

PIONEER HUMAN SERVICES PIONEER ON BELMONT

1717-1723 BELMONT AVE
SEATTLE, WA 98122

SDCI PROJECT #3028324

EARLY DESIGN GUIDANCE
MEETING DATE: 03/07/2018

NORTH



PAST PROJECTS

SMR ARCHITECTS

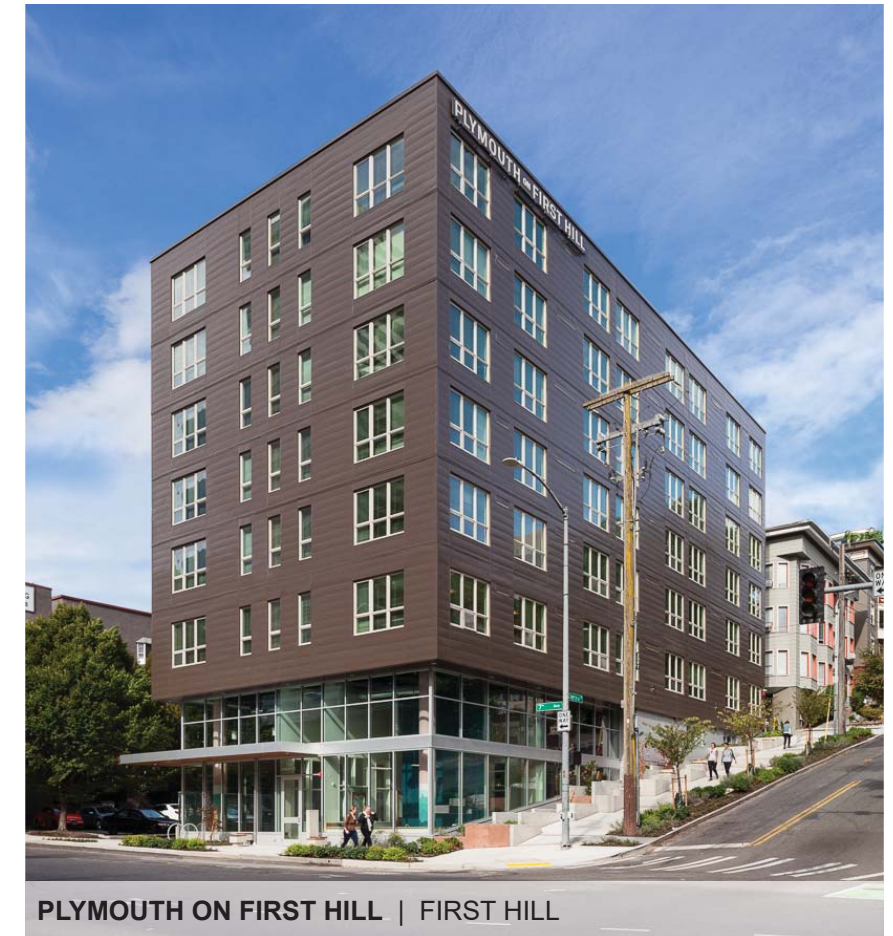
For forty years, SMR Architects has been crafting inspired structures where people want to live, learn, work and play. With a focus on the people who ultimately use a building, our structures provide a place for life to happen, they interact with and enrich the neighborhoods in which they're a part. Our team's collaborative approach, experience and sustainable philosophy helps us serve both our clients and the community, always putting people first.

PIONEER HUMAN SERVICES

Pioneer is an entrepreneurial human service organization that provides a chance for change to people overcoming the challenges of criminal histories, substance use disorders and mental health issues by offering treatment, housing, training and employment services. We specialize in helping people who want to turn their lives around, make better choices and live healthier lives.



CANADAY HOUSE | SOUTH LAKE UNION



PLYMOUTH ON FIRST HILL | FIRST HILL



PANTAGES HOUSE | CAPITOL HILL



PAT WILLIAMS APARTMENTS | SOUTH LAKE UNION

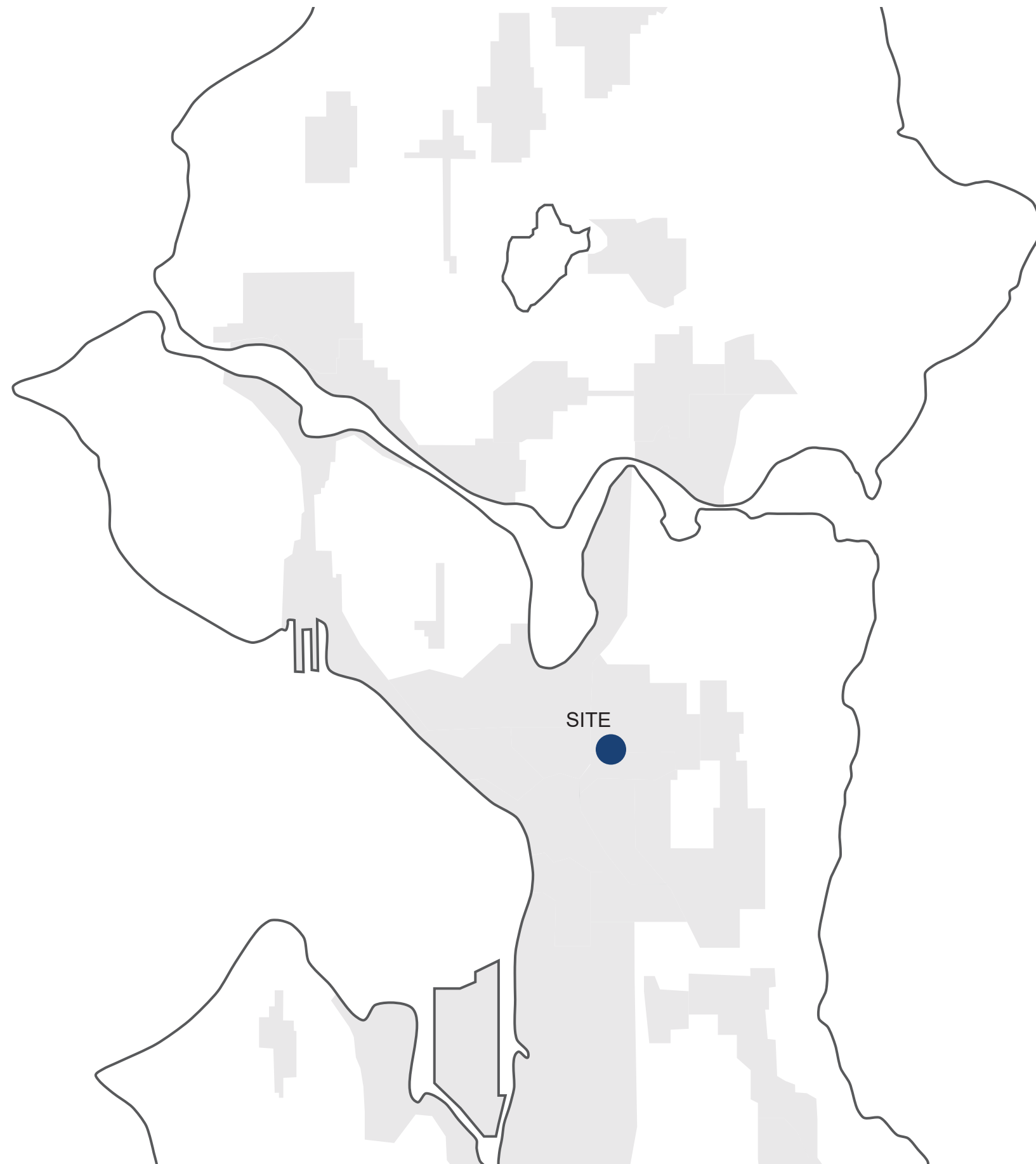


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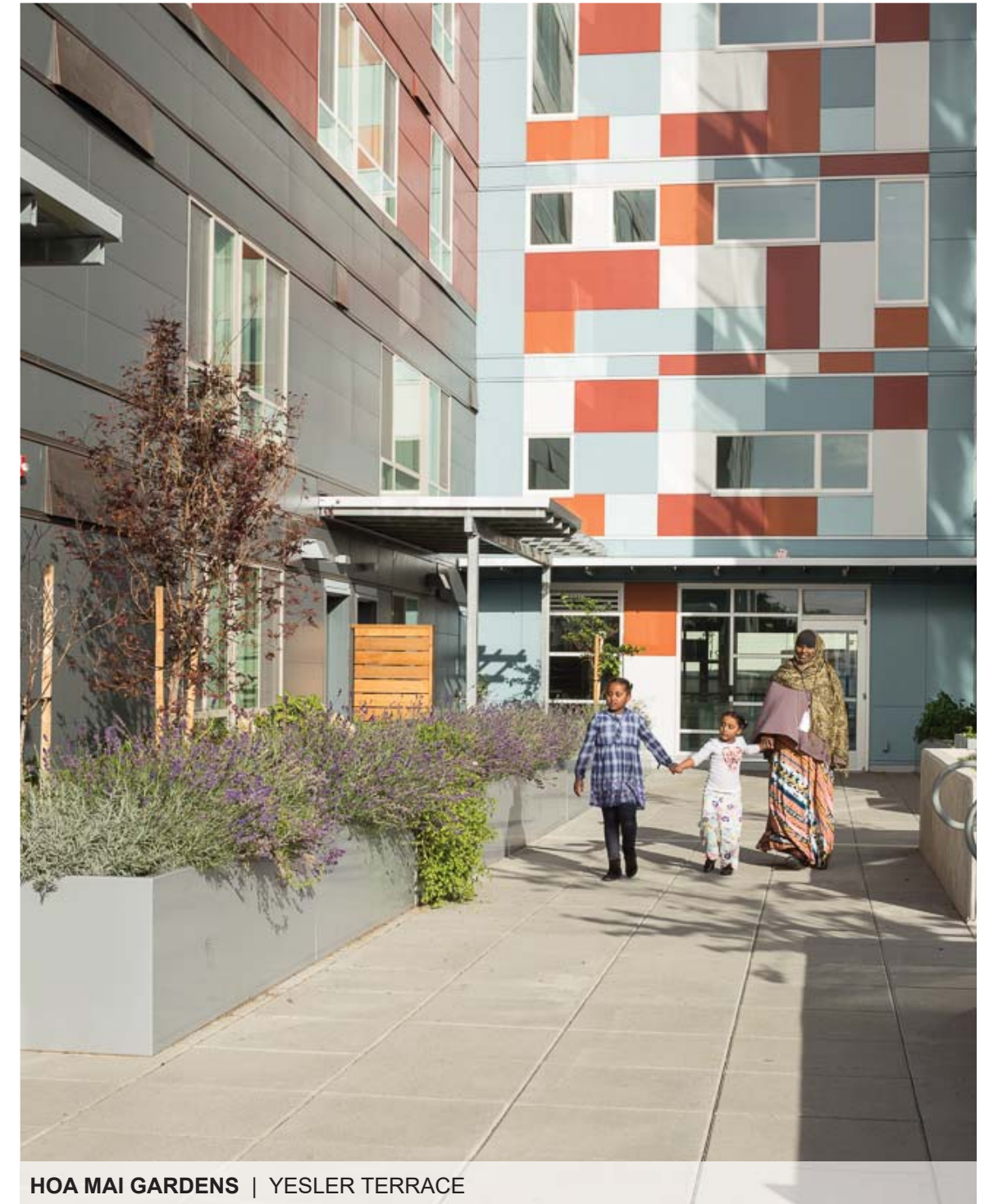
DEVELOPMENT OBJECTIVES

PROJECT VISION

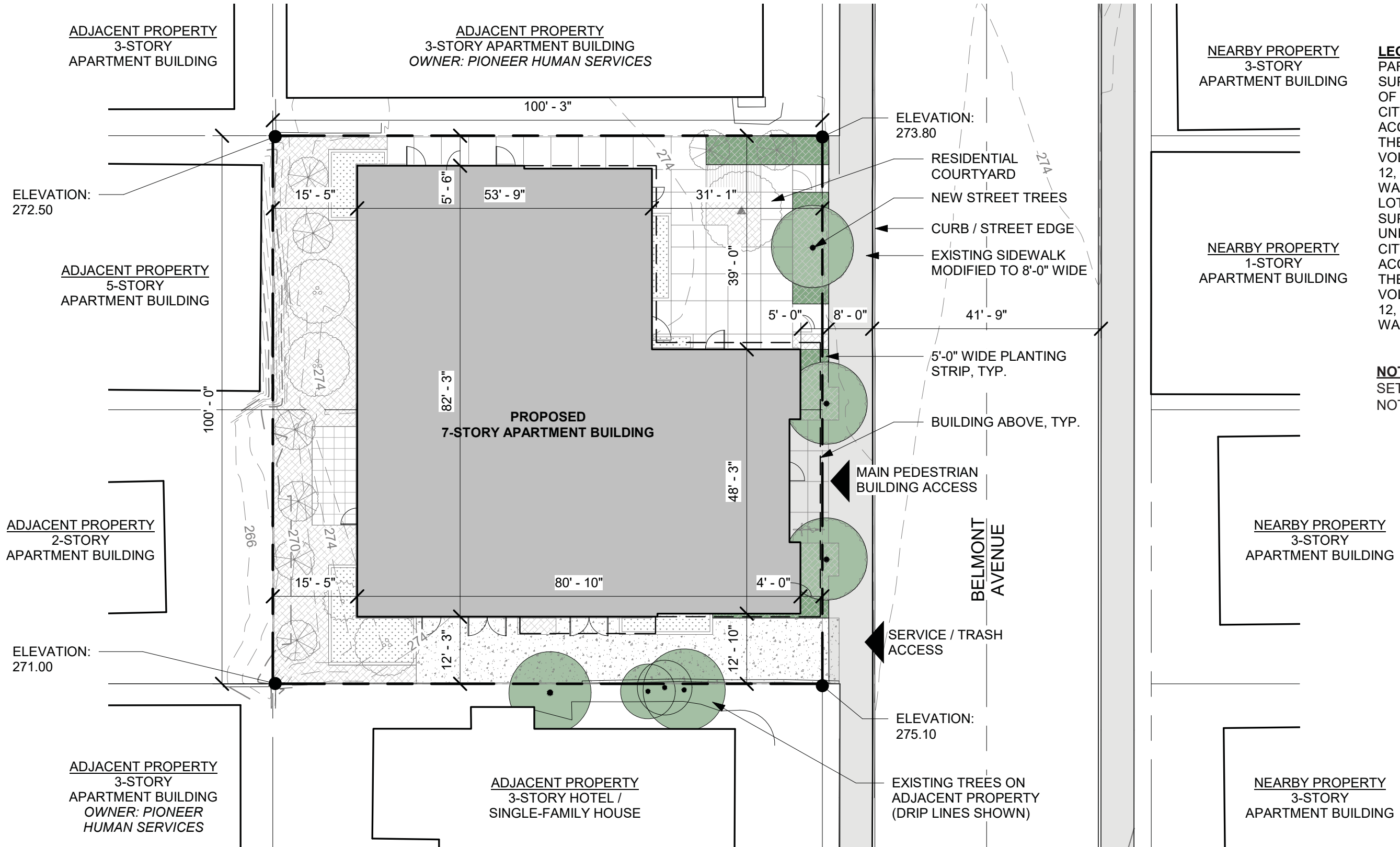
Pioneer's project will represent the first step in their journey to rehabilitate and redevelop their current housing portfolio to create long term stable, efficient, sustainable and dignified housing to better serve their clients and community. This new building will allow them to further develop their services and programming, help engage the street in a positive way and allow them to serve more than twice the number of clients as they do today.

PROJECT CONTEXT

The existing apartment building and parking lot will be replaced with 90 units to greater serve Pioneer Human Services residents. The off-arterial location, centrally located in Capitol Hill provides a great opportunity for the residents. This project will meet the greater community's goals by increasing housing affordability, strengthening and enhancing the existing character and providing a greater range of housing types. The streetscape quality will be improved with the project using open space design and use, residential privacy and reflecting the scale of similar existing buildings on the block.



SITE PLAN



LEGAL DESCRIPTION
 PARCEL A: LOT 5, BLOCK 10,
 SUPPLEMENTARY PLAT
 OF UNION ADDITION TO THE
 CITY OF SEATTLE,
 ACCORDING TO THE PLAT
 THEREOF RECORDED IN
 VOLUME 9 OF PLATS, PAGE
 12, IN KING COUNTY,
 WASHINGTON. PARCEL B:
 LOT 6, BLOCK 10
 SUPPLEMENTARY PLAT OF
 UNION ADDITION TO THE
 CITY OF SEATTLE,
 ACCORDING TO THE PLAT
 THEREOF RECORDED IN
 VOLUME 9 OF PLATS, PAGE
 12, IN KING COUNTY,
 WASHINGTON.

NOTE:
 SETBACK DIMENSIONS
 NOTED AT GROUND PLANE.



URBAN DESIGN ANALYSIS: SITE CONTEXT

SITE

ADDRESS: 1717-1723 Belmont Ave Seattle, WA 98122
ZONE: Mid-Rise (MR); Capitol Hill Urban Village / Station Area Overlay District
SITE AREA: 10,024 sq ft





PROPOSAL

BUILDING FOOTPRINT: 5,675.25 sq. ft.
TOTAL AREA: 43,966.5 sq. ft.
HEIGHT: 71'-8" (75'-0" max. allowed)
TOTAL AREA TOWARDS FAR: 40,442 sq. ft.
FAR: 4.03 (4.25 max. allowed)
UNIT COUNT: 90
VEHICLE PARKING: 0
BIKE PARKING: 59
TOTAL AREA TOWARDS AMENITY: 35,860 sq. ft.
REQUIRED AMENITY (5%): 1,793 sq. ft.
% OF INTERIOR AMENITY: 39% (50% max. allowed)

SUMMARY

The site is located in the Capitol Hill Urban Village, specifically in the South Anchor District between the Olive Way corridor and a Broadway corridor. The neighborhood is mainly characterized by mixed-use apartment buildings and restaurants on high-traffic arterial streets with apartment buildings of varying scales on the blocks in between the arterial streets.

LEGEND

-  CAPITOL HILL URBAN CENTER + DISTRICTS
-  OTHER URBAN CENTER
-  MAJOR ARTERIAL
-  SITE

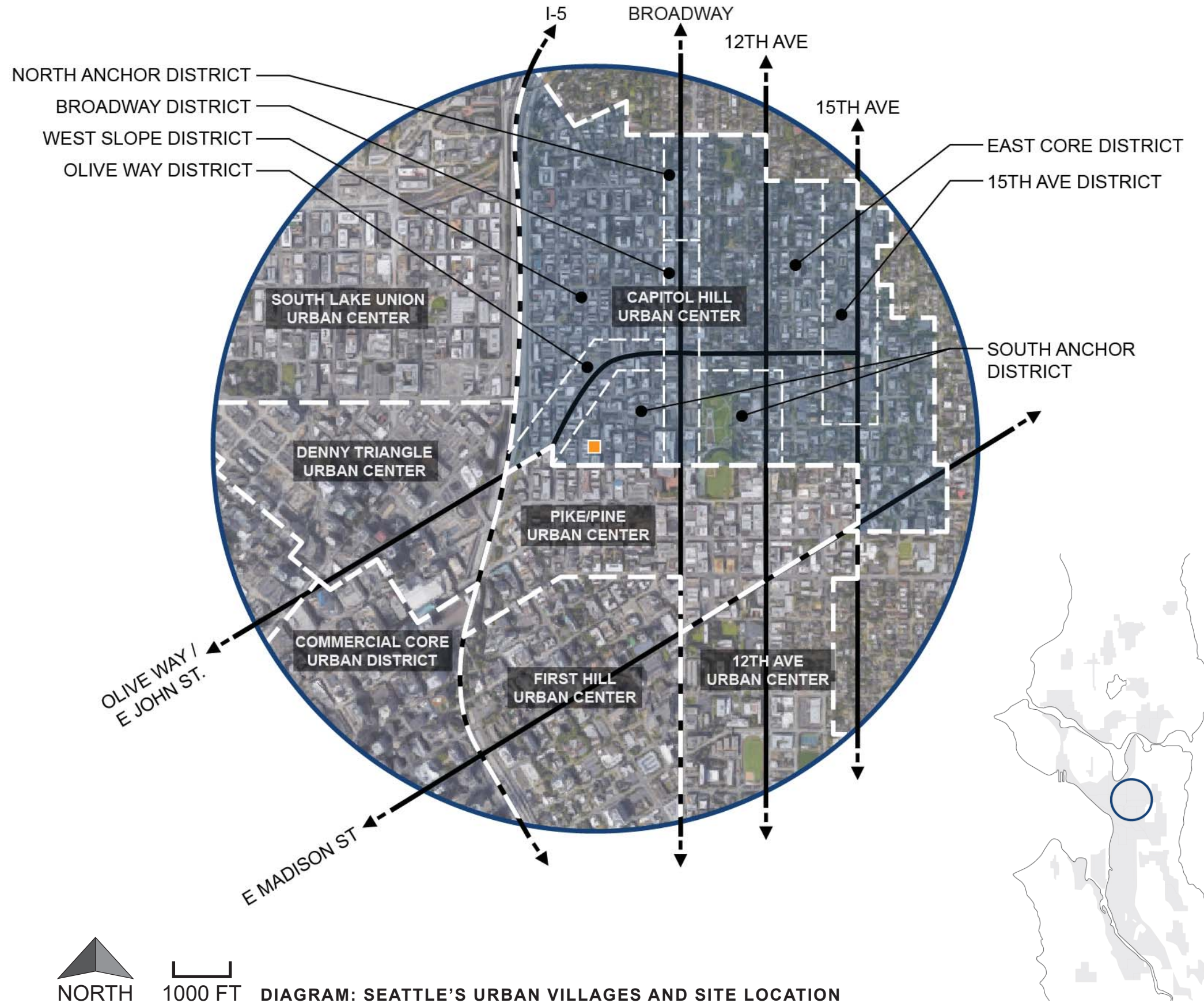
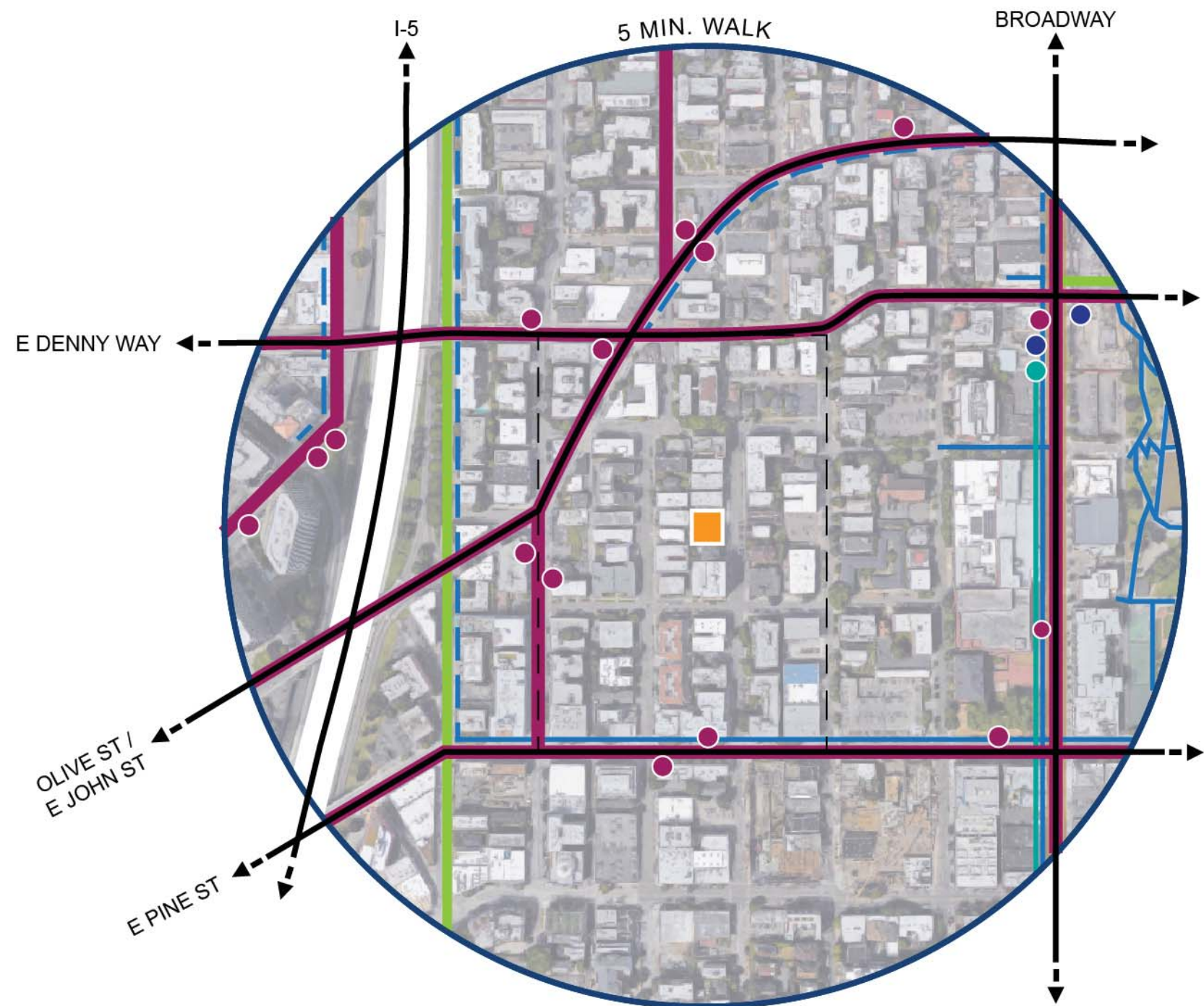


DIAGRAM: SEATTLE'S URBAN VILLAGES AND SITE LOCATION

CONTEXT ANALYSIS: TRANSIT OPPORTUNITIES

SUMMARY

Since the site is located in the Capitol Hill Urban Village, there are many options for public transit. Just a short walk away, occupants of the proposed design have access to multiple bus routes, the link light rail, and streetcar.



