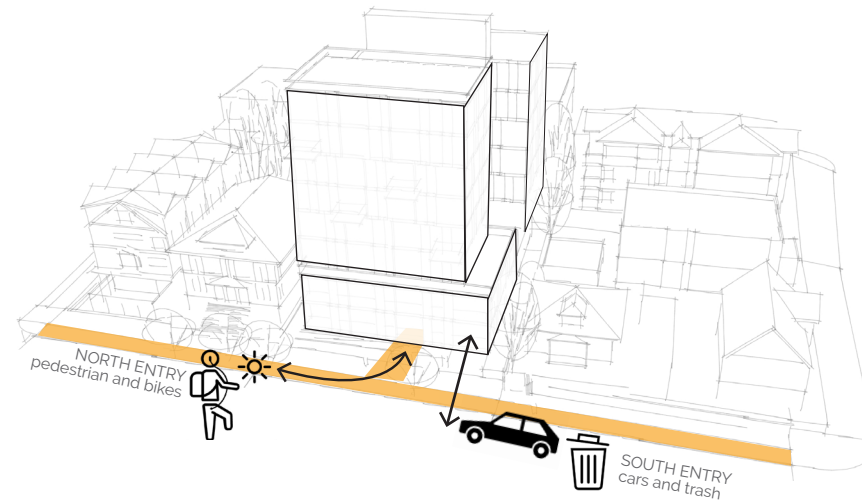
PL4: ACTIVE TRANSPORTATION

Incorporate design features that facilitate active forms of transportation such as walking, bicycling, and use of transit.

A. ENTRY LOCATIONS AND RELATIONSHIPS

- 1. Serving all Modes of Travel: Provide safe and convenient access points for all modes of travel.

Transit connections are very good to this site, including a 5 minute walk to the Capitol Hill light rail station and many buses. This project will still include vehicular parking, but expects that most residents will walk or use bicycles for daily commute. For this reason, bicycles are easily accessed from the street.



DC1: PROJECT USES AND ACTIVITIES

Optimize the arrangement of uses and activities on site.

B. VEHICULAR ACCESS AND CIRCULATION

- Access Location and Design: Choose locations for vehicular access, service uses, and delivery areas that minimize conflict between vehicles and non-motorists wherever possible.

Vehicular access and waste services are minimized to the extent possible and share one curb cut on the side of the site. The parking and trash entrances are recessed from the street to minimize their impact on the pedestrian environment.

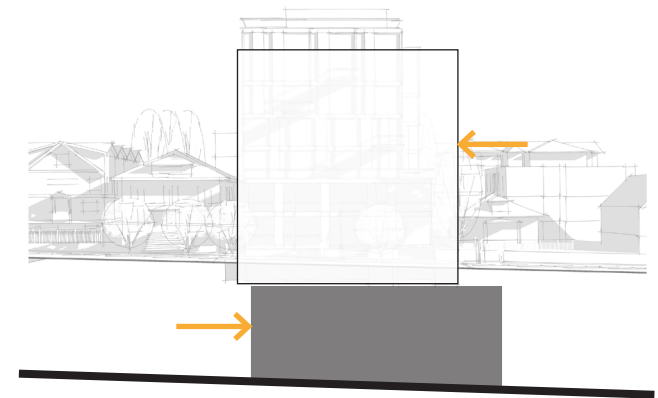
DC2: ARCHITECTURAL CONCEPT

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

A. MASSING

- 2. Reducing Perceived Mass: Use secondary architectural elements to reduce the perceived mass of larger projects. Consider creating recesses or indentations in the building envelope; adding balconies, bay windows, porches, canopies or other elements; and/or highlighting building entries.

The architectural scale of this project responds to both the existing scale and the future development scale of the neighborhood. In all cases it wants to bring forward and emphasize the best residential qualities of the neighborhood.



DC3: OPEN SPACE CONCEPT

Integrate open space design with the design of the building so that each complements the other.

B. OPEN SPACE USES AND ACTIVITIES

- 4. Multifamily Open Space: Design common and private open spaces in multifamily projects for use by all residents to encourage physical activity and social interaction.

At the ground, a front setback gives room for landscape and a front stoop, appropriate the the established rhythm and texture of the neighborhood. Elevated open spaces take advantage of view opportunities and provide private and communal exterior living spaces.

DC4: EXTERIOR ELEMENTS AND FINISHES

Integrate open space design with the design of the building so that each complements the other.

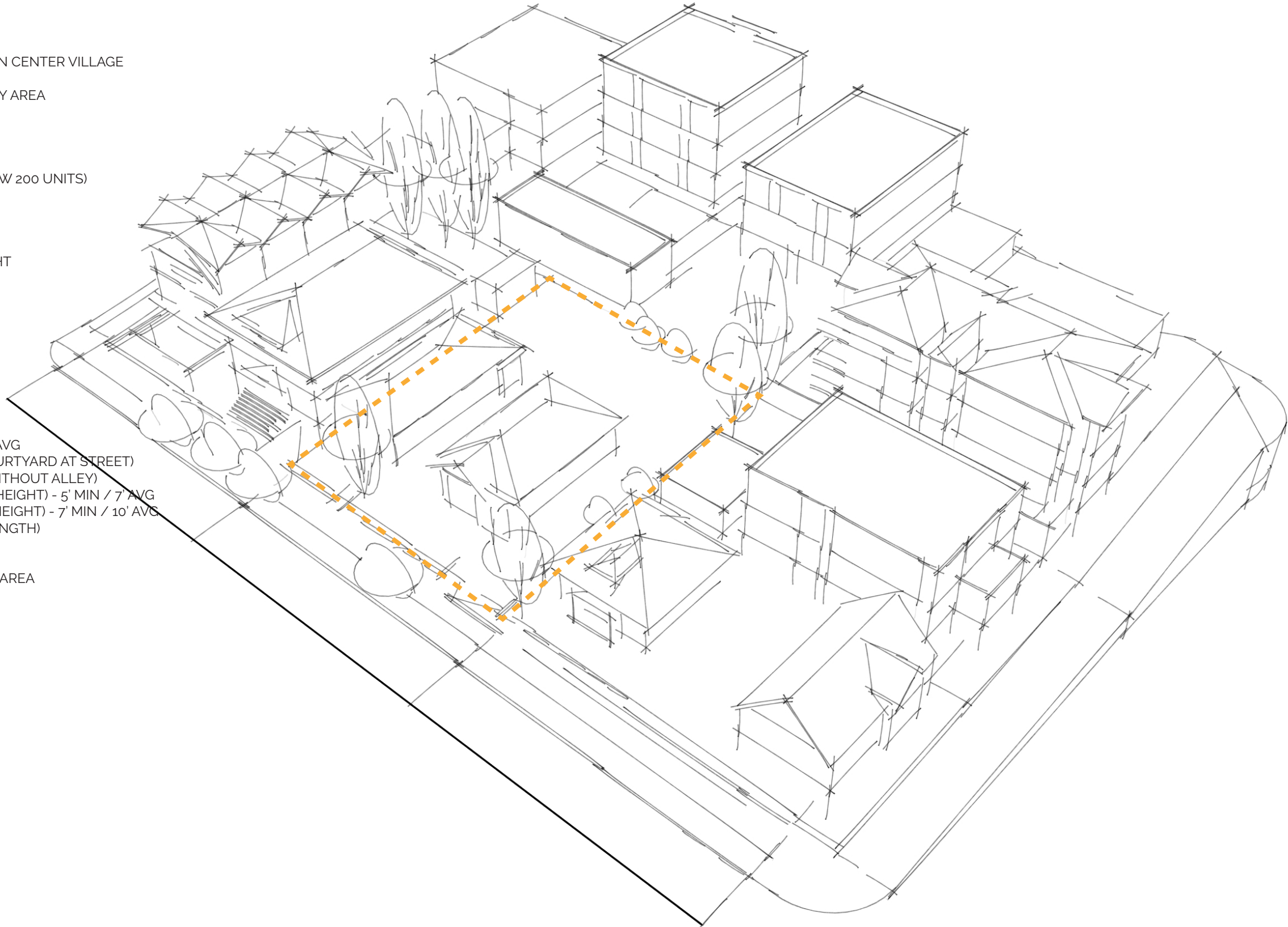
A. BUILDING MATERIALS

- : Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

Exterior finishes should be long lasting and easily maintained, but also materiality seen throughout the neighborhood.

