



## PIONEER HUMAN SERVICES PIONEER BELMONT

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1717-1723 BELMONT AVE  
SEATTLE, WA 98122

SDCI PROJECT #3028324

ADMINISTRATIVE PACKET

SUBMITTED DATE: 08/06/2018



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## 2.0 | TEAM OVERVIEW

### SMR ARCHITECTS

For forty years, SMR Architects has been crafting inspired structures where people want to live, learn, work and play. With a focus on the people who ultimately use a building, our structures provide a place for life to happen, they interact with and enrich the neighborhoods in which they're a part. Our team's collaborative approach, experience and sustainable philosophy helps us serve both our clients and the community, always putting people first.

### PIONEER HUMAN SERVICES

Pioneer is an entrepreneurial human service organization that provides a chance for change to people overcoming the challenges of criminal histories, substance use disorders and mental health issues by offering treatment, housing, training and employment services. We specialize in helping people who want to turn their lives around, make better choices and live healthier lives.



CANADAY HOUSE | SOUTH LAKE UNION



PLYMOUTH ON FIRST HILL | FIRST HILL



PANTAGES HOUSE | CAPITOL HILL



PAT WILLIAMS APARTMENTS | SOUTH LAKE UNION

**BUILDING FOOTPRINT**

6,044.00 sq. ft.

**TOTAL BUILDING AREA**

42,096.96 sq. ft.

**HEIGHT**

71'-1 3/4" (75'-0" max. allowed)

**TOTAL AREA TOWARDS FAR**

40,473.45 sq. ft.

**FAR**

4.04 (4.25 max. allowed)

**UNIT COUNT**

90

**VEHICLE PARKING**

0

**BIKE PARKING**

80

**TOTAL AREA TOWARDS AMENITY**

41,074.58 sq. ft.

**REQUIRED AMENITY (5%)**

2,053.73 sq. ft. minimum per Code  
2,220.19 sq. ft. provided  
46.05 % Enclosed

**REQUESTED DEPARTURES**

West/Rear Setback  
North/Side Setback  
Refer to Pages 50-53



AERIAL PHOTO OF SITE 9-BLOCK AREA

# 4.0 | CONTEXT ANALYSIS

**SITE:**

**ADDRESS:**

1717-1723 Belmont Ave Seattle, WA 98122

**ZONE:**

Mid-Rise (MR); Capitol Hill Urban Village / Station Area Overlay District





**SITE AREA:**

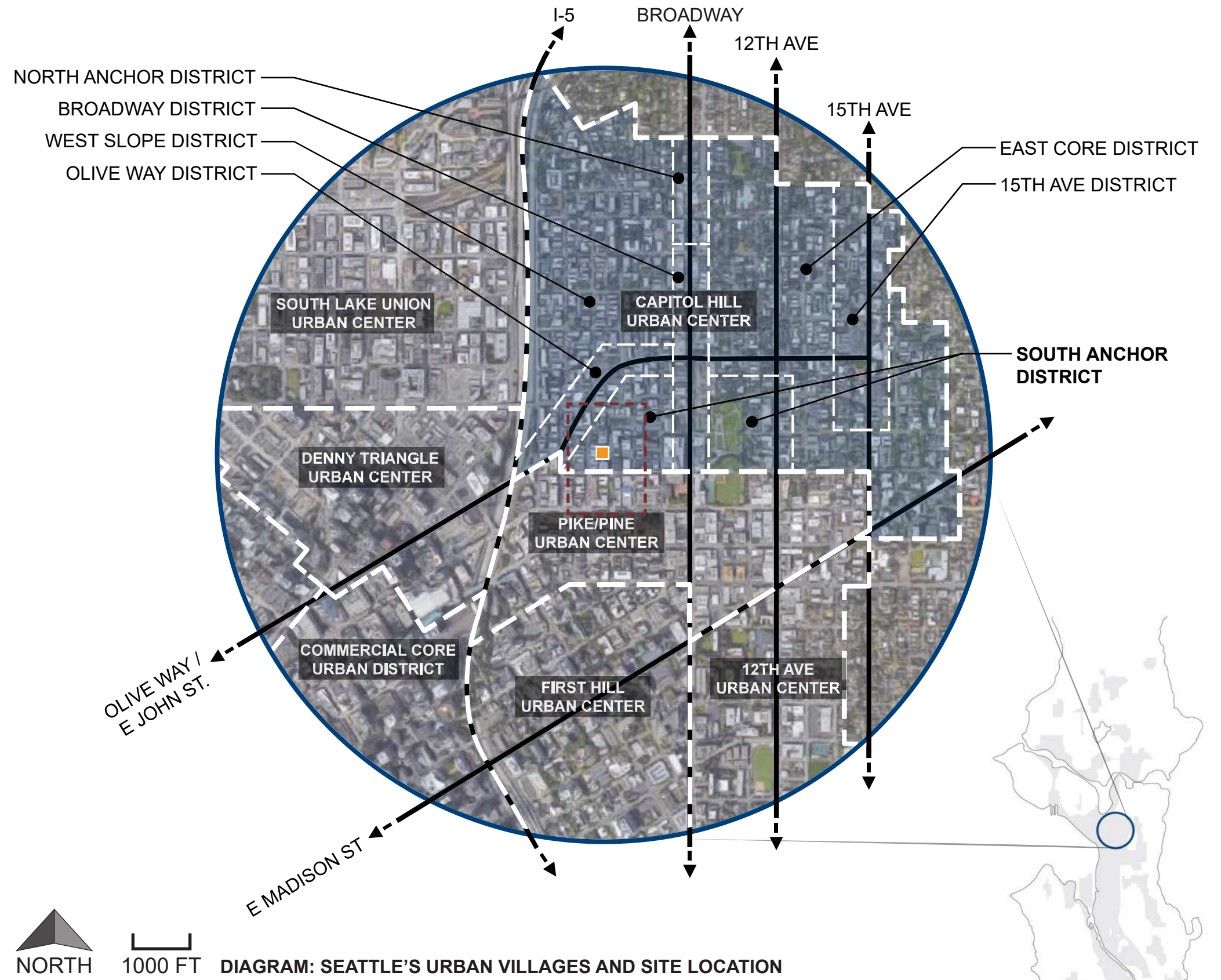
10,024 sq ft

**SUMMARY**

The site is located in the Capitol Hill Urban Village, specifically in the South Anchor District between the Olive Way corridor and Broadway corridor. The neighborhood is mainly characterized by mixed-use apartment buildings and restaurants on high-traffic arterial streets with apartment buildings of varying scales on the blocks in between the arterial streets.

**LEGEND**

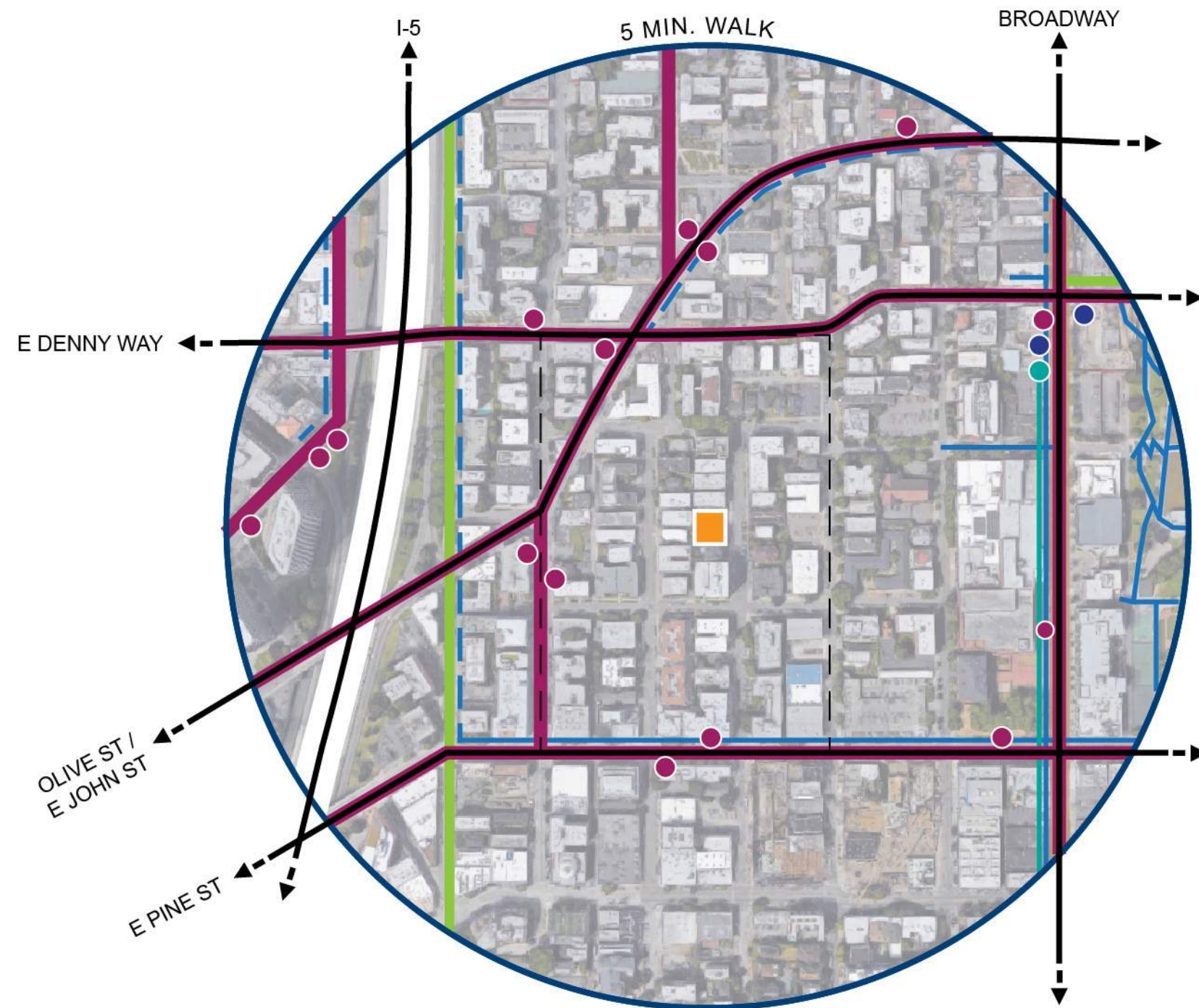
-  CAPITOL HILL URBAN CENTER + DISTRICTS
-  OTHER URBAN CENTER
-  MAJOR ARTERIAL
-  SITE



**SURROUNDING TRANSIT USE:**

**SUMMARY**

Since the site is located in the Capitol Hill Urban Village, there are many options for public transit. Just a short walk away, occupants of the proposed design have access to multiple bus routes, the link light rail, and streetcar.



**LEGEND**

- METRO BUS ROUTE
- LINK LIGHT RAIL STATION
- FIRST HILL STREETCAR
- 9 BLOCK BOUNDARY
- FUTURE GREENWAYS
- BIKE ROUTES
- BIKE-FRIENDLY STREET
- SITE



DIAGRAM: TRANSIT OPPORTUNITIES

# 4.0 | CONTEXT ANALYSIS

## SURROUNDING USES AND GREEN SPACE:

### SUMMARY

Since the site is located in the Capitol Hill Urban Village, the occupants of the proposed design will have access to many parks and amenities. There are a number of grocery stores, medical facilities, entertainment spaces, and other places where they can engage with the neighborhood's community in the surrounding area.

### LEGEND: AMENITIES

- ① CITY MARKET
- ② GHOST GALLERY
- ③ GOODWILL
- ④ RITE AID
- ⑤ PHOENIX COMICS & GAMES
- ⑥ SEATTLE CENTRAL COLLEGE CAMPUS
- ⑦ BROADWAY PERFORMANCE HALL
- ⑧ CAPITOL HILL FARMER'S MARKET
- ⑨ WALGREENS
- ⑩ SIFF CINEMA EGYPTIAN
- ⑪ LINDA'S TAVERN
- ⑫ QFC + STARBUCKS
- ⑬ NEUMOS CONCERT HALL
- ⑭ ELLIOT BAY BOOK COMPANY
- ⑮ SEATTLE U CAMPUS
- ⑯ RIVAL FITNESS
- ⑰ TRUE LOVE ART GALLERY
- ⑱ UNION PARK GROCERY + DELI
- ⑲ SWEDISH FIRST HILL
- ⑳ VIRGINIA MASON HOSPITAL + SEATTLE MEDICAL CENTER
- ㉑ ACT THEATRE
- ㉒ WA STATE CONVENTION CENTER
- ㉓ REGAL CINEMAS
- ㉔ WESTLAKE CENTER
- ㉕ 24HOUR FITNESS
- ㉖ YOUTH CASCADE PEOPLE'S CENTER

### LEGEND: GREENSPACE

- ① CAL ANDERSON PARK
- ② BOBBY MORRIS PLAYFIELDS
- ③ SUMMIT SLOPE PARK
- ④ CASCADE PLAYGROUND + CASCADE PATCH
- ⑤ PLYMOUTH PILLARS PARK
- ⑥ FIRST HILL PARK
- ⑦ FREEWAY PARK
- ⑧ SEATTLE U's UNION GREEN + THINKING FIELD
- ⑨ JAPANESE AMERICAN REMEMBRANCE GARDEN
- ⑩ SPRING STREET MINI PARK
- ⑪ MCGILVRA PLACE
- ⑫ TT MINOR PLAYFIELD
- ⑬ BROADWAY HILL PARK
- ⑭ THOMAS STREET GARDENS

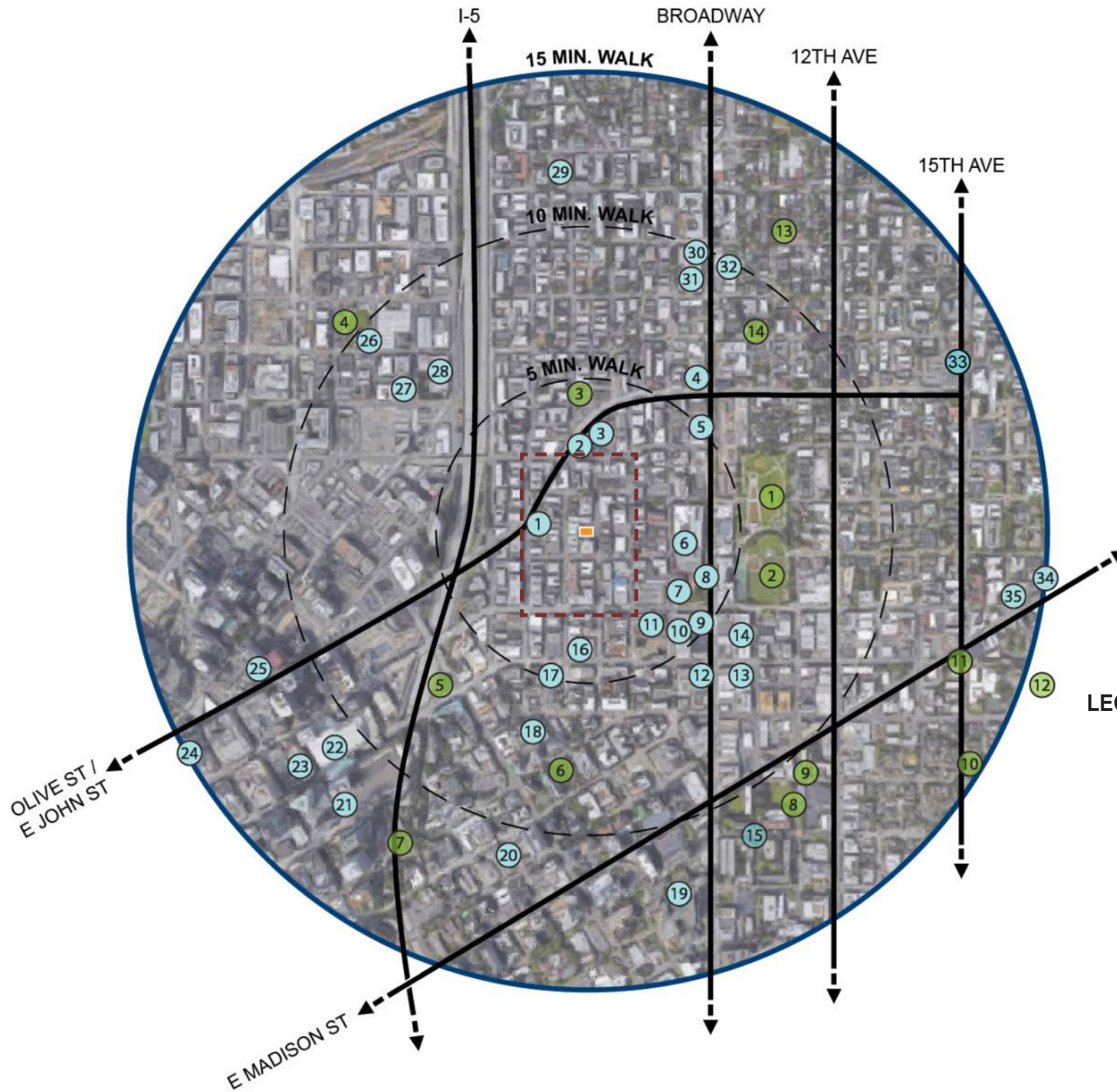


DIAGRAM: AMENITIES AND GREENSPACE

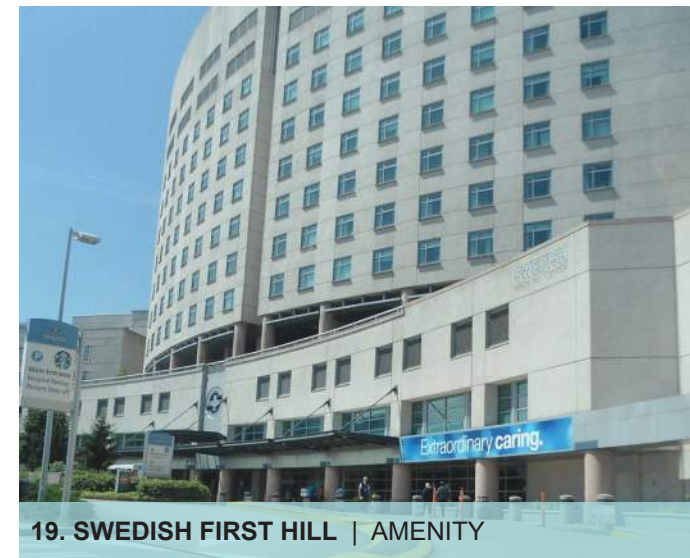




6. FIRST HILL PARK | GREENSPACE



1. CAL ANDERSON PARK | GREENSPACE



19. SWEDISH FIRST HILL | AMENITY



2. BOBBY MORRIS PLAYFIELDS | GREENSPACE



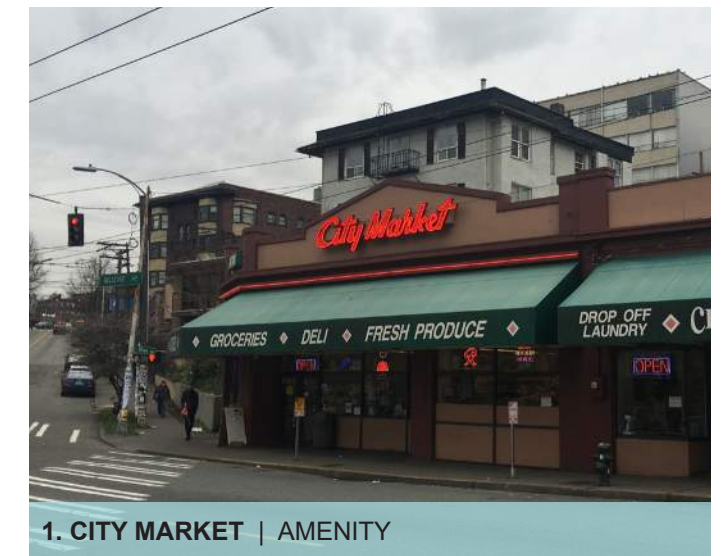
8. CAPITOL HILL FARMER'S MARKET | AMENITY



18. UNION PARK GROCERY + DELI | AMENITY



12. QFC + STARBUCKS | AMENITY



1. CITY MARKET | AMENITY



4. CASCADE PLAYGROUND + CASCADE PATCH | GREENSPACE



9. WALGREENS | AMENITY



8. SEATTLE U's UNION GREEN | GREENSPACE

# 4.0 | CONTEXT ANALYSIS

## SURROUNDING STRUCTURES:

### SUMMARY

The masonry buildings that anchor this section of Belmont Ave have a strong influence on the neighborhood's architectural context. The developments that have followed them throughout the years have reflected their character, having symmetrical facades and more architectural detail at the ground level to improve the pedestrian experience. There are existing courtyards in the neighborhood that enhance the public experience. While they are meant mainly for the building's residents to enjoy the courtyard still provides greenery and landscaping for public enjoyment.

