



**315 Federal Ave E
Seattle, WA 98102**

Streamline Design Review
SDCI Project # 3026891
May 22, 2017

mas | architecture llc

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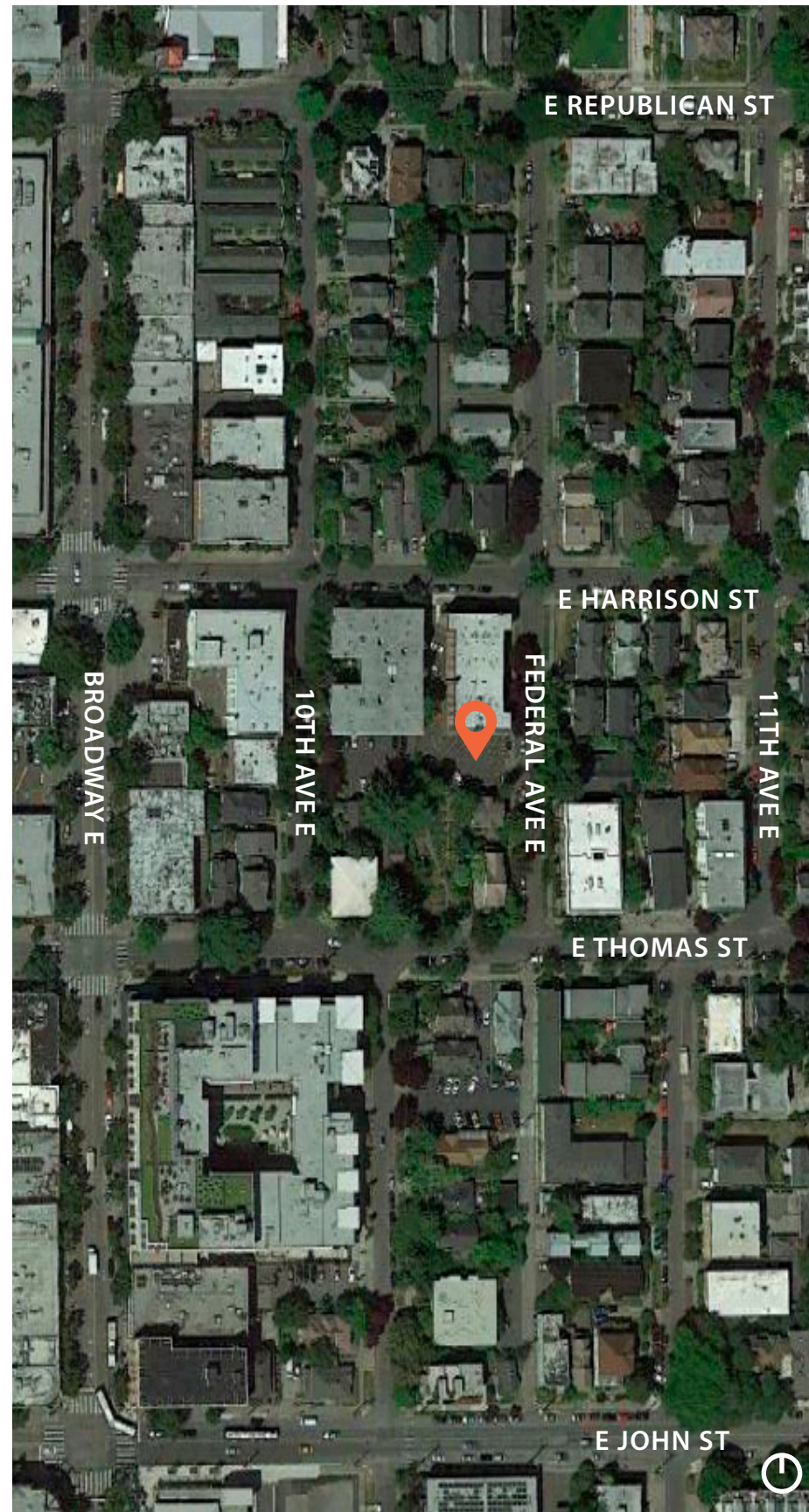
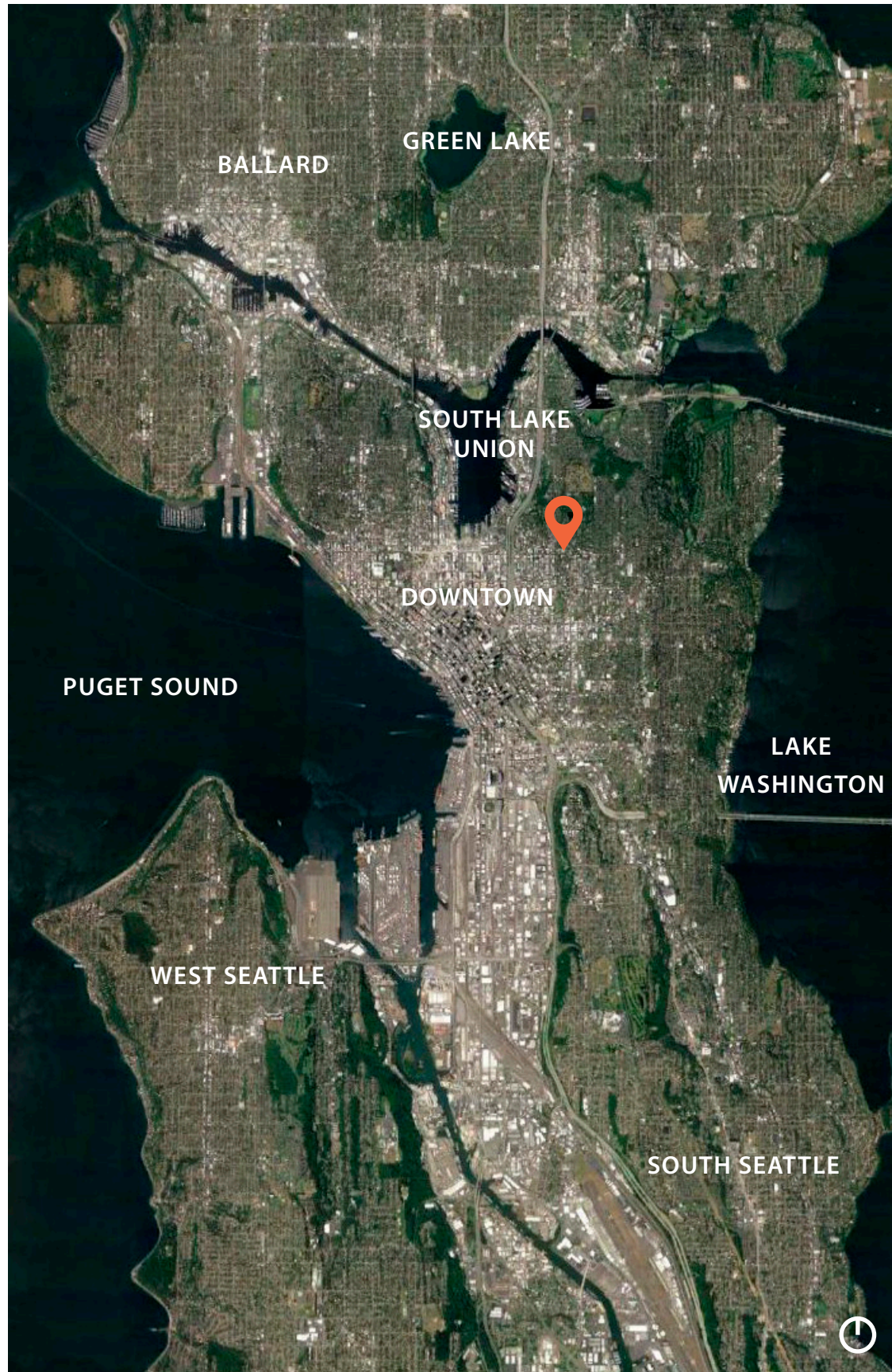


ADDRESS
315 Federal Avenue East

OWNER/DEVELOPER
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PROPOSAL DESCRIPTION | Project Overview



PROJECT PROPOSAL

34 Small Efficiency Dwelling Units

0 Parking Stalls

0 SF Commercial Square Footage

PROJECT OVERVIEW

The site is centrally located on Capitol Hill two blocks east of Broadway Ave E and three blocks north of Cal Anderson Park. The Capitol Hill Light Rail Station is two blocks to the south. The site is currently utilized as parking, is nearly 100% paved and flat.