Zoning Summary

SITE LOCATION	310 & 316 11th Ave E
SITE ZONING	MR (M1)
OVERLAY	CAPITOL HILL URBAN CENTER VILLAGE LIGHT RAIL - CH PARKING FLEXIBILITY AREA
ECA	NO - ECA
SEPA REVIEW 23.05.800 - TAB A/B	NO SEPA REQ (BELOW 200 UNITS)
PARKING REQUIRED	NO PARKING REQ
HEIGHT 23.45.514	80' BASE MAX HEIGHT
SITE AREA	7,800 SF
FLOOR AREA RATIO 23.45.517.B.2	4.5 MAX FAR
FLOOR AREA 23.45.517.B.2	35,100 SF (MAX FAR)
SETBACKS 23.45.518.B	FRONT - 5' MIN / 7' AVG (NO SETBACK IF COURTYARD AT STREET) REAR - 15'-0' MIN (WITHOUT ALLEY) SIDE (BELOW 42' IN HEIGHT) - 5' MIN / 7' AVG SIDE (ABOVE 42' IN HEIGHT) - 7' MIN / 10' AVG (65' MAX FACADE LENGTH)
AMENITY AREA 23.45.522.C	5% OF RESIDENTIAL AREA 1755 SF REQ



Design Priorities



1 - SETBACK THE BUILDING

The building should be setback greater than the 5'-0" minimum required setback in order to more closely align with the neighbors to the north and south and to allow for more green space and sidewalk activation along 11th ave.



2 - LOWER THE PODIUM

The midrise code allows for greater overall height than lowrise code, but requires a setback above 42' tall. Rather than setting the building back at the 4th story of the building, set it back two stories earlier and lower the podium to more closely align with the existing 2.5 story volume to the north of the site.



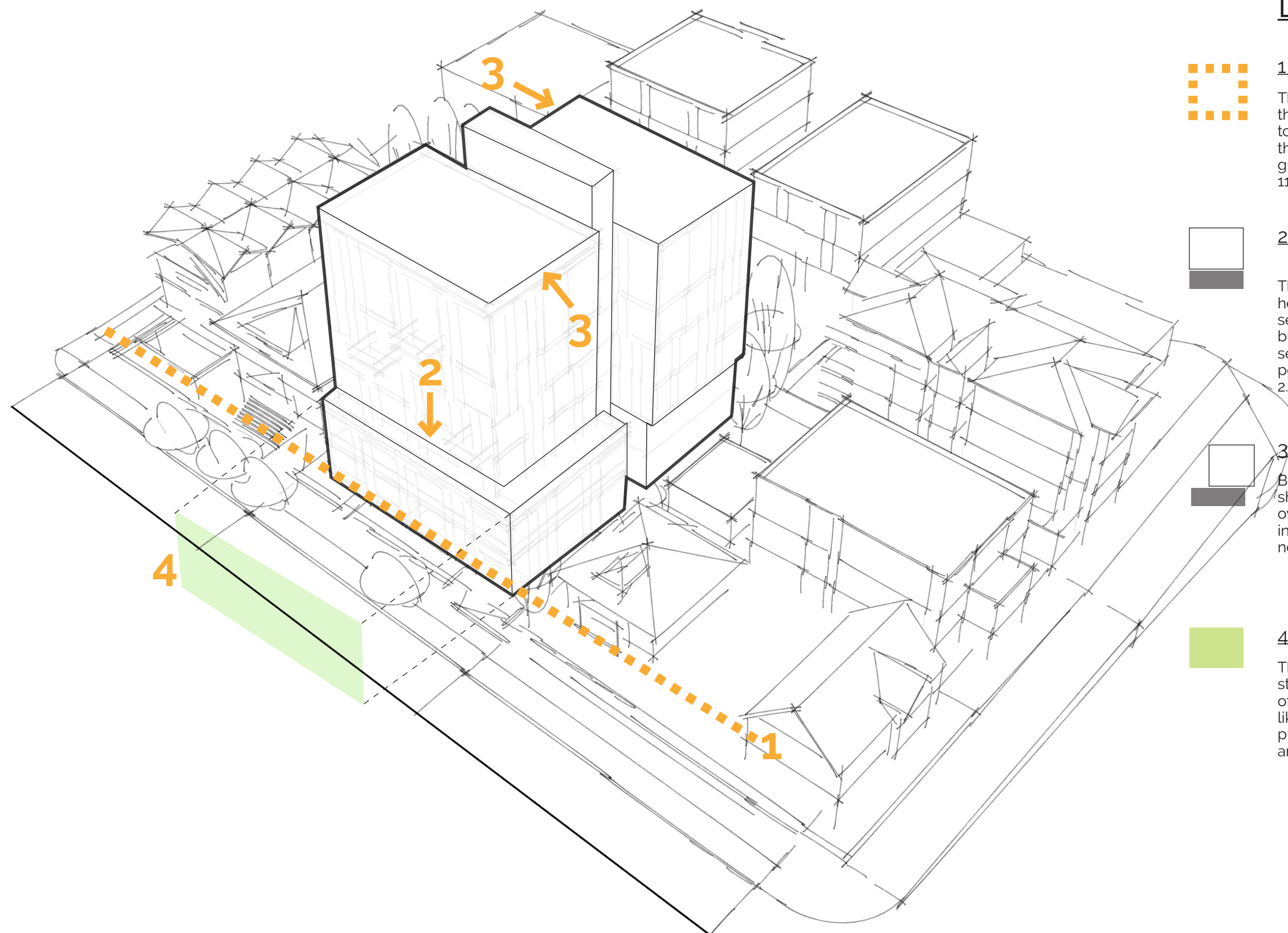
3 - SHIFT THE VOLUMES

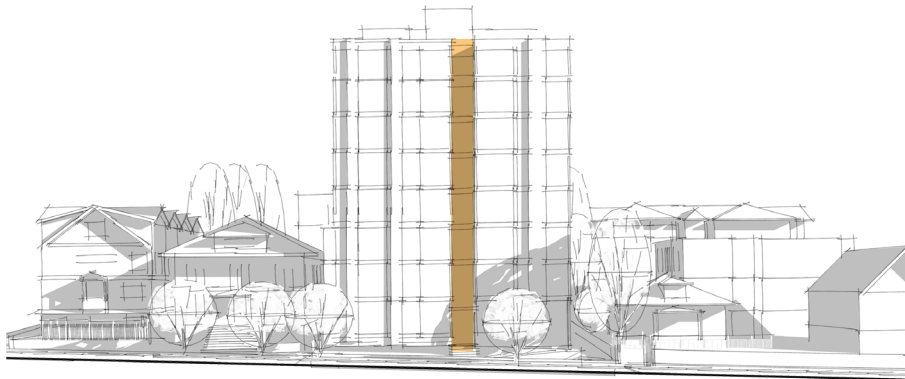
Break up the overall scale of the project by shifting, breaking or otherwise dividing the overall volume into shapes that are more in scale with the lowrise buildings in the neighborhood.



4 - ATTACH THE ACTIVITY

The building should wholly relate to the street and engage with the residential activity of the neighborhood. Architectural elements like balconies, stoops and patios should be placed at the street to encourage activation and engagement at the public level.





1. The Splits



62 UNITS
Proposed FAR: 35,100SF
Max FAR: 4.5 = 35,100SF
Bike: 16
Parking: 18

Positive

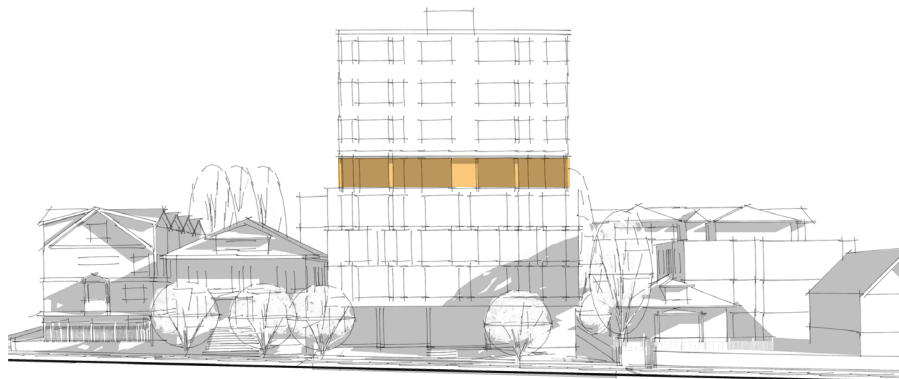
- Breaks down mass on all faces, including the side lot lines.
- Most units have corner window opportunities

Negative

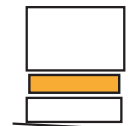
- Interior units face directly to neighbors
- Building face is imposing along 11th ave due to 5'min/7' avg setback compliance
- Verticality makes building appear taller and more out of scale than context

Departures

- none



2. Lift Tuck



60 UNITS
Proposed FAR: 35,100SF
Max FAR: 4.5 = 35,100SF
Bike: 15
Parking: 16

Positive

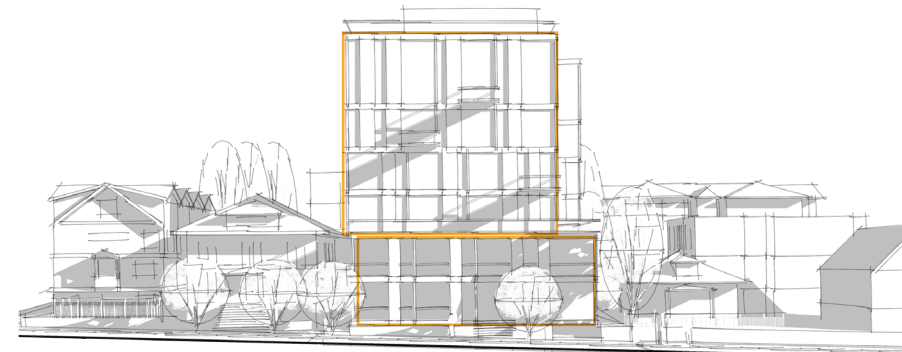
- Overall verticality has been reduced
- Massing of building blocks more closely relates to neighboring volumes
- Recessed middle of structure to provide horizontal gap in the building to break up bulk.

