

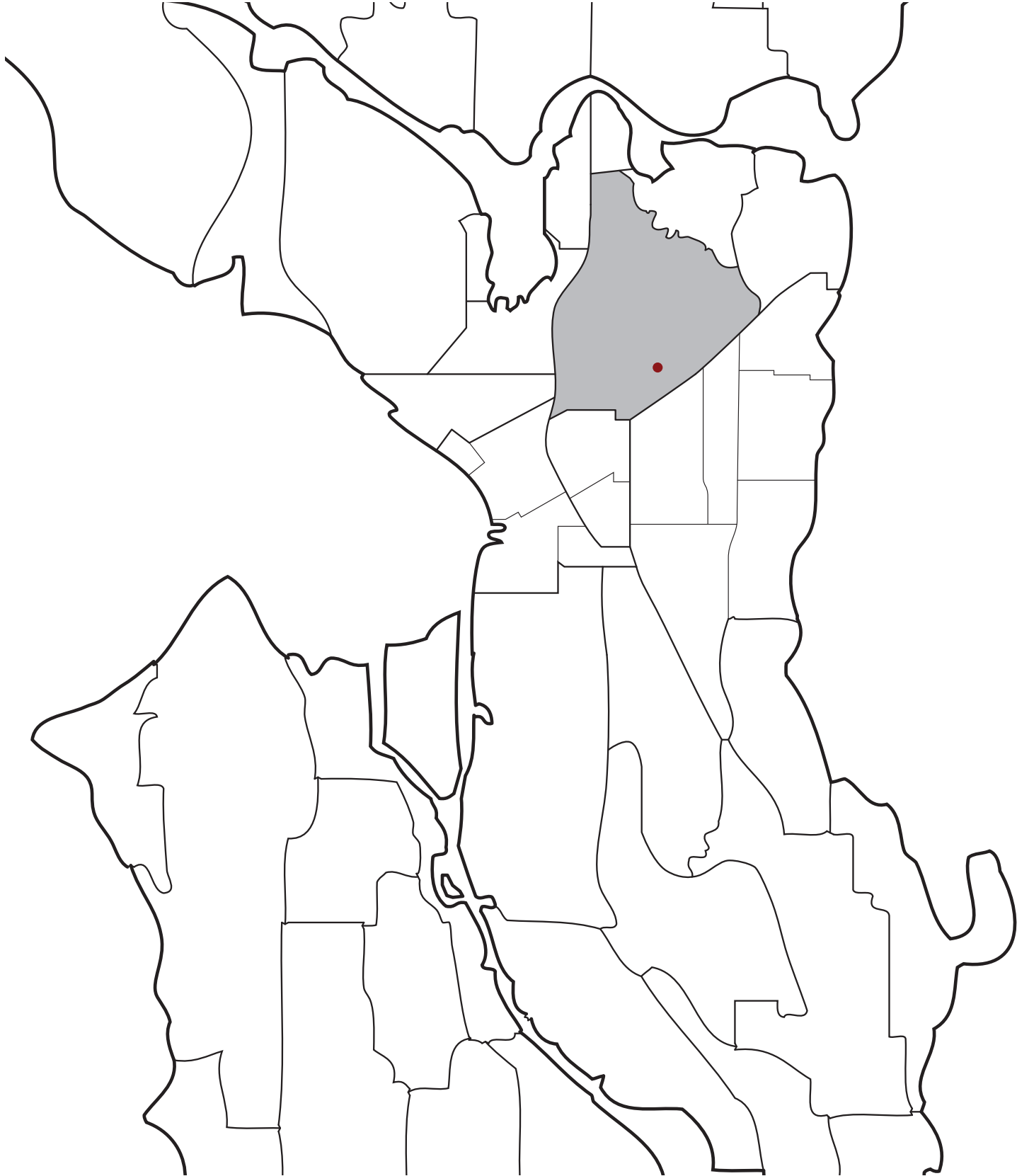
# #3026951

122 17th Ave E **STREAMLINED DESIGN REVIEW**









PROPOSAL

This project involves the demolition of an existing SFR with a detached garage and the construction of 6 new townhomes in two buildings with 5 surface parking stalls in the rear of the lot.

The area near the project site is characterized by a mix of 3-story apartment buildings and mid-size to large single family homes.

The project goals are as follows:

- 1. To construct 6 *Net-Zero* townhomes.
- 2. To contribute to the safe and pedestrian friendly experience of 17th Ave E.
- 3. To maximize the development potential of the property while supporting the city's planning objectives and respecting the existing community's scale and character.
- 4. Meet Built Green 4-Star standards.

ADDRESS

122 17TH AVE E, SEATTLE, WA 98112  
SDCI# 3026951

PROJECT TEAM

OWNER	Green Canopy Homes
ARCHITECT	SHW LLC
LANDSCAPE	Root of Design
SURVEYOR	Terrane

PROJECT INFO

ZONING	LR3
LOT SIZE	4,800 SF
FAR	1.4
ALLOWABLE FAR	6,720
PROPOSED FAR	6,340
PROPOSED UNITS	6
PARKING STALLS	5

INDEX

PROJECT INFO / PROPOSAL	1
SITE ANALYSIS	2
ZONING/CIRCULATION	2
CONTEXT	3
STREET ELEVATIONS	4-5
SURVEY	6
SITE CONDITIONS	7
CONCEPT	9
SITE PLAN	9
FLOOR PLANS	10-13
PERSPECTIVE	14-15
ELEVATIONS	16-20
SECTION	21
ADJUSTMENT	22-23
ZONING STANDARDS	24
PRIORITY GUIDELINES	24
AMENITY/CIRCULATION	23
RECENT WORK	25





SITE ANALYSIS

The project site is zoned LR3 and is located within the Capitol Hill Urban Center Village. The surrounding blocks include various zones and uses including single family homes, townhome developments, and neighborhood parks. The site is currently occupied by a single family structure and detached garage both of which will be demolished.

CIRCULATION

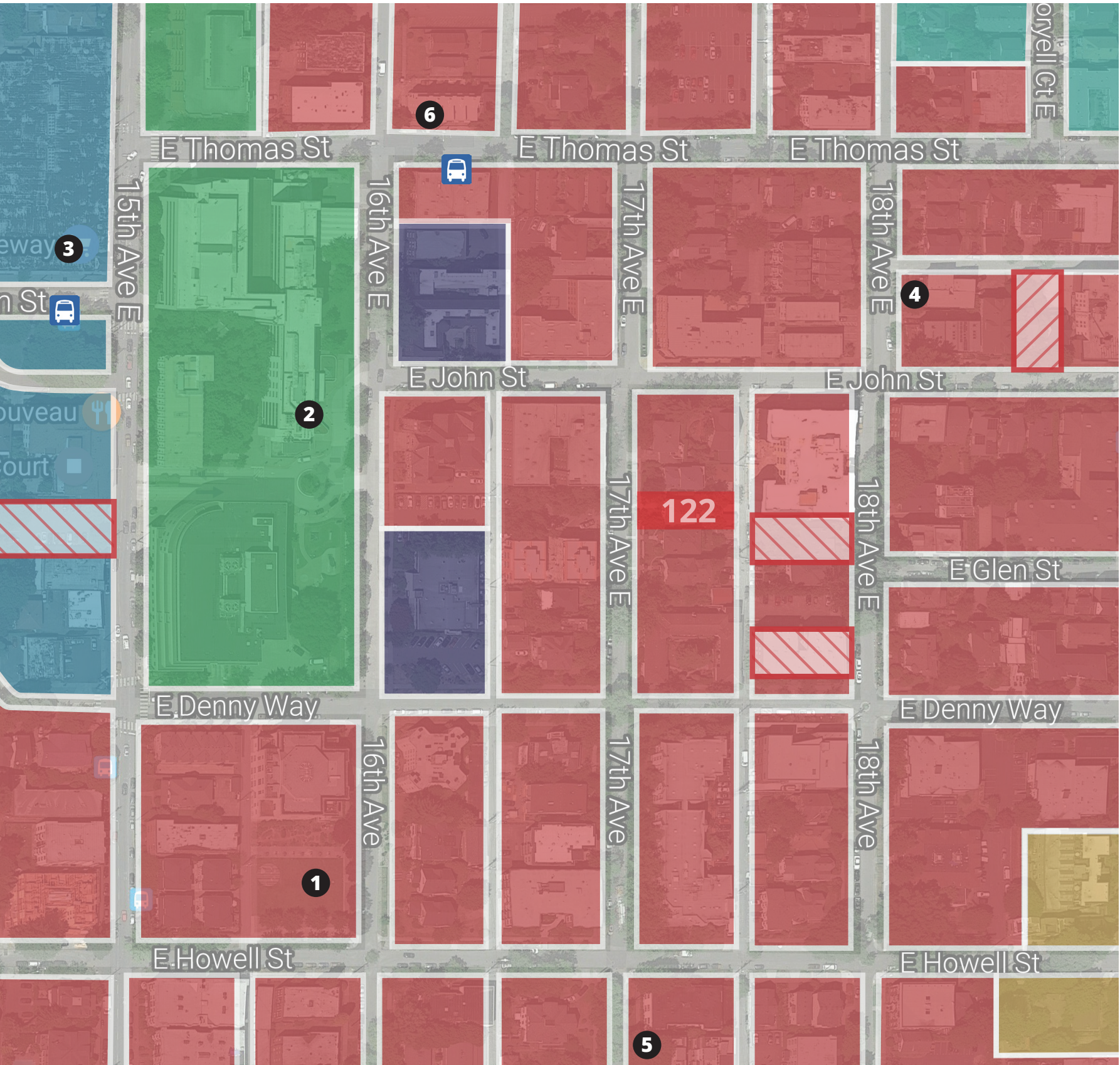


The site is served by two bus lines, the 8 and 43, running east and west along E Thomas St providing frequent transit access to Downtown Seattle, University District, and Central District. Additionally, the Capitol Hill Light Rail station is approximately 1/2 mile west, which further connects the site to SeaTac, Downtown, Capitol Hill and the University District. The slow residential streets and - promote a pedestrian experience and easy cycling routes to Downtown, West Seattle, and South Seattle.

