



Green Lake North LLC

420 NE 72ND ST
SEATTLE, 98115

SDCI# 3028323

NORTHEAST DESIGN REVIEW BOARD:
EARLY DESIGN GUIDANCE MEETING

October 30, 2017

W
COLLINS
W
ERMAN

W
WALLACE
PROPERTIES

Project Information

ADDRESS	420 NE 72nd St Seattle, WA 98115
PARCELS	952810-1515 952810-1511 952810-1510 952810-1580 952810-1571
DPD PROJECT #	3028323
OWNER	Green Lake North LLC 420 NE 72nd St Seattle, WA 98115
ARCHITECT	CollinsWoerman 710 2nd Ave Suite 1400 Seattle, WA 98104-1710
LANDSCAPE DESIGN	Brumbaugh & Associates 600 N 85th St Seattle, WA 98103

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CONTEXT + SITE ANALYSIS

Project Description + Development Goals



LEGEND:

-  Residential Urban Village Overlay Boundary
-  Pedestrian Designated Zone Boundary

LOT AREA: 24,758 sf (approx. .57 acres)

- BASE ZONE: NC2P-40 [Requested Rezone: NC2P-65]
- Height: 65'
 - FAR: 4.75
 - Parking: not required
 - Setbacks: 15' at Alley + upper levels at 2' per 10' hgt.
 - Landscaping: conforming to GreenFactor
 - Resid. Amenity: conforming at Level.02 + Level.Roof
 - Refuse/Recycl: conforming at Alley

OVERLAYS:

- Green Lake Residential Urban Village
- Pedestrian oriented designation

APPLICABLE GUIDELINES:

- City of Seattle Comprehensive Plan
- Green Lake Neighborhood Guidelines

PROJECT DESCRIPTION + GOALS:

[Design Proposal + Objectives]:

- Contract rezone request: 65' bldg. hgt./4.75 FAR
- (6) story mixed use building
- 19,175 gsf commercial area (+/-(level.01)
- 98,425 gsf of residential area (+/-(levels.02-06)
- (133) dwelling units (+/-)
- (180) parking stalls (+/-)
- Bicycle storage

[Existing Development Conditions]:

- The project site is part of a larger (3) parcel P.U.D.A contract rezone approved in 2005
- 40' building height limit
- ground level commercial area limited to max 15,000gsf
- 64% lot coverage for residential above commercial base
- (refer to appendix)



To Sound
Transit
Light Rail
Roosevelt
Station

CONTEXT + SITE ANALYSIS

Current Land-Use Zoning + Overlay Designations

LEGEND:

-  **LR2 [30'/34']**
Lowrise 2
-  **LR3 [40'/44']**
Lowrise 3
-  **NC2P-65'**
Neighborhood Commercial [Pedestrian]
-  **NC2P-40'/44'**
Neighborhood Commercial [Pedestrian]
-  **NC3P-65'**
Neighborhood Commercial [Pedestrian]
-  **NC2-40'/44'**
Commercial 1
-  **C1-40'/44'**
Commercial 1
-  Residential Urban Village Overlay Boundary
-  Pedestrian Designated Zoning Boundary

OBSERVATIONS:

- The project site is located at the northeast corner of the "Pedestrian Designated Zoning Boundary" with primary pedestrian focus and travel being oriented south and southwest towards the commercial core
- NE 72nd St and 5th Ave NE, are not identified as 'Principal Pedestrian Streets'



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CONTEXT + SITE ANALYSIS

Existing Street Classification + Circulation Patterns



LEGEND:

- █ Interstate Freeways
- █ Principal Arterial
- █ Minor Arterial
- █ Collector Arterial
- Bus Stop / Light Rail Stop
- █ Protected Bike Lane
- In-Street Bike Lane
- - - Sharrows with Uphill Bicycle Lane
- - - 5-10 Minute Pedestrian Walk Radius
- Pedestrian Connections
- - - Residential Urban Village Overlay Boundary
- - - Pedestrian Designated Zone Boundary

ADJACENT STREET CLASSIFICATIONS:

- NE 72nd St**
Non-Arterial local Access Street
- 5th Ave NE**
Minor Arterial
"In-street" lane downhill/"Sharrow" lane uphill
- Woodlawn Ave NE**
Local Collector Arterial / Transit Street
"Principal Pedestrian" Street

OBSERVATIONS:

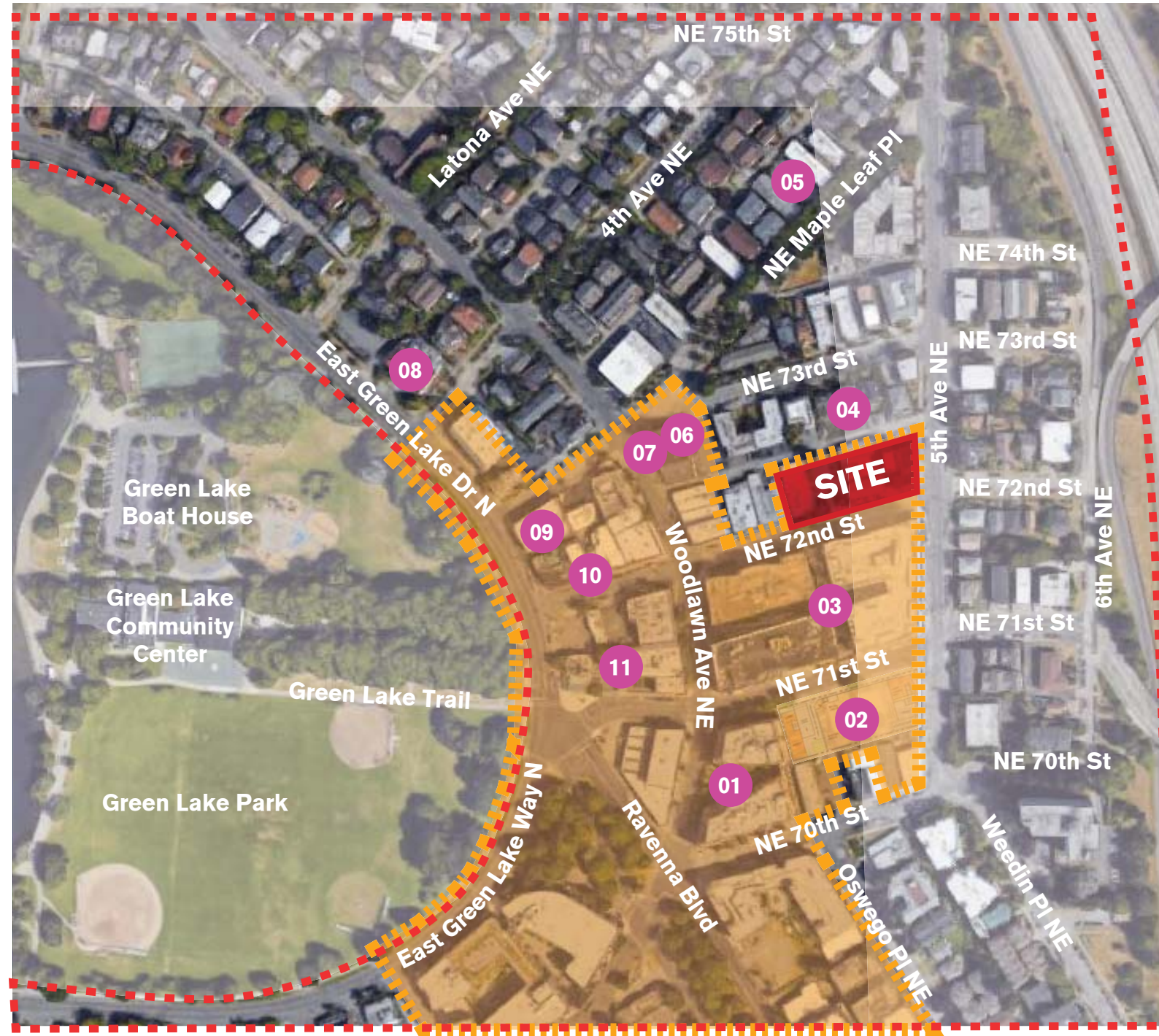
- The project site is on the perimeter of the Roosevelt Light Rail Station walkshed, which is approximately within a 0.5mile walk, or 0.4 miles as the crow flies
- Transit access from (4) different routes within a 1/4 mile walking distance
- Bicycle network consists of sharrows and in-street bike lanes on East Green Lake Dr N and 5th Ave NE














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CONTEXT + SITE ANALYSIS

Existing Neighborhood Building Character



- Residential Urban Village Overlay Boundary
- Pedestrian Designated Zone Boundary

<p>01 GREEN LAKE CONDOMINIUM</p>  <p>2003 / 65' / 6 Floors / Mixed-Use Residential</p>	<p>02 THE EDDY AT GREEN LAKE</p>  <p>2017 / 65' / 6 Floors / Mixed-Use</p>	<p>03 GREEN LAKE VILLAGE</p>  <p>2016 / 65' / 6 Floors / Mixed-Use</p>
<p>04 437 NE 73RD ST</p>  <p>2017 / 30' / 3 Floors / Residential</p>	<p>05 442 NE MAPLE LEAF PLACE</p>  <p>2017 / 44' / 4 Floors / Residential</p>	<p>06 417 NE 73RD ST</p>  <p>2017 / 65' / 6 Floors / Mixed-Use</p>
<p>07 GREAT HALL AT GREEN LAKE</p>  <p>1921 / 36' / 4 Floors / Office</p>	<p>08 GREEN LAKE PUBLIC LIBRARY</p>  <p>1920 / 30' / 2 Floors / Governmental Service</p>	<p>09 MASONIC LODGE</p>  <p>1922 / 24' / 2 Floors / Commercial</p>
<p>10 GREEN LAKE BAR & GRILL</p>  <p>1927 / 16' / 1 Floor / Commercial</p>	<p>11 SHELTER LOUNGE</p>  <p>2016 / 14' / 1 Floor / Commercial</p>	

CONTEXT + SITE ANALYSIS

Existing Streetscape

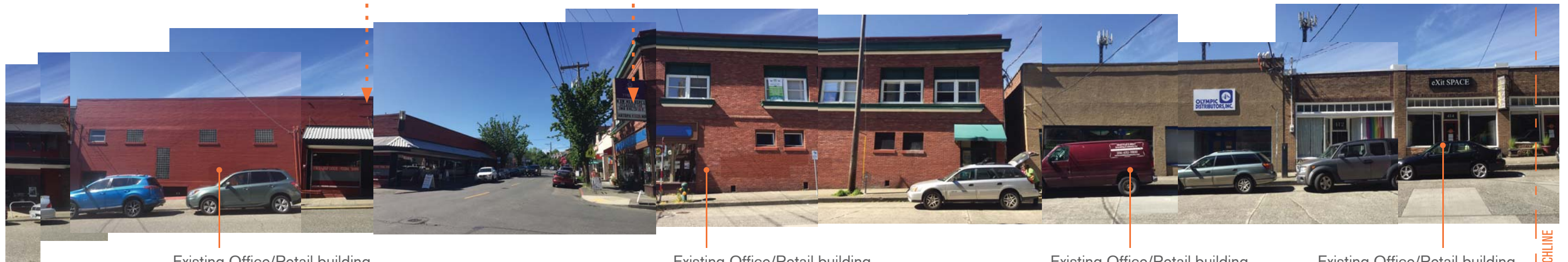
[NE 72nd Street View Looking North]



SECTION A-A



WOODLAWN AVE NE



Existing Office/Retail building, "American Athlete"

Existing Office/Retail building, "Om Culture"

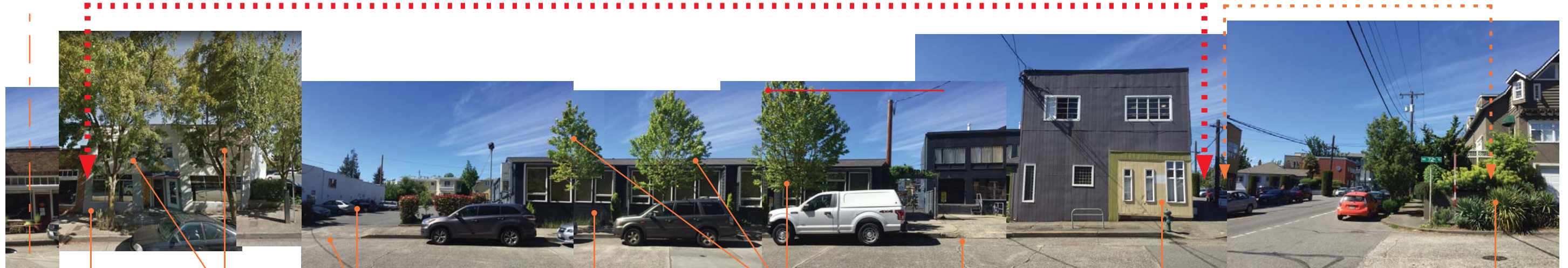
Existing Office/Retail building, "Olympic Distributors"

Existing Office/Retail building, "Exit Space: School of Dance"

MATCHLINE

PROJECT SITE

5TH AVE NE



Existing office building, "Vitamilk" (to be removed)

(2) Existing street trees @ +/-12" diameter in varying state of health (to be relocated east)

Existing surface parking lot with +/-21' wide vehicle curb-cut (curb-cut to be shifted to the west)

Surface Parking Lot / Billings Middle School (portable classroom structures to be relocated per lease)

(3) Existing street trees @ +/- 4" diameter (to be retained)

Existing +/-20' wide vehicle curb-cut (to be removed)

Existing Office/Retail building, "Always Running" (to be removed)

Existing SF residences located +/- 5'-10' above sidewalk at 5th Ave NE

MATCHLINE

CONTEXT + SITE ANALYSIS

Existing Streetscape

[NE 72nd Street View Looking South]



SECTION B-B



5TH AVE NE

PEDESTRIAN CUT-THROUGH



Existing SF residences located +/- 5'-10' above sidewalk at 5th Ave NE

Blank building corner with access to BOH/ service areas

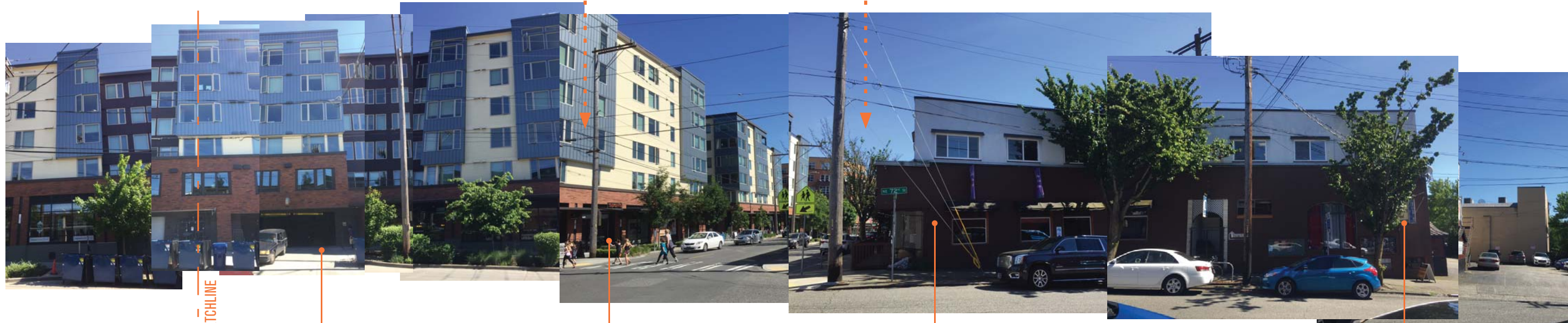
"Green Lake Village" apartments/retail

Mid-block pedestrian access to retail + restaurants ("The Eddy" apartments/retail beyond)

"Green Lake Village" apartments/retail

MATCHLINE

WOODLAWN AVE NE



MATCHLINE

Parking garage access along NE 72nd St.

"Green Lake Village" apartments/retail

Existing Office/Retail building, "Ming China Bistro"

Existing Office/Retail building, "Green Lake Martial Arts"

[View at 5th Ave NE + NE
72nd St Looking Northwest]



SECTION C-C



PROJECT SITE

CONTEXT + SITE ANALYSIS

Existing Streetscape

NE 72ND ST

5TH AVE NE



Surface Parking Lot /
Billings Middle School
(portable classroom
structures to be
relocated per lease)

Existing +/-20' wide
vehicle curb-cut
(to be removed)

Existing fire-hydrant
(to be relocated)

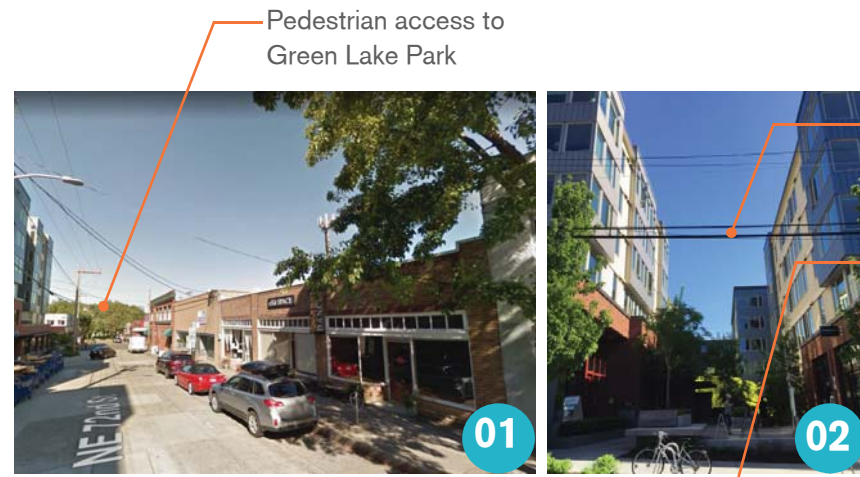
Existing concrete
sidewalk and curb
(to be rebuilt)

Existing Office/Retail
building, "Always Running"
(to be removed)

Existing curb-cut and Alley
access (to be retained)

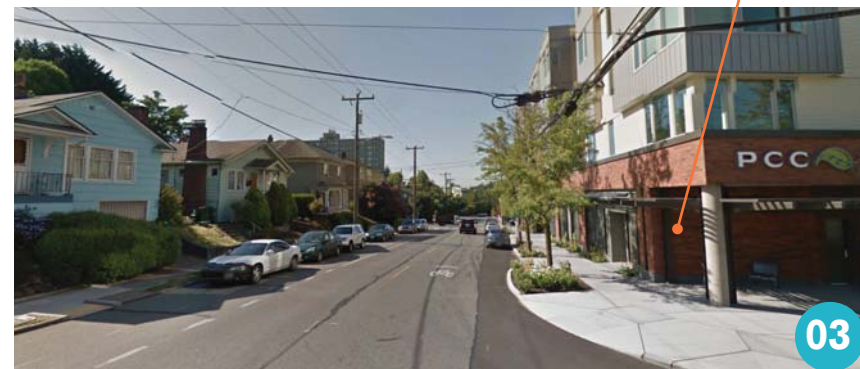
CONTEXT + SITE ANALYSIS

Existing Site Survey + Site Images



Pedestrian access to Green Lake Park

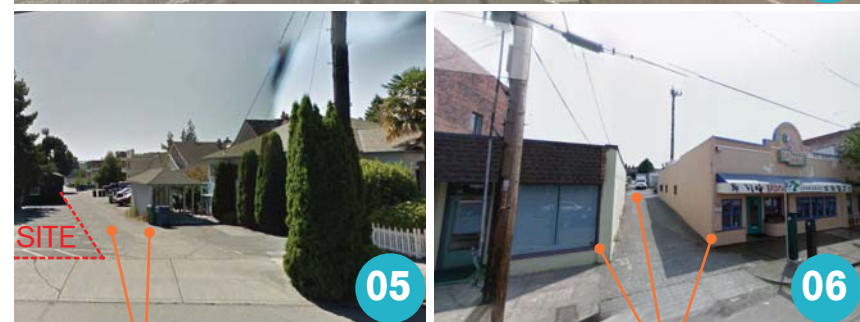
Pedestrian Cut-Through @ "Green Lake Village" Apartments/Retail building



BOH/service/loading areas at "Green Lake Village" building along 5th Ave NE

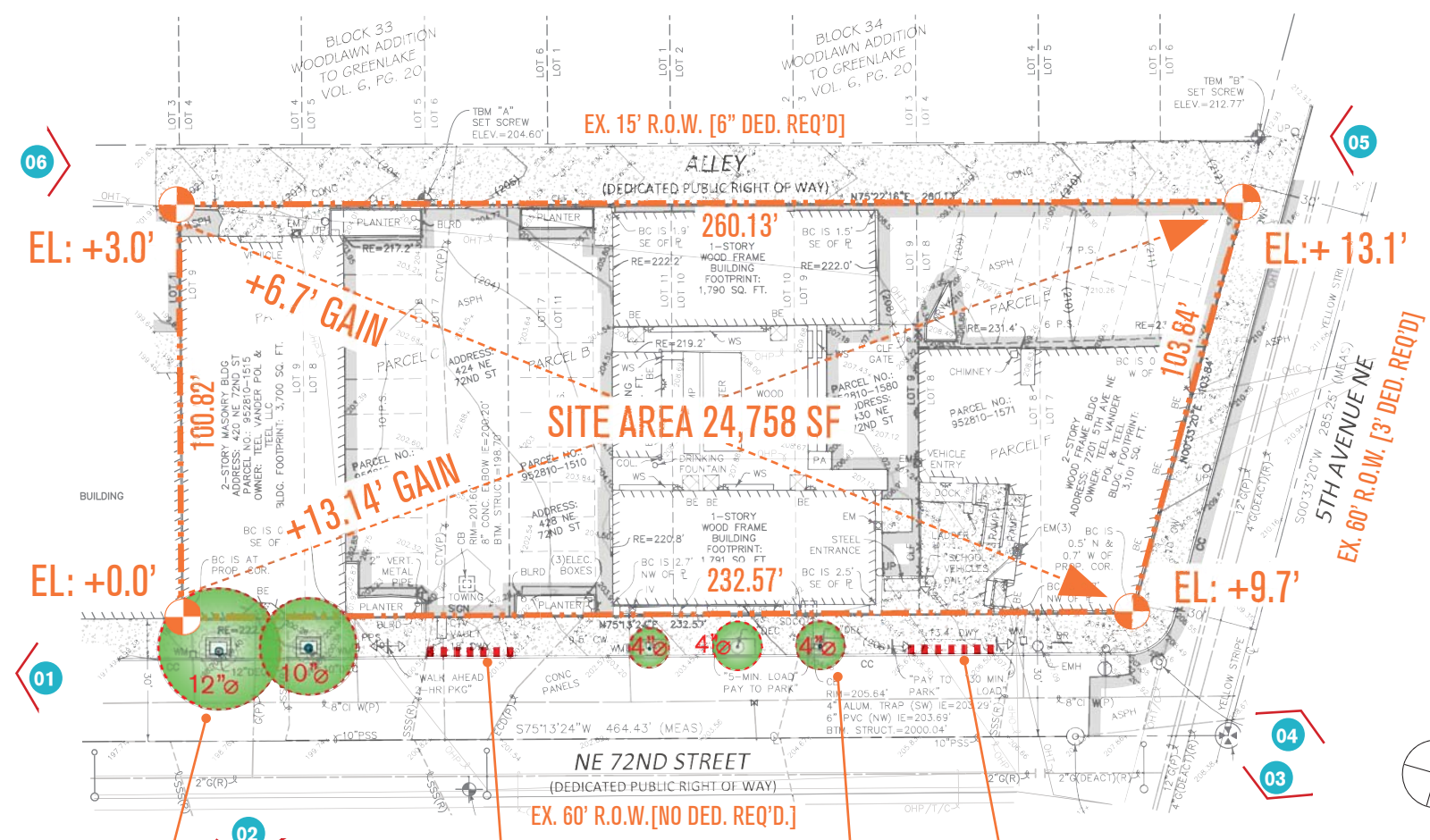
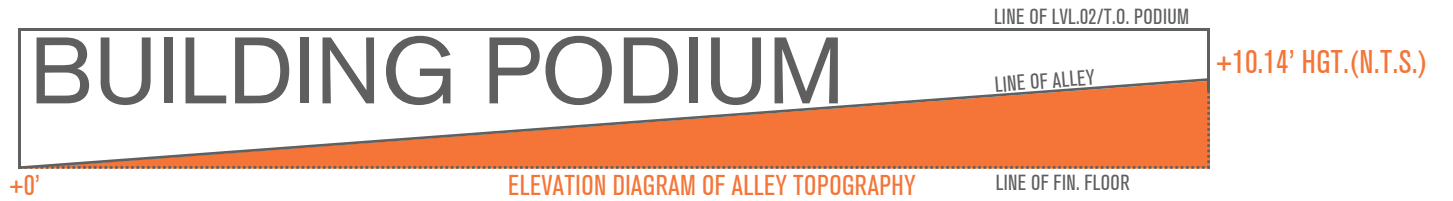


Existing SF/Multi-family buildings with blank walls and parking along street level @ 5th Ave NE



Narrow alley with existing structures + parking at property lines

West alley access with existing structures @ corners compromises visibility

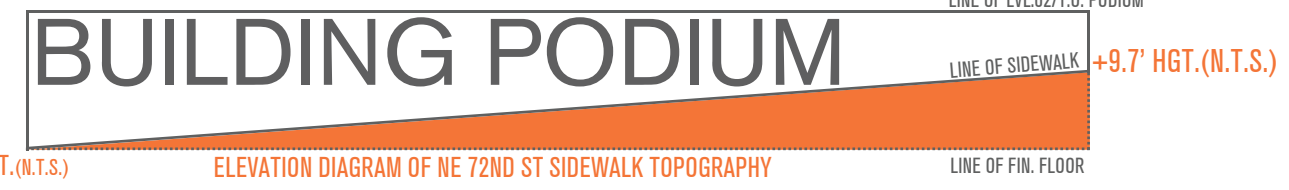


(2) Existing street trees in varying state of health (trees to be inspected by Urban Forestry and relocated east)(re: to "Landscape Concept/ Street Plan" being negotiated with SDOT)

Existing surface parking lot with +/-21' wide vehicle curb-cut (to be removed)

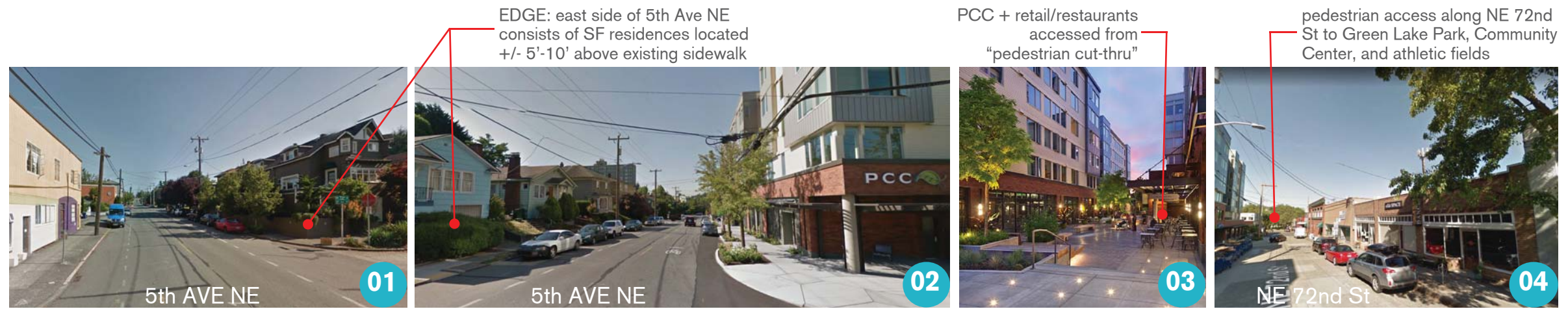
(3) Existing street trees @ +/- 4" diameter (to be retained)

Existing +/-20' wide vehicle curb-cut (to be removed)



CONTEXT + SITE ANALYSIS

Existing Pedestrian-Oriented Patterns + Character at Neighborhood Commercial Core



Pedestrian connection and access to Green Lake Park, Community Center, and athletic fields

LEGEND:

- Pedestrian Designated Zone Boundary
- Primary nodes of Pedestrian oriented commercial uses and activity
- Primary Pedestrian Circulation routes and neighborhood connections

- Existing sidewalk/ROW grades create challenging conditions for locating building entrances and BOH/ services access from alley
- Co-locating entrances + "entry plaza" at mid-block across from existing "pedestrian cut-thru" reinforces pedestrian connection with Green Lake Village pedestrian "hub"
- "Pedestrian cut-thru"
- 5th ave is the "edge" of the pedestrian zone
- PCC + retail/restaurants forms a pedestrian "hub" for the neighborhood
- to sound transit roosevelt light rail station
- "Pedestrian cut-through" connection extends south to the recently completed "Eddy" mixed-use building
- 5th ave is the "edge" of the pedestrian zone

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ZONING SUMMARY

Land-Use Code Summary [**Based on Rezone Request for NC2P-65']

NC2P-65 [Basis of Design Proposal]

Green Lake Residential Urban Village Overlay
Zoning L.U. map: 42
Lot area: 24,758 gsf
Approx. Avg. L.U. grade: (el:+205.90')

23.47A - COMMERCIAL ZONE REQUIREMENTS:

23.47A.002 - SCOPE OF PROVISIONS: "Neighborhood Commercial-2" (NC2)

23.47A.004 - PERMITTED AND PROHIBITED USES (proposed):
[table A]: Commercial/Medical services @ level 01 (max. 25,000 gsf)
[table A]: Residential @ levels 02 - 06 (no restrictions)

23.47A.005 - STREET LEVEL USES:

- Residential uses @ street level: no restrictions to size or location
- In pedestrian-designated zones: no restrictions to size or location - (site does not front "principal pedestrian streets")

23.47A.008 - STREET LEVEL DEVELOPMENT STANDARDS:

- Blank facades:
Max. 20'-0" wide segments between 2' and 8' above sidewalk
Max. 40% for all blank segments (Ne 72nd St = 93'-0" / 5th Ave NE = 41'-6")
- Non-Residential street-level requirements:
Min. 60% transparency on any street front between 2' and 8' abv. sidewalk (NE 72nd St = 838sf / 5th Ave NE = 374sf)
Non-Residential uses shall have avg. depth of 30'-0" and min. depth of 15'-0"
Non-Residential uses shall have a min. hgt. of 13' floor-to-floor @ street level
- Pedestrian-designated zone street-level requirements:
Min. 80% facade length to be non-residential use: n/a; site does not front "principal pedestrian streets"
Residential street-level use requirements: Visually prominent pedestrian entry

23.47A.012 - STRUCTURE HEIGHT:

- Base zone is 40' max. bldg. hgt. [65' base height pursuant to contract rezone]
- Rooftop features:
Open railings and parapets up to 4' max. abv. base building hgt. limit
Solar collectors may extend up to 4' max. abv. base building hgt. limit
Stair/Elev. penthouses may extend up to 16' max. abv. base building hgt. limit with max coverage = 25% of roof area

23.47A.013 - FLOOR AREA RATIO:

- [table A]: Mixed-Use in (NC) zones: 4.75 F.A.R. (24,758 x 4.75 = 117,600.5 gsf max.)
- Below grade area is excluded from F.A.R. calculations

23.47A.014 - SETBACK REQUIREMENTS:

- Alley setback across from (LR-3) zoned lot:
15'-0" min. for portions above 13' hgt. up to max. 40' hgt., and for each portion above 40' hgt, an additional setback @ a rate of 2'-0" for every 10'-0" above 40' hgt. is required (as measured from centerline of alley)
- Structures allowed in setback: decks with open railings

23.47A.016 - LANDSCAPING AND SCREENING STANDARDS:

- Green factor: min. (0.30)sf of lot area (24,758 x .30 = 7,427.4 sf min.)
- Street trees required per SDOT

23.47A.018 - NOISE STANDARDS:

- all refuse compacting and recycling shall be within an enclosed structure

23.47A.020 - ODOR STANDARDS:

- Venting of odors shall be min. 10' abv. finished sidewalk grade

23.47A.022 - LIGHT AND GLARE STANDARDS:

- Exterior lighting must be shielded and directed away from adjacent uses
- Interior lighting at parking garages must be shielded to minimize glare affecting nearby uses

23.47A.024 - AMENITY AREA:

- Residential amenity: min. 5% of total resid. area: (98,425gsf x .05 = 4,922.0gsf)
- Amenity areas shall not be enclosed
- Amenity areas shall have a min. 10' horz. dimension / min. 250sf in area

23.47A.030 - REQUIRED PARKING AND LOADING:

- Min. required parking per sect. 23.54.015.a (Parking not required in "Residential Urban Villages")
- Loading requirements per sect. 23.54.035 (Commercial area less than 40,000sf -no loading berths required)

23.47A.032 - PARKING LOCATION AND ACCESS:

- Access to parking shall be from an "improved" alley per sect. 23.53.030.c
- If access to parking is not from an alley, and the lot abuts (2 or more) streets, then access is permitted across one street
- If access to parking is not from an alley in pedestrian-designated zones, then access shall not be from a "principal-pedestrian street"
- Location of parking (proposed below grade)

23.53 - REQUIREMENTS FOR STREETS, ALLEYS, AND EASEMENTS:

23.53.015 - IMPROVEMENT REQUIREMENTS FOR EXISTING STREETS IN RESID. AND COMM. ZONES:

- Min. R.O.W. width for "arterials" per R.O.W.I.M. (3' dedication required at 5th Ave NE for 66' R.O.W. width)
- Min. R.O.W. width for "non-arterials". (NE 72nd St meets min. R.O.W. width requirements)

23.53.030 - ALLEY IMPROVEMENTS IN ALL ZONES:

- An "improved" alley in "NC2" zones is defined by a min. width of 12', per "Table B"
- Min. required width for an existing alley R.O.W. "NC2" zones is 16', per "Table C"
- Existing alleys that do not meet the min. required width require a R.O.W. dedication equal to half the difference between existing and required conditions. (current alley = 15', a 6" dedication is required)

23.53.035 - STRUCTURAL BLDG. OVERHANGS AND MINOR ARCH. ENCROACHMENTS

- Shall be min. 8' abv. fin. sidewalk, and min. 16' abv. fin. alley
- Structural building overhangs:
Shall be min. 8' abv. fin. sidewalk, and min. 26' abv. fin. alley
Shall have a max. projection of 3', and no closer than 8' to the centerline of any alley
Shall have a max. length of 15' for areas projecting over the property line
Shall have a min. separation of 8' between balconies
Total façade area shall not exceed 30% of the street-facing facade

23.54 - QUANTITY AND DESIGN STANDARDS FOR ACCESS, OFF-STREET PARKING, AND SOLID WASTE STORAGE:

23.54.015 - REQUIRED PARKING

- Non-Residential parking is not required in Urban Villages per "Table A"
- Residential parking is not required in Urban Villages per "Table B"
- Off-Street bicycle parking per "Table D", sect. 23.54.015:
medical services: 1/12,000 (long-term) ; 1/4,000 (short-term)
(19,175/12,000 = min. 2 spaces) ; (19,175/4,000 = min. 5 spaces)
residential multi-family: 1/4 d.u. (133 d.u. / 4 = min. 34 spaces)
- Bicycle parking for residential uses shall be on-site
- Shared facilities is encouraged
- Off-Site bicycle parking may be located in the R.O.W. per DOT approval

23.54.030 - PARKING SPACE STANDARDS

- Large stall: 8.5' x 19'
- Medium stall: 8' x 16'
- Small stall: 7.5' x 15'
- Barrier-free: 8' w/ min. 5' access aisle
- Van-Accessible : 8' w/ min. 8' access aisle
- Barrier-Free: min. (1) stall of 19' length
- Column encroachments per exhibit "A", sect. 23.54.030
- Residential parking space requirements when spaces provided: exempt
- Non-Residential parking space requirements when spaces provided for more than (20) spaces: (min. 35% / max. 65% small ; min. 35% for large)
- Min. vehicle clearance shall be 6'-9"; (min. 8'-2" required for H.C. van access)
- Driveways for non-residential use: min. 22' / max. 25' for two-way traffic
- Turning radius for two-way traffic per "Exhibit B", sect. 23.54.030
- Driveway slope: max. 15%; or greater slope per director's determination
- Min. parking aisle width = 22' for 90° parking angle with two-way traffic (min. 20' width for small stalls / min. 24' for large stalls served)
- Max. parking aisle slope = 17%
- Curb cut width for non-residential use = min. 22' / max. 25' for two-way traffic
- Sight-triangles for Commercial-2 zones may be provided by mirrors and/or similar approved safety measures.

23.54.030 - LOADING BERTH REQUIREMENTS AND SPACE STANDARDS

- Min. quantity per "Table A", sect. 23.54.035 for "low-demand" use (Commercial area is less than min. threshold of 40,000sf - no loading berths required)

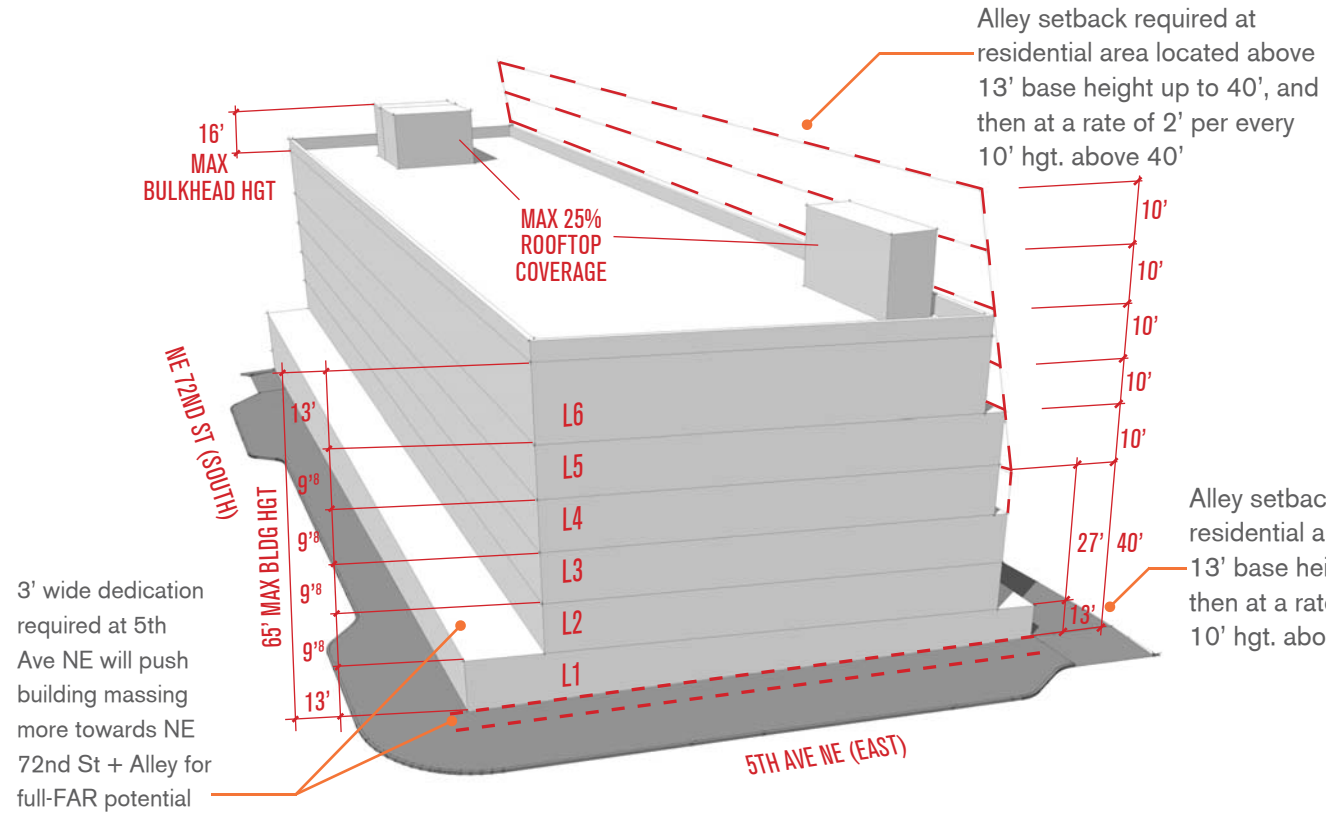
23.54.040 - SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS

- Min. residential use greater than (100 d.u.) = (575sf + (33 x 4sf) = min. 707sf)
- Min. non-residential use (15,001 - 50,000sf) = min. 225sf
- Mixed-Use projects may reduce non-residential space requirements by 50%: (225sf x .5 = 112.5sf min.). Recycling space required to be separated between uses
- For residential projects with greater than (100 d.u.), space requirements may be reduced by 15% when a min. horz. dimension of 20' is provided. (min. 601sf) (total area required = 601sf resid. + 112.5sf non-resid. = 713.5sf min.)
- Storage space shall have a 12' min. horz. dimension
- Storage space shall be located to minimize noise and odor impacts
- Containers 2cy or smaller may be manually pulled
- Direct access for occupants shall be provided from an alley or street

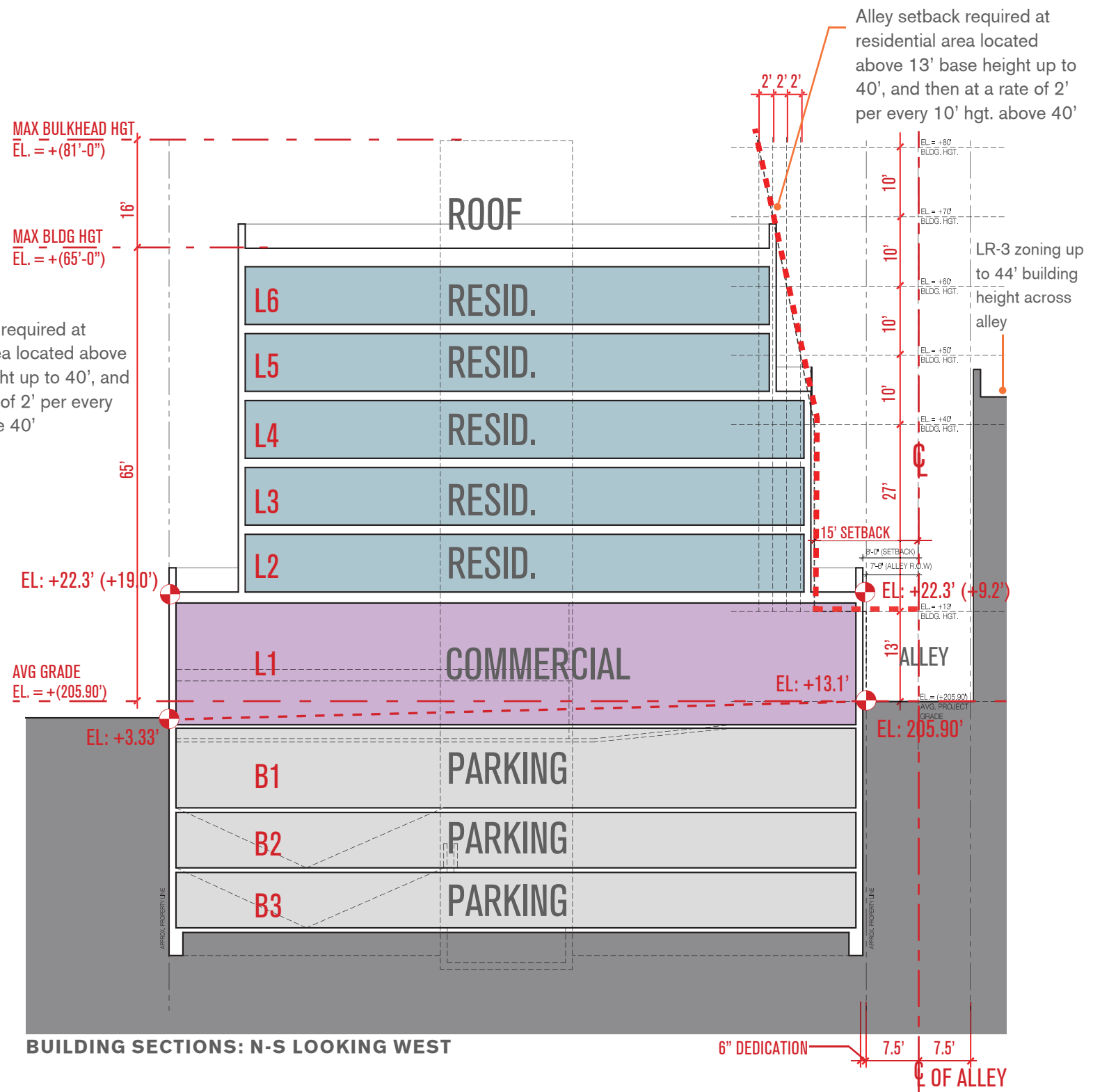
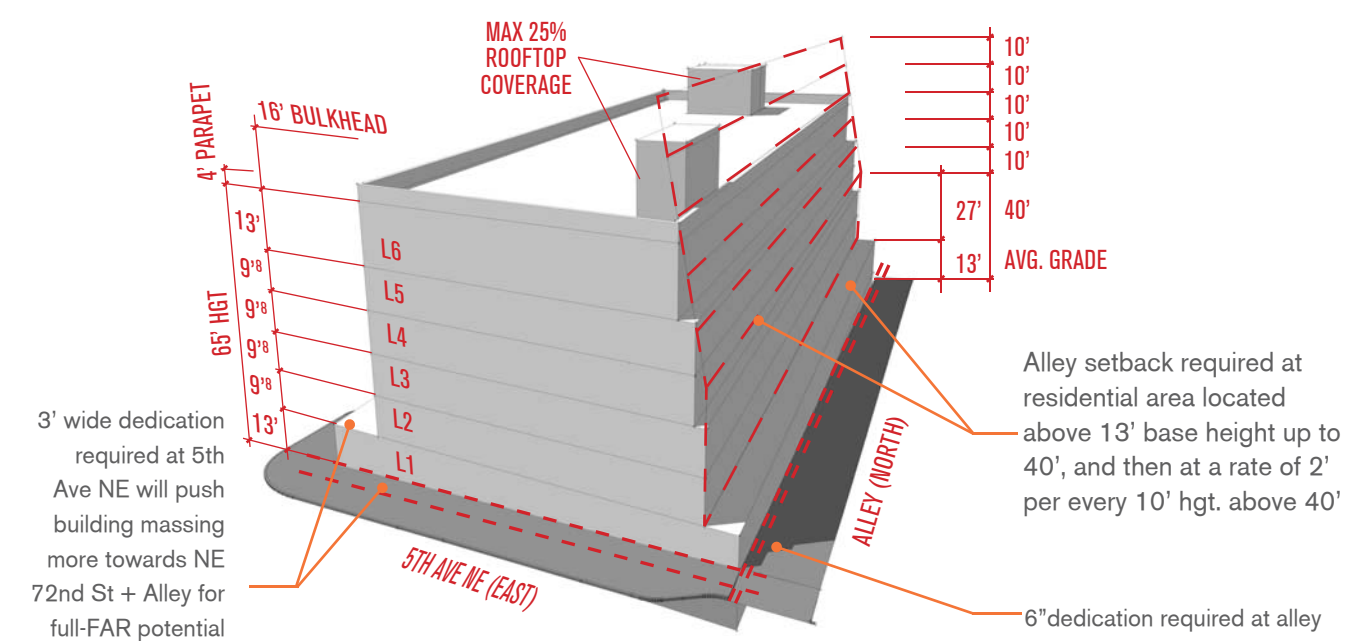
ZONING SUMMARY

Zoning Diagrams [****Based on Rezone Request for NC2P-65'**]

SE CORNER AT 5TH AVE NE + NE 72ND ST

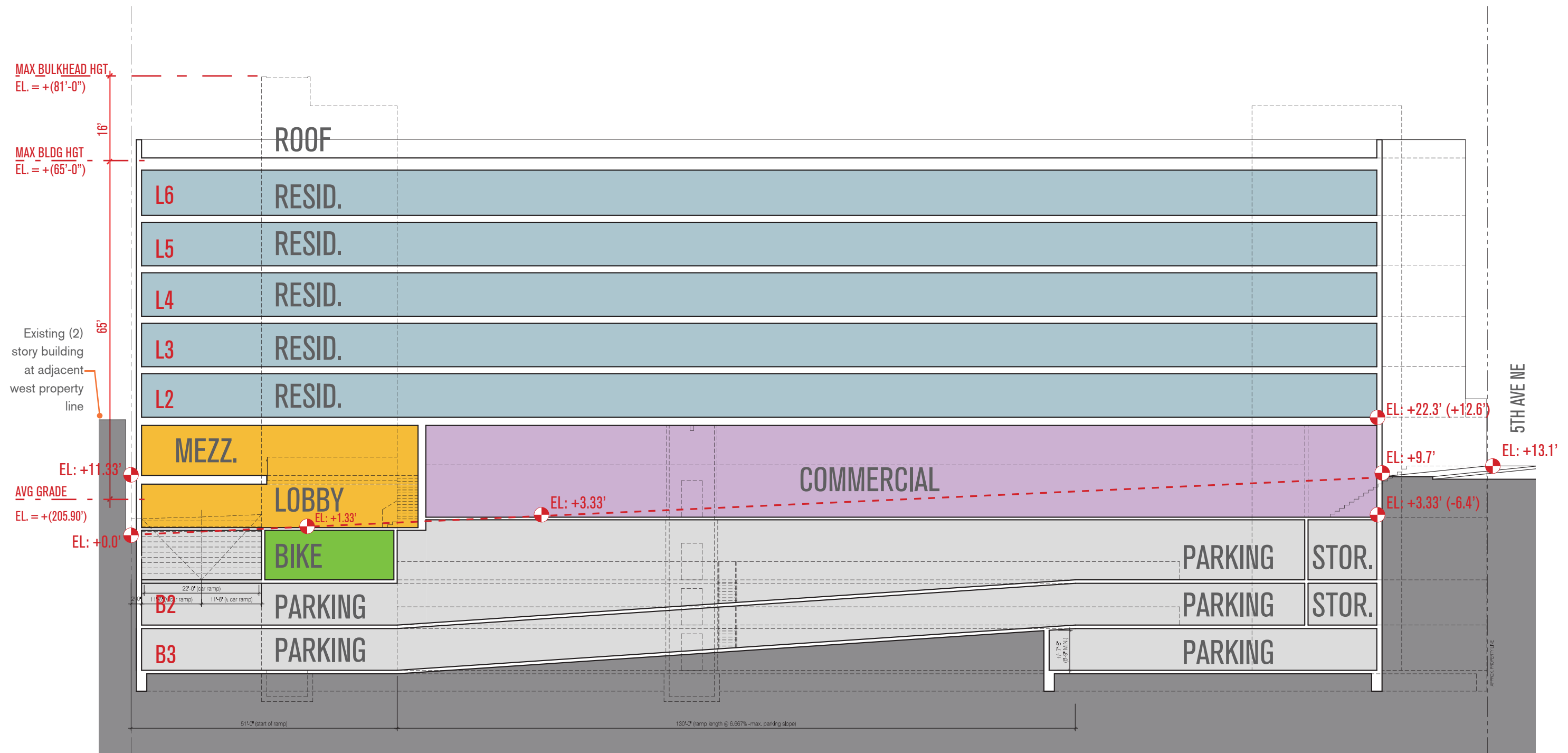


NE CORNER AT 5TH AVE NE + ALLEY



ZONING SUMMARY

Zoning Diagrams [****Based on Rezone Request for NC2P-65'**]



BUILDING SECTIONS: E-W LOOKING NORTH

DESIGN GUIDELINES

City of Seattle + Green Lake Neighborhood Design Guidelines

CS1: Natural Systems & Site Features



CITYWIDE/NEIGHBORHOOD GUIDELINES:

- Use natural systems and features of the site and its surroundings as a starting point for the project design
- I. Site Characteristics
 - ii. "Views of Lake"

Response:

- (ii.) By locating common amenity areas at the SW corner of Level.02 and the upper roof level, the residents of the building will be provided with quality views east and west along NE 72nd St, views to the south at the "Green Lake Village" Pedestrian Cut-through, as well as prominent views west to the Green Lake Park Community Center and athletic fields

CS2: Urban Pattern and Form



CITYWIDE/NEIGHBORHOOD GUIDELINES:

- Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area
- I. Site Characteristics
 - ii. "Entry Locations"
- II. Height, Bulk and Scale Compatibility
 - ii. "Zone Edges"
- III. Streetscape Compatibility
 - ii. "Multifamily Residential Areas"

Response:

- (I.) The primary building entrances for the residential and commercial portions of the building have been separated by a landscaped open space in order to provide easier wayfinding for pedestrians, and to create a more distinctive and prominent sense of entrance and identity at the streetscape
- (III.) The proposed 65' building height will be more in keeping with the development trends in the neighborhood - specifically, providing taller, mixed-use buildings that bring greater density and commercial uses to the neighborhood commercial core
- (III.) The proposed street level design and building massing are intended to be both compatible and complementary in nature with the scale of the surrounding neighborhood context, as well as with its pedestrian oriented character

CS3: Architectural Context & Character



CITYWIDE/NEIGHBORHOOD GUIDELINES:

- Contribute to the architectural character of the neighborhood
- I. Architectural Context
 - i. "Distinct Architectural Themes and Styles"
 - iii. "Residential Urban Village"
 - v. "Facade Articulation"

Response:

- (i.) The proposed building material and color palette, massing, and scale will be compatible and complementary in nature with the two additional projects recently completed to the south ("Green Lake Village" and "The Eddy at Green Lake")
- (iii.)(v.) The proposed building massing is modulated and set back at the street and upper-level stories in order to create a balanced rhythm and perceived scale that is consistent with the neighborhood building context, as well as with the pedestrian-oriented character of the streetscape

PL1: Connectivity



CITYWIDE/NEIGHBORHOOD GUIDELINES:

- Complement and contribute to the network of open spaces around the site and the connections among them.
- I. Residential Open Space
 - iv. “Providing open space within the streetscape or other public rights-of-way contiguous with the site”

Response:

- (iv.) Create an engaging and improved pedestrian-oriented experience that is consistent with “Pedestrian Zone” characteristics thru the use of landscaped open spaces, widened sidewalks, curb-bulbs, placement of street furniture, and planted areas within the sidewalk
- A primary open space is proposed along NE 72nd St, between the residential and commercial entrances, and is intended to serve as a public-space amenity consistent with “Pedestrian Zone” characteristics, as well as a visual connection point with the “Green Lake Village” pedestrian cut-through and retail areas located immediately south of the project site

PL2: Walkability



CITYWIDE/NEIGHBORHOOD GUIDELINES:

- Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.
- I. Pedestrian Open Spaces and Entrances
 - ii. “Streetscape Amenities”

Response:

- (ii.) A primary open space is proposed along NE 72nd St, between the residential and commercial entrances, and is intended to serve as a public-space amenity consistent with “Pedestrian Zone” characteristics
- The proposed open space will serve as a visual connection point with the “Green Lake Village” pedestrian cut-through and retail areas located immediately south of the project site, and will provide improved wayfinding for pedestrians, consistent with “Pedestrian Zone” characteristics, by creating a more distinctive identity for the residential and commercial portions of the building

PL3: Street-Level Interaction



CITYWIDE/NEIGHBORHOOD GUIDELINES:

- Encourage human activity and interaction at street level.
- I. Human Activity
 - ii. “Recessed Entries”
 - iii. “Landscaping at the building base and entry”
- II. Transition Between Residence and Street
 - ii. “Mixed-Use Buildings”

Response:

- (I.)(ii.) The primary building entrances for the residential and commercial portions of the building have been separated by a landscaped open space in order to provide easier wayfinding for pedestrians, and to create a more distinctive and prominent sense of entrance and identity at the streetscape that is consistent with “Pedestrian Zone” characteristics
- (I.)(iii.) Street trees and sidewalk level planting areas will be provided at the streetscape in order to soften the urban environment, as well as to create a more improved pedestrian experience that is consistent with “Pedestrian Zone” characteristics
- (II.)(ii.) With the exception of the residential lobby, all residential dwelling units will be located at the Level.02 podium

PL4: Active Transportation



CITYWIDE/NEIGHBORHOOD GUIDELINES:

- Incorporate design features that facilitate active forms of transportation such as walking, bicycling, and use of transit.
- B.2 Bike Facilities

Response:

- Long-term bike storage will be provided at a centralized storage area located at the B.01, below-grade parking level, and is accessible from NE 72nd St via the Residential Lobby and/or parking access ramp (re: appendix)
- Short-term bike storage will be provided by means of exterior bike racks located along the street level along NE 72nd Street
- The project site is located within an area that is easily accessible to public transportation

DESIGN GUIDELINES

City of Seattle + Green Lake Neighborhood Design Guidelines

DC1: Project Uses & Activities



CITYWIDE/NEIGHBORHOOD GUIDELINES:

- Optimize the arrangement of uses and activities on site.
- A.4 Views and Connections
- B.1.c Vehicular Access and Circulation
- C.1 Parking and Service Uses

Response:

- The proposed landscaped, open space along NE 72nd St. will serve as a visual connection point with the “Green Lake Village” pedestrian cut-through and retail areas located immediately south of the project site, and will provide improved wayfinding for pedestrians by creating a more distinctive identity for the residential and commercial portions of the building
- Refuse, recycling, and loading will be provided from the existing alley
- On-site parking will be provided at below-grade building levels, B.01-B.03 (re: appendix)

DC2: Architectural Concept



CITYWIDE/NEIGHBORHOOD GUIDELINES:

- Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.
- A.1 Site Characteristics and Uses
- A.2 Reducing Perceived Mass
- B.1 Facade Composition
- B.2 Blank Walls
- C.1 Visual Depth and Interest
- C.2 Dual Purpose Elements
- C.3 Fit with Neighboring Buildings
- D.1 Human Scale
- D.2 Texture

Response:

- (C.3)(D.1)(D.2) The proposed street level design is intended to be both compatible and complementary in nature with the pedestrian-oriented character of the streetscape
- (A.2)(B.1)(C.1)(D.1) The proposed building massing is modulated and set back at the street and upper-level stories in order to create a balanced rhythm and perceived sense of scale that is consistent with the bulk and scale of the surrounding neighborhood context
- (B.2) Blank facades will be minimized
- (C.2) Landscaped, open space provided for public amenity and separation between building entrances

DC3: Open Space Concept



CITYWIDE/NEIGHBORHOOD GUIDELINES:

- Integrate open space design with the design of the building so that each complements the other.
- I. Landscape Design to Address Special Site Conditions
 - i. “Celebrate the Olmsted heritage”

Response:

- (i.) Create an engaging and improved pedestrian-oriented experience that is consistent with “Pedestrian Zone” characteristics thru the use of landscaped open spaces, widened sidewalks, curb-bulbs, placement of street furniture, and planted areas within the sidewalk
- The landscape/streetscape design strategy will be integral with the overall building massing design while also incorporating design cues from adjacent projects like the “Green Lake Village” retail area located to the south
- At the larger, neighborhood level, the design proposes to create a landscape/streetscape design that is consistent and compatible with the quality and character of the adjacent blocks and streets

DC4: Exterior Elements and Finishes



CITYWIDE/NEIGHBORHOOD GUIDELINES:

- Use appropriate and high quality elements and finishes for the building and its open spaces.
- I. Architectural Context
 - i. “Signage”
- II. Exterior Finish Materials

Response:

- (I.)(i.) Exterior signage will be incorporated with the overall building design and architectural expression, and will be constructed of high quality and durable materials
- (II.) The exterior building materials will be of a high-quality and durable nature, will be consistent with the overall building design and concept, and will be complementary and compatible with the surrounding neighborhood context

OPTION 1 @ NC2P-65 [Preferred]



OPPORTUNITIES

- views to Green Lake @ level.02 and roof level common amenity areas
- landscaped public open space will provide greater distinction between residential/commercial entries
- greater housing density consistent with Residential Urban Village + HALA/MHA development goals
- building massing and scale better relates to current and proposed building heights and growth trends
- distinctive building massing that is modulated and creates visual interest, scale, and proportions that are complementary without “mimicking” buildings recently completed to south of the project site
- open space + widened sidewalks with curb-bulbs and landscaping will create a higher quality pedestrian streetscape and experience

CONSTRAINTS

- existing sidewalk and alley grades make multiple building entries and common floor levels difficult to accommodate (refer to survey drawing for existing grade elevations)

ANTICIPATED DEPARTURES

- (refer to departure matrix + diagrams)

OPTION 2 @ NC2P-65:



OPPORTUNITIES

- views to Green Lake @ level.02 and roof level common amenity areas
- landscaped public open space will provide greater distinction between residential/commercial entries
- greater housing density consistent with Residential Urban Village + HALA/MHA development goals
- building massing and scale better relates to current and proposed building heights and growth trends
- building massing that is modulated and more closely “mimics” adjacent buildings recently completed immediately to south of the project site
- open space + widened sidewalks with curb-bulbs and landscaping will create a higher quality pedestrian streetscape and experience

CONSTRAINTS

- existing sidewalk and alley grades make multiple building entries and common floor levels difficult to accommodate (refer to survey drawing for existing grade elevations)
- massing and proportions at 5th ave + alley relate well to the existing context, but not as well to the pedestrian scale at the sidewalk level

ANTICIPATED DEPARTURES

- (refer to departure matrix + diagrams)

OPTION 3 @ NC2P-65:



OPPORTUNITIES

- views to Green Lake @ level.02 and roof level common amenity areas
- greater housing density consistent with Residential Urban Village + HALA/MHA development goals
- building massing and scale relates to current and proposed building heights and growth trends
- widened sidewalks with curb-bulbs and landscaping will create a higher quality pedestrian streetscape and experience

CONSTRAINTS

- no landscaped public open space provided at sidewalk level for enhanced pedestrian experience
- shallower modulation of building massing creates less sense of scale and visual interest
- existing sidewalk and alley grades make multiple building entries and common floor levels difficult to accommodate (refer to survey drawing for existing grade elevations)
- massing and proportions at 5th ave + alley will not relate as well to the existing context, or to the pedestrian scale at the sidewalk level

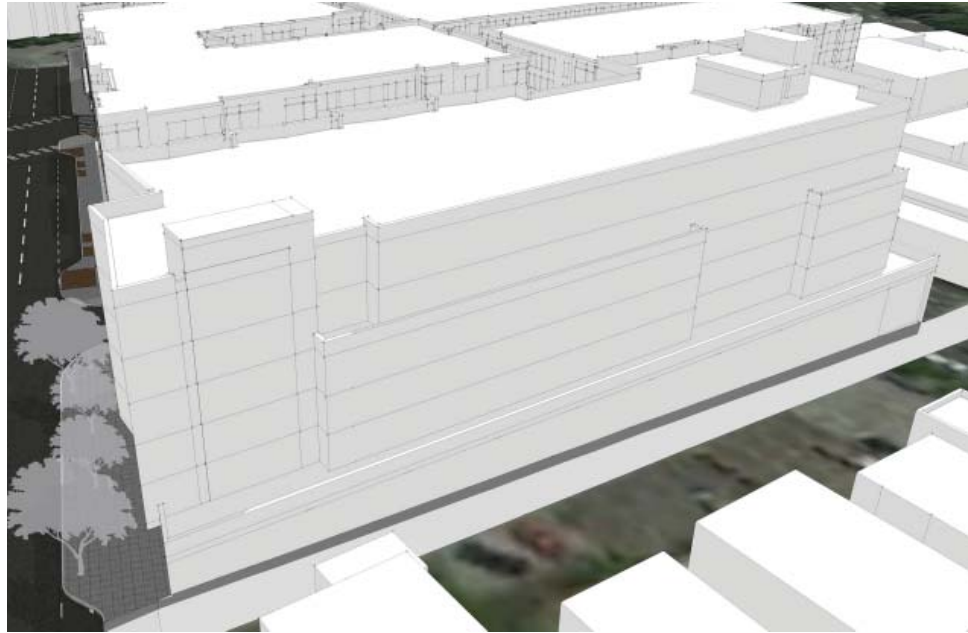
ANTICIPATED DEPARTURES

- (refer to departure matrix + diagrams)

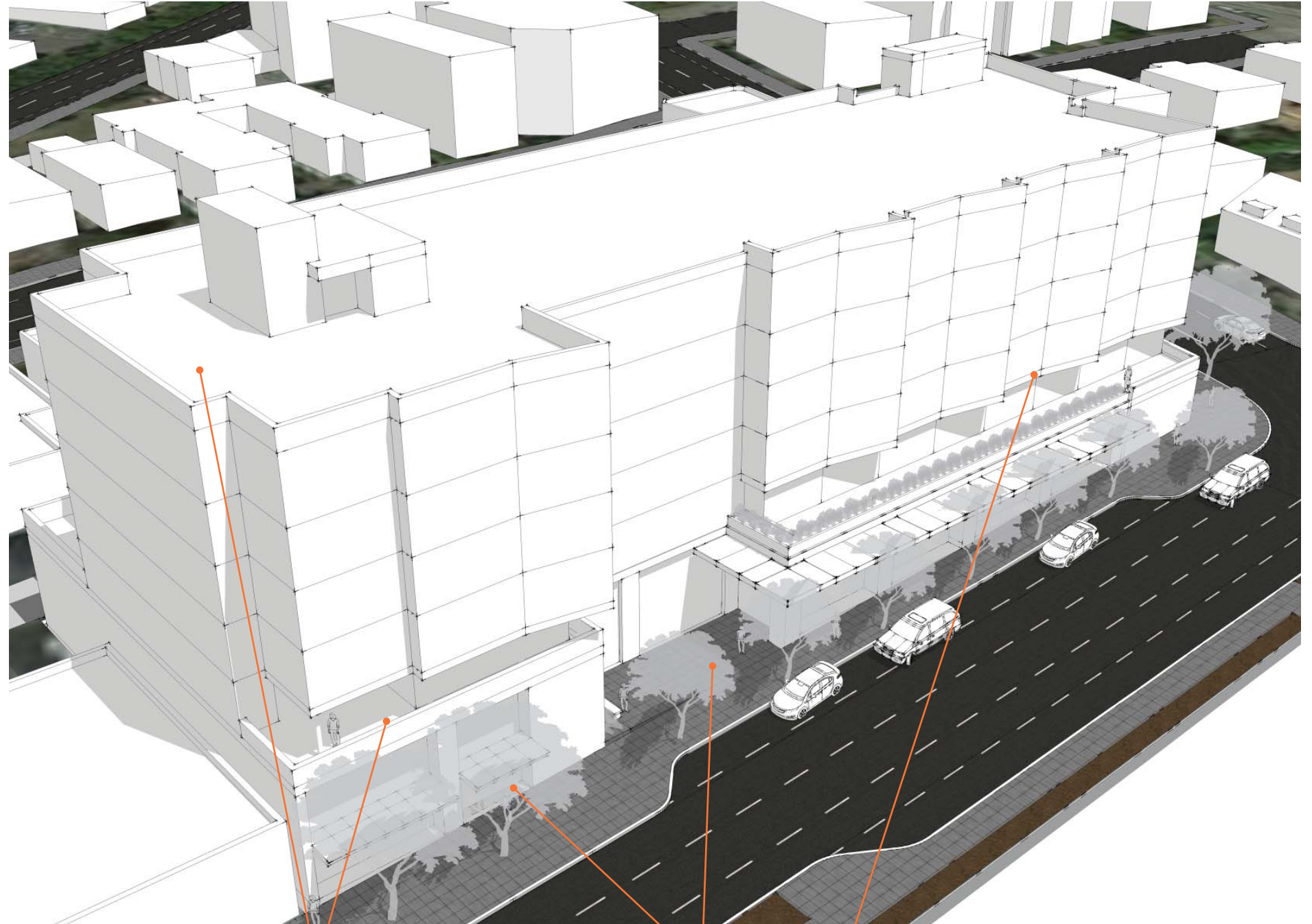
DESIGN PROPOSAL

[Option 1 at NC2P-65] [Preferred]

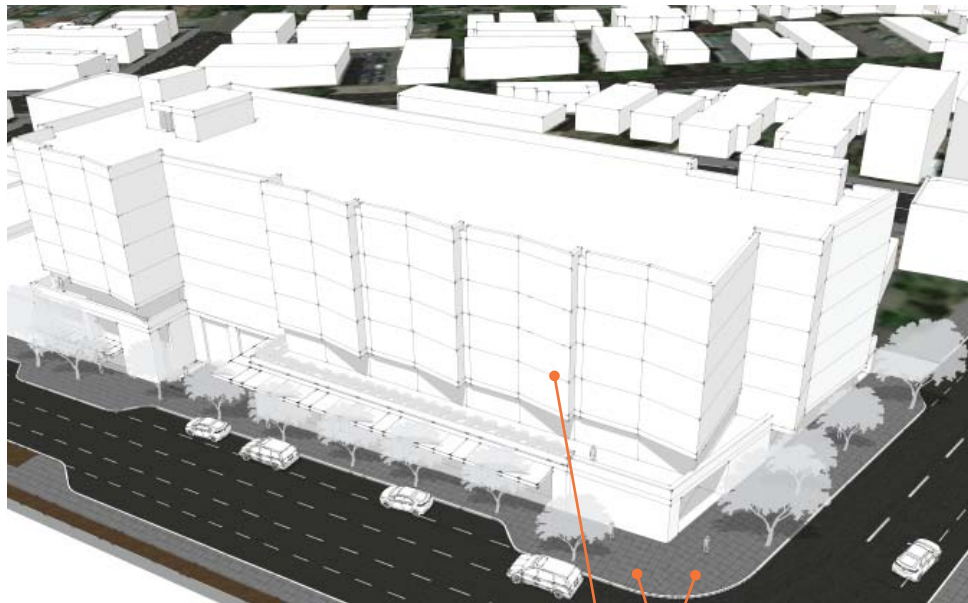
AERIAL VIEW FROM NE



AERIAL VIEW FROM SW



AERIAL VIEW FROM SE



distinctive building massing that is modulated and creates visual interest, scale, and proportions that are complementary without "mimicking" buildings recently completed to south of the project site

open space + widened sidewalks with curb-bulbs and landscaping will create a higher quality pedestrian streetscape and experience

views to Green Lake @ level.02 and roof level common amenity areas

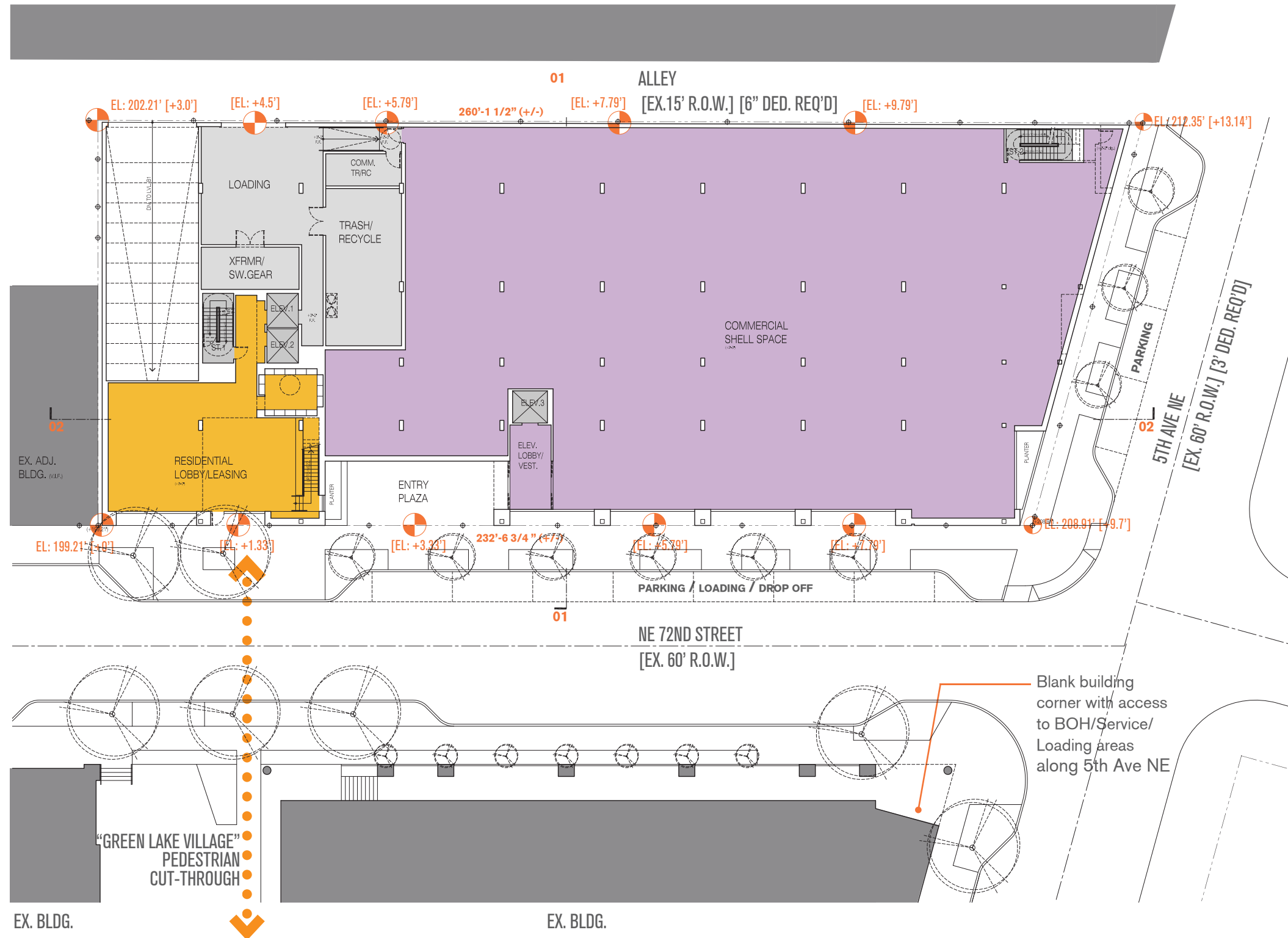
landscaped public open space will provide greater distinction between residential and commercial entries

distinctive building massing that is modulated and creates visual interest, scale, and proportions that are complementary without "mimicking" buildings recently completed to south of the project site

DESIGN PROPOSAL

[Option 1 at NC2P-65] **[Preferred]**

GROUND LEVEL FLOOR PLAN



LEGEND:

- Commercial
- Circulation / Residential Amenity
- Residential Dwelling Units
- Core/Support
- Adjacent Context

[OPTION 1] DEVELOPMENT METRICS:

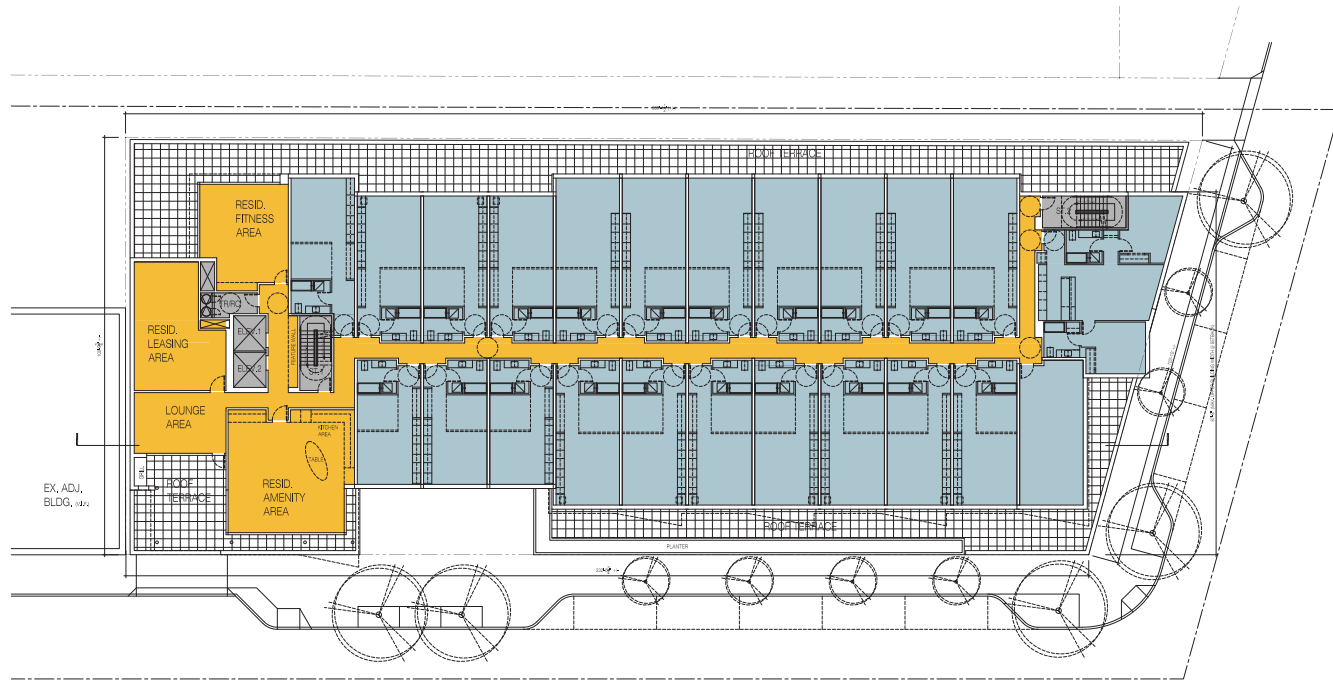
FLOOR LVL.	FLOOR AREA (sf)	UNITS
LEVEL.01	21,883 sf	0
LEVEL.MZ	1,759 sf	0
LEVEL.02	17,920 sf	23
LEVEL.03	18,837 sf	28
LEVEL.04	18,837 sf	28
LEVEL.05	18,104 sf	27
LEVEL.06	18,104 sf	27
LEVEL.ROOF	592sf	0

TOTAL AREA/UNITS *116,036 sf 133
 (*NOTE: TOTAL ALLOWABLE AREA = 117,600.5sf)

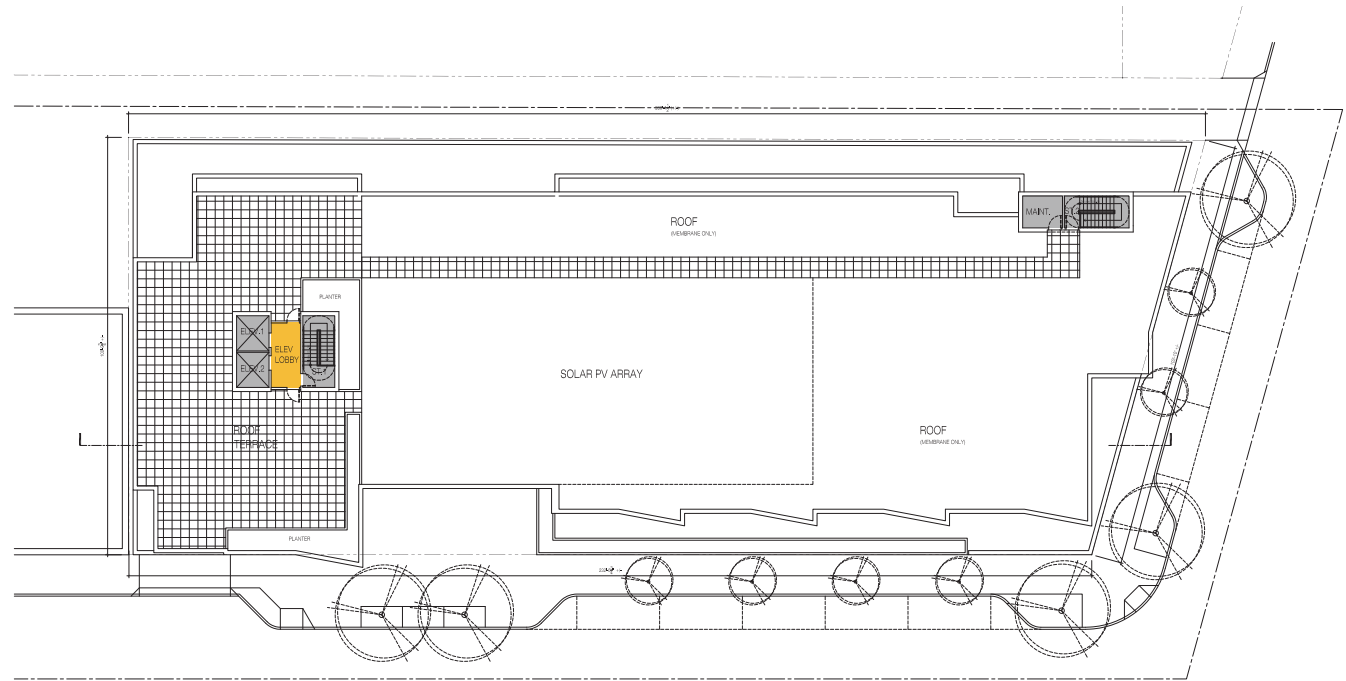


DESIGN PROPOSAL

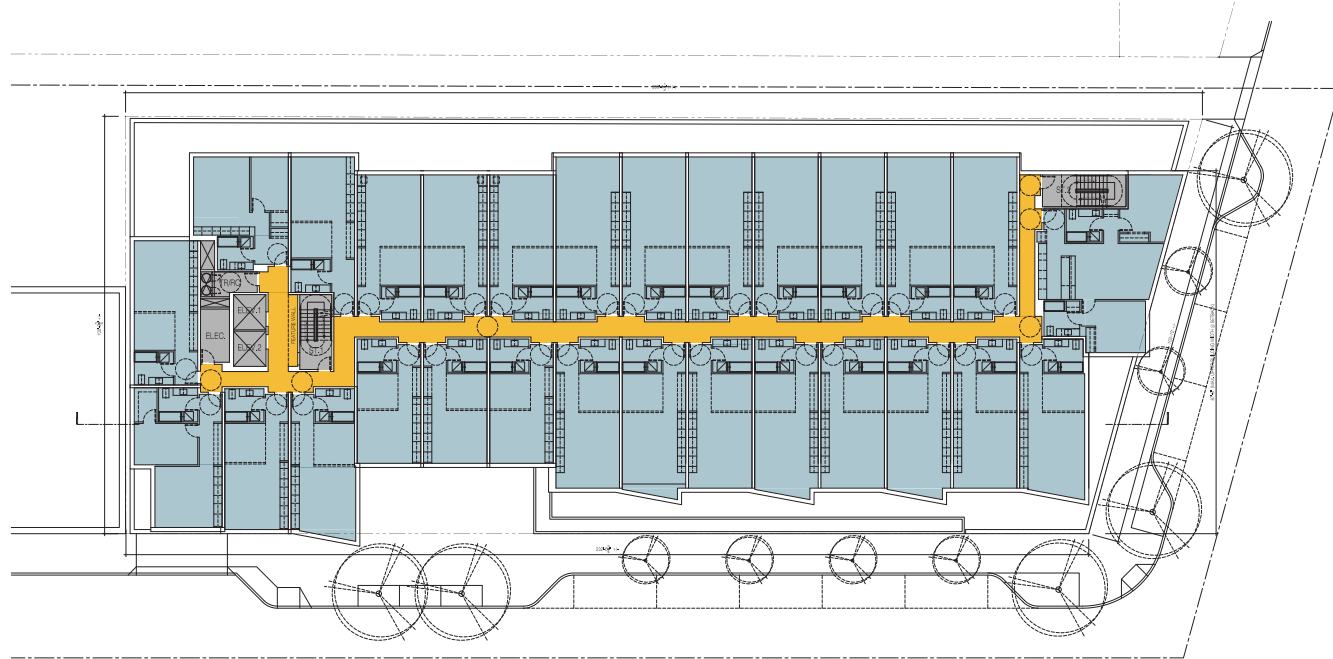
[Option 1 at NC2P-65] [Preferred]



LEVEL.02 [RESIDENTIAL + AMENITY]



LEVEL.ROOF [LANDSCAPED AMENITY AREAS + P.V. ARRAY]



LEVEL.03-06 TYPICAL [RESIDENTIAL]

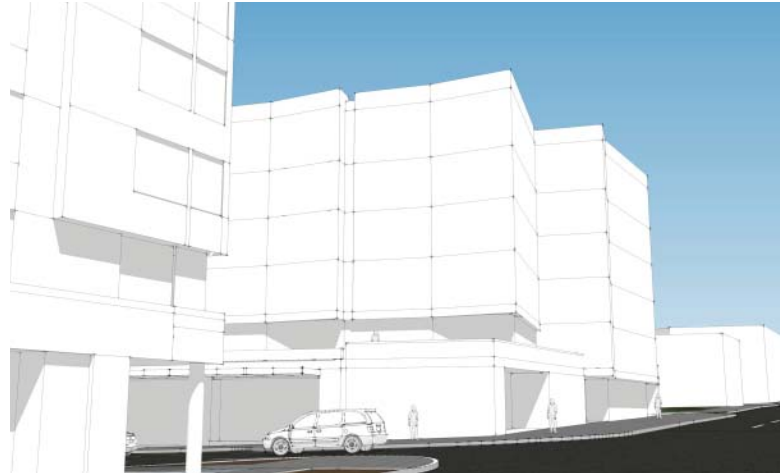
OPPORTUNITIES:

- views to Green Lake @ level.02 and roof level common amenity areas
- landscaped public open space will provide greater distinction between residential/commercial entries
- greater housing density consistent with Residential Urban Village + HALA/MHA development goals
- building massing and scale better relates to current and proposed building heights and growth trends
- distinctive building massing that is modulated and creates visual interest, scale, and proportions that are complementary without “mimicking” buildings recently completed to south of the project site
- open space + widened sidewalks with curb-bulbs and landscaping will create a higher quality pedestrian streetscape and experience

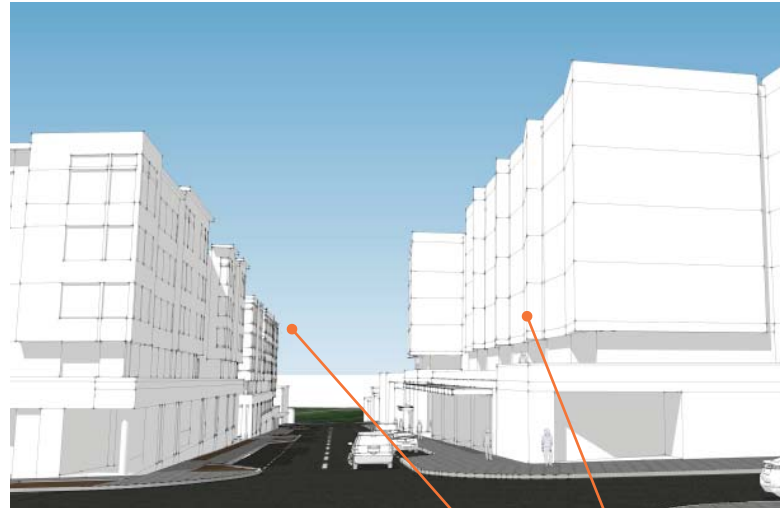
CONSTRAINTS:

- existing sidewalk and alley grades make multiple building entries and common floor levels difficult to accommodate (refer to survey drawing for existing grade elevations)

VIEW FROM SE AT 5TH AVE NE



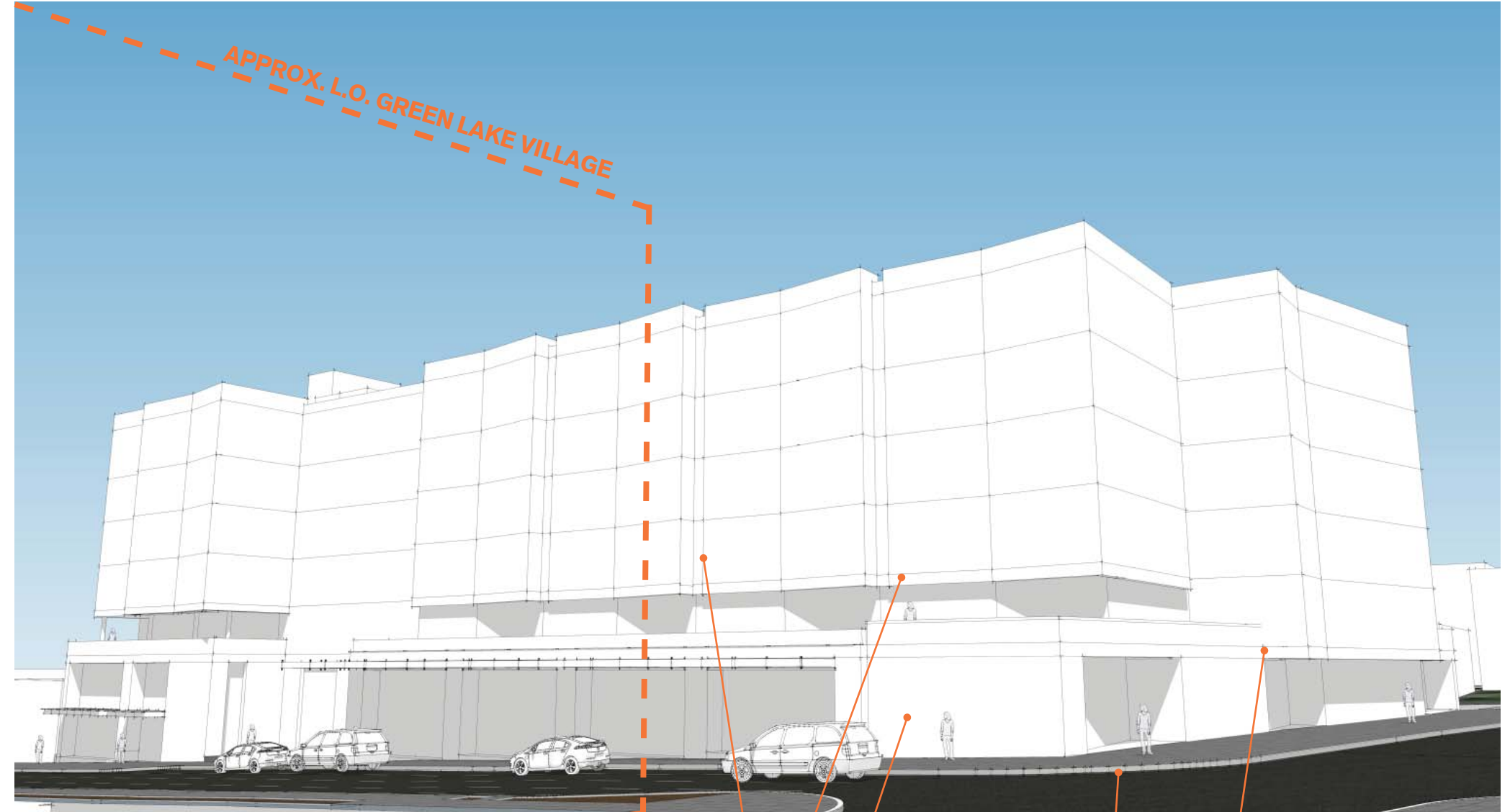
VIEW FROM EAST AT NE 72ND ST & 5TH AVE NE



VIEW FROM NE AT 5TH AVE NE



VIEW FROM SE AT 5TH AVE NE & NE 72ND ST



by setting back a large portion of the building massing at the street wall/property line, a greater perceived sense of reduced building bulk and scale is created, as well as greater sense of "openness and sunlight" at the pedestrian level along ne 72nd street with a wider view corridor to Green Lake

distinctive building massing that is modulated and creates visual interest scale, and proportions that are complementary without "mimicking" buildings recently completed to south of the project site