The subject parcel is zoned LR3 as is the adjacent zoning. Adjacent uses include large multi-family structures to the north and west, a 3 unit multi-family structure to the south, Thomas Street Gardens to the southwest and a single family residence and townhomes to the east.

The site has access to Light Rail and numerous bus routes and is located within the Capitol Hill Urban Center Village and Light Rail CH overlay. Frequent transit and Urban Center Designation qualifies the site to be developed without parking.

The proposal is for a four story with basement multi-family structure housing 34 Efficiency Dwelling Units.

CONTEXT ANALYSIS | Surrounding Uses

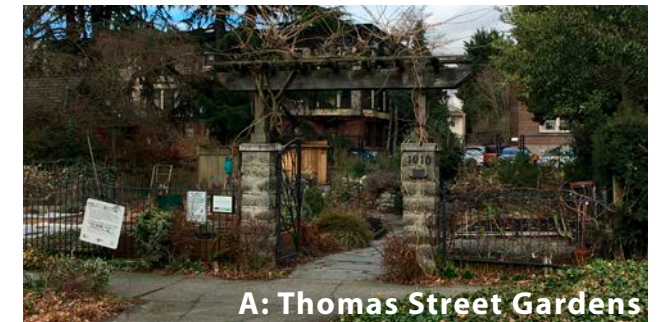
BUILDING TYPOLOGIES

The immediate neighborhood is densely populated with a mix of large multi-family, mid-size multi-family, converted single family to multi-family, row houses, townhomes and single family residences. Immediate adjacent uses include large 3.5 story multi-family structure to the north, a three story multi-family structure to the northwest, a parking lot to the west, a two story 3 unit multi-family structure to the south, Thomas Street Gardens to the southwest and a two story single family residence and 2.5 story townhomes to the east.

Broadway Ave E, two blocks to the east is commercial in nature and is a combination of single story structures and mixed use structures up to five stories in height. The Capitol Hill Light Rail Station is located on Broadway approximately two blocks from the site.

Noteworthy Landmarks include Cal Anderson Park, two blocks south and Volunteer Park, five blocks north.

- Commercial
- Multi-Family
- Mixed-Use
- Single-Family
- Transportation

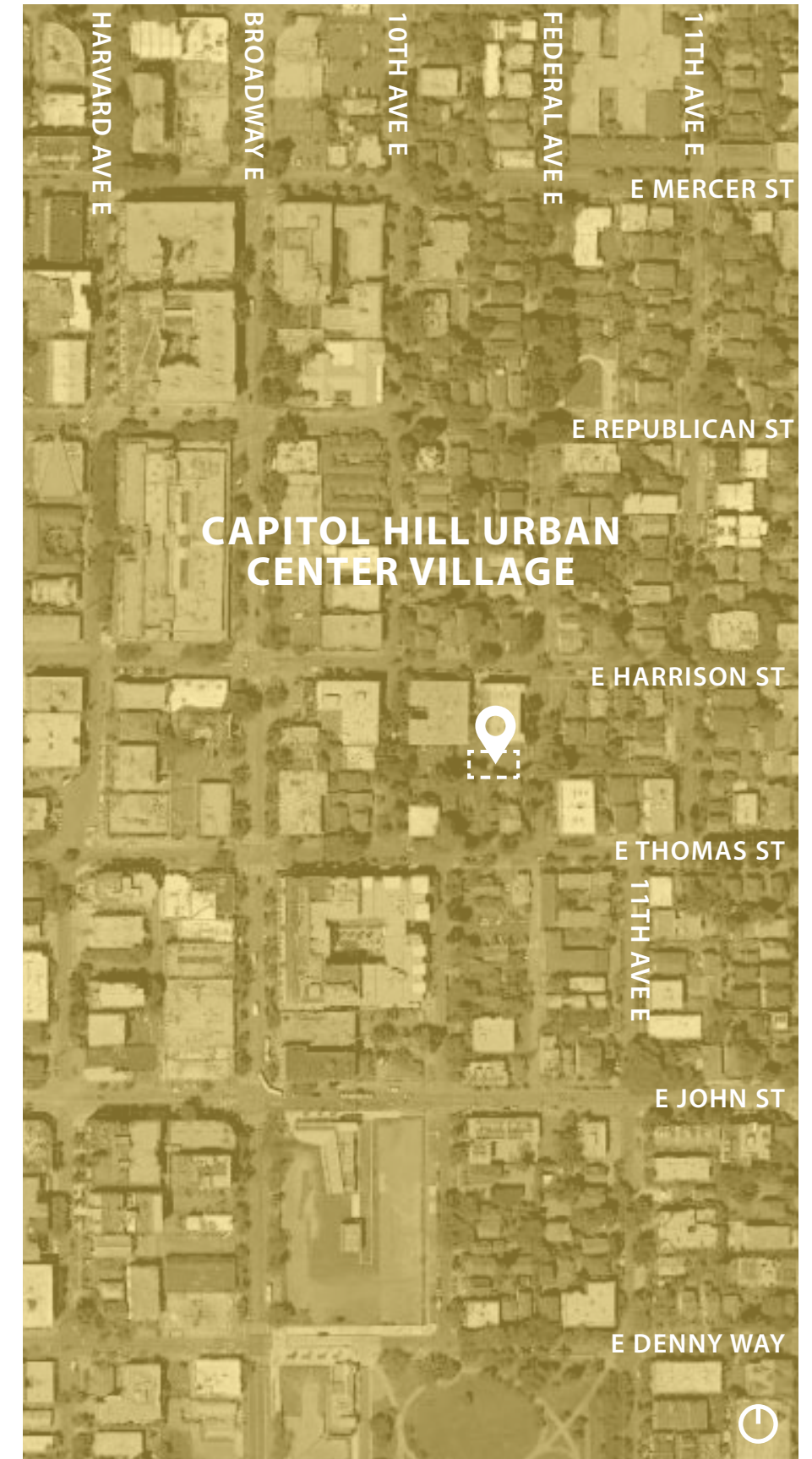
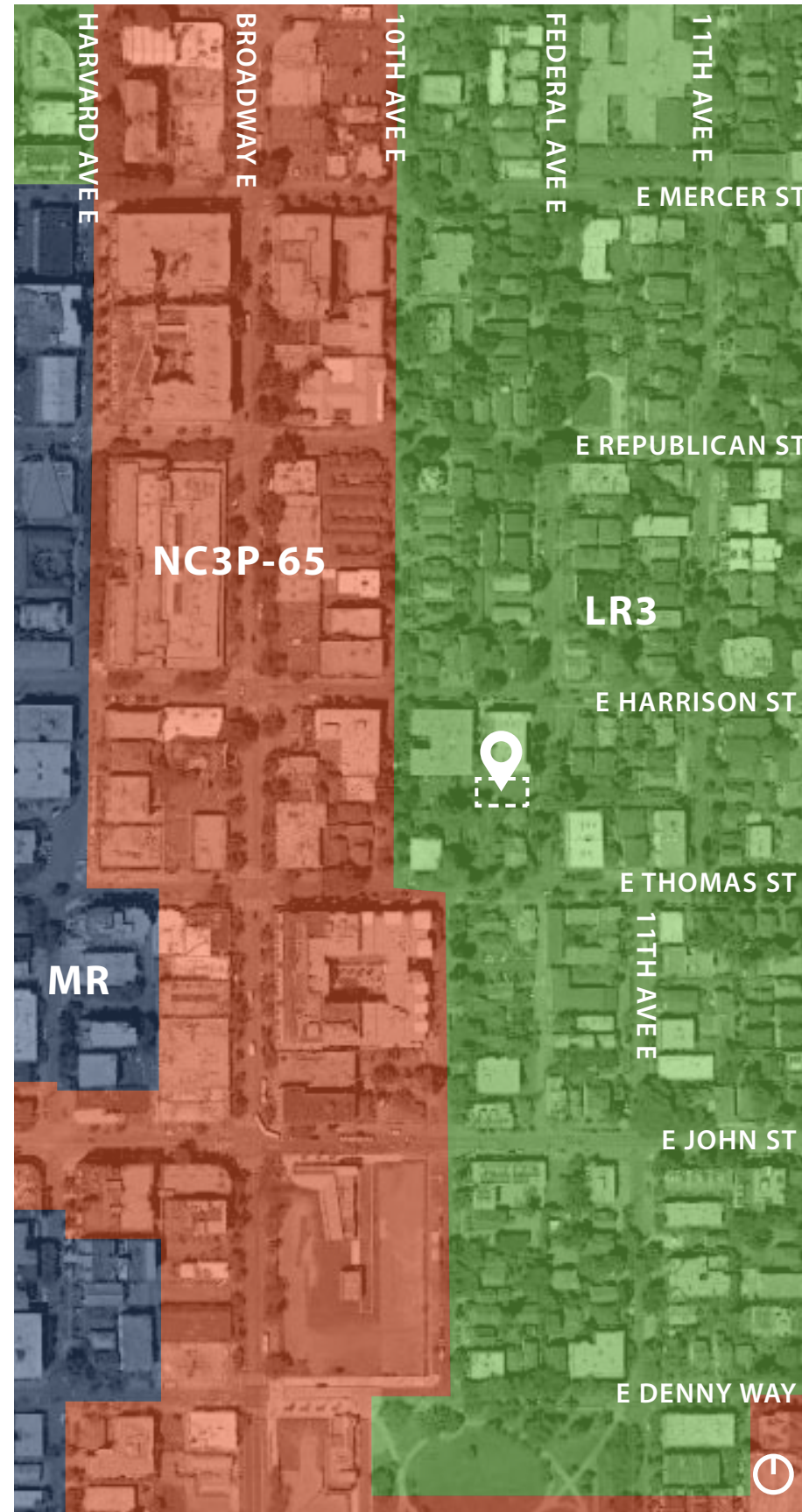