NEW DEVELOPMENTS

ZONING

- LR2
- LR3
- MIO-50
- MIO-105
- NC2-40
- NC2P-40







## CONTEXT

The area surrounding 122 17th Ave E is characterized by a mix of multi-family, single family, institutional and commercial buildings. The area is highly walkable. Within a four block radius from the site there are commercial pockets to the northwest and south. There also are several institutional buildings and green areas.

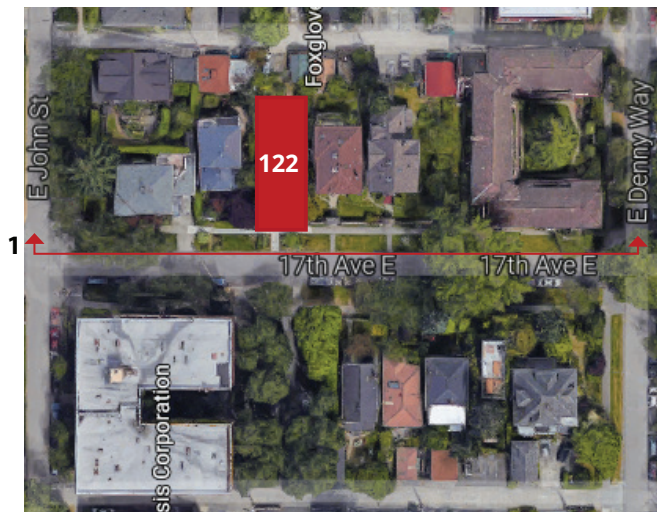
- ① Seven Hills Park
- ② Group Health
- ③ Safeway
- ④ 210 18th Ave E
- ⑤ 1726 17th Ave
- ⑥ 1600-08 E Thomas St





STREET ELEVATION

1 17TH AVE E LOOKING EAST



**17th AVE E**  
The street elevation shows a mix of single family homes multifamily homes, and apartment buildings.



122 17TH AVE E STREET VIEW



STREET ELEVATION

2 17TH AVE E LOOKING WEST



SHW

5









## SITE CONDITIONS

122 17th Ave E is currently occupied by a SFR with a detached garage in the southeast corner of the lot. The site is relatively flat with a 2' slope from east to west along the southern property line. There are SFRs to the north and south of the site with newly constructed townhomes directly across 17th Ave E. The surrounding neighborhood blocks are capped by mid-sized apartment buildings.

## LEGAL DESCRIPTION

PER STATUTORY WARRANTY DEED, REC. NO. 20000331002655, RECORDS OF KING COUNTY, WASHINGTON.

LOT4, BLOCK 16, SUMMIT SUPPLEMENTAL ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 125, IN KING COUNTY, WASHINGTON.



**SHW**

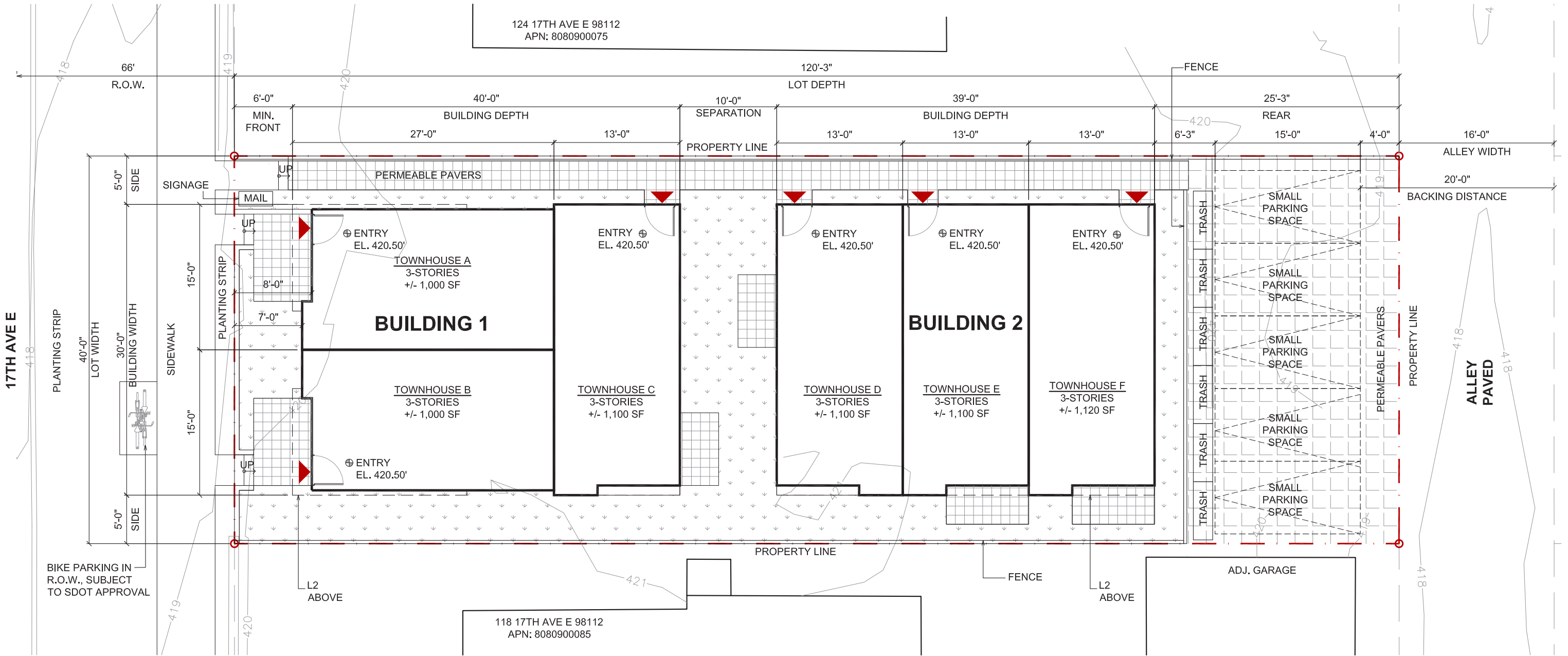
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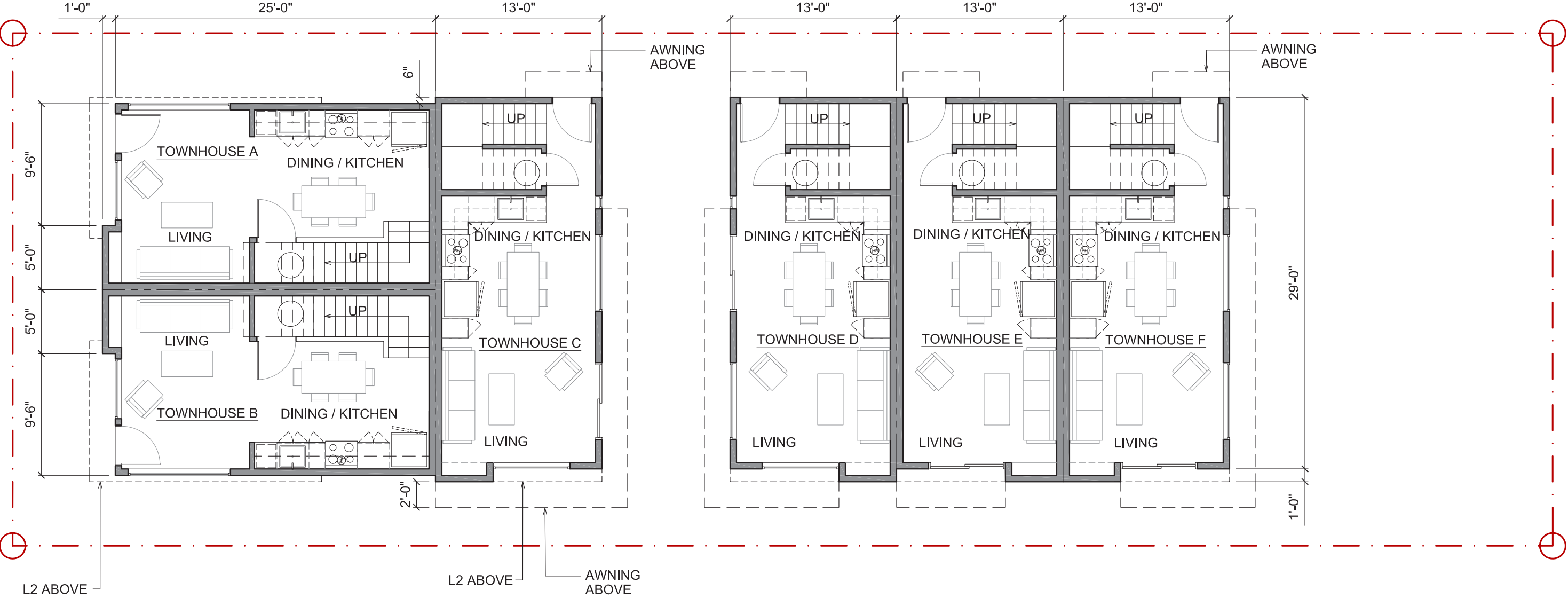