LEGEND

- METRO BUS ROUTE
- LINK LIGHT RAIL STATION
- FIRST HILL STREETCAR
- 9 BLOCK BOUNDARY
- FUTURE GREENWAYS
- BIKE ROUTES
- - - BIKE-FRIENDLY STREET
- SITE

BUS ROUTES:

8, 9, 10, 11, 43, 47, 49, 60



200 FT

DIAGRAM: TRANSIT OPPORTUNITIES

URBAN DESIGN ANALYSIS: NOTABLE ARCHITECTURE AND SITING PATTERNS

SUMMARY

The masonry buildings that anchor this section of Belmont Ave have a strong influence on the neighborhood's architectural context. The developments that have followed them throughout the years have reflected their character, having symmetrical facades and more architectural detail at the ground level to improve the pedestrian experience. There are existing courtyards in the neighborhood that enhance the public experience. While they are meant mainly for the building's residents to enjoy the courtyard still provides greenery and landscaping for public enjoyment.

The proposed design draws from the existing architectural context by reflecting the height, bulk and scale of the masonry buildings, exploring symmetrical façade layouts, pulls the massing back from the street to allow for pedestrian relief at a residential courtyard and respecting the single family building to the south by providing a larger setback.

CS2-1: Streetscape Compatibility

CS2-C-2: Mid-Block Site

CS2-3: Height, Bulk, and Scale

PL2-1: Human Scale

DC-A-2: Reducing Perceived Mass

DC3-1: Residential Open Space

LEGEND

- NEW DEVELOPMENT
- COURTYARDS PRECEDENTS
- ARCHITECTURAL CONTEXT
- SITE

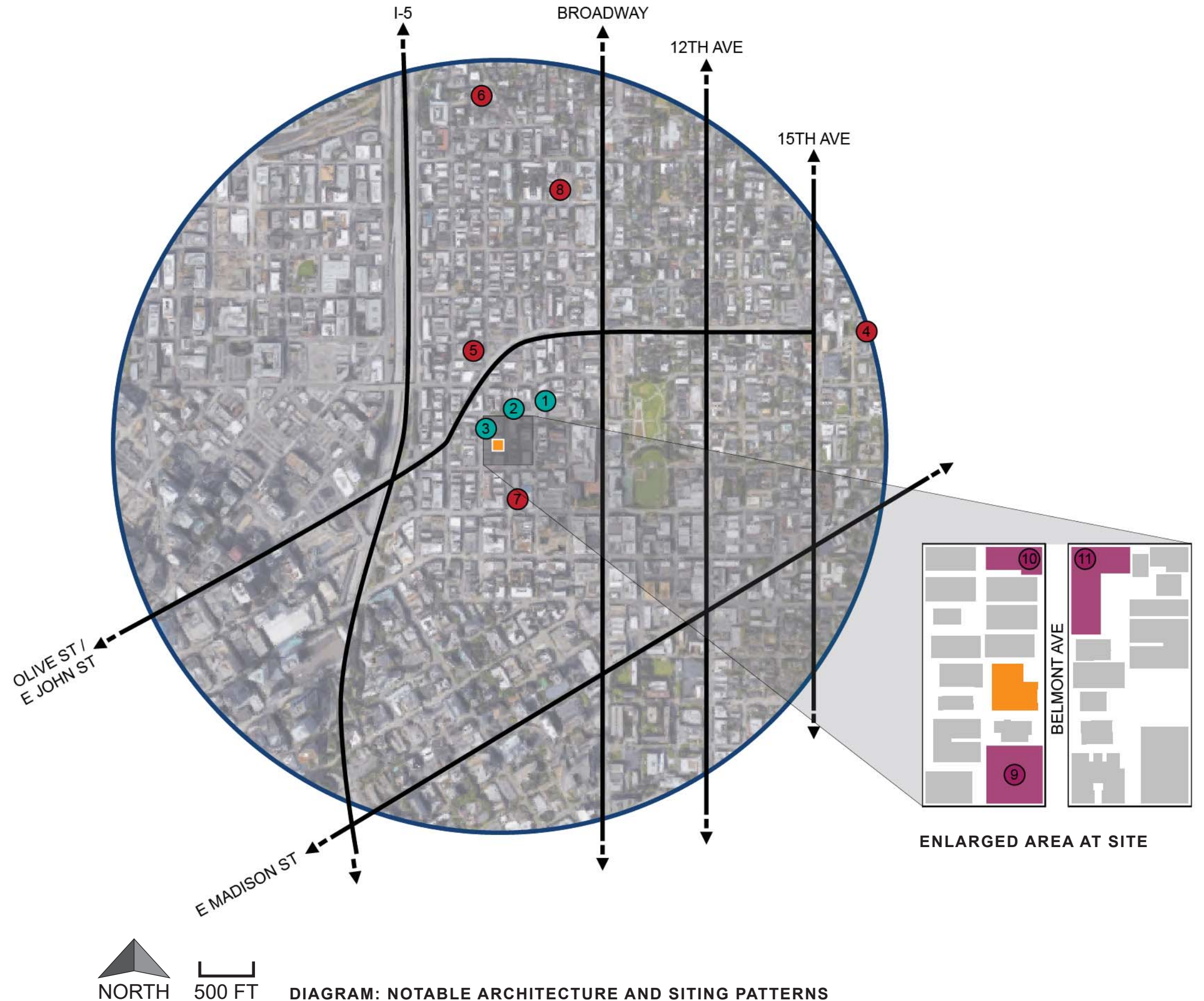


DIAGRAM: NOTABLE ARCHITECTURE AND SITING PATTERNS

NOTABLE ARCHITECTURE AND SITING PATTERNS



1. 600 E HOWELL ST | ASSYMETRICAL



2. 1728 SUMMIT AVE | BASE, MIDDLE, TOP



3. 1820 BOYLSTON AVE | STRONG BASE, CONSISTENT TOP



4. ANHALT APTS. | STREET COURTYARD



5. BILTMORE APTS. | STREET COURTYARD



6. THE SUMMIT APTS. | STREET COURTYARD



7. 1610 BELMONT AVE | STREET COURTYARD



8. 512 BOYLSTON AVE | STREET COURTYARD



9. CHARBERN APTS | SYMMETRY, DATUM LINES



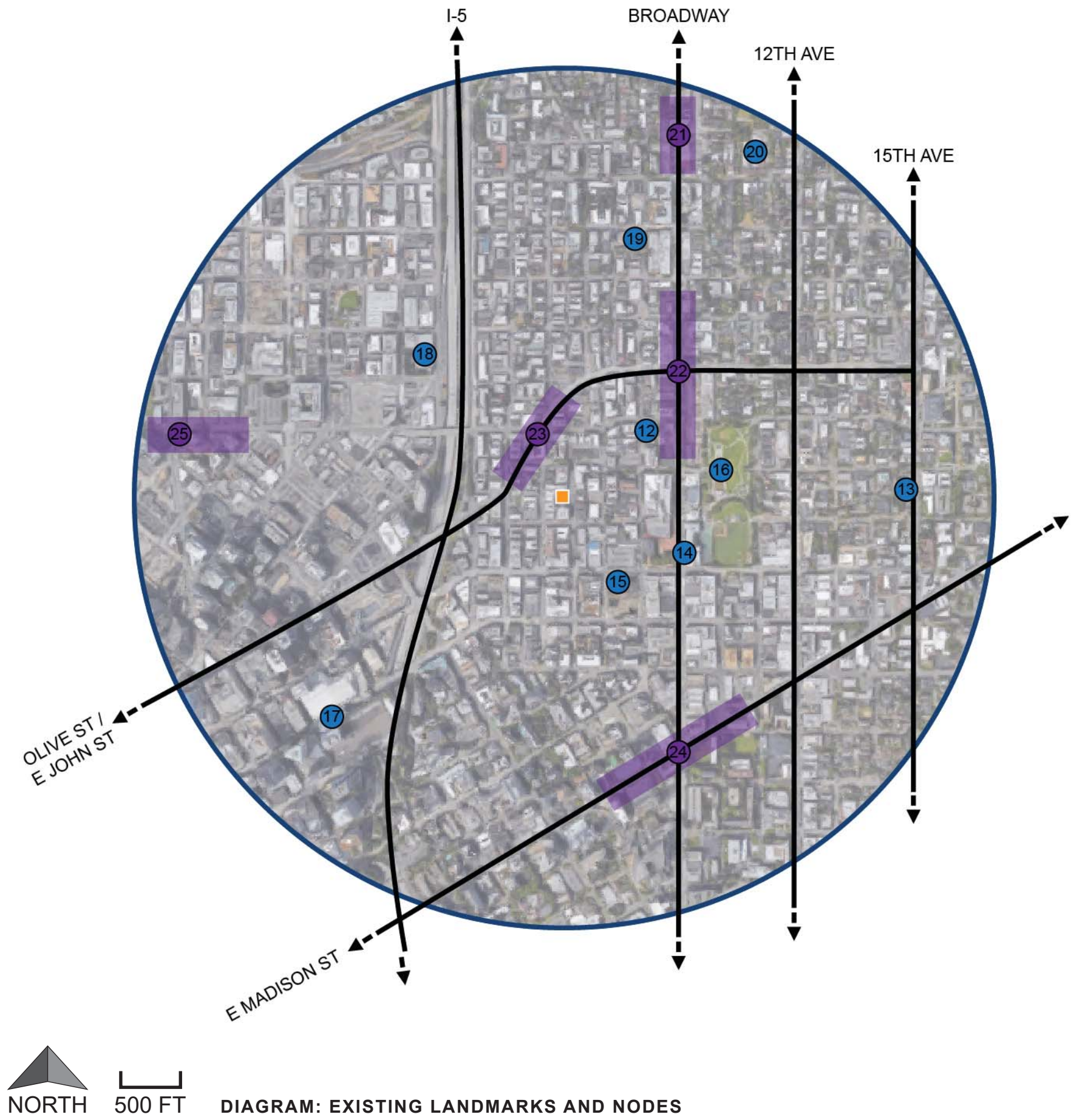
10. EMERALD ARM APTS. | SYMMETRY



11. GRENADA APTS. | SYMMETRY, DATUM LINES

URBAN DESIGN ANALYSIS: EXISTING LANDMARKS AND NODES

- LEGEND**
- LANDMARKS
 - NODES
 - SITE



EXISTING LANDMARKS AND NODES



12. PANTAGES HOUSE



13. SINGERMAN HOUSE



14. JIMI HENDRIX STATUE



15. LINDA'S TAVERN



16. CAL ANDERSON POOL



17. WA STATE CONVENTION CENTER



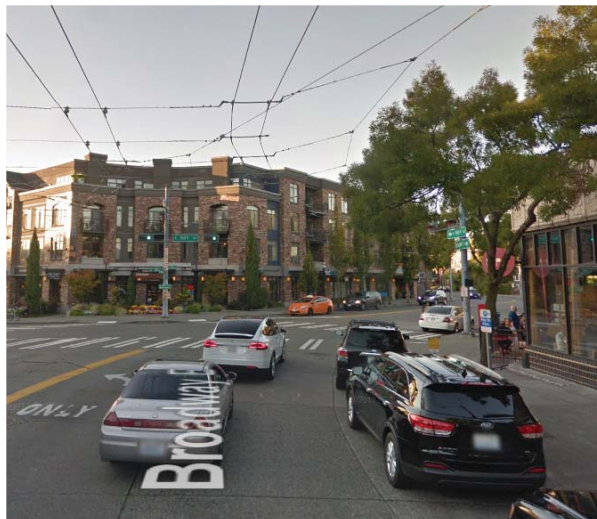
18. REI FLAGSHIP STORE



19. SEATTLE PUBLIC LIBRARY - CAPITOL HILL BRANCH



20. LOWELL ELEMENTARY SCHOOL



21. BROADWAY & ROY ST



22. BROADWAY & OLIVE WAY



23. DENNY WAY & OLIVE WAY



24. BROADWAY & MADISON ST



25. DENNY WAY & WESTLAKE AVE

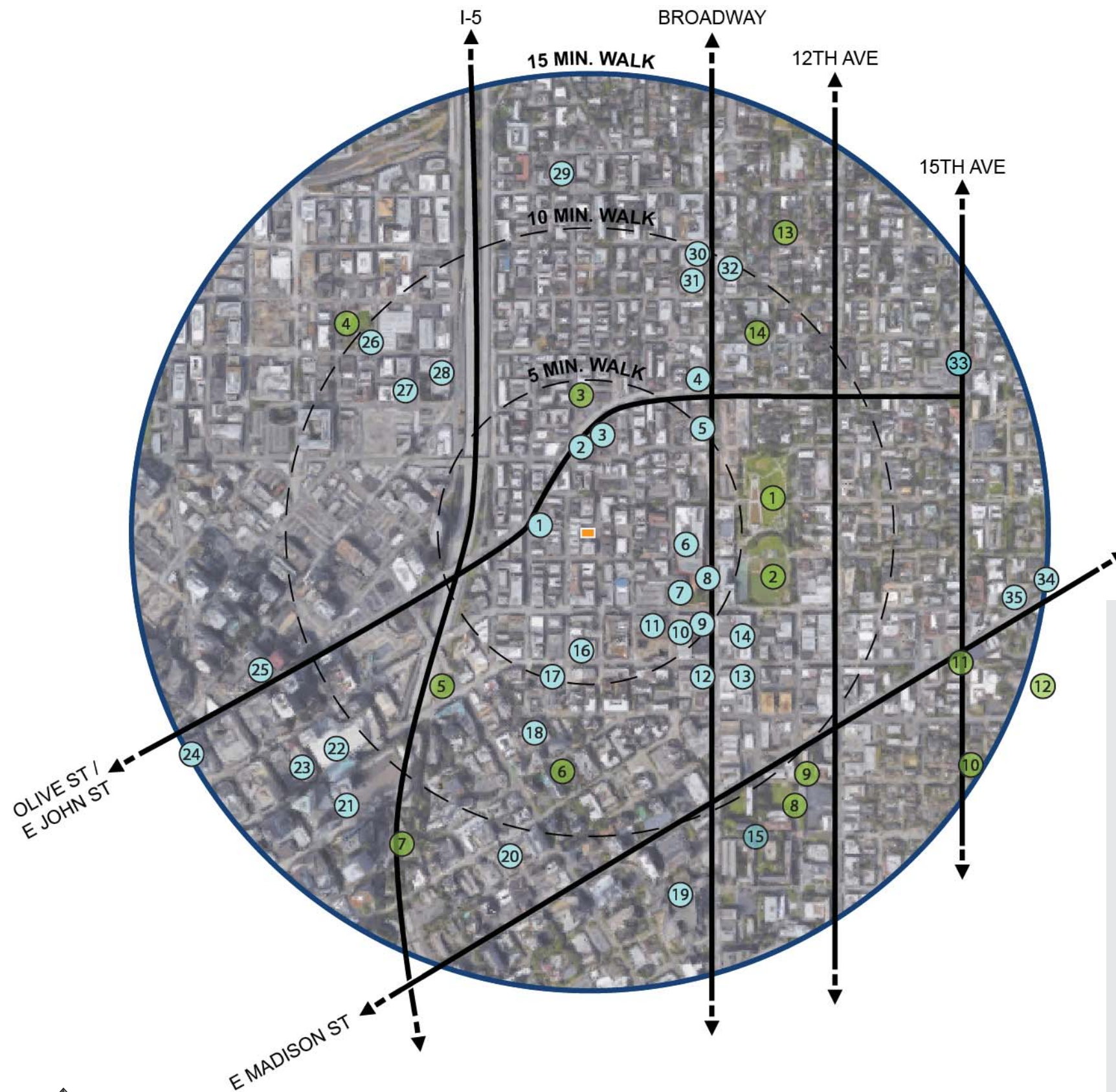
CONTEXT ANALYSIS: AMENITIES AND GREEN SPACE

SUMMARY

Since the site is located in the Capitol Hill Urban Village, the occupants of the proposed design will have access to many parks and amenities. There are a number of grocery stores, medical facilities, entertainment spaces, and other places where they can engage with the neighborhood's community in the surrounding area.

LEGEND: AMENITIES

- ① CITY MARKET
- ② GHOST GALLERY
- ③ GOODWILL
- ④ RITE AID
- ⑤ PHOENIX COMICS & GAMES
- ⑥ SEATTLE CENTRAL COLLEGE CAMPUS
- ⑦ BROADWAY PERFORMANCE HALL
- ⑧ CAPITOL HILL FARMER'S MARKET
- ⑨ WALGREENS
- ⑩ SIFF CINEMA EGYPTIAN
- ⑪ LINDA'S TAVERN
- ⑫ QFC + STARBUCKS
- ⑬ NEUMOS CONCERT HALL
- ⑭ ELLIOT BAY BOOK COMPANY
- ⑮ SEATTLE U CAMPUS
- ⑯ RIVAL FITNESS
- ⑰ TRUE LOVE ART GALLERY
- ⑱ UNION PARK GROCERY + DELI
- ⑲ SWEDISH FIRST HILL
- ⑳ VIRGINIA MASON HOSPITAL + SEATTLE MEDICAL CENTER
- ㉑ ACT THEATRE
- ㉒ WA STATE CONVENTION CENTER
- ㉓ REGAL CINEMAS
- ㉔ WESTLAKE CENTER
- ㉕ 24HOUR FITNESS



LEGEND: GREENSPACE

- ① CAL ANDERSON PARK
- ② BOBBY MORRIS PLAYFIELDS
- ③ SUMMIT SLOPE PARK
- ④ CASCADE PLAYGROUND + CASCADE PATCH
- ⑤ PLYMOUTH PILLARS PARK
- ⑥ FIRST HILL PARK
- ⑦ FREEWAY PARK
- ⑧ SEATTLE U's UNION GREEN + THINKING FIELD
- ⑨ JAPANESE AMERICAN REMEMBRANCE GARDEN
- ⑩ SPRING STREET MINI PARK
- ⑪ MCGILVRA PLACE
- ⑫ TT MINOR PLAYFIELD
- ⑬ BROADWAY HILL PARK
- ⑭ THOMAS STREET GARDENS



DIAGRAM: AMENITIES AND GREENSPACE

IMAGES



6. FIRST HILL PARK | GREENSPACE



1. CAL ANDERSON PARK | GREENSPACE

CONTEXT ANALYSIS: AMENITIES AND GREEN SPACE



19. SWEDISH FIRST HILL | AMENITY



2. BOBBY MORRIS PLAYFIELDS | GREENSPACE



8. CAPITOL HILL FARMER'S MARKET | AMENITY



18. UNION PARK GROCERY + DELI | AMENITY



12. QFC + STARBUCKS | AMENITY



1. CITY MARKET | AMENITY



4. CASCADE PLAYGROUND + CASCADE PATCH | GREENSPACE



9. WALGREENS | AMENITY



8. SEATTLE U's UNION GREEN | GREENSPACE

URBAN DESIGN ANALYSIS: 9-BLOCK DEVELOPMENT

SUMMARY

Centrally located in a MR-60 zone, the site is surrounded by existing buildings that reflect the height and scale. The property is surrounded with existing multi-family buildings. New and upcoming redevelopment is occurring around the 9-block. One and a half blocks to the south and west, the zone changes to NCP-65 which can provide amenities for residential buildings.