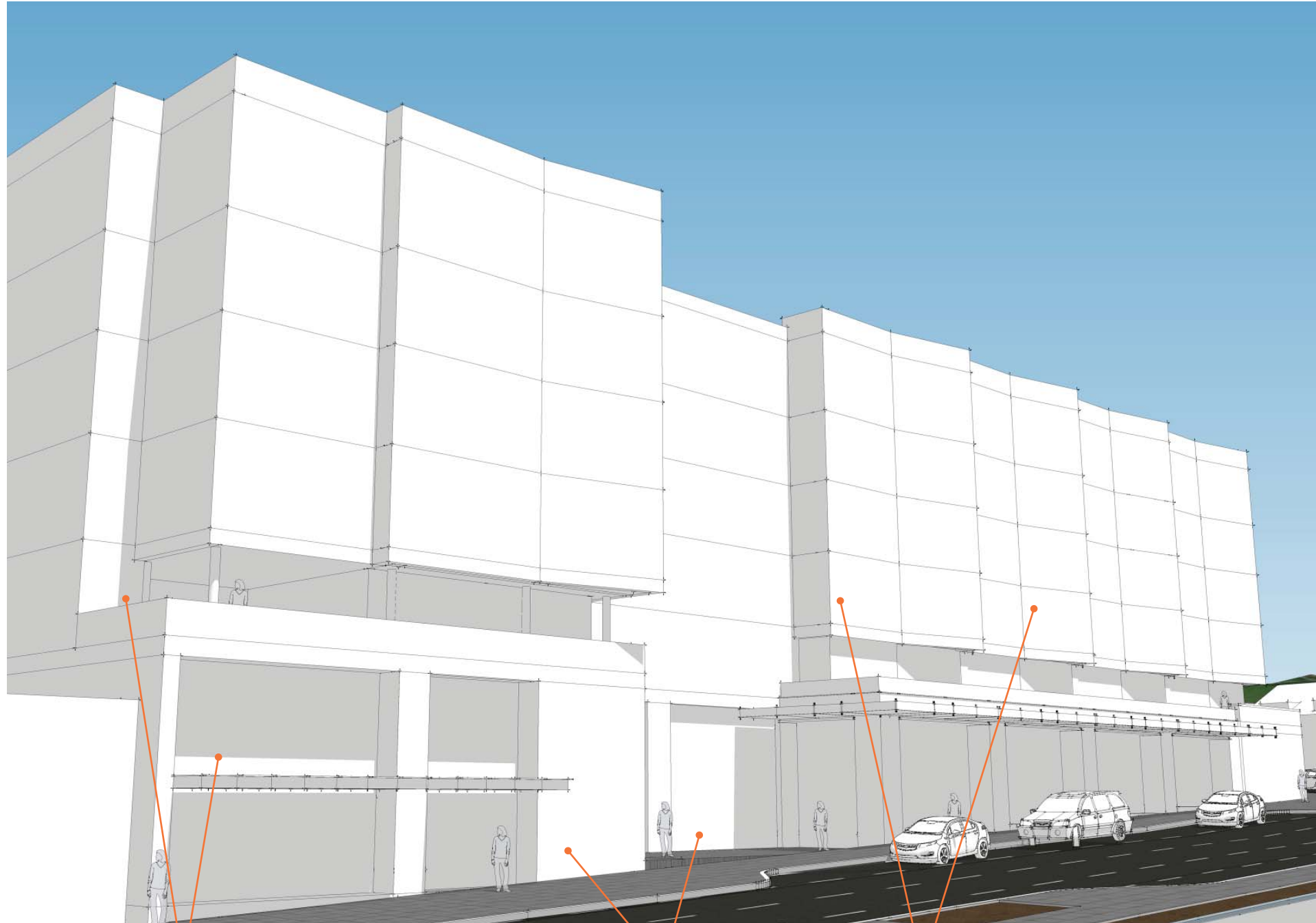
opportunity for building signage for improved wayfinding
 transparency @ SW corner for visual interest and to mitigate blank walls due to height of existing site grades relative to commercial finished floor levels

massing and proportions at 5th ave + alley relate well to the existing context, as well as to the pedestrian scale at the sidewalk level

DESIGN PROPOSAL

[Option 1 at NC2P-65] [Preferred]

VIEW FROM SW AT NE 72ND ST

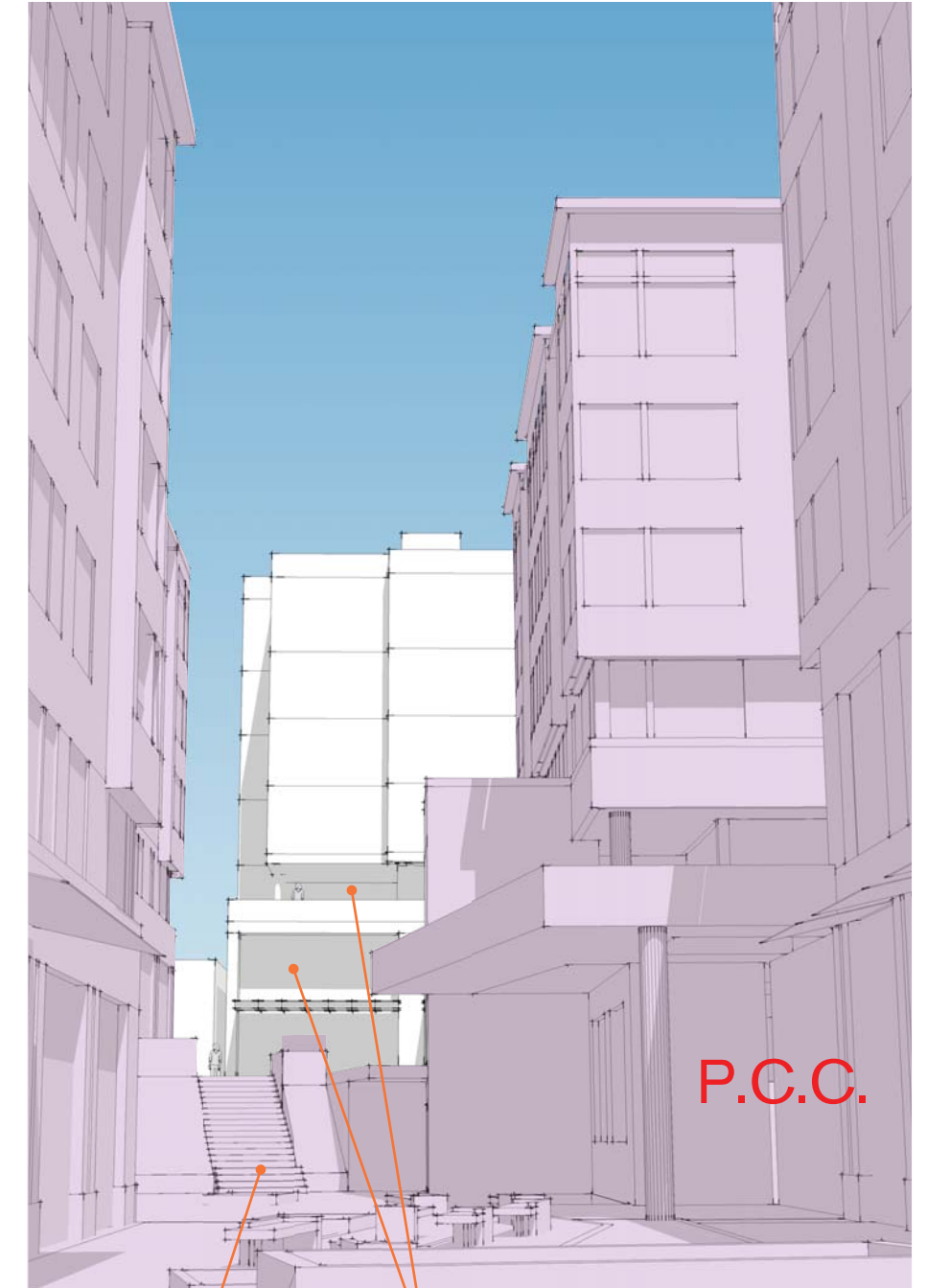


mezzanine level glazing and level.02 roof terrace create scale, visual interest, and visual connection to street level and "Green Lake Village" Pedestrian cut-through

landscaped public open space will provide greater distinction between residential and commercial entries

distinctive building massing that is modulated and creates visual interest, scale, and proportions that are complementary without "mimicking" buildings recently completed to south of the project site

VIEW FROM GREEN LAKE VILLAGE PEDESTRIAN CUT-THROUGH

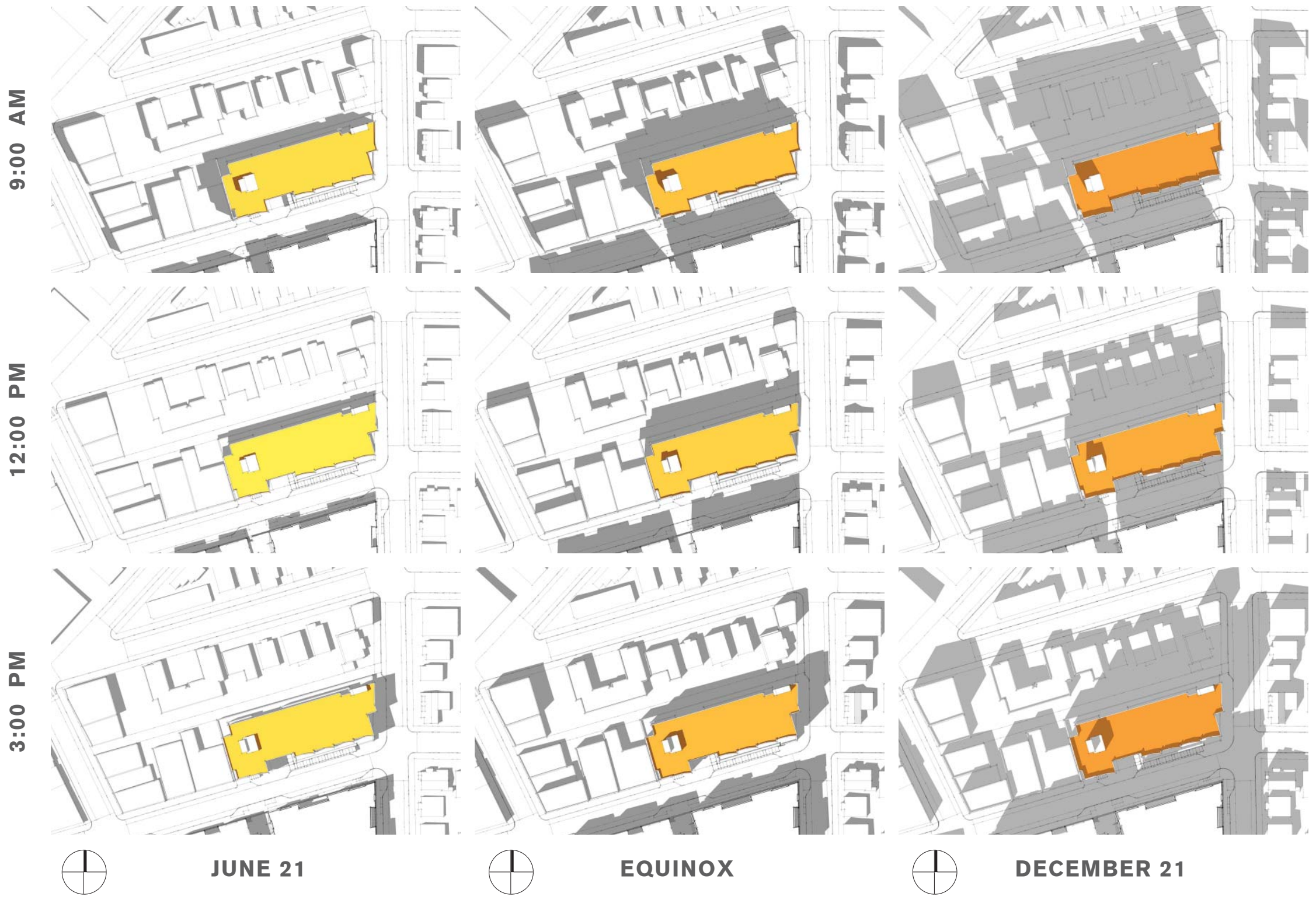


connection to "Green Lake Village" Pedestrian cut-through

mezzanine level glazing and level.02 roof terrace create scale, visual interest, and visual connection to street level and "Green Lake Village" Pedestrian cut-through

DESIGN PROPOSAL
[Option 1 at NC2P-65] **[Preferred]**

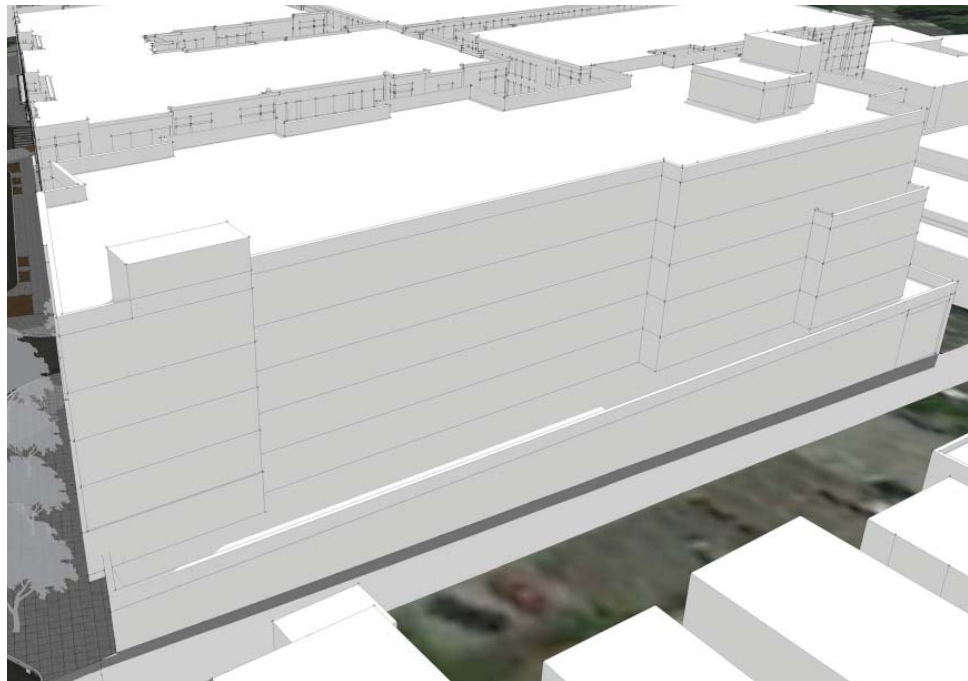
SHADOW STUDIES:



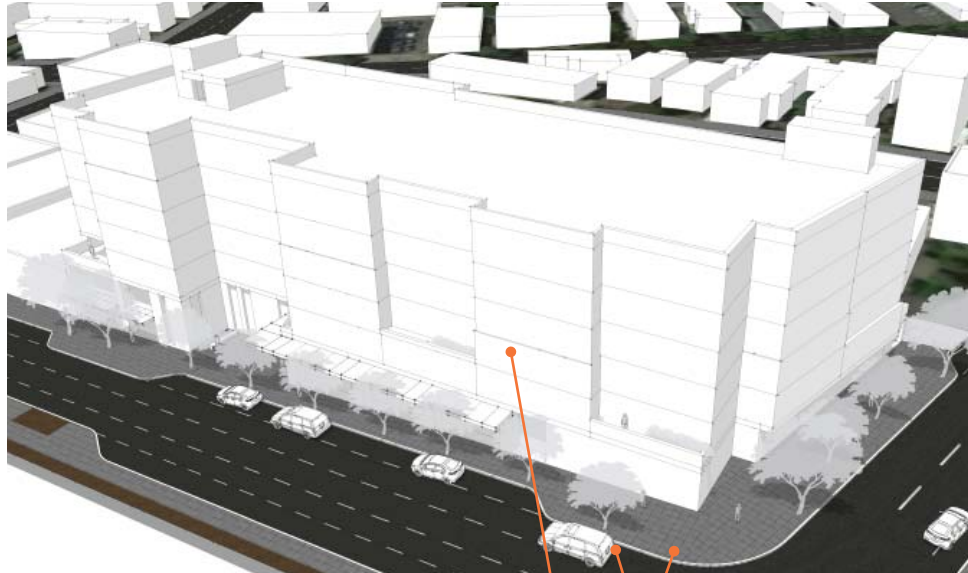
DESIGN PROPOSAL

[Option 2 at NC2P-65]

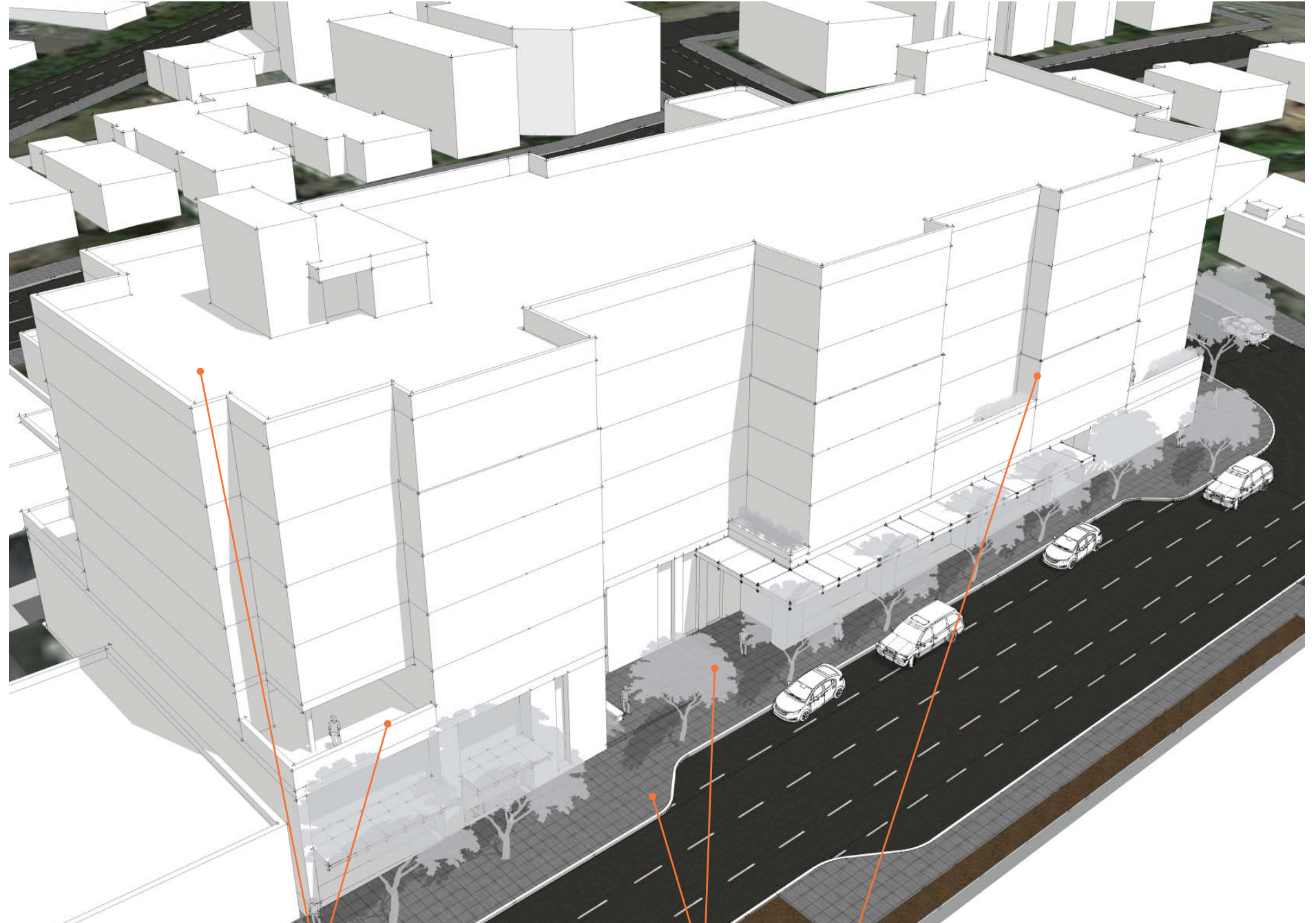
AERIAL VIEW FROM NE



AERIAL VIEW FROM SE



AERIAL VIEW FROM SW



building massing that is modulated and more closely "mimics" adjacent buildings recently completed immediately to south of the project site

open space + widened sidewalks with curb-bulbs and landscaping will create a higher quality pedestrian streetscape and experience

views to Green Lake @ level.02 and roof level common amenity areas

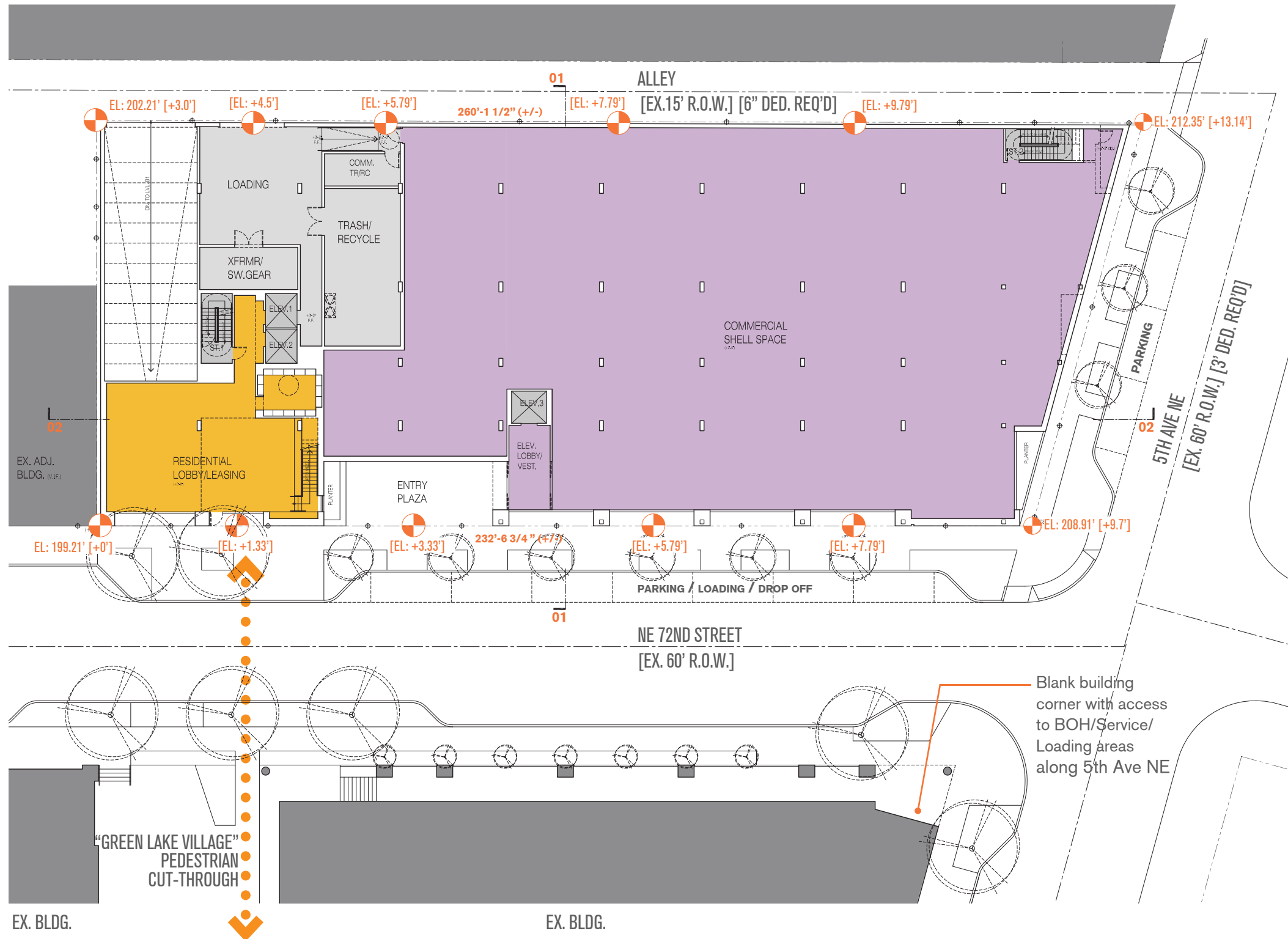
landscaped public open space will provide greater distinction between residential and commercial entries

building massing that is modulated and more closely "mimics" adjacent buildings recently completed immediately to south of the project site

DESIGN PROPOSAL

[Option 2 at NC2P-65]

GROUND LEVEL FLOOR PLAN



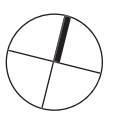
LEGEND:

- Commercial
- Circulation / Residential Amenity
- Residential Dwelling Units
- Core/Support
- Adjacent Context

[OPTION 2] DEVELOPMENT METRICS:

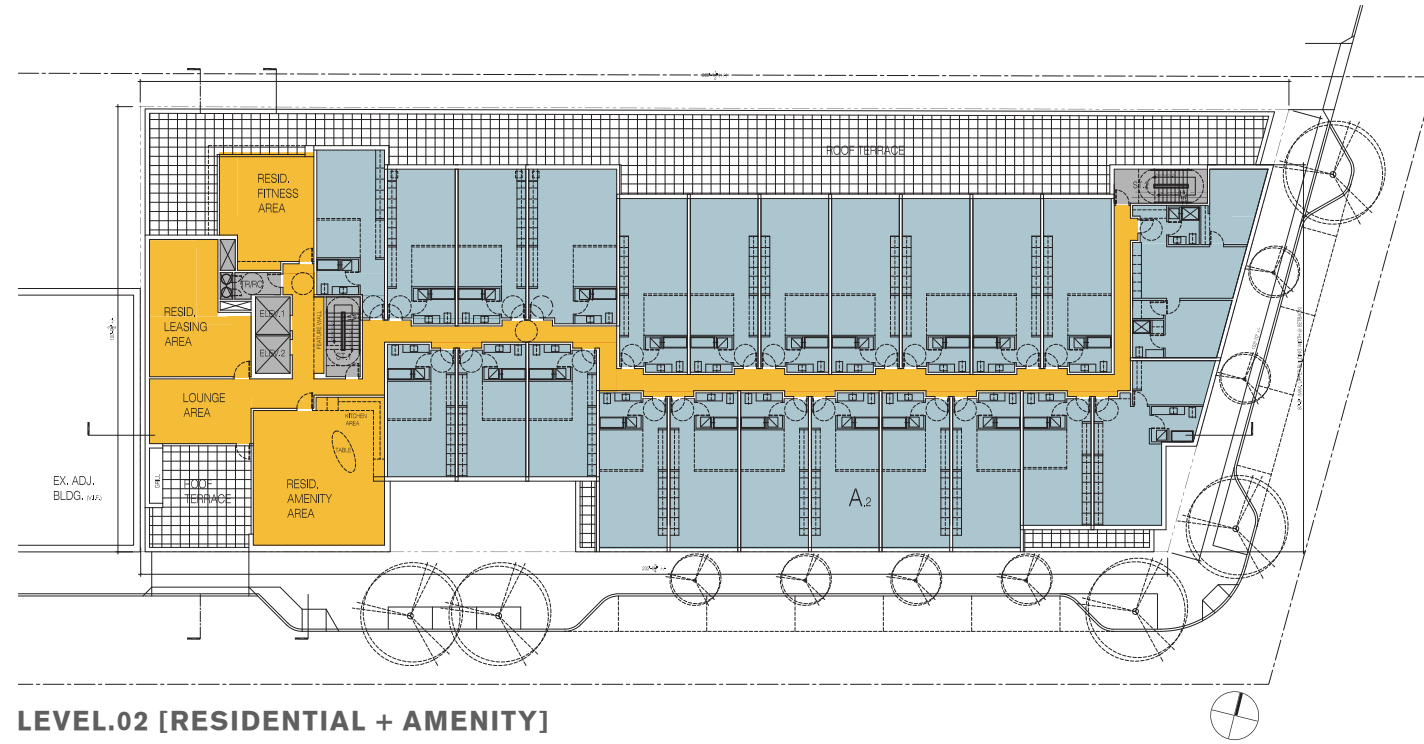
FLOOR LVL.	FLOOR AREA (sf)	UNITS
LEVEL.01	21,883 sf	0
LEVEL.MZ	1,759 sf	0
LEVEL.02	18,170 sf	23
LEVEL.03	18,430 sf	28
LEVEL.04	18,430 sf	28
LEVEL.05	18,262 sf	27
LEVEL.06	18,262 sf	27
LEVEL.ROOF	555sf	0

TOTAL AREA/UNITS *115,751 sf 133
 (*NOTE: TOTAL ALLOWABLE AREA = 117,600.5sf)