**SITE PLAN**  
SCALE: 1" = 10'-0"



LEVEL 1 FLOOR PLAN

SCALE: 1/8" = 1'-0"



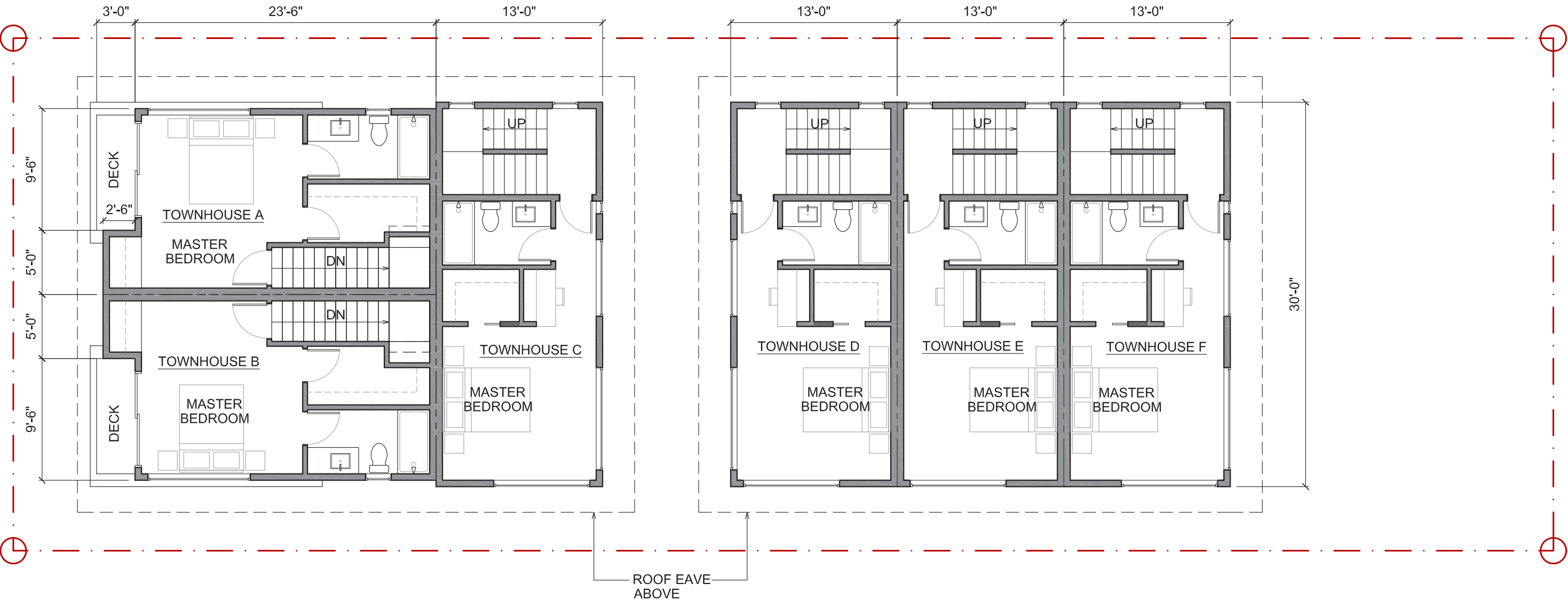


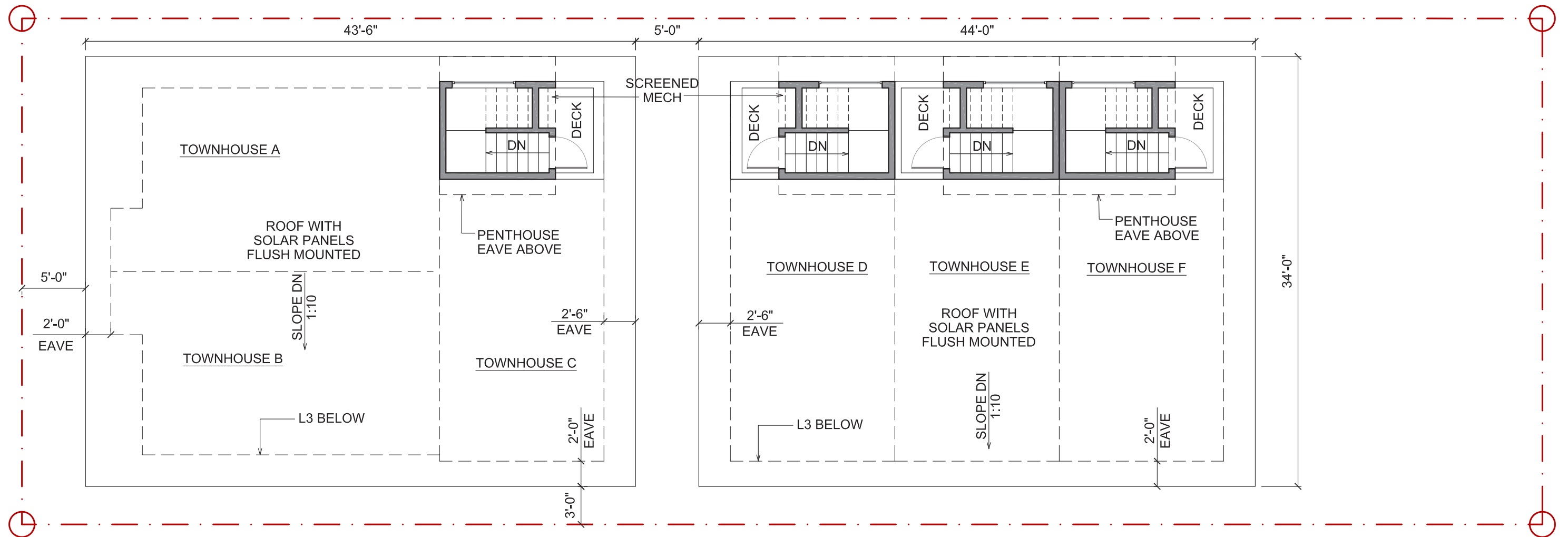
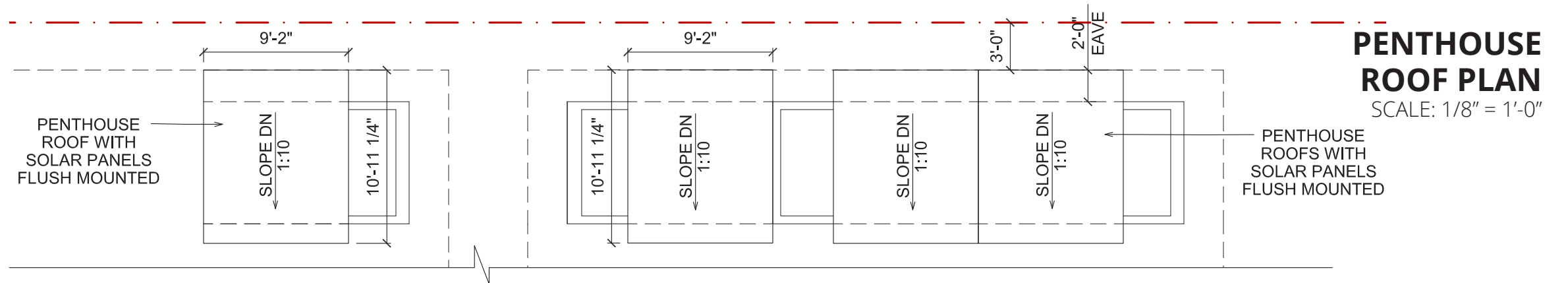
## LEVEL 2 FLOOR PLAN

SCALE: 1/8" = 1'-0"



LEVEL 3 FLOOR PLAN  
SCALE: 1/8" = 1'-0"





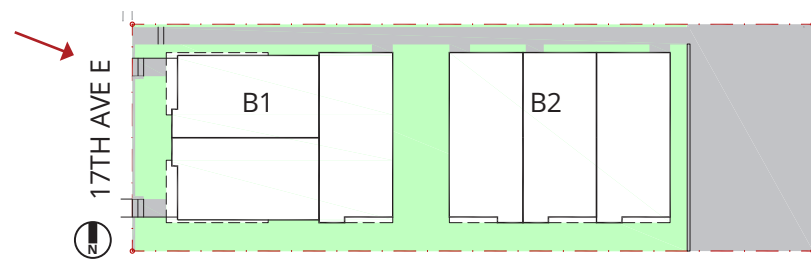
**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**SHW**



**VIEW FROM 17TH AVE E**



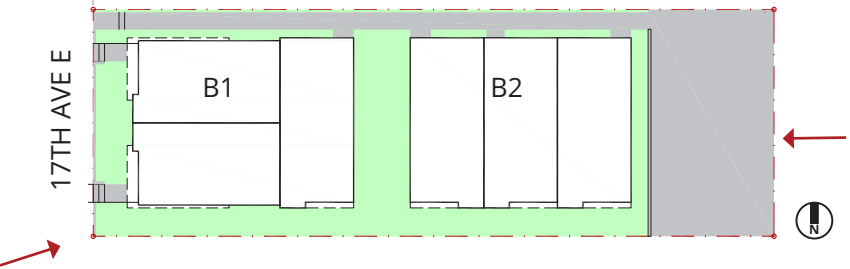




**VIEW FROM 17TH AVE E  
(SW CORNER)**



**VIEW FROM ALLEY**



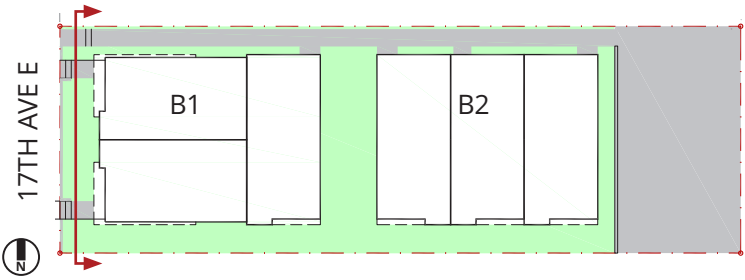
# WEST ELEVATION BUILDING 1 (FACING 17TH AVE E)