The proposed design draws from the existing architectural context by reflecting the height, bulk and scale of the masonry buildings, exploring symmetrical façade layouts, pulls the massing back from the street to allow for pedestrian relief at a residential courtyard and respecting the single family building to the south by providing a larger setback.

- CS2-1: Streetscape Compatibility
- CS2-C-2: Mid-Block Site
- CS2-3: Height, Bulk, and Scale
- PL2-1: Human Scale
- DC-A-2: Reducing Perceived Mass
- DC3-1: Residential Open Space

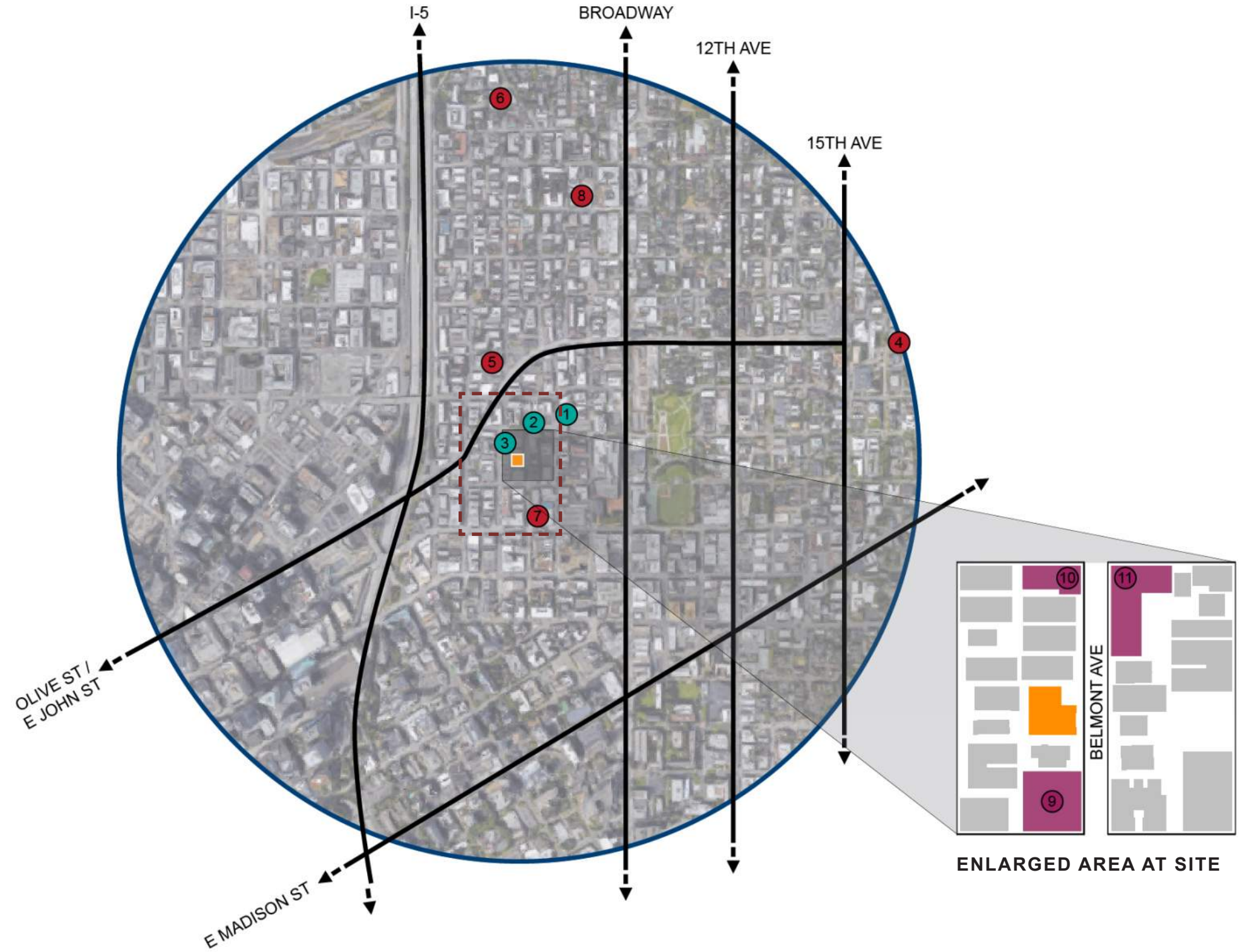


DIAGRAM: NOTABLE ARCHITECTURE AND SITING PATTERNS



1. 600 E HOWELL ST | ASSYMETRICAL



2. 1728 SUMMIT AVE



3. 1820 BOYLSTON AVE

Contemporary buildings in the vicinity have design a brick base with a relatively planar middle of a different material. 2 has a distinct cornice. 3. has a setback roof deck.



4. ANHALT APTS. | STREET COURTYARD



5. BILTMORE APTS. | STREET COURTYARD



6. THE SUMMIT APTS. | STREET COURTYARD



7. 1610 BELMONT AVE | STREET COURTYARD

Existing courtyards in the neighborhood are primary used for entrance and passive greenspace relief. They are lacking activity and engagement for the residents and pedestrians.



8. 512 BOYLSTON AVE | STREET COURTYARD



9. CHARBERN APTS | SYMMETRY, DATUM LINES



10. EMERALD ARM APTS. | SYMMETRY



11. GRENADA APTS. | SYMMETRY, DATUM LINES

Detailed base & top; planar middle facade with punched windows - Simple Design. Center entrance/portal with detailing

## 4.0 | CONTEXT ANALYSIS

### ENTRY/BASE ANALYSIS PHOTOS:



HUDSON APARTMENTS



CONRAD APARTMENTS



CHARBERN APARTMENTS



CORINTHIAN APARTMENTS



STEPHENSBERG APARTMENTS



LENAWEE APARTMENTS



EMERALD ARM APARTMENTS



PAT WILLIAMS APARTMENTS



GRANADA APARTMENTS

**CONTEXT TOP ANALYSIS PHOTOS:**



BELMONT AVE WEST



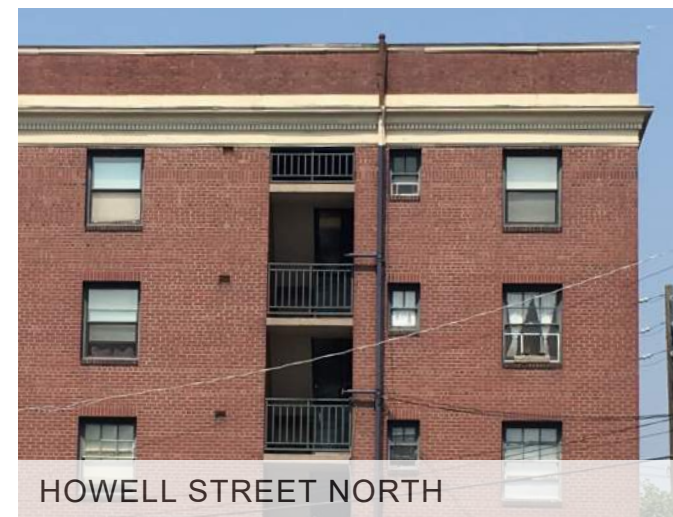
CHARBERN APARTMENTS



CONRAD APARTMENTS



STEPHENSBERG APARTMENTS



HOWELL STREET NORTH



LENAWEE APARTMENTS



GRANADA APARTMENTS



SUMMIT AVE EAST



SUMMIT AVE EAST



# 4.0 | CONTEXT ANALYSIS

## 9-BLOCK SITE CONTEXT:

### SUMMARY

Centrally located in a MR-60 zone, the site is surrounded by existing buildings that reflect the height and scale. The property is surrounded with existing multi-family buildings. New and upcoming redevelopment is occurring around the 9-block. One and a half blocks to the south and west, the zone changes to NCP-65 which can provide amenities for residential buildings.

- CS2-1: Streetscape Compatibility
- CS2-C-2: Mid-Block Site
- CS2-3: Height, Bulk, and Scale
- PL2-1: Human Scale
- PL2-2: Personal Safety and Security
- DC-A-2: Reducing Perceived Mass
- DC2-B-1: Façade Composition
- DC3-1: Residential Open Space

### LEGEND: STRUCTURE USE

- APARTMENT
- CONDOMINIUM
- MIXED USE APARTMENT
- MULTI-FAMILY HOUSE
- SINGLE-FAMILY HOUSE
- HOTEL
- RETAIL/WHOLESALE
- PARKING
- TAVERN / RESTAURANT
- GROCERY
- OFFICE

### LEGEND: ZONING

- MR
- NC-65
- NCP-65
- STREET TREES / GREEN SPACE

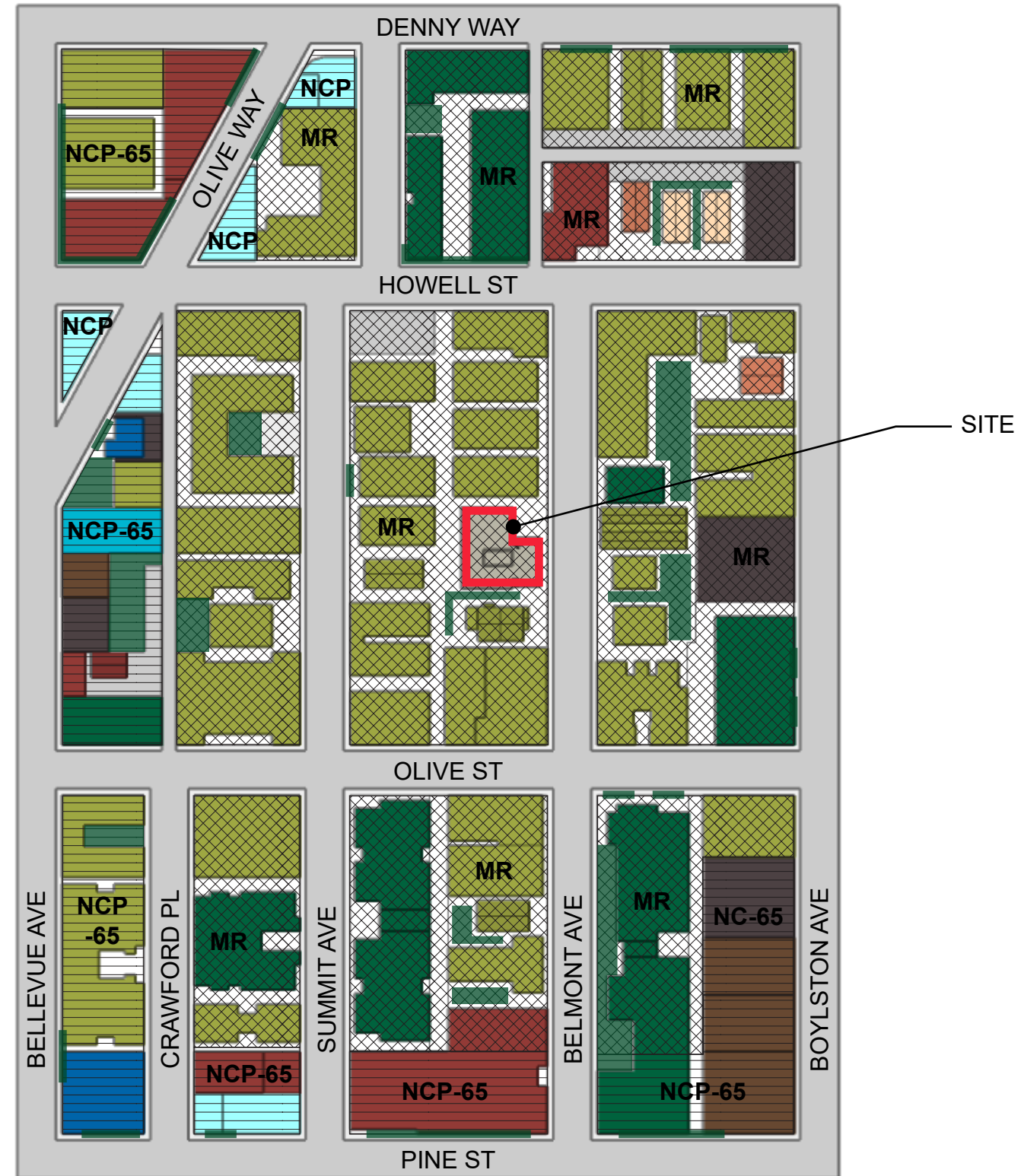
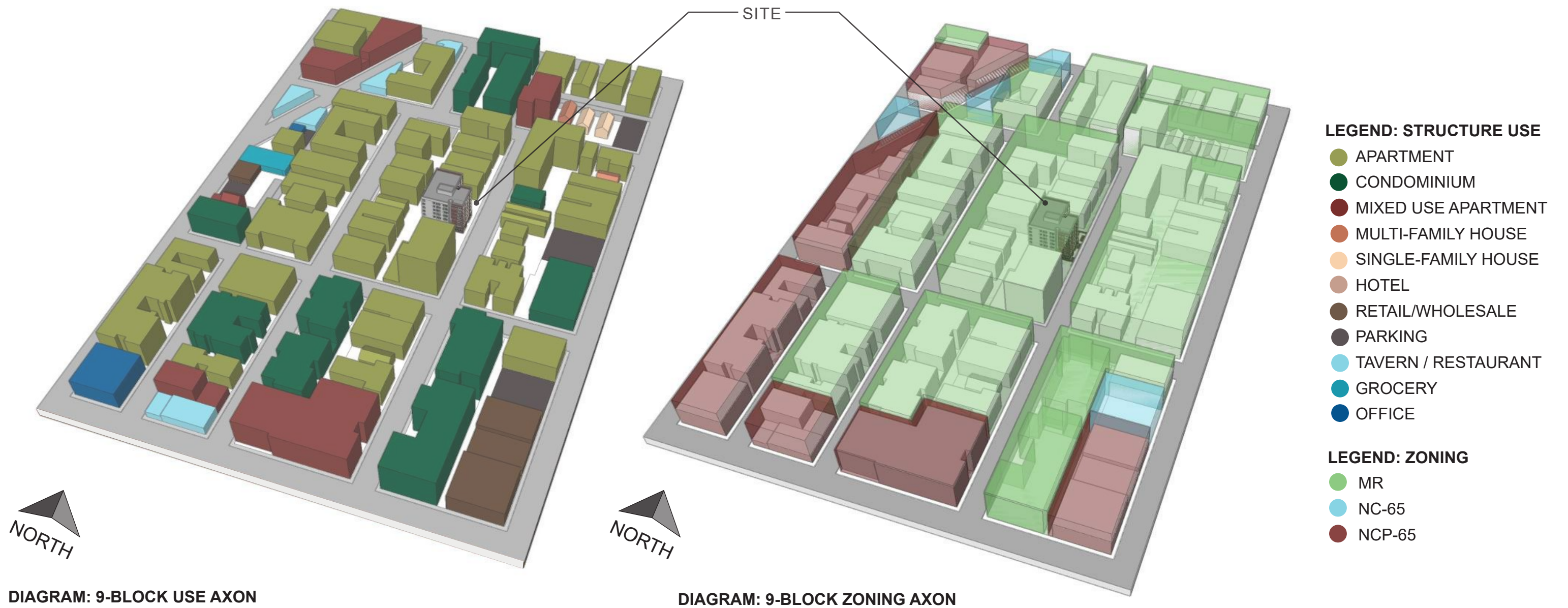


DIAGRAM: 9-BLOCK VICINITY PLAN



## 5.0 | EXISTING SITE CONDITIONS

### SURROUNDING STRUCTURES:

#### SUMMARY

The proposed street frontage height, bulk and scale mirror the existing masonry buildings along the block and how they meet the sidewalk. Extra relief will be provided to the pedestrian with the courtyard. This mid-block courtyard will be an added bonus to this block which is currently lacking green space. It will also connect to the tree canopy at the north end of the block at Howell Street and the courtyards on a block to the south.

*CS2-1: Streetscape Compatibility*

*CS2-C-2: Mid-Block Site*

*CS2-3: Height, Bulk, and Scale*

*PL2-1: Human Scale*

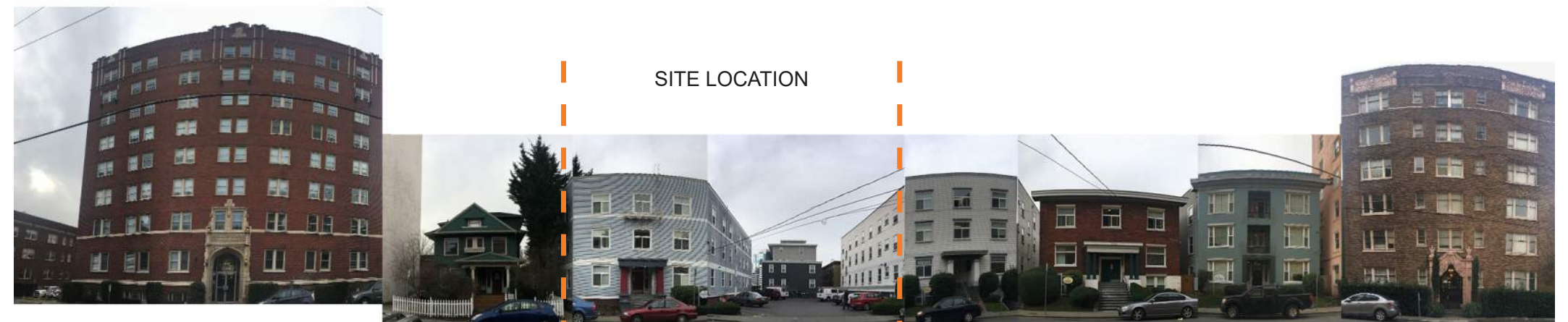
*DC-A-2: Reducing Perceived Mass*

*DC2-B-1: Façade Composition*

*DC3-1: Residential Open Space*



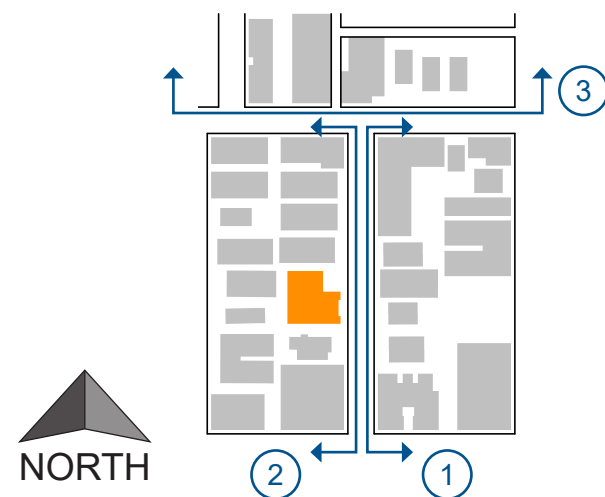
① BELMONT AVE LOOKING EAST



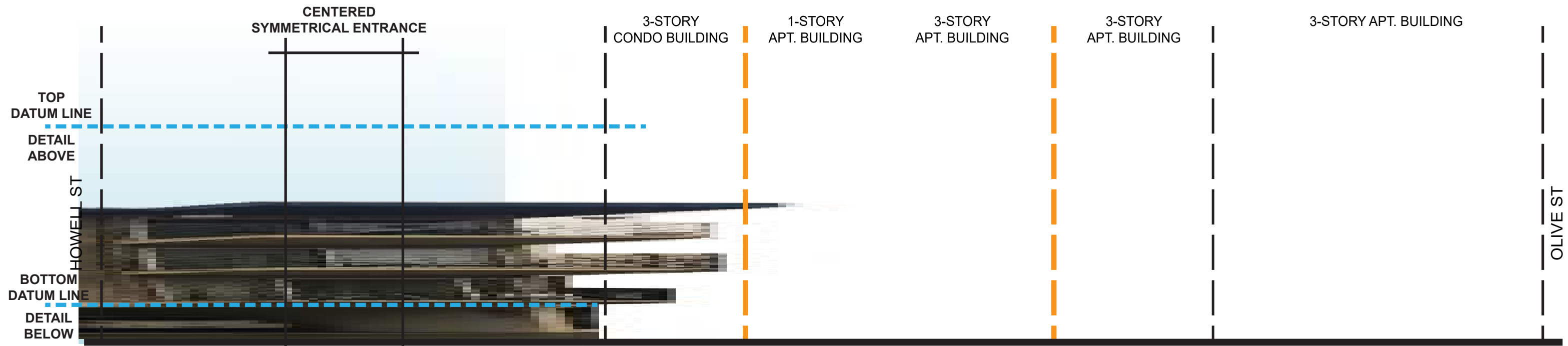
② BELMONT AVE LOOKING WEST



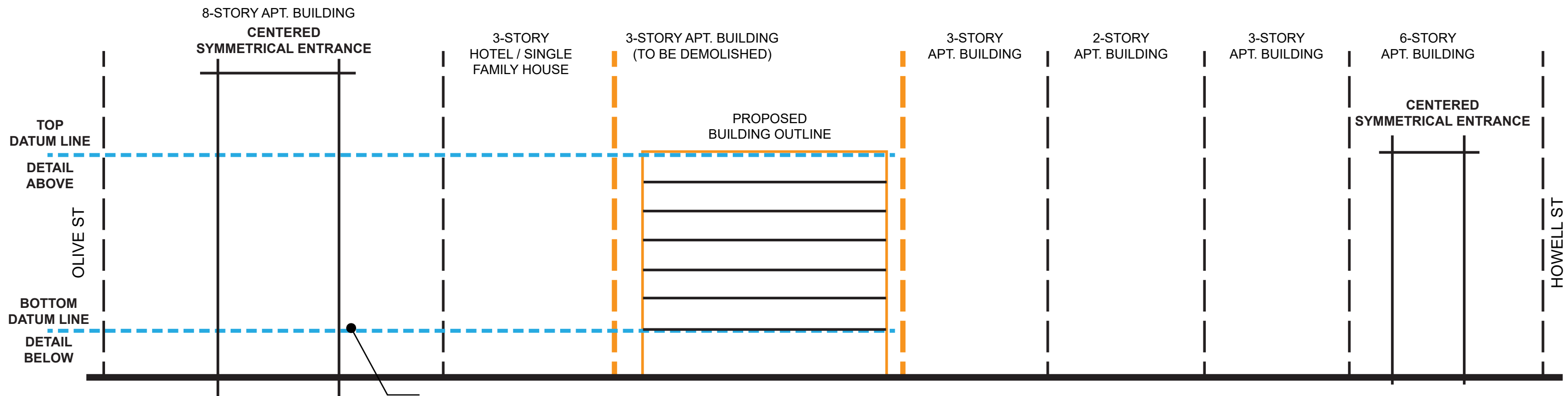
③ HOWELL ST LOOKING NORTH







1 DIAGRAM: BELMONT AVE STREETSCAPE LOOKING EAST



2 DIAGRAM: BELMONT AVE STREETSCAPE LOOKING WEST

## 5.0 | EXISTING SITE CONDITIONS



LOOKING NORTH ON BELMONT AVE



LOOKING SOUTH ON BELMONT AVE



LOOKING SOUTH ON BELMONT AVE



LOOKING INTO THE SITE FROM BELMONT AVE



SOUTHERN PROPERTY - VEGETATIVE BARRIER



SOUTH PROPERTY LINE

**LAND USE CODE**

**Parcel A:** 1723 Belmont Ave: 8804900675

**Parcel B:** 1717 Belmont Ave: 8804900680

**Legal Description:**

**Parcel A:** Lot 5, block 10, supplementary plat of union addition to the City of Seattle, according to the plat thereof recorded in volume 9 of plats, page 12, in King County, Washington.