CS2-1: Streetscape Compatibility

CS2-C-2: Mid-Block Site

CS2-3: Height, Bulk, and Scale

PL2-1: Human Scale

PL2-2: Personal Safety and Security

DC-A-2: Reducing Perceived Mass

DC2-B-1: Façade Composition

DC3-1: Residential Open Space

LEGEND: STRUCTURE USE

- MIXED USE APARTMENT
- APARTMENT
- CONDOMINIUM
- MULTI-FAMILY HOUSE
- SINGLE-FAMILY HOUSE
- HOTEL
- TAVERN / RESTAURANT
- GROCERY
- OFFICE
- RETAIL/WHOLESALE
- PARKING

LEGEND: ZONING

- MR
- NC-65
- NCP-65
- STREET TREES / GREEN SPACE

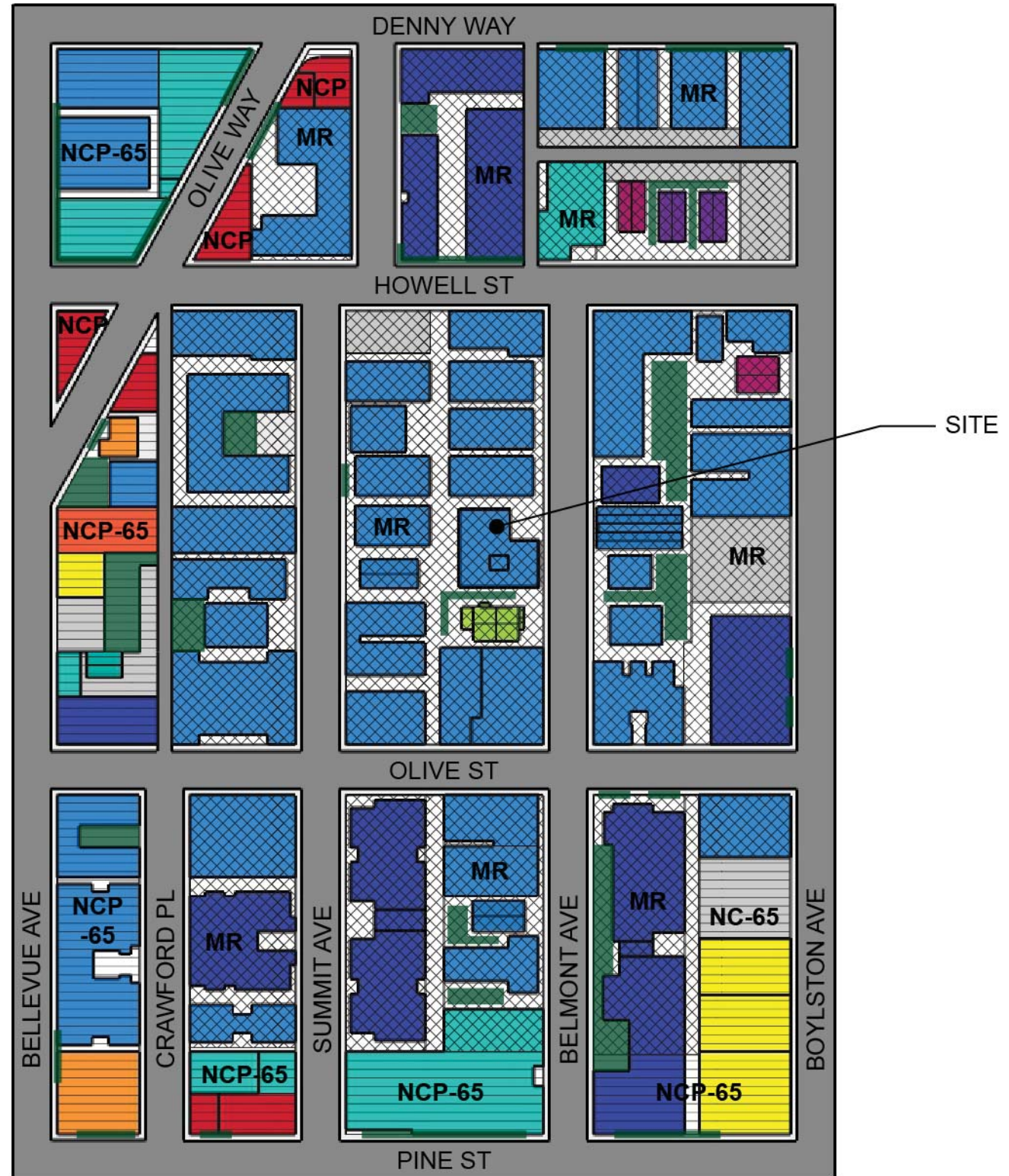
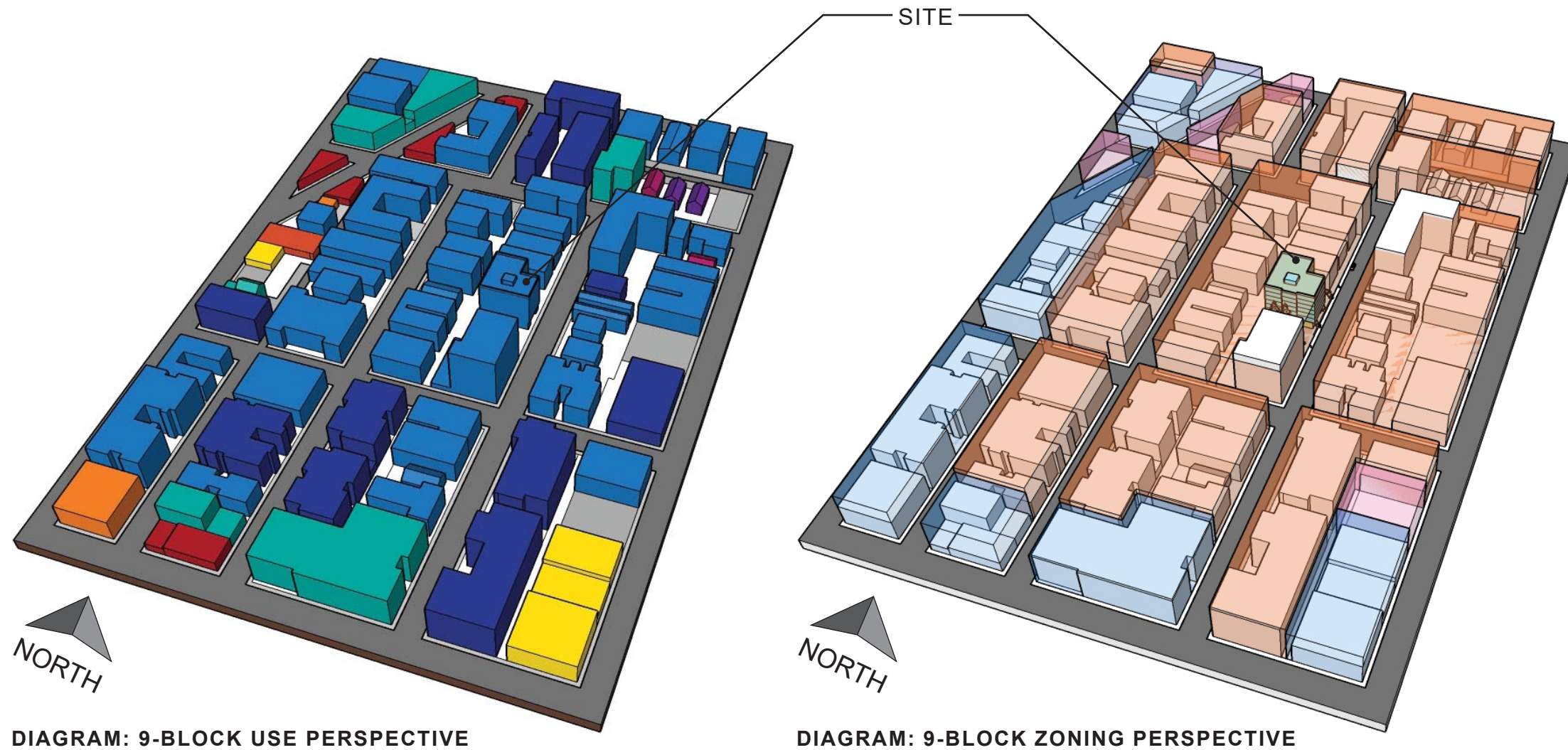


DIAGRAM: 9-BLOCK PLAN

URBAN DESIGN ANALYSIS: 9-BLOCK DEVELOPMENT



LEGEND: STRUCTURE USE

- MIXED USE APARTMENT
- APARTMENT
- CONDOMINIUM
- MULTI-FAMILY HOUSE
- SINGLE-FAMILY HOUSE
- HOTEL
- TAVERN / RESTAURANT
- GROCERY
- OFFICE
- RETAIL/WHOLESALE
- PARKING

LEGEND: ZONING

- MR
- NC-65
- NCP-65

STREETSCAPES





1 BELMONT AVE LOOKING EAST



SITE LOCATION
(ACROSS STREET)



2 BELMONT AVE LOOKING WEST



SITE LOCATION



3 HOWELL ST LOOKING NORTH

URBAN DESIGN ANALYSIS: STREETSCAPES

SUMMARY

The proposed street frontage height, bulk and scale mirror the existing masonry buildings along the block and how they meet the sidewalk. Extra relief will be provided to the pedestrian with the courtyard. This mid-block courtyard will be an added bonus to this block which is currently lacking green space. It will also connect to the tree canopy at the north end of the block at Howell Street and the courtyards on a block to the south.

CS2-1: Streetscape Compatibility

CS2-C-2: Mid-Block Site

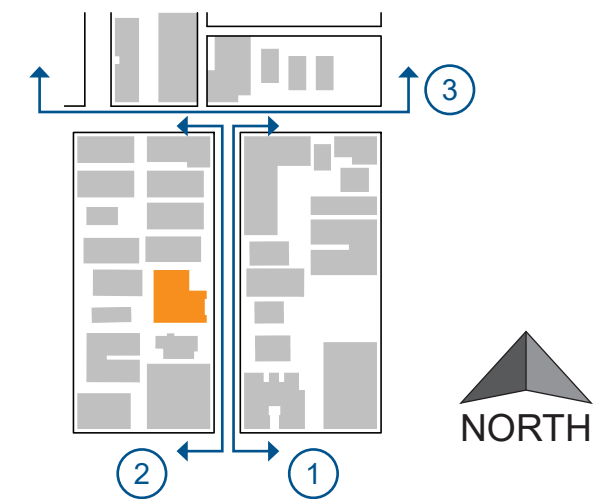
CS2-3: Height, Bulk, and Scale

PL2-1: Human Scale

DC-A-2: Reducing Perceived Mass

DC2-B-1: Façade Composition

DC3-1: Residential Open Space



LEGEND



SITE PHOTOS



LOOKING NORTH ON BELMONT AVE



LOOKING SOUTH ON BELMONT AVE



LOOKING SOUTH ON BELMONT AVE



LOOKING INTO THE SITE FROM BELMONT AVE



SOUTHERN PROPERTY - VEGETATIVE BARRIER



SOUTH PROPERTY LINE

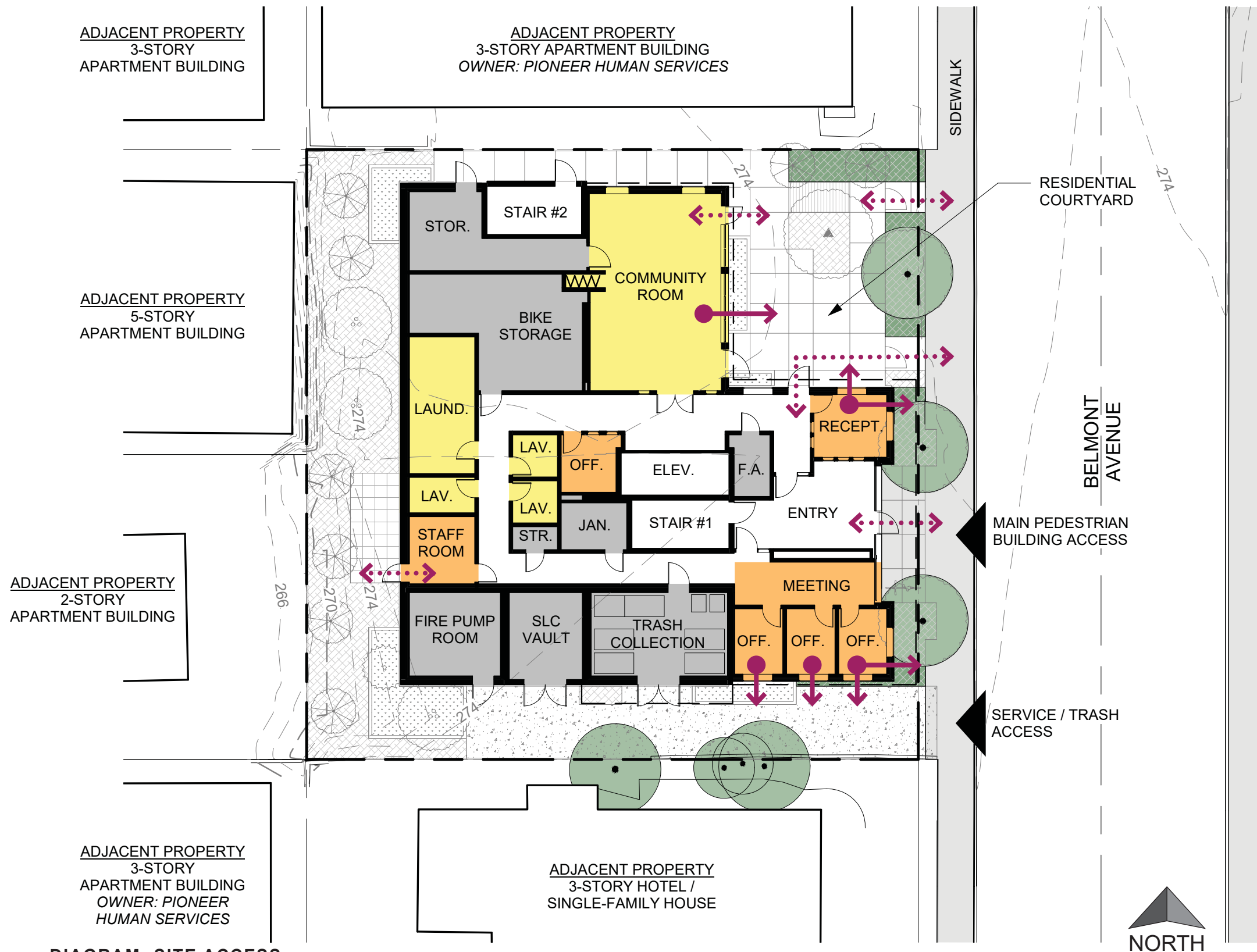


DIAGRAM: SITE ACCESS

LEGEND

- COMMUNITY SPACES
- STAFF SPACES
- UTILITY SPACES
- PEDESTRIAN CONNECTIONS
- VIEWS

**URBAN DESIGN ANALYSIS:
SITE ACCESS DIAGRAM**

SUMMARY

The site is located mid-block and does not have alley access. Access to the site is limited to its eastern property line along Belmont Ave. Since the owner of this property also owns the site to the north and plans to develop that site in the future, it is beneficial to locate the courtyard to the north side of the site. Refuse and utilities are located on the south side of the property with the building separating them from pedestrians and from the street frontage.

GROUND FLOOR ORGANIZATION

The main entrance is centrally located on the main façade meeting the sidewalk. The recessed entry clearly identifies and provides protection. The large entry lobby is flanked with glazing to provide eyes on the street from management office and informal meeting spaces. The offices continue along the south façade to provide ground level relief to the south and eyes on the limited access side yard. The active space continues along the courtyard with a multi-purpose community room for the residents. The resident laundry room faces west taking advantage of the views of the green space and setback. The utility spaces are located along the south façade off of the street scape to increase streetscape compatibility.

RESIDENTIAL FLOOR ORGANIZATION

The upper floors are efficiently organized with units facing all sides of the building engaging the views and creating interest on all façades.

- CS2-1: Streetscape Compatibility*
- CS2-C-2: Mid-Block Site*
- PL2-1: Human Scale*
- PL2-2: Personal Safety and Security*
- DC-A-2: Reducing Perceived Mass*
- DC1-2: Screening of Dumpsters, Utilities and Service Areas*
- DC2-B-1: Façade Composition*
- DC3-1: Residential Open Space*

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**ZONING DATA:
LAND USE CODE ANALYSIS**

Parcel A: 1723 Belmont Ave: 8804900675

Parcel B: 1717 Belmont Ave: 8804900680

Legal Description:

Parcel A: Lot 5, block 10, supplementary plat of union addition to the City of Seattle, according to the plat thereof recorded in volume 9 of plats, page 12, in King County, Washington.

Parcel B: Lot 6, block 10 supplementary plat of union addition to the city of Seattle, according to the plat thereof recorded in volume 9 of plats, page 12, in King County, Washington.

Lot Size: 10,024 sq. ft. or 0.23 acres

Zoning: MR-60

Overlay: Capitol Hill Urban Village / Station Area Overlay District

23.45.504 – Permitted and Prohibited Uses

B. Residential uses and community centers are permitted in MR zones.

23.45.510 – Floor Area Ratio (FAR) Limits

D. The maximum FAR allowable for MR zones is 4.25 since the proposal complies with Chapter 23.58A. 10,024 sq. ft. x 4.25 = 42,602 sq. ft. maximum allowable FAR.

23.45.514 – Structure Height

B. The maximum height allowable is 75 ft. above grade plane since the proposal complies with Chapter 23.58A and Section 23.45.516.

J.2 Parapets on the roofs of principal structures may extend 4 feet above the maximum height limit.

J.5 In MR zones, the following stairs, elevators, and other building components may extend 15 feet above the applicable height limit if the combined total coverage of all features does not exceed 20 percent of the roof area, or 25 percent of the roof area if the total includes screened mechanical equipment.

23.45.516 – Additional Height and Extra Residential Floor Area in MR Zones

B.1 The property in subject is eligible for extra residential floor area and additional height because it is in an MR zone, urban village, and in the Station Area Overlay District. The property does not abut a lot zoned single-family.

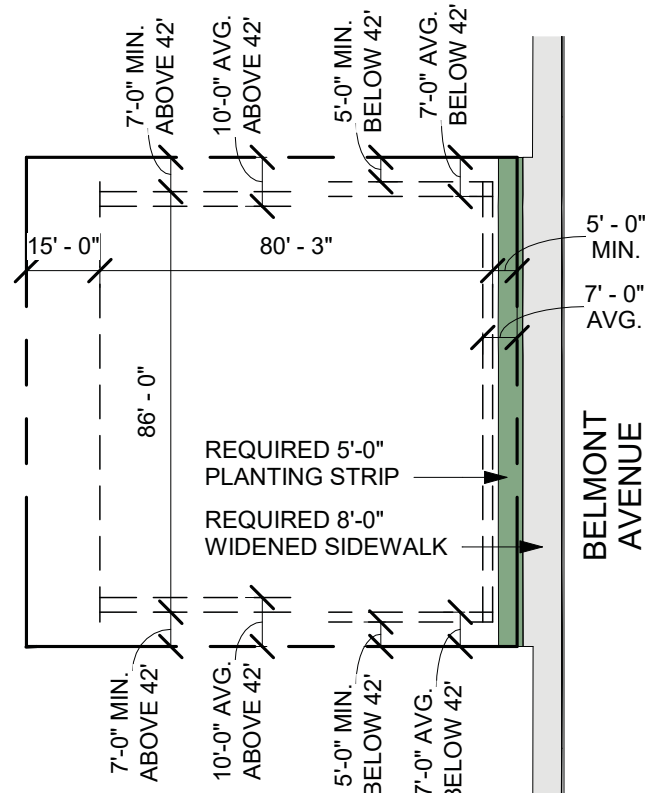


DIAGRAM: TYPICAL SETBACKS

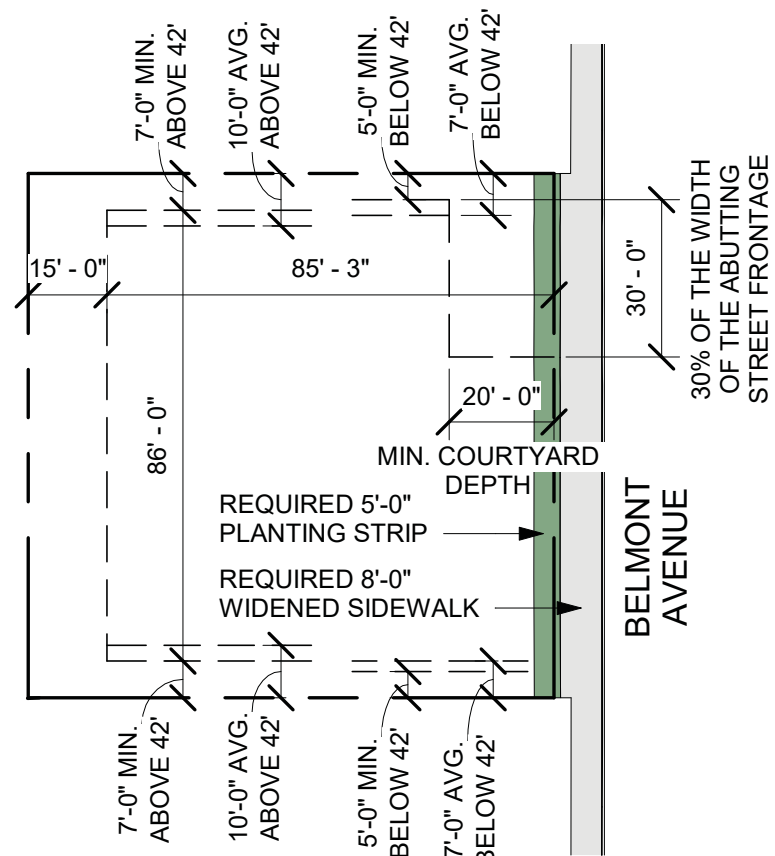


DIAGRAM: SETBACKS WITH COURTYARD

23.45.518 – Setbacks and Separations

Table B

The front setback from street lot lines is 7-foot average/5-foot minimum. No setback is required if a courtyard abuts the street and the courtyard has a minimum width equal to 30 percent of the width of the abutting street frontage or 20 feet, whichever is greater; and a minimum depth of 20 feet measured from the abutting street lot line.

The rear setback is 15 feet from a rear lot line that does not abut an alley.

The side setback from an interior lot line is 7-foot average/5-foot minimum for portions of the structure 42 feet or less in height and 10-foot average/7-foot minimum for portions of the structure above 42 feet in height. All common areas are greater than 250 sq. ft. and exceed the minimum horizontal dimension of 10'-0".

23.45.522 – Amenity Area

C. The required amount of amenity area in MR zones is equal to 5% of the total gross floor area of a structure in residential use.

D. All units have access to the common amenity area, and no more than 50% of the amenity area is enclosed.

23.45.524 – Landscaping Standards

A.2.b. A Green Factor score of 0.5 or greater is met, as is determined in Section 23.86.019.

B.3 Since there is no planting strip in the right-of way, a 5' setback is to be planted with street trees along the street lot line, as has been approved by SDOT.

23.54.015 – Required Vehicle Parking

Table B, Row L. There is no minimum requirement for all residential uses within urban centers or within the Station Area Overlay District.

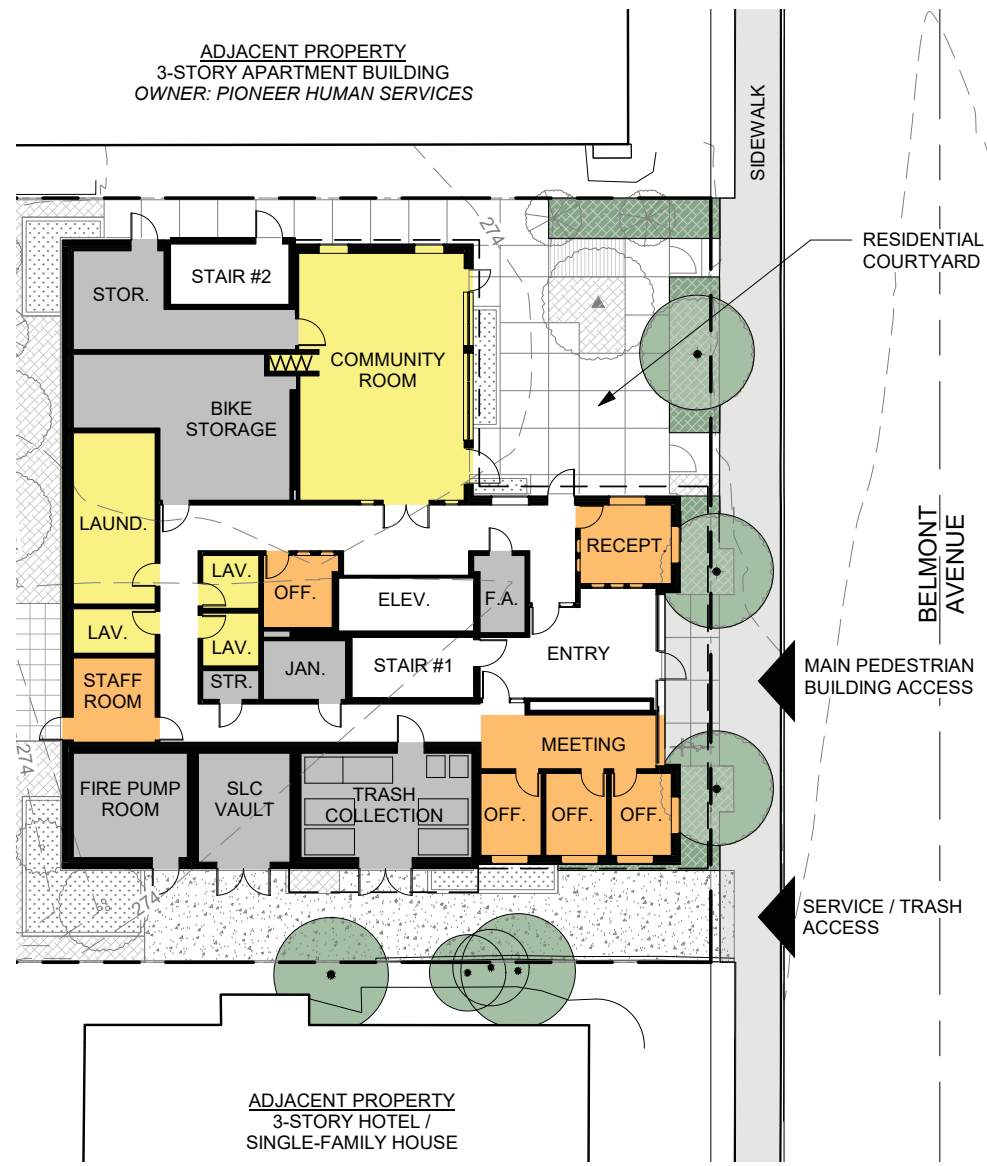
Table D, Row D.1. 0.75 bike parking spaces are required per 1 small efficiency dwelling unit.