CONTEXT ANALYSIS | Zoning & Urban Villages

ZONING & URBAN VILLAGES

The parcel is zoned LR3 and is within both the Capitol Hill Urban Center Village and the Capitol Hill Light Rail Station Overlay. The site is bound- ed by LR3 zoning on all sides and transitions to NC3P-65 one block to the east.

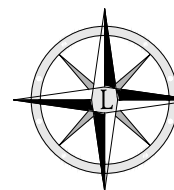
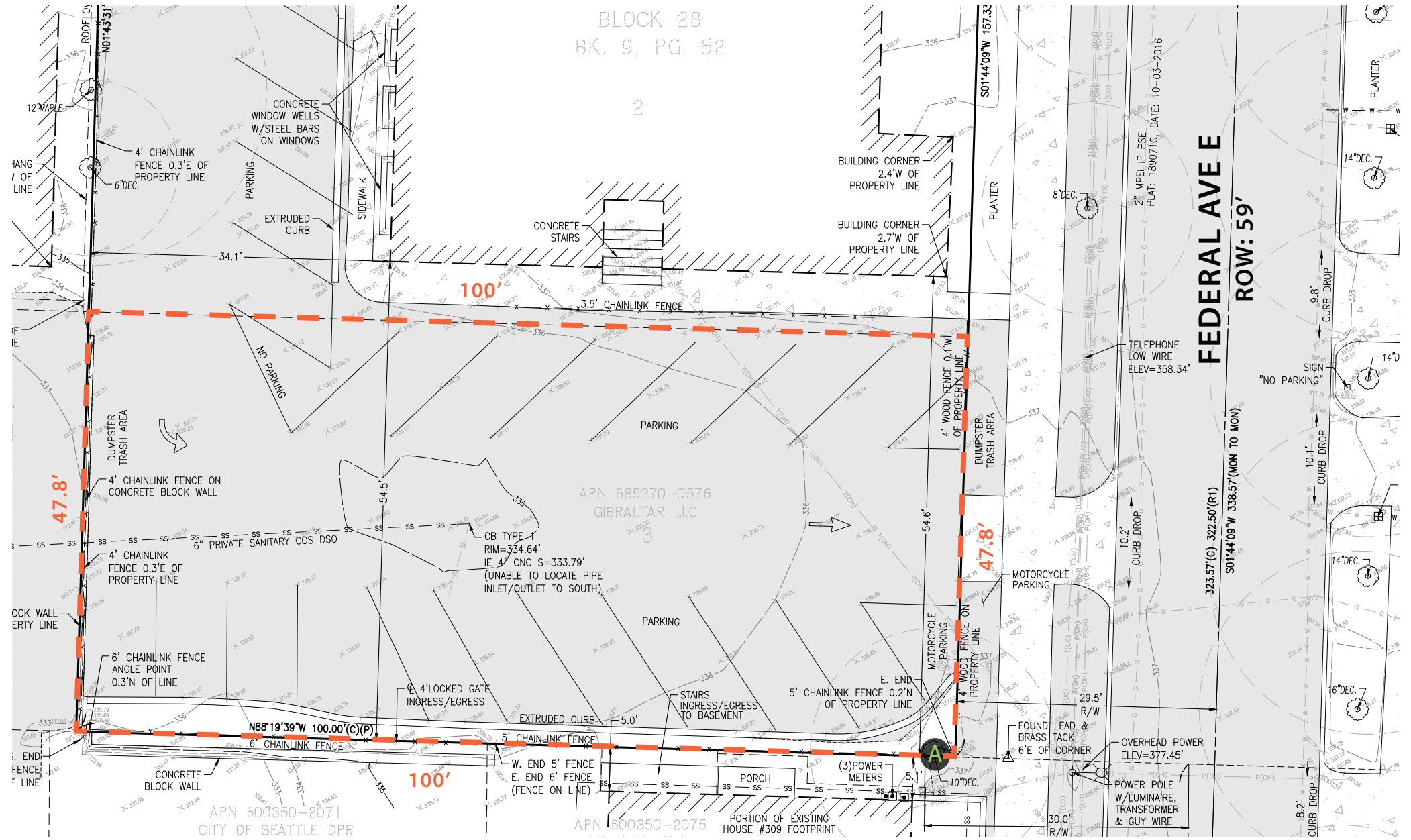
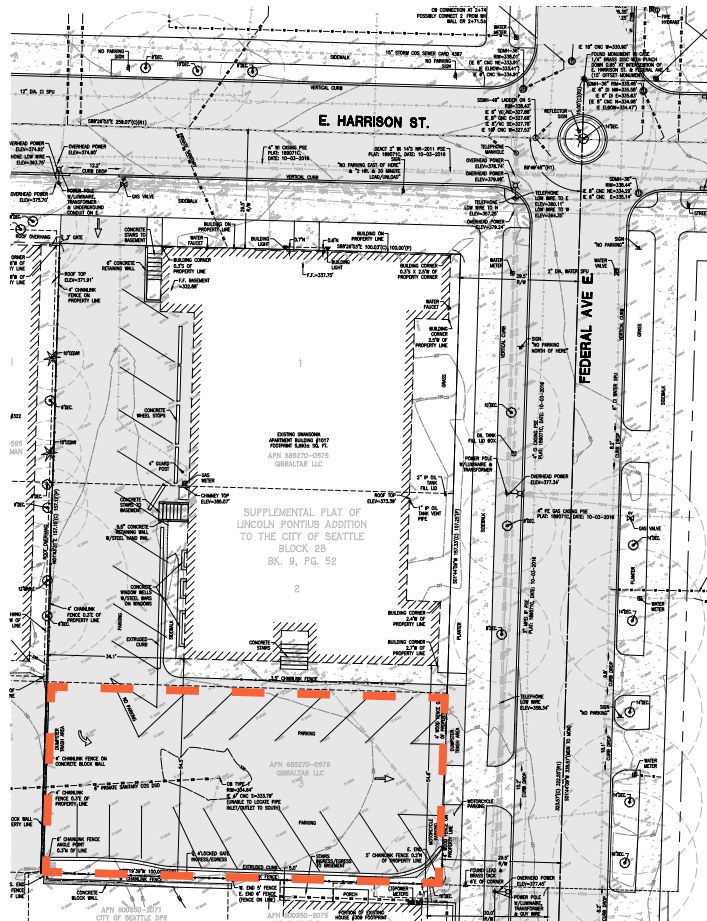
PARCEL #	6852700576
BASE ZONE	LR3
URBAN VILLAGE	CAPITOL HILL
PEDESTRIAN AREA	NO
FREQUENT TRANSIT	YES
ZONING NORTH	LR3
ZONING EAST	LR3
ZONING SOUTH	LR3
ZONING WEST	LR3
ECA	NO
LOT SQ FT	4778 SQ FT



EXISTING SITE CONDITIONS | Site Survey

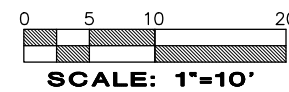
EXISTING SITE CONDITIONS

The site is flat, 100% paved and utilized as a parking lot. There is a concrete block wall located on the adjacent properties to the west and south west. In both cases the adjacent parcels are approximately 3' lower than the subject property. Federal Way frontage includes curb, planting strip sidewalk and curb cut. The curb cut will be removed and the planting strip will include street trees.