SCALE: 1/8" = 1'-0"

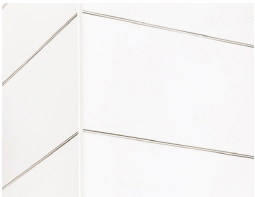
**COLOR VOTE -**  
THE BUILDING COLORS ARE PICKED THROUGH GREEN CANOPY'S NEIGHBORHOOD FEEDBACK PROGRAM. THROUGH A SURVEY OPEN TO THE PUBLIC, THE COMMUNITY IS ABLE TO CHOOSE FROM THE THREE COLOR PALLETS BELOW:



(MODELED)



LAP SIDING,  
MINERAL GRAY



FIBER CEMENT PANEL



FCP COLORS: EIDER  
WHITE, NETWORK GRAY,  
W/ BRIGHT RED ACCENT



VINYL WINDOWS,  
WHITE



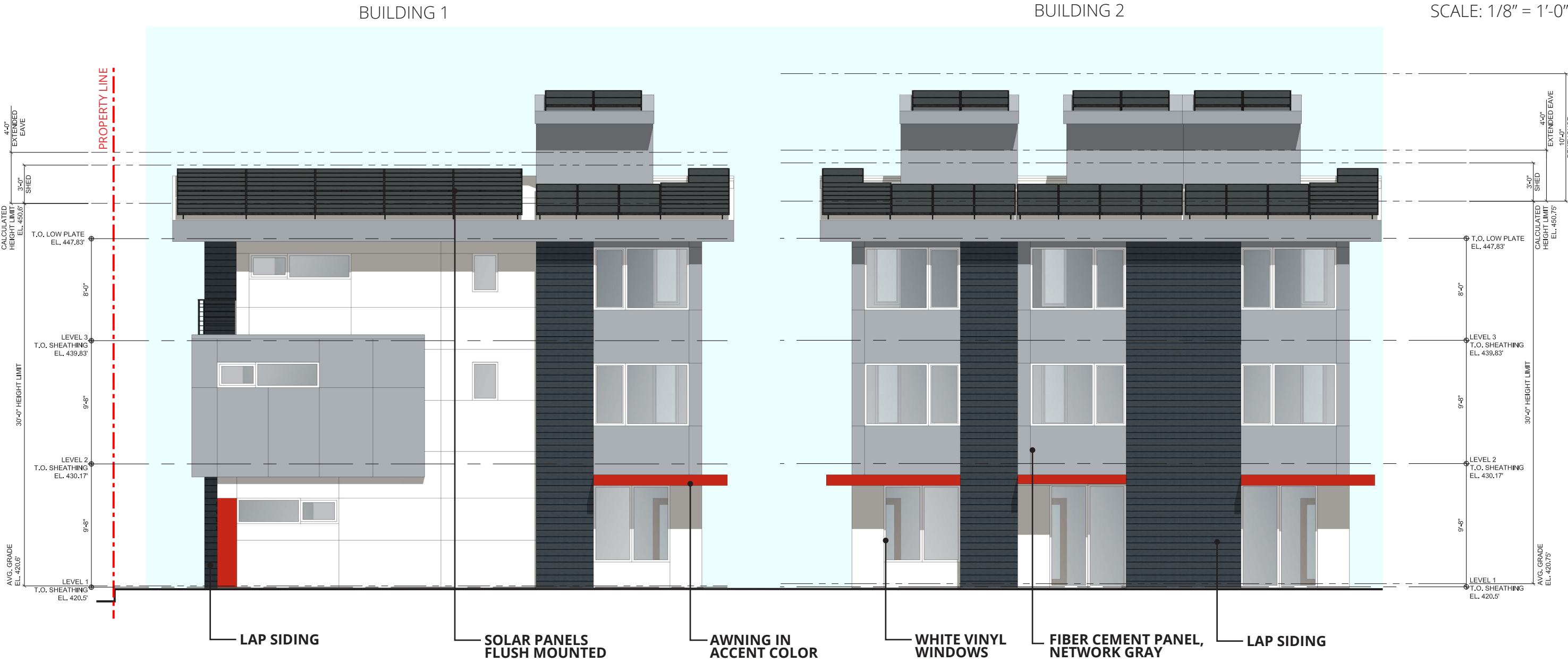
METAL GUARDRAIL,  
BLACK



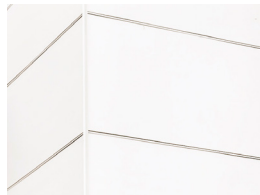
SOLAR PANELS



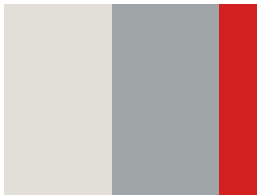
SOUTH ELEVATION  
BUILDINGS 1 & 2  
SCALE: 1/8" = 1'-0"



LAP SIDING,  
MINERAL GRAY



FIBER CEMENT PANEL



FCP COLORS: EIDER  
WHITE, NETWORK GRAY,  
W/ BRIGHT RED ACCENT



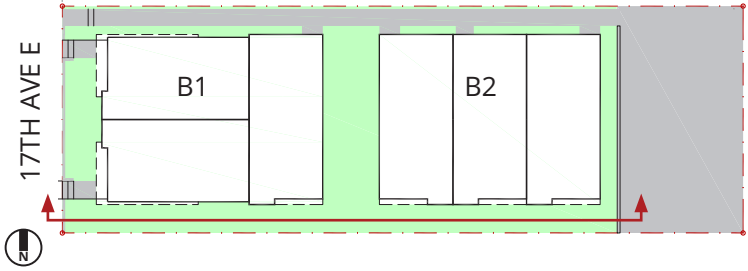
VINYL WINDOWS,  
WHITE



METAL GUARDRAIL,  
BLACK

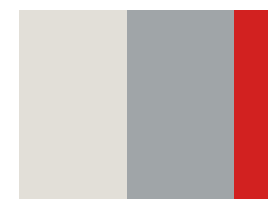
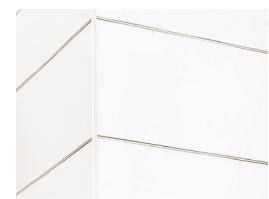
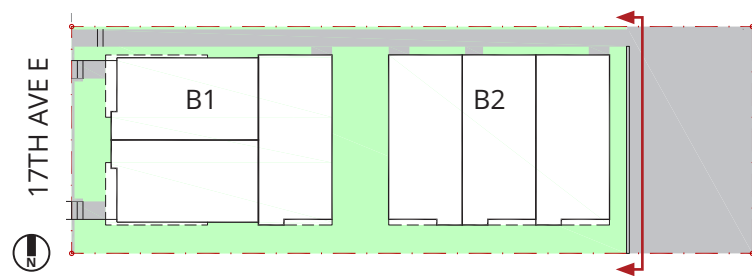
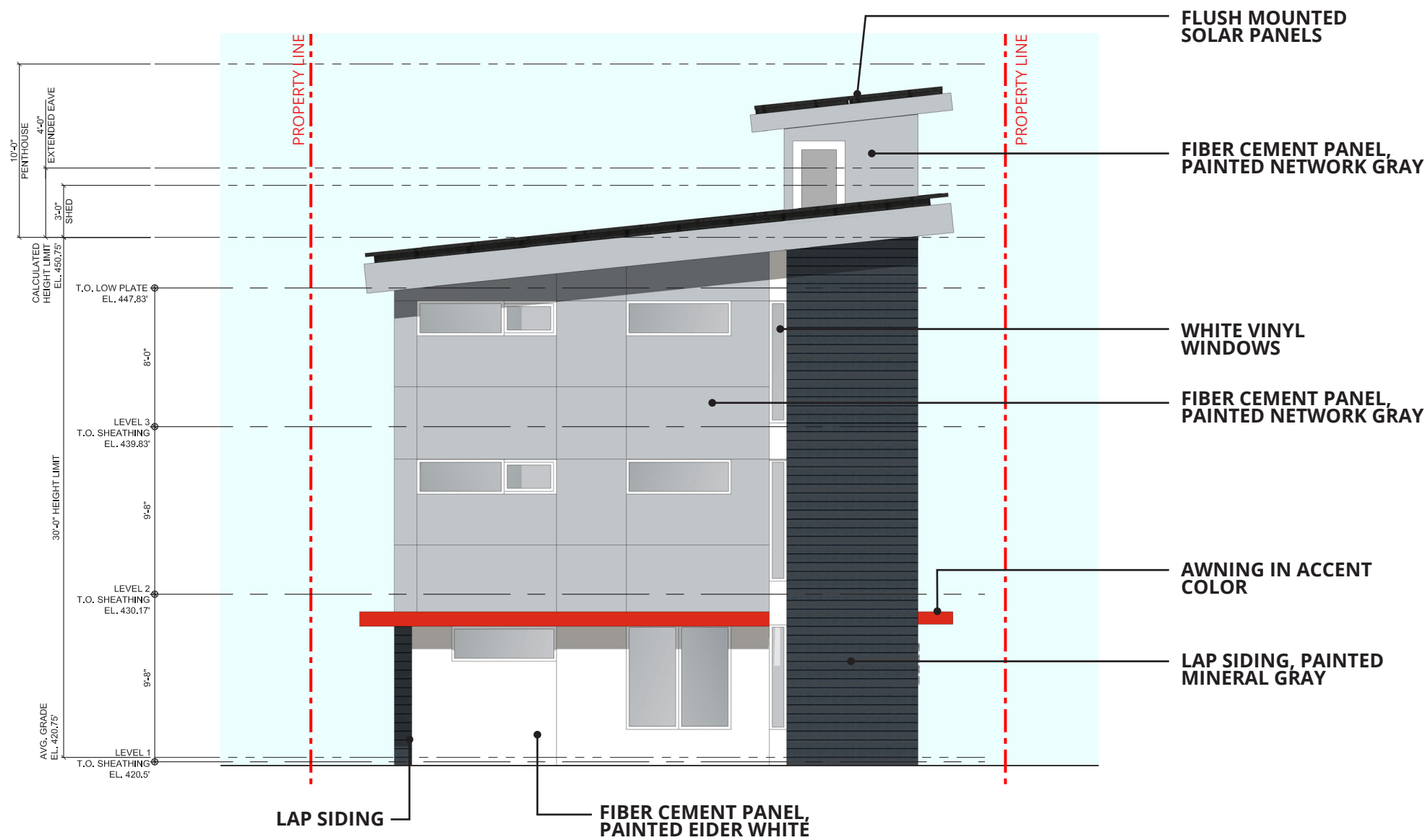