DESIGN GUIDELINES

CS2 URBAN PATTERN AND FORM

CAPITOL HILL CS2-1: STREETSCAPE COMPATIBILITY

The existing sidewalk remains in alignment while increasing to 8'-0" to meet current SDOT standards. New street trees are placed in a 5'-0" wide planting strip between the building and sidewalk which will greatly improve the existing sidewalk. The massing of the building meets the street in a similar fashion to the existing buildings along the block, but provides relief with a street facing courtyard. The visual impacts of utilities and refuse are minimized by setting back on the southern property line to avoid fronting the street.



STREETSCAPE COMPATIBILITY

CS2 URBAN PATTERN AND FORM

SEATTLE CS2-C-2: MID-BLOCK SITE

As seen below, masonry buildings anchor three corners of this block making a significant street presence. In response to these masonry buildings, this mid-block site will continue a strong street edge and propose to align with horizontal datum lines to regulate the facade. The proposed street facade will be symmetrical and proportional reflecting the composition of the masonry facades.



URBAN PATTERN AND FORM



URBAN PATTERN AND FORM

CS2 URBAN PATTERN AND FORM

CAPITOL HILL CS2-3: HEIGHT, BULK, AND SCALE

The street-facing mass and height of the proposed development is similar to the three masonry buildings along this block. A portion of the building steps back to create a relief courtyard almost exactly mid-block. The bulk and scale is minimized with the integration of the courtyard. A block to the south, a contemporary example provides relief in a similar way with a courtyard.

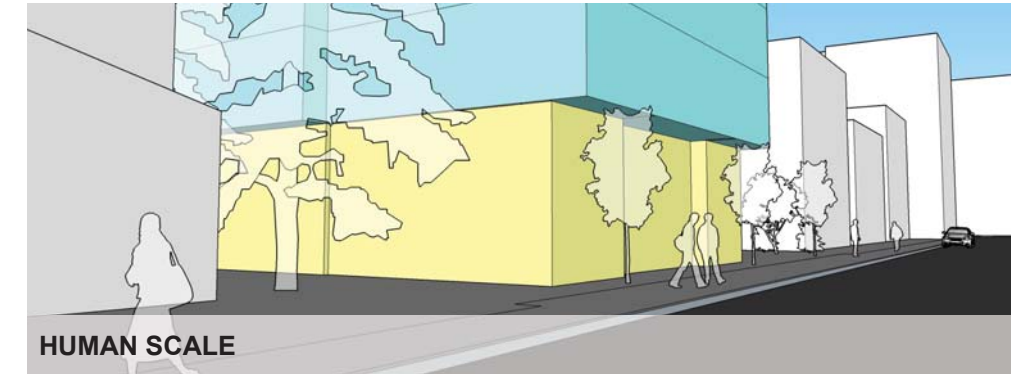


URBAN PATTERN AND FORM

PL2 WALKABILITY

CAPITOL HILL PL2-1: HUMAN SCALE

The building setback at the ground level enhances the pedestrian space with planting strips, street trees and a large courtyard. The materials, scale and details at the street-level will draw inspiration from the masonry buildings along this block to reflect human scale.



HUMAN SCALE

PL2 WALKABILITY

CAPITOL HILL PL2-2 + SEATTLE PL2-B-1 PEDESTRIAN OPEN SPACES AND ENTRANCES

The main building entry is clearly identified by immediately engaging the pedestrian at the sidewalk. Centrally located along the main building mass, the slight setback draws the residents in. Transparent storefront glazing is anticipated across the entire lobby with lighting both inside and out. The resident courtyard enhances the sidewalk experience incorporating the planting strip that draws the eyes in.

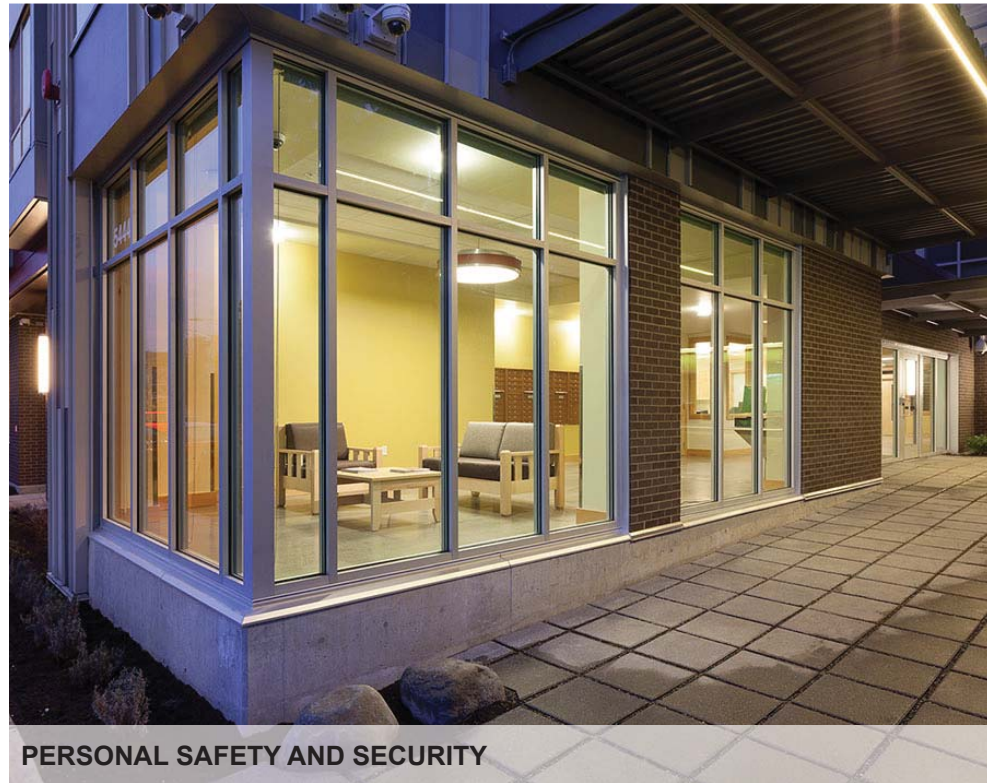


PEDESTRIAN OPEN SPACES AND ENTRANCES

PL2 WALKABILITY

CAPITOL HILL PL2-3 + SEATTLE PL2-B-1
PERSONAL SAFETY AND SECURITY

The proposal will incorporate a large amount of transparent storefront at the ground level in order to provide the management a clear view of the courtyard, south side yard and sidewalk. Downlighting placed under the building's overhang and lighting at foot-level may signify the entrance and courtyard pathways, providing a safe environment for pedestrians without being intrusive to neighboring properties. The courtyard will also be encompassed with transparent storefront and the community room to engage with the outdoor space.

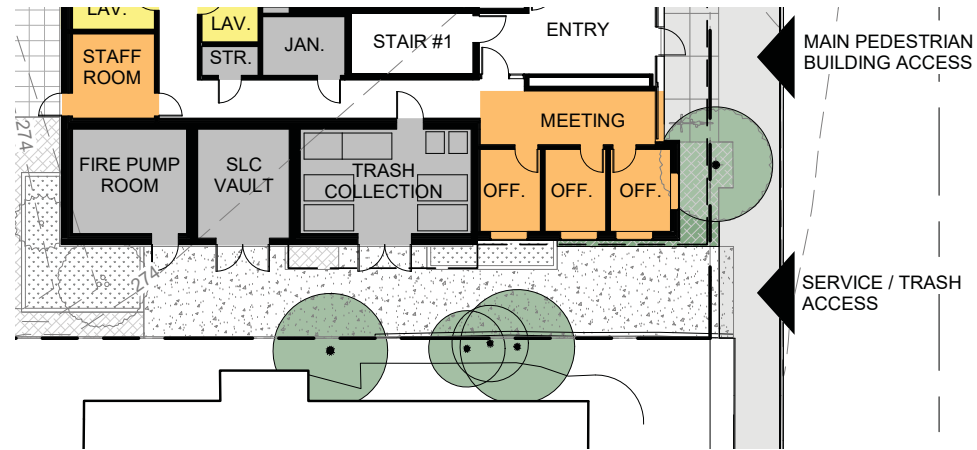


PERSONAL SAFETY AND SECURITY

DC1 PROJECT USES AND ACTIVITIES

CAPITOL HILL DC1-2: SCREENING OF DUMPSTERS, UTILITIES, AND SERVICE AREAS

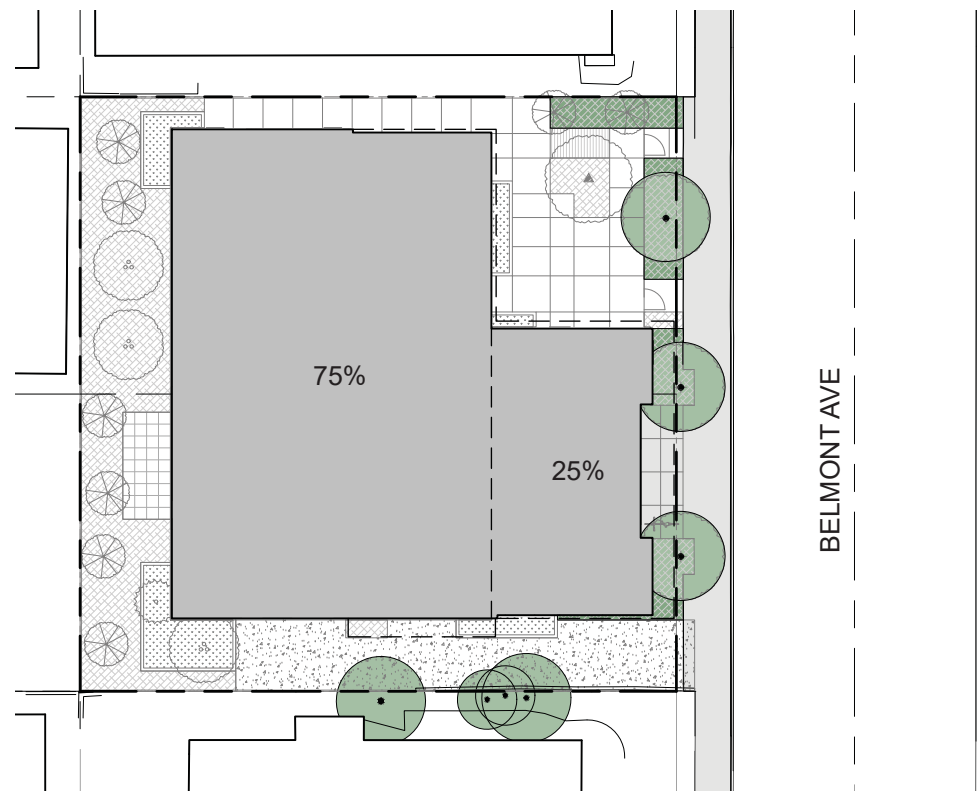
All the service areas will be located along the south façade and are pushed back from the street facing façade. Fencing and planting will be used to screen the areas from the adjacent property and sidewalk.



DC2 ARCHITECTURAL CONCEPT

SEATTLE DC2-A-2: REDUCING PERCEIVED MASS

Approximately 75% of the building has been pulled back from the street lot line in order to reduce the perceived mass and provide a landscaped courtyard. Instead of one large rectangular mass, the building is composed of two smaller masses arranged in an L-shape.

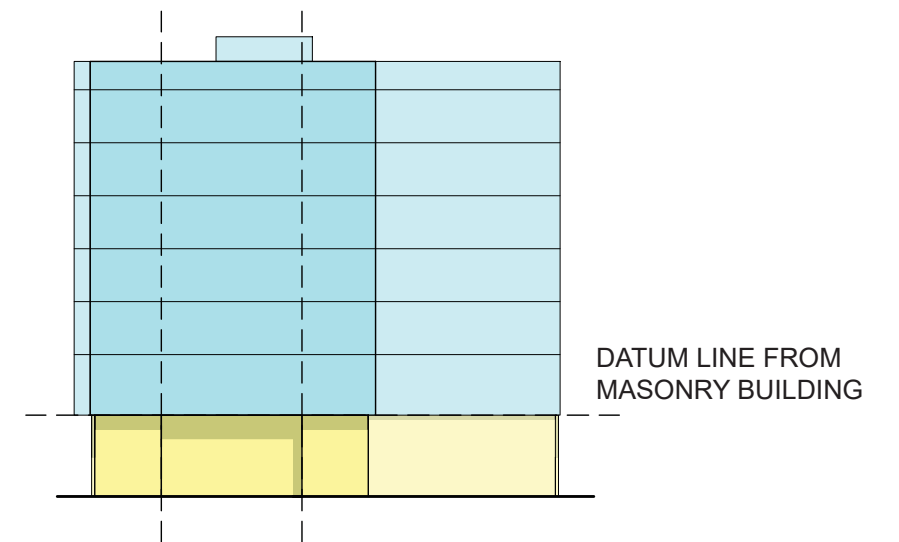


REDUCING PERCEIVED MASS

DC2 ARCHITECTURAL CONCEPT

SEATTLE DC2-B-1: FACADE COMPOSITION

The composition of the facades will reflect those of the masonry buildings along the block. Detail will be focused on the street/first level and entry as well as the roof line. The façade composition is also proposed to be symmetrical in nature.



DC3 OPEN SPACE CONCEPT

CAPITOL HILL DC3-1: RESIDENTIAL OPEN SPACE

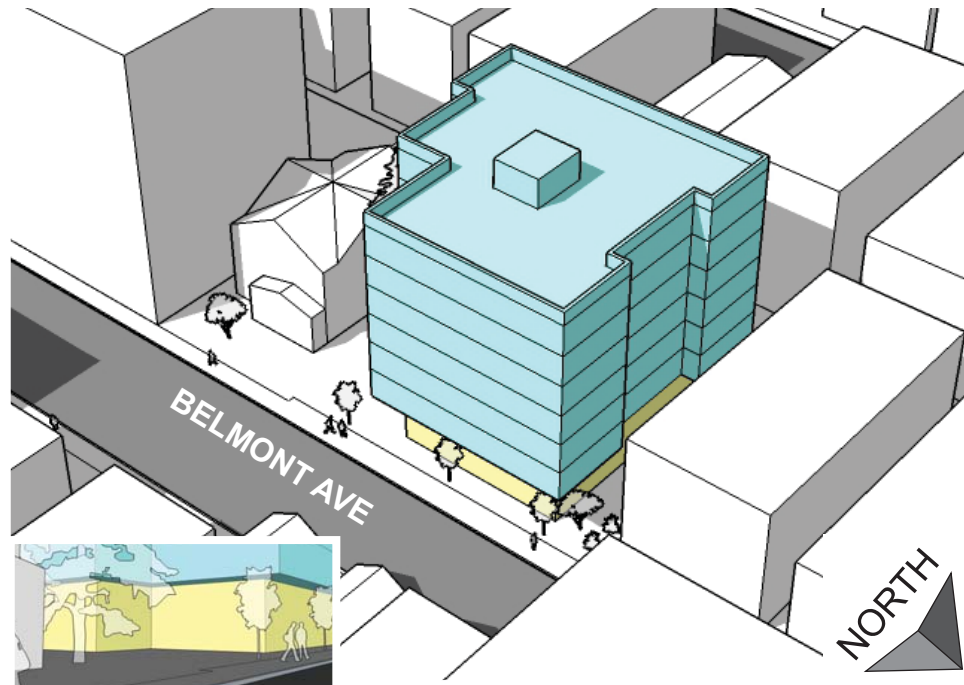
There is no planting strip between the sidewalk and street on this block of Belmont Ave. As a result, there are very few street trees in the area. To accommodate street trees, the ground floor of the building is pulled back from the street lot line, and a courtyard is incorporated to provide more opportunities for landscaping.



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DESIGN ALTERNATIVE 3 | PREFERRED

DESIGN ALTERNATIVE 1



BUILDING FOOTPRINT: 5,246 sq. ft. **UNIT COUNT:** 90
TOTAL AREA: 43,288 sq. ft. **PARKING:** 0
HEIGHT: 71'-8" to top of roof structure **DEPARTURE REQUESTED:** None
FAR: 4.01

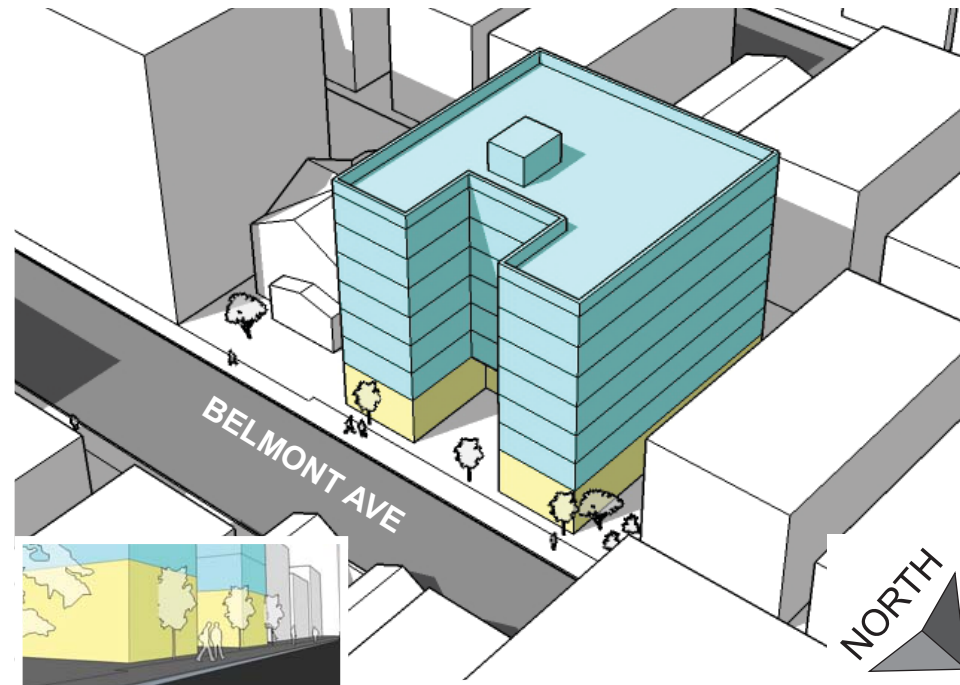
OPPORTUNITIES

- DC3-1: Residential Open Space: South-facing courtyard may receive more morning sun, but majority of the time it will be blocked by south masonry building.
- VIEWS: Potential views from upper stories facing west.

CONSTRAINTS

- DC-A-2: Reducing Perceived Mass: Large, bulky mass on street front.
- DC1-2: Screening of Dumpsters, Utilities, and Service Areas: Trash collection is located at the street frontage due to space layout.
- DC3-1: Residential Open Space: The courtyard is adjacent to the southern neighboring property, and activity in the courtyard may infringe on their privacy. Pedestrian activity is concentrated on the south side of the building, which decreases the residents' privacy as well as the privacy of the adjacent property to the south.

DESIGN ALTERNATIVE 2



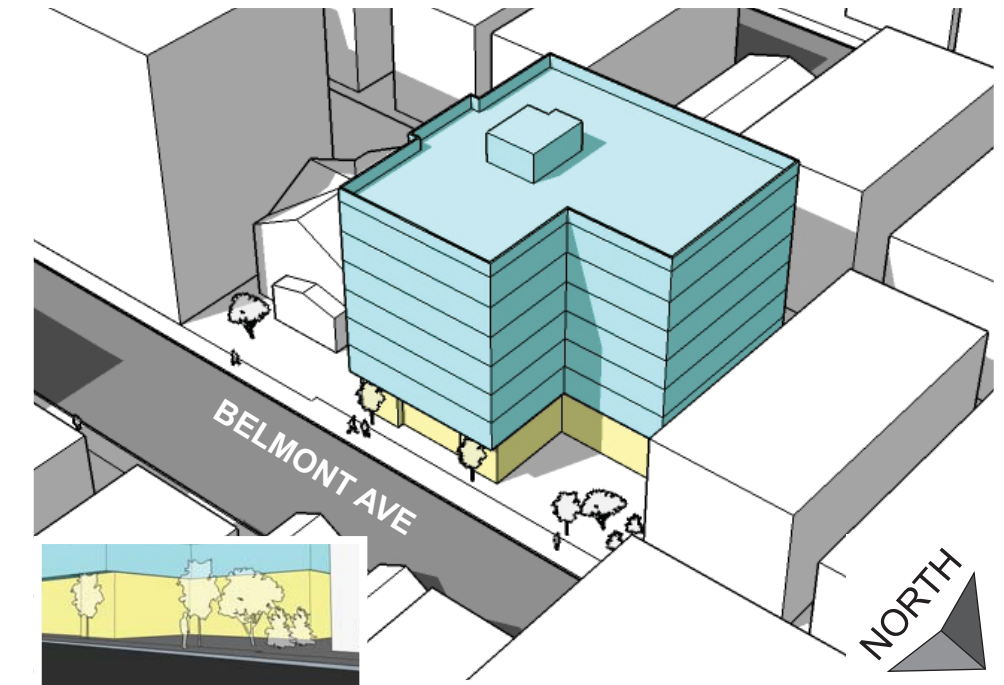
BUILDING FOOTPRINT: 5,594 sq. ft. **UNIT COUNT:** 90
TOTAL AREA: 41,884 sq. ft. **PARKING:** 0
HEIGHT: 71'-8" to top of roof structure **DEPARTURE REQUESTED:** None
FAR: 3.94

OPPORTUNITIES

- PL2-2: Pedestrian Open Spaces and Entrances: The courtyard, centrally located, provides a clear path to the main entry.
- DC-A-2: Reducing Perceived Mass: The central courtyard creates two small masses on street frontage.

CONSTRAINTS

- CS2-3: Height, Bulk, and Scale: The massing is reduced along the street frontage, but not along the side and rear yard.
- DC3-1: Residential Open Space: The courtyard feels tight immediately bound by three sides of the building.
- PL2-2: Personal Safety and Security: The common spaces cannot be easily monitored by offices due to inefficient ground floor layout.