**LANKTREE
LAND SURVEYING, INC.**

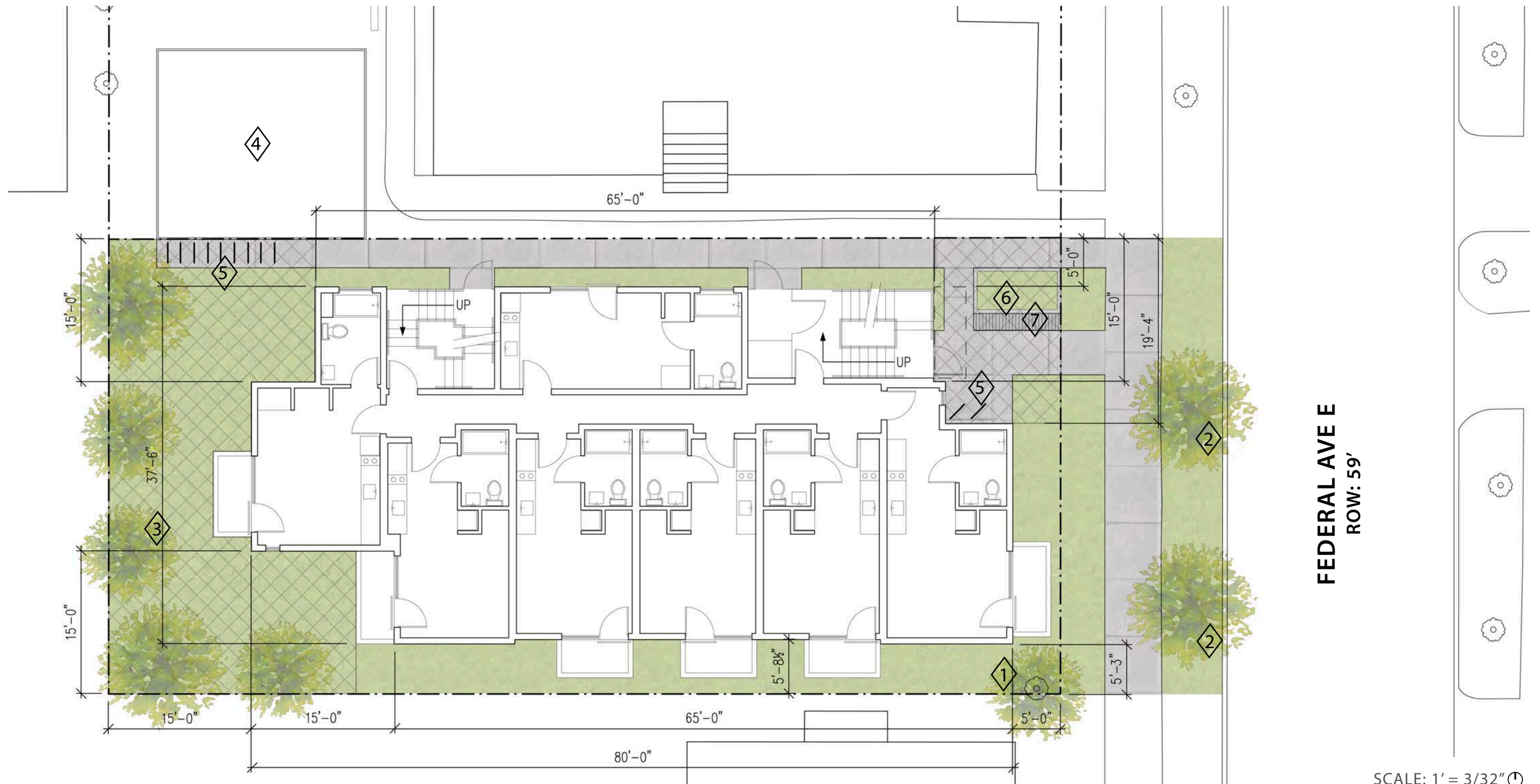
421 "B" STREET N.E., AUBURN, WA 98002
PHONE: (253) 653-6423
FAX: (253) 793-1616
WWW.LANKTREELANDSURVEYING.COM



Lot Size: 4778 sqft

A 10" Deciduous Tree (To Remain)

SITE PLAN | Site & Landscape Plan











LEGAL DESCRIPTION

PONTIUS LINCOLN SUPL PLAT

PLAT BLOCK: 28

PLAT LOT: 3

- | | | | |
|---|---|---|---|
|  Amenity/Open Spaces |  Constellation Dogwood |  Solid Waste Storage |  Planter |
|  Existing 10" Deciduous Tree |  Cluster of Constellation Dogwoods |  Bicycle Parking |  Bench |

ZONING DATA | Land Use Code

LAND USE CODE SUMMARY

Proposed development will meet following standards.

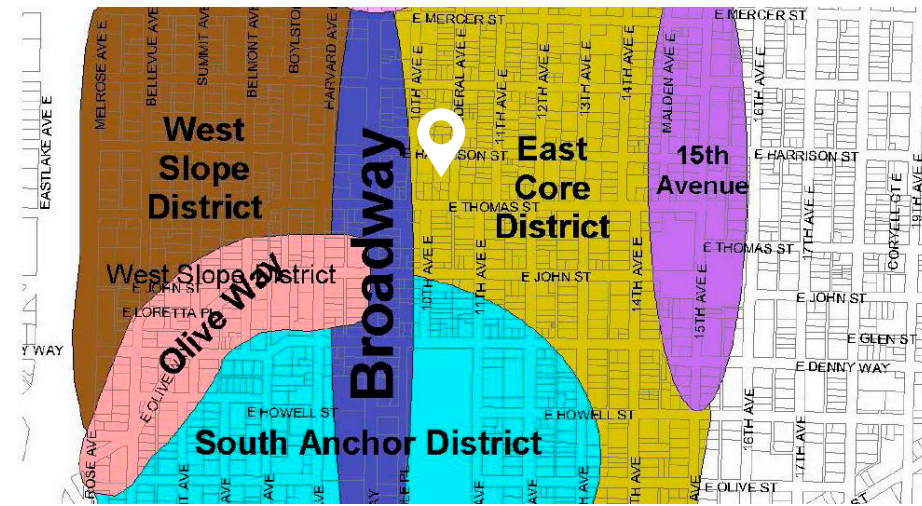
PERMITTED USES	Table A 23.45.504: Residential uses permitted.
FLOOR AREA RATIO	Table A 23.45.510: Apartment in LR3 = 2.0; 2.0 x 4778 sq ft = 9556 sq ft.
DENSITY LIMITS	Table A 23.45.512: Apartment in LR3 = No Limit.
STRUCTURE HEIGHT	Table A 23.45.514: Apartment in LR3 inside Urban Center, Urban Village, & Station Area Overlay = 40 feet. 23.45.514 F: 4 foot bonus with partially below grade story.
SETBACKS	Table A 23.45.518: Front = 5 feet Rear = 15 feet Side = 7 feet average, 5 feet minimum

AMENITY AREA	23.45.522 A: 1. Required amount of amenity area for apartments in LR zones equals 25% of lot area. 2. Minimum of 50% of required amenity area shall be provided at ground level.
STRUCTURE WIDTH LIMIT	Table A 23.45.527: Apartment in LR3 inside Urban Center, Urban Village, or Station area Overlay = 150 feet building width limit.
FACADE LENGTH LIMITS	23.45.527 B.1: Maximum combined length of all portions of facades within 15 feet of a side lot line shall not exceed 65% of length of total lot.
LANDSCAPE GREEN FACTOR	Score of 0.6 or greater is required.
REQUIRED PARKING	Table B 23.54.015 II. L: No minimum requirement.