**Parcel B:** Lot 6, block 10 supplementary plat of union addition to the city of Seattle, according to the plat thereof recorded in volume 9 of plats, page 12, in King County, Washington.

**Lot Size:** 10,024 sq. ft. or 0.23 acres

**Zoning:** MR-60

**Overlay:** Capitol Hill Urban Village / Station Area Overlay District

**23.45.504 – Permitted and Prohibited Uses**

**B.** Residential uses and community centers are permitted in MR zones.

**23.45.510 – Floor Area Ratio (FAR) Limits**

**D.** The maximum FAR allowable for MR zones is 4.25 since the proposal complies with Chapter 23.58A. 10,024 sq. ft. x 4.25 = 42,602 sq. ft. Maximum allowable FAR.

**23.45.514 – Structure Height**

**B.** The maximum height allowable is 75 ft. above grade plane since the proposal complies with Chapter 23.58A and Section 23.45.516.

**J.2** Parapets on the roofs of principal structures may extend 4 feet above the maximum height limit.

**J.5** In MR zones, the following stairs, elevators, and other building components may extend 15 feet above the applicable height limit if the combined total coverage of all features does not exceed 20 percent of the roof area, or 25 percent of the roof area if the total includes screened mechanical equipment.

**23.45.516 – Additional Height and Extra Residential Floor Area in MR Zones**

**B.1** The property in subject is eligible for extra residential floor area and additional height because it is in an MR zone, urban village, and in the Station Area Overlay District. The property does not abut a lot zoned single-family.

**23.45.518 – Setbacks and Separations**

**Table B**

The front setback from street lot lines is 7-foot average/5-foot minimum. No setback is required if a courtyard abuts the street and the courtyard has a minimum width equal to 30 percent of the width of the abutting street frontage or 20 feet, whichever is greater; and a minimum depth of 20 feet measured from the abutting street lot line.

The rear setback is 15 feet from a rear lot line that does not abut an alley.

The side setback from an interior lot line is 7-foot average/5-foot minimum for portions of the structure 42 feet or less in height and 10-foot average/7-foot minimum for portions of the structure above 42 feet in height. All common areas are greater than 250 sq. ft. and exceed the minimum horizontal dimension of 10'-0".

**23.45.522 – Amenity Area**

**C.** The required amount of amenity area in MR zones is equal to 5% of the total gross floor area of a structure in residential use.

**D.** All units have access to the common amenity area, and no more than 50% of the amenity area is enclosed.

**23.45.524 – Landscaping Standards**

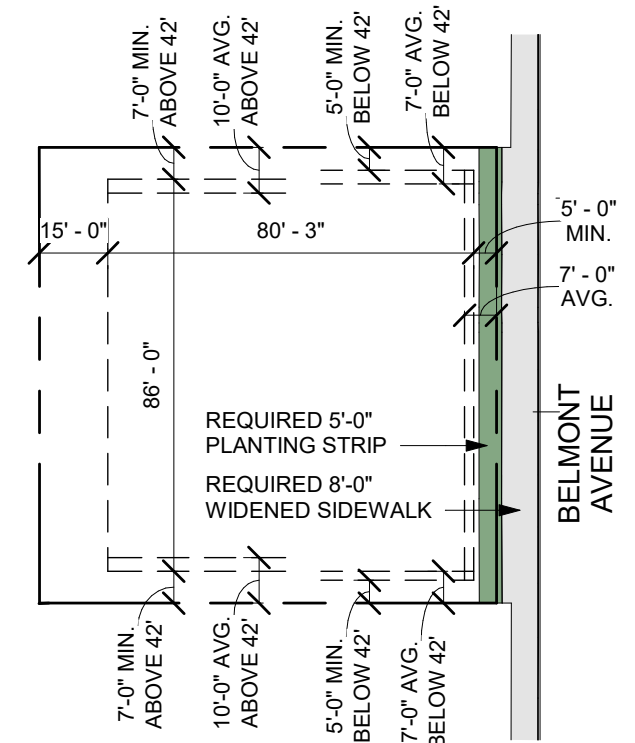
**A.2.b.** A Green Factor score of 0.5 or greater is met, as is determined in Section 23.86.019.

**B.3** Since there is no planting strip in the right-of way, a 5' setback is to be planted with street trees along the street lot line, as has been approved by SDOT.

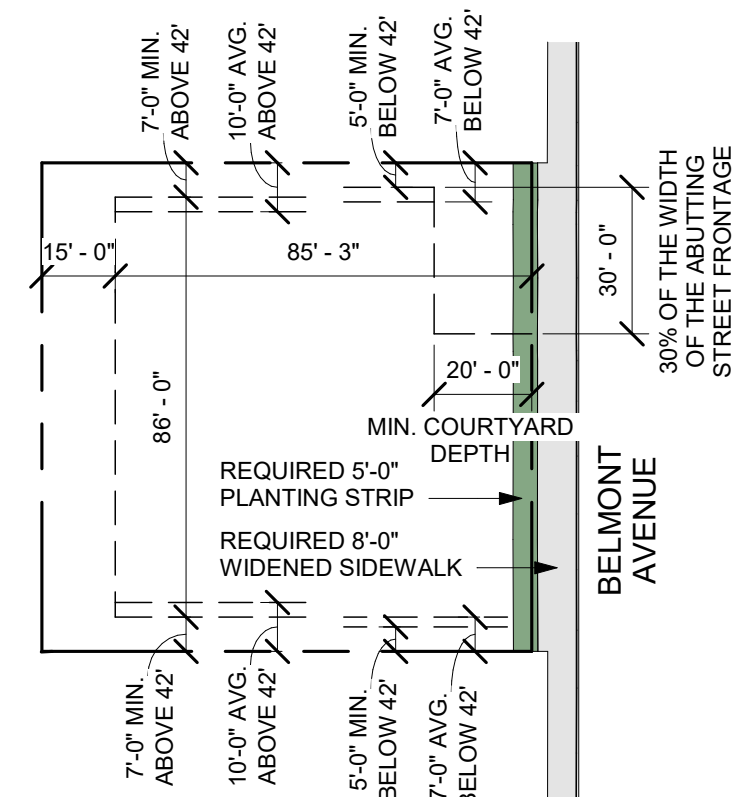
**23.54.015 – Required Vehicle Parking**

**Table B, Row L.** There is no minimum requirement for all residential uses within urban centers or within the Station Area Overlay District.

**Table D, Row D.2.** 1 bike parking space is required per 1 small efficiency dwelling unit.

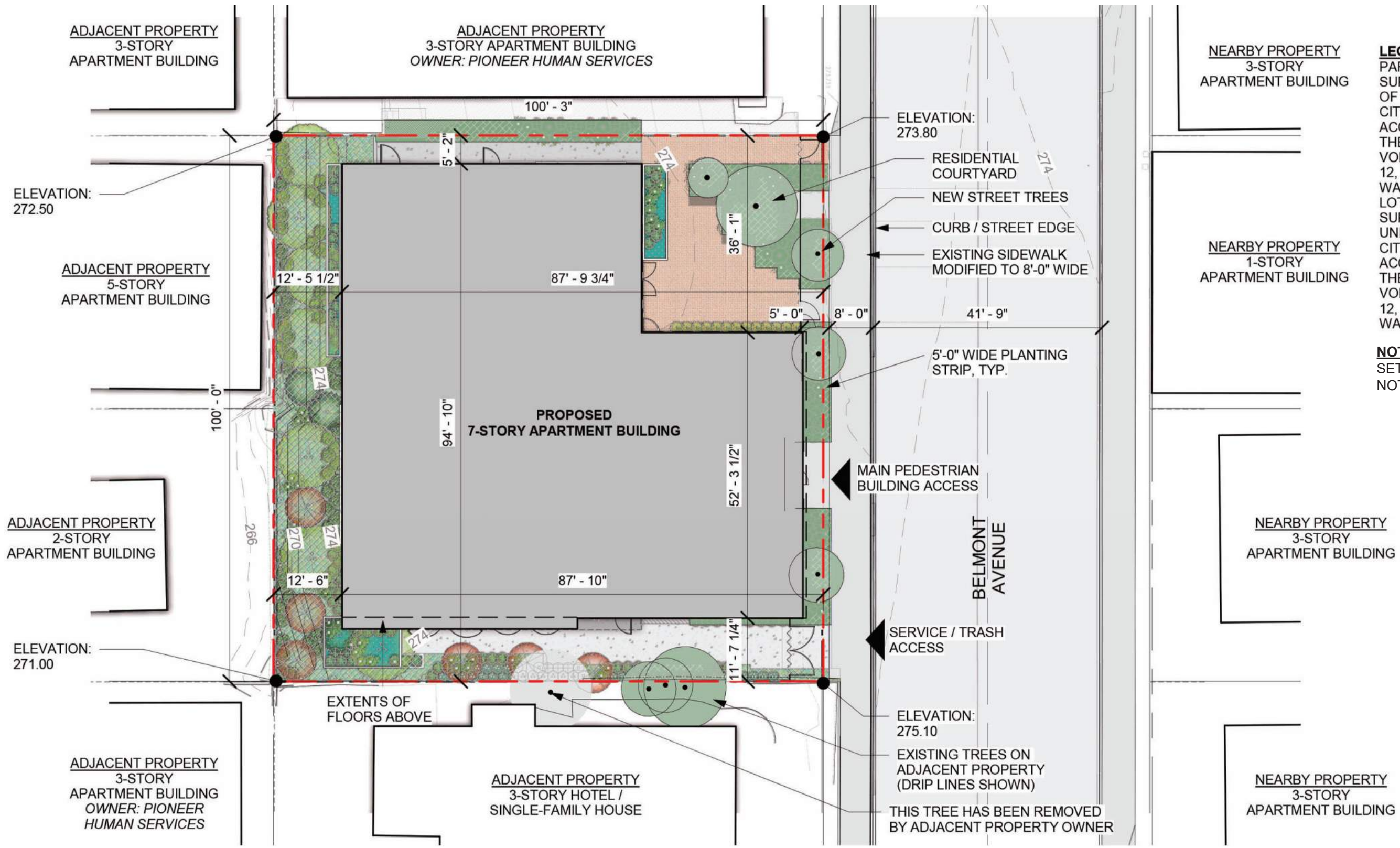


**DIAGRAM: TYPICAL SETBACKS**



**DIAGRAM: SETBACKS WITH COURTYARD**

# 7.0 | COMPOSITE SITE PLAN

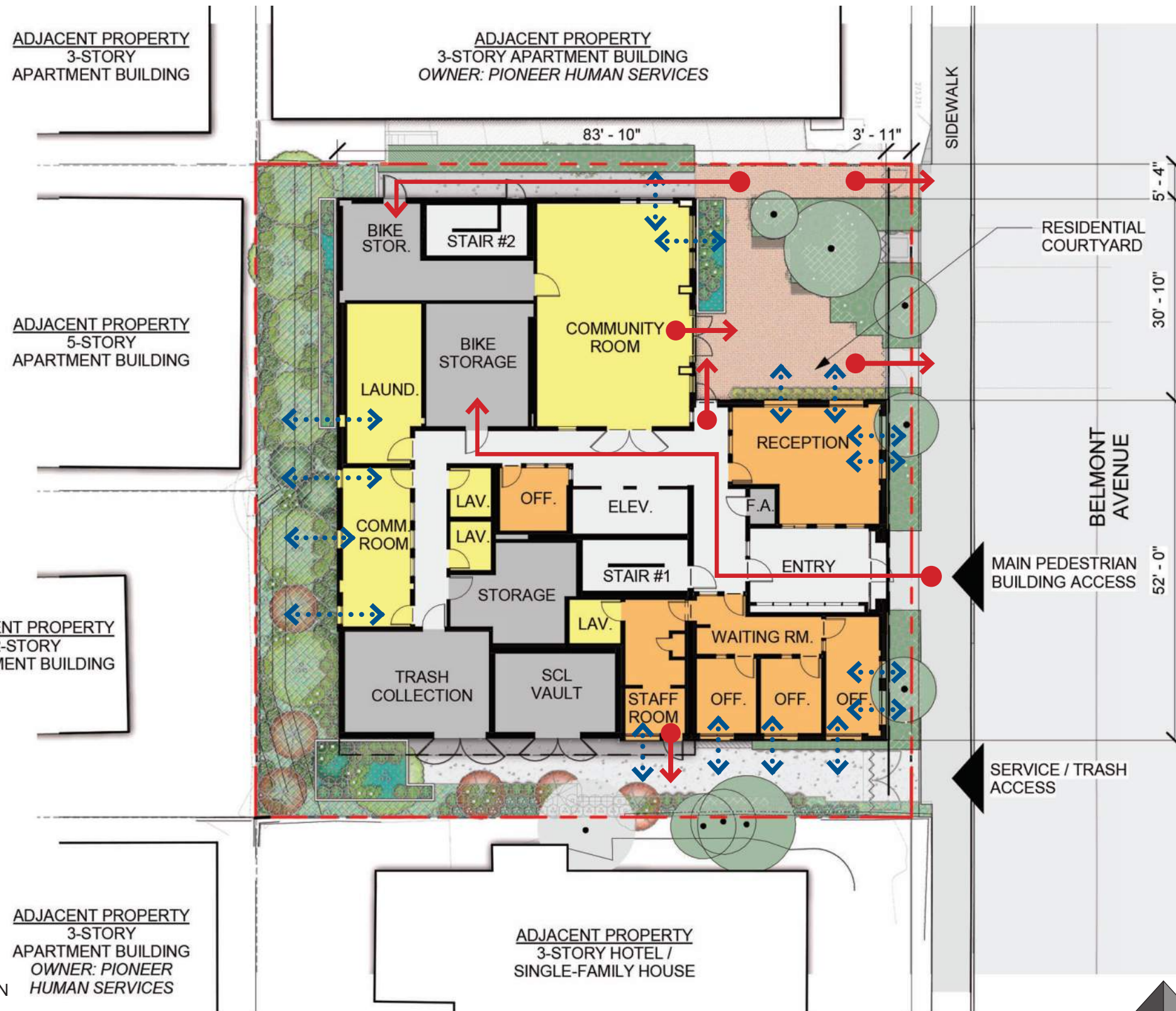


**LEGAL DESCRIPTION**  
 PARCEL A: LOT 5, BLOCK 10, SUPPLEMENTARY PLAT OF UNION ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 9 OF PLATS, PAGE 12, IN KING COUNTY, WASHINGTON. PARCEL B: LOT 6, BLOCK 10 SUPPLEMENTARY PLAT OF UNION ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 9 OF PLATS, PAGE 12, IN KING COUNTY, WASHINGTON.

**NOTE:**  
 SETBACK DIMENSIONS NOTED AT GROUND PLANE.



**SITE PLAN**



- LEGEND**
- CIRCULATION
  - RESIDENTIAL SPACES
  - COMMUNITY SPACES
  - STAFF SPACES
  - UTILITY SPACES

**DIAGRAM: SITE ACCESS**

<.....> VIEWS    ●→ PEDESTRIAN ACCESS



**SUMMARY**

The site is located mid-block and does not have alley access. Access to the site is limited to its eastern property line along Belmont Ave. Since the owner of this property also owns the site to the north and plans to develop that site in the future, it is beneficial to locate the courtyard to the north side of the site. Refuse and utilities are located on the south side of the property with the building separating them from pedestrians and from the street frontage.

**GROUND FLOOR ORGANIZATION**

The main entrance is centrally located on the main façade meeting the sidewalk. The recessed entry clearly identifies and provides protection. The large entry lobby is flanked with glazing to provide eyes on the street from management office. The offices continue along the south façade to provide ground level relief to the south and eyes on the limited access side yard. The active space continues along the courtyard with a multi-purpose community room for the residents. Pioneer Human Services provides support and continued engagement with programs. Educational programs, tenant engagement and a peaceful space utilize both the community room and the overflow space of the courtyard. The courtyard is directly accessed from the main community room as well as from the lobby allowing all tenants free and easy access to enjoy the courtyard. The resident laundry room and another intimate community room face west taking advantage of the views of the green space and setback. The utility spaces are located along the south façade off of the street scape to increase streetscape compatibility.

**RESIDENTIAL FLOOR ORGANIZATION**

The upper floors are efficiently organized with units facing all sides of the building engaging the views and creating interest on all façades.

- CS2-1: Streetscape Compatibility*
- CS2-C-2: Mid-Block Site*
- PL2-1: Human Scale*
- PL2-2: Personal Safety and Security*
- DC-A-2: Reducing Perceived Mass*
- DC1-2: Screening of Dumpsters, Utilities and Service*

# 8.0 | DESIGN REVIEW GUIDELINES

## CS2 URBAN PATTERN AND FORM

### CAPITOL HILL CS2-1: STREETScape COMPATIBILITY

The existing sidewalk remains in alignment while increasing to 8'-0" to meet the current standards. New street trees are placed in a 5'-0" wide planting strip between the building and sidewalk which will greatly improve the existing sidewalk. The massing of the building meets the street in as a vertical plane similar to the upfront design of the existing buildings along the block but provides relief with a street facing courtyard. The visual impacts of utilities and refuse are minimized by setting back on the southern property line to avoid fronting the street.



STREETScape COMPATIBILITY

## CS2 URBAN PATTERN AND FORM

### SEATTLE CS2-C-2: MID-BLOCK SITE

As seen below, masonry buildings anchor three corners of this block making a significant street presence. In response to these masonry buildings, this mid-block site will continue a strong street edge and propose to align with horizontal datum lines to regulate the façade at the base and top. The proposed street facade will be symmetrical and proportional reflecting the masonry facades.

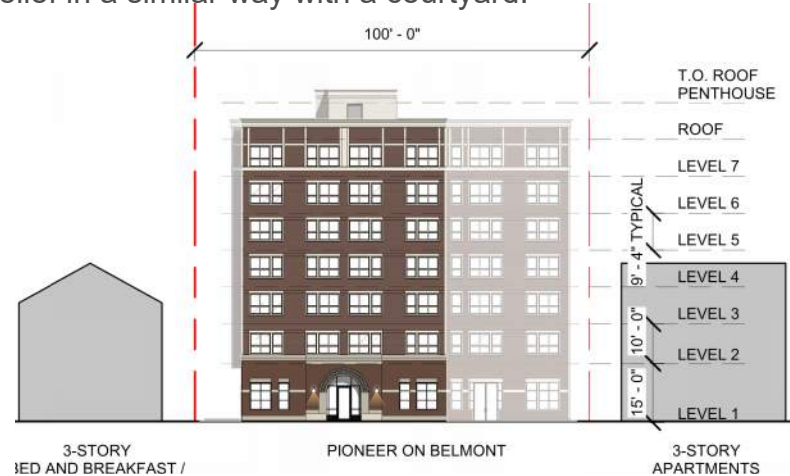


URBAN PATTERN AND FORM

## CS2 URBAN PATTERN AND FORM

### CAPITOL HILL CS2-3: HEIGHT, BUILD, AND SCALE

The street-facing mass and height of the proposed development is similar to the three masonry buildings along this block. A portion of the building steps back to create a relief courtyard almost exactly mid-block. The bulk and scale is minimized with the integration of the courtyard. A block to the south, a contemporary example provides relief in a similar way with a courtyard.