Negative

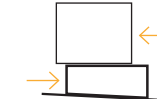
- Podium does not align with adjacent structures and is too tall for context
- Monolithic structure with minimal articulation
- Very little engagement with sidewalk

Departures

- reduction of front yard setback requirements
- reduction of side yard setback requirements



3. Stack n' Shift



preferred scheme

48 UNITS
Proposed FAR: 30,000SF
Max FAR: 4.5 = 35,100SF
Bike: 12
Parking: 17

Positive

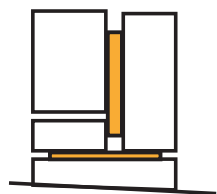
- Create lower podium at the street that directly corresponds with height of neighbor to the north
- Increased from setback to allow for balconies and patios that face the street
- Increased side setbacks at the upper levels of the building
- Differentiate upper volume from lower volume to break up overall building scape
- Fewer number of stories that other schemes and lower unit count

Negative

- Decreased rear yard setback

Departures

- reduction of rear yard setback requirement
- reduction of side yard setback requirements
- reduction of ground floor common amenity area requirements

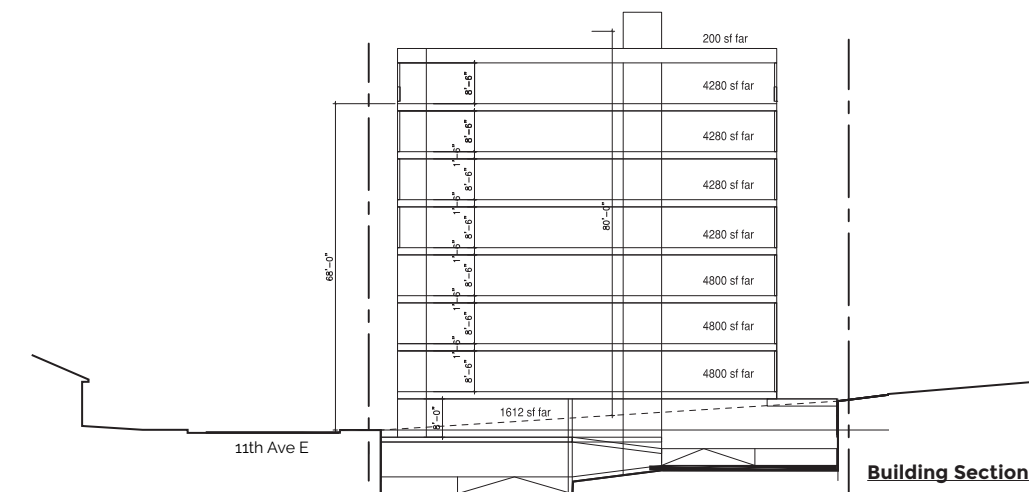
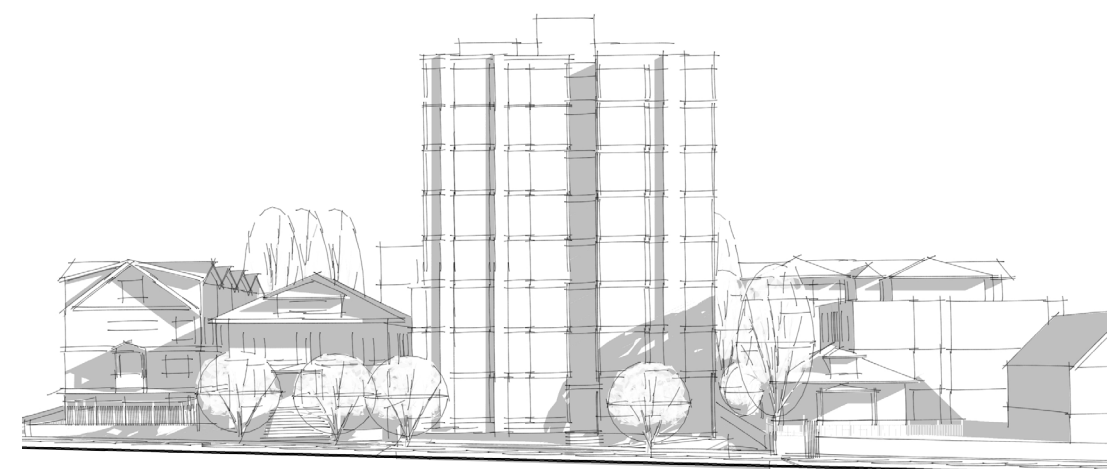
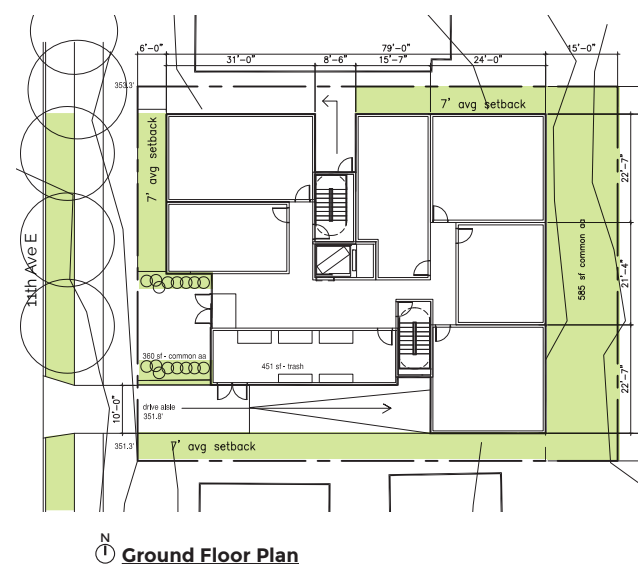
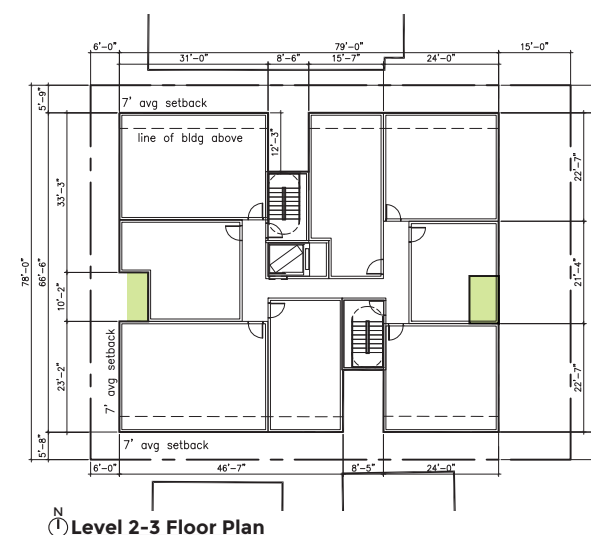
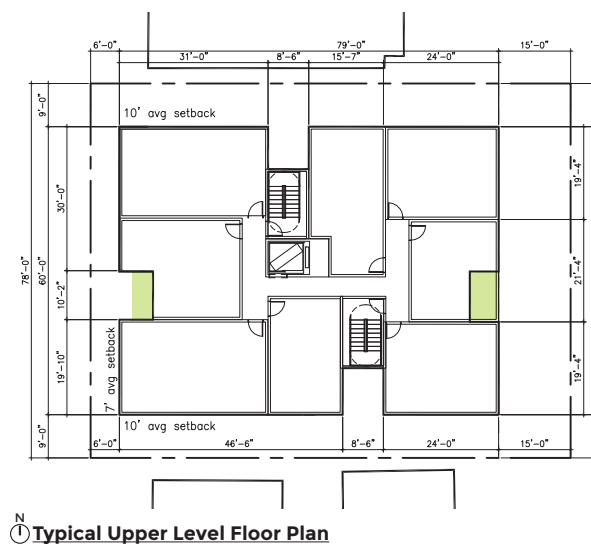
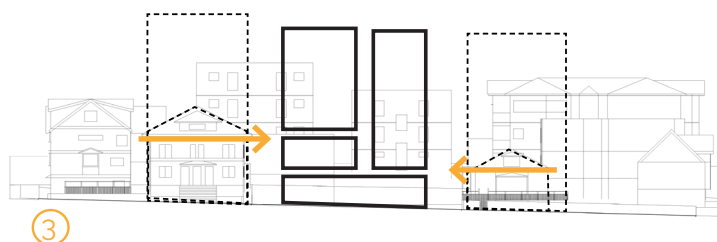
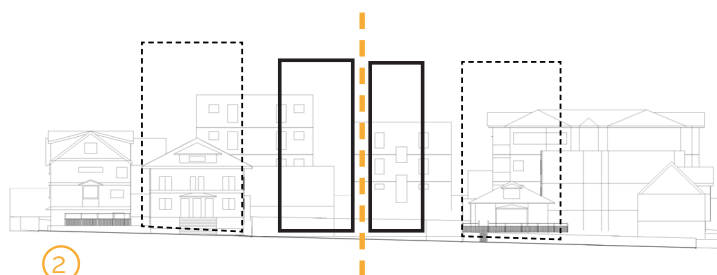