BUILDING FOOTPRINT: 5,675.25 sq. ft. **UNIT COUNT:** 90
TOTAL AREA: 43,966.5 sq. ft. **PARKING:** 0
HEIGHT: 71'-8" to top of roof structure **DEPARTURE REQUESTED:** 1 Requested: Upper Level
FAR: 4.03 Setback 23.45.518

OPPORTUNITIES

- CS2-1: Streetscape Compatibility: The building and the courtyard landscaping create a continuous street line mimicking the existing masonry buildings.
- CS2-3: Height, Bulk, and Scale/ CS2-C-2: Mid-Block Site: Building's simple L-shaped mass reflects massing and proportions of existing masonry buildings in the area.
- DC-A-2: Reducing Perceived Mass: The building's small mass on street front reduces the perceived size of the building. The building is sited on the north side of the site, providing a larger buffer for the property to the south.
- DC3-1: Residential Open Space: The courtyard is adjacent to the northern neighboring property which is owned by the same entity, creating future opportunities of connected spaces.
- PL2-2: Pedestrian Open Spaces and Entrances: The resident entrance is along with sidewalk and separated from the private resident courtyard. The open space enhances the sidewalk/pedestrian experience.
- The three parcels to the north are owned by Pioneer Human Services with anticipation to re-develop in the future. The north facing courtyard allows for a future connection between the two parcels.

CONSTRAINTS

- DEPARTURE: Alternative is not code compliant regarding upper level setbacks along the north façade 23.45.518.

DESIGN ALTERNATIVE 1

BUILDING FOOTPRINT: 5,246 sq. ft.

UNIT COUNT: 90

TOTAL AREA: 43,288 sq. ft.

PARKING: 0

HEIGHT: 71'-8" to top of roof structure

DEPARTURE REQUESTED:

FAR: 4.01

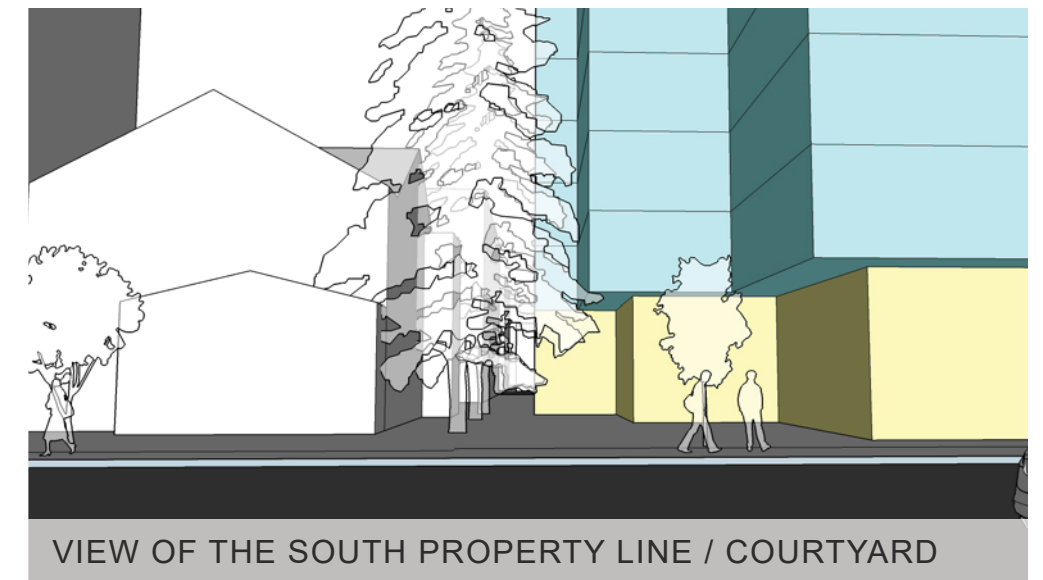
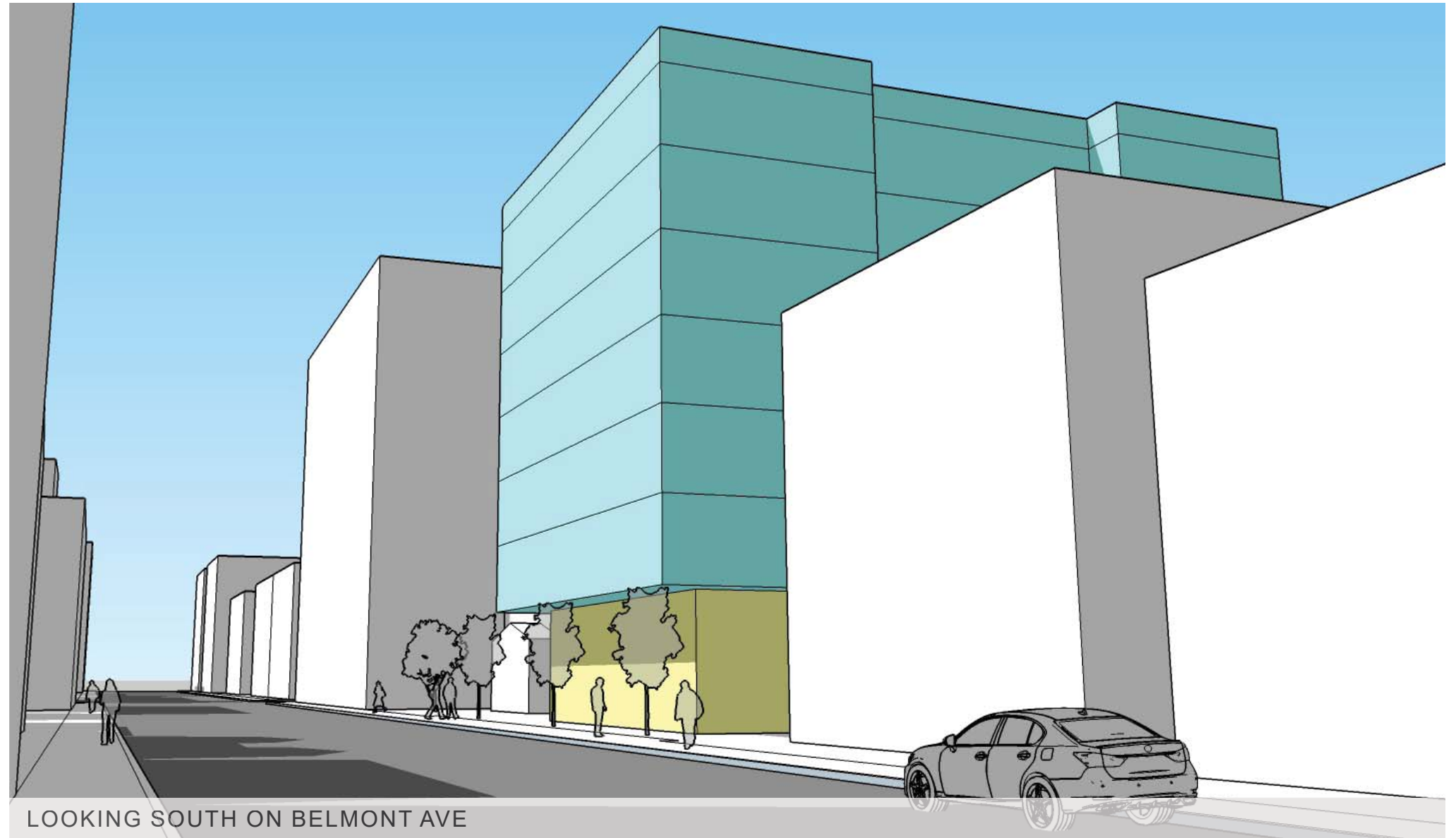
None

OPPORTUNITIES

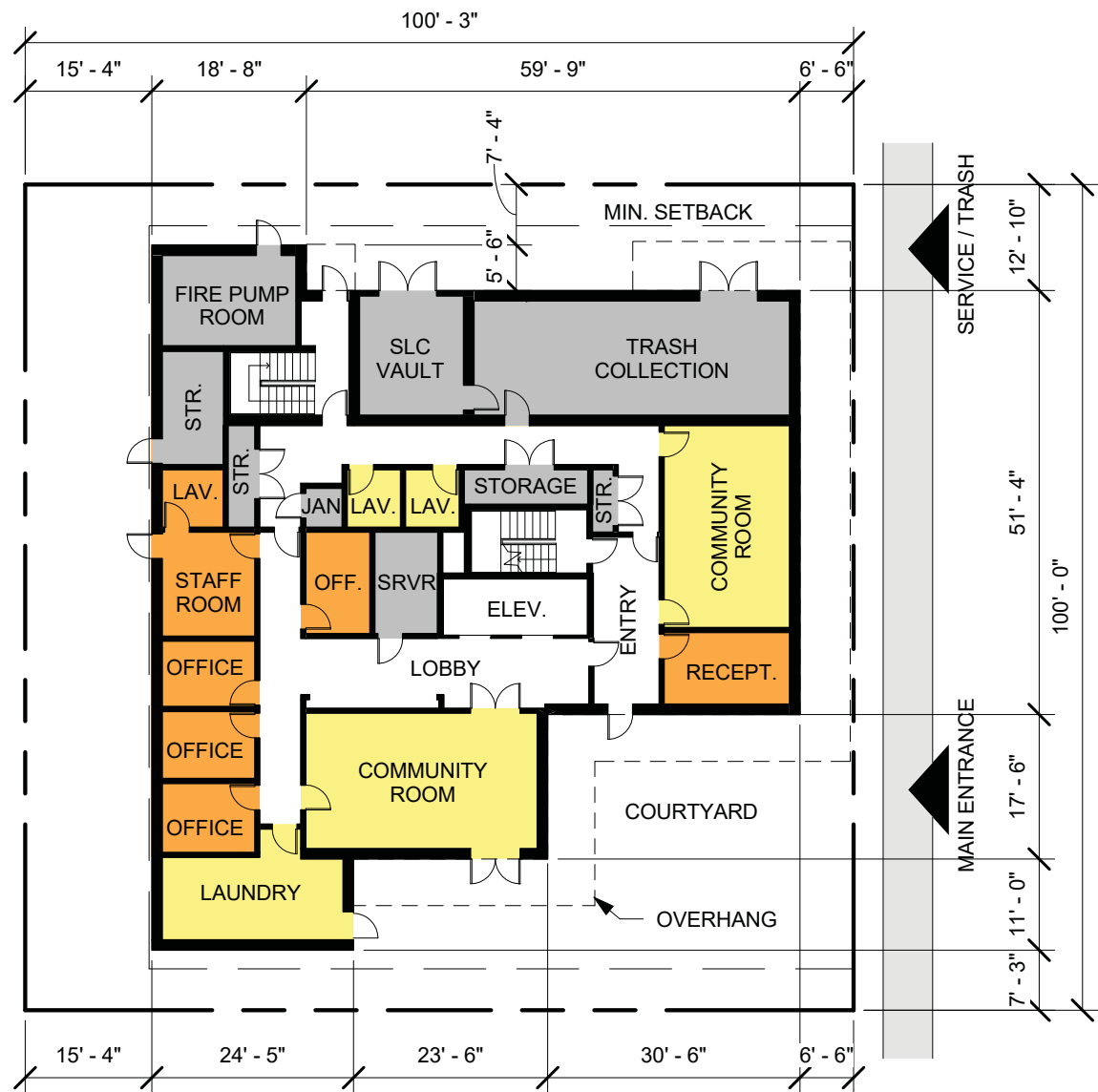
- DC3-1: Residential Open Space: South-facing courtyard may receive more morning sun, but majority of the time it will be blocked by south masonry building.
- VIEWS: Potential views from upper stories facing west.

CONSTRAINTS

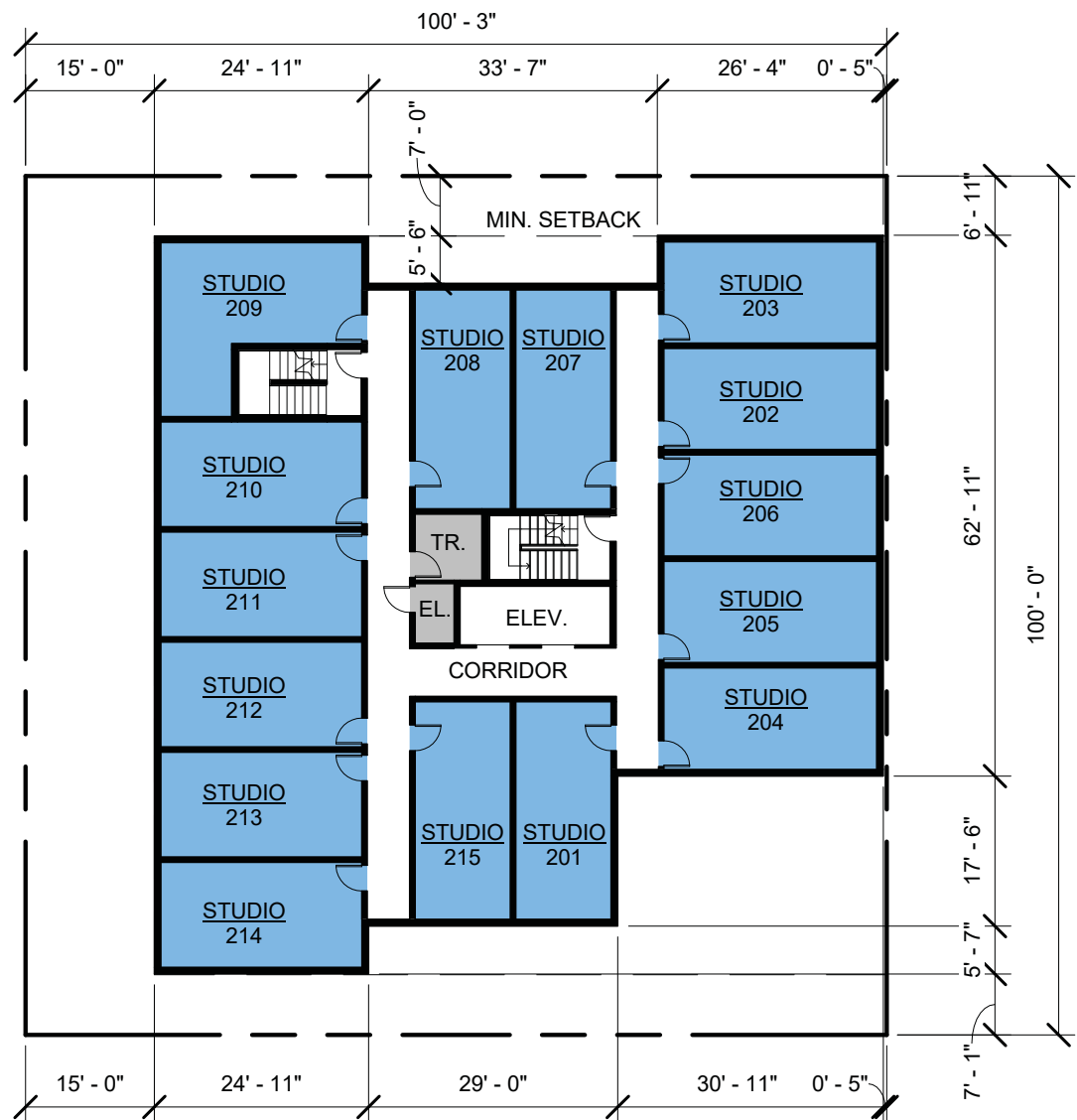
- DC-A-2: Reducing Perceived Mass: Large, bulky mass on street front.
- DC1-2: Screening of Dumpsters, Utilities, and Service Areas: Trash collection is located at the street frontage due to space layout.
- DC3-1: Residential Open Space: The courtyard is adjacent to the southern neighboring property, and activity in the courtyard may infringe on their privacy. Pedestrian activity is concentrated on the south side of the building, which decreases the residents' privacy as well as the privacy of the adjacent property to the south.



DESIGN ALTERNATIVE 1



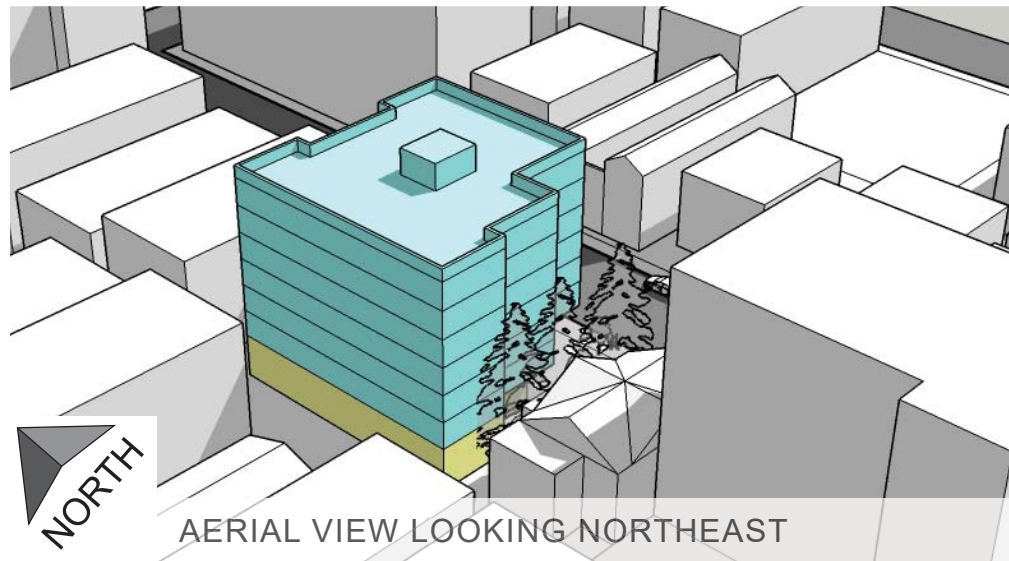
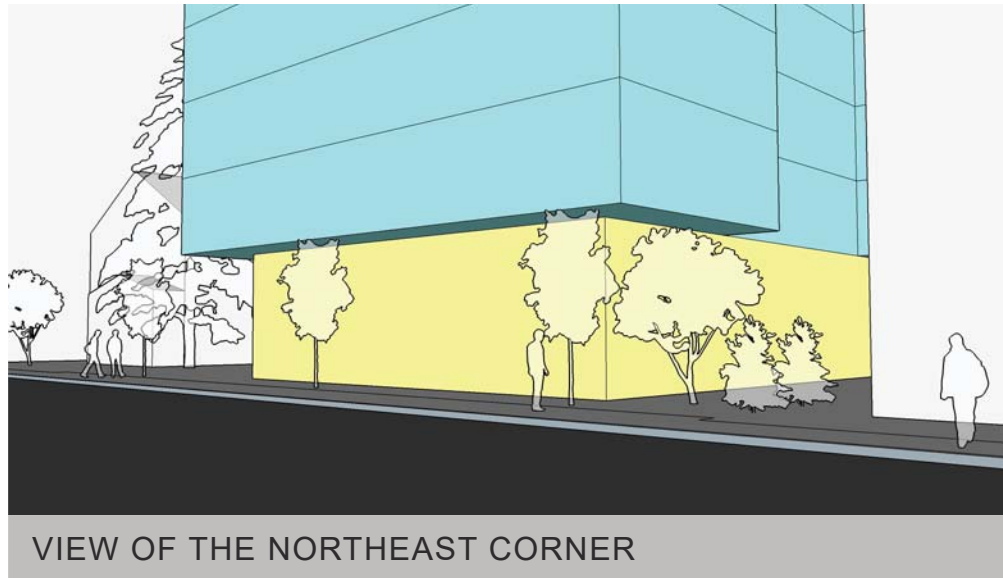
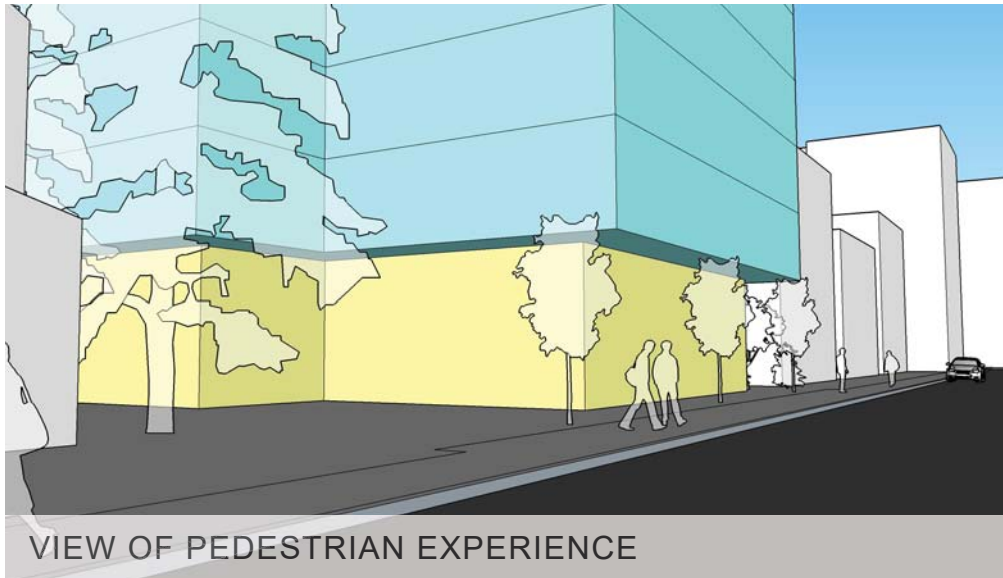
FLOOR PLAN: LEVEL 1



FLOOR PLAN: LEVELS 2-7

LEGEND

- RESIDENTIAL SPACES
- COMMUNITY SPACES
- STAFF SPACES
- UTILITY SPACES



DESIGN ALTERNATIVE 2

BUILDING FOOTPRINT: 5,594 sq. ft.

UNIT COUNT: 90

TOTAL AREA: 41,884 sq. ft.