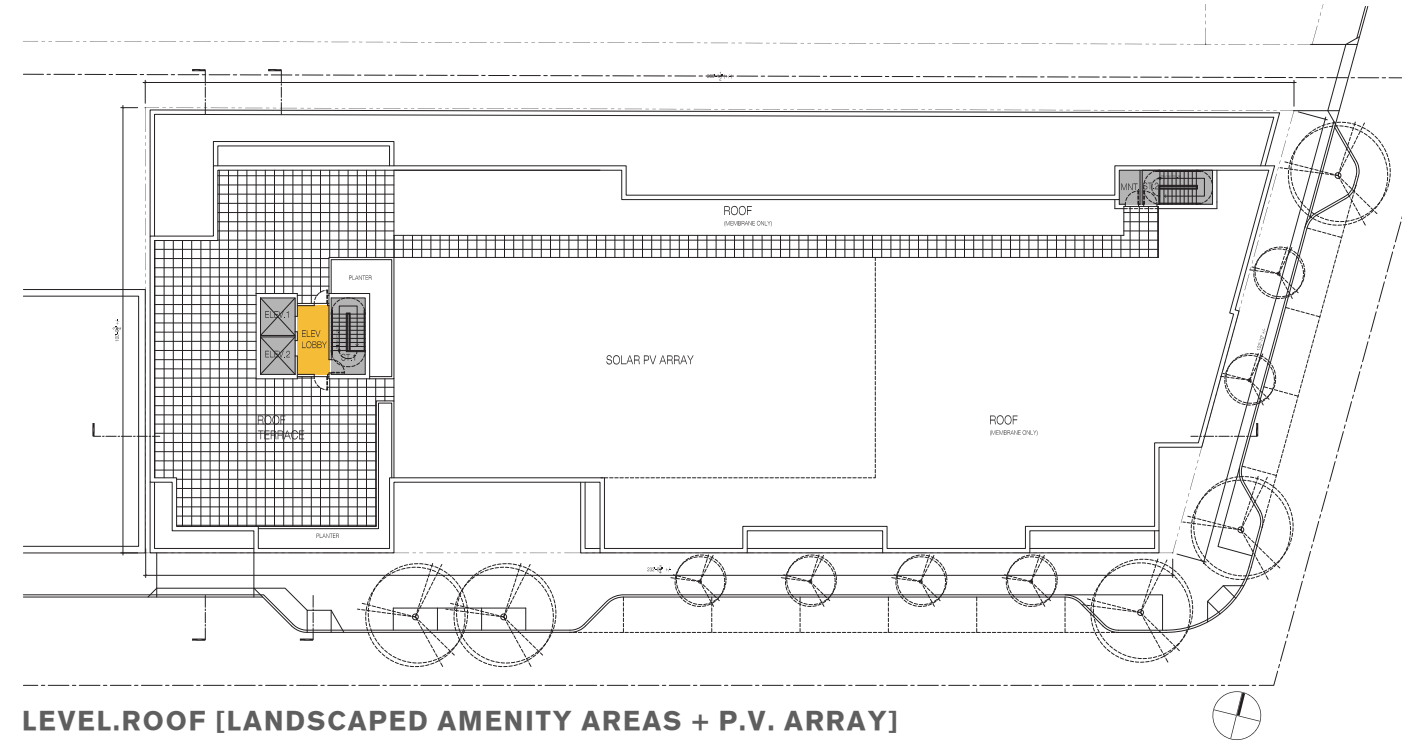


DESIGN PROPOSAL

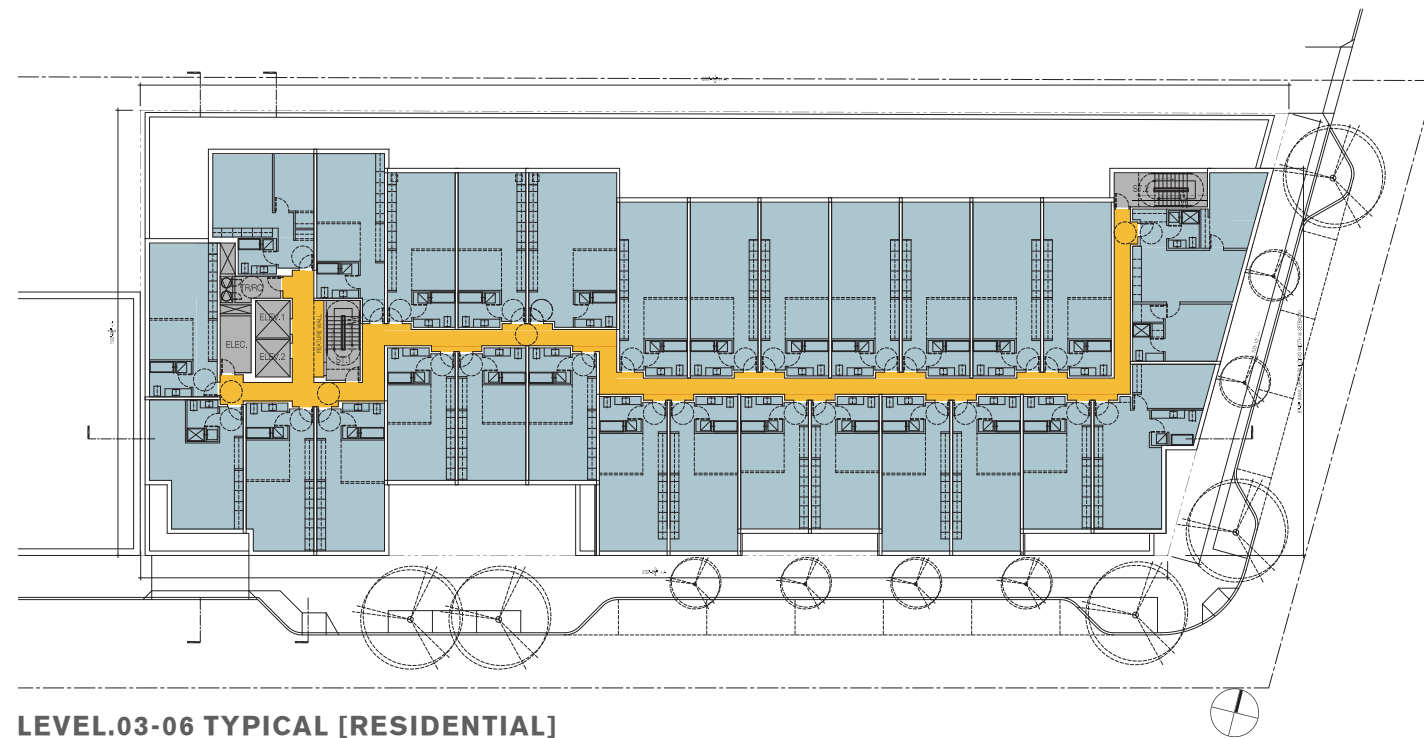
[Option 2 a NC2P-65]



LEVEL.02 [RESIDENTIAL + AMENITY]



LEVEL.ROOF [LANDSCAPED AMENITY AREAS + P.V. ARRAY]



LEVEL.03-06 TYPICAL [RESIDENTIAL]

OPPORTUNITIES:

- views to Green Lake @ level.02 and roof level common amenity areas
- landscaped public open space will provide greater distinction between residential/commercial entries
- greater housing density consistent with Residential Urban Village + HALA/MHA development goals
- building massing and scale better relates to current and proposed building heights and growth trends
- building massing that is modulated and more closely "mimics" adjacent buildings recently completed immediately to south of the project site
- open space + widened sidewalks with curb-bulbs and landscaping will create a higher quality pedestrian streetscape and experience

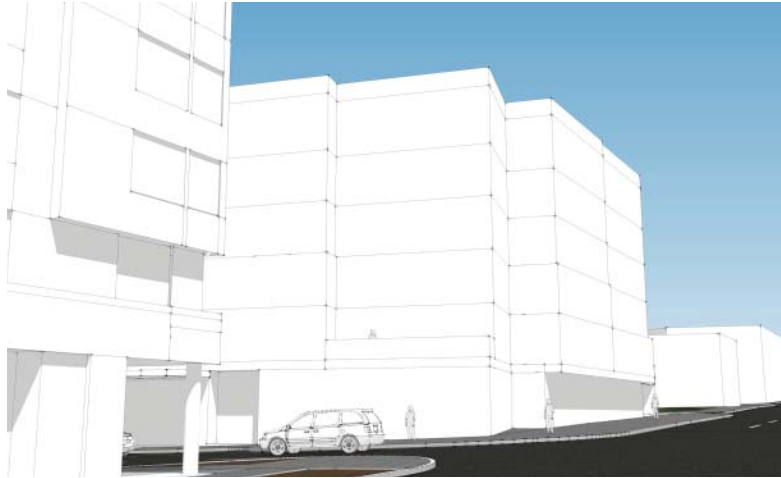
CONSTRAINTS:

- massing and proportions at 5th ave + alley relate well to the existing context, but not as well to the pedestrian scale at the sidewalk level
- existing sidewalk and alley grades make multiple building entries and common floor levels difficult to accommodate (refer to survey drawing for existing grade elevations)

DESIGN PROPOSAL

[Option 2 at NC2P-65]

VIEW FROM SE AT 5TH AVE NE



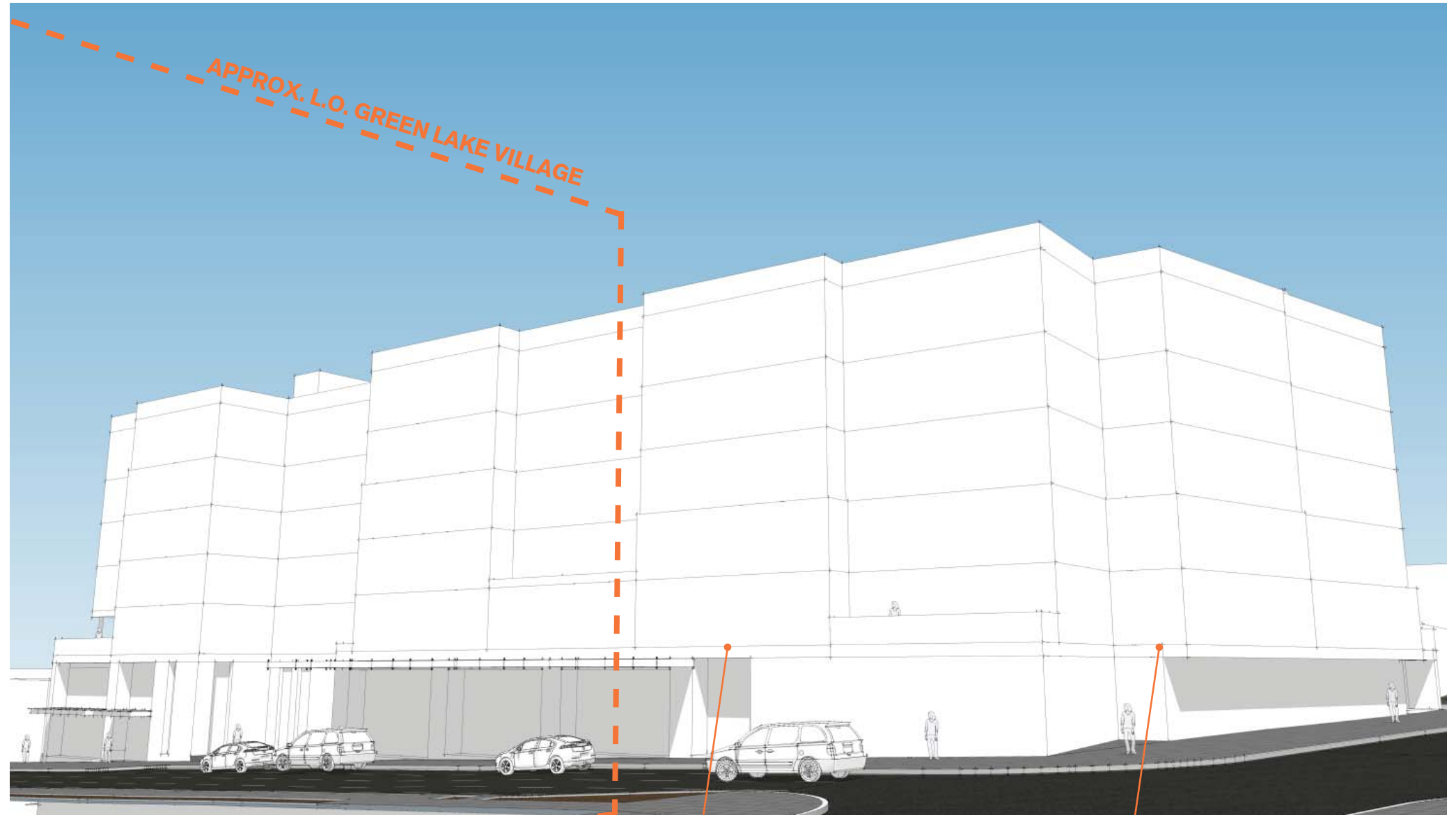
VIEW FROM EAST AT NE 72ND ST & 5TH AVE NE



VIEW FROM NE AT 5TH AVE NE



VIEW FROM SE AT 5TH AVE NE & NE 72ND ST



locating a large portion of the building massing at the street wall/property line creates a greater perceived presence of the building bulk and scale, though mitigated by building modulation that more closely “mimics” adjacent building recently completed immediately to the south of the project site, as well as a sense of “compression” at the pedestrian level along ne 72nd street with a narrower view corridor to Green Lake

building massing that is modulated and more closely “mimics” adjacent buildings recently completed immediately to south of the project site

massing and proportions at 5th ave + alley better relate to the existing context, but not as well to the pedestrian scale at the sidewalk level

DESIGN PROPOSAL

[Option 2 at NC2P-65]

VIEW FROM SW AT NE 72ND ST

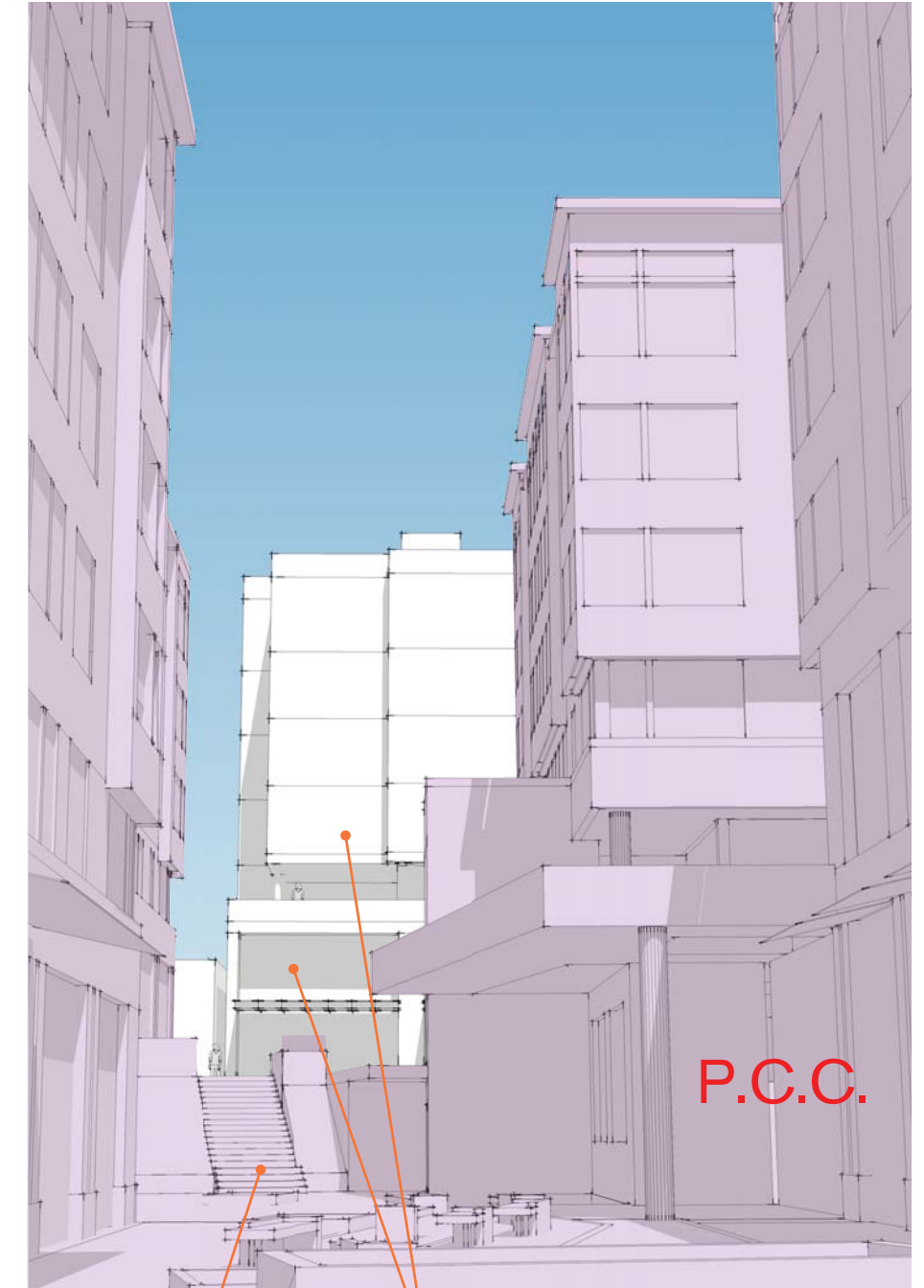


mezzanine level glazing and level.02 roof terrace create scale, visual interest, and visual connection to street level and "Green Lake Village" Pedestrian cut-through

landscaped public open space will provide greater distinction between residential and commercial entries

building massing is modulated and more closely "mimics" adjacent buildings recently completed immediately to south of the project site

VIEW FROM GREEN LAKE VILLAGE PEDESTRIAN CUT-THROUGH



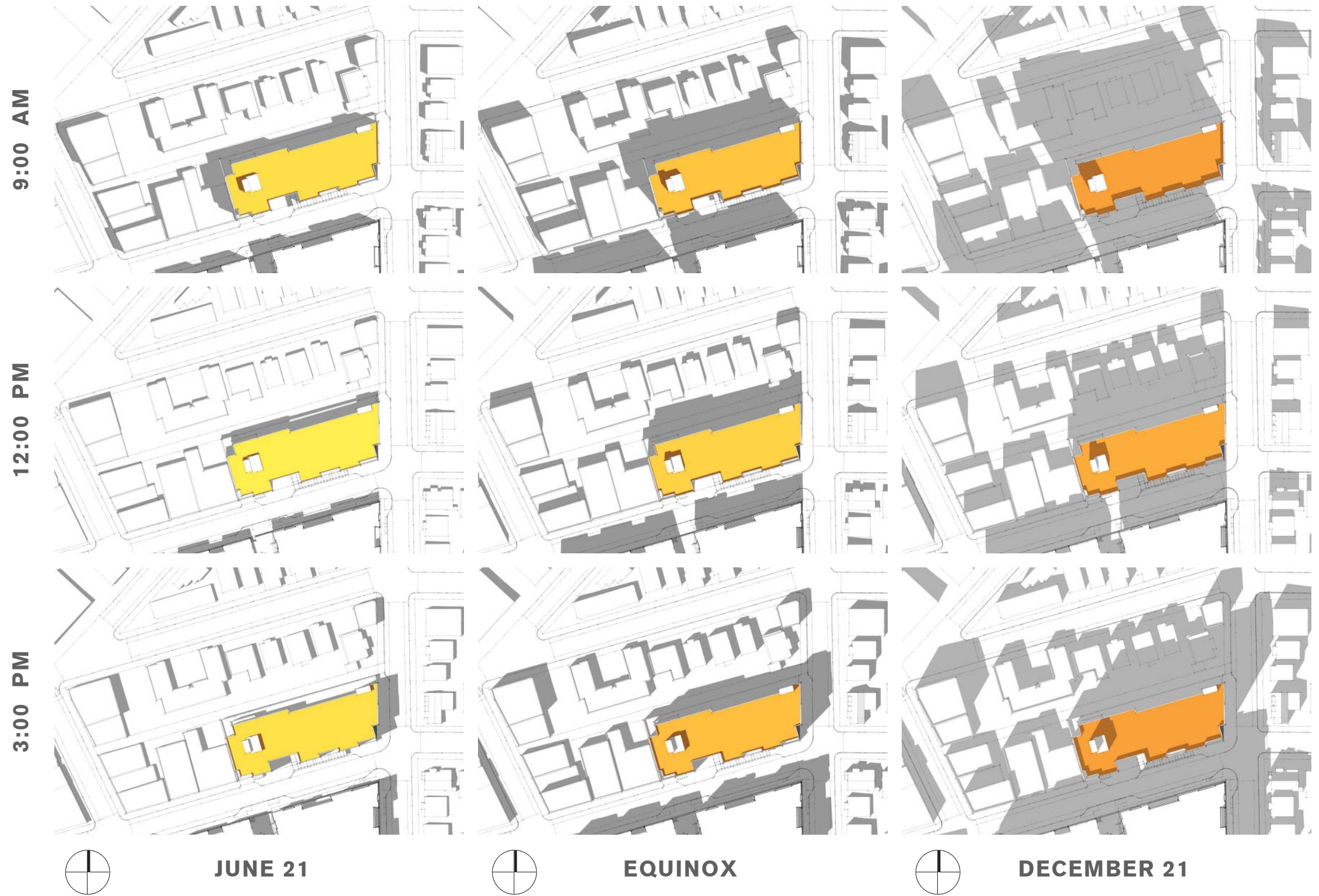
connection to "Green Lake Village" Pedestrian cut-through

mezzanine level glazing and level.02 roof terrace create scale, visual interest, and visual connection to street level and "Green Lake Village" Pedestrian cut-through

DESIGN PROPOSAL

[Option 2 at NC2P-65]

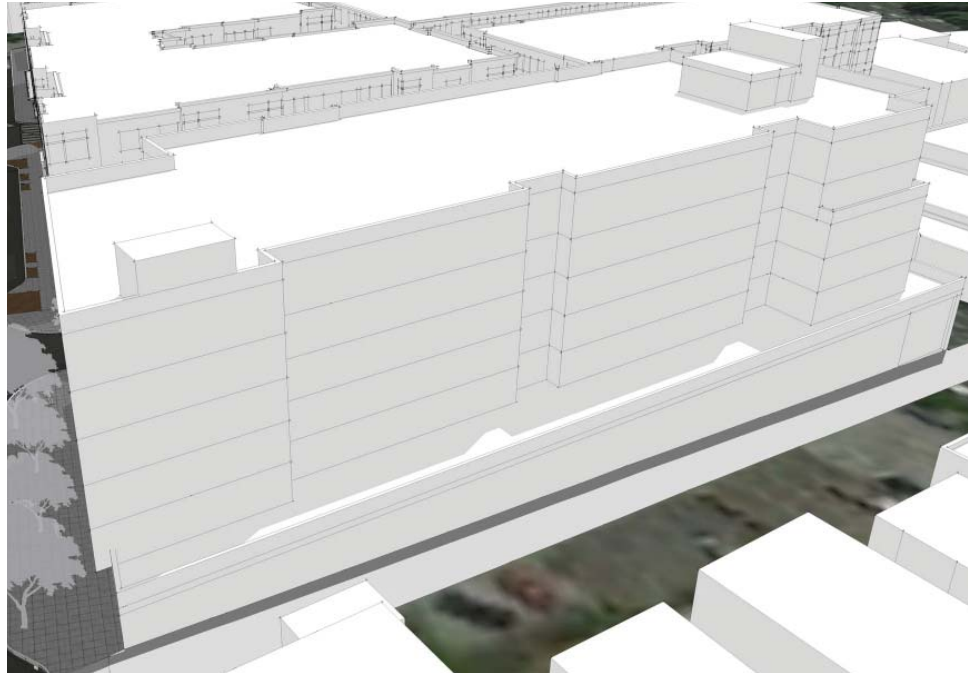
SHADOW STUDIES:



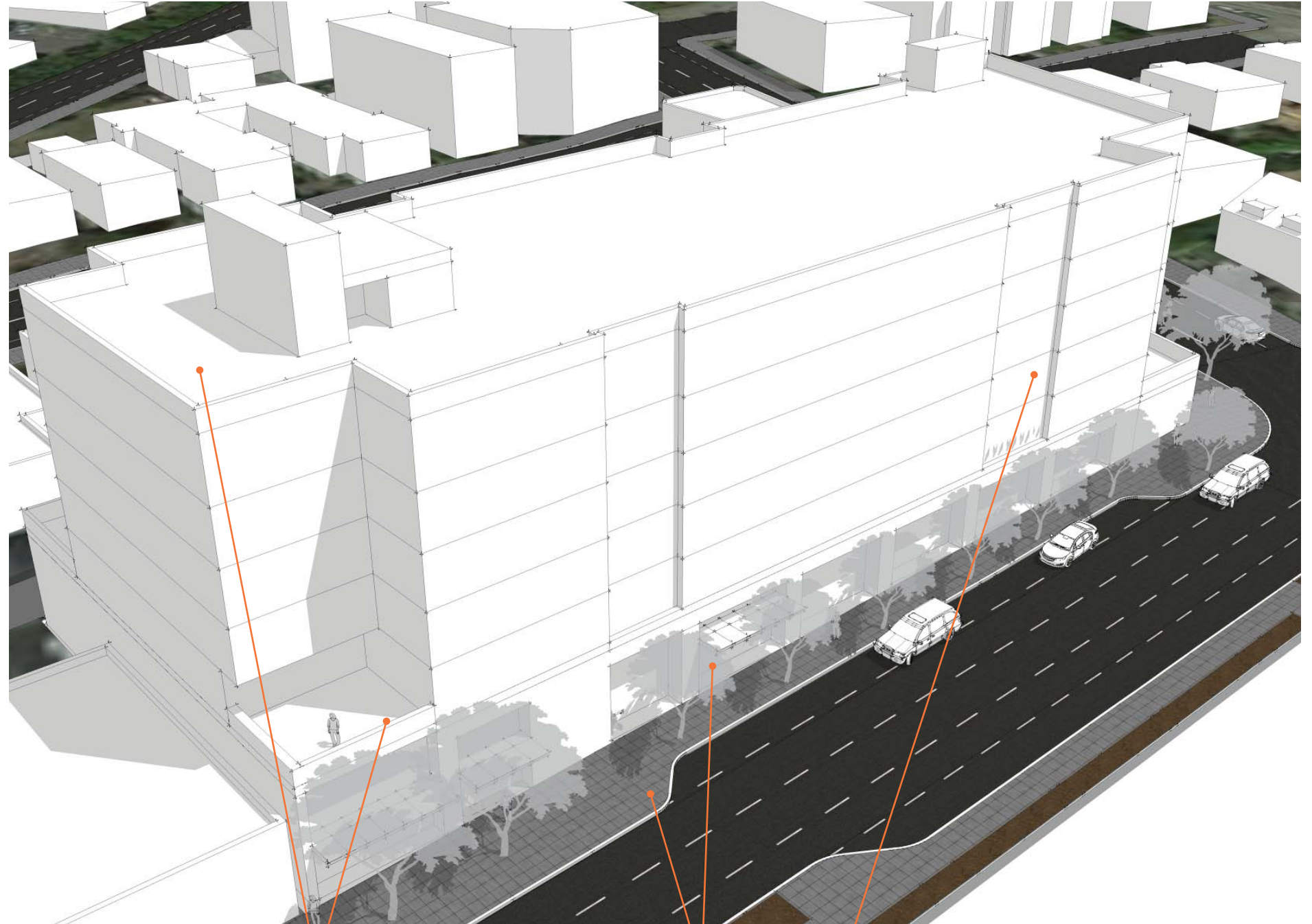
DESIGN PROPOSAL

[Option 3 at NC2P-65]

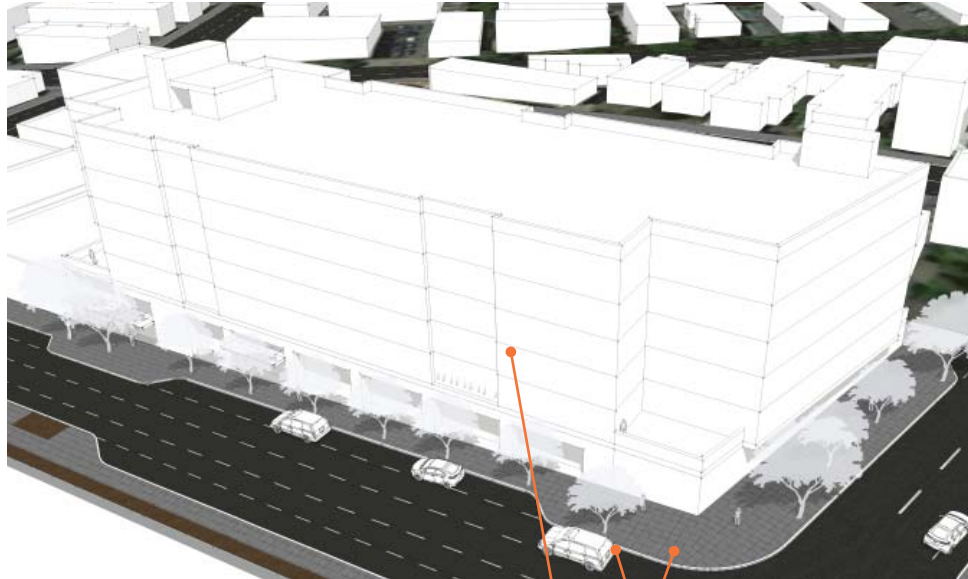
AERIAL VIEW FROM NE



AERIAL VIEW FROM SW



AERIAL VIEW FROM SE



shallower modulation of building massing creates less sense of scale and visual interest

open space + widened sidewalks with curb-bulbs and landscaping will create a higher quality pedestrian streetscape and experience

views to Green Lake @ level.02 and roof level common amenity areas

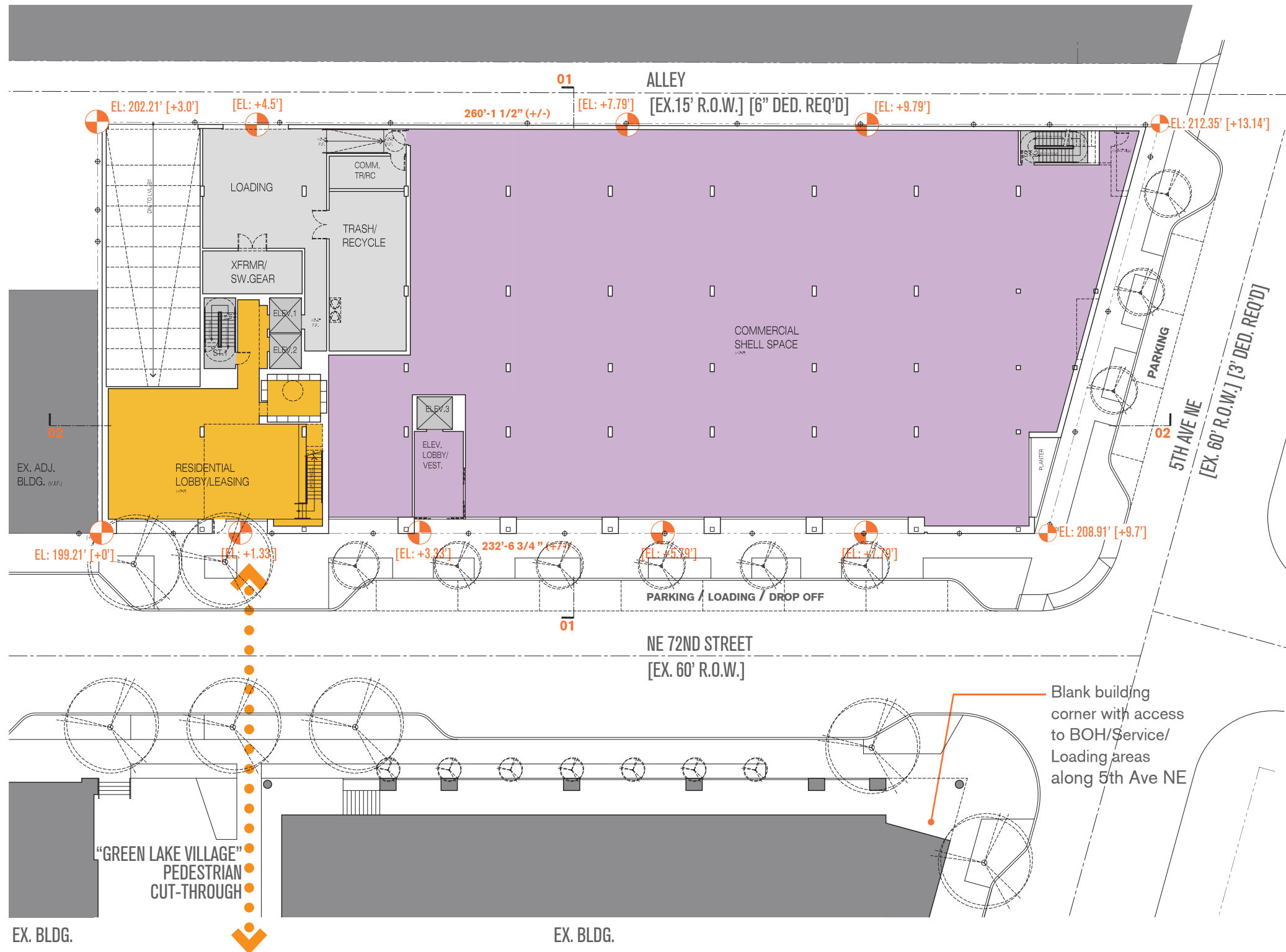
residential and commercial entries are separated only by building street wall and recessed storefront windows

shallower modulation of building massing creates less sense of scale and visual interest