62 UNITS	
Proposed FAR:	35,100SF
Max FAR:	4.5 = 35,100SF
Bike:	16
Parking:	18

- Breaks down mass on all faces, including the side lot lines.
- Most units have corner window opportunities

- Interior units face directly to neighbors
- Building face is imposing along 11th ave due to 5'min/7' avg setback compliance
- Verticality makes building appear taller and more out of scale than context

- none





2. Lift Tuck

60 UNITS
Proposed FAR: 35,100SF
Max FAR: 4.5 = 35,100SF
Bike: 15
Parking: 16

Positive

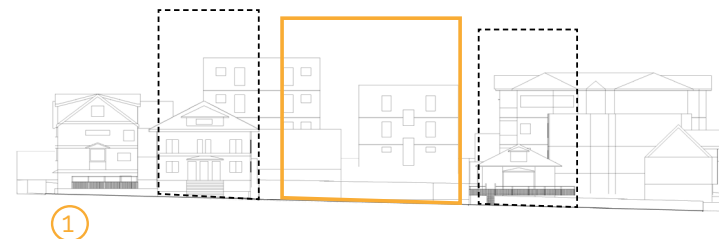
- Overall verticality has been reduced
- Massing of building blocks more closely relates to neighboring volumes
- Recessed middle of structure to provide horizontal gap in the building to break up bulk.

Negative

- Podium does not align with adjacent structures and is too tall for context
- Monolithic structure with minimal articulation
- Very little engagement with sidewalk

Departures

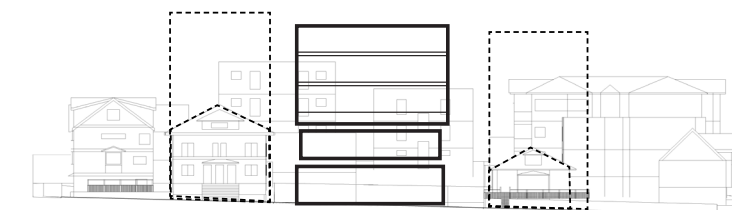
- Setback departures from front and side setbacks are requested in order for project to respect neighbors at rear of the site.



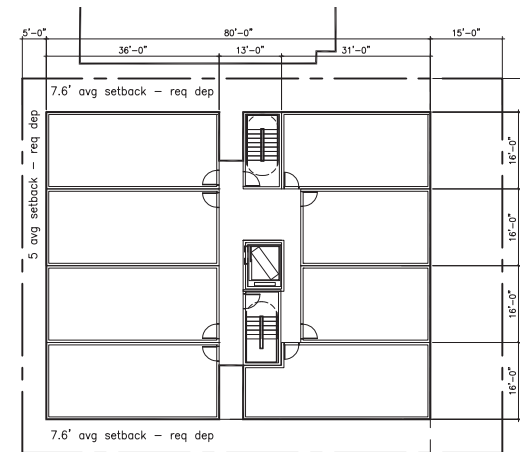
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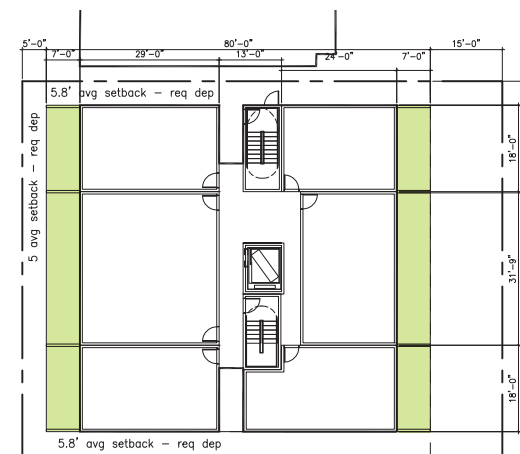
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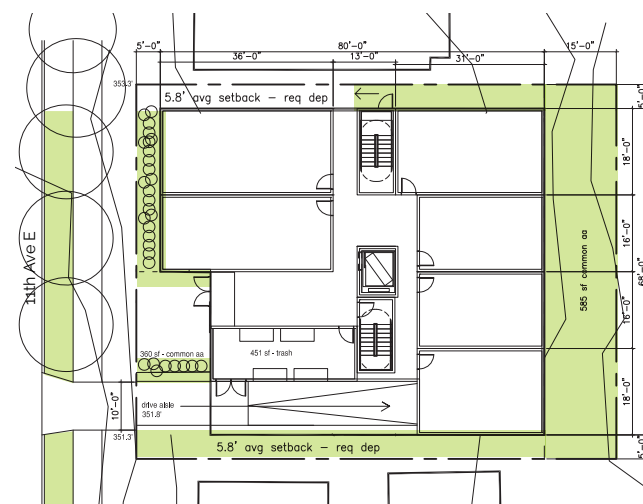
③



Typical Upper Level Floor Plan



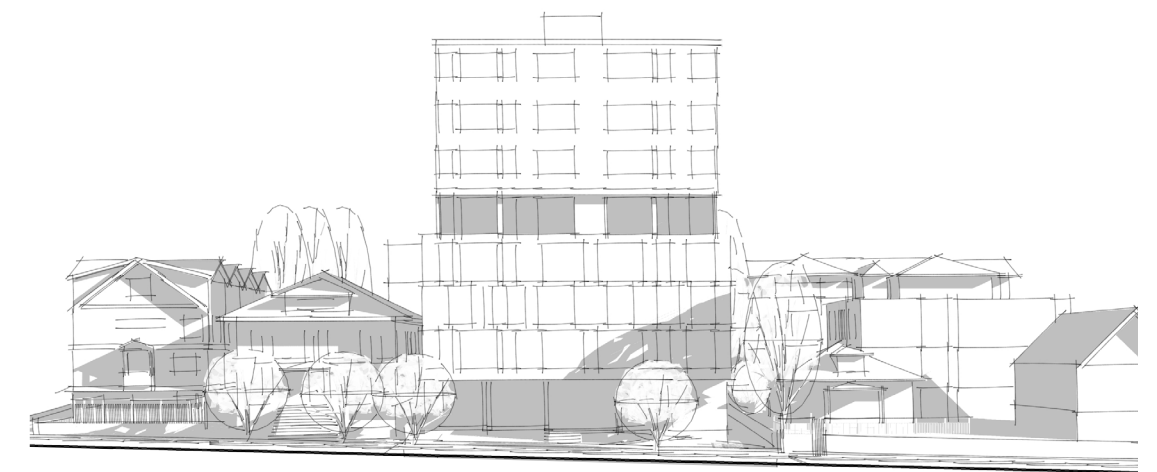
Level 2-3 Floor Plan



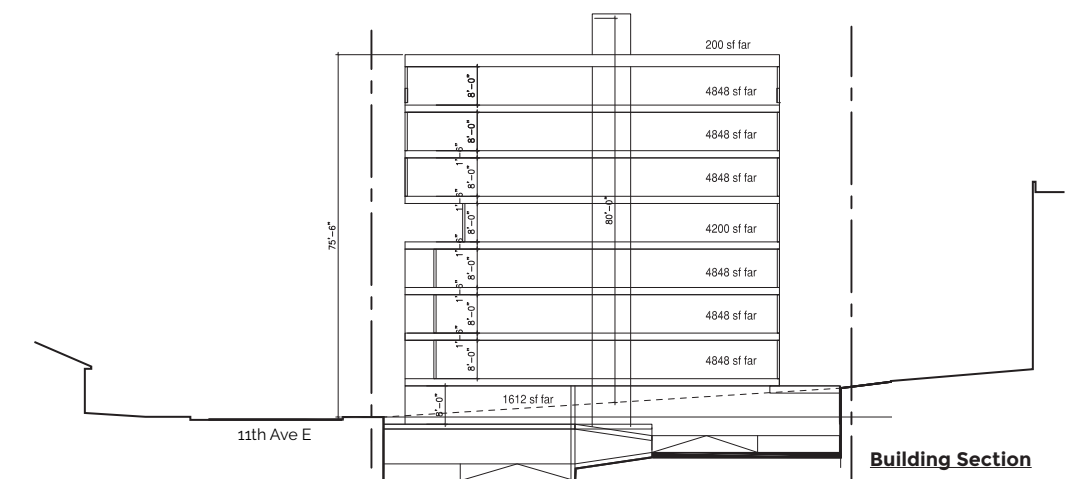
Ground Floor Plan



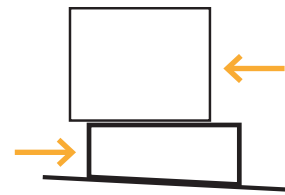
Aerial view of project from NW



View of street facing facade



Building Section



3. Stack n' Shift

preferred scheme

48 UNITS
Proposed FAR: 30,000SF
Max FAR: 4.5 = 35,100SF
Bike: 12
Parking: 17

Positive

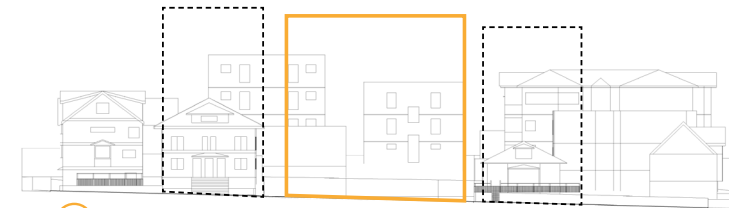
- Create lower podium at the street that directly corresponds with height of neighbor to the north
- Increased from setback to allow for balconies and patios that face the street
- Increased side setbacks at the upper levels of the building
- Differentiate upper volume from lower volume to break up overall building scape
- Fewer number of stories that other schemes and lower unit count