PARKING: 0

HEIGHT: 71'-8" to top of roof structure

DEPARTURE REQUESTED:

FAR: 3.94

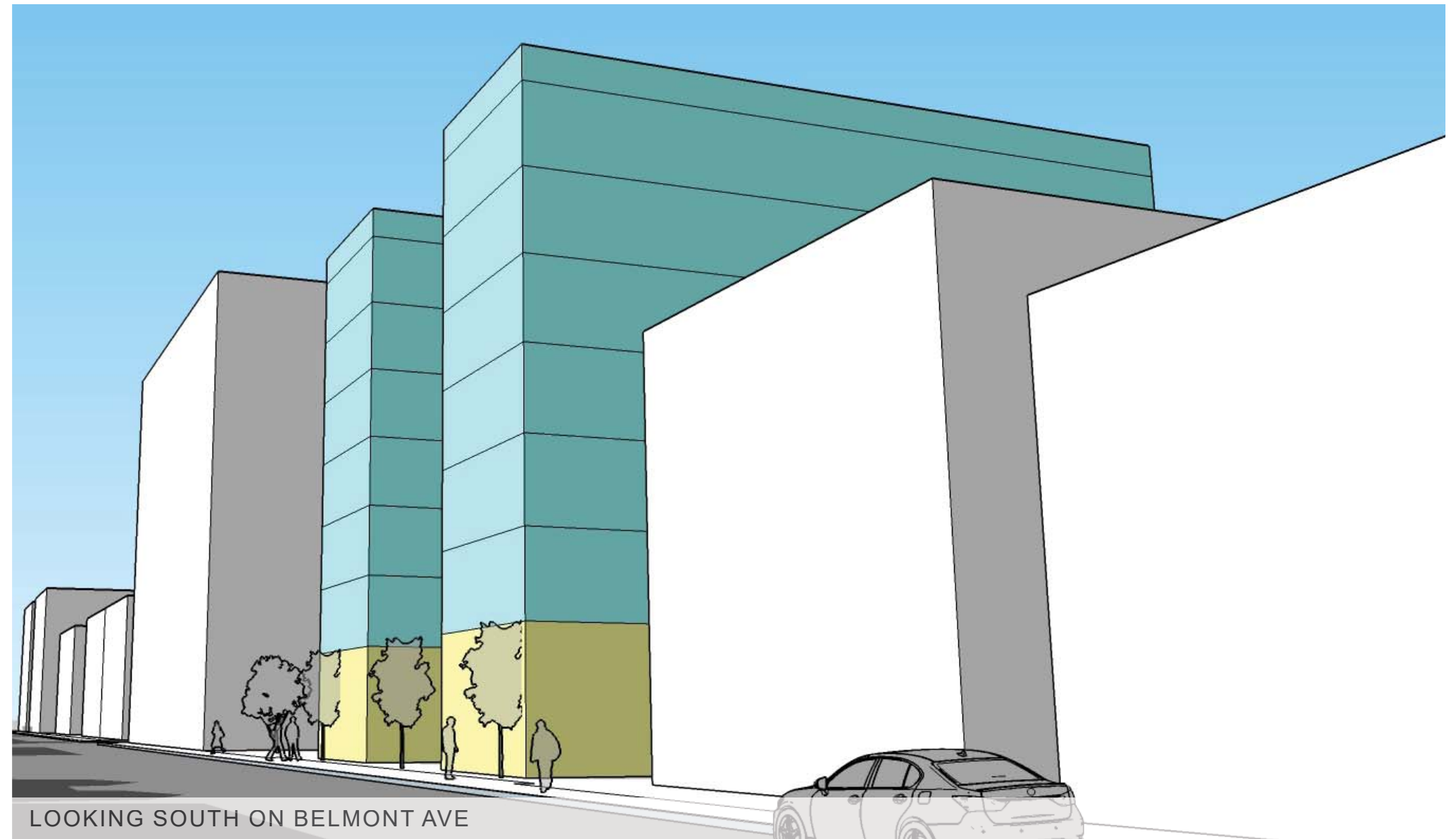
None

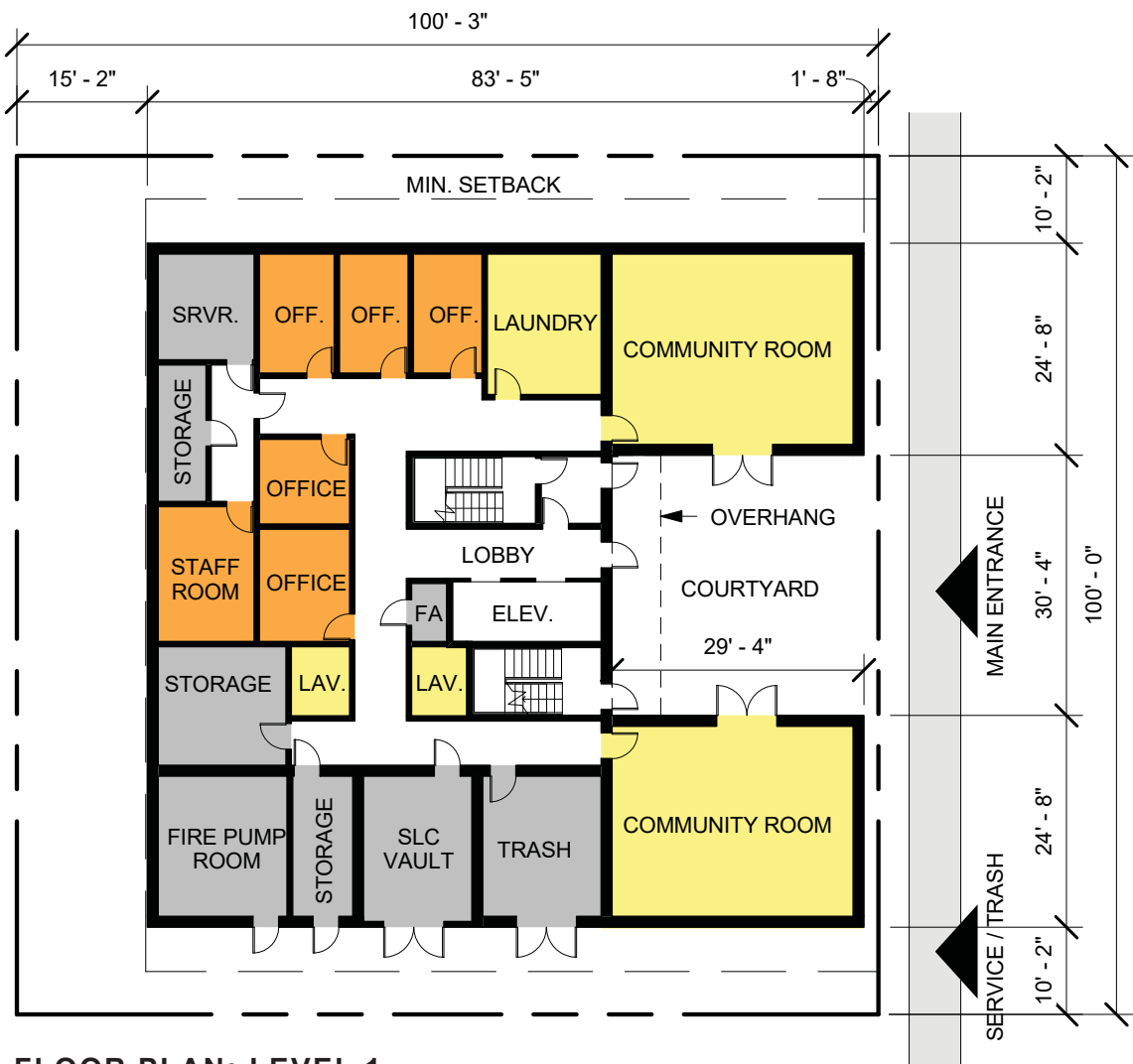
OPPORTUNITIES

- PL2-2: Pedestrian Open Spaces and Entrances: The courtyard, centrally located, provides a clear path to the main entry.
- DC-A-2: Reducing Perceived Mass: The central courtyard creates two small masses on street frontage.

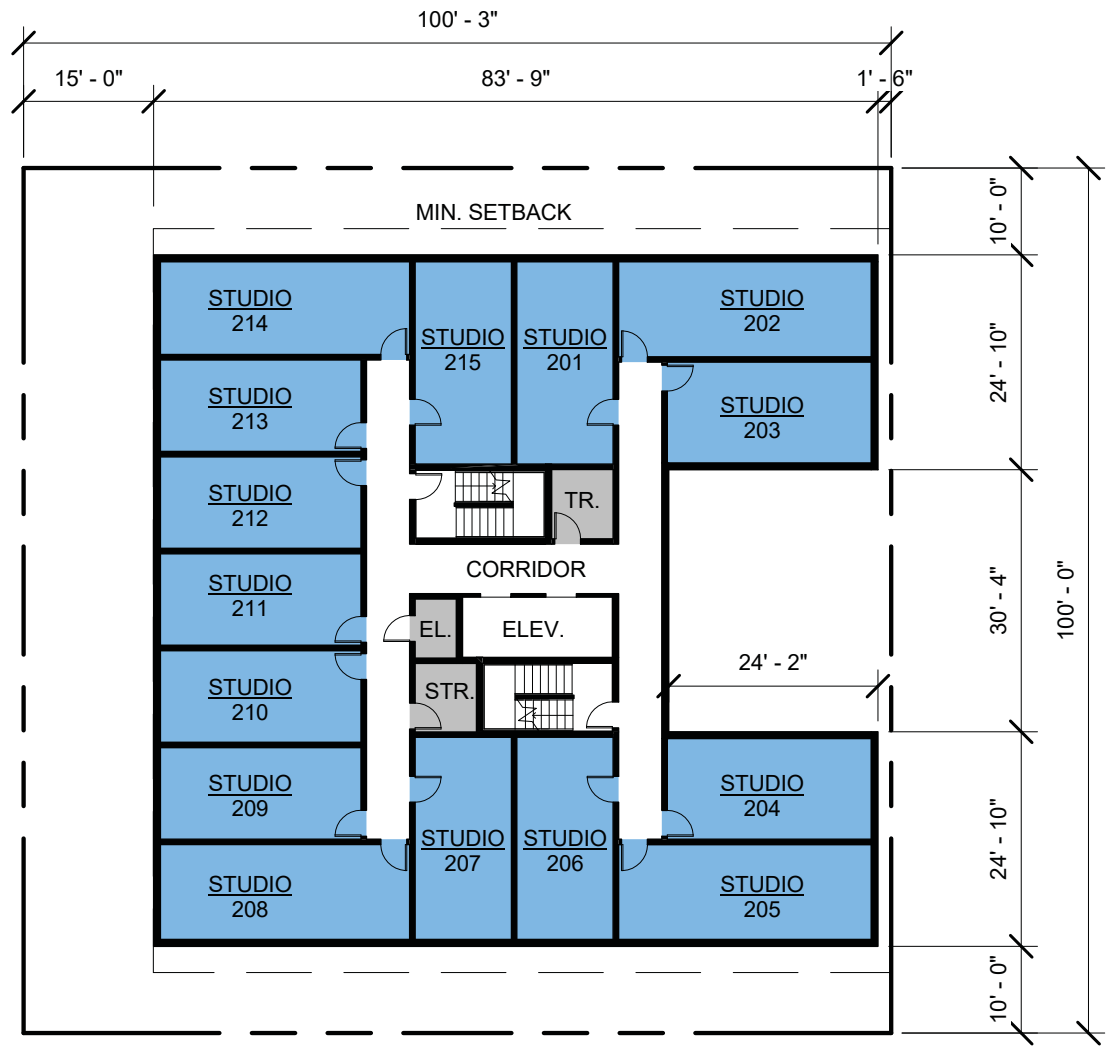
CONSTRAINTS

- CS2-3: Height, Bulk, and Scale: The massing is reduced along the street frontage, but not along the side and rear yard.
- DC3-1: Residential Open Space: The courtyard feels tight immediately bound by three sides of the building.
- PL2-2: Personal Safety and Security: The common spaces cannot be easily monitored by offices due to inefficient ground floor layout.





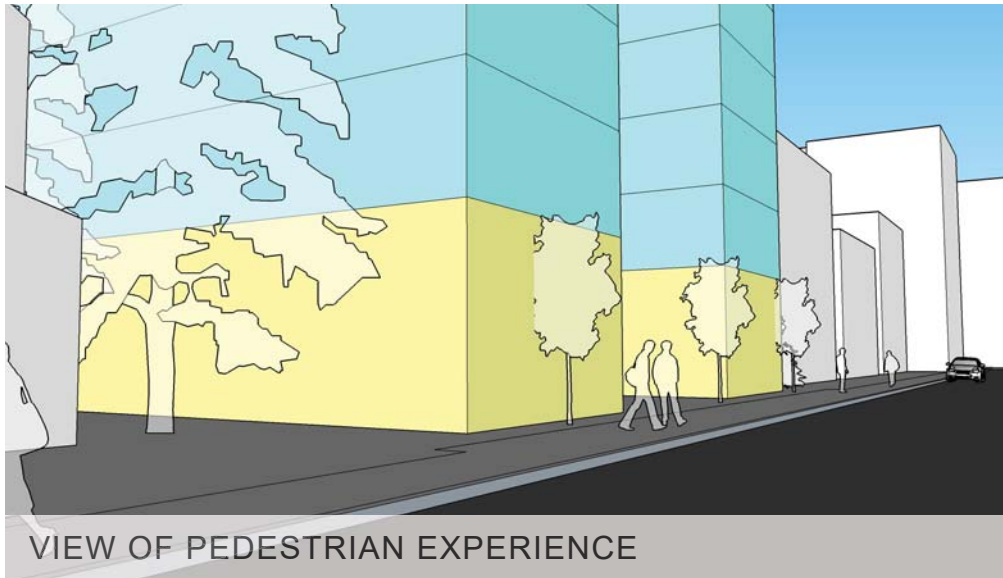
FLOOR PLAN: LEVEL 1



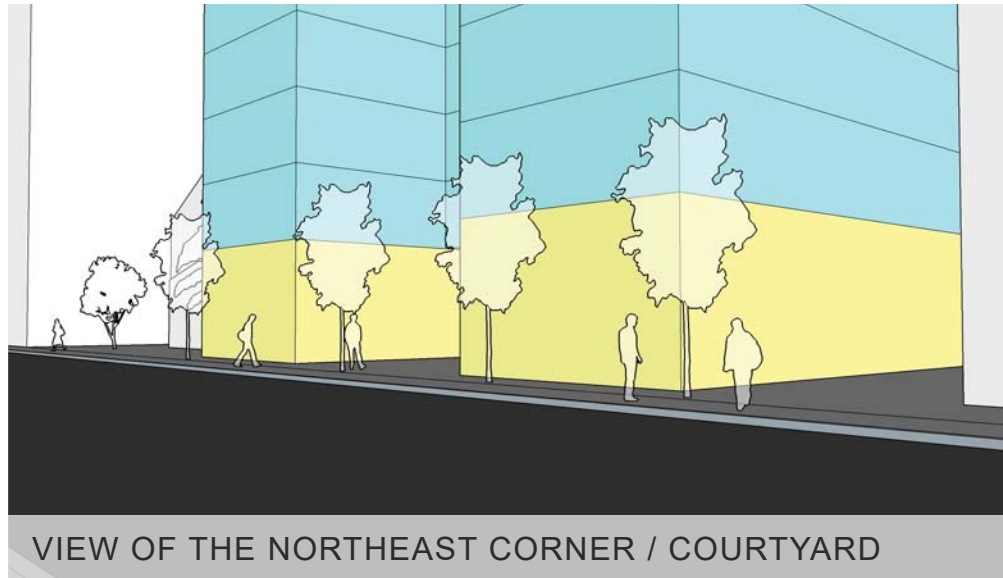
FLOOR PLAN: LEVELS 2-7

LEGEND

- RESIDENTIAL SPACES
- COMMUNITY SPACES
- STAFF SPACES
- UTILITY SPACES



VIEW OF PEDESTRIAN EXPERIENCE



VIEW OF THE NORTHEAST CORNER / COURTYARD



AERIAL VIEW LOOKING NORTHEAST

DESIGN ALTERNATIVE 3 | PREFERRED

BUILDING FOOTPRINT: 5,675.25 sq. ft. **UNIT COUNT:** 90

TOTAL AREA: 43,966.5 sq. ft.

PARKING: 0

HEIGHT: 71'-8" to top of roof structure

DEPARTURE REQUESTED:

FAR: 4.03

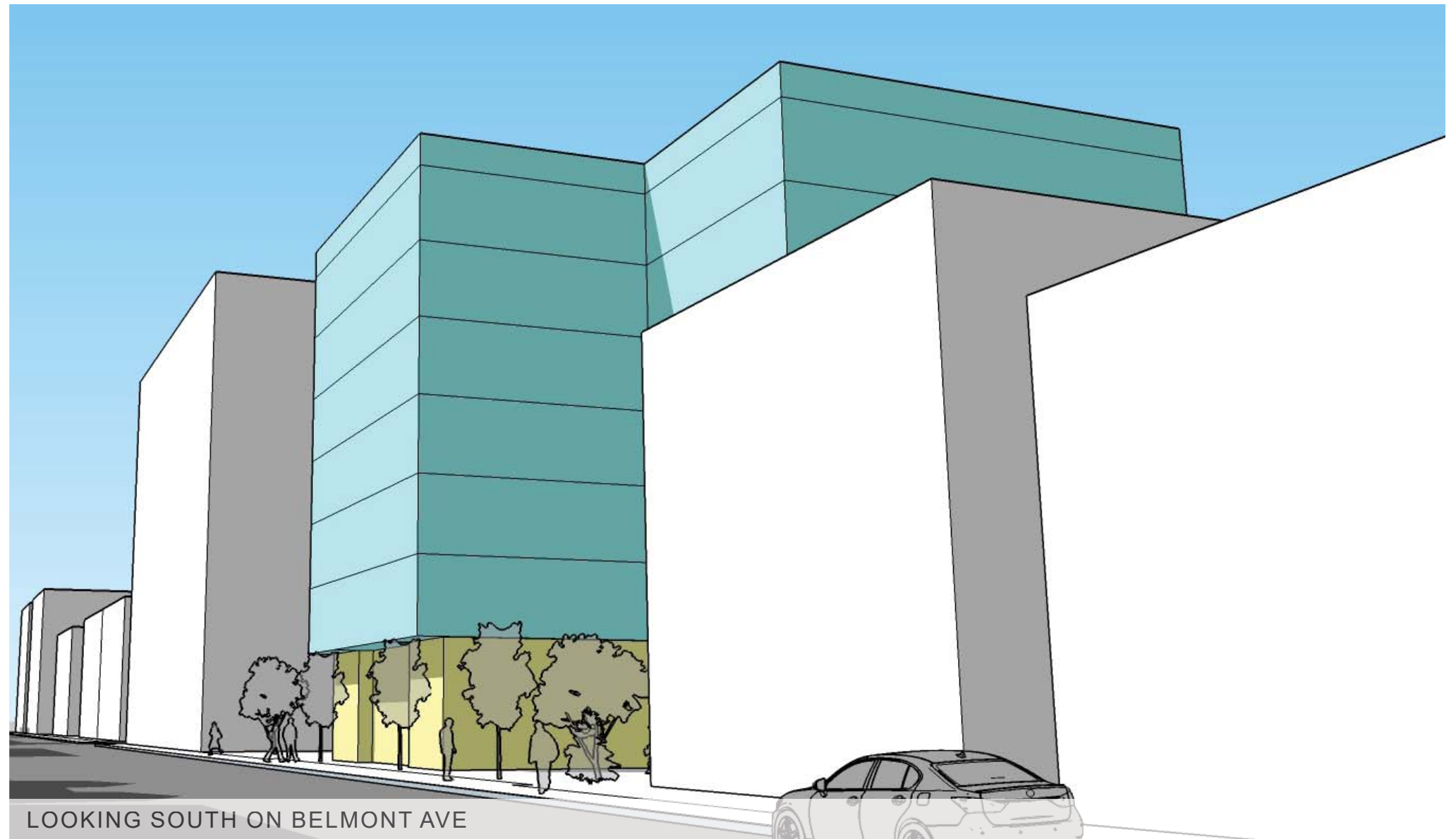
1 Requested; Setback

OPPORTUNITIES

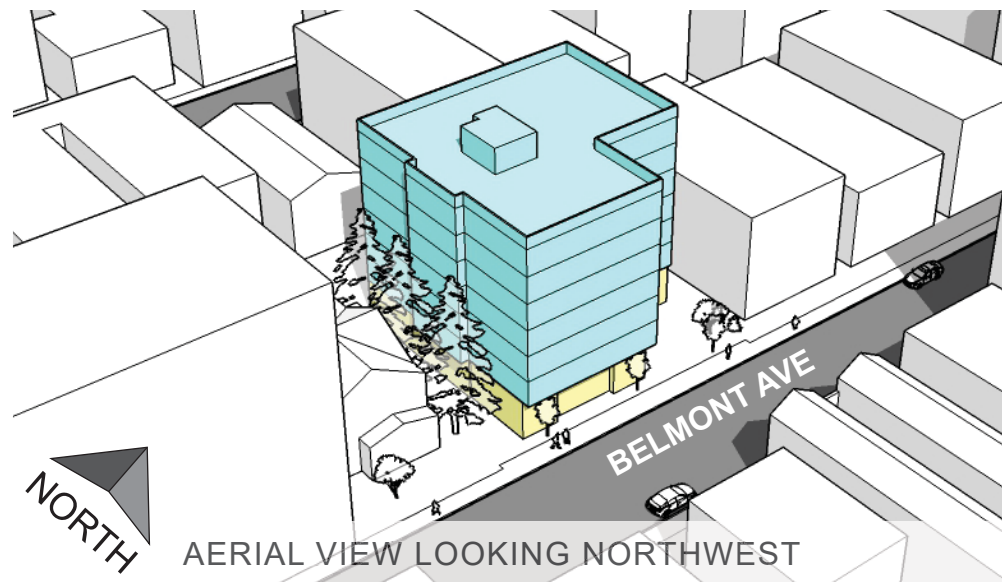
- CS2-1: Streetscape Compatibility: The building and the courtyard landscaping create a continuous street line mimicking the existing masonry buildings.
- CS2-3: Height, Bulk, and Scale/ CS2-C-2: Mid-Block Site: Building's simple L-shaped mass reflects massing and proportions of existing masonry buildings in the area.
- DC-A-2: Reducing Perceived Mass: The building's small mass on street front reduces the perceived size of the building. The building is sited on the north side of the site, providing a larger buffer for the property to the south.
- DC3-1: Residential Open Space: The courtyard is adjacent to the northern neighboring property which is owned by the same entity, creating future opportunities of connected spaces.
- PL2-2: Pedestrian Open Spaces and Entrances: The resident entrance is along with sidewalk and separated from the private resident courtyard. The open space enhances the sidewalk/pedestrian experience.
- The three parcels to the north are owned by Pioneer Human Services with anticipation to re-develop in the future. The north facing courtyard allows for a future connection between the two parcels.

CONSTRAINTS

- DEPARTURE: Alternative is not code compliant regarding upper level setbacks along the north façade 23.45.518.