SOLAR PANELS



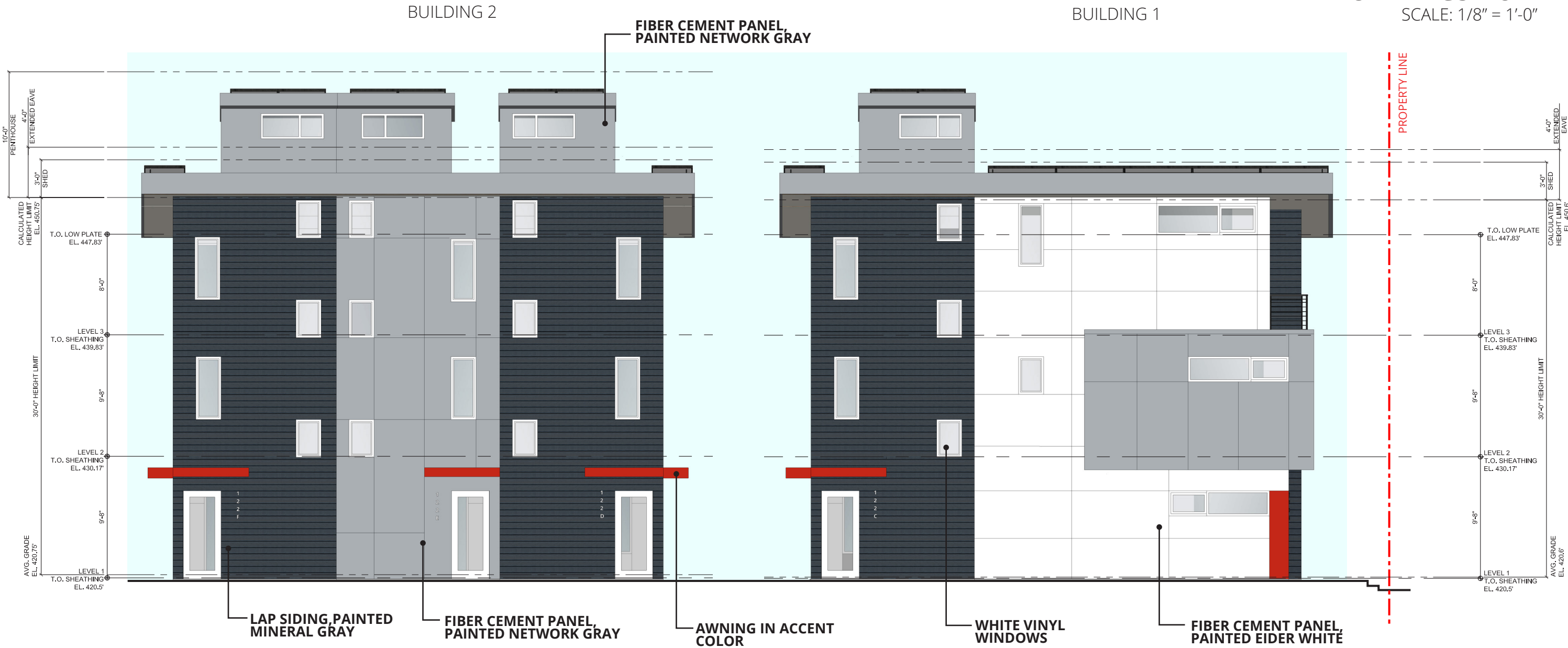
EAST ELEVATION  
BUILDING 2 (ALLEY FACING)

SCALE: 1/8" = 1'-0"

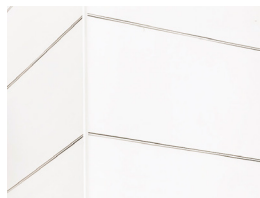


NORTH ELEVATION  
BUILDINGS 1 & 2

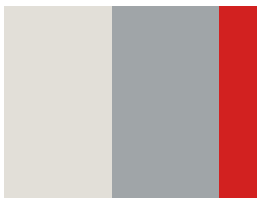
SCALE: 1/8" = 1'-0"



LAP SIDING,  
MINERAL GRAY



FIBER CEMENT PANEL



FCP COLORS: EIDER  
WHITE, NETWORK GRAY,  
W/ BRIGHT RED ACCENT



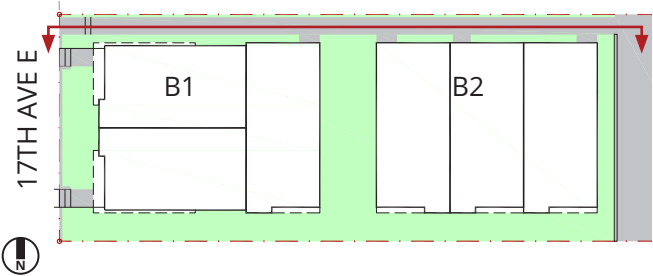
VINYL WINDOWS,  
WHITE



METAL GUARDRAIL,  
BLACK



SOLAR PANELS



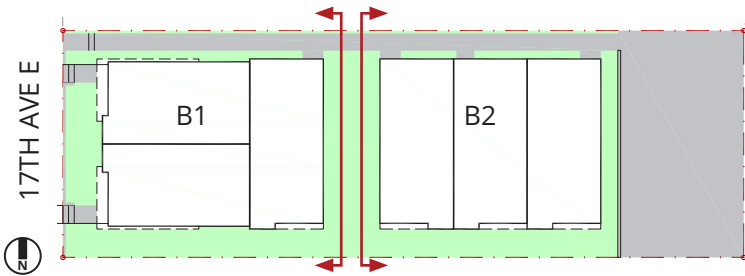
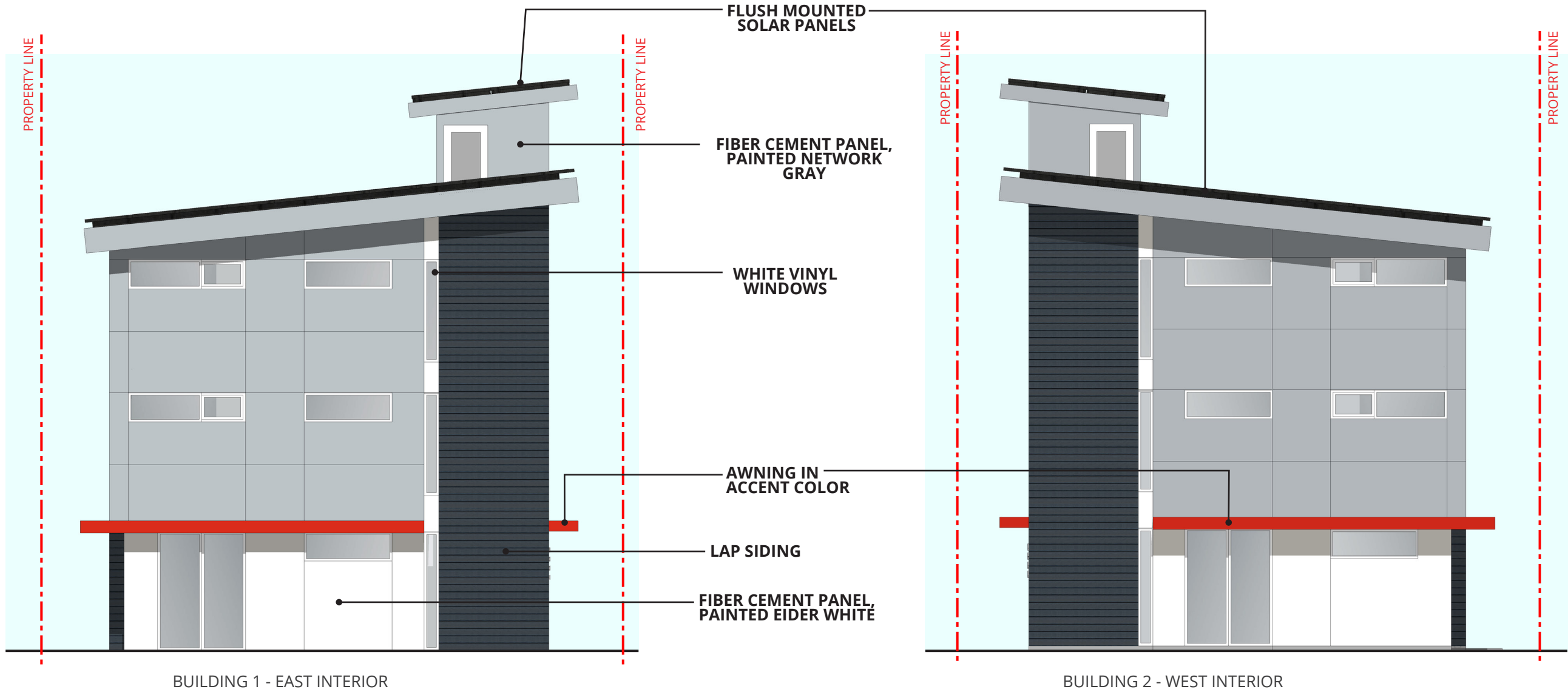
SHW