DESIGN GUIDELINES | Priority Guidelines

CAPITOL HILL NEIGHBORHOOD DESIGN GUIDELINES

The site falls within the East Core District of the Capitol Hill Design Guidelines. This area is characterized as small, tightly knit lots that support finely scaled houses, duplexes, and small apartment buildings. The proposed project is one block east of the Broadway Corridor, which is characterized as an active, vibrant and interesting commercial street. Due to this adjacency, the site is a transitional area between the Broadway Corridor and the East Core and is surrounded by larger multi-parcel multi-story apartment complexes.



CONTEXT AND SITE

CS2. Urban Pattern and Form

III. Height, Bulk, and Scale

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less-intensive zones.

- i. Break up building mass by incorporating different façade treatments to give the impression of multiple, small-scale buildings, in keeping with the established development pattern.

The proposed multi-family structure is compatible with the scale of development anticipated by the applicable Land Use Policies present today and may potentially undergo an increase in development capacity or change in zone type under proposed legislation.

While the structure is contemporary in nature the design is intended to complement adjacent buildings and landscaping. The street facing façade incorporates different façade treatments to reduce the perceive mass. Materials utilized on the street facing façade include cementitious panel, standing seam metal, opaque balconies and metal grating. The metal grating is provided as an opportunity for vertical

landscaping to soften and further articulate the street facing façade. Horizontal delineation is provided at facades to align with adjacent floor lines and glazing patterns and the footprint, façade width and length address the primary objective of the East Core District to increase detached, small scale multiple-family housing.

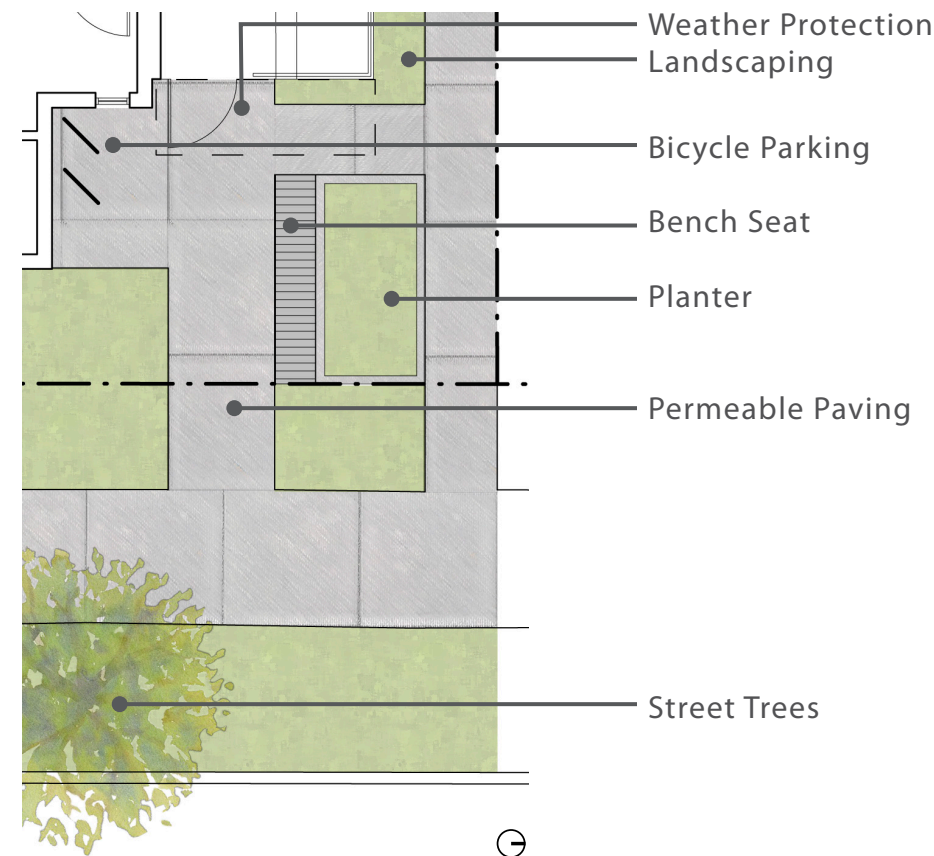
PUBLIC LIFE

PL2. Walkability

II. Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building's entry should be provided to ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather.

The entry is via an open stair facing Federal Ave E. The entry is setback from the right-of-way +/-13' providing amenity space incorporating landscaping, seating, and bicycle parking. The open stair is enclosed by metal grating which, over time, is intended to support vegetation. A 3' deep painted metal canopy is proposed to better define the pedestrian entry and provide weather protection. Between the entry and the right-of-way, a low concrete planter with landscaping is proposed incorporating down lighting and bench seating. Additionally, bicycle parking for 6 bicycles is located adjacent to the front entry.



DESIGN CONCEPT

DC1. Project Uses and Activities

II. Screening of Dumpsters, Utilities, and Service Areas
New developments should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible.

The dumpster location is proposed to be shared with the apartment building located at 1017 E Harrison St and under the same ownership. Per 23.54.040 the proposed location requires the Director, in consultation with the Director of Public Utilities, to approve of this location. SPU has reviewed and approved the proposed location. The proposed location is located at the SW corner of the parcel directly to the north and consolidates the required garbage enclosure into one structure for both parcels. The location is well screened from the public right-of-way for both parcels and will be enclosed by fencing.

DC3. Open Space Concept

I. Residential Open Spaces

Residential projects should be sited to maximize opportunities for usable, attractive, well-integrated open spaces.

- i. Incorporate quasi-public open space with new residential development.
- vi. Use landscape materials that are sustainable.
- vii. Use porous paving materials to enhance design while also minimizing storm water run-off.

The proposal provides amenity space situated at the front of the structure facing Federal Ave E. The building entry is setback from the ROW +/-13' providing an opportunity for a small entry sequence including a raised planter bed and bench seating. On-site paving will be permeable and all landscaping is proposed as drought tolerant. The existing curb cut will be removed and ROW street trees will be provided.

DC4. Exterior Elements and Finishes

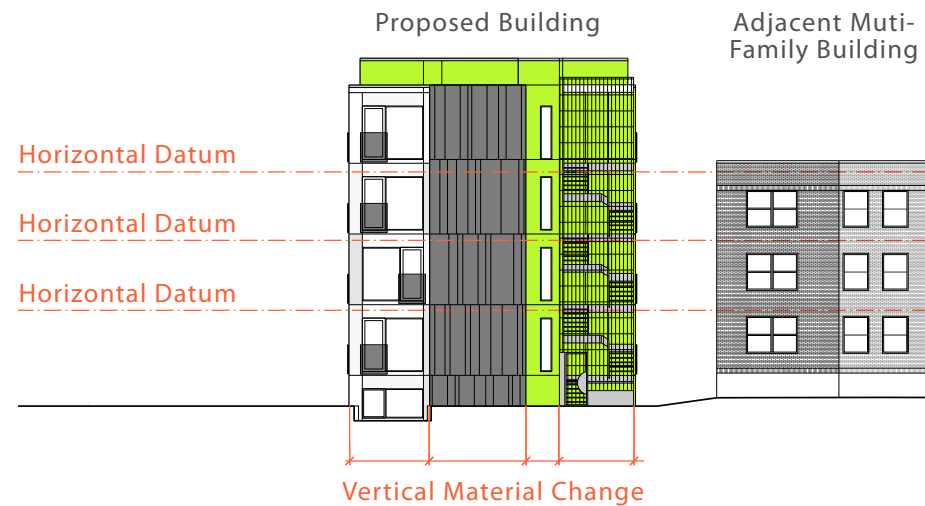
II. Exterior Finish Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern or lend themselves to a high quality of detailing are encouraged.