Negative

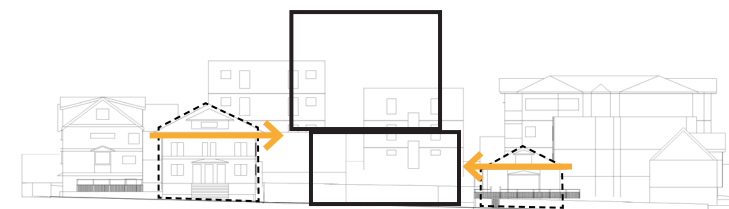
- Decreased rear yard setback

Departures

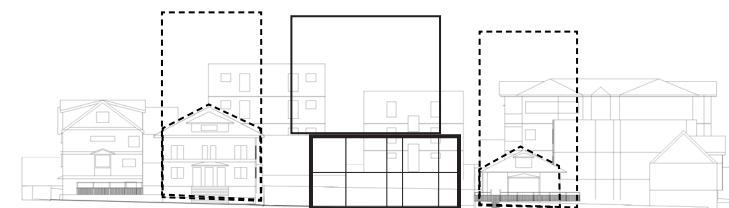
- reduction of rear yard setback requirement
- reduction of side yard setback requirements
- reduction of ground floor common amenity area requirements



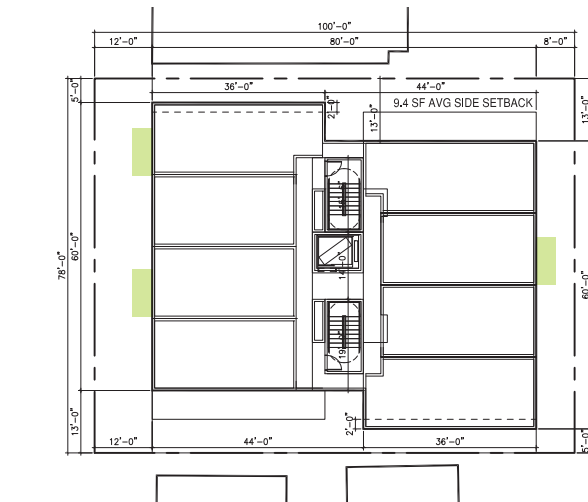
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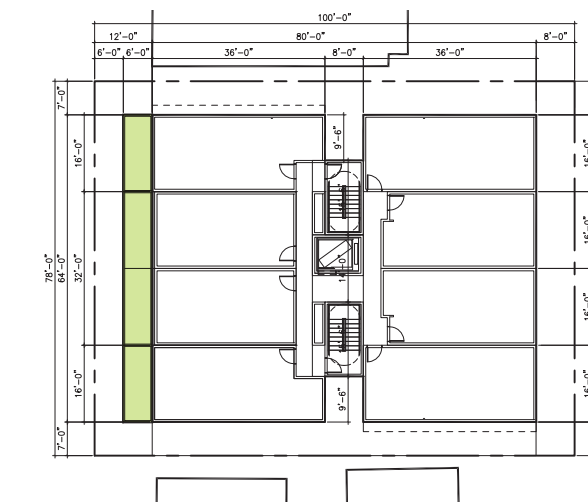
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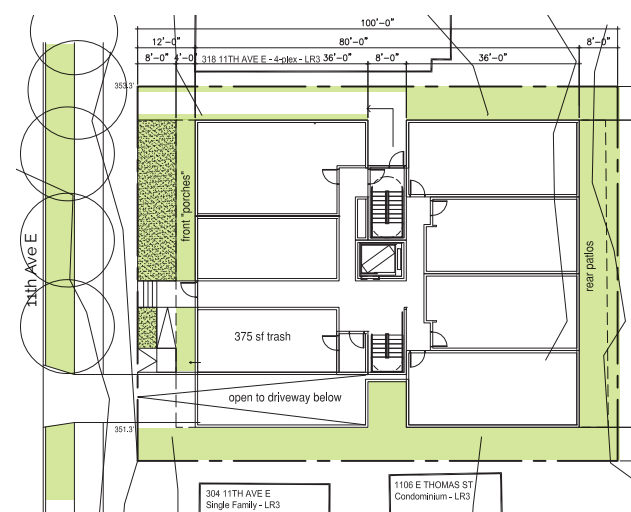
③