SITE MASSING + PROPORTIONS (LOOKING EAST)

## PL2 WALKABILITY

### CAPITOL HILL PL2-1: HUMAN SCALE

The building engages the pedestrian with material interest and detailing at the base with masonry; an entry portal reflects an intimate scale welcoming one into the building; setback the sidewalk is enhanced by planting strips, street trees and a large courtyard. The materials, scale and details and the street-level draws inspiration from the masonry buildings along this block to reflect human scale.



STREET LEVEL

## PL2 WALKABILITY

### CAPITOL HILL PL2-2 + SEATTLE PL2-B-1

### PEDESTRIAN OPEN SPACES AND ENTRANCES

The main building entry is clearly identified by immediately engaging the pedestrian at the sidewalk with a human scale arch. Centrally located along the main building mass, the slight setback draws the residents in to the entry portal. Transparent storefront glazing across the entire lobby with lighting both inside and out acts as a beacon along the mass of the masonry base. The resident courtyard enhances the sidewalk experience incorporating a mounded planting strip that draws the eyes in.



COURTYARD RENDER FROM SIDEWALK

## PL2 WALKABILITY

### CAPITOL HILL PL2-3 + SEATTLE PL2-B-1

### PERSONAL SAFETY AND SECURITY

The proposal will incorporate a proportional amount of transparent storefront on the ground level in order to give the management a clear view of the courtyard, south side yard and sidewalk. Lighting at the entry signify the entrance and low level bollards in the courtyard highlight the courtyard, providing a safe environment for pedestrians without being intrusive to neighboring properties. The courtyard will also be encompassed with transparent fencing and the community room to engage with the outdoor space.

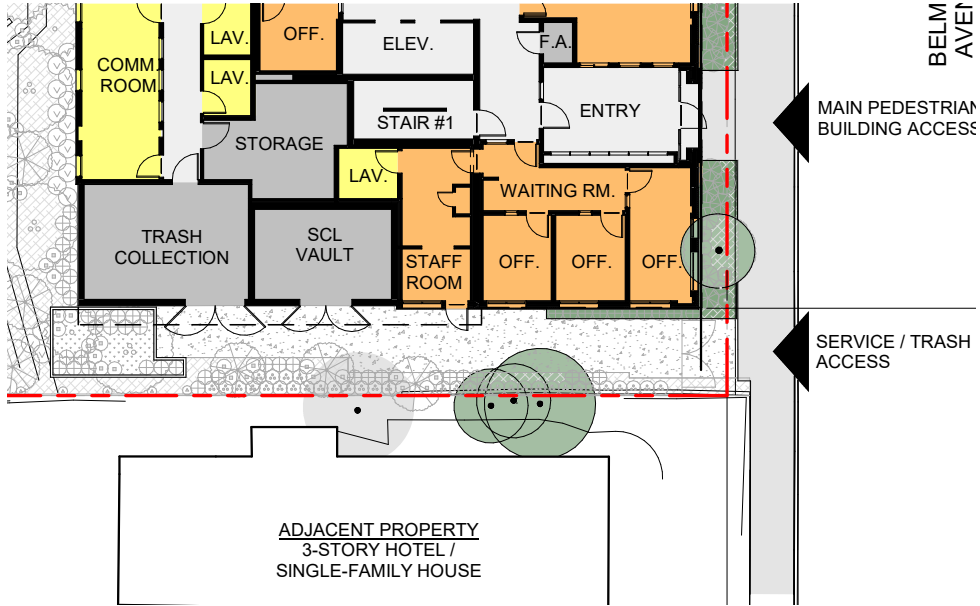


ENTRY

**DC1 PROJECT USES AND ACTIVITIES**

CAPITOL HILL DC1-2: SCREENING OF DUMPSTERS, UTILITIES, AND SERVICE AREAS

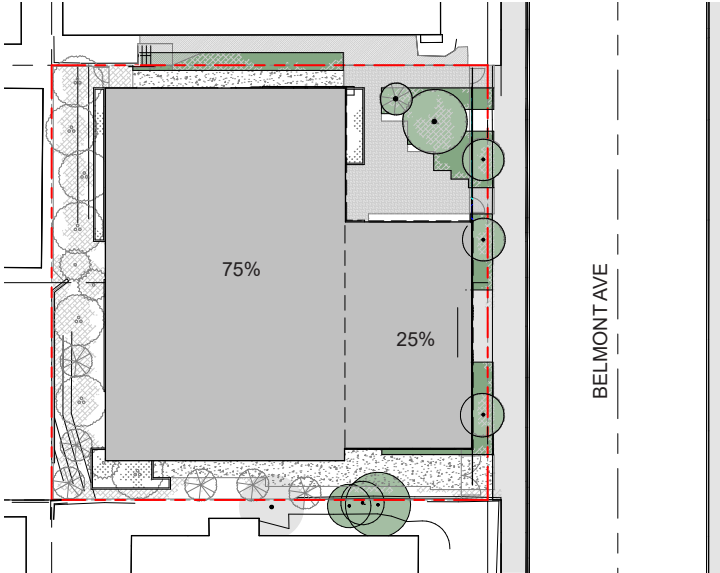
All the service areas will be located along the south façade and are pushed back from the street facing façade. Fencing and planting will be used to screen the areas from the adjacent property and sidewalk.



**DC2 ARCHITECTURAL CONCEPT**

SEATTLE DC2-A-2: REDUCING PERCEIVED MASS

Approximately 75% of the building has been pulled back from the street lot line in order to reduce the perceived mass and provide a landscaped courtyard. Instead of one large rectangular mass, the building is composed of two smaller masses arranged in an L-shape.

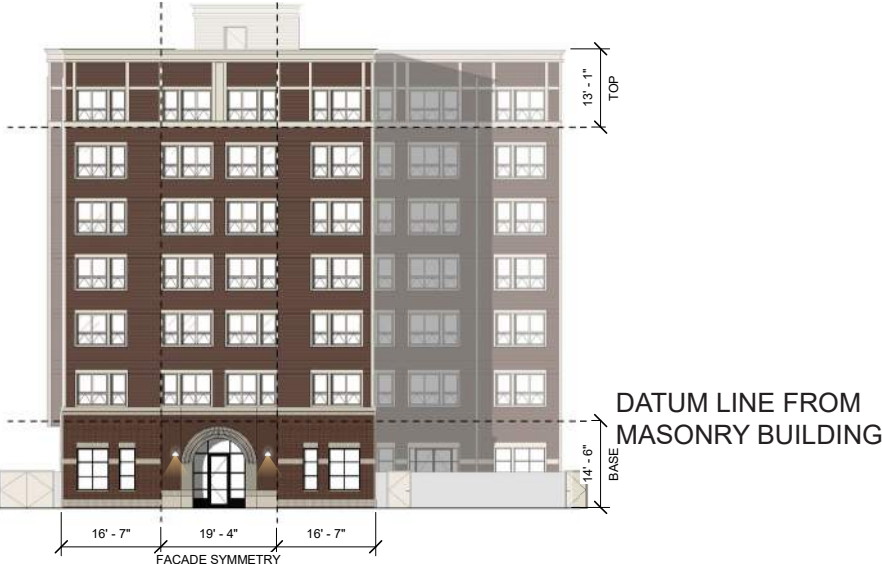


**REDUCING PERCEIVED MASS**

**DC2 ARCHITECTURAL CONCEPT**

SEATTLE DC2-B-1: FACADE COMPOSITION

The composition of the facades will reflect those of the masonry buildings along the block. Detail focused on the street/first level and entry as well as the top floor and cornice. The façade composition is symmetrical and regular with punched openings.



**RENDER FROM SIDEWALK**

**DC3 OPEN SPACE CONCEPT**

CAPITOL HILL DC3-1: RESIDENTIAL OPEN SPACE

There is currently no planting strip between the sidewalk and street on this block of Belmont Avenue and the sidewalk width is insufficient for current standards. As a result, there are very few street trees in the area. To accommodate street trees, the building is pulled back from the street lot line and a courtyard is incorporated to provide more opportunities for landscaping.



**EXTERIOR VIEW**

**DC4 EXTERIOR ELEMENTS AND FINISHES**

CAPITOL HILL DC4-II: EXTERIOR FINISH MATERIALS

The building materials at the base reflect the adjacent masonry building with accent bricks and detailed patterning. The entry is highlighted with an arched portal which reflects the residential entrances of the masonry buildings. Being a residential building, lap siding will be used for the middle and top of the building reflecting the masonry scale. The windows will be detailed as punched openings to create depth. The top floor will be highlighted with heavy trim detail and a heavy cornice

## 8.0 | RESPONSE TO EDG GUIDANCE

### 1. MASSING AND ARCHITECTURAL CONTEXT

c. The Board supported the recessed, central entry portal as it responds well to the rhythm of entries along the block frontage. (CS3-A-1, PL2-I-i, PL3-A-1, PL3-A-2, PL3-A-4, DC2-D-1)

Response: Per the Board's recommendation, the central entry portal will remain part of the design, and has been developed further into a brick archway that responds to the neighborhood context.

d. The Board did not support the ground level setback and overhanging upper level along the street edge as the "floating mass" fails to respond to the immediate architectural context and contributes to a more institutional or commercial character, rather than residential. The Board directed the applicant to eliminate the ground level setback, while acknowledging SDOT's comments regarding providing space to accommodate street trees – see Item #4, Landscaping, below. (CS3-A-1, DC2, DC2-C-3)

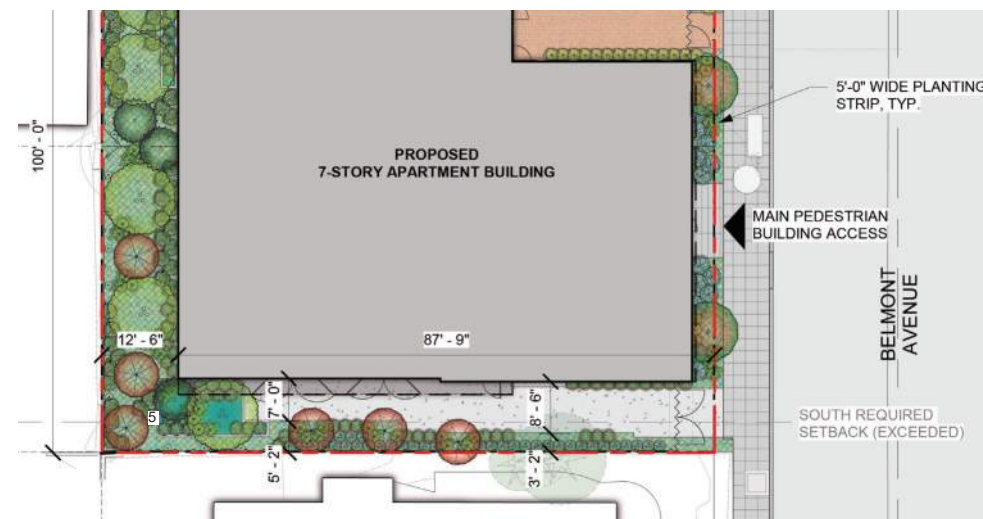
Response: The ground level setbacks and overhang on the street (east) side have been eliminated per the Board's direction. The upper levels were shifted back to align with the ground level allowing for planting and street trees.



1e. SETBACKS AND FOOTPRINT COMPARISON

e. The Board indicated they would be open to a departure from the required rear setback if the departure contributes to the resolution of guidance regarding the ground level setback and provision of street trees. The Board noted that street trees should not be located beneath an upper level overhang. (CS3-A-1, DC2, DC4-D-1, DC4-D-3)

Response: Resolution of the design after elimination of the ground level setbacks as suggested by the Board (item 1.d) results in the need for a departure from the rear setback by 2'-6". In addition, these design changes create more space for the street trees, which will no longer be located under an overhang.



1f. SOUTH SETBACK

f. The Board supported the increased setback along the south property line as it responds to the scale of existing development to the south and is sensitive to the existing mature trees on the adjacent site. (CS2-D-1, CS2-D-5, DC3-II-ii)

Response: The increased setback along the south property line on the ground floor will remain, per the Board recommendation. The landscaping has been increased in a stepped fashion to allow for additional screening to the neighbor and buffer from the existing mature trees.

(Please note the adjacent south neighbor has since removed one of the large deciduous trees from their property. The evergreen trees remain.)

### 2. FACADE COMPOSITION

a. The Board strongly encouraged the use of brick or other high-quality masonry material for the full building height – particularly on the street-facing facades – as it would be contextual. However, if masonry is not proposed, the Board encouraged consideration of lap siding as it would contribute to an appropriate residential scale and create visual interest through material texture and shadow lines. (CS3-A-1, CS3-I-iv, DC4-A-1, DC4-I-I, DC4-II-i)

Response: Masonry and lap siding are proposed for the building façade. Masonry will be used on the lower floors and around the street-facing front entry portal, and lap siding used above which related the residential nature of the building as well as reflecting a similar scale of masonry. This is an Affordable Housing project, and a façade composed entirely of masonry is not economically feasible.

b. The Board did not support the alternative facade studies depicted on page 33 of the EDG Packet. The Board noted that the facade composition should be simple with an emphasis on punched windows, an accented entry portal, and a welcoming garden courtyard. (CS3-A-1, CS3-I-iv, DC2-B-1, DC2-C-1)

Response: The design team has further explored the façade composition to reflect

- 1.) punched windows by recessing all the windows into the building creating depth and shadow lines,
- 2.) an accented entry portal reflecting human scale and detailed with masonry, and
- 3.) a lush garden from both the sidewalk and the private courtyard side.

INTERIOR



EXTERIOR

PLAN: WINDOW





CORNICE DETAILING



MASONRY DETAILING AT PEDESTRIAN LEVEL

c. The Board noted that materials should be thoughtfully composed with intentionally designed reveals. Material reveals should be well documented at the Recommendation phase. (DC2-B-1, DC4-A-1)

Response: Masonry detailing has been explored to create interest at the pedestrian level using banding relating to the adjacent masonry buildings, projected elements and accent colors. Fiber cement lap siding will add shadow lines mimicking the scale of the masonry with trim elements which highlight the recessed windows and accentuate the top and cornice of the building.

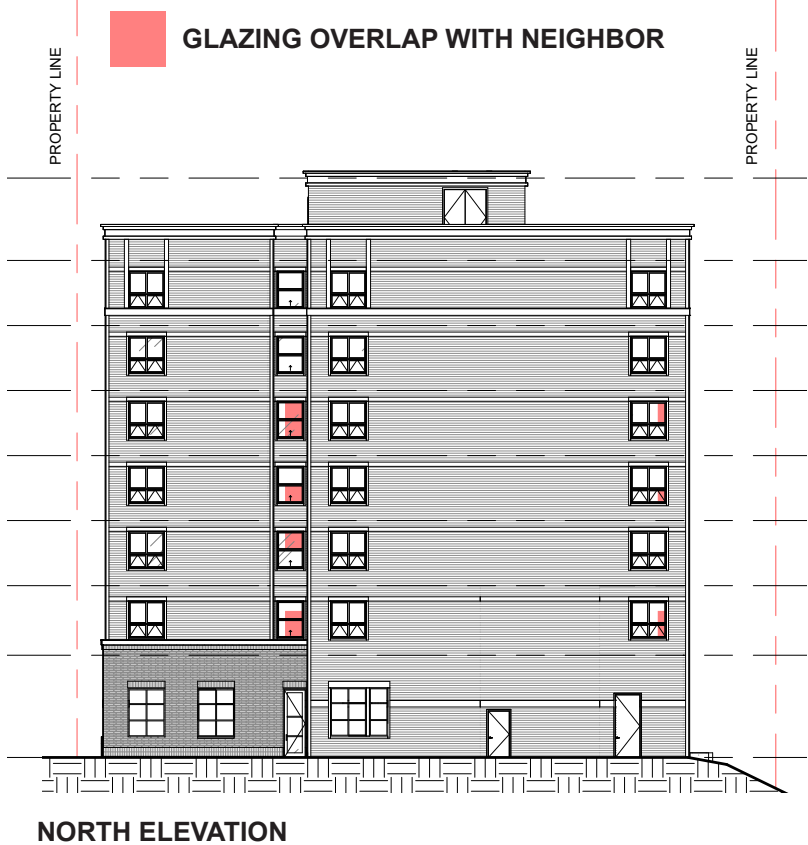
d. The Board specifically prioritized Design Guideline DC2-B, Architectural and Façade Composition; the design of all façades should be attractive, well-proportioned and avoid blank wall conditions. (DC2-B)

Response: The design of the all façade is consistent around the building. Blank walls have been eliminated from the front facing façades and are limited where necessary for interior functions (such as trash and utility spaces).

e. The Board requested privacy studies that illustrate the overlap between the windows of the proposed development and existing adjacent structures to the north, south and west. (DC2-B-1, CS2-D-5)

Response: Privacy studies results confirm minimal direct impact to adjacent buildings.

PRIVACY DIAGRAMS:



SOUTH ELEVATION



WEST ELEVATION

## 8.0 | RESPONSE TO EDG GUIDANCE

### 3. COURTYARD & OPEN SPACE

a. The Board heard public comment, but ultimately supported the proposed siting of the courtyard in the northeast corner provided that it is perceived as a lush green space from the public realm; a true respite, not just a gap in the street wall. (PL1-A, DC2-A-1, DC3-B, DC4-D)

Response: The design team has noted the public comments and the Board's recommendation and has made revisions for a greener, lush courtyard with additional planting and berms.

b. In response to public comment, the Board noted that lighting and fencing should create a safe and secure courtyard while contributing to the appearance of an attractive street edge and inviting space. (PL2-B, DC3-C-2, DC4-C, DC4-D)

Response: The design team has noted the public comments and the Board's recommendation regarding courtyard security. The courtyard will be well lit and easily visible from the Community Room and Reception desk. Building staff will monitor all common spaces in the building around the clock, including the courtyard. The courtyard design also includes perimeter fencing to control site access and landscaping that shields the street.

c. The Board requested more information on the design of the courtyard and its relationship to adjacent interior uses. Particularly, how the courtyard will be secured and programmed, as well as activated by adjacent uses. (PL1-A, DC1-A-2, DC1-A-4, DC3-A-1, DC3-B)

Response: The courtyard can be accessed from within the building from two active spaces: the main circulation corridor and the Community Room.

Fencing to control site access, as well as exterior lighting and a visual connection with the 24-hour building staff will ensure the courtyard security.