Cementitious panels encompass each façade. They will include color differentiation for interest, while helping to minimize bulk and scale of the structure. Maximized fenestration and opaque decklets add secondary architectural elements to further reduce the bulk and scale. The front façade also features standing seam metal siding, which

DESIGN GUIDELINES | Priority Guidelines

provides an element of interest and texture, and galvanized metal bar grating, which will provide an opportunity for landscaping to grow and soften the façade. The parapet is setback from the façade at all elevations to reduce perceived massing and provides an opportunity for color differentiation which is carried vertically down the front façade into the open stairwell.



SEATTLE DESIGN GUIDELINES

CONTEXT AND SITE

CS2. Urban Pattern and Form

B. Adjacent Sites, Streets, and Open Spaces

2. Connection to the Street

Identify opportunities for the project to make a strong connection to the street and carefully consider how the building will interact with the public realm. Consider the qualities and character of the streetscape— its physical features (sidewalk, parking, landscape strip, street trees, travel lanes, and other amenities) and its function (major retail street or quieter residential street)—in siting and designing the building.

The proposed building entry is via an open stair facing Federal Ave E. setback approximately +/-13' providing amenity space incorporating landscaping, seating and bicycle parking.

The open stair is enclosed by metal grating which, over time, is intended to support vegetation. A 3' deep painted metal canopy is proposed to better define the pedestrian entry and provide weather protection.

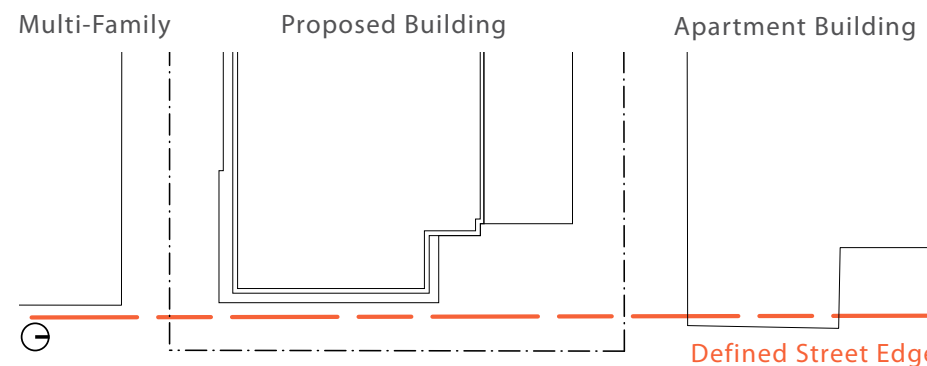
Between the entry and the right-of-way a low concrete planter with landscaping is proposed incorporating down lighting and bench seating. Additionally bicycle parking for 4 bicycles is located adjacent to the front entry.

C. Relationship to the Block

2. Mid-Block Sites

Look to the uses and scales of adjacent buildings for clues about how to design a mid-block building. Continue a strong street-edge where it is already present, and respond to datum lines created by adjacent buildings at the first three floors. Where adjacent properties are undeveloped or under-developed, design the party walls to provide visual interest through materials, color, texture, or other means.

The adjacent structures provide a strong street edge and the proposed structure will continue by siting the building adjacent to the front property line. Additionally horizontal datum lines align with the floor plates of the existing apartment building to the north and loosely with the multi-family building to the south. The stronger connection is made with the apartment building to the north as the structure to the south is more likely to be redeveloped.



CS3. Architectural Context and Character

B. Emphasizing Positive Neighborhood Attributes

1. Fitting Old and New

Create compatibility between new projects, and existing architectural context, including historic and modern designs, through building articulation, scale and proportion, roof forms, detailing, fenestration, and/or the use of complementary materials.

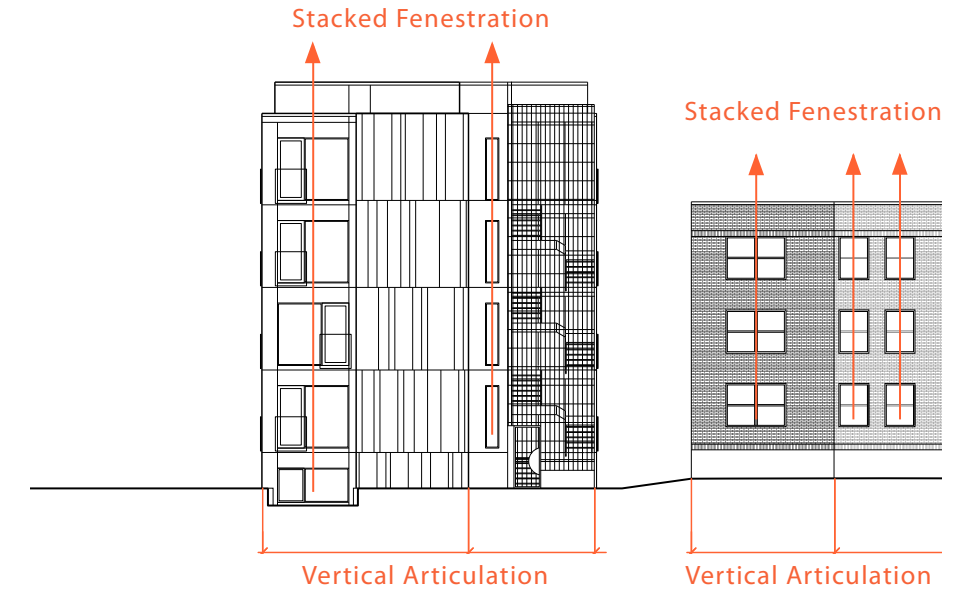
2. Contemporary Design

Explore how contemporary designs can contribute to the development of attractive new forms and architectural styles; as expressed through use of new materials or other means.

The proposed project is contemporary in nature utilizing contemporary materials while maintaining compatibility with adjacent architectural context.

Proposed materials include cementitious panels of varying colors, standing seam metal siding and galvanized bar grating intended to support vegetation.

The proposed structure is similar in bulk, scale and proportion to the apartment building to the north including a flat roof, aligned horizontal datum, stacked fenestration and vertical façade modulation.



DESIGN CONCEPT

DS2. Architectural Concept

A. Massing

2. Reducing Perceived Mass

Use secondary architectural elements to reduce the perceived mass of larger projects. Consider creating recesses or indentations in the building envelope; adding balconies, bay windows, porches, canopies or other elements; and/or highlighting building entries.