19



INTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"



LAP SIDING,  
MINERAL GRAY



FIBER CEMENT PANEL



FCP COLORS: EIDER  
WHITE, NETWORK GRAY,  
W/ BRIGHT RED ACCENT



VINYL WINDOWS,  
WHITE



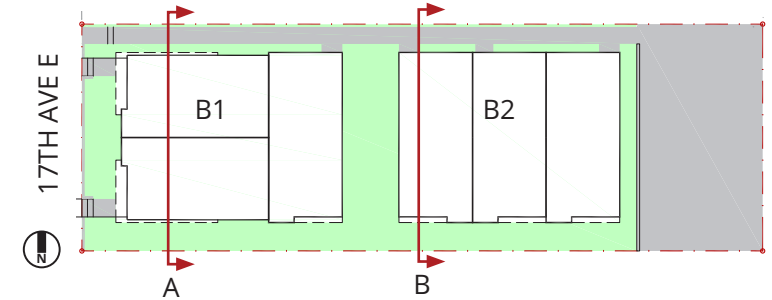
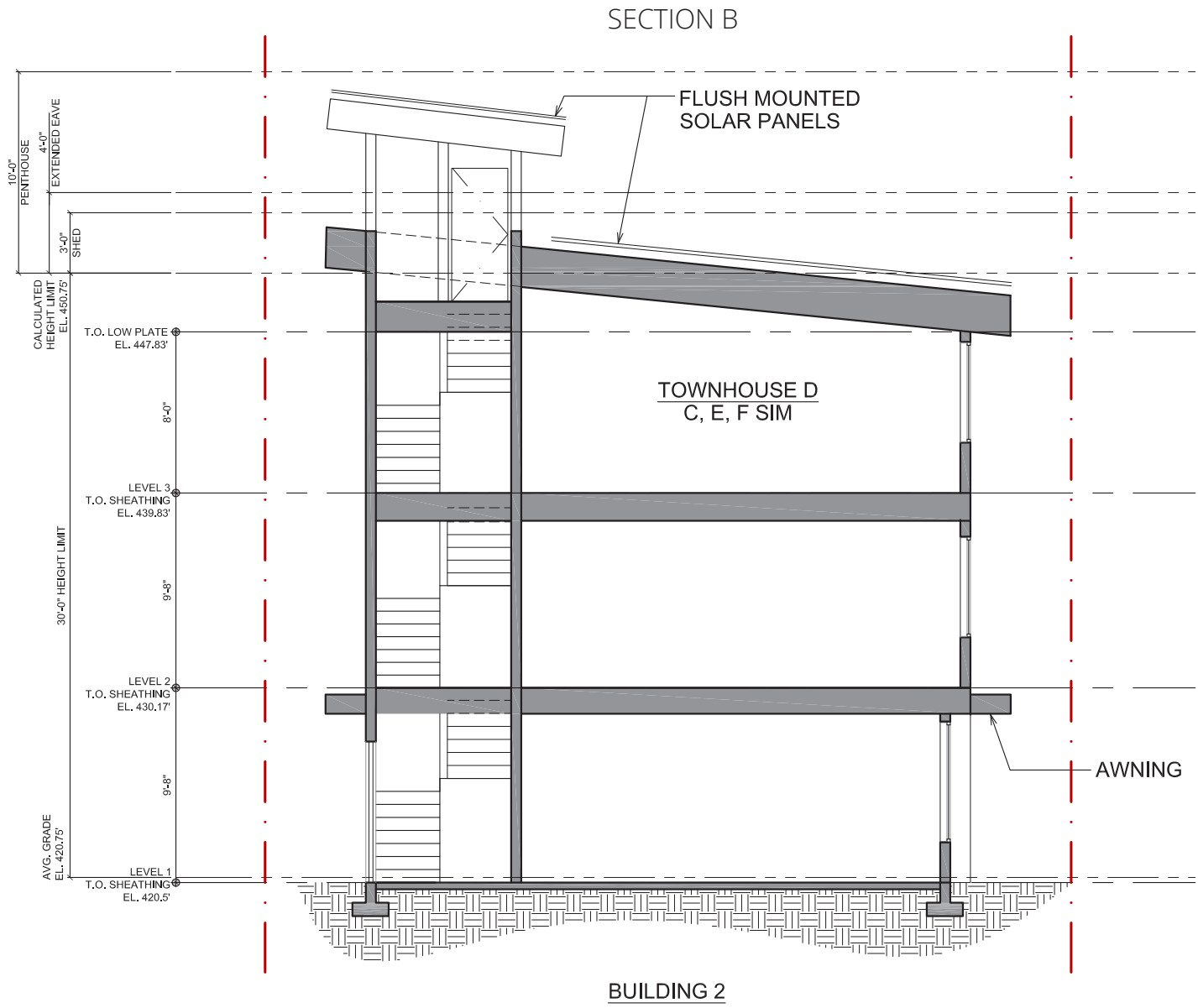
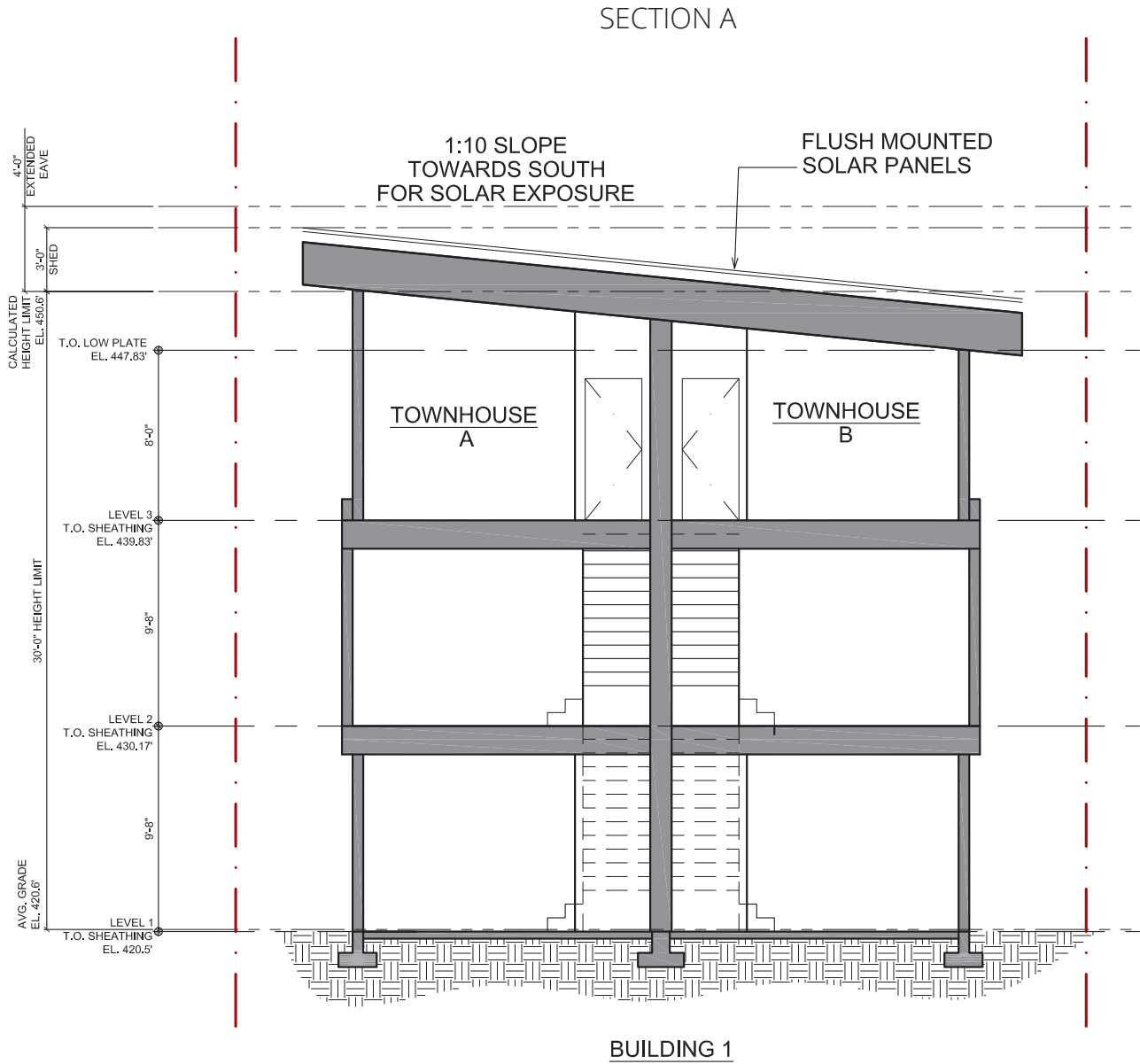
METAL GUARDRAIL,  
BLACK



SOLAR PANELS

# SECTION

SCALE: 1/8" = 1'-0"



# ADJUSTMENT DIAGRAM

## PROPOSED FACADE LENGTH & AVERAGE FRONT SETBACK

The proposed Facade Length Adjustment is 79', where 78' is the code maximum. This is a 1.3% increase, which is less than the 10% allowed through SDR. The additional foot comes from articulation on Building 1 at the street face.