COURTYARD RENDER FROM SIDEWALK

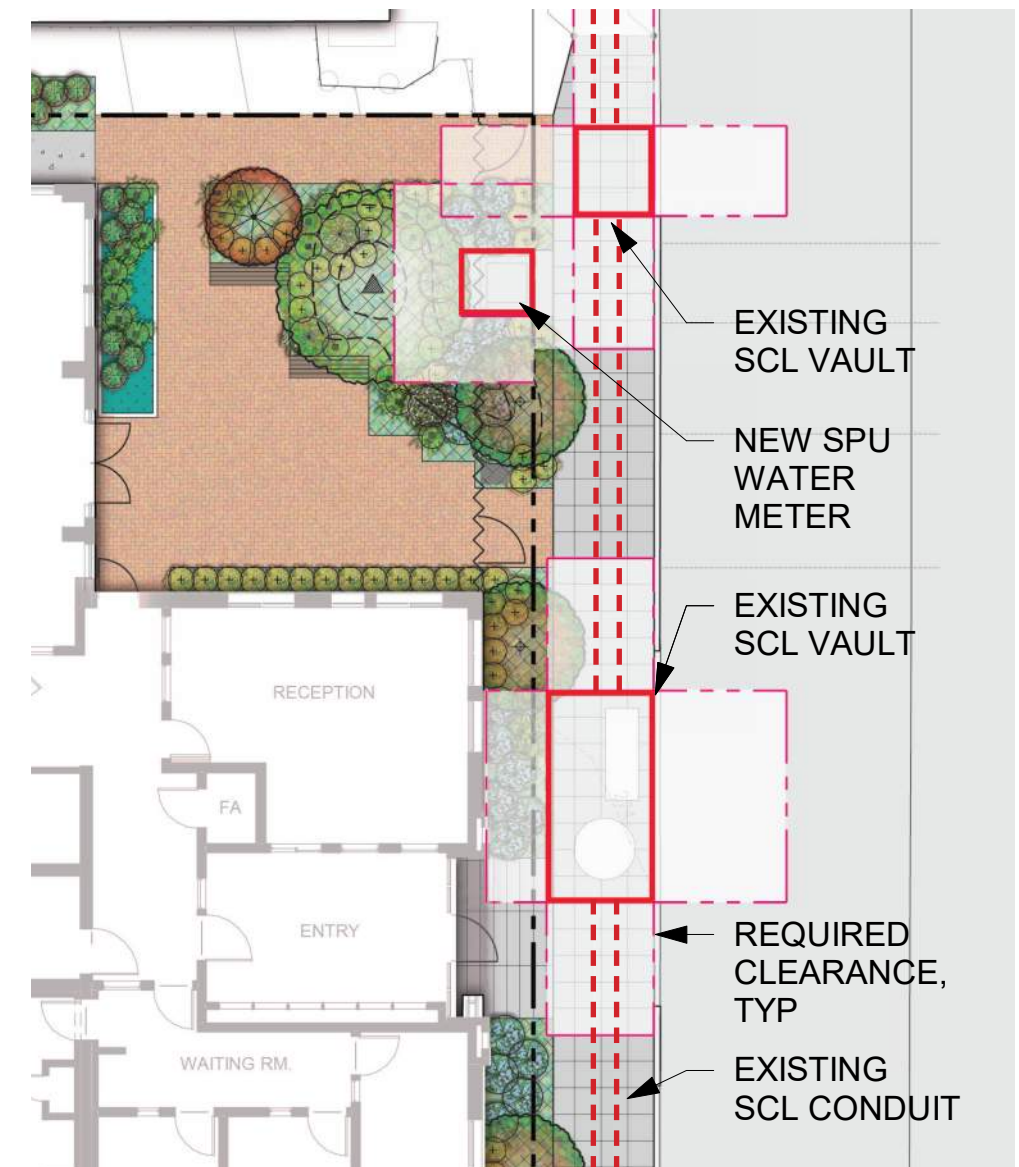
### 4. LANDSCAPING

a. The Board acknowledged SDOT's comments and questioned the proposed location of street trees along the property line, rather than the curb. If the planting strip and street trees are not proposed to be located along the curb, the Board requested a section depicting utilities beneath the sidewalk at the Recommendation phase. Ultimately, street trees should be appropriately sized and reinforce the overall architectural concept. (DC4-D-1, DC4-D-4)

Response: The design team has met with SDOT and the Arborist to confirm the alignment of the sidewalk and street trees as they relate to existing utilities at the 60% SIP meeting on June 12th. It was determined the best viable location for the street trees are along the building/property line due to the utilities under the current sidewalk.

b. The Board encouraged further development of the landscape buffer along the south setback in a manner that increases respect for adjacent sites. Suggestions included increasing the buffer by enlarging the proposed planter along the south edge to the maximum possible. (CS2-D-5, DC4-D-1, DC4-D-3)

Response: The landscaping has increased as the access clearances have been resolved with Seattle City Light.



AREAS WHERE UTILITIES PROHIBIT PLACEMENT OF STREET TREES SHOWN IN RED

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# 9.0 | FLOOR PLANS

## LEVEL 1 FLOOR PLAN

### LEVEL 1 HIGHLIGHTS

1. OFFICES FACING EAST & SOUTH FOR "EYES ON THE STREET".
2. RECEPTION FACING EAST & NORTH FOR "EYES ON THE STREET & COURTYARD".
3. COMMUNITY ROOM ADJACENT TO COURTYARD.
4. PRIVATE STAFF AREA.
5. SECOND COMMUNITY ROOM FACING WEST.
6. COMMON LAUNDRY ROOM.
7. BIKE PARKING FOR 60 STALLS.
8. 42" WIDE DOORS ACCESS ALL RESIDENTIAL AMENITY SPACES.

### LEGEND

- CIRCULATION
- RESIDENTIAL SPACES
- COMMUNITY SPACES
- STAFF SPACES
- UTILITY SPACES
- MINIMUM SETBACK LINES



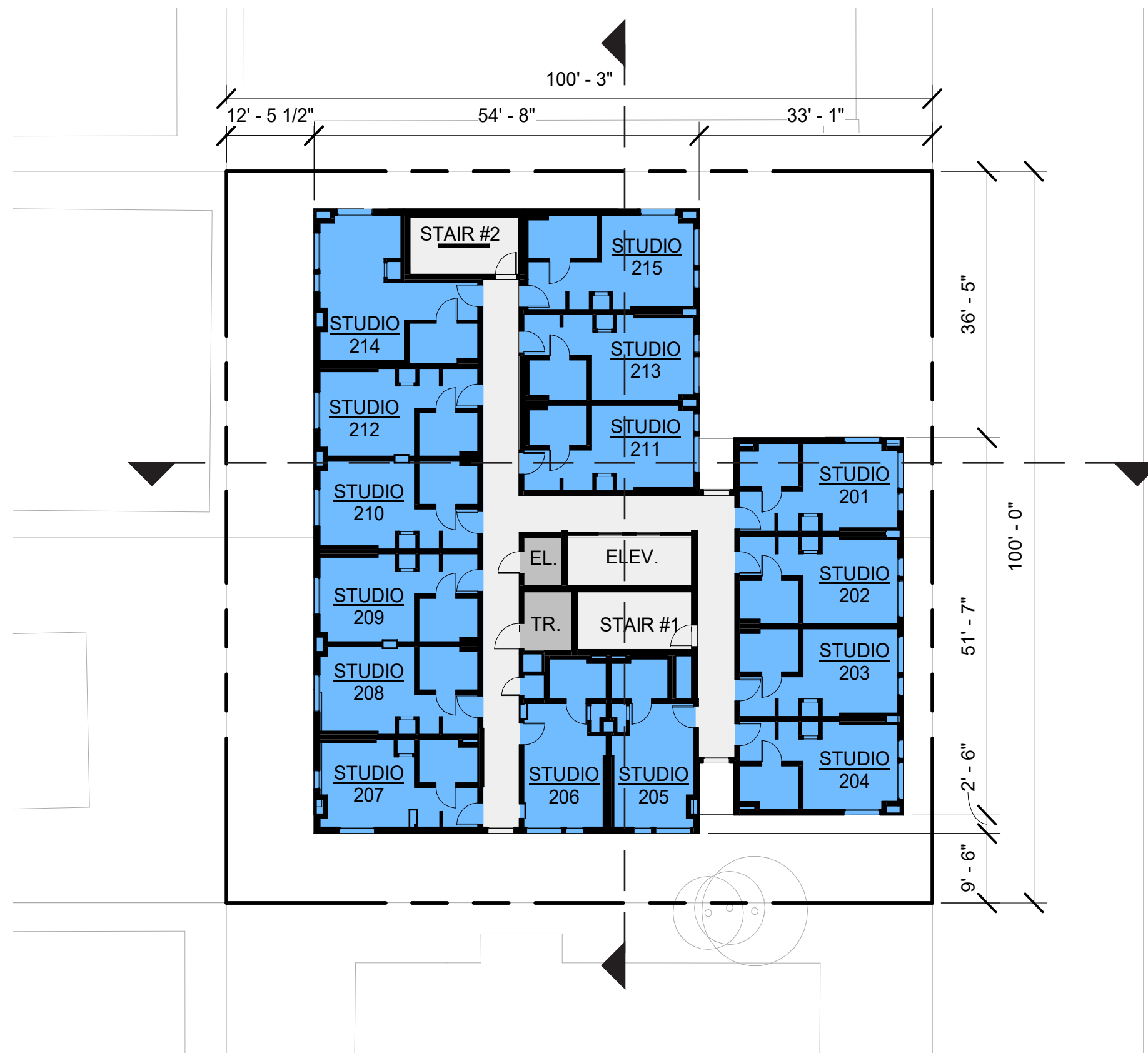
### TYPICAL RESIDENTIAL FLOOR PLAN 2-7

#### RESIDENTIAL HIGHLIGHTS

1. 15 UNIT PER FLOOR.
2. WINDOW AT ENDS OF CORRIDORS.
3. TRASH / ELECTRICAL & JANITOR ROOMS ON EACH FLOOR.

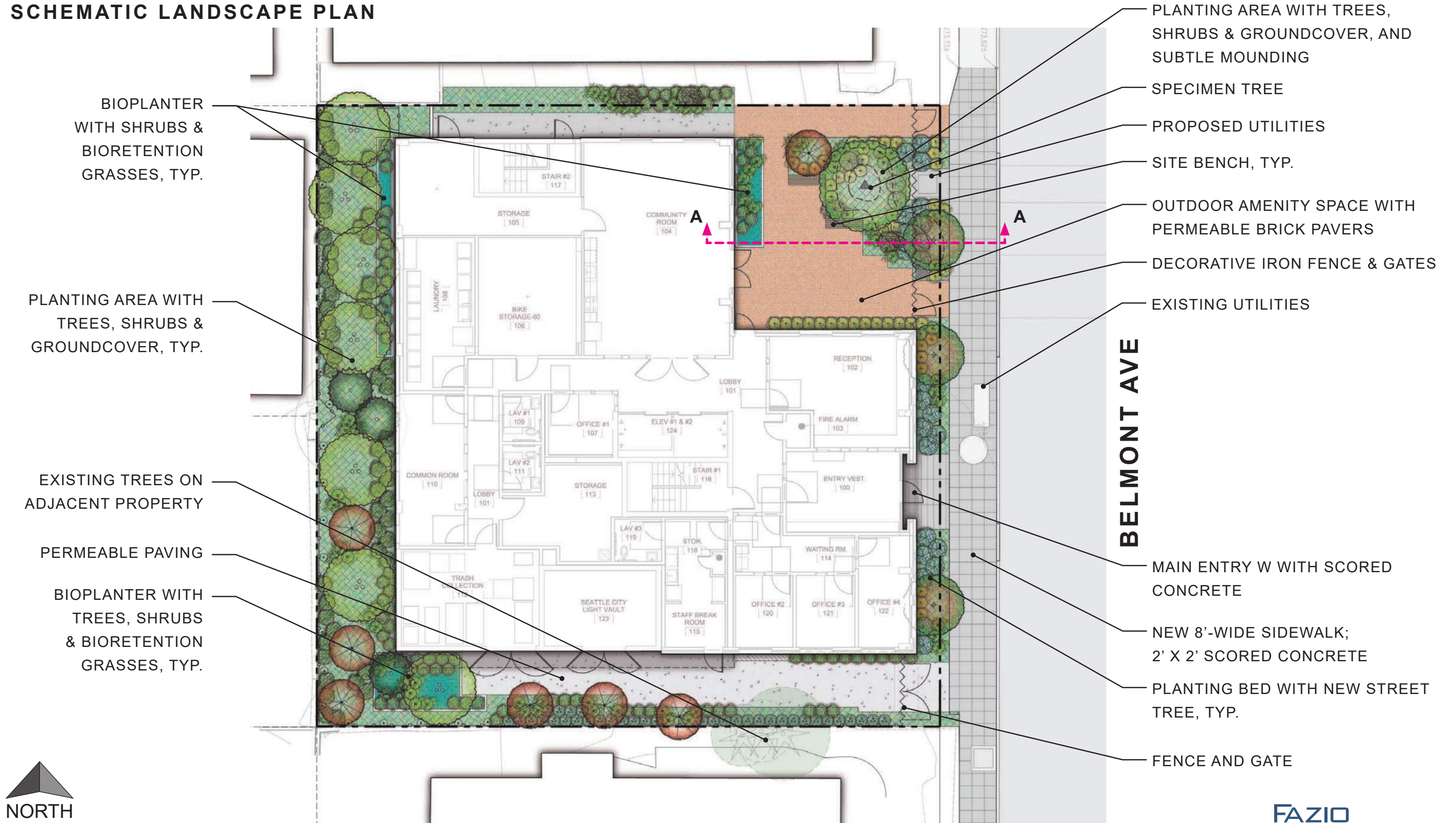
#### LEGEND

- CIRCULATION
- RESIDENTIAL SPACES
- COMMUNITY SPACES
- STAFF SPACES
- UTILITY SPACES
- MINIMUM SETBACK LINES



# 10.0 | COMPOSITE LANDSCAPE PLAN

## SCHEMATIC LANDSCAPE PLAN



BIOPLANTER WITH SHRUBS & BIORETENTION GRASSES, TYP.

PLANTING AREA WITH TREES, SHRUBS & GROUNDCOVER, TYP.

EXISTING TREES ON ADJACENT PROPERTY

PERMEABLE PAVING

BIOPLANTER WITH TREES, SHRUBS & BIORETENTION GRASSES, TYP.

PLANTING AREA WITH TREES, SHRUBS & GROUNDCOVER, AND SUBTLE MOUNDING

SPECIMEN TREE

PROPOSED UTILITIES

SITE BENCH, TYP.

OUTDOOR AMENITY SPACE WITH PERMEABLE BRICK PAVERS

DECORATIVE IRON FENCE & GATES

EXISTING UTILITIES

**BELMONT AVE**

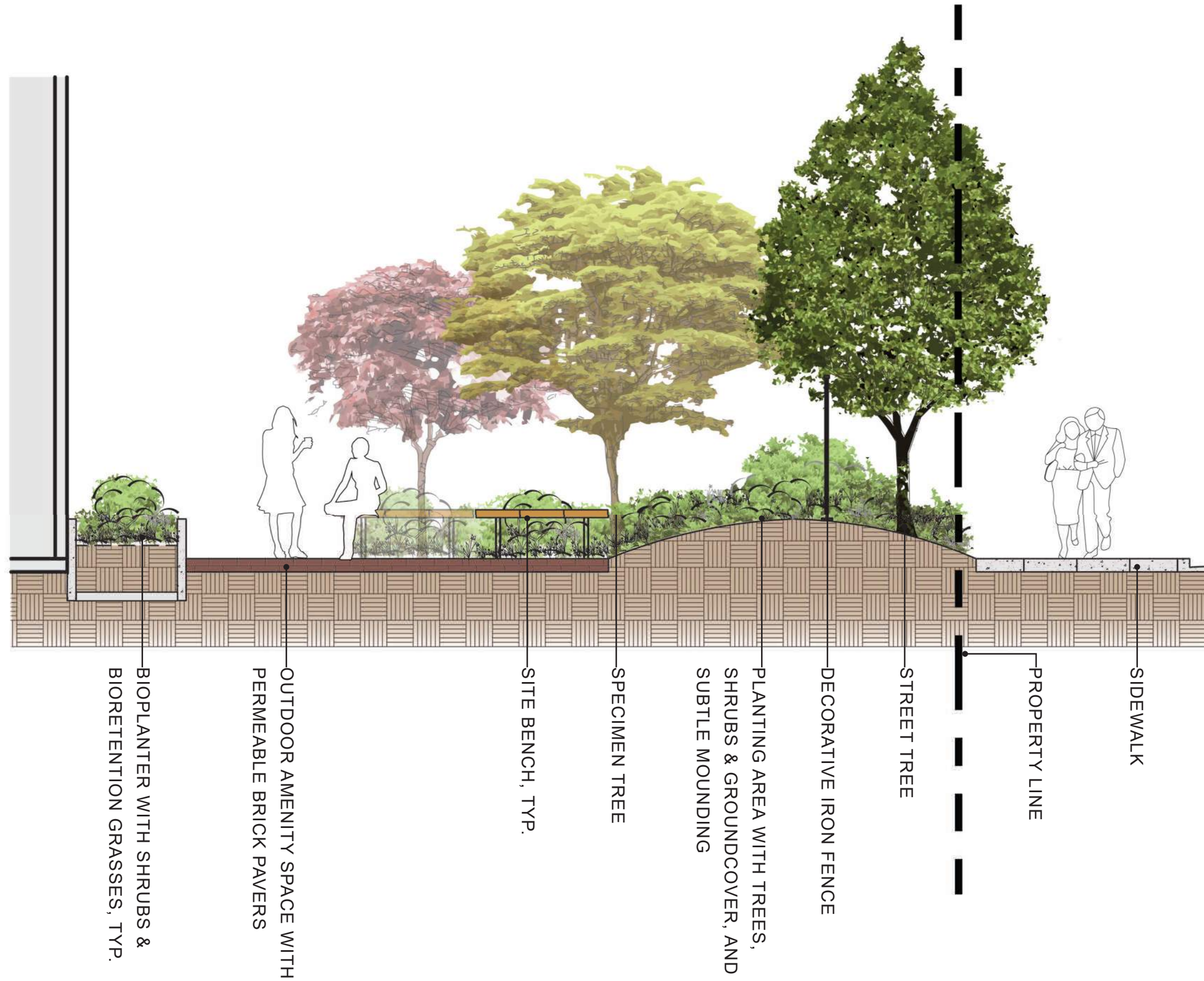
MAIN ENTRY W WITH SCORED CONCRETE

NEW 8'-WIDE SIDEWALK; 2' X 2' SCORED CONCRETE

PLANTING BED WITH NEW STREET TREE, TYP.

FENCE AND GATE





# 10.0 | COMPOSITE LANDSCAPE PLAN



FIRESTARTER TUPELO  
(STREET TREE)



VINE MAPLE



JAPANESE MAPLE



PAGODA DOGWOOD



SHORE PINE



DEER FERN



KELSEY DOGWOOD  
(WINTER)



KELSEY DOGWOOD  
(SUMMER)



WINTER DAPHNE



BIGLEAF HYDRANGEA



JAPANESE HOLLY



DWARF OREGON  
GRAPE



DAVID'S VIBURNUM



SLOUGH SEDGE



DWARF PERIWINKLE  
(WITH FLOWER)



DWARF PERIWINKLE



EVERGREEN CLEMATIS  
(WITH FLOWER)





COURTYARD WITH SPECIMEN TREE IN "L" OF BUILDING



INTIMATE COURTYARD WITH BENCHES



INTIMATE COURTYARD WITH BENCHES



MODERN BENCH



COURTYARD INSPIRATION



FENCING/PLANTING INTEGRATION



FENCING/PLANTING INTEGRATION



BIOPLANTER



FENCING



PERMEABLE PAVERS



PERMEABLE PAVEMENT



FLOW INDOORS

# 11.0 | ELEVATIONS



**1. BRICK: FOREST BLEND**  
 -NORMAN & STANDARD SIZES.  
 -THIRD RUNNING BOND TYPICAL, STACKED  
 BOND USED TO HIGHLIGHT ENTRANCE.



**2. BRICK: CASTLE GRAY**  
 -ACCENT COLOR AT SOLDIER  
 COURSES AND ARCH.



**3. PRECAST CONCRETE SILL**  
 COLOR TO MATCH CASTLE GRAY BRICK.



**4. BLACK ALUMINUM  
 STOREFRONT FRAME**





**5. 4" EXPOSURE FIBER CEMENT LAP SIDING**  
-FIELD COLOR: HASBROUCK BROWN

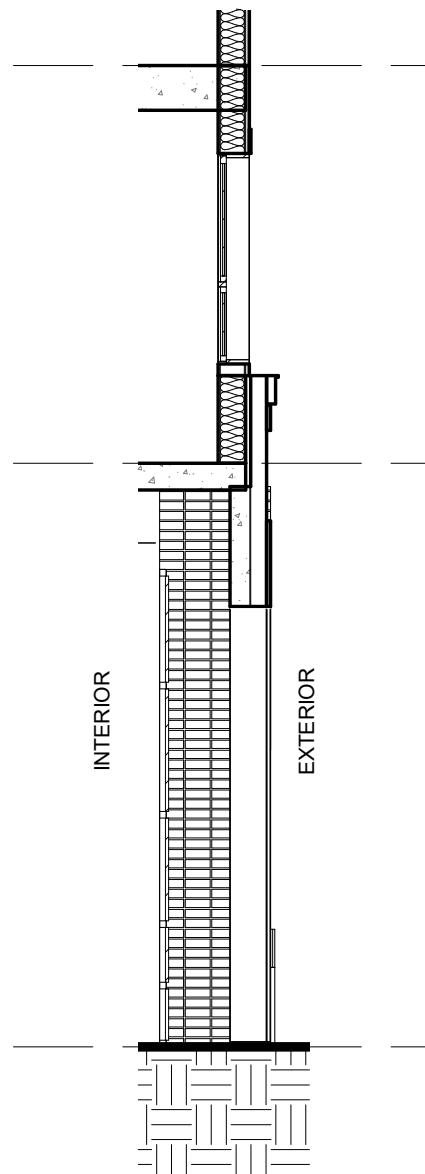


**6. VINYL WINDOWS**  
-COLOR: ALMOND  
-CONFIGURATIONS: AWNING & PICTURE



**7. FIBER CEMENT TRIM**  
-SIZES: 1X4, 1X6, 1X8, 1X10  
-ACCENT COLOR: BONE WHITE

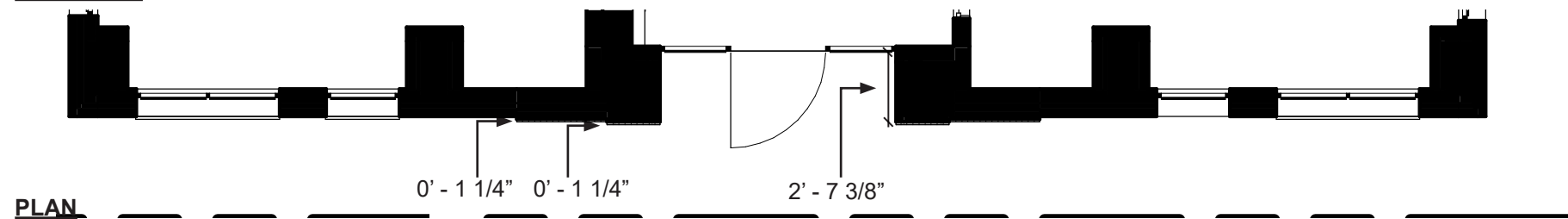
# 12.0 | MATERIAL PALETTE



BASE DETAIL SECTION



ELEVATION



PLAN



**1. BRICK: FOREST BLEND**  
-NORMAN & STANDARD SIZES.  
-THIRD RUNNING BOND TYPICAL, STACKED BOND USED TO HIGHLIGHT ENTRANCE.