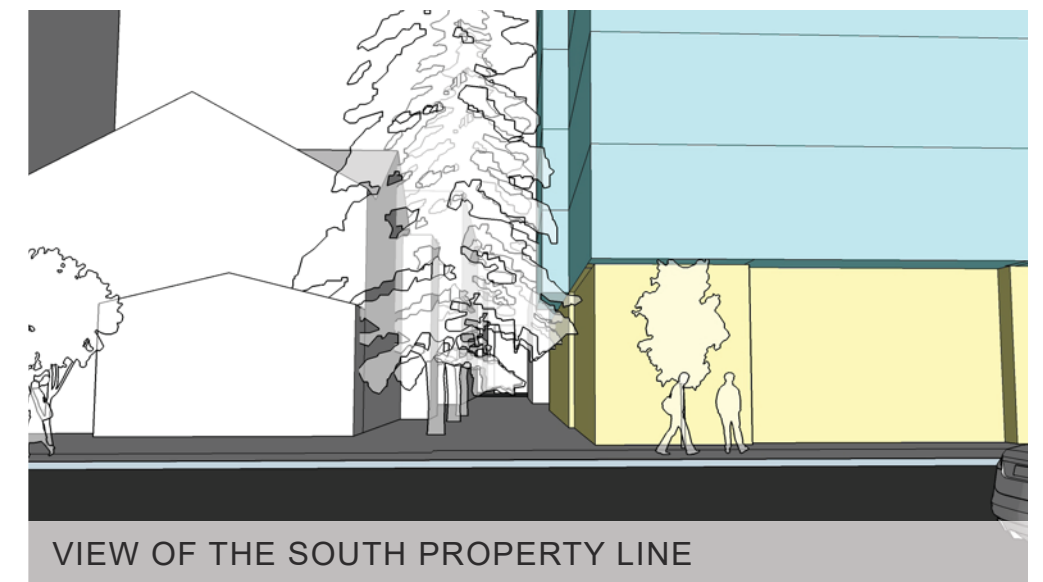
LOOKING SOUTH ON BELMONT AVE



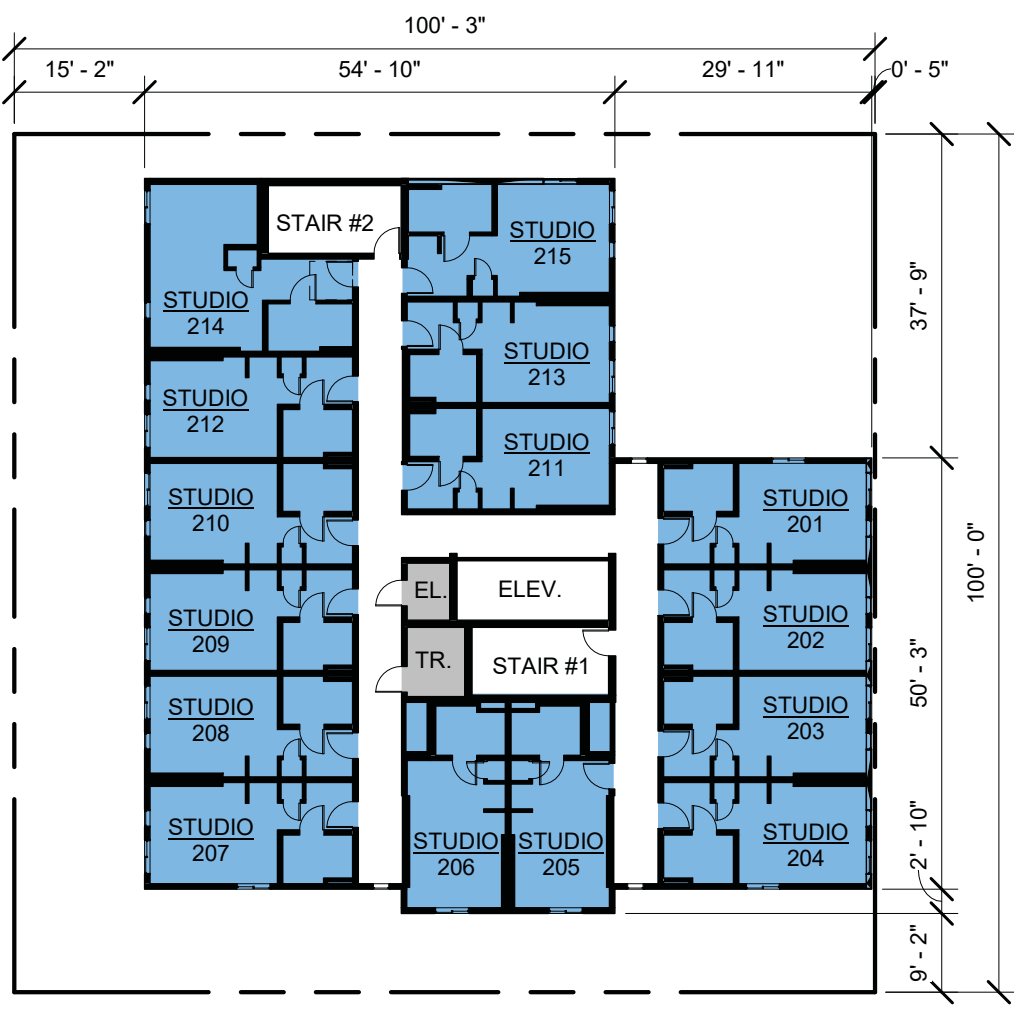
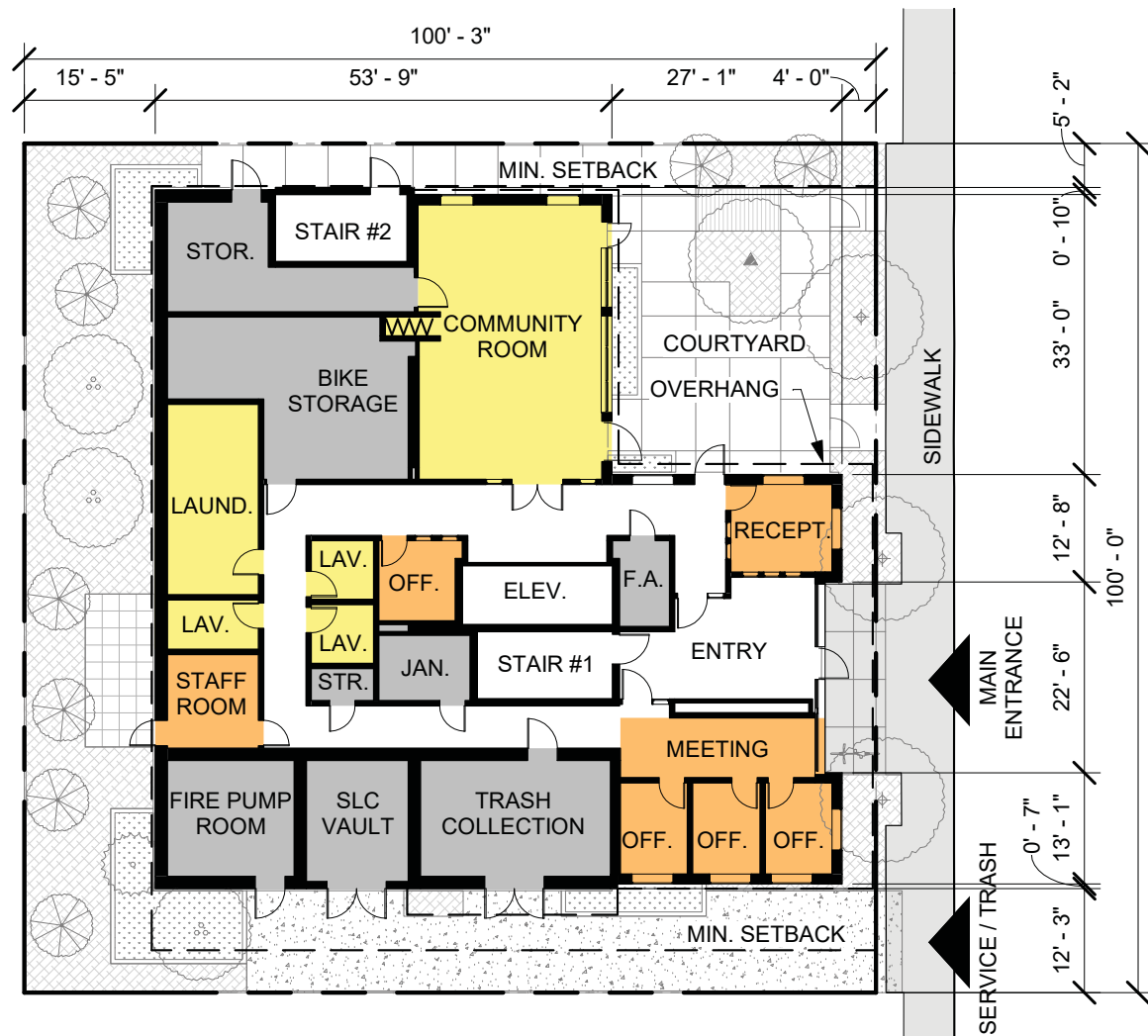
AERIAL VIEW LOOKING NORTHWEST



LOOKING NORTH ON BELMONT AVE

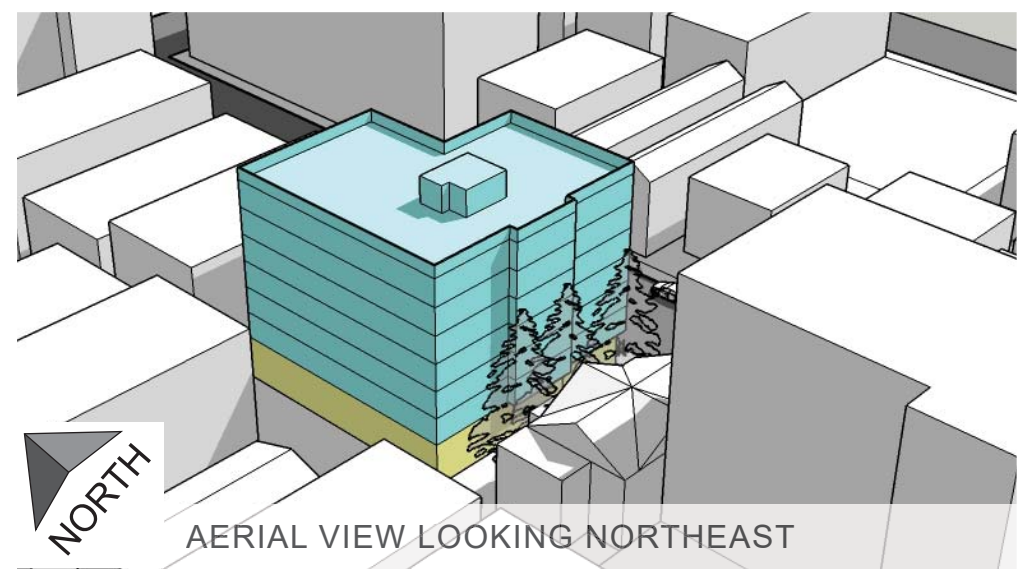
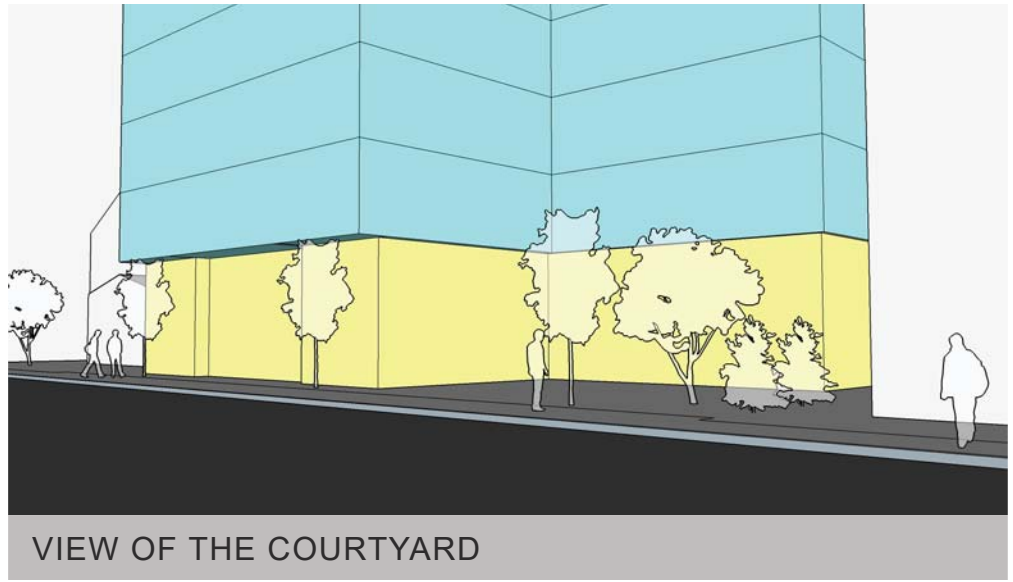
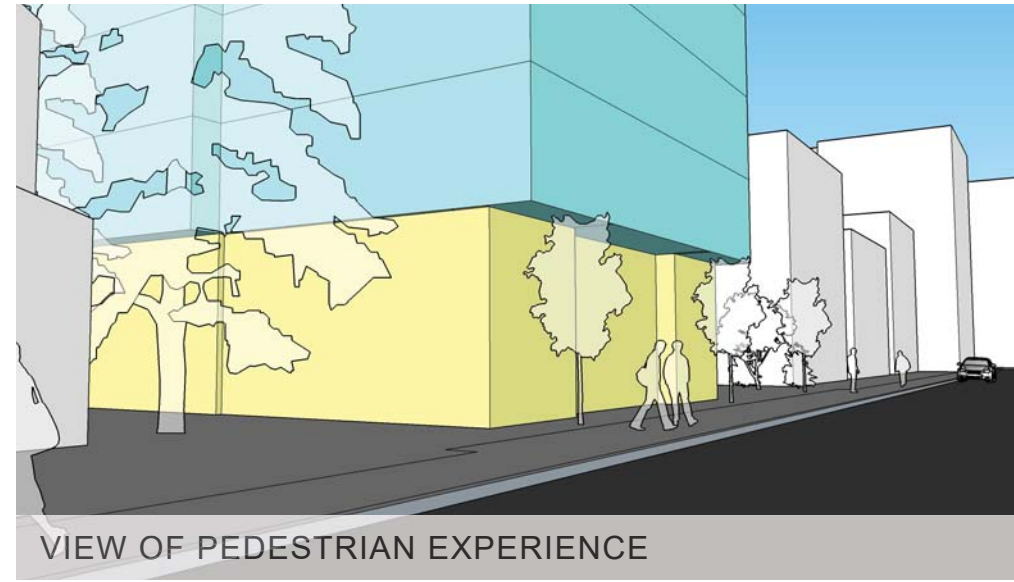


VIEW OF THE SOUTH PROPERTY LINE



LEGEND

- RESIDENTIAL SPACES
- COMMUNITY SPACES
- STAFF SPACES
- UTILITY SPACES



DESIGN ALTERNATIVE 3 | PREFERRED POTENTIAL FUTURE DEVELOPMENT

OPPORTUNITIES

Pioneer Human Services also owns the three parcels to the north, which they are interested in developing in the future. The preferred alternative's ground floor spaces are arranged in a way that considers this potential future development. A north-facing courtyard would provide a strong connection between the two sites.

CS2-1: Streetscape Compatibility

- Add to the midblock relief with an expanded courtyard.

CS2-3: Height, Bulk, and Scale

DC-A-2: Reducing Perceived Mass

- Reduce scale of potential future buildings along sidewalk.

DC3-1: Residential Open Space

- Create future opportunities for expanded open space.

LEGEND

- PEDESTRIAN CONNECTIONS
- COMMUNITY SPACES

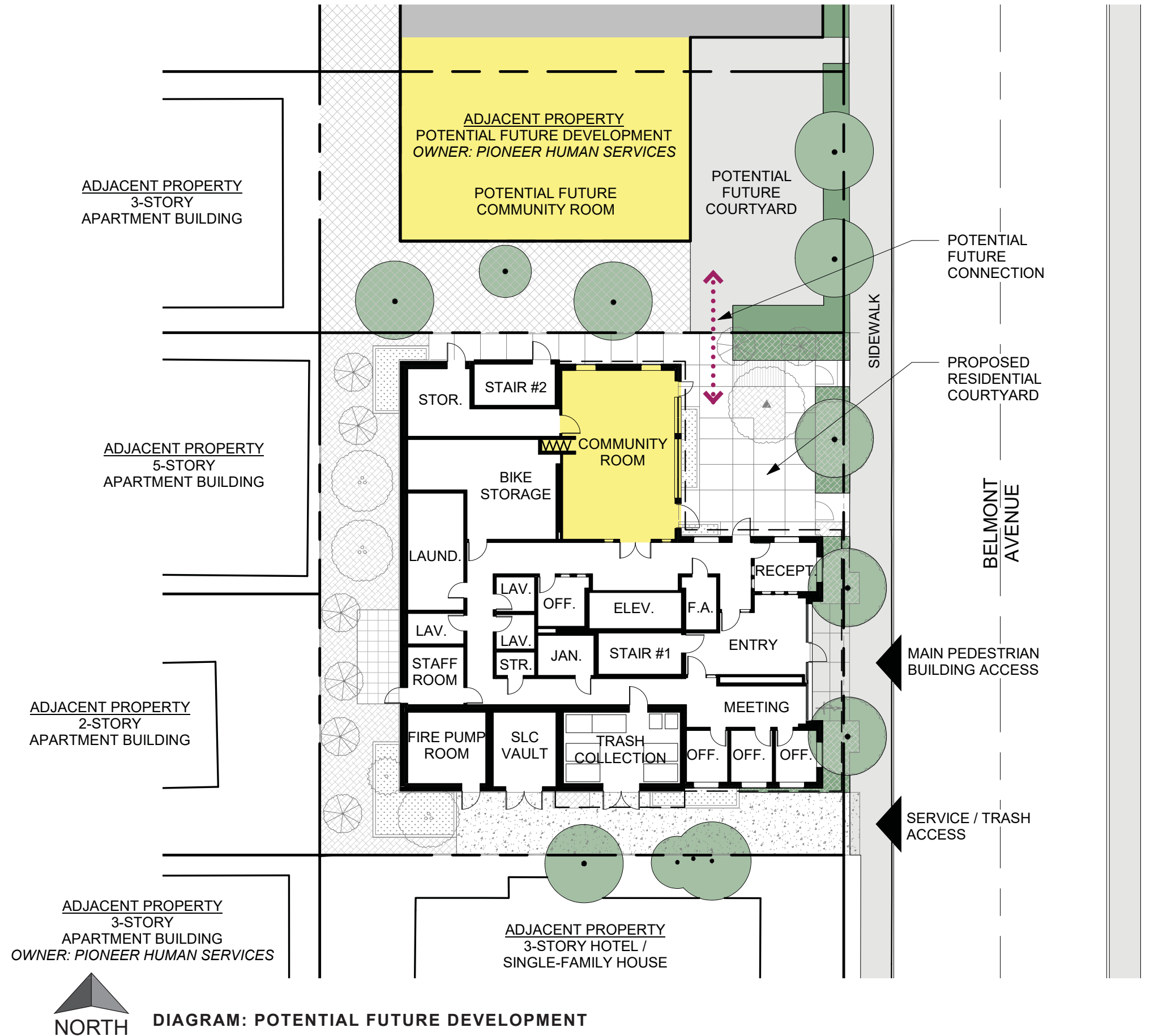


DIAGRAM: POTENTIAL FUTURE DEVELOPMENT



ELEVATION OPTION 1



ELEVATION OPTION 2

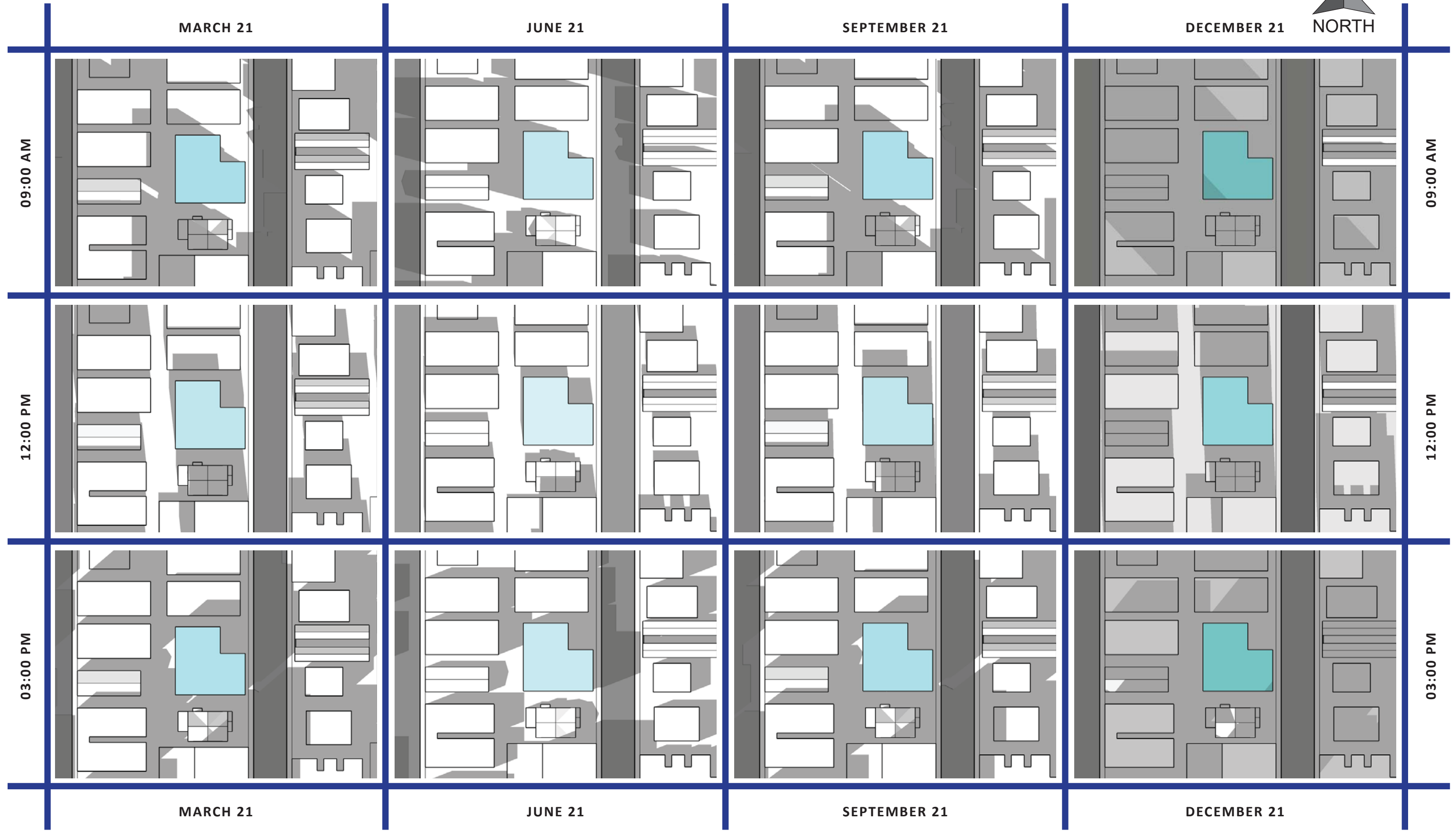


ELEVATION OPTION 3

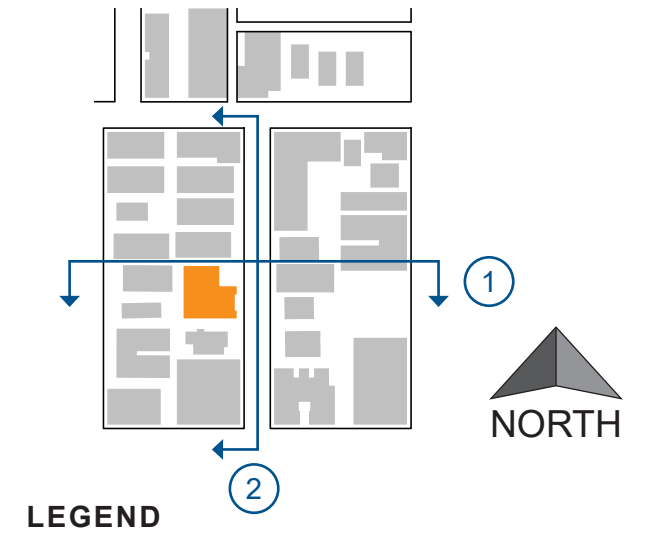
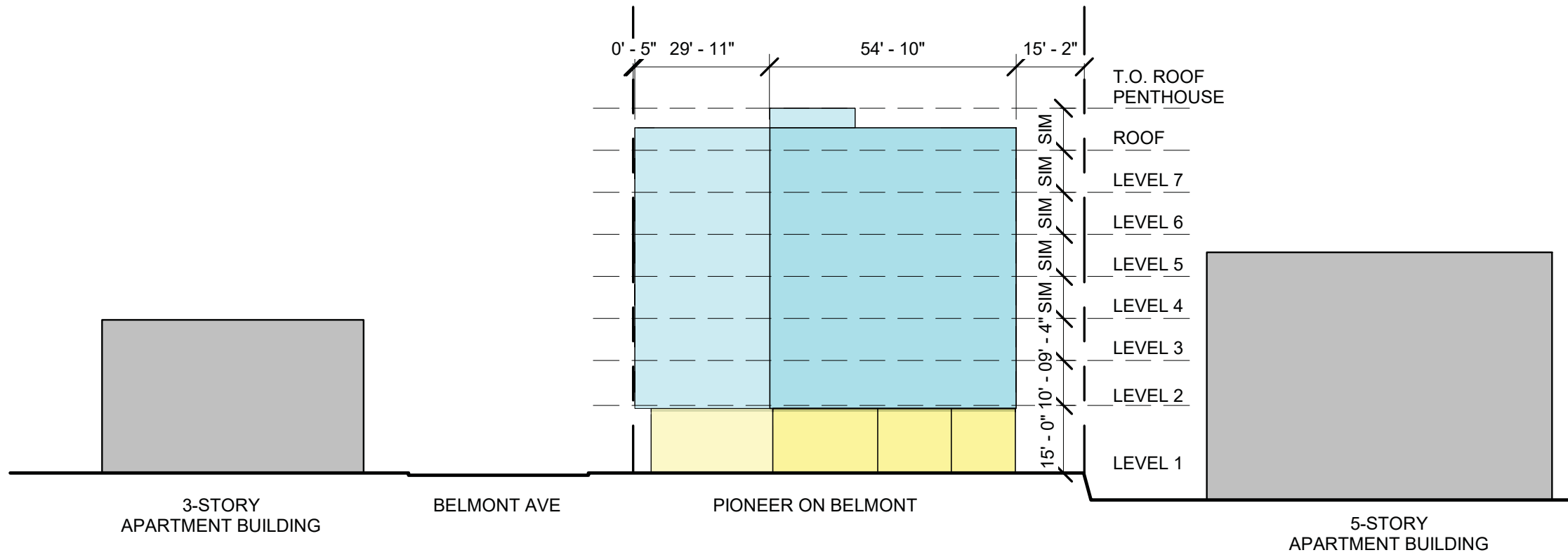