The proposed Average Front Setback Adjustment is 6.27', where 7' is required (Required Min. Front Setback is met). This is a 10% reduction, which is less than the 50% allowed through SDR. However the average setback calculation does not take into account the overall street facing articulation and variation in setback distances (see west elevation).

The Average Front Setback reduction and the Facade Length increase allow for another layer of articulation along the street facing facade. The cantilevered masses at Level 2 (see west elevation) create the need for both adjustments but it also creates visual depth and interest. This articulation forms covered street facing entries, which meet design criteria PL3.A.1.d & PL3.A.2.a. A more intimate and defined entry sequence is provided with the cantilevered masses. This articulation also allows for integrated balconies at Level 3. This meets design criteria DC2.A.2 & DC2.C.1, by creating visual depth and interest with two street facing decks, which also breaks down the facade, reducing the perceived mass.

## PROPOSED AMENITY AREA ADJUSTMENT

See next page (p.23) for diagram of requested amenity area adjustment and justification.

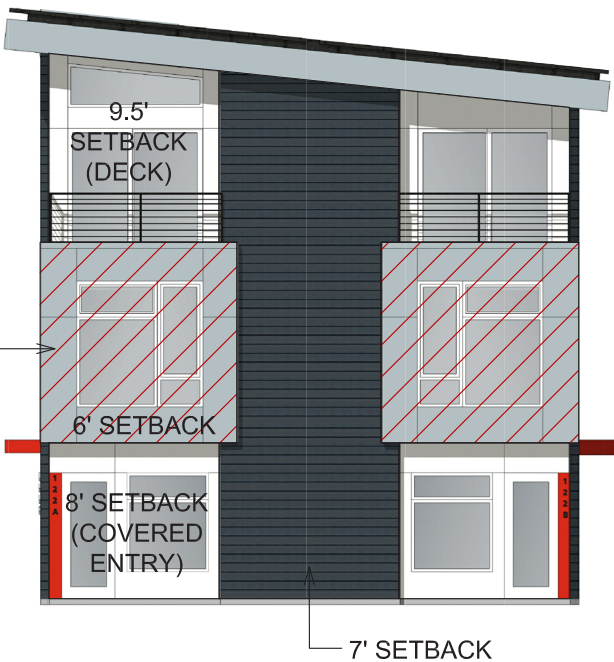
### FACADE LENGTH ADJUSTMENT

MAXIMUM ALLOWED = (120 X .65) 78'  
PROPOSED LENGTH = (40' + 39') 79'

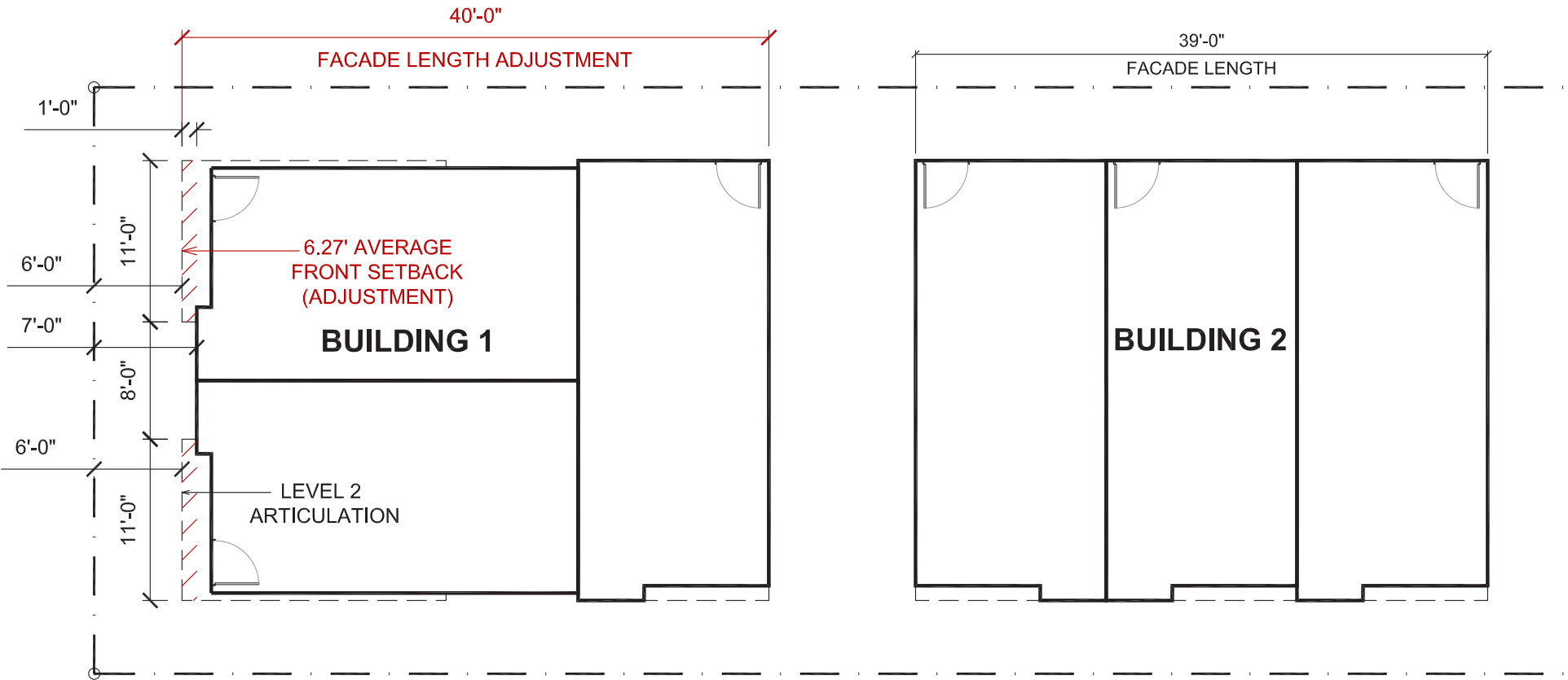
### AVERAGE FRONT SETBACK ADJUSTMENT

REQUIRED MIN. = 5'      PROPOSED MIN. = 6'  
REQUIRED AVG. = 7'      PROPOSED AVG. = 6.27'