Typical Upper Level Floor Plan



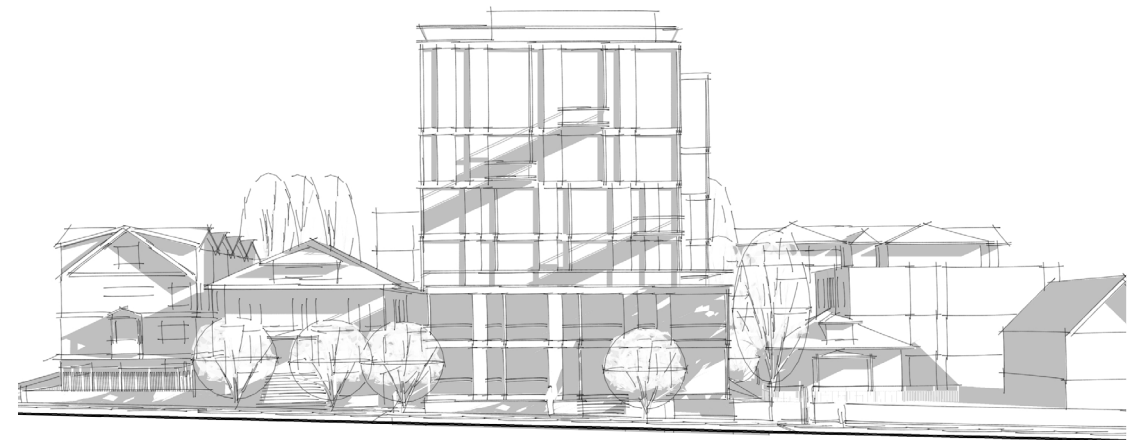
Level 2-3 Floor Plan



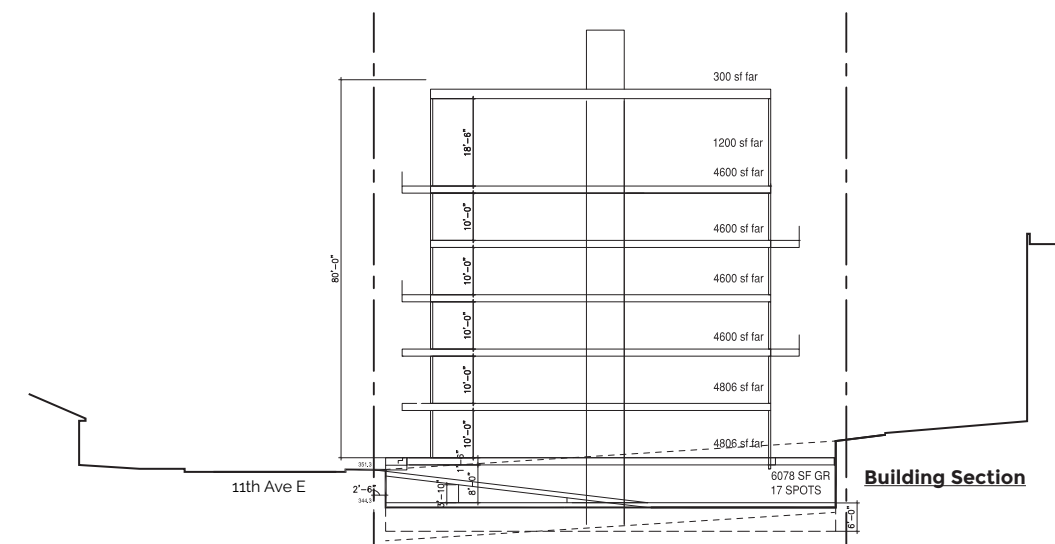
Ground Floor Plan



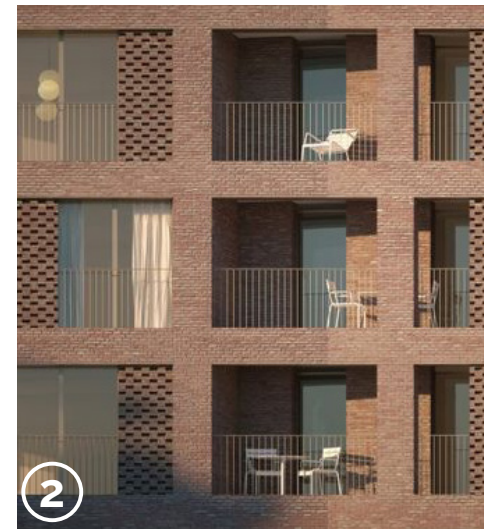
Aerial view of project from NW



View of street facing facade

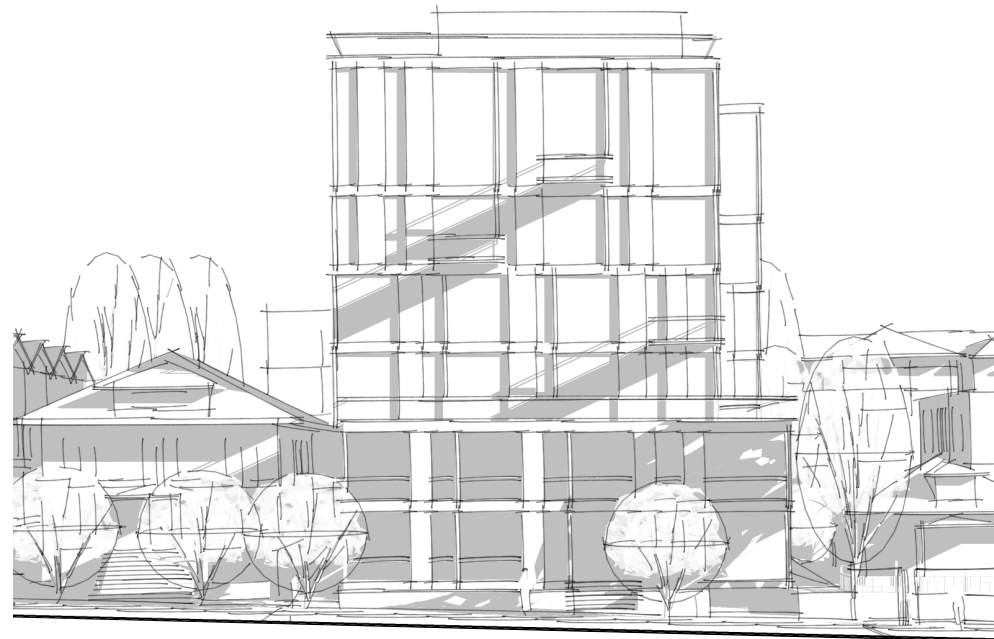


Building Section



LIGHT TOP
cement board clad-
ding, ample glazing
facing the street &
light steel balconies

SOLID BASE
brick masonry base
with deep inset
balconies and patios
that will rest on short
concrete foundation to
ground the project to
the site



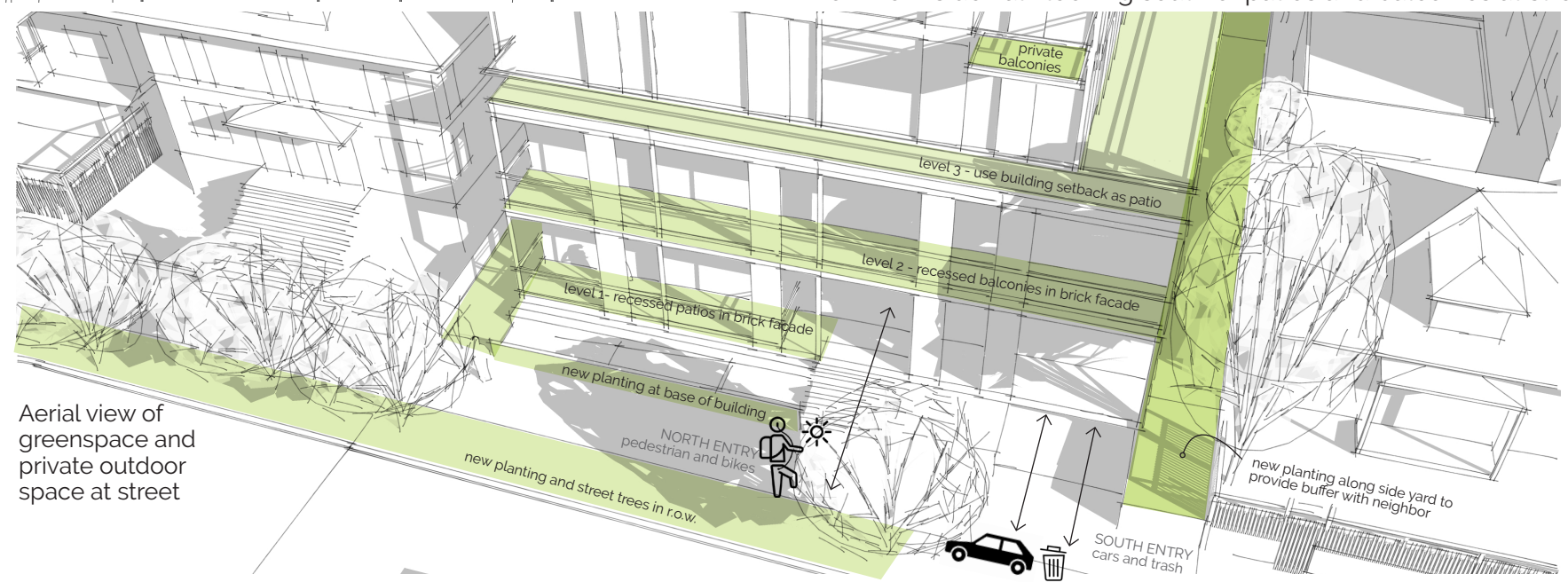
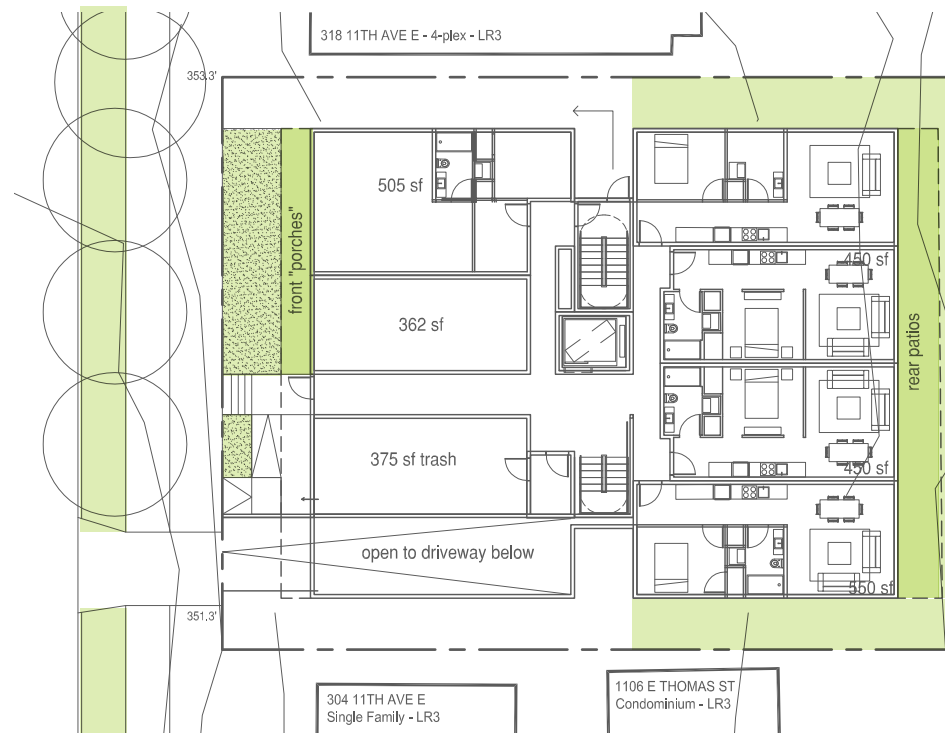
Materiality Development

- 1 Concept - light & clean stacked on brick
- 2 Recessed brick balconies
- 3 Clean cement board on brick base
- 4 simple ordered facade with playful moments
- 5 Large voids and openings in mass
- 6 Wide concrete steps at sidewalk
- 7 Inviting entry with signage and wayfinding