DESIGN PROPOSAL

[Option 3 at NC2P-65]

GROUND LEVEL FLOOR PLAN



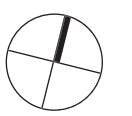
LEGEND:

- Commercial
- Circulation / Residential Amenity
- Residential Dwelling Units
- Core/Support
- Adjacent Context

[OPTION 3] DEVELOPMENT METRICS:

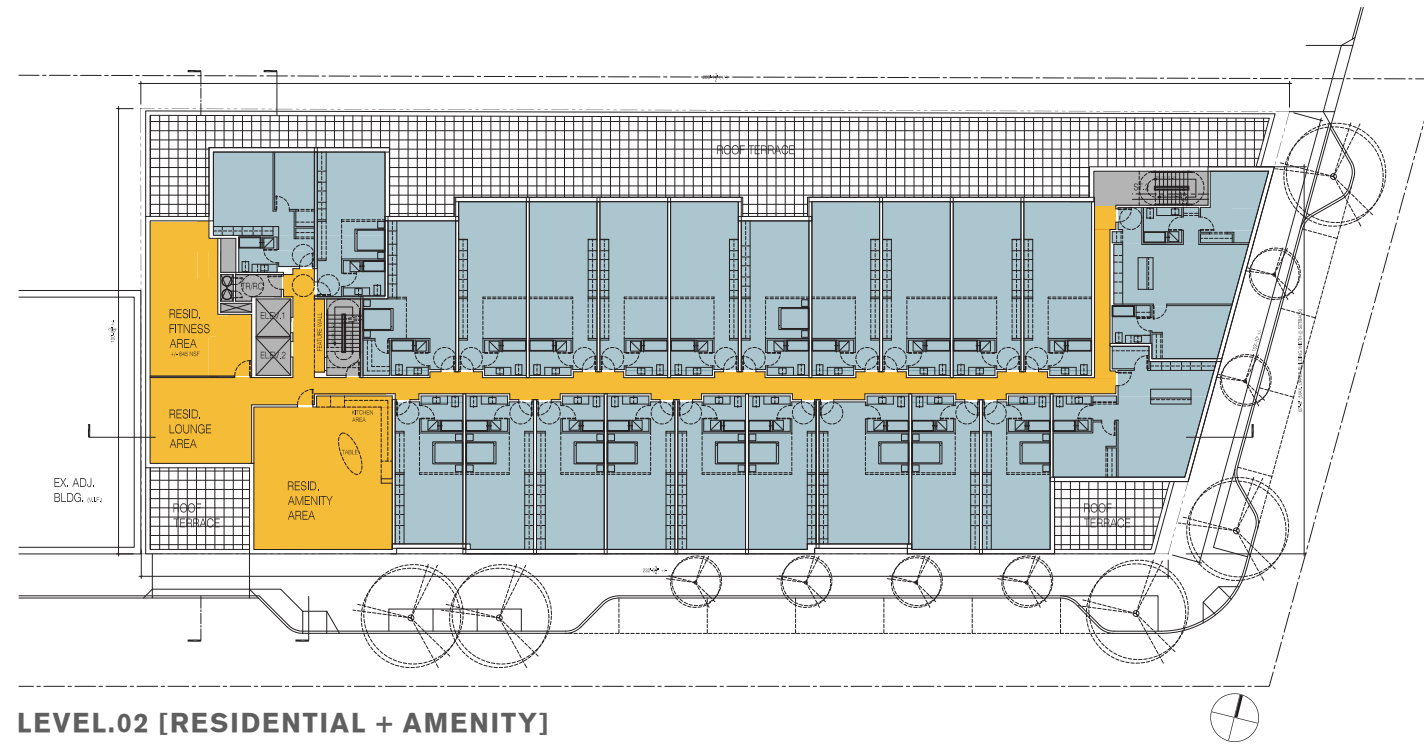
FLOOR LVL.	FLOOR AREA (sf)	UNITS
LEVEL.01	22,516 sf	0
LEVEL.MZ	1,759 sf	0
LEVEL.02	18,477 sf	23
LEVEL.03	18,595 sf	27
LEVEL.04	18,595 sf	27
LEVEL.05	18,422 sf	26
LEVEL.06	18,422 sf	26
LEVEL.ROOF	520sf	0

TOTAL AREA/UNITS *117,306 sf 129
 (*NOTE: TOTAL ALLOWABLE AREA = 117,600.5sf)

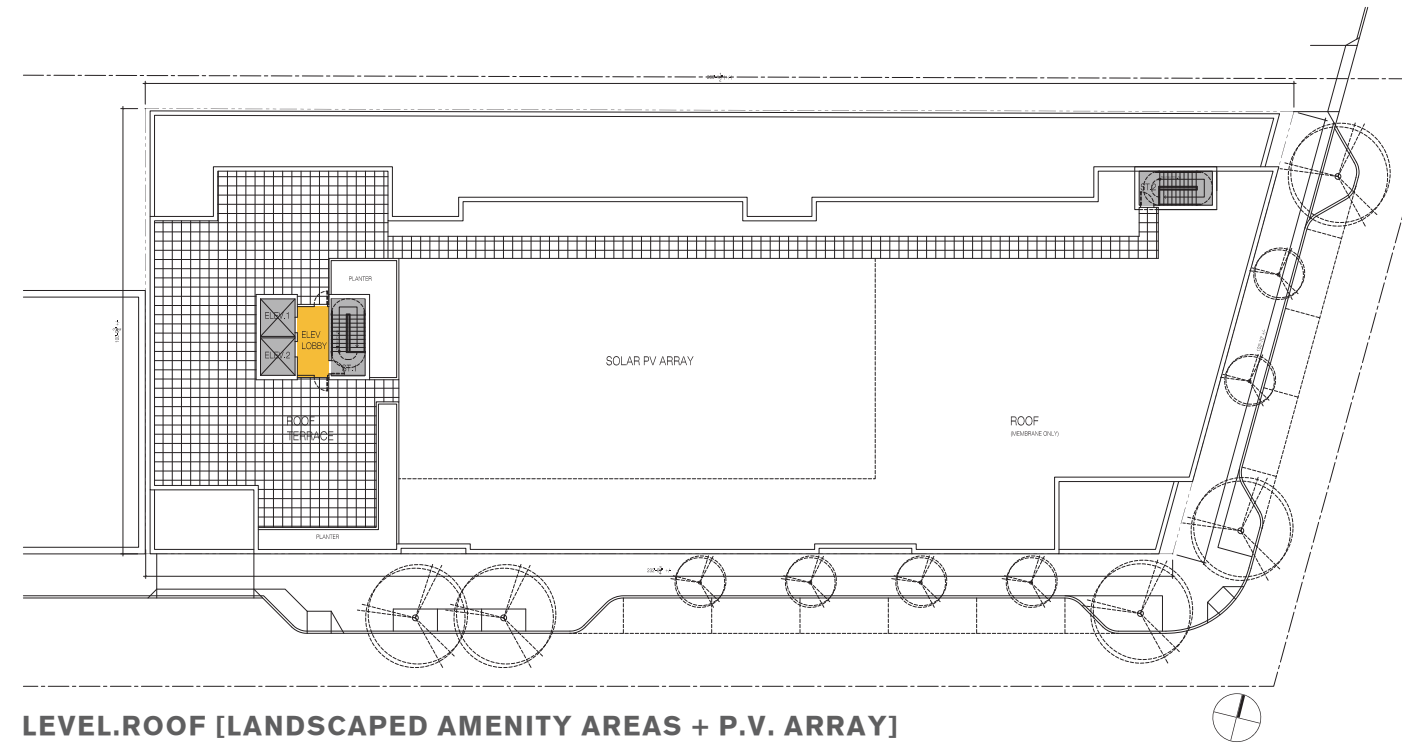


DESIGN PROPOSAL

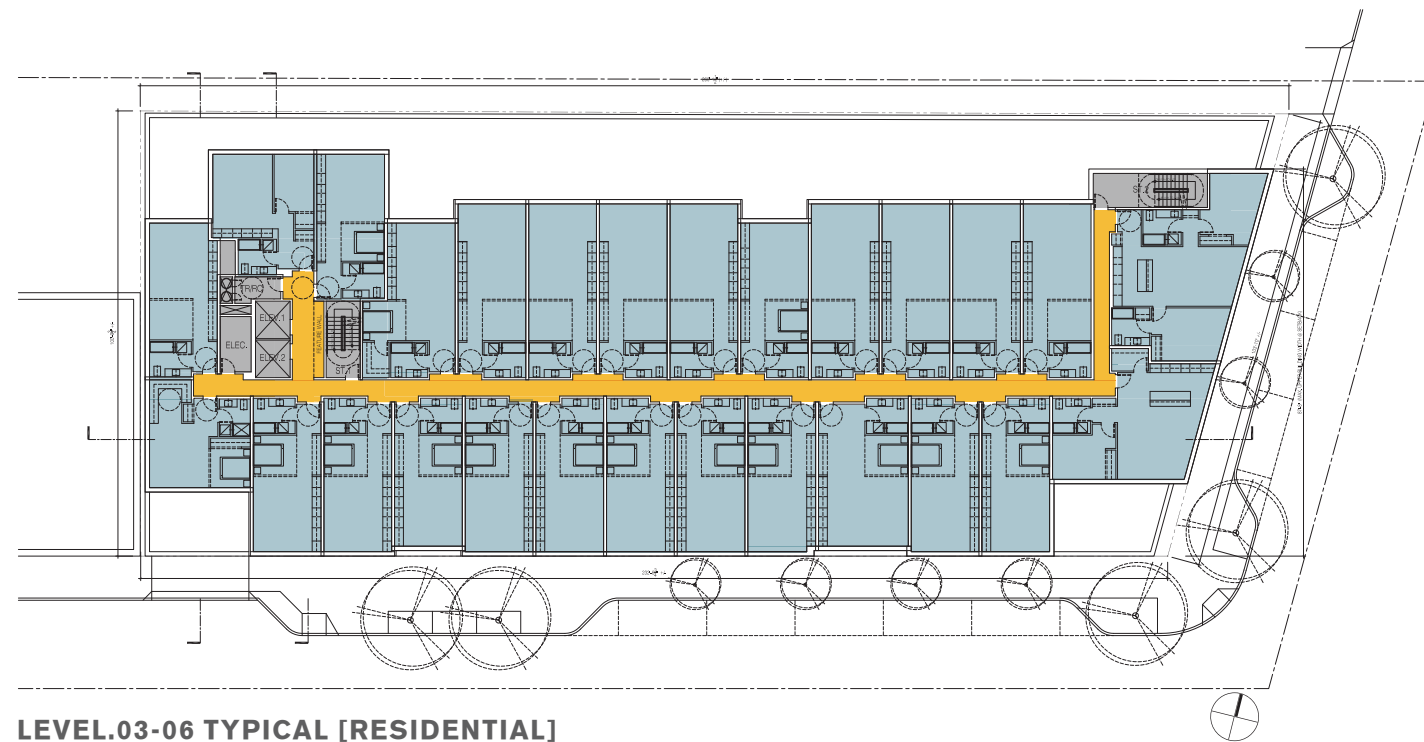
[Option 3 at NC2P-65]



LEVEL.02 [RESIDENTIAL + AMENITY]



LEVEL.ROOF [LANDSCAPED AMENITY AREAS + P.V. ARRAY]



LEVEL.03-06 TYPICAL [RESIDENTIAL]

OPPORTUNITIES:

- views to Green Lake @ level.02 and roof level common amenity areas
- greater housing density consistent with Residential Urban Village + HALA/MHA development goals
- building massing and scale relates to current and proposed building heights and growth trends
- widened sidewalks with curb-bulbs and landscaping will create a higher quality pedestrian streetscape and experience

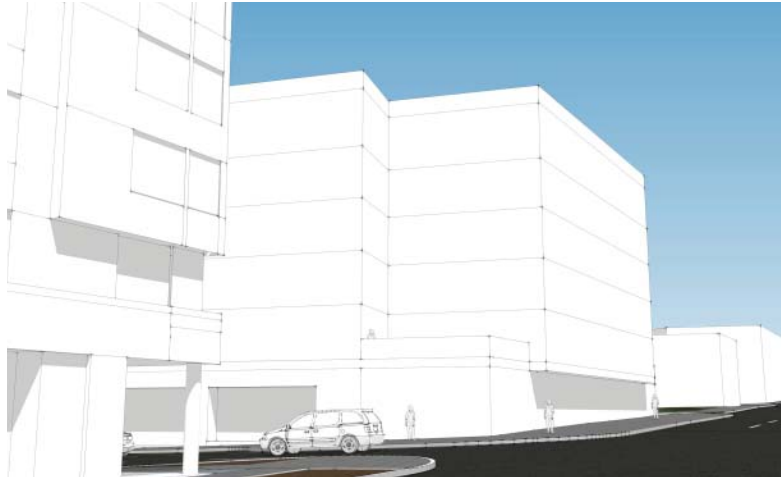
CONSTRAINTS:

- no landscaped public open space provided at sidewalk level for enhanced pedestrian experience
- shallower modulation of building massing creates less sense of scale and visual interest
- massing and proportions at 5th ave + alley will not relate as well to the existing context, or to the pedestrian scale at the sidewalk level
- existing sidewalk and alley grades make multiple building entries and common floor levels difficult to accommodate (refer to survey drawing for existing grade elevations)

DESIGN PROPOSAL

[Option 3 at NC2P-65]

VIEW FROM SE AT 5TH AVE NE



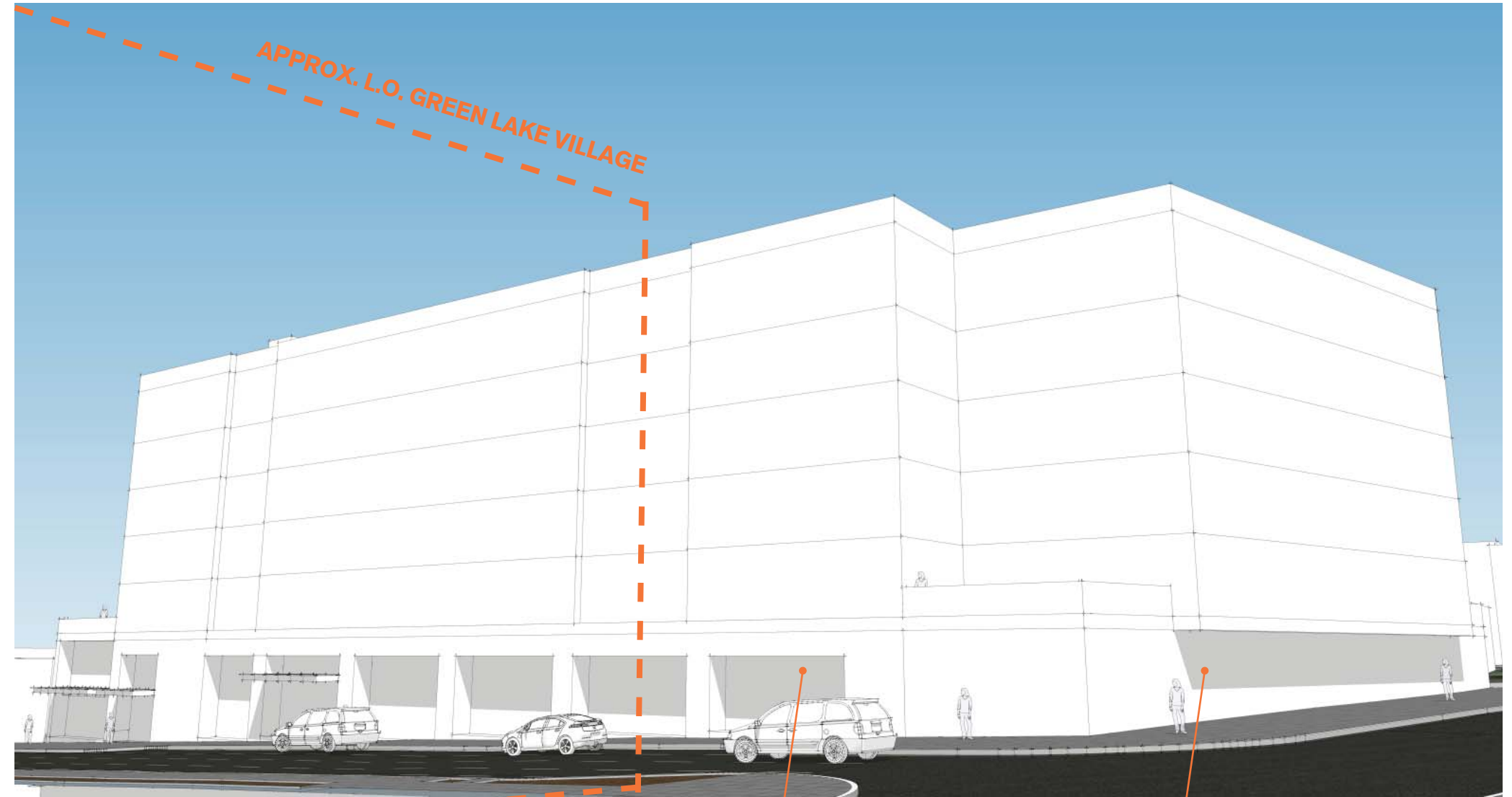
VIEW FROM EAST AT NE 72ND ST & 5TH AVE NE



VIEW FROM NE AT 5TH AVE NE



VIEW FROM SE AT 5TH AVE NE & NE 72ND ST



locating all of the building massing at the street wall/property line, along with shallower upper-level modulation, creates a greater perceived presence of the building bulk and scale, as well as a sense of "compression" at the pedestrian level along ne 72nd street with a narrower view corridor to Green Lake

shallower modulation of building massing creates less sense of scale and visual interest

massing and proportions at 5th ave + alley will not relate as well to the existing context, or to the pedestrian scale at the sidewalk level

DESIGN PROPOSAL

[Option 3 at NC2P-65]

VIEW FROM SW AT NE 72ND ST

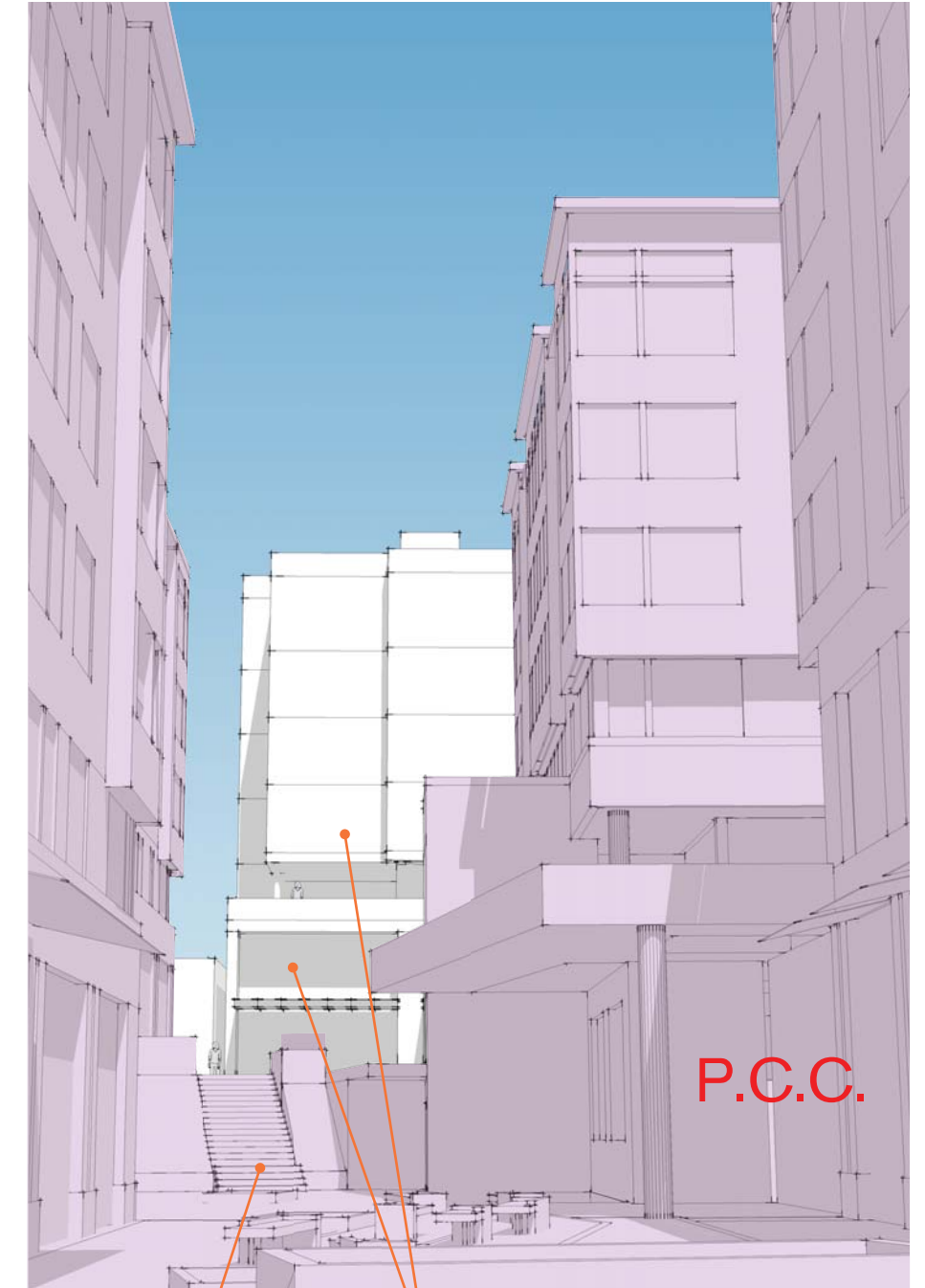


mezzanine level glazing and level.02 roof terrace create scale, visual interest, and visual connection to street level and "Green Lake Village" Pedestrian cut-through

residential and commercial entries are only separated by building street wall and recessed storefront windows

shallower modulation of building massing creates less sense of scale and visual interest

VIEW FROM GREEN LAKE VILLAGE PEDESTRIAN CUT-THROUGH



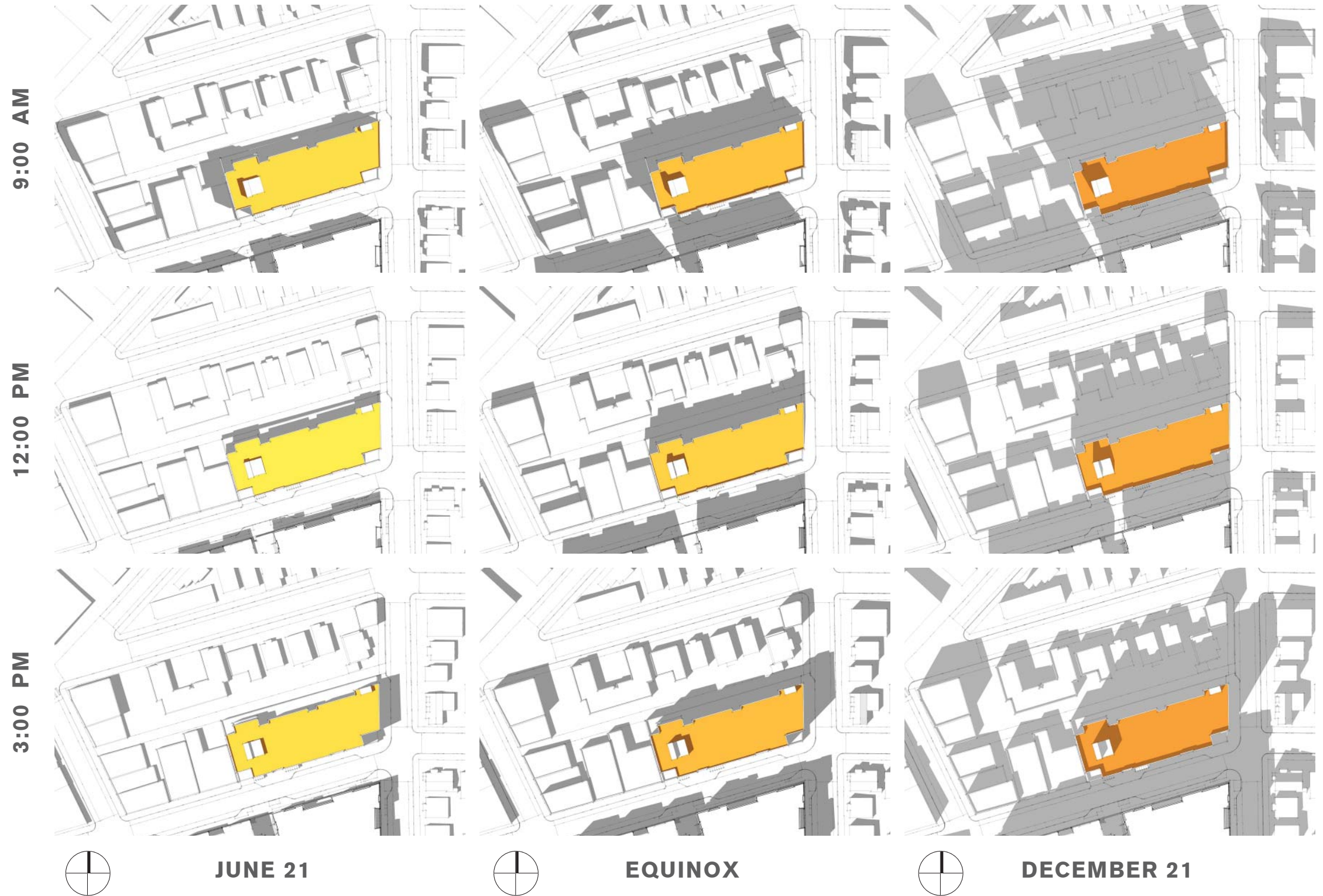
connection to "Green Lake Village" Pedestrian cut-through

mezzanine level glazing and level.02 roof terrace create scale, visual interest, and visual connection to street level and "Green Lake Village" Pedestrian cut-through

DESIGN PROPOSAL

[Option 3 at NC2P-65]

SHADOW STUDIES:



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SUMMARY OF ANTICIPATED DEPARTURES:

1 SMC 23.47A.008. - Street Level Standards:

- the design proposes a 42'-0" wide x 16'-0" deep "entry plaza" at the street level facing facade

2 SMC 23.47A.014. - Setback at Alley:

- (lower level) increase initial podium height setback to 15'-10" in lieu of 13'-0", or (+2'-10"), measured from "average project grade"
- (upper level) allow minor encroachments of guardrails at level.05 and stair enclosure into upper-level inclined setback

3 SMC 23.54.030 - Parking Space Standards:

- provide a 20% sloped ramp for vehicle access to below grade parking levels

1 SMC 23.47A.008. - Street Level Standards (per guidance by Design Review Board)

Code Requirement:

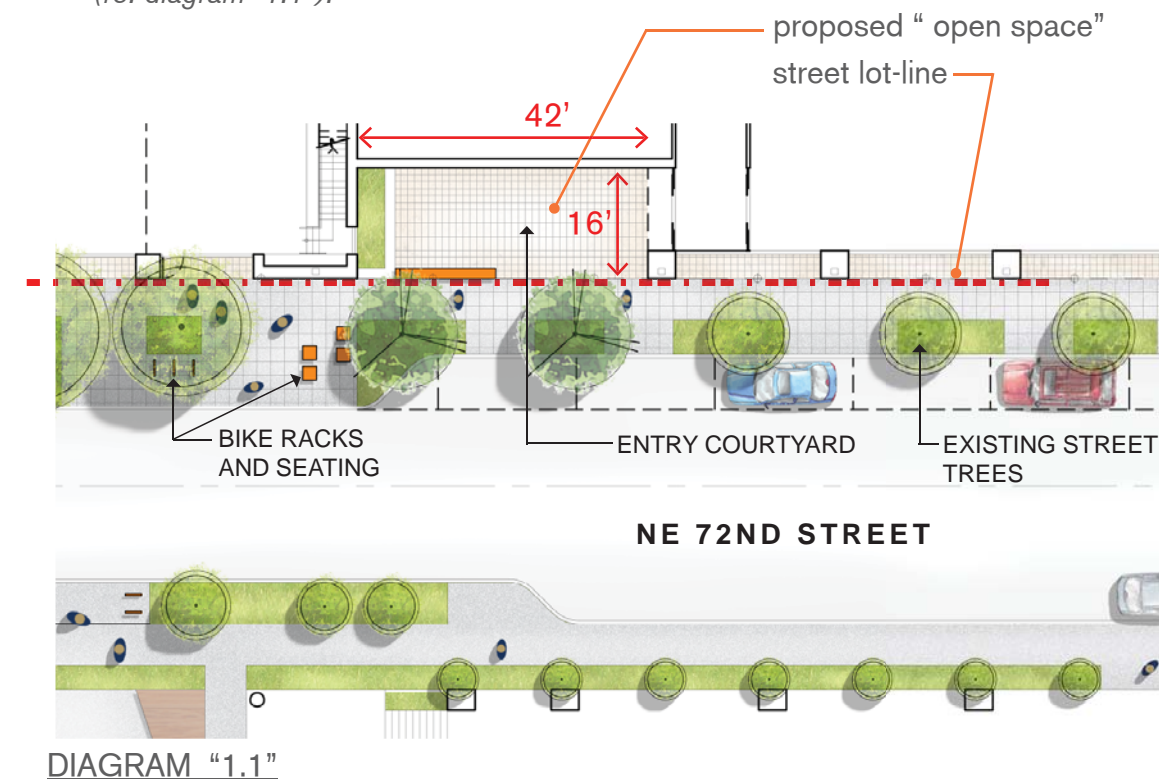
- A.3. Street-level facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided

Departure:

- the design proposes a 42'-0" wide x 16'-0" deep "entry plaza" at the street level facing facade

Rationale:

- in combination with a widened sidewalk, landscaping, and permanently affixed street furniture, this approach will create a public amenity in the form of a usable open space
- this approach will better reconcile the existing sidewalk grades and will better accommodate various commercial configurations and entrances with a common floor level
- (re: diagram "1.1").