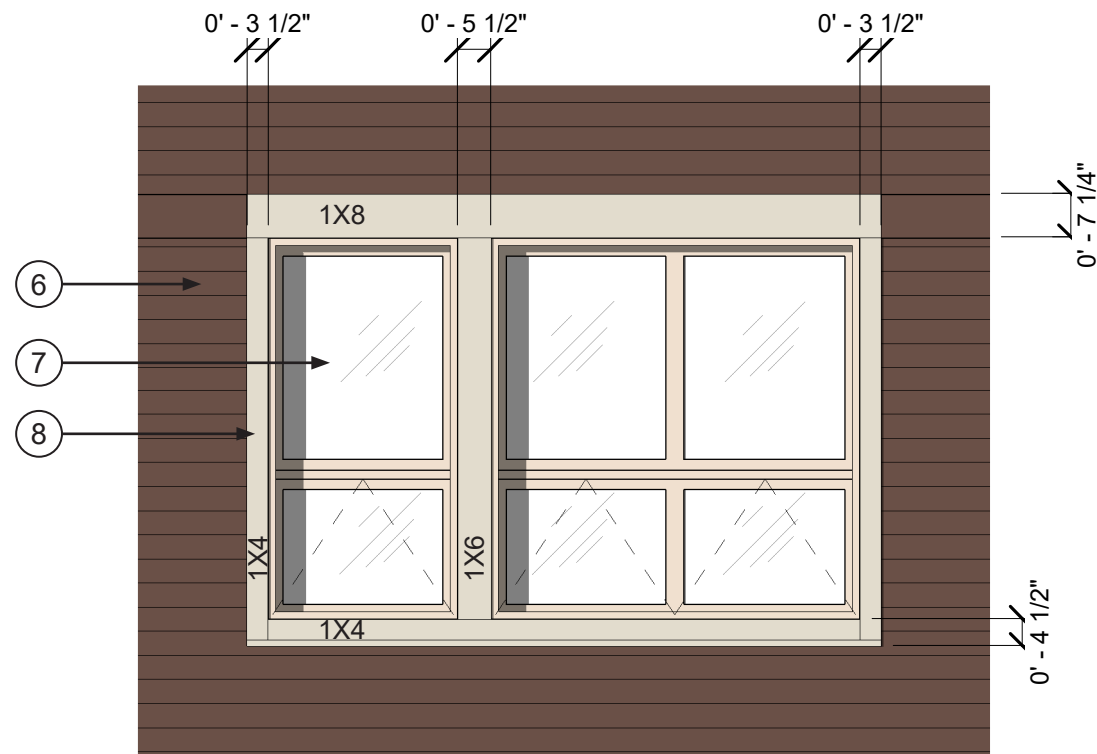
**2. BRICK: CASTLE GRAY**  
-ACCENT COLOR AT SOLDIER COURSES AND ARCH.



**3. PRECAST CONCRETE SILL**  
COLOR TO MATCH CASTLE GRAY BRICK.

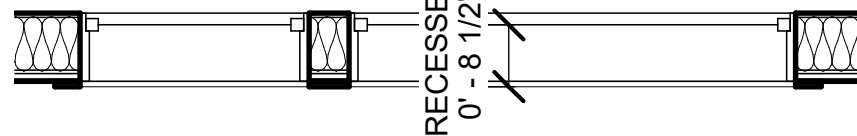


**4. BLACK ALUMINUM STOREFRONT FRAME**



**ELEVATION**

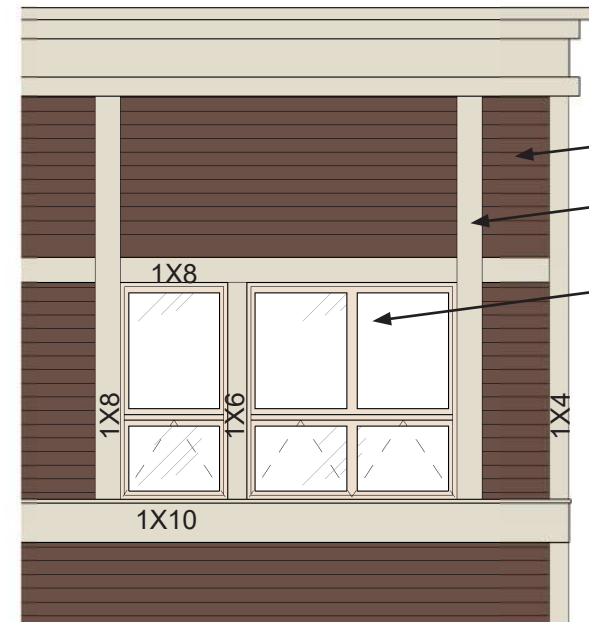
INTERIOR



EXTERIOR

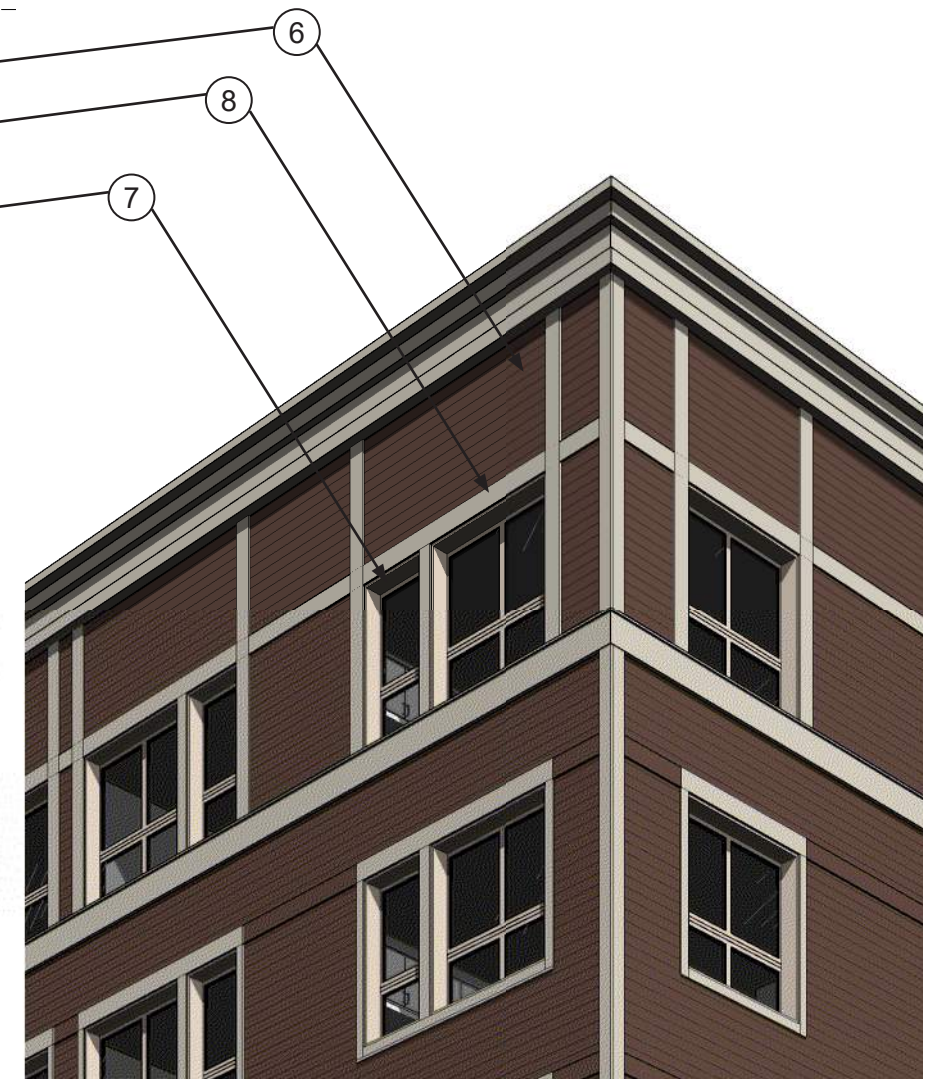
**PLAN**

**WINDOW DETAIL**

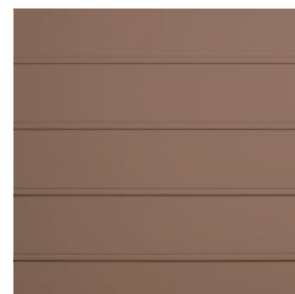


**ELEVATION**

**TOP DETAIL**



**PERSPECTIVE**



**5. 4" EXPOSURE FIBER CEMENT LAP SIDING**  
-FIELD COLOR: HASBROUCK BROWN



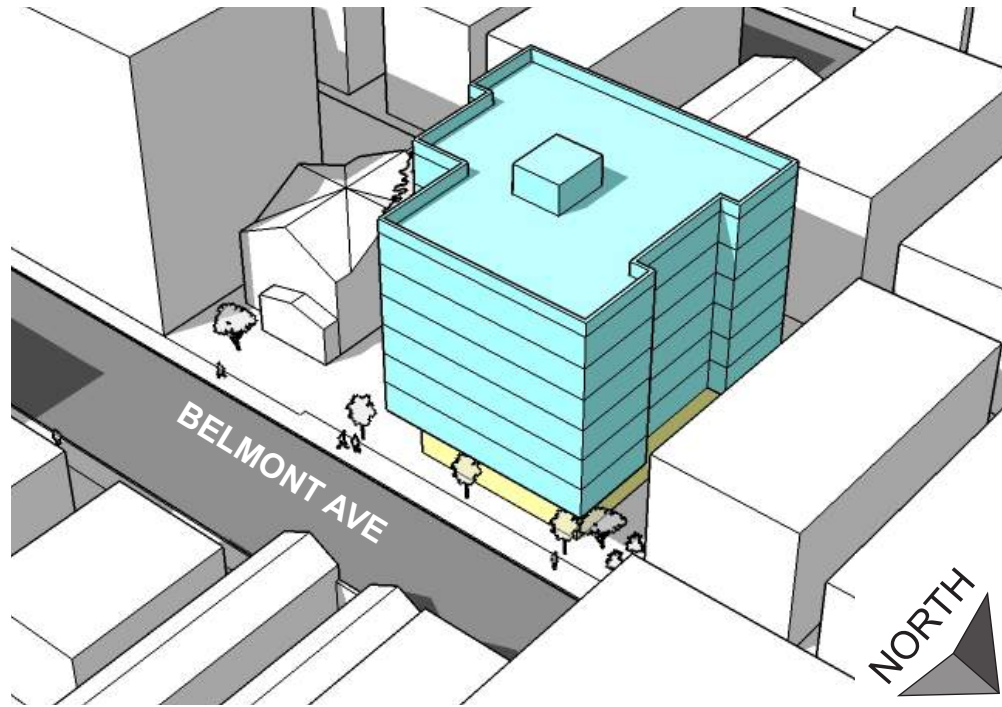
**6. VINYL WINDOWS**  
-COLOR: ALMOND  
-CONFIGURATIONS: AWNING & PICTURE



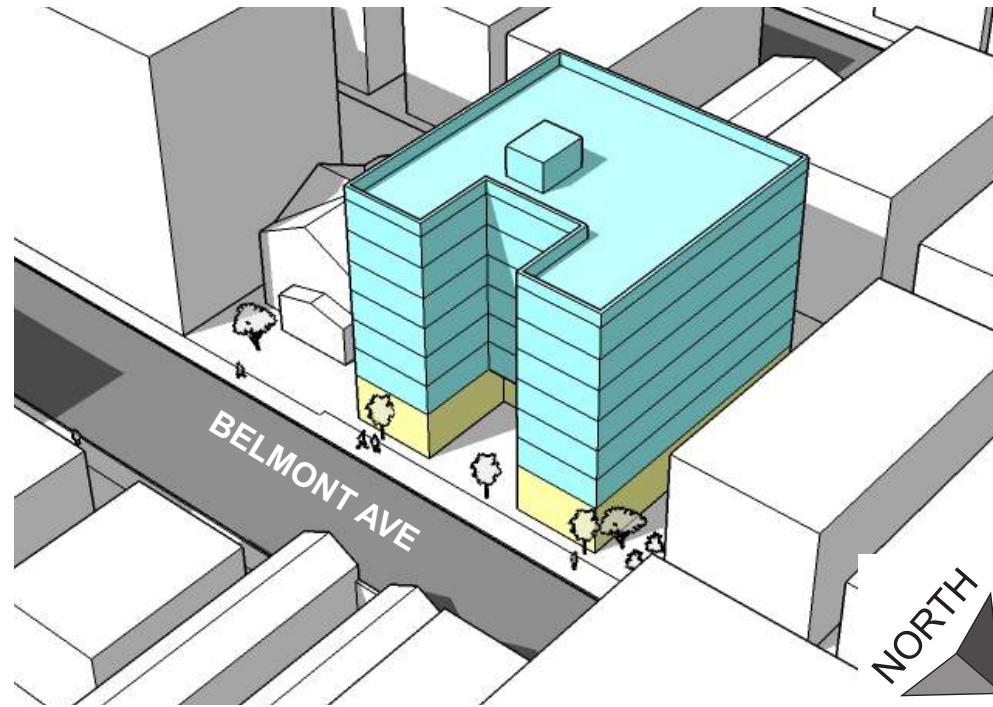
**7. FIBER CEMENT TRIM**  
-SIZES: 1X4, 1X6, 1X8, 1X10  
-ACCENT COLOR: BONE WHITE

# 13.0 | PROCESS

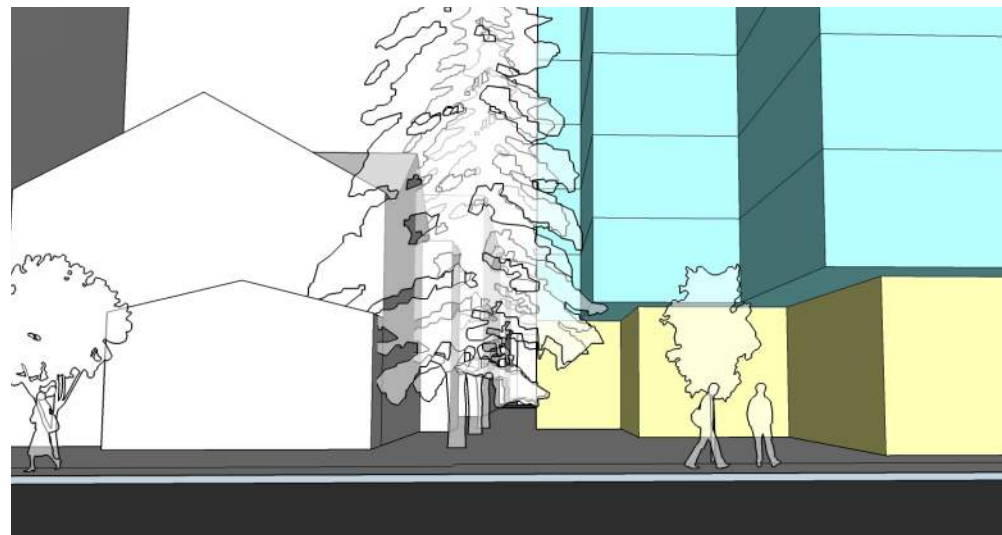
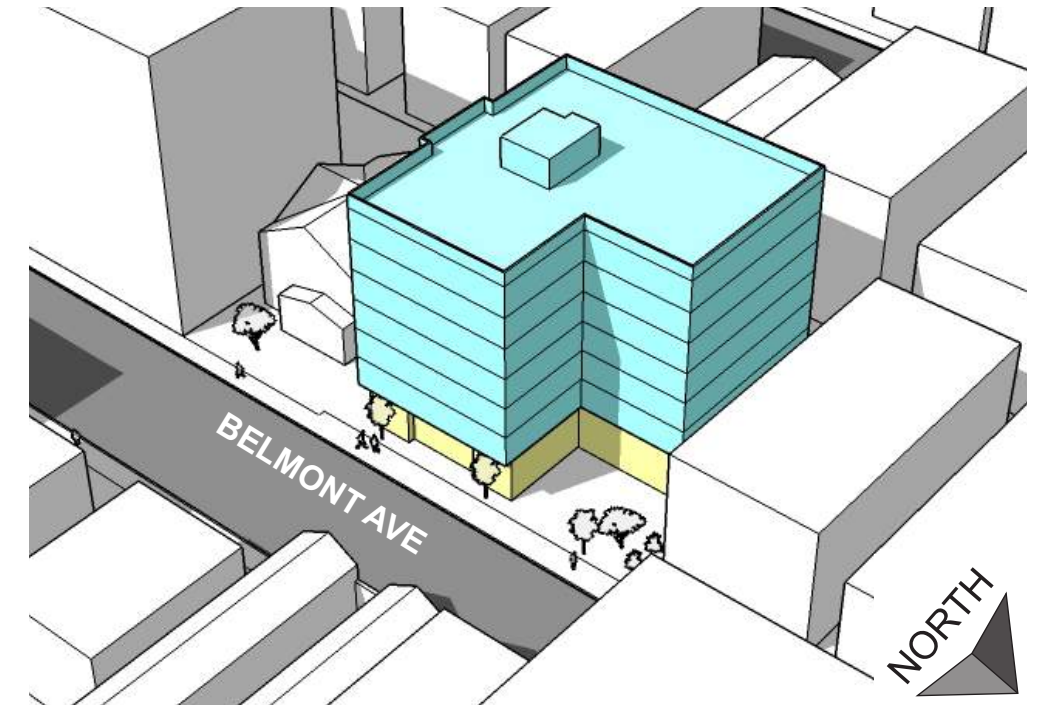
## DESIGN ALTERNATIVE 1