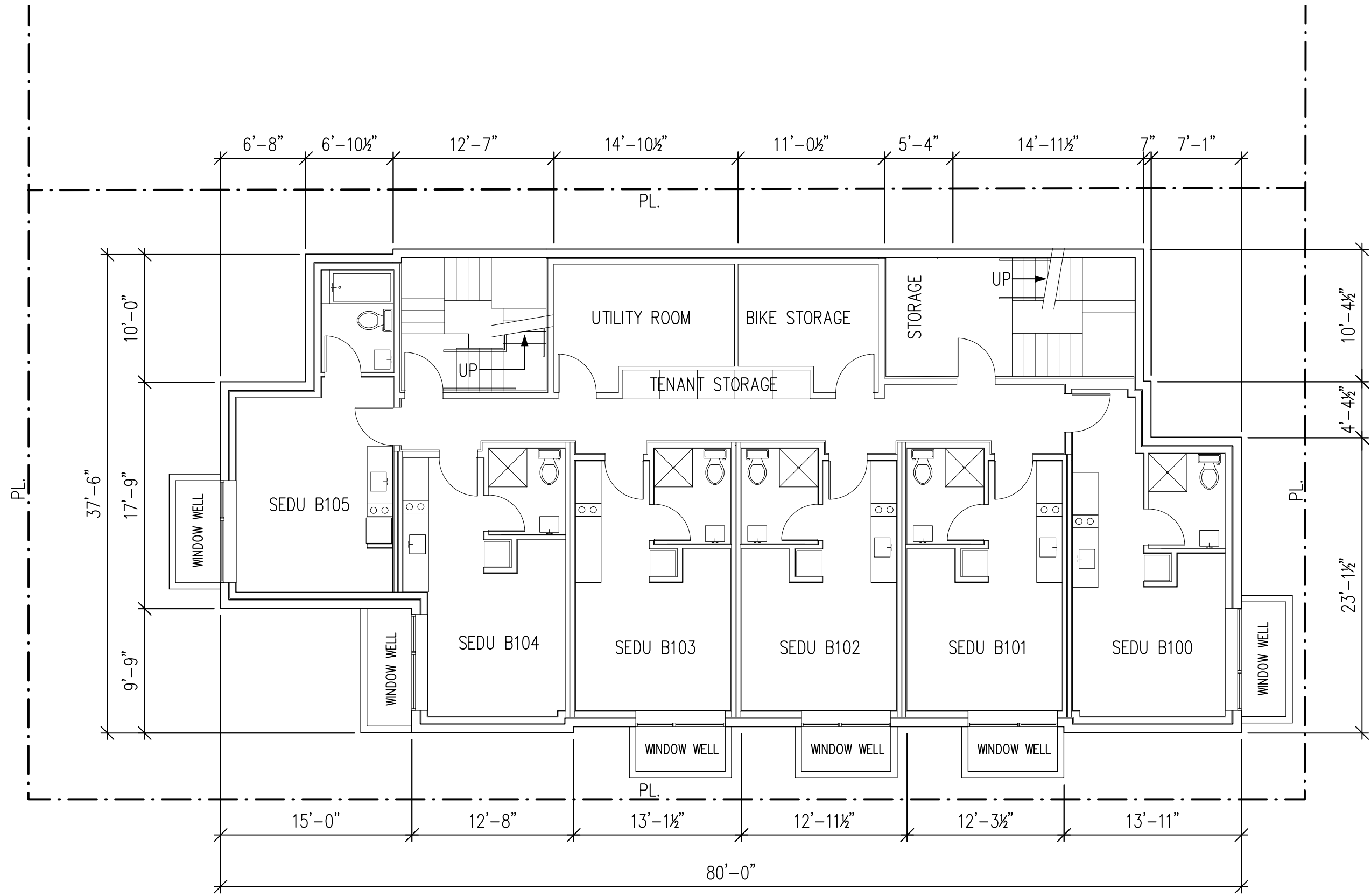
While the building is relatively small, and narrow, as viewed from Federal Ave N the perceived massing is further reduced by a combination of materials, vertical landscaping, small balconies and façade articulation.

Three prominent materials are proposed for the street facing façade including cementitious siding, standing seam metal siding and metal bar grating. The cementitious siding will utilize varying colors to reduce perceived mass, the standing seam metal siding in varying widths provides façade interest and again reduces perceived mass and the metal bar grating will provide an opportunity for vertical landscaping. Additionally the parapet is setback and introduces another color which is carried vertically down the façade and into the stair enclosure.

The small opaque decklets incorporate a secondary architectural element which is also included along the south façade. These opaque decklets provide architectural interest and reduce perceived massing.

While the internal facades do not incorporate all proposed materials, the massing is reduced with the incorporation of the opaque decklets as indicated above, cementitious panels of varying color, parapet setback and color change and stairwells enclosed by open metal bar grating providing opportunities for landscaping.