DESIGN DEPARTURES

Anticipated Departures

2 SMC 23.47A.014. - Setback at Alley (per guidance by Design Review Board)

Code Requirement:

- B.3. Alley setback across from (LR-3) zoned lot: 15'-0" minimum for portions above 13' height up to max. 40' hgt., and for each portion above 40' height, an additional setback @ a rate of 2'-0" for every 10'-0" above 40' height (measured from centerline of existing alley)

Departure:

- (lower level) increase initial podium height setback to 15'-10" in lieu of 13'-0", or (+2'-10"), measured from "average project grade"
- (upper level) allow minor encroachments of guardrails at level.05 and stair enclosure into upper-level inclined setback

Rationale:

- the encroachments are minor, and will not provide any additional floor area beyond what would otherwise be allowable per FAR limits. Parapet wall construction is proposed to vary between opaque walls and metal/glass guardrails
- taller podium will allow more natural light into ground level commercial spaces, and will also accommodate residential mezzanine and amenity areas located at SW building corner above parking access ramp
- (re: diagrams "2.1" and "2.2")

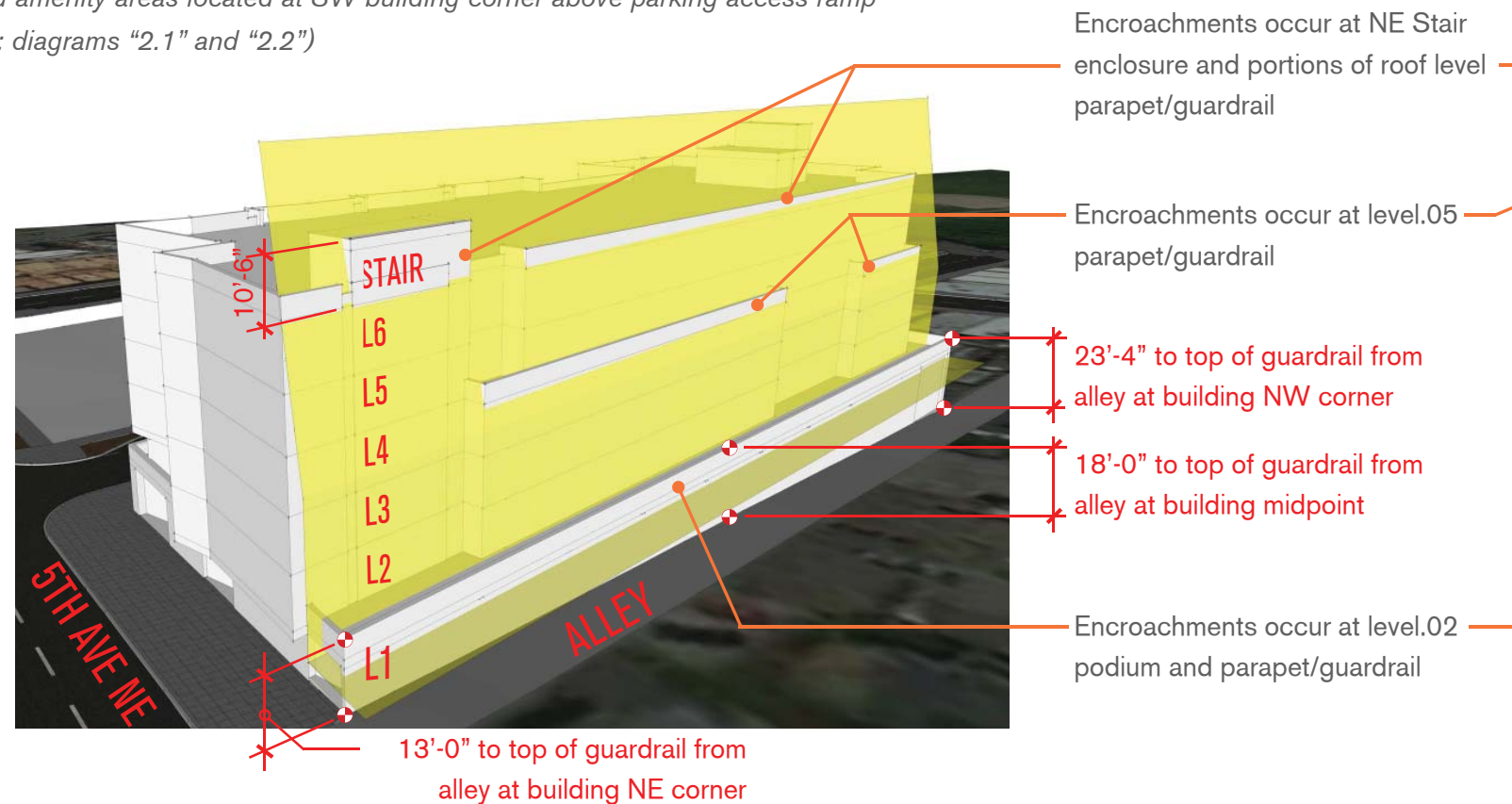


DIAGRAM "2.1"

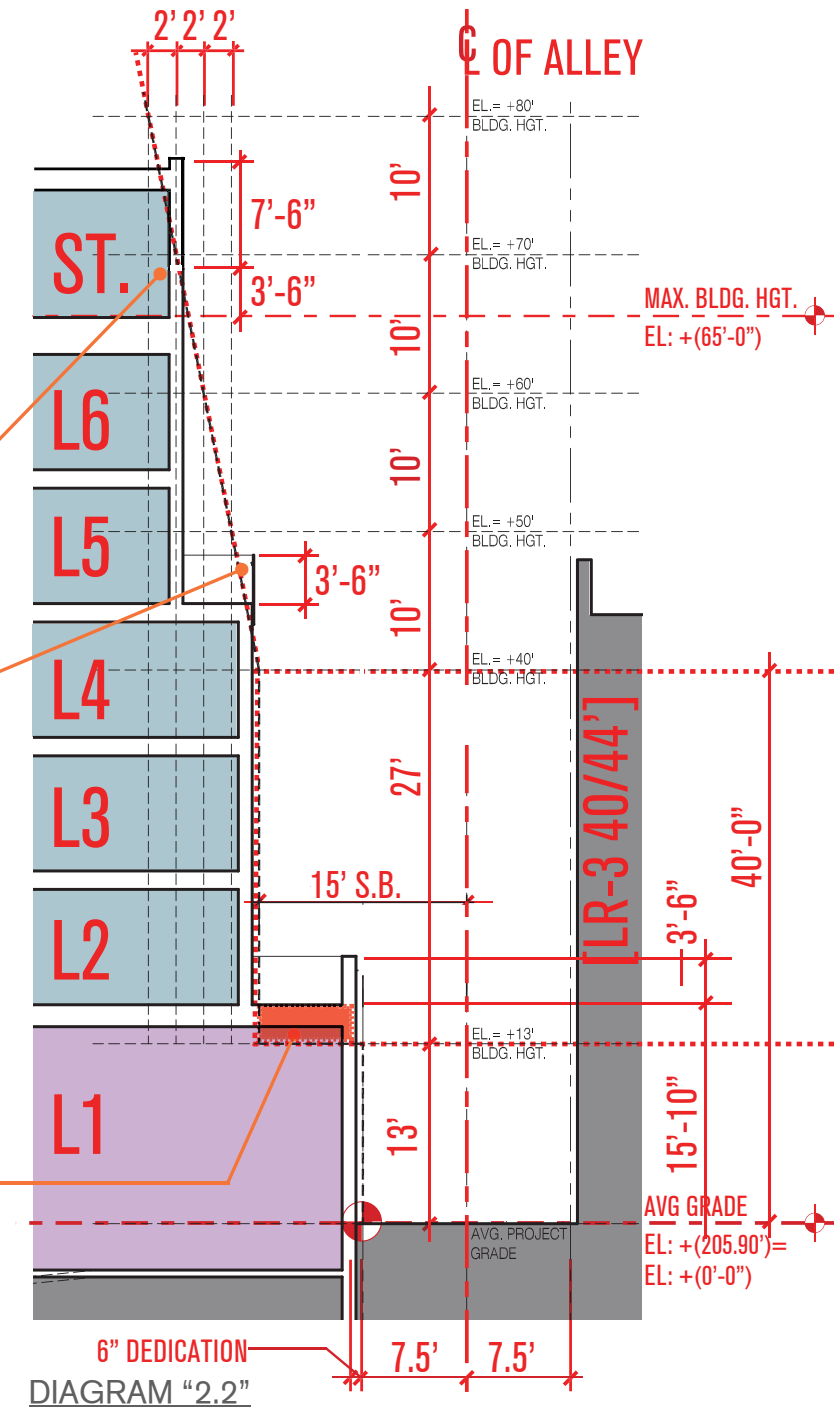


DIAGRAM "2.2"

DESIGN DEPARTURES

Anticipated Departures

3 SMC 23.54.030 – Parking Space Standards (per determination by DCI Director)

Code Requirement:

- D.3. No portion of a driveway, whether located on a lot or on a right-of-way, shall exceed a slope of 15%, and the ends of the driveway are adjusted to accommodate an appropriate crest and sag

Departure:

- provide a 20% sloped ramp for vehicle access to below grade parking levels

Rationale:

- the ramp is easily navigable at 20%, is for access purposes only with no parking, and will be provided with maximum 10% transitions at the top and bottom of the ramp in order to accommodate crest and sag
- allows easier accommodation of minimum clear vertical height of 8'-2" as required for handicap accessible vans
- (re: diagram "3.1")

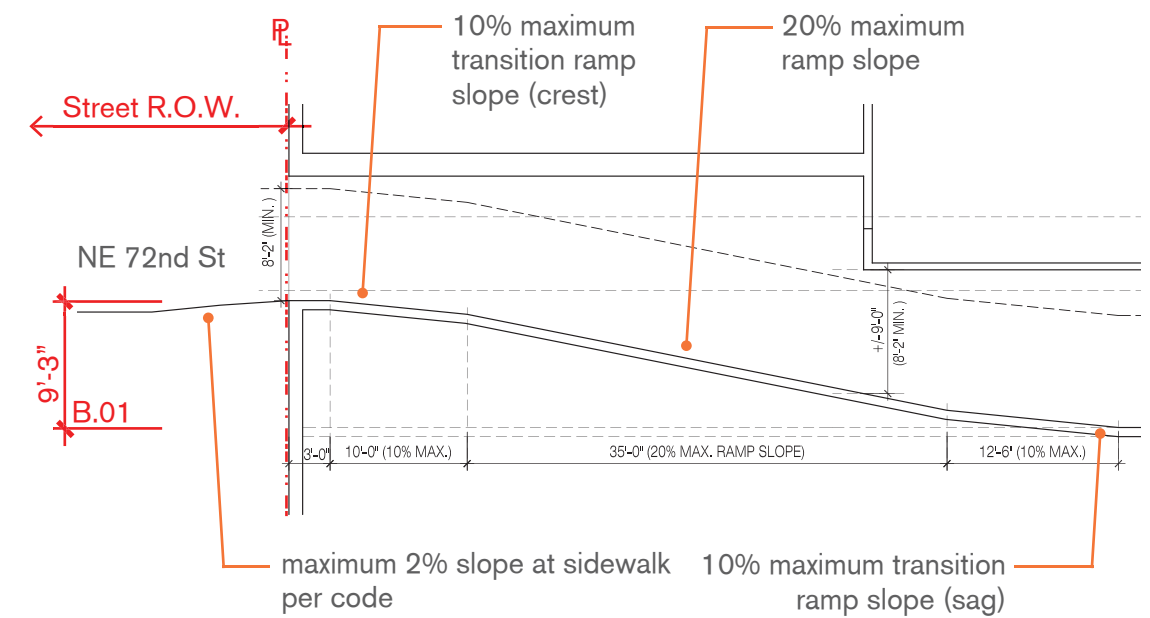
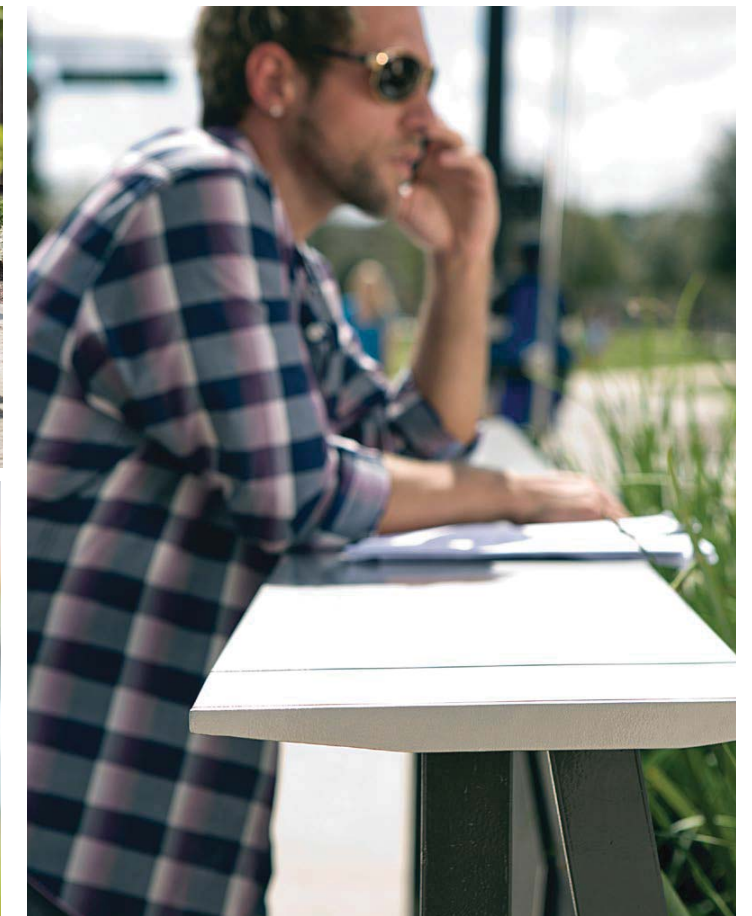
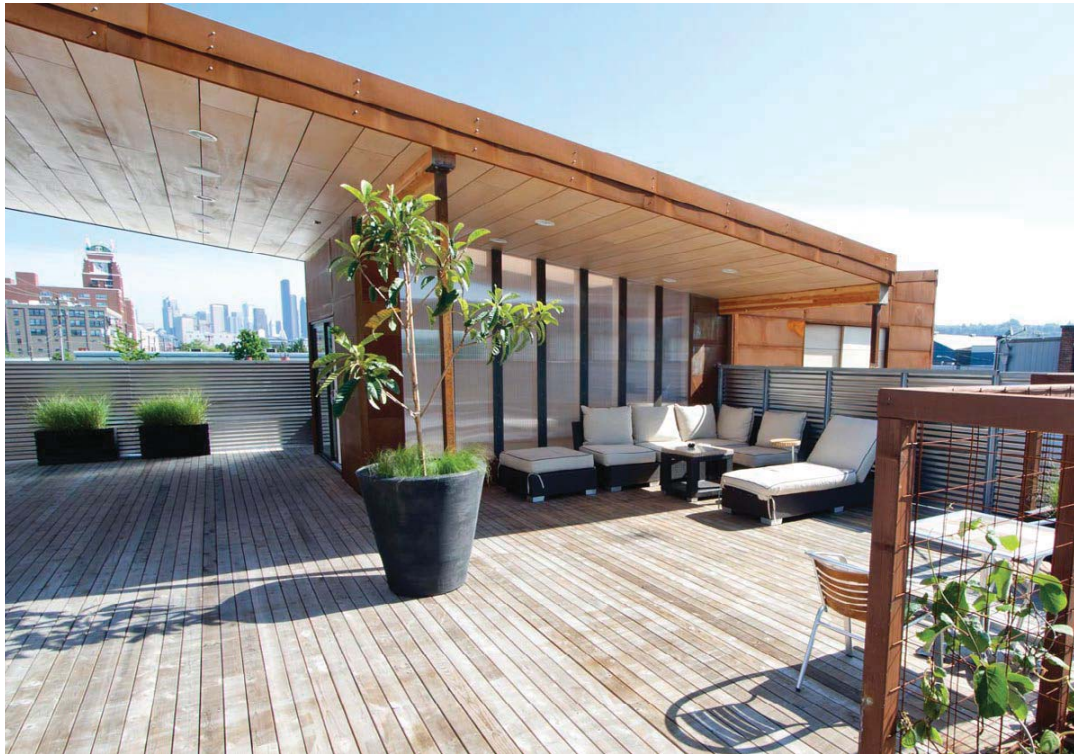


DIAGRAM "3.1"

LANDSCAPE PROPOSAL

Proposed Landscape Character Images



LANDSCAPE PROPOSAL

Proposed Landscape Plan



EXISTING STREET TREES

BIKE RACKS AND SEATING

ENTRY COURTYARD

EXISTING STREET TREES

SIDEWALK TREES

SIDEWALK

5TH AVENUE NE

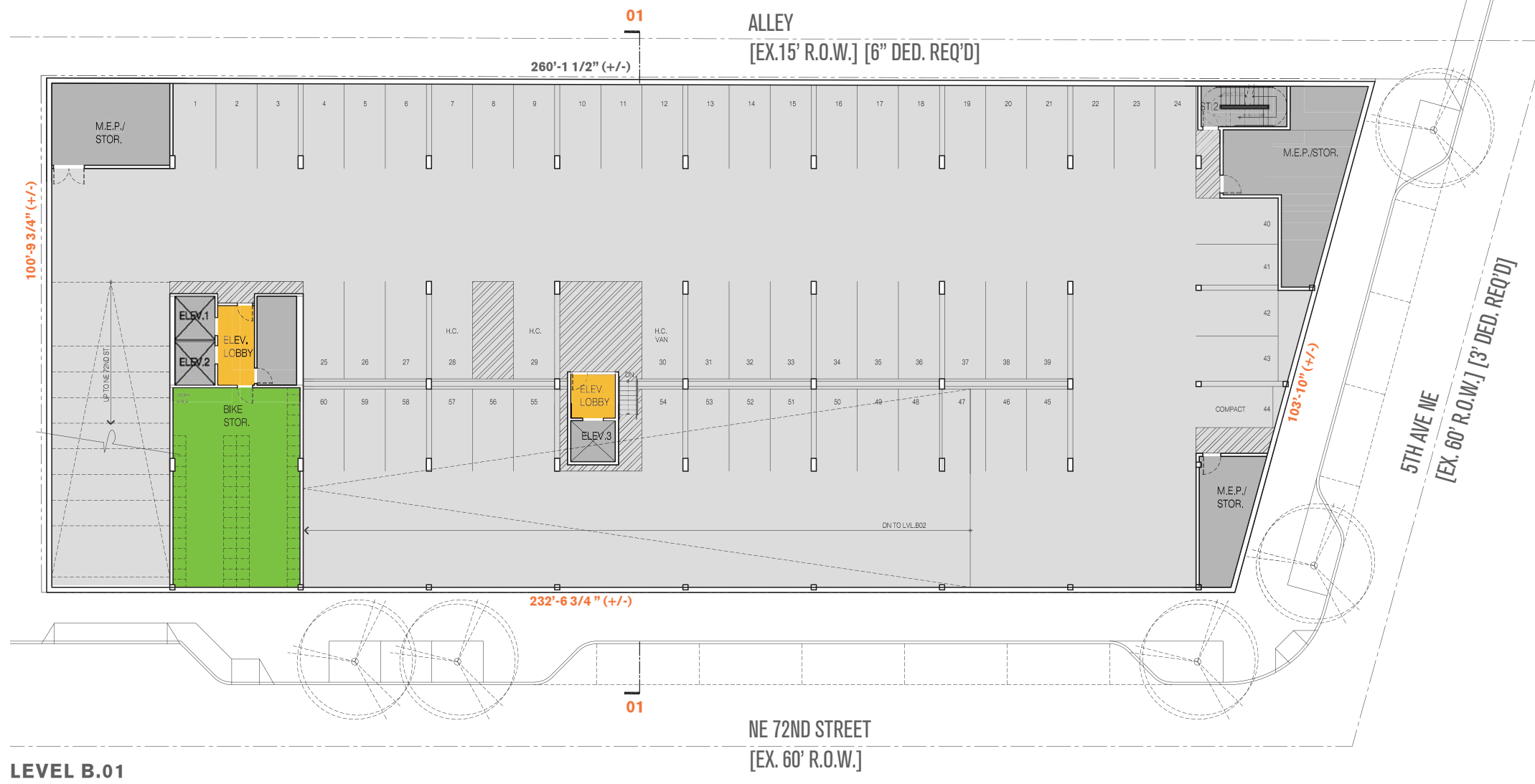
NE 72ND STREET

APPENDIX

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APPENDIX

[Below Grade Parking Levels -Typical for all Options]



LEGEND:

- Parking
- Circulation / Residential Amenity
- Core/Support
- Bike Storage

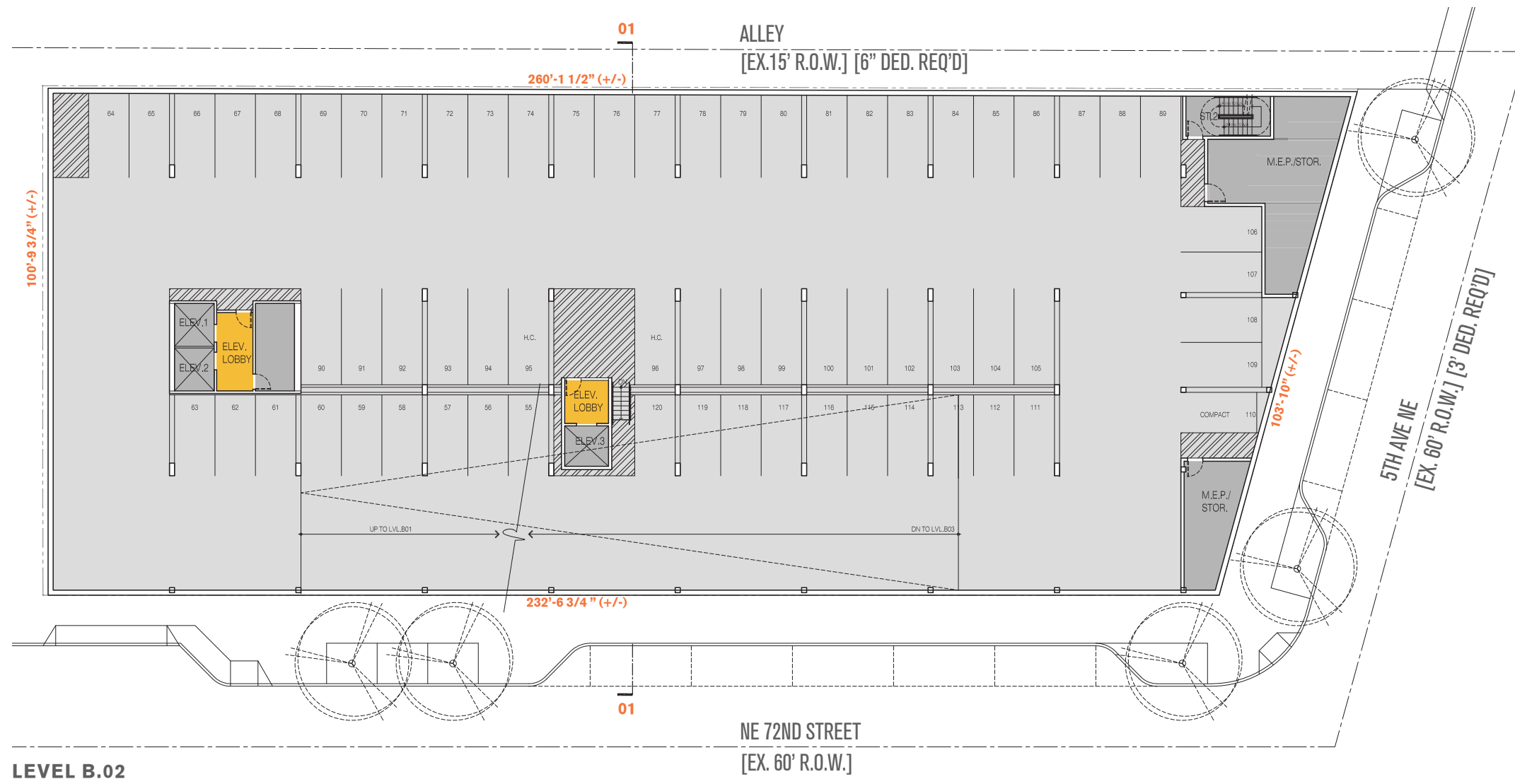
[BELOW GRADE] DEVELOPMENT METRICS:

FLOOR LVL.	FLOOR AREA (sf)	STALLS
LEVEL.B1	19,510 sf	47
LEVEL.B2	24,523 sf	66
LEVEL.B3	24,523 sf	67
TOTAL AREA/STALLS	68,556 sf	180



APPENDIX

[Below Grade Parking Levels -Typical for all Options]



LEGEND:

- Parking
- Circulation / Residential Amenity
- Core/Support

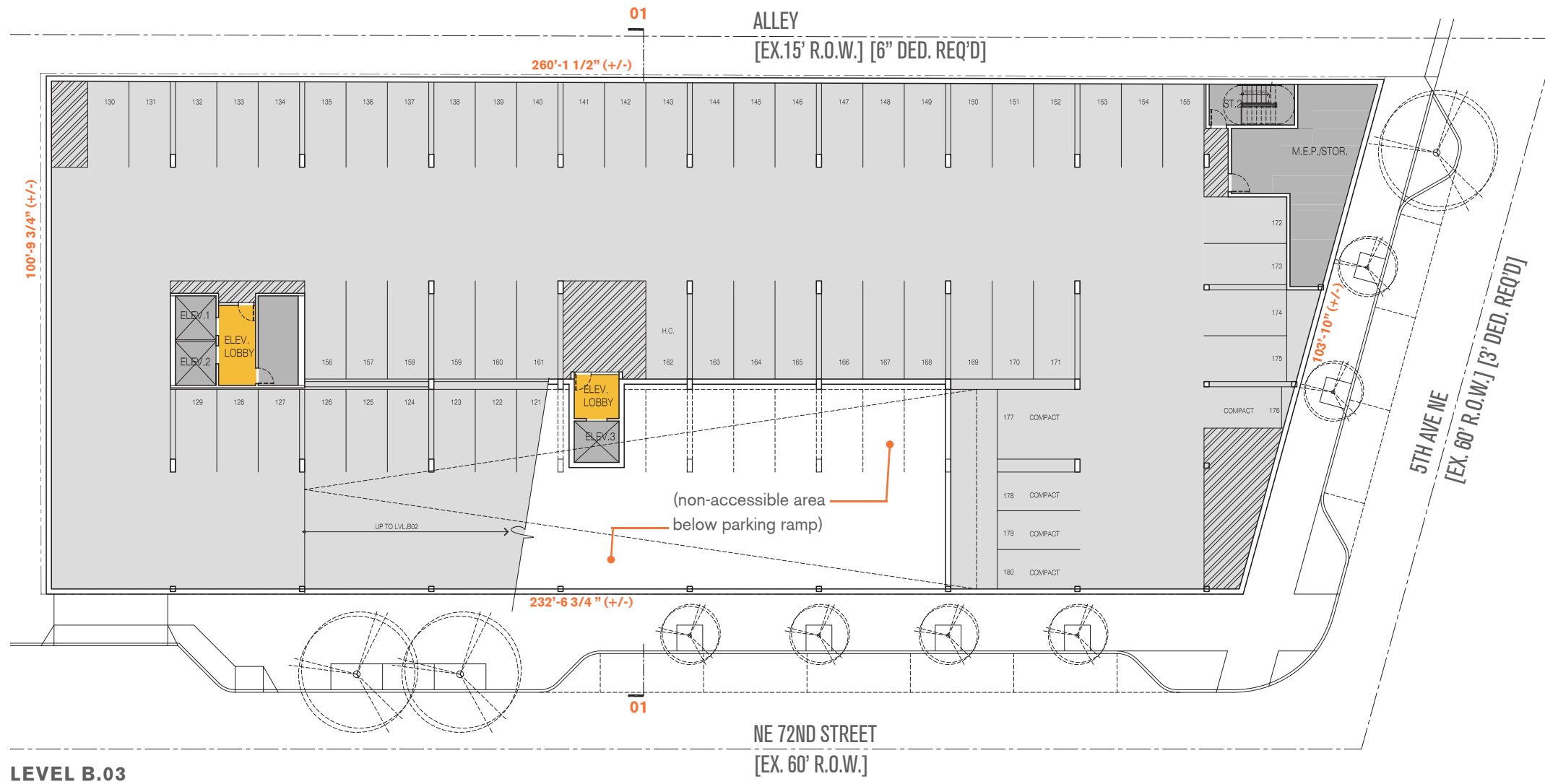
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APPENDIX

[Below Grade Parking Levels -Typical for all Options]



LEGEND:

- Parking
- Circulation / Residential Amenity
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[BELOW GRADE] DEVELOPMENT METRICS:

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TOTAL AREA/STALLS	68,556 sf	180



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AERIAL VIEW FROM NE



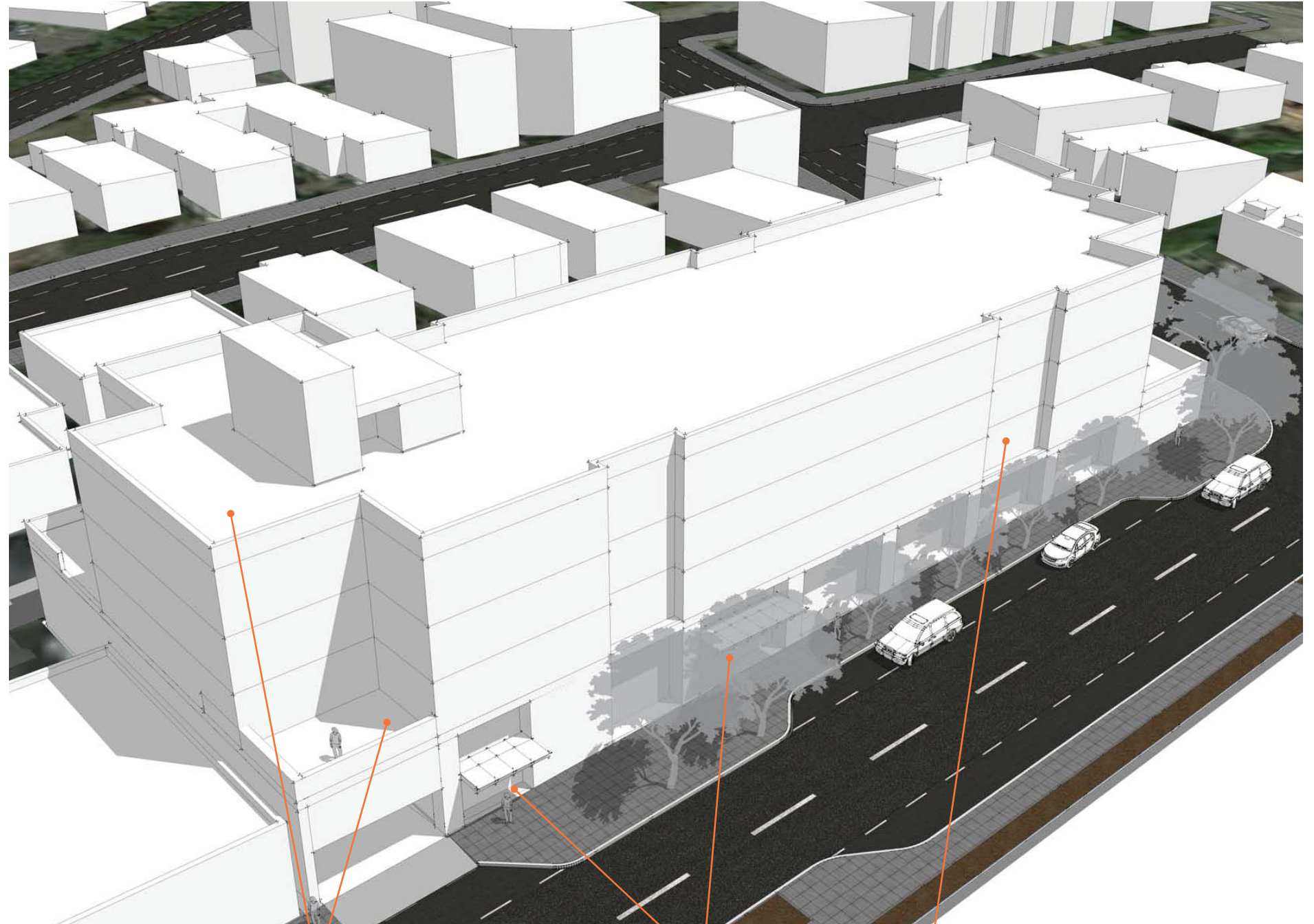
AERIAL VIEW FROM SE



building massing that is modulated and more closely "mimics" adjacent buildings recently completed immediately to south of the project site

open space + widened sidewalks with curb-bulbs and landscaping will create a higher quality pedestrian streetscape and experience