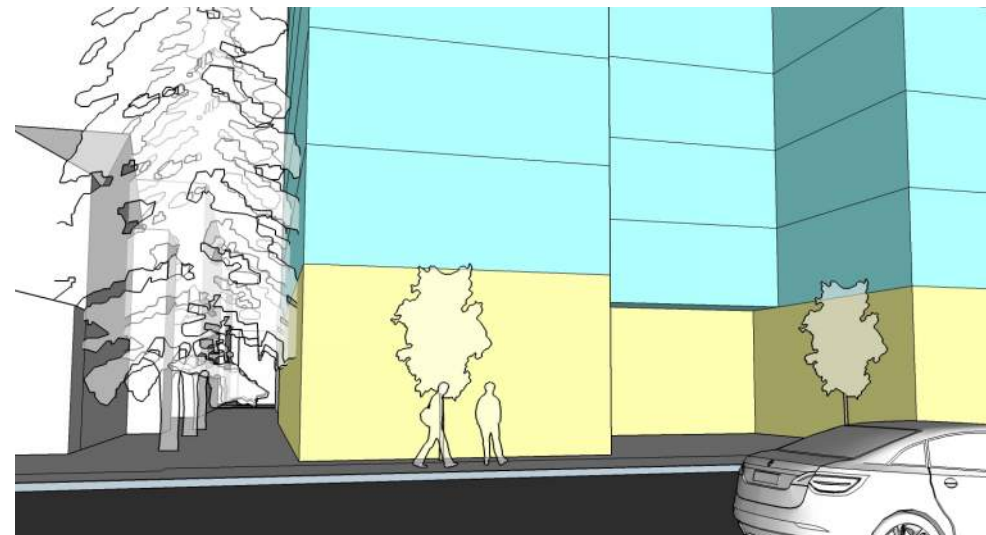
## DESIGN ALTERNATIVE 2



## DESIGN ALTERNATIVE 3 | PREFERRED



VIEW OF THE SOUTH PROPERTY LINE / COURTYARD



VIEW OF THE SOUTH PROPERTY LINE / COURTYARD



VIEW OF THE COURTYARD

FACADE STUDY 1



FACADE STUDY 2



FACADE STUDY 3



# 14.0 | ENTRY EXPLORATIONS



**ENTRY OPTION 1**

● PRIMARY ENTRY OPTION EXPLORED THROUGH 2-STORY VERTICAL EXPRESSION AMONGST THE ENTRY PORTAL TO THE TRIM ABOVE



**ENTRY OPTION 3**

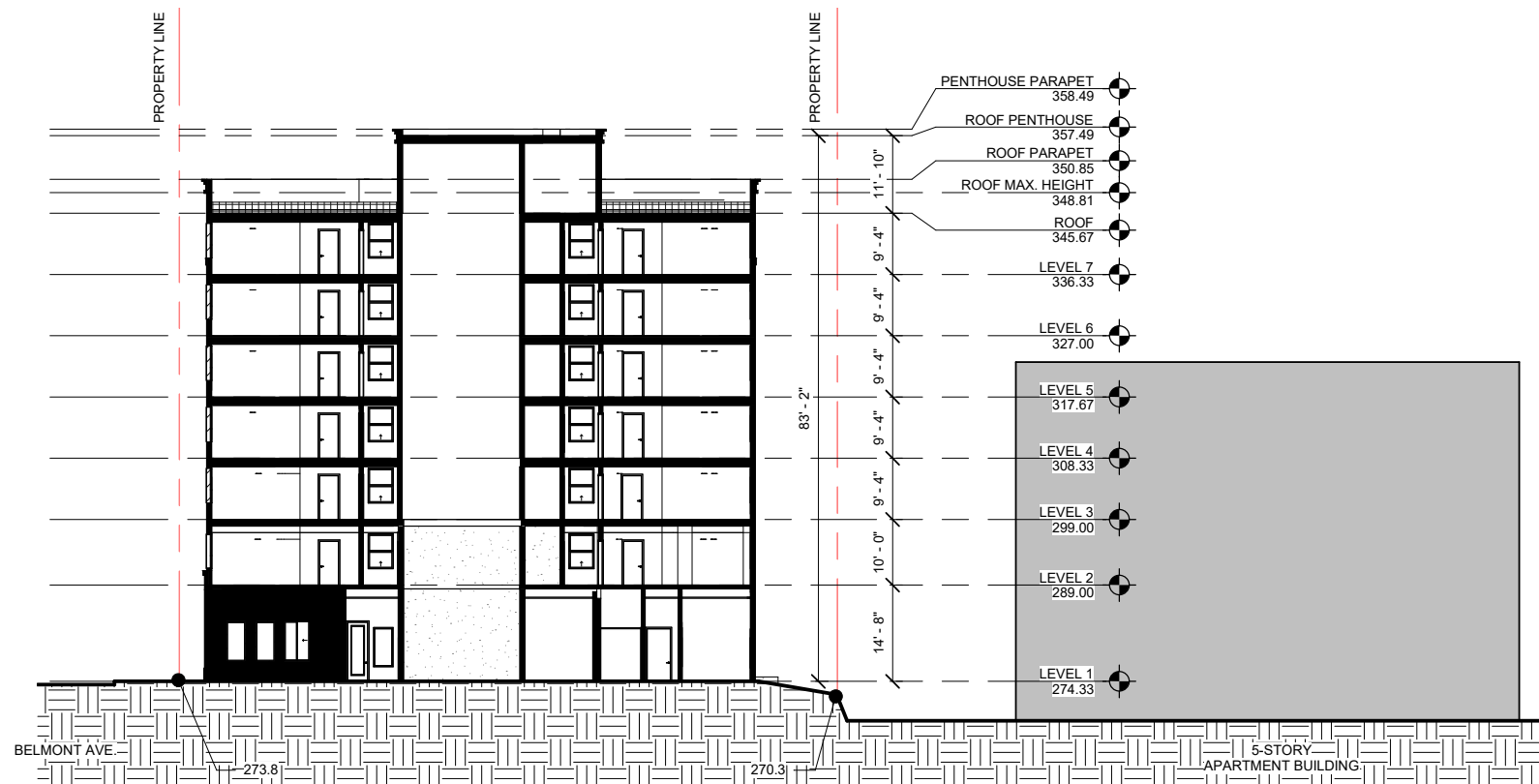
● PREFERRED:  
ENTRY PORTAL AND TRIM ALIGN



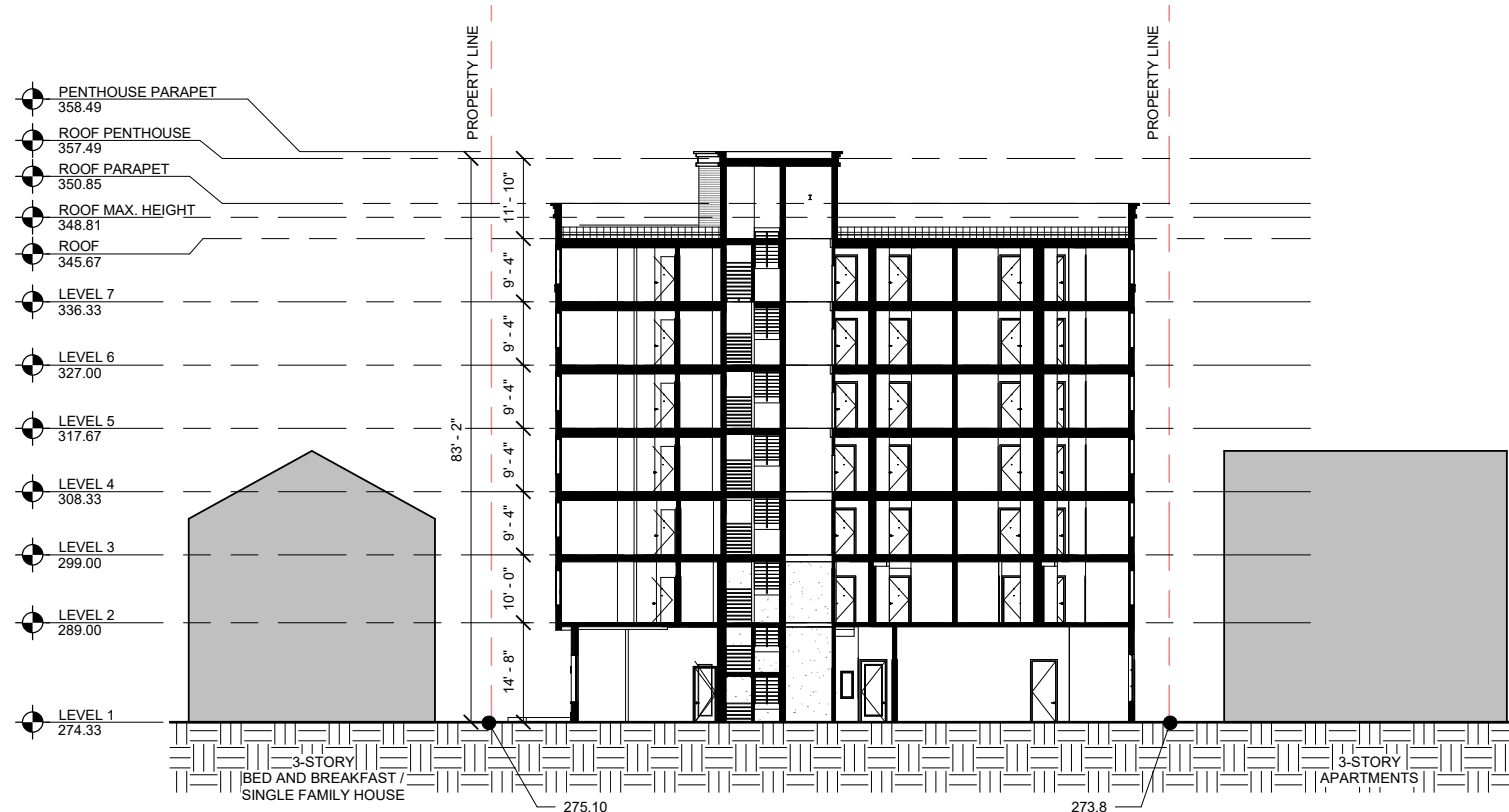
**ENTRY OPTION 2**

● LOWERED HEIGHT OF THE BRICK ON EITHER SIDE OF THE ENTRY PORTAL

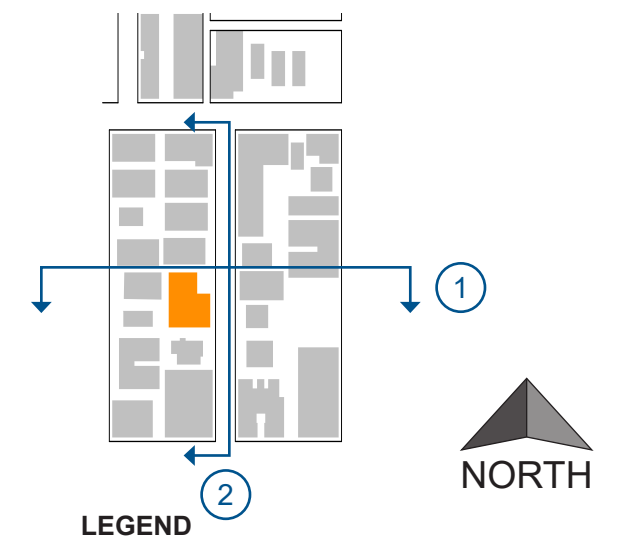




SECTION (1)



SECTION (2)





NORTH EAST CORNER EXTERIOR RENDERING



STREET VIEW AT SOUTH EAST CORNER



ENTRY VIEW



STREET VIEW AT NORTH EAST CORNER

# 16.0 | PREFERRED



COURTYARD RENDERING FACING WEST



COURTYARD RENDERING FACING EAST (TOWARD BELMONT AVE)



SOUTH SIDE RENDERING

# 17.0 | EXTERIOR LIGHTING PLAN



① WALL MOUNTED SCONCE LIGHT



② ENTRY LIGHT






③ BOLLARD LIGHT



④ LINEAR DOWNLIGHT



- LEGEND**
- 1  SCENCE
  - 2  ENTRY
  - 3  BOLLARD
  - 4  LINEAR



LIGHTING PLAN

## 18.0 | SIGNAGE CONCEPT PLAN



### SIGNAGE LOCATION

PRECAST CONCRETE PANEL WITH RECESSED LETTERS.

\*FINAL BUILDING NAME TO BE DETERMINED



### SIGNAGE EXAMPLES





SIGNAGE EXAMPLES

Requested Departures Summary Table								
	Type	Level	Code Section	Requirement	Proposed	Sheet Reference	Requested Departures	Granted
North Property Line	Side setback from interior lot line	1	23.45.518 Table B	Up to 42': 7' Average Setback, 5' Min.	16' -0" Average Setback, 5' - 2" Min.	1/T0.11, A3.01	<b>No:</b> Avg. setback exceeded by 9' - 0" Min. setback exceeded by 2"	-
		2 - 4	23.45.518 Table B	Up to 42': 7' Average Setback, 5' Min.	16' - 4 1/2" Average Setback, 5' - 2" Min.	2-3/T0.11, A3.02 - A3.04	<b>No:</b> Avg. setback exceeded by 9' - 4 1/2" Min. setback exceeded by 2"	-
		4 - 7	23.45.518 Table B	Above 42': 10' Average Setback, 7' Min.		2-3/T0.11, A3.06 - A3.07	<b>Yes:</b> The building extends 1' - 10" into the minimum setback on levels 5 - 7.	Pending Design Review Process
East Property Line	Front setback from Belmont Ave.	1 - 7	23.45.518 Table B	No setback required if a courtyard abuts the street; min. width equal to 30% of the street frontage (30'-0") and minimum depth of 20'	Courtyard Width = 36' - 1" Courtyard Depth = 33' - 1 1/4"	1/T0.11, A1.00, L1.00	<b>No:</b> Courtyard exceeds requirements; Level 1 Min. Setback is 3' - 9 1/2" Level 2-7 Min. Setback is 4' - 1 1/2"	-
South Property Line	Side setback from interior lot line	1	23.45.518 Table B	Up to 42': 7' Average Setback, 5' Min.	11' - 9 1/2" Average Setback, 11' - 7 5/8" Min.	1/T0.11, A3.01	<b>No:</b> Avg. setback exceeded by 4' - 9 1/2" Min. setback exceeded by 6' - 7 5/8"	-
		2 - 4	23.45.518 Table B	Up to 42': 7' Average Setback, 5' Min.	10' - 9 1/2" Average Setback, 9' - 6" Min.	3/T0.11, A3.02 - A3.04	<b>No:</b> Avg. setback exceeded by 3' - 9 1/2" Min. setback exceeded by 4' - 6"	-
		4 - 7	23.45.518 Table B	Above 42': 10' Average Setback, 7' Min.		3/T0.11, A3.06 - A3.07	<b>No:</b> Avg. setback exceeded by 0' - 9 1/2" Min. setback exceeded by 2' - 6"	-
West Property Line	Rear setback from interior lot line	1 - 7	23.45.518 Table B	15' - 0" Setback	12' - 5 1/2" Setback	3/T0.11, A3.01 - A3.07	<b>Yes:</b> The building extends 2' - 6 1/2" into the minimum setback on levels 1 - 7.	Pending Design Review Process

**SUMMARY :**

*23.45.518: SIDE SETBACK FROM INTERIOR LOT LINE ABOVE 42': 10' AVERAGE, 7' MINIMUM.*

The building mass encroaches 1'-10" into the setback above 42 feet for a length of approximately 55'. This departure allows the building to be pulled away from the south lot line which provides a large buffer between the building and the southern neighboring property. This also allows the refuse and utilities to be accessed off the side yard as opposed to the front façade. Additionally, more space is allowed for the established trees on the southern adjacent property to thrive.

*23.45.518: SIDE SETBACK FROM REAR LOT LINE: 15'-0"*

The building mass encroaches 2'-6-1/2" into the setback along the rear property line. This departure allows the building to be pulled away from the street lot line allowing for an 8'-0" wide sidewalk and 5'-0" planting strip for street trees and pedestrian relief. At the EDG meeting, the Board recommended exploring encroaching into this setback to allow for the ground floor to match the upper floors at the street level.

Both setback encroachments enhance the pedestrian experience by pulling away from the street and creating a larger courtyard. The development is providing both a courtyard and the required front setback.

**CAPITOL HILL CS2-1: STREETScape COMPATIBILITY/ SEATTLE CS2-C-2: MID-BLOCK SITE**

By providing a street facing courtyard, the project will both continue the alignment of the existing character of the street and provide a visual benefit to the pedestrian and neighborhood. This setback encroachment allows the proposal to provide a larger than required by code courtyard.

**CAPITOL HILL CS2-3: HEIGHT, BULK, AND SCALE COMPATIBILITY**

The street fronting massing and height of the proposed development is similar to the three masonry buildings along this block. The bulk and scale is minimized with the integration of the courtyard. This setback encroachment allows the proposal to provide a larger than required by code courtyard.

**CAPITOL HILL PL2-2 + SEATTLE PL1-A-B: PEDESTRIAN OPEN SPACES AND ENTRANCES**

The resident courtyard enhances the pedestrian sidewalk experience incorporating the planting strip that draws the eyes in. This setback encroachment allows the proposal to provide a larger than required by code courtyard.

**CAPITOL HILL PL2-3 + SEATTLE PL2-B-1: PERSONAL SAFETY AND SECURITY**

With a larger setback from the south property line, the proposal is able to provide eyes on the side yard for security and safety of the neighbors. This setback encroachment allows the proposal to provide a larger than required by code setback along the south property line.

**CAPITOL HILL DC1-2: SCREENING OF DUMPSTERS, UTILITIES AND SERVICE AREAS**

All the service areas will be located along the south façade and are pushed back from the street facing façade. With a larger setback from the south property line, fencing and planting will be used to screen the areas from the adjacent property and sidewalk. This setback encroachment allows the proposal to provide a larger than required by code setback along the south property line.

**SEATTLE DC2-A-2: REDUCING PERCEIVED MASS**

Approximately half of the building has been pulled back from the street lot line in order to reduce the perceived mass and provide a landscaped courtyard. Instead of being one large rectangular mass, the building is made up of two smaller masses arranged in an L-shape. This setback encroachment allows the proposal to provide a larger than required by code courtyard.

**CAPITOL HILL DC3-1: RESIDENTIAL OPEN SPACE**

There is currently no planting strip between the sidewalk and street on this block of Belmont Avenue and the sidewalk width is insufficient for current standards. As a result, there are very few street trees in the area. To accommodate street trees, the building is pulled back from the street lot line and a courtyard is incorporated to provide more opportunities for landscaping. This setback encroachment allows the proposal to provide a larger than required by code courtyard.

