

Block 18
Early Design Guidance
Date: April 4, 2017
2205 7th Ave, DPD #3026858



GRAPHITE

Contents

A-3	Development Objectives
A-4	Site Plan
A-5	Context Aerial
A-6	Zoning and Code Analysis
A-9	Zoning Designation
A-10	Urban Design Analysis Seattle Section
A-11	Urban Design Analysis Surrounding Buildings
A-12	Urban Design Analysis Adjacent Building Heights
A-13	Urban Design Analysis Projected Aerial View
A-14	Urban Design Analysis Transportation
A-15	Urban Design Analysis Street Classification
A-16	Urban Design Analysis Denny Triangle
A-17	Site Analysis Existing Site Plan
A-18	Urban Design Analysis Bell Street Concept Plan
A-20	Site Analysis Street Views
A-24	Site Analysis Site Photos
A-25	Site Analysis Climate
A-26	Design Guidelines
A-28	Massing Response Early Studies
A-29	Massing Options
A-30	Massing Option 1
A-31	Massing Option 1 Site Plan
A-32	Massing Option 1 Floor Plans, 3D Views
A-33	Massing Option 1 Analysis
A-34	Massing Option 2
A-35	Massing Option 2 Site Plan
A-36	Massing Option 2 Floor Plans, 3D Views
A-37	Massing Option 2 Analysis
A-38	Massing Option 3 Preferred
A-39	Massing Option 3 Site Plan
A-40	Massing Option 3 Floor Plans, 3D Views
A-41	Massing Option 3 Analysis
A-42	Architectural Concept Fenestration
A-43	Architectural Concept
A-44	Landscape Concept
A-45	Landscape Concept 7th Avenue Street Section
A-46	Landscape Concept Bell Street Section
A-47	Landscape Concept Blanchard Street Section
A-48	Landscape Concept Opportunities
A-49	Analysis Solar Studies
A-50	Design Departures
A-54	Departure Matrix