LEVEL 2 ARTICULATION  
CREATES DEFINED ENTRY  
& INTEGRATED DECK;  
PL3.A.2.a & DC2.C.1



WEST ELEVATION  
STREET FACING FACADE



ADJUSTMENT AREA





CONNECTING INTERIOR AND EXTERIOR SPACES -  
SOUTH AND CENTER YARD AMENITY AREA ACCESS

**AMENITY AREA REQUIRED:**  
1,200 SF TOTAL  
600 SF @ GROUND

**PROPOSED:**  
1,089 SF TOTAL  
(REQUESTED ADJUSTMENT)  
1,009 @ GRADE  
80 SF @ ROOF DECK

## AMENITIES / CIRCULATION

### PROPOSED AMENITY AREA ADJUSTMENT

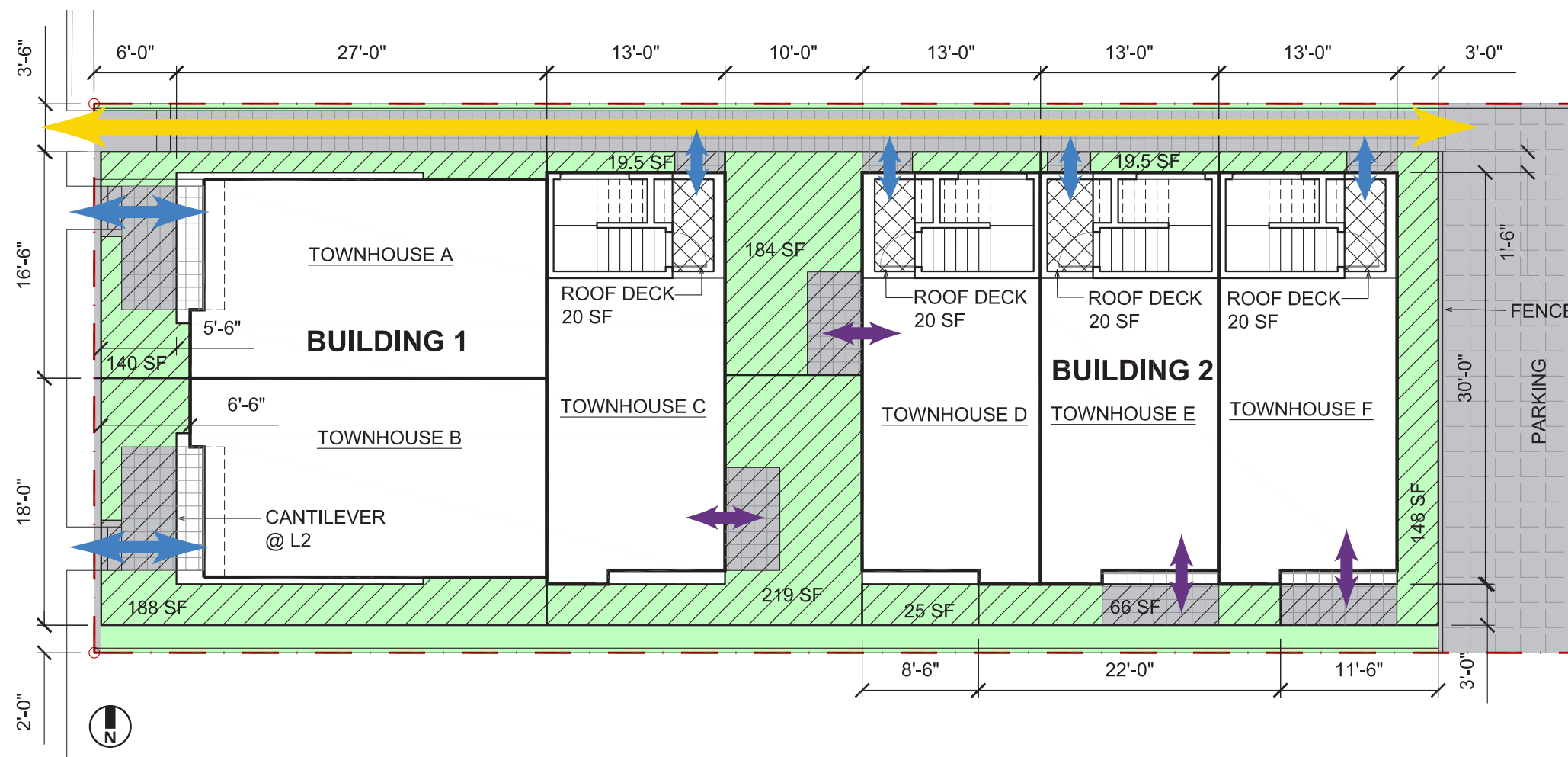
The proposed Amenity Area Adjustment is 1,089 sf, where 1,200 sf is required by code. This is a 9% reduction, which is less than the 10% allowed through SDR.

Typically, larger rooftop decks would be provided, however due to the quantity of solar panels required to reach the project's Net Zero goal, only small roof access decks are possible. While the project loses rooftop amenity area, it gains the ability to produce enough energy on site to power the entire project. The decision to prioritize solar energy production meets design guideline CS1.A.1: Energy Choices.

Additionally, to compensate for less amenity area, the layout of level one has been designed to maximize access and utility of the south and center yards. With sliding door access and lots of glazing, the ground level amenity becomes an extension of the interior, creating a truly usable space, which meets design criteria DC3.A.1, Building Open Space Relationships.

### CIRCULATION

The primary pedestrian circulation path is along the north side of the property. This opens up the south and center yard to be planted and used as private amenity space. Vehicular access is from the east, off of the alley.





ZONING STANDARDS

ZONING: LR3

SMC	REQUIREMENT	PROPOSED
23.45.504	Permitted and Prohibited Uses	Residential use permitted outright.
23.45.510	Floor Area Ratio (FAR) Limits	
	Per Table A 23.45.510, FAR for townhouses in an LR3 zone is 1.2 or 1.4 if the project meets the standards of subsection 23.45.510.C.	Project to meet 23.45.510.C, allowing FAR of 1.4. Lot Area: 4,800 SF Max Floor Area Allowed: 6,720 SF (5,987.5 X 1.4) Proposed: 6,340 SF
23.45.510.C		
	C.1. The structure will meet green building performance standards by earning LEED Silver rating or a Built Green 4-Star rating. C.3-4. Parking Location and Access.	Proposed: Built Green 4-Star Parking area located at the rear of the lot, behind all structures, with access from the alley.
23.45.512	Density Limits	
	No density limit if project meets 23.45.510.C.	Compliant: 6 dwelling units proposed, project to meet 23.45.510.C.
23.45.514	Structure Height	
	Maximum 30' height limit, with exceptions for sloped roofs, overhangs, parapets, penthouses, (and solar collectors per 23.44.046).	Compliant: See elevation and section drawings with height diagram.
23.45.518	Setbacks and Separations	
	Front: 7' Average, 5' Minimum, and 12' Minimum above 34'; Rear: 7' Average, 5' Minimum; Side: 5' Minimum; Separations Between Structures: 10' Minimum.	Front Setback - Average 6.27', Min 6', Adjustment Proposed, see p. 22 (50% decrease allowed with SDR) Rear Setback - 25'-3", Compliant. Side Setbacks - 5', Compliant. 12' Min above 34' - none, Compliant. Between Structures - 10' Compliant.
23.45.522	Amenity Area	
	25% of lot area req'd, 50% at ground level, minimum. 4,800 SF x 25% = 1,200 SF required. 1,200 x 50% = 600 SF required at ground level.	1,089 SF Total, Adjustment proposed, see p. 23 (10% reduction allowed through SDR) 1,009 @ Grade 80 @ Roof Deck
23.45.524	Landscaping	
	Minimum 0.6 Green Factor required, street trees required.	Compliant: Green Factor greater than 0.6 proposed, new street trees proposed.
23.45.527	Structure Width and Facade Length Limits	
	Maximum Width 150', Maximum Facade Length: 65% of lot line, 120' x 65% = 78'-0" maximum facade length.	Maximum Structure Width: 30'-0", Compliant. Maximum Facade Length: 79'-0", Adjustment proposed, see p. 22 (10% increase allowed through SDR)
23.54.015	Required Parking	
	0 parking spaces required (Urban Village). 2 bicycle spaces required.	Compliant: 5 small parking spaces provided. 2 bicycle spaces provided.
23.54.040	Solid Waste Storage and Access	
	One 2'x6' storage area per dwelling unit required.	Compliant: (6) 2'x6' storage areas proposed.

PRIORITY GUIDELINES

CS2. Urban Patterns and Form (Capitol Hill Guidelines CS2.1 / CS2.1)

- A. Location in the City and Neighborhood
- C. Relationship to the Block
- D. Height Scale Bulk

Response: The site plan orients two units and all pedestrian access toward the street, 17th Ave E, with vehicular access at the rear of the site off the alley (Capitol Hill CS2.1 .iii-iv). As a mid-block site, with large single-family homes on either side, orienting two townhomes towards the street creates a consistent rhythm. The street facing façade is broken down with different material treatments (lap siding, fiber cement siding, metal railing) and massing that defines the two individual entries.

CS3. Architectural Context and Character

- A. Emphasizing Positive Neighborhood Attributes:

Response: The design takes cues from the neighboring single-family homes, utilizing lap siding as the accent material and extending eaves at the roof. By incorporating compatible architecture features, the contemporary shed roof feels harmonious.

PL2. Walkability

- B. Safety and Security

Response: With two units that have entries and balconies facing 17th Ave E, the design creates opportunities for more ‘eyes on the street’. Additionally, lighting will be provided along the pedestrian paths and at the alley to create safety and security on site.

PL3. Street-Level Interaction (Capitol Hill Guideline PL2.1)

- B. Residential Edges

Response: The street facing façade uses two cantilevered masses to define the unit entries, while also forming balconies above. This articulation breaks down the façade into human scale, creating two defined and covered outdoor experiences. The back units utilize awnings to define entry points and amenity space, while also breaking down the ground level experience into human scale.

DC2. Architectural Concept

- A. Massing:
- C. Secondary Architectural Features

Response: By cantilevering two masses at the street façade, recessed entries and balconies are created. This articulation adds depth and interest and is a dual purpose building element, which breaks down the scale of the primary facade.

The shed roof, which slopes towards the south to maximize solar panel exposure, also creates an opportunity to incorporate extended eaves, which is an architectural feature present on the neighboring buildings. The perceived mass of the south façade is reduced by the shed roof, which is at its lowest along the south. The north façade uses the extended eave to delineate the lower roof line, in order to separate and setback the penthouses, reducing their perceived height.

DC4. Exterior Elements and Material (Capitol Hill Guideline DC4.II)

- A. Exterior Elements and Finishes
- C. Lighting

Response: The fiber cement lap siding is both durable and textured, creating an accent which is utilitarian and compatible with the neighbors. The street facing façade also incorporates metal railing at the Level 3 balconies, which provides another layer of material texture to the primary elevation. Additionally, lighting will be provided at unit entries, along pathways and in the landscaping to highlight architectural features and create site safety.





**A**



**B**



**C**



**D**



**E**



**F**

- A** ONEONE6  
116 17th AVE E / SEATTLE, WA
- B** 5902 BALLARD  
5902 22ND AVE NW/ SEATTLE, WA
- C** 225 HOME  
225 27TH AVE E / SEATTLE, WA

- D** 2418 BALLARD  
2418 NW 58TH ST / SEATTLE, WA
- E** 11219 TOWNHOMES  
11219 GREENWOOD AVE N / SEATTLE, WA
- F** 16TH AVE TOWNHOMES  
1114 16TH AVE / SEATTLE, WA

**RECENT WORK**  
**SHW**