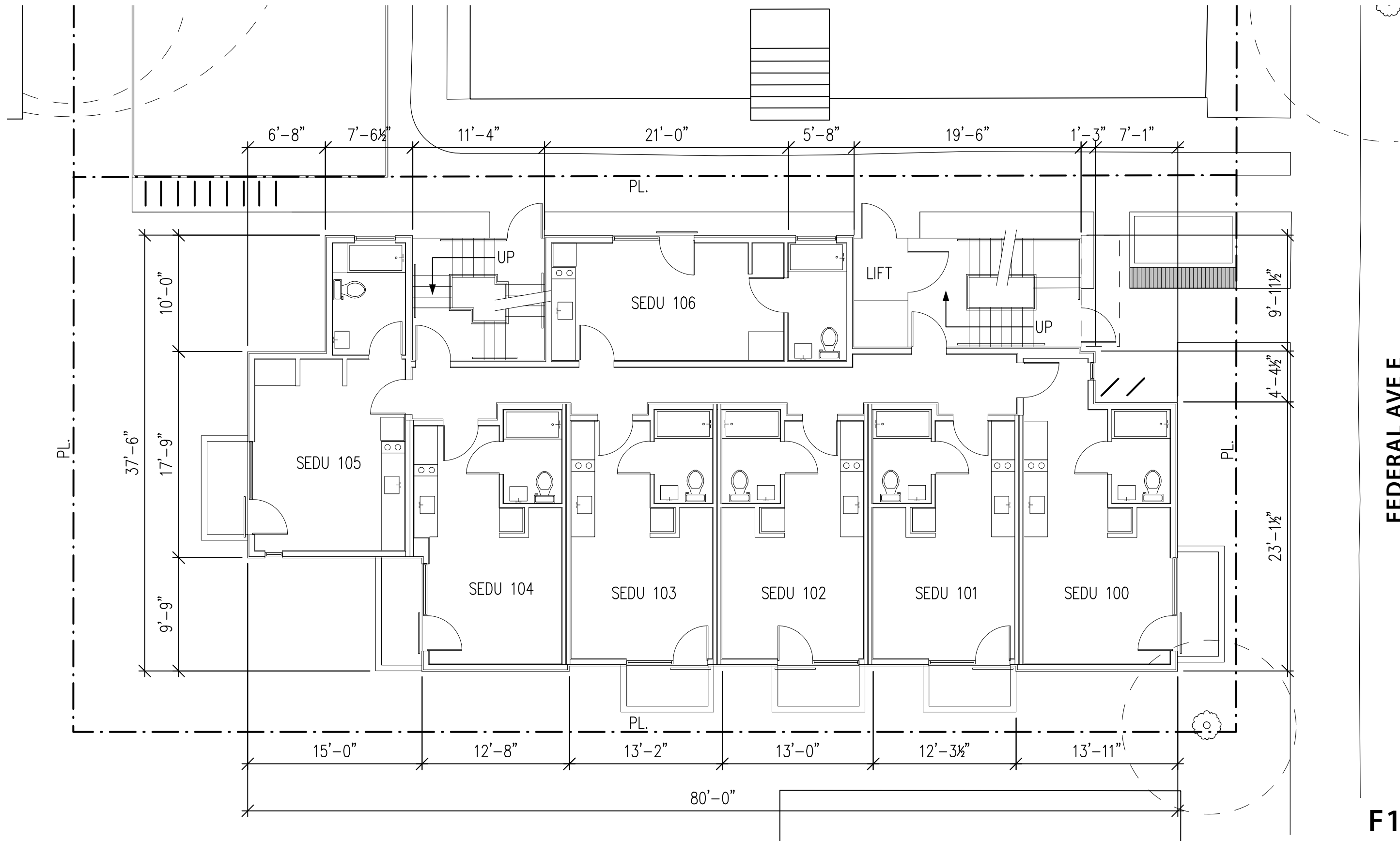
ARCHITECTURAL CONCEPT | Floor Plans



L1

SCALE: 1' = 1/8" ⌚

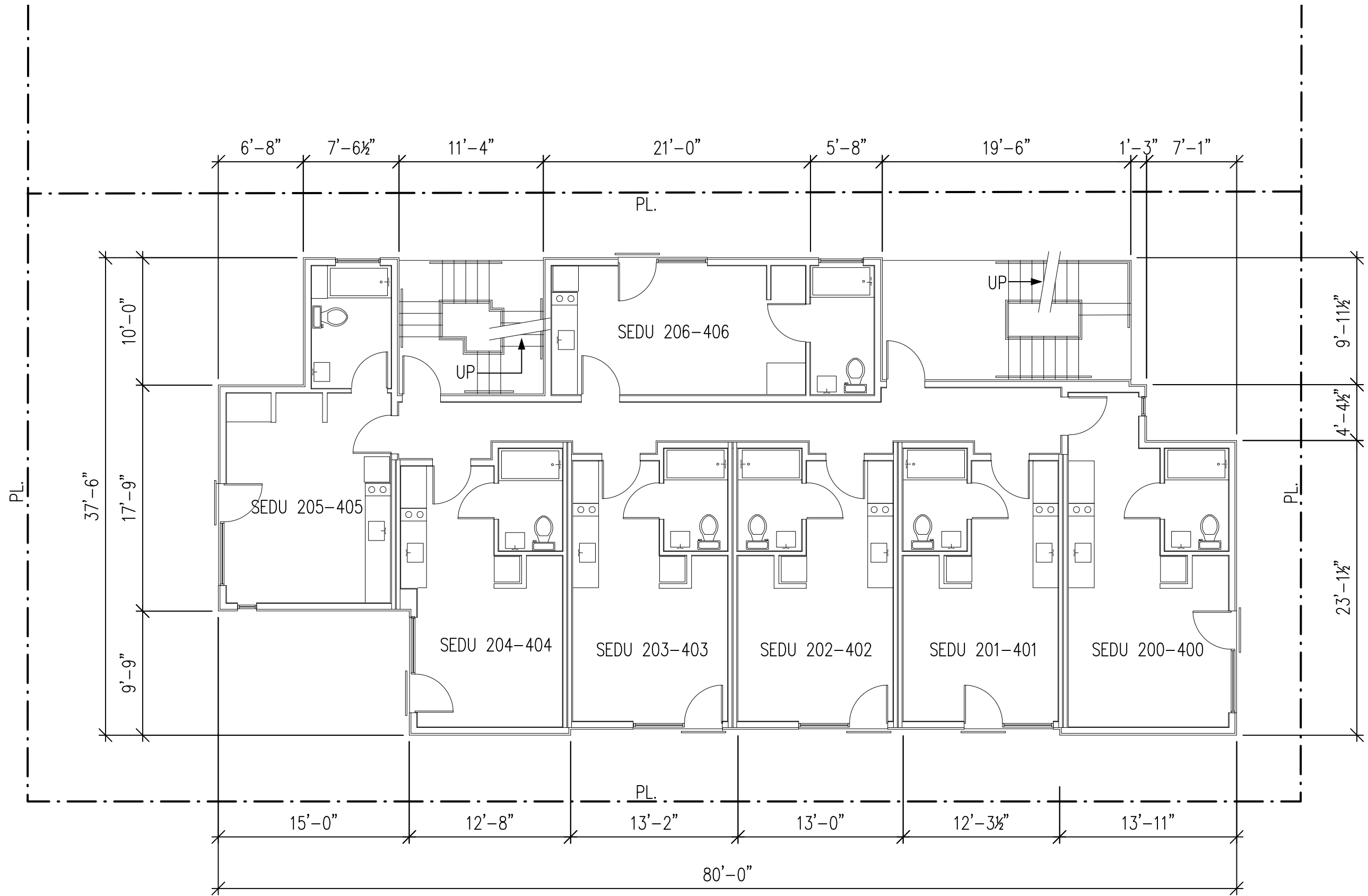
ARCHITECTURAL CONCEPT | Floor Plans



F1

SCALE: 1' = 1/8" Ⓢ

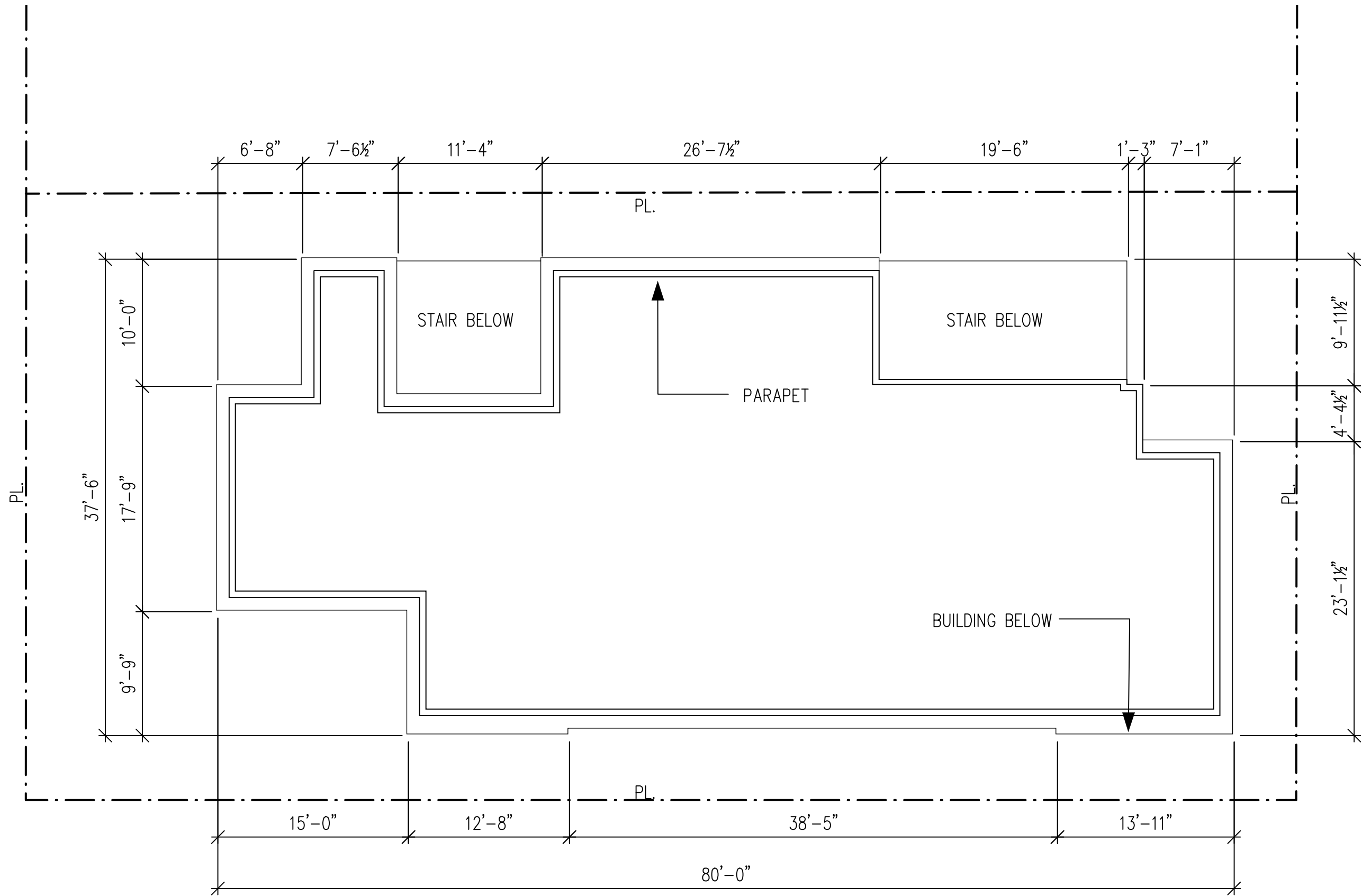
ARCHITECTURAL CONCEPT | Floor Plans



F2-F4

SCALE: 1' = 1/8" Ⓢ

ARCHITECTURAL CONCEPT | Floor Plans





SCALE: 1' = 1/8" ⓘ



ARCHITECTURAL CONCEPT | Elevations





East Elevation
SCALE: 1' = 1/8"

MATERIALS:

-  ATAS Versa-Line or Similar Standing Seam Metal Siding: Charcoal Grey
-  JamesHardie: HardiePanel Vertical Siding Smooth in Benjamin Moore: Margarita 2026-20

-  JamesHardie: HardiePanel Vertical Siding Smooth in Sherwin Williams: 7551 Greek Villa
-  JamesHardie: HardiePanel Vertical Siding Smooth in Sherwin Williams: 7637 Oyster White

-  JamesHardie: HardiePanel Vertical Siding Smooth in Sherwin Williams: 7671 On the Rocks
-  Galvanized Bar Grating: Maximum Spacing 4 inches





North Elevation
SCALE: 1' = 1/8"



ARCHITECTURAL CONCEPT | Elevations





East Elevation
SCALE: 1' = 1/8"

MATERIALS:

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-  JamesHardie: HardiePanel Vertical Siding Smooth in Sherwin Williams: 7671 On the Rocks
-  Galvanized Bar Grating: Maximum Spacing 4 inches



North Elevation
SCALE: 1' = 1/8"