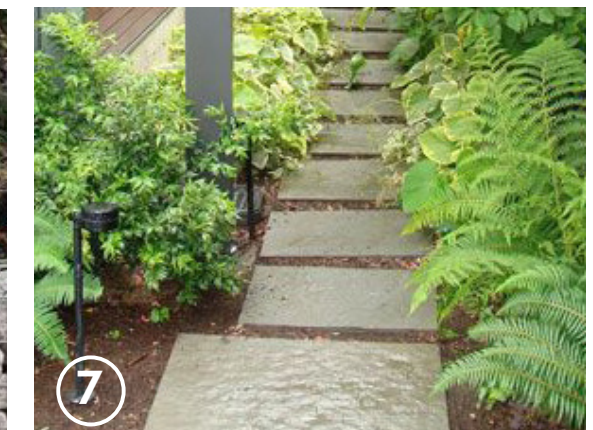
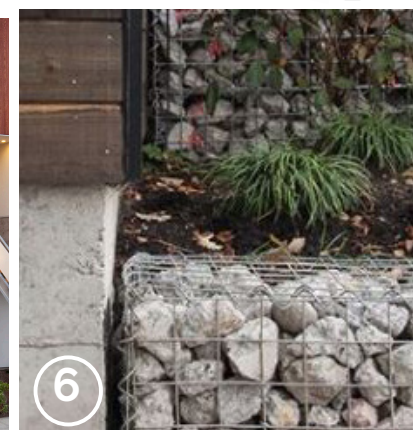
6

7



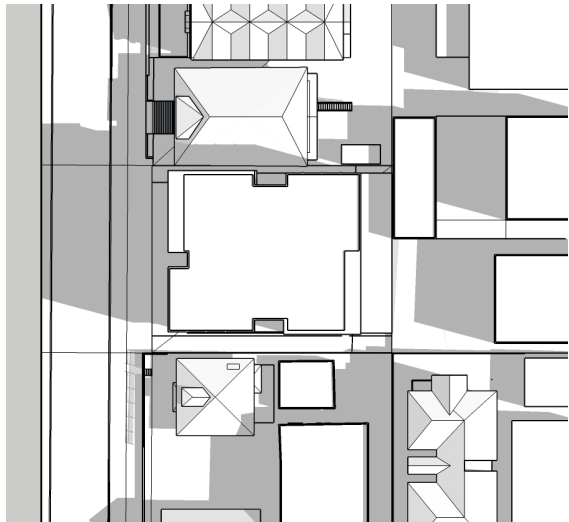
Landscape Development

- 1 Mix of low gabion walls, trees and plants
- 2 Stoops that are slightly raised above sidewalk
- 3 Rear patios that are intimate but comfortable
- 4 Architectural paving, low concrete walls and wood accents
- 5 Residences that engage with sidewalk
- 6 Material palette of gabion, concrete, low maint plant
- 7 Architectural pavers on rear patios and side paths