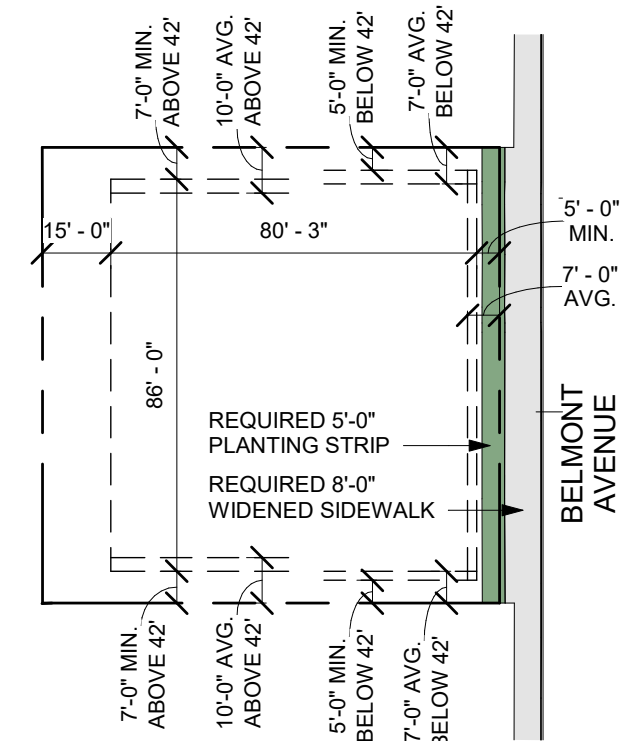


DIAGRAM: TYPICAL SETBACKS

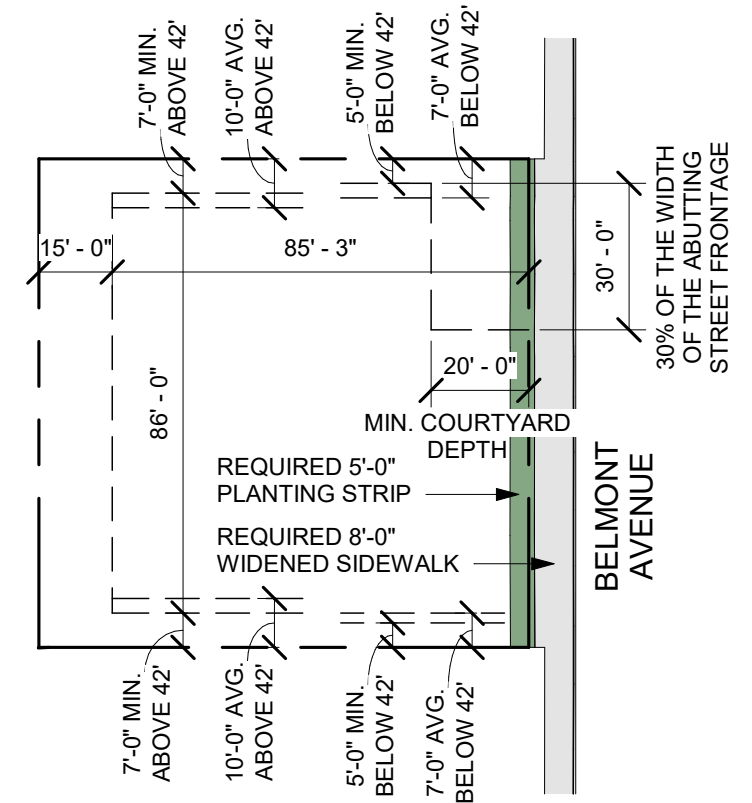


DIAGRAM: SETBACKS WITH COURTYARD

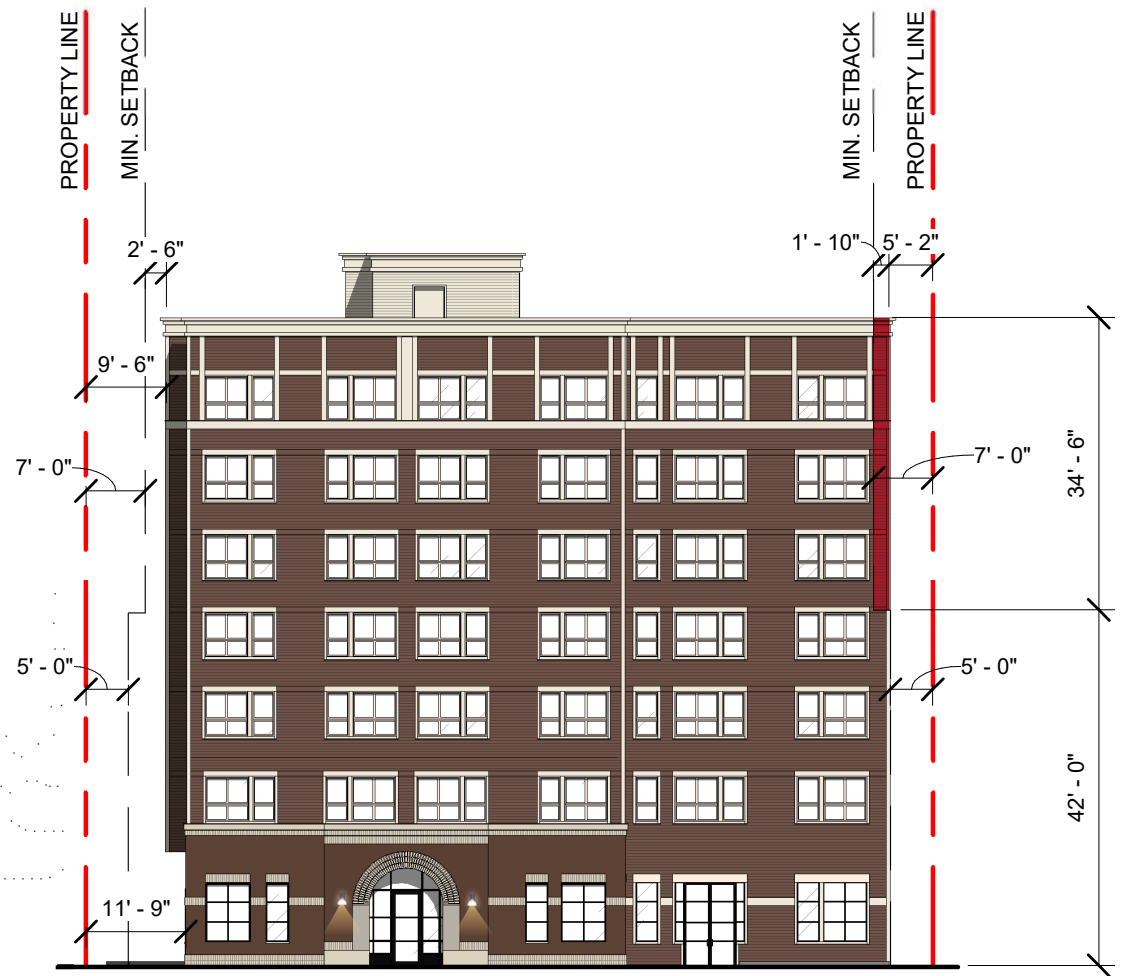
# 19.0 | DEPARTURES

## DEPARTURE 1 : NORTH SIDE

EXTENT OF DEPARTURE REQUEST SHOWN IN RED



AERIAL PERSPECTIVE OF REQUESTED DEPARTURE



ELEVATION SHOWING REQUESTED DEPARTURE



FLOOR PLAN: LEVEL 1



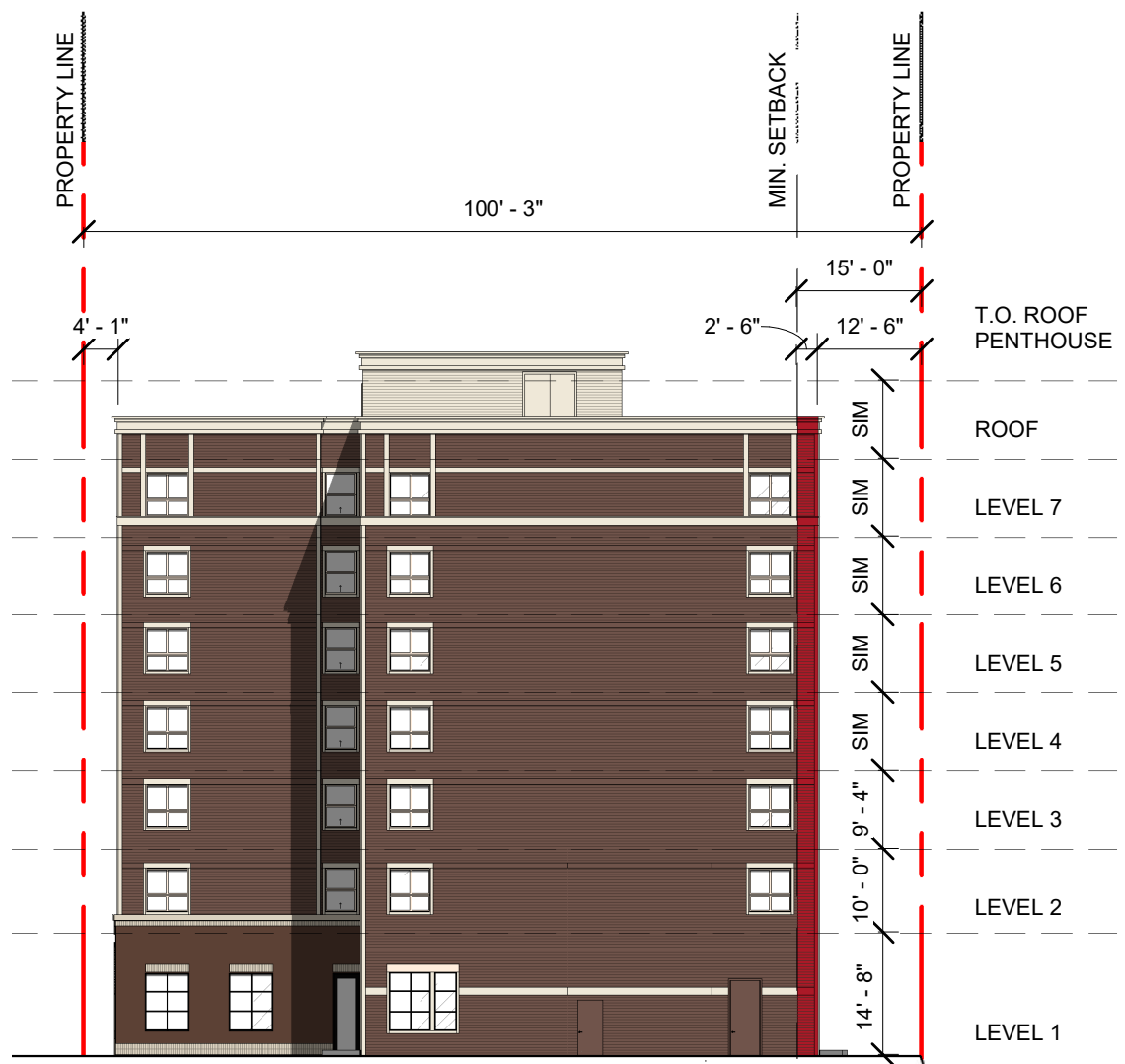
FLOOR PLAN: LEVELS 2-7

**DEPARTURE 2 : WEST SIDE**

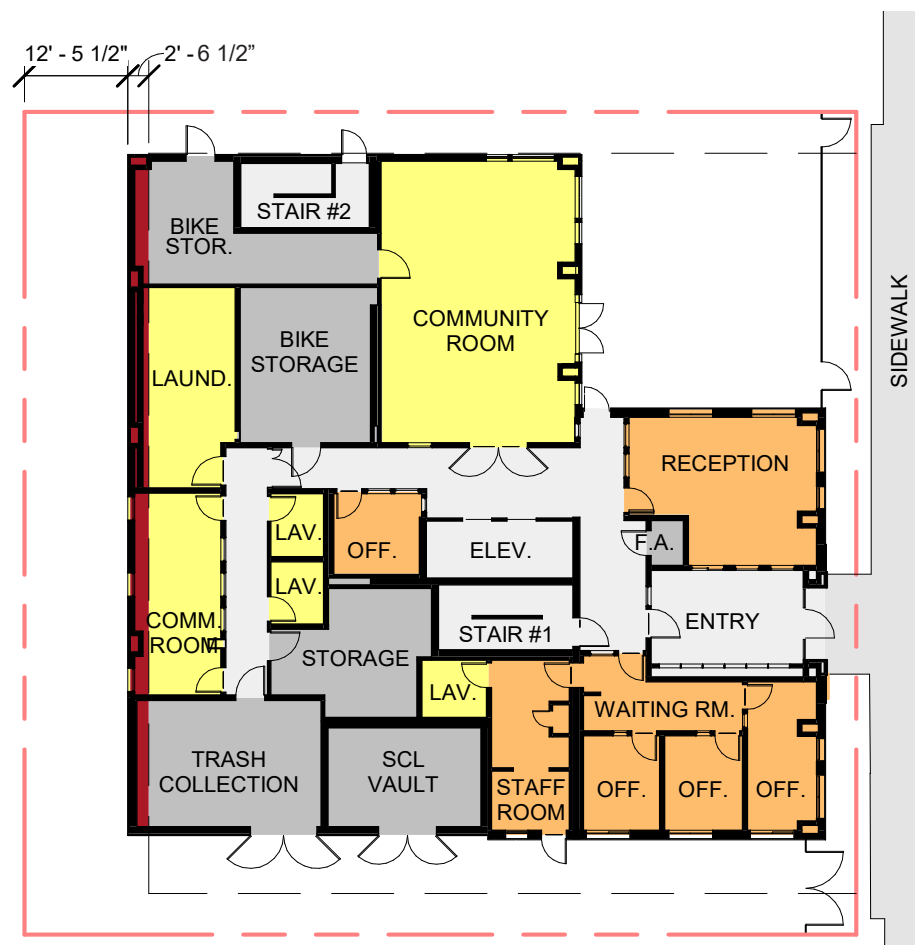
EXTENT OF DEPARTURE REQUEST SHOWN IN RED



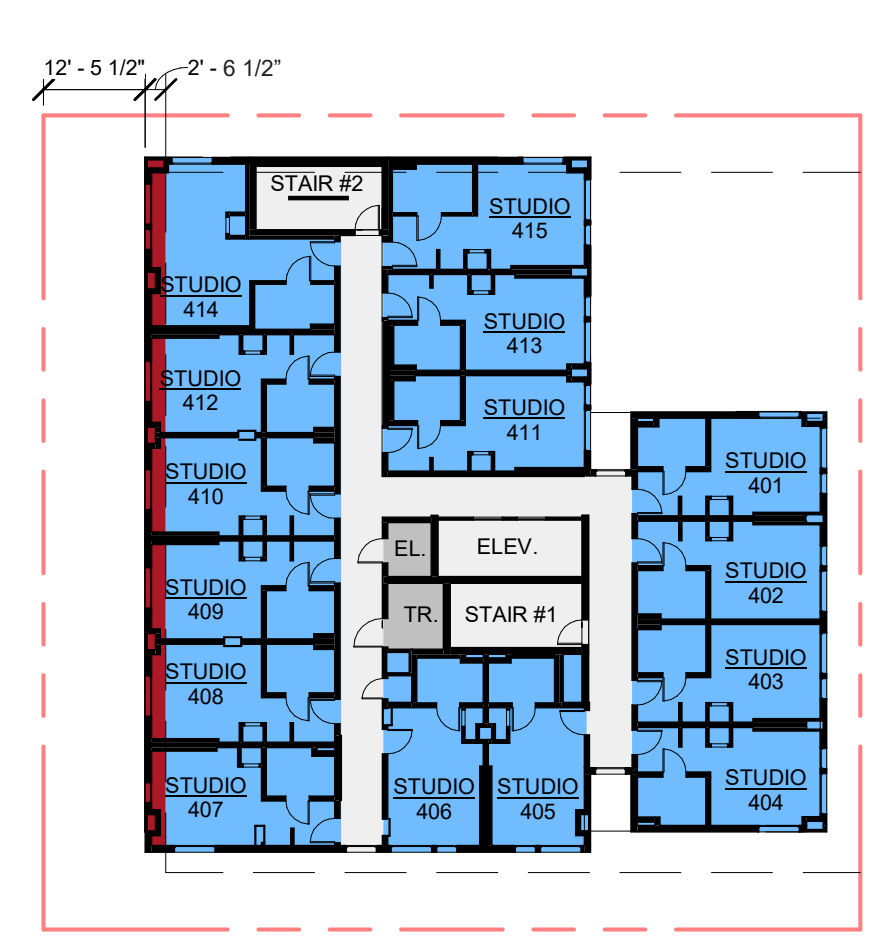
**AERIAL PERSPECTIVE OF REQUESTED DEPARTURE**



**ELEVATION SHOWING REQUESTED DEPARTURE**



**FLOOR PLAN: LEVEL 1**



**FLOOR PLAN: LEVELS 4-7**

**POTENTIAL FUTURE DEVELOPMENT:**

**OPPORTUNITIES**

Pioneer Human Services also owns the three parcels 1 north, which they are interested in developing in the future. preferred alternative's ground floor spaces are arranged in ; that considers this potential future development. A north-courtyard would provide a strong connection between the two

*CS2-1: Streetscape Compatibility*

- Add to the midblock relief with an expanded courtyard.

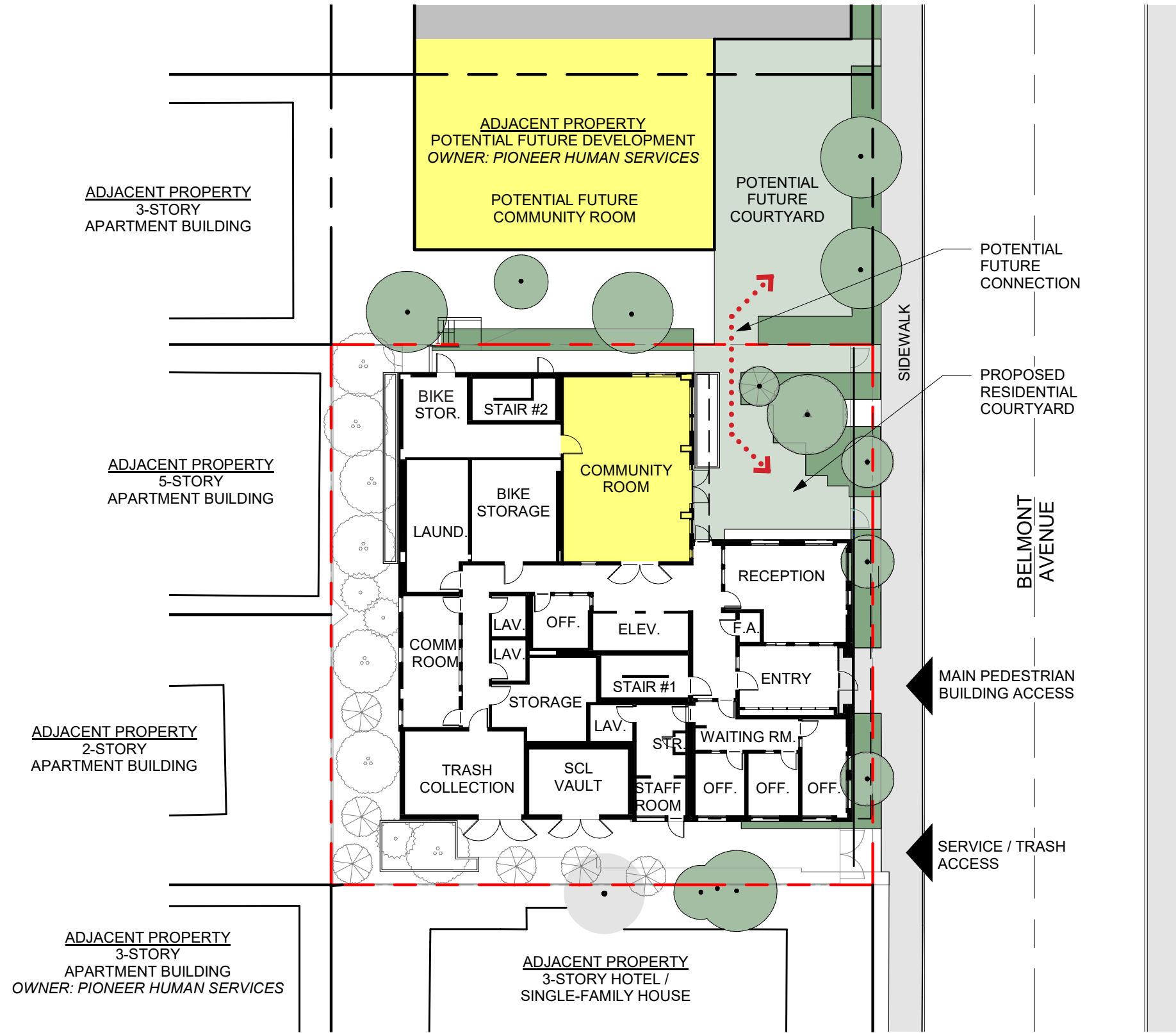
*CS2-3: Height, Bulk, and Scale*

*DC-A-2: Reducing Perceived Mass*

- Reduce scale of potential future buildings along sidewalk.

*DC3-1: Residential Open Space*

- Create future opportunities for expanded open space.

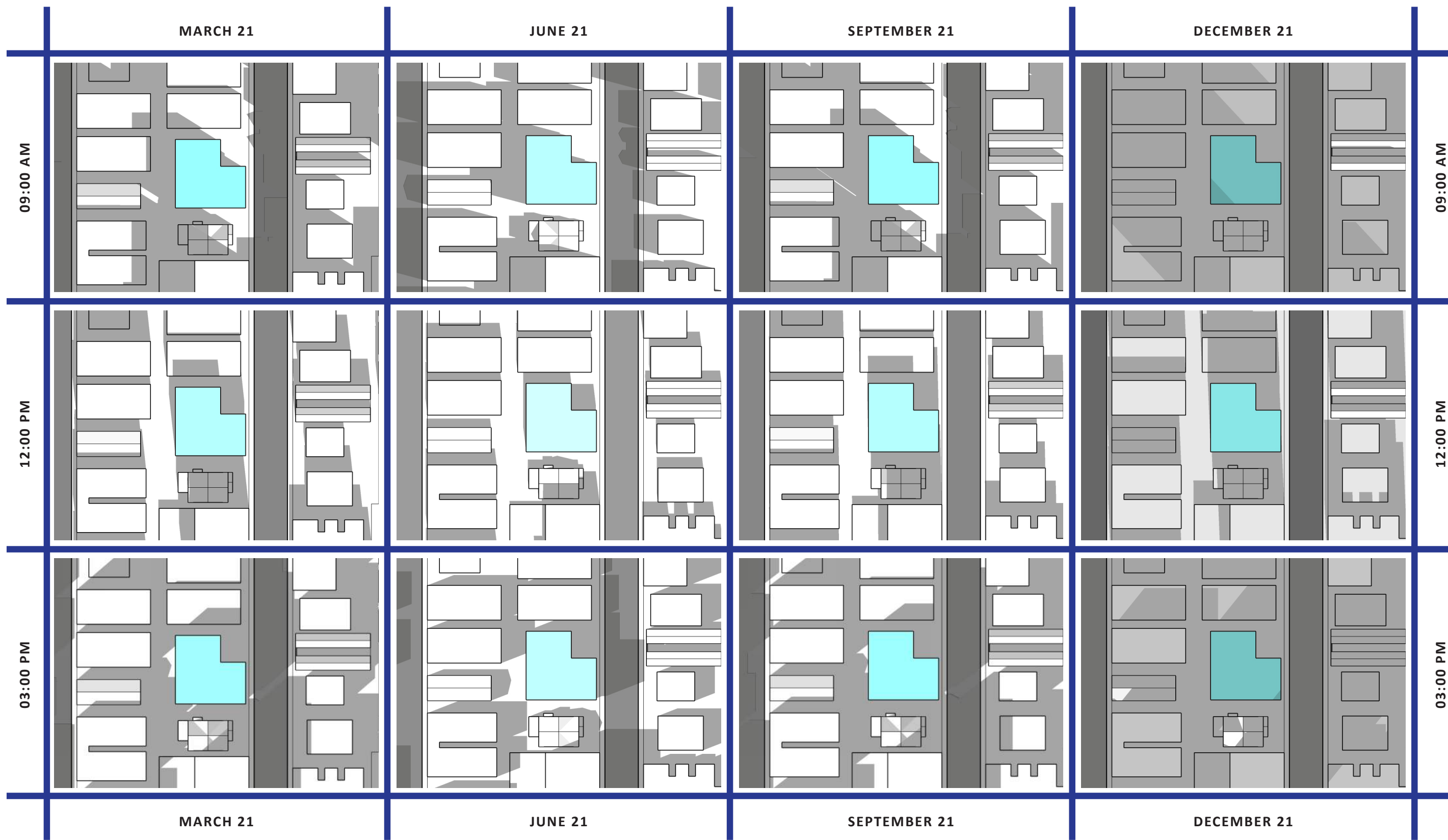


**LEGEND**

- ◀.....▶ PEDESTRIAN CONNECTIONS
- COMMUNITY SPACES

DIAGRAM: POTENTIAL FUTURE DEVELOPMENT





PROPOSED MASSING SOLAR DIAGRAMS