ELEVATION OPTION 4

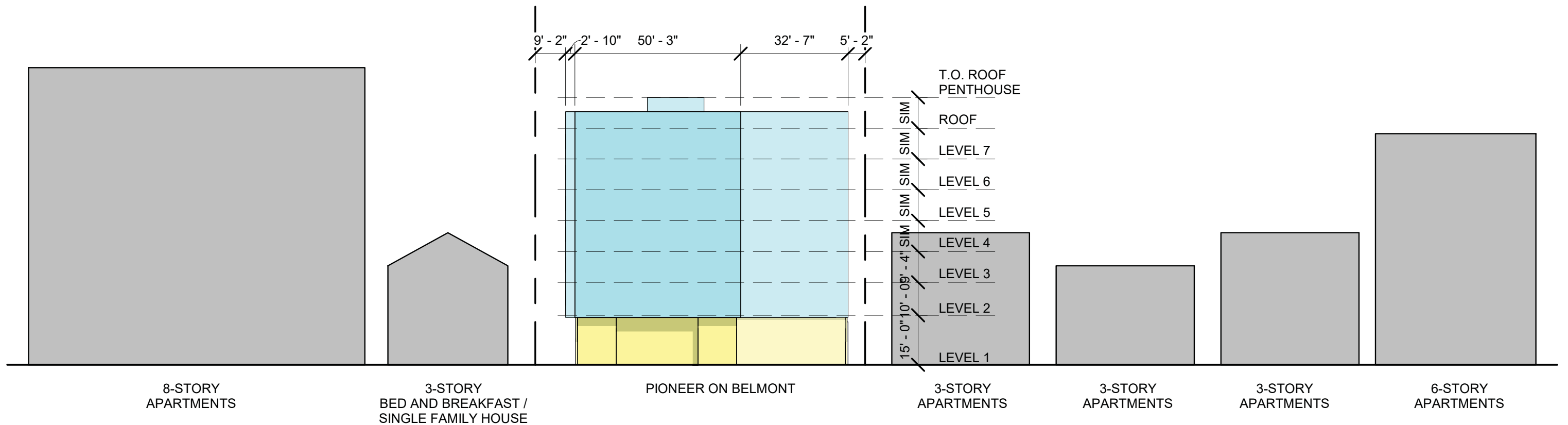
PROPOSED MASSING SOLAR DIAGRAMS



SITE SECTIONS



1 DIAGRAM: SECTION LOOKING SOUTH



2 DIAGRAM: SECTION LOOKING WEST

REQUESTED DEPARTURE

SUMMARY

23.45.518: SIDE SETBACK FROM INTERIOR LOT LINE ABOVE 42': 10' AVERAGE, 7' MINIMUM.

The building mass encroaches 1'-10" into the north setback above 42 feet for a length of approximately 55'. This departure allows the building to be pulled away from the south lot line which provides a larger buffer between the proposed building and the southern neighboring property. This also allows the refuse and utilities to be accessed off the side yard as opposed to the front façade. Additionally, more space is allowed for the established trees on the southern adjacent property to thrive.

Property Line	Type	Level	Code Requirement	Proposed Setback	Departure Requested
North	Side setback from interior lot line	1	Up to 42': 7' Average, 5' Min.	17'-4" Average 5'-6" Min.	No: Avg. setback exceeded by 10'-4" Min. setback exceeded by 6"
		2-4	Up to 42': 7' Average, 5' Min.	16'-8" Average 5'-2" Min.	No: Avg. setback exceeded by 9'-8" Min. setback exceeded by 2"
		4-7	Above 42': 10' Average, 7' Min.		Yes: The building extends 1'-10" into the minimum setback on levels 4-7.
East	Front setback from Belmont Ave.	1-7	No setback required if a courtyard abuts the street; minimum width equal to 30% of the street frontage (30'-0") and minimum depth of 20'.	Courtyard Width = 34'-0" Courtyard Depth = 31'-1"	No: Courtyard exceeds requirements; Level 1 is set back 4'-0"
South	Side setback from interior lot line	1	Up to 42': 7' Average, 5' Min.	12'-5" Average 12'-3" Min.	No: Avg. setback exceeded by 5'-5" Min. setback exceeded by 7'-3"
		2-4	Up to 42': 7' Average, 5' Min.	11'-2" Average 9'-2" Min.	No: Avg. setback exceeded by 4'-2" Min. setback exceeded by 4'-2"
		4-7	Above 42': 10' Average, 7' Min.		No: Avg. setback exceeded by 1'-2" Min. setback exceeded by 2'-2"
West	Rear setback from interior lot line	1-7	15'-0"	15'-2"	No: Min. setback exceeded by 2"

CAPITOL HILL CS2-1: STREETScape COMPATIBILITY/ SEATTLE CS2-C-2: MID-BLOCK SITE

By providing a street facing courtyard, the project will both continue the alignment of the existing character of the street and provide a visual benefit to the pedestrian and neighborhood. This setback encroachment allows the proposal to provide a larger than required by code courtyard.

CAPITOL HILL CS2-3: HEIGHT, BULK, AND SCALE COMPATIBILITY

The street fronting massing and height of the proposed development is similar to the three masonry buildings along this block. The bulk and scale is minimized with the integration of the courtyard. This setback encroachment allows the proposal to provide a larger than required by code courtyard.

CAPITOL HILL PL2-2 + SEATTLE PL1-A-B: PEDESTRIAN OPEN SPACES AND ENTRANCES

The resident courtyard enhances the pedestrian sidewalk experience incorporating the planting strip that draws the eyes in. This setback encroachment allows the proposal to provide a larger than required by code courtyard.

CAPITOL HILL PL2-3 + SEATTLE PL2-B-1: PERSONAL SAFETY AND SECURITY

With a larger setback from the south property line, the proposal is able to provide eyes on the side yard for security and safety of the neighbors. This setback encroachment allows the proposal to provide a larger than required by code setback along the south property line.

CAPITOL HILL DC1-2: SCREENING OF DUMPSTERS, UTILITIES AND SERVICE AREAS

All the service areas will be located along the south façade and are pushed back from the street facing façade. With a larger setback from the south property line, fencing and planting will be used to screen the areas from the adjacent property and sidewalk. This setback encroachment allows the proposal to provide a larger than required by code setback along the south property line.

SEATTLE DC2-A-2: REDUCING PERCEIVED MASS

Approximately half of the building has been pulled back from the street lot line in order to reduce the perceived mass and provide a landscaped courtyard. Instead of being one large rectangular mass, the building is made up of two smaller masses arranged in an L-shape. This setback encroachment allows the proposal to provide a larger than required by code courtyard.

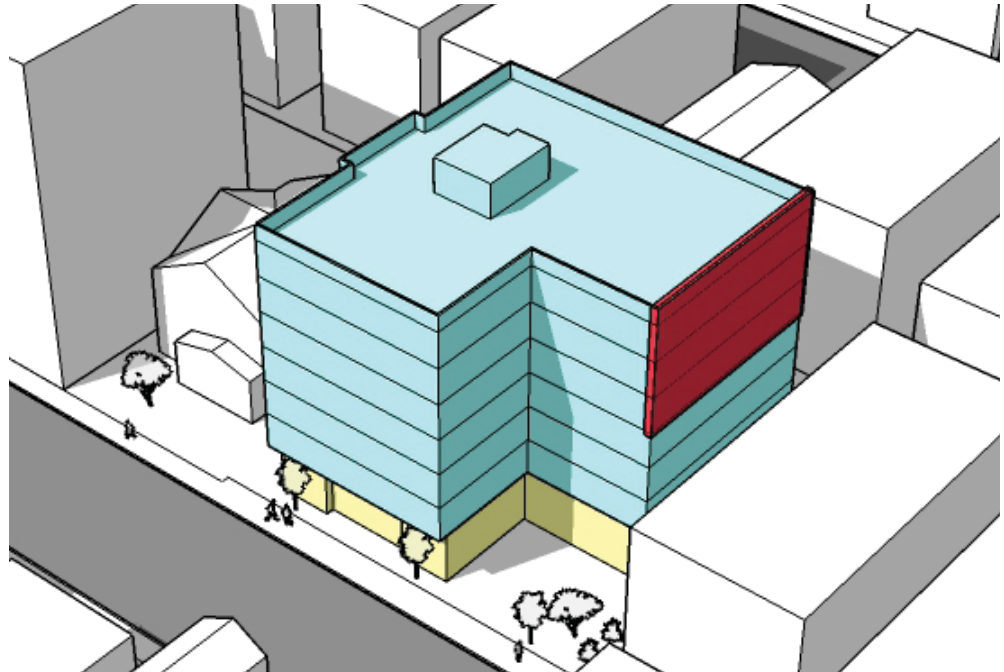
CAPITOL HILL DC3-1: RESIDENTIAL OPEN SPACE

There is currently no planting strip between the sidewalk and street on this block of Belmont Avenue and the sidewalk width is insufficient for current standards. As a result, there are very few street trees in the area. To accommodate street trees, the ground floor of the building is pulled back from the street lot line and a courtyard is incorporated to provide more opportunities for landscaping. This setback encroachment allows the proposal to provide a larger than required by code courtyard.

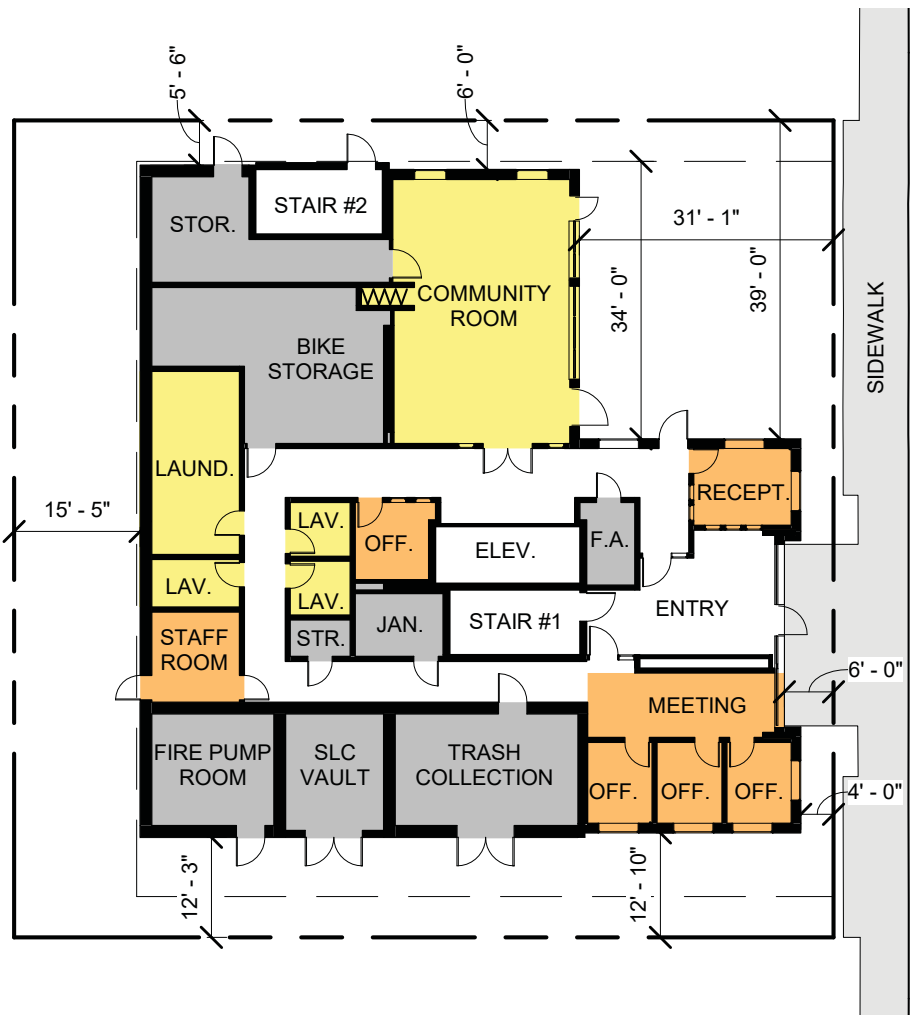
REQUESTED DEPARTURE

LEGEND

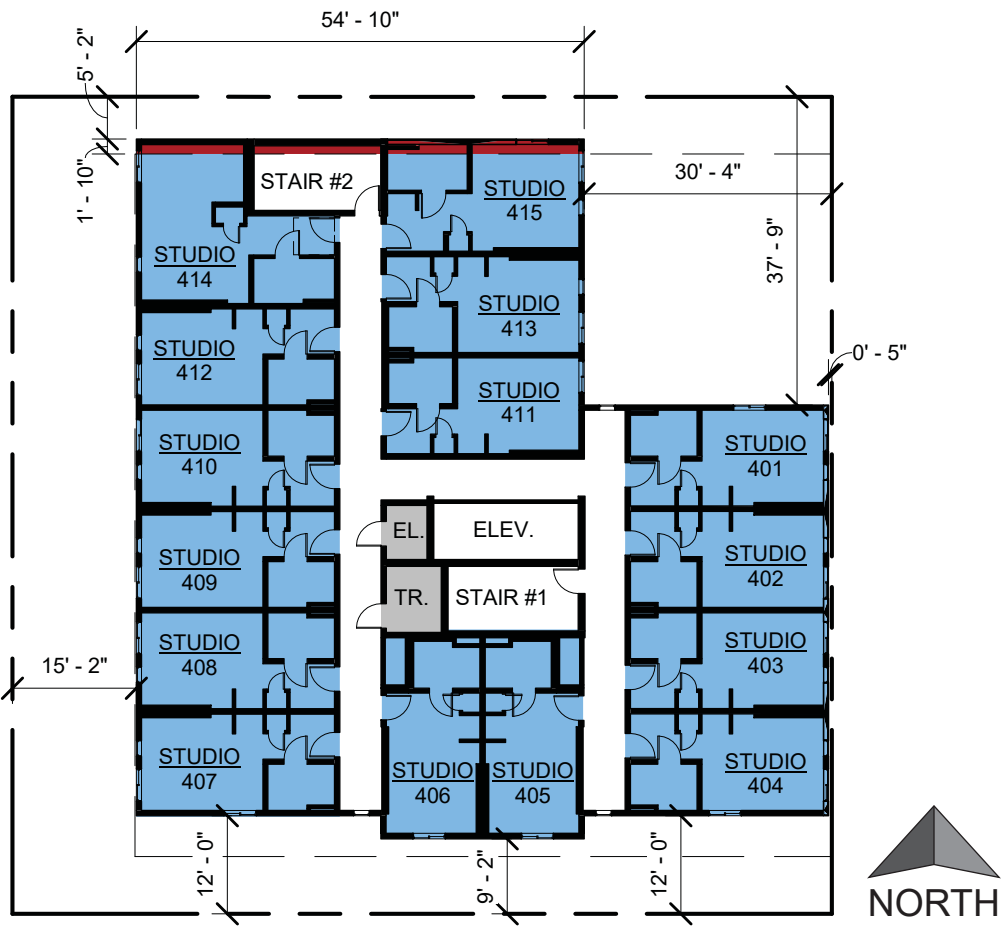
- RESIDENTIAL SPACES
- COMMUNITY SPACES
- STAFF SPACES
- UTILITY SPACES
- BUILDING AREA IN THE SETBACK



AERIAL PERSPECTIVE OF REQUESTED DEPARTURE



FLOOR PLAN: LEVEL 1



FLOOR PLAN: LEVELS 4-7

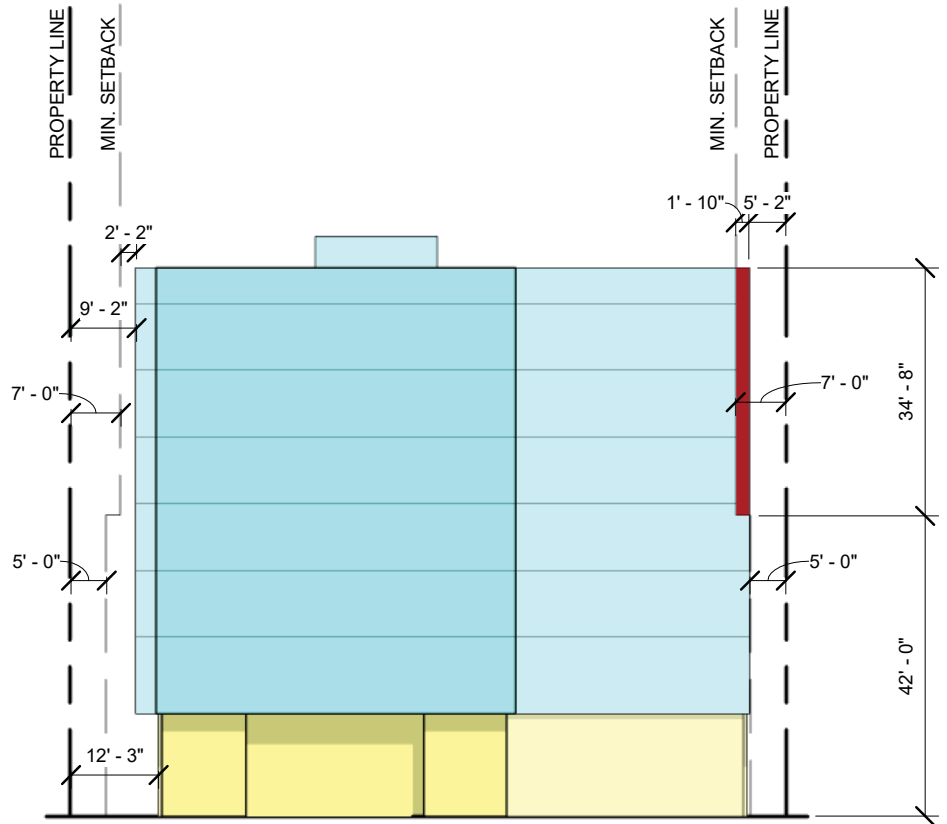
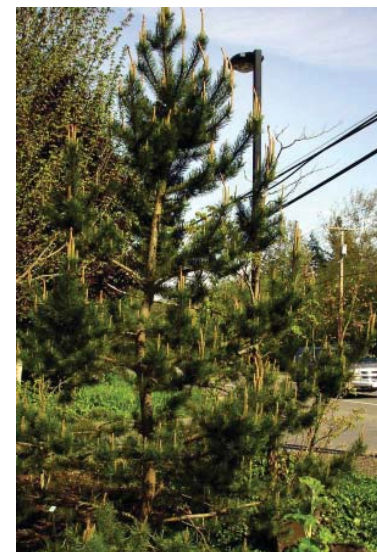
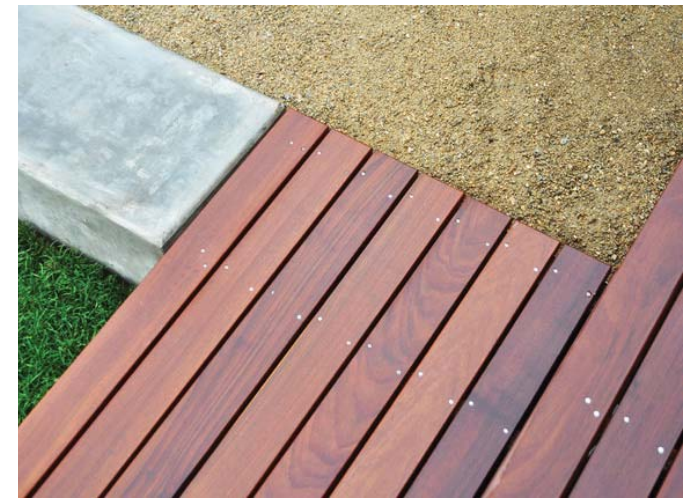
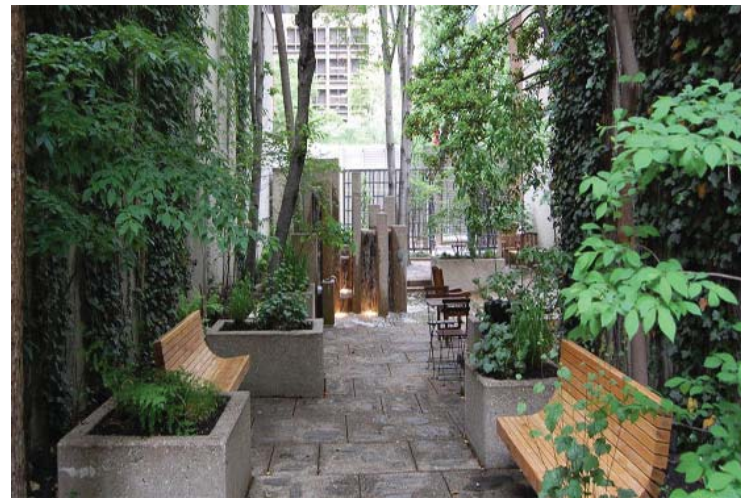


DIAGRAM: ELEVATION SHOWING REQUESTED DEPARTURE

LANDSCAPE INSPIRATIONAL IMAGERY



SCHEMATIC LANDSCAPE PLAN



BIOPLANTER WITH SHRUBS & BIORETENTION GRASSES, TYP.

PLANTING AREA WITH TREES, SHRUBS, & GROUNDCOVER, TYP.

OUTDOOR AMENITY SPACE

BIOPLANTER WITH TREES, SHRUBS & BIORETENTION GRASSES, TYP.

PERMEABLE PAVING

EXISTING TREES ON ADJACENT PROPERTY

PLANTING AREA WITH TREES, SHRUBS, & GROUNDCOVER, TYP.

SPECIMEN TREE

SITE BENCH, TYP.

OUTDOOR AMENITY SPACE NEXT TO COMMUNITY ROOM

BIOPLANTER WITH SHRUBS & BIORETENTION GRASSES

MAIN ENTRY

BIKE RACK

PLANTING BED WITH NEW STREET TREE, TYP.

FENCE AND GATE