AERIAL VIEW FROM SW



views to Green Lake @ level.02 and roof level common amenity areas

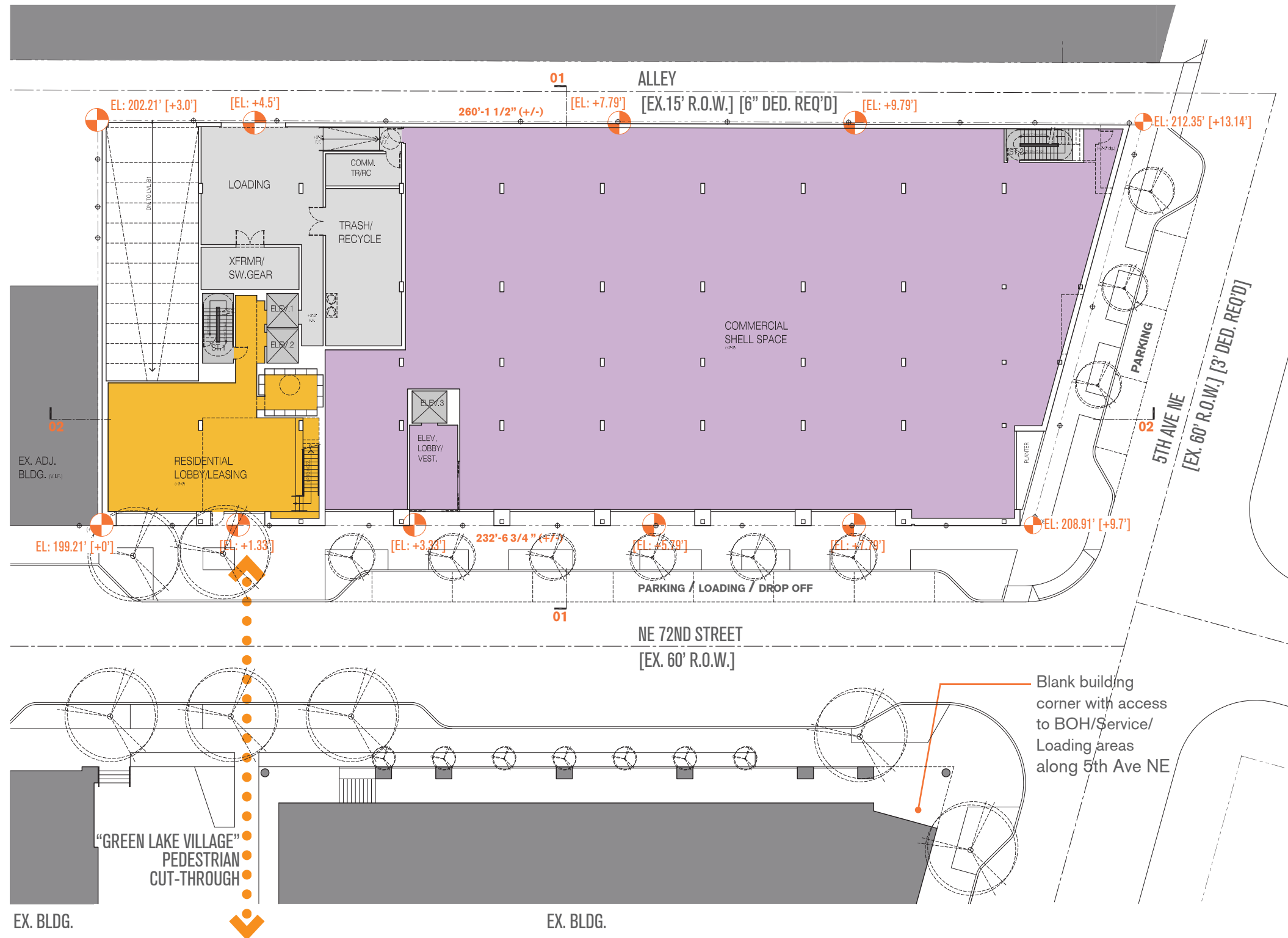
no landscaped public open space provided per proposed options -creates less distinction between residential and commercial entries

building massing that is modulated and more closely "mimics" adjacent buildings recently completed immediately to south of the project site

APPENDIX

[P.U.D.A. CONFORMING NC2P-40']

GROUND LEVEL FLOOR PLAN



LEGEND

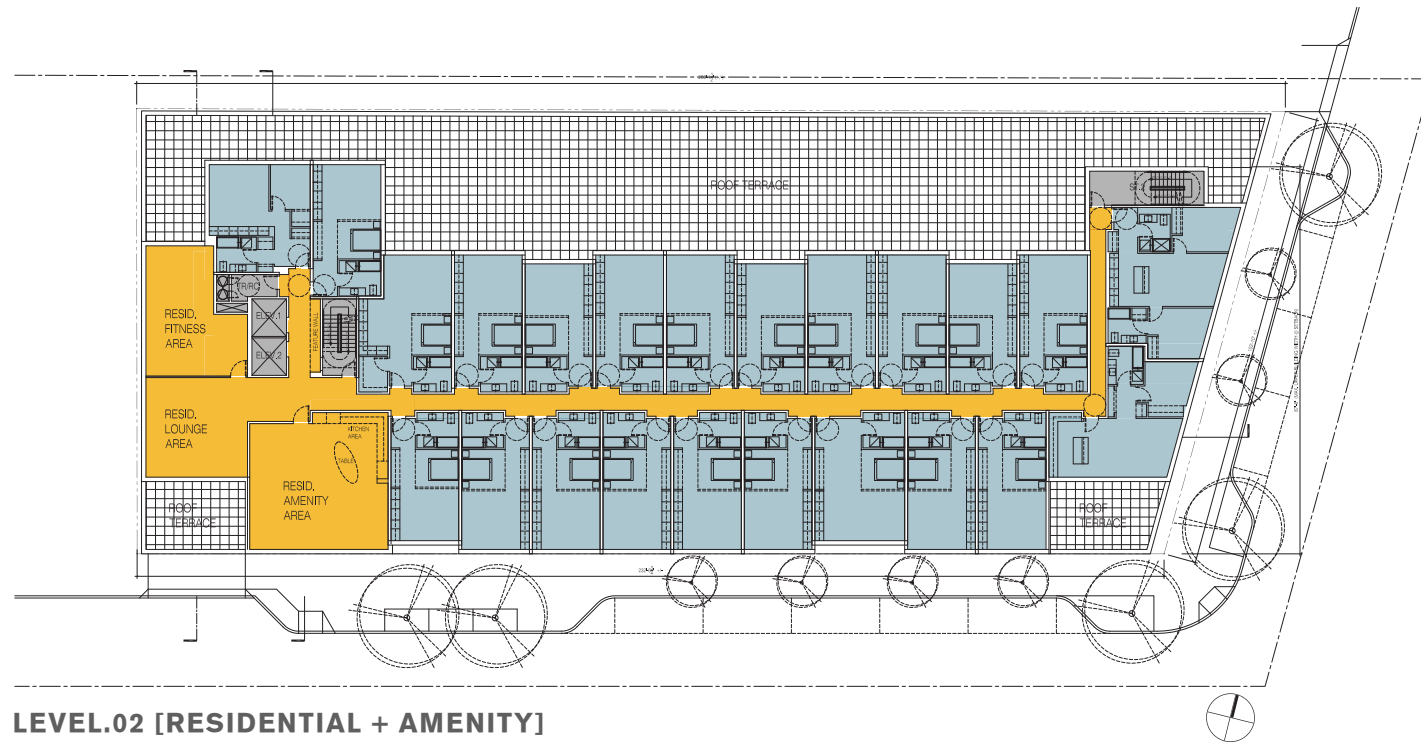
- Commercial
- Circulation / Residential Amenity
- Residential Dwelling Units
- Core/Support
- Adjacent Context

[P.U.D.A.] DEVELOPMENT METRICS:

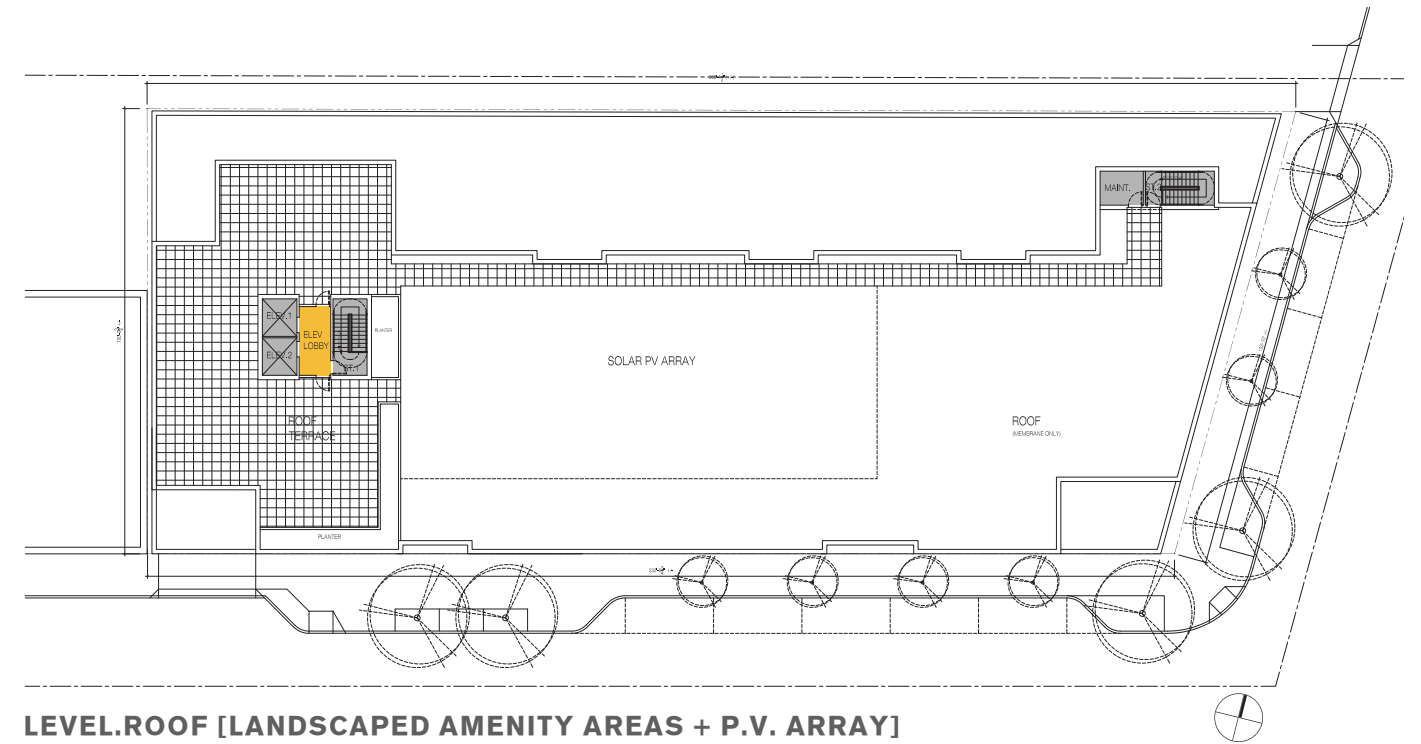
FLOOR LVL.	FLOOR AREA (sf)	UNITS
LEVEL.01	22,516 sf	0
LEVEL.02	15,794sf	23
LEVEL.03	15,867sf	27
LEVEL.04	15,867sf	27
LEVEL.ROOF	520sf	0

TOTAL AREA/UNITS *70,564sf 77
 (*NOTE: TOTAL ALLOWABLE AREA = 80,463.5sf)

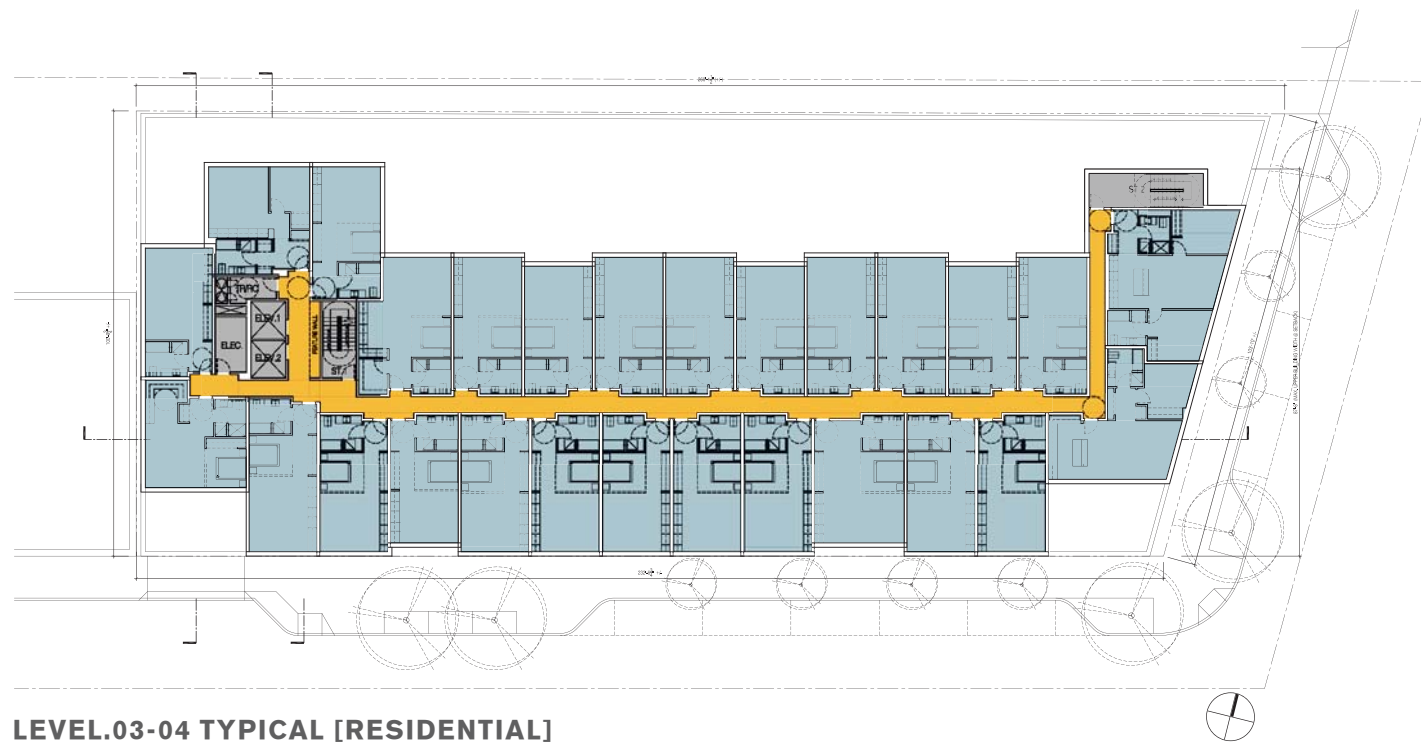




LEVEL.02 [RESIDENTIAL + AMENITY]



LEVEL.ROOF [LANDSCAPED AMENITY AREAS + P.V. ARRAY]



LEVEL.03-04 TYPICAL [RESIDENTIAL]

OPPORTUNITIES:

- views to Green Lake @ level.02 and roof level common amenity areas
- widened sidewalks with curb-bulbs and landscaping will create a higher quality pedestrian streetscape and experience
- bulk and scale relates well to existing single-family structures in the adjacent areas

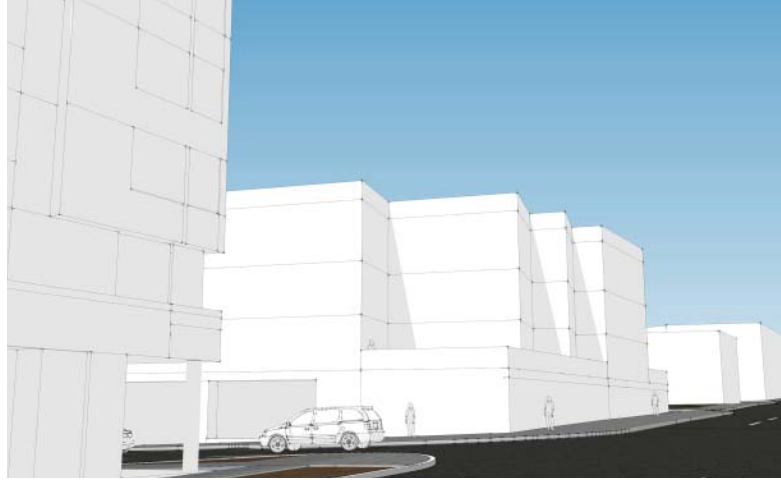
CONSTRAINTS:

- approximately 10,000 sf of unrealizable floor area due to 64% residential lot-coverage restriction
- no landscaped public open space provided at sidewalk level for enhanced pedestrian experience
- lower bulk and scale will not relate well to recently constructed 65' tall buildings adjacent to site, or proposed 75' tall buildings in adjacent areas
- less housing density, which is counter to Residential Urban Village + HALA/MHA development goals
- existing sidewalk and alley grades make multiple building entries and common floor levels difficult to accommodate (refer to survey drawing for existing grade elevations)

APPENDIX

[P.U.D.A. CONFORMING NC2P-40']

VIEW FROM SE AT 5TH AVE NE



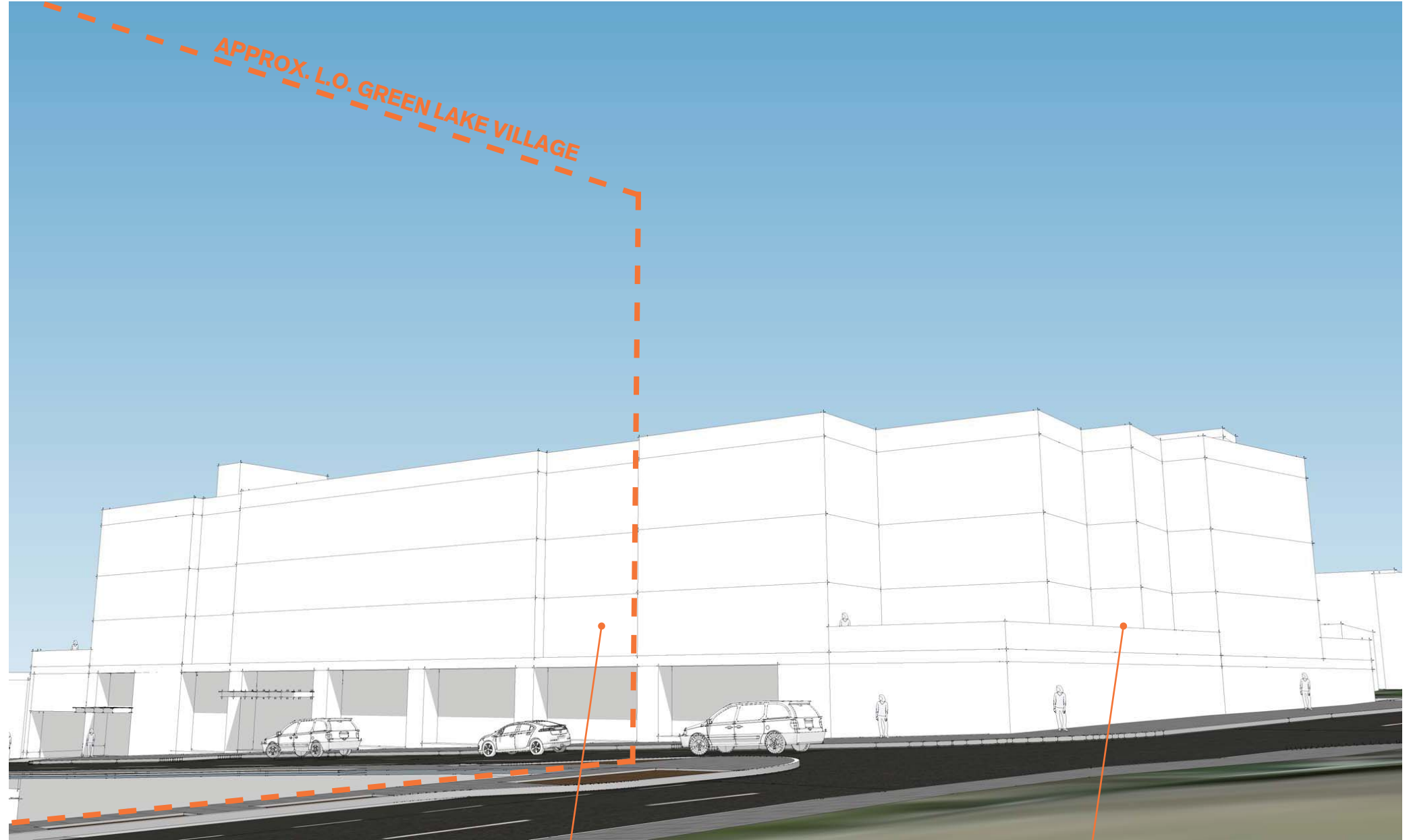
VIEW FROM EAST AT NE 72ND ST & 5TH AVE NE



VIEW FROM NE AT 5TH AVE NE



VIEW FROM SE AT 5TH AVE NE & NE 72ND ST

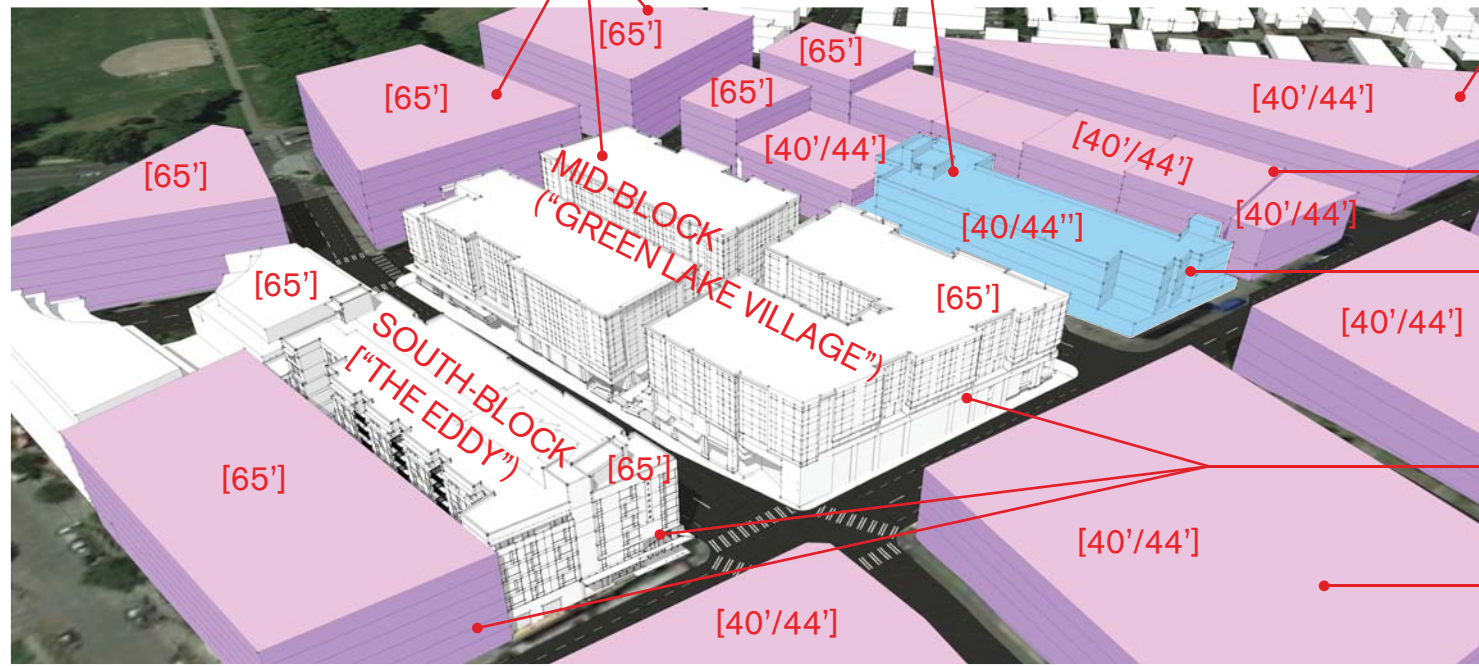


locating all of the building massing at the street wall/property line, along with shallower upper-level modulation, creates a greater perceived presence of the building bulk and scale, as well as a sense of "compression" at the pedestrian level along ne 72nd street with a narrower view corridor to Green Lake

shallower modulation of building massing creates less sense of scale and visual interest

lower bulk and scale will not relate well to recently constructed 65' tall buildings adjacent to site, or proposed 75' tall buildings in adjacent

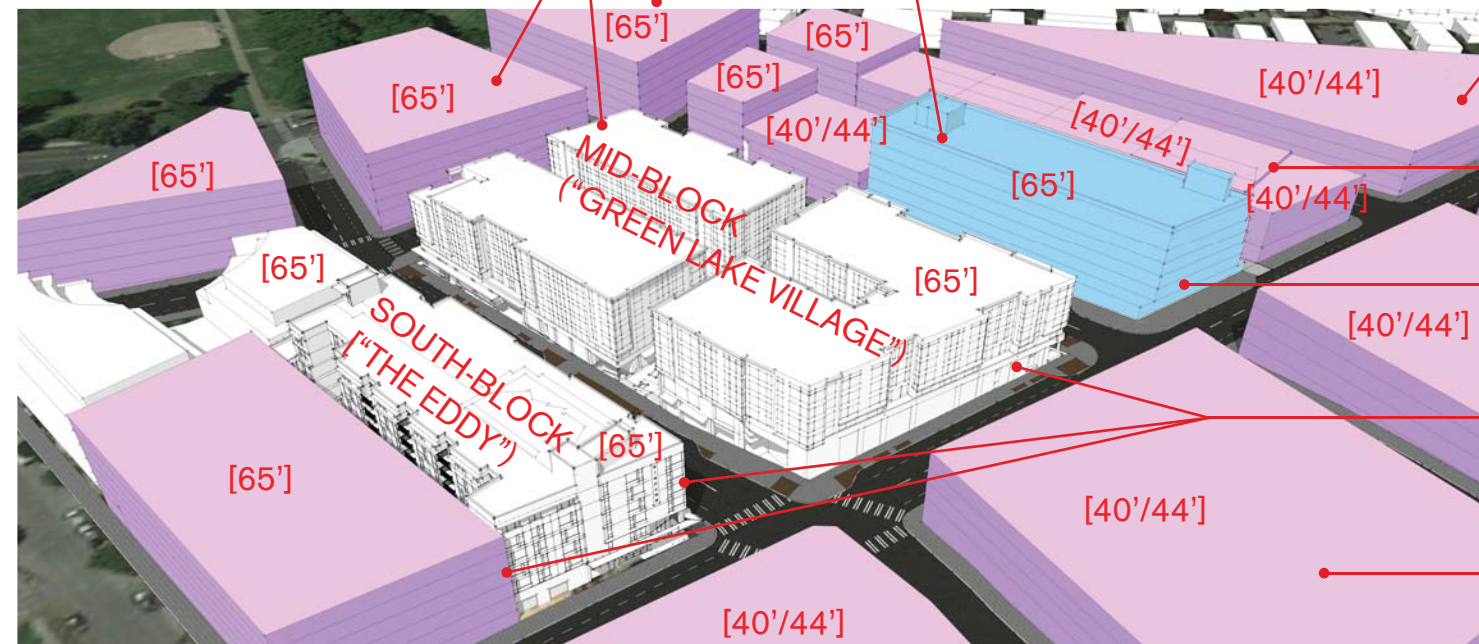
- increased building massing, scale, and residential/commercial density desirable at commercial core
- lower-scaled P.U.D.A massing and density not consistent with development goals at commercial core



[Current Zoning + 2005 P.U.D.A]: NC2P-40]

- lower-scaled massing remains north across ne 73rd street where there is a greater prevalence of smaller scaled multi-family and single-family housing with residential focused uses
- transitional lower-scaled massing starts at adjacent properties on north side of alley, and works north towards ne 73rd street
- PROJECT SITE [P.U.D.A 40'/44' building massing]****
(**note: the 2005 P.U.D.A. development potential will result in approximately 10,000 sf of unrealizable residential floor area due to a 64% residential lot-coverage restriction, which is inconsistent with neighborhood commercial core development trends and goals -refer to appendix)
- existing and potential 65' building massing at adjacent properties results in greater residential density and commercial uses that is more consistent with the development trends and goals within the neighborhood commercial core
- lower-scaled massing remains east across 5th ave ne where there is a greater prevalence of smaller scaled multi-family and single-family housing with residential focused uses

- increased building massing, scale, and residential/commercial density desirable at commercial core
- increased building massing, scale, and residential/commercial density desirable at commercial core



[Current Zoning + NC2P-65'] [Requested Rezone]

- lower-scaled massing remains north across ne 73rd street where there is a greater prevalence of smaller scaled multi-family and single-family housing with residential focused uses
- transitional lower-scaled massing starts at adjacent properties on north side of alley, and works north towards ne 73rd street
- PROJECT SITE [proposed 65' building massing]**
- existing and potential 65' building massing at adjacent properties results in greater residential density and commercial uses that is more consistent with the development trends and goals within the neighborhood commercial core
- lower-scaled massing remains east across 5th ave ne where there is a greater prevalence of smaller scaled multi-family and single-family housing with residential focused uses

W
COLLINS
O
W
ERMAN

ARCHITECTURE PLANNING INTERIORS SUSTAINABILITY

710 SECOND AVENUE SUITE 1400
SEATTLE WASHINGTON 98104-1710
t. 206.245.2100 f. 206.245.2101 COLLINSWOERMAN.COM