solstice morning



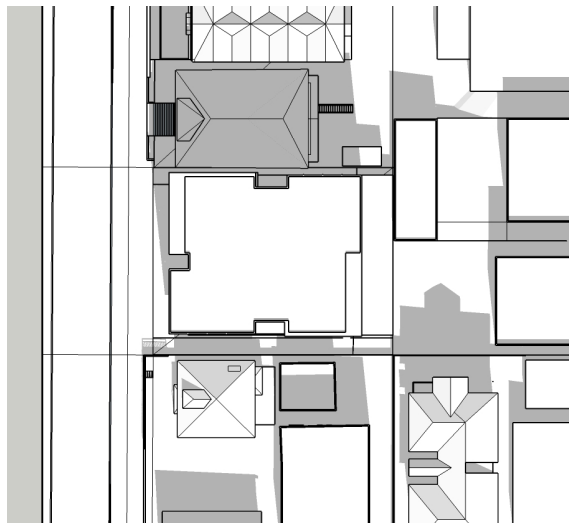
summer morning



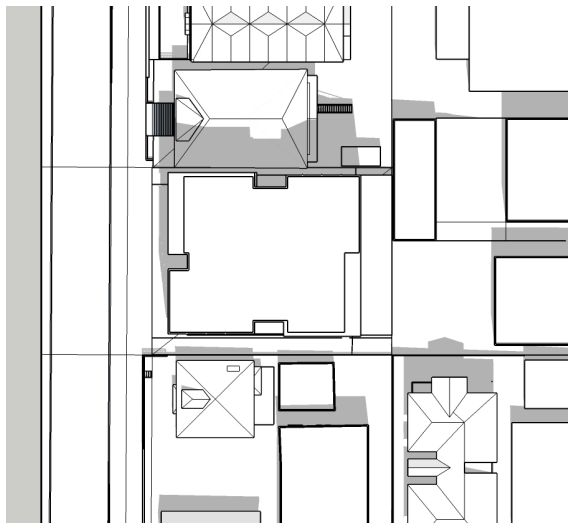
winter morning

1. The Splits

Solar study times:
9am, 12pm, 3pm on
3/21, 6/21, 12/21



solstice noon



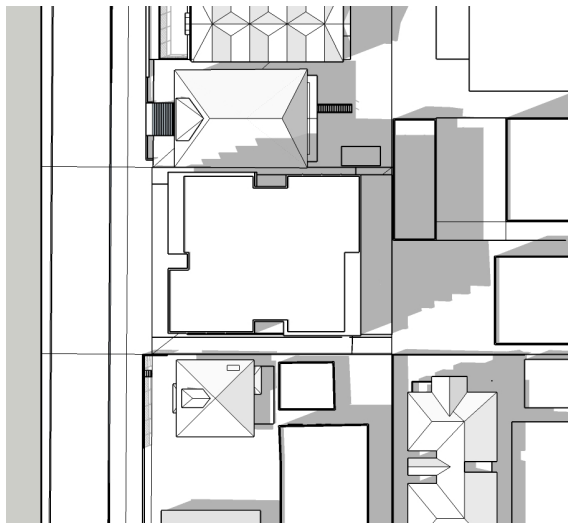
summer noon



winter noon



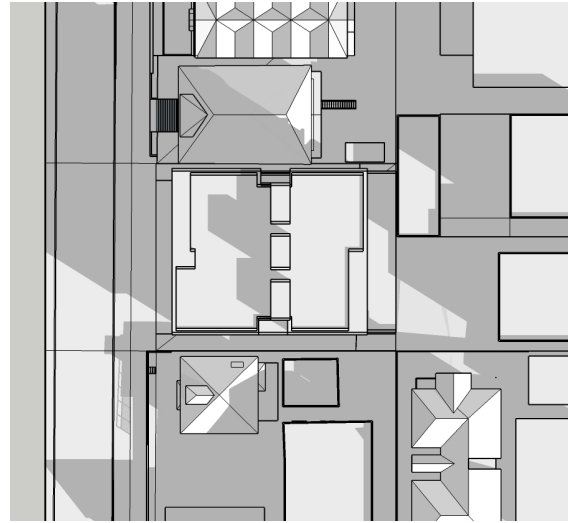
solstice afternoon



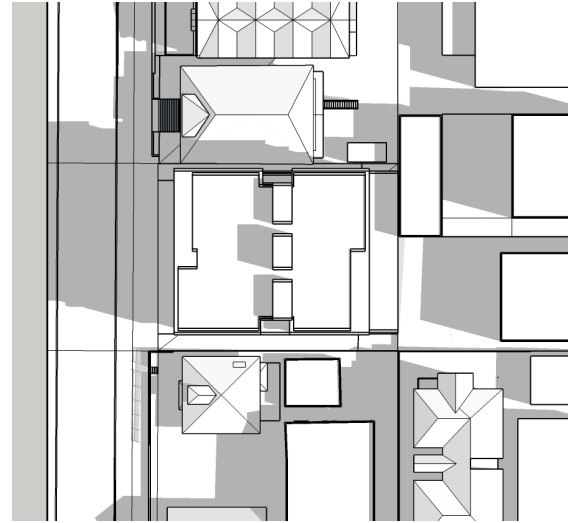
summer afternoon



winter afternoon



solstice morning



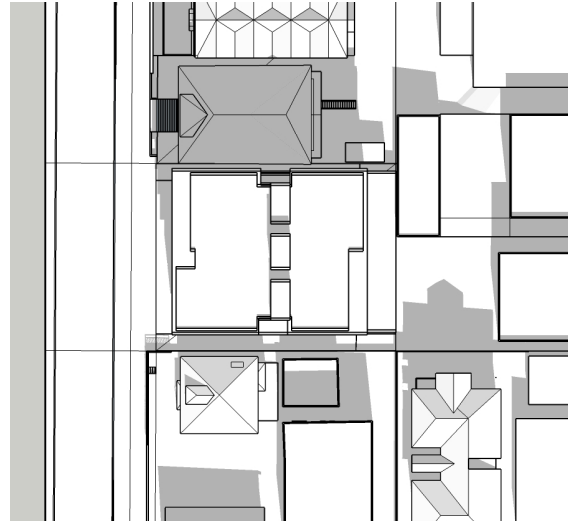
summer morning



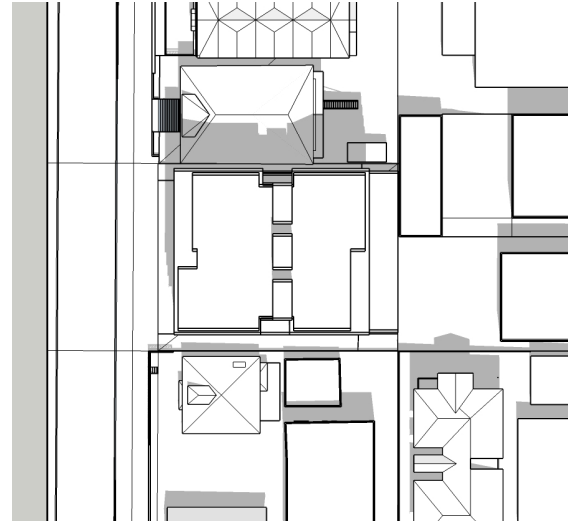
winter morning

2. Lift Tuck

Solar study times:
9am, 12pm, 3pm on
3/21, 6/21, 12/21



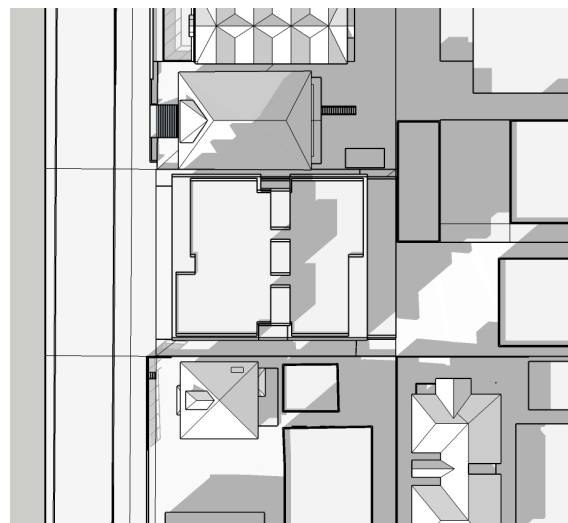
solstice noon



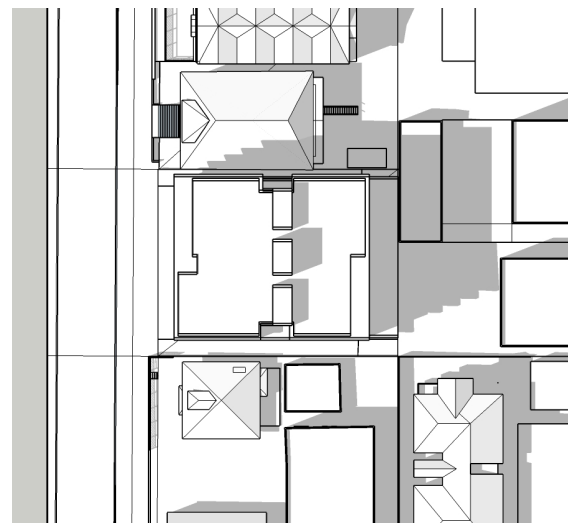
summer noon



winter noon



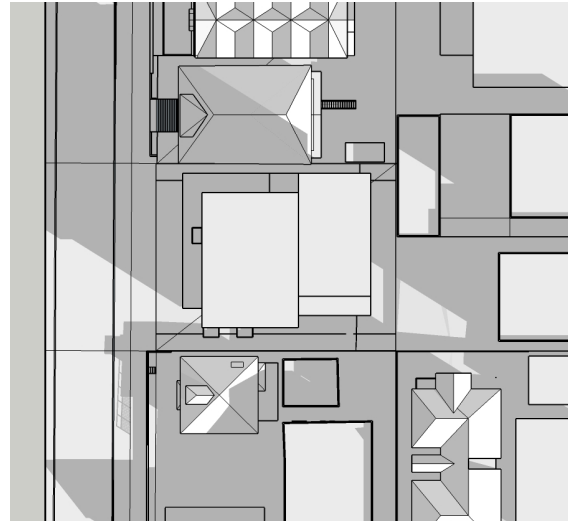
solstice afternoon



summer afternoon



winter afternoon



solstice morning



summer morning



winter morning

3. Stack n Shift

Solar study times:
9am, 12pm, 3pm on
3/21, 6/21, 12/21



solstice noon



summer noon



winter noon



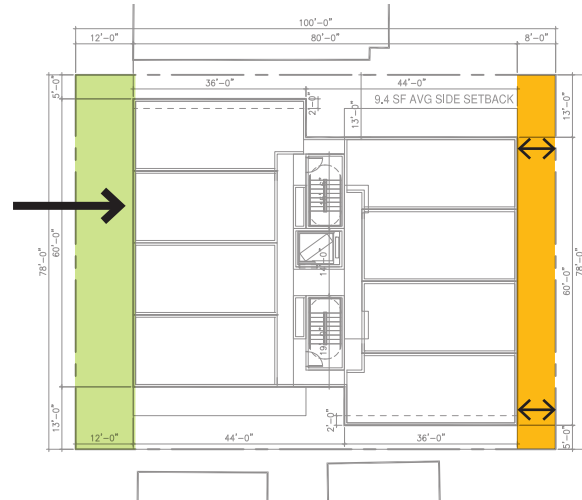
solstice afternoon



summer afternoon



winter afternoon



Departure #1 - Rear Setback

Per SMC.23.45.518 - Table A
15'-0" rear yard setback required.

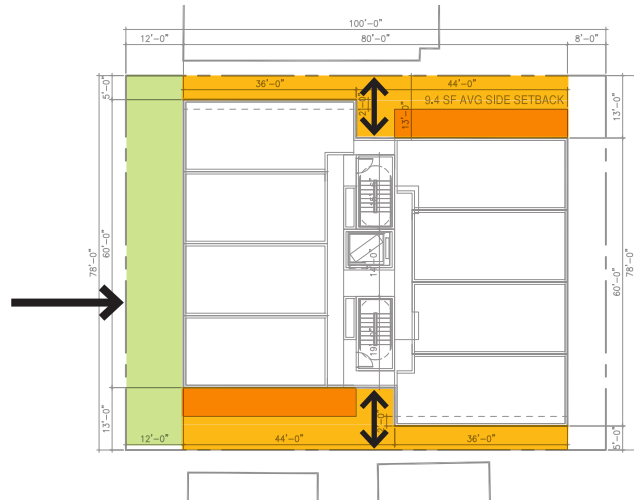
8'-0" setback provided - 47% departure required

Rationale

CS2.C.2 - Relationship to the block - Mid-Block Sites

The project requires a departure from the rear setback requirements in order to provide as much open space as possible at the front of the site to more closely align with the neighboring buildings to the north and south.

At levels 1 and 2 the project features a 6' setback, a 20% increase in the required front yard setback and at the upper levels features a 12' setback, a 240% increase in the minimum required setback.



Departure #2 - Side Setback

Per SMC.23.45.518 - Table A
below 42' tall a 5'-0" minimum / 7' average side setback required

above 42' tall a 7'-0" minimum / 10' average side setback is required.

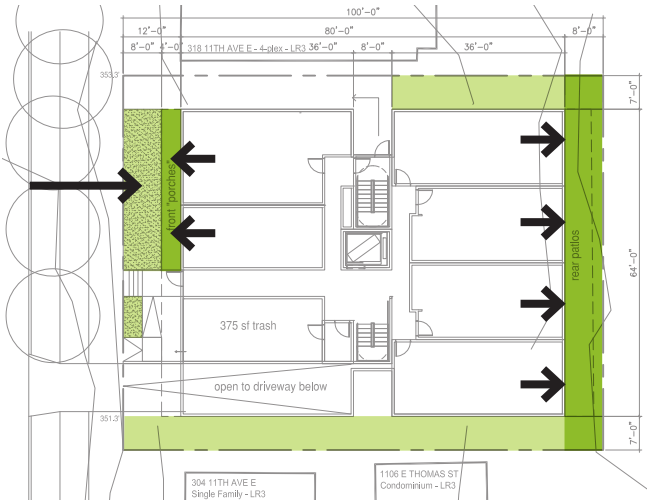
above 42' - 9.4' avg provided - 6% departure required
above 42' - 5' min provided - 21% departure required

Rationale

DC2.A.2 - Reducing Perceived Mass

The project requires a departure from the side setback requirements above 42' tall due to a 12% increased average side setback requirements below 42' of 7.8' and a 260% increase in the minimum setback requirements above 42' with a 13' provided setback.

The current setbacks provided result in a more dramatic reduction in overall perceived mass than the code compliant required setbacks as required.



Departure #3 - Amenity Area

Per SMC.23.45.522
in MR zones 5% of the gross floor area shall be provided as amenity area for the residents of the building with half of that area as common amenity area at the ground level that is accessible to all units. this common area shall be at least 250sf and have a horizontal dimension of at least 10'.

30k sf res area = 1,500 sf amenity area required
(750 sf at the ground level)

The project current meets the total area req. (890sf ground area required) but only 264 square feet is provided (65% departure) as common and has a minimum dimension of 8' (20% departure).

Rationale

CS2.C.2 - Relationship to the block - Mid-Block Sites

The project is requesting a departure from the amenity area requirements at the ground level (size and dimension) because of the increased front setback that has been provided to more closely align with the neighbors to the north and south.

Furthermore, ample ground floor amenity area has been provided in the form of private patios and common area has been provided that is 20% below the required 10' dimension. Finally, a 1200 square foot roof deck has been provided that will provide residents a place to gather in an out door setting.