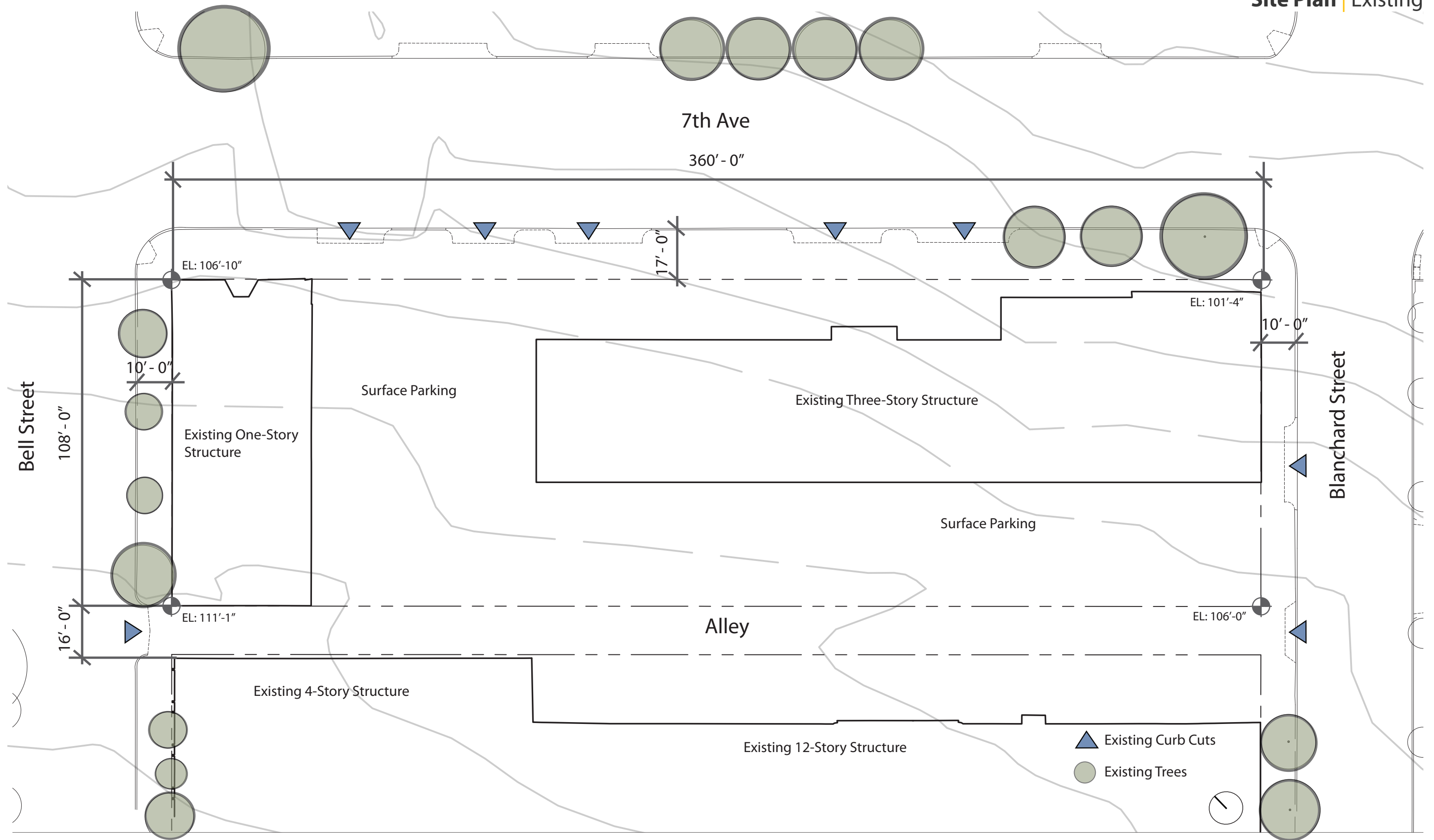
Project Information

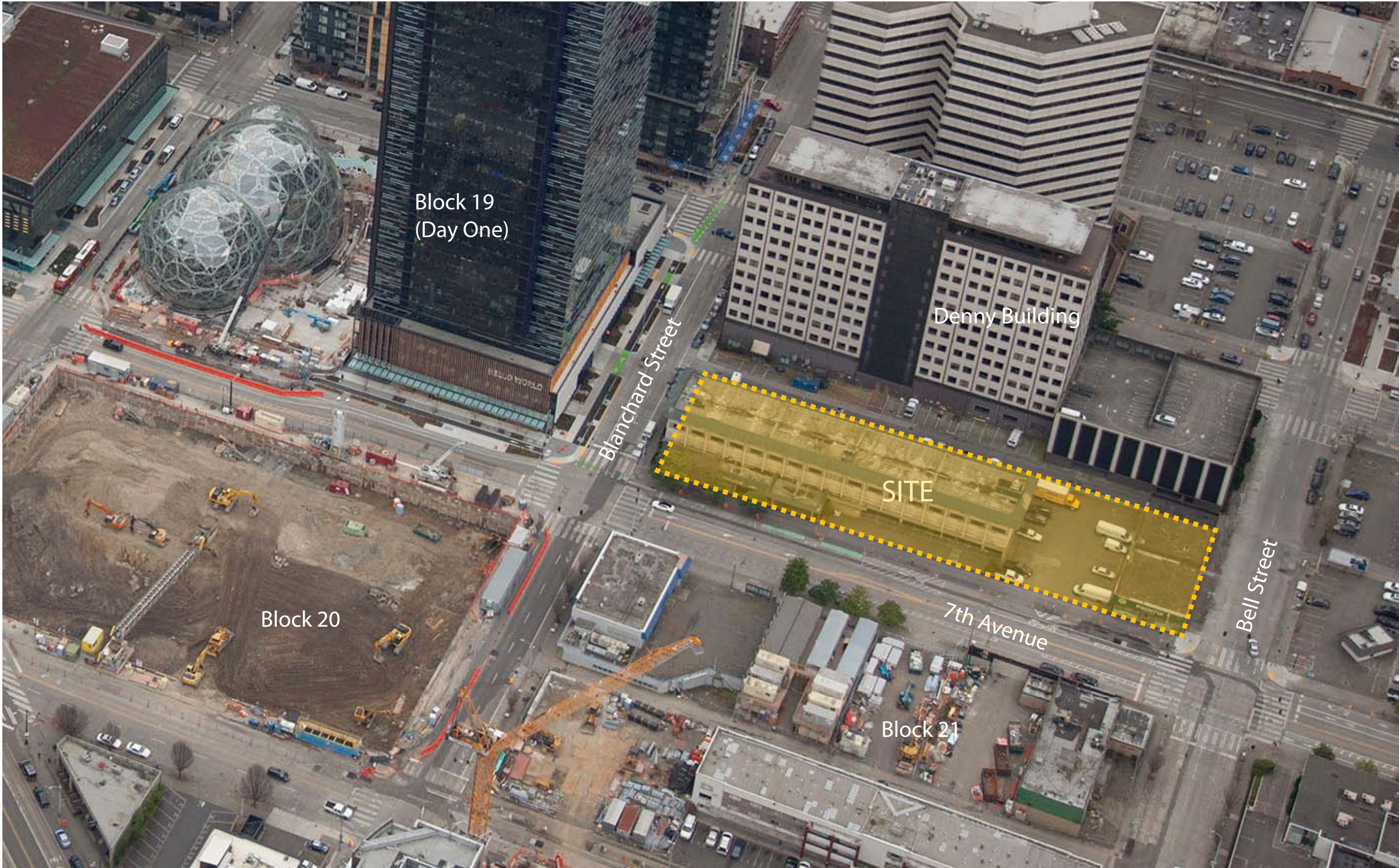
Property Address	2205 7th Avenue Seattle, WA 98101
SDCI Project Number	3026858
Owner	Acorn Development
Development Manager	The Seneca Group 1191 Second Avenue Suite 1500 Seattle, WA 98101 <i>Contact:</i> Todd Leber 206-628-3150 toddl@senecagroup.com
Architect	Graphite Design Group 1809 7th Avenue, Suite 700 Seattle, WA 98101 <i>Contact:</i> Peter Krech 206.224.3335 peter.krech@graphitedesigngroup.com www.graphitedesigngroup.com

Development Objectives

The applicant proposes to demolish an existing unoccupied 39,260 SF motel built in 1958 and 7,420 SF single story commercial building built in 1940 to construct a new 17 story office building of approximately 405,000 square feet with ground floor retail and approximately 405 below-grade parking spaces.







Zoning Analysis: Block 18
Site Address: 2205 7th Ave, WA 98121
Zone: DMC 340/290-400
Denny Triangle Urban Center Village

23.49.042 Permitted Uses

<i>Standard</i>
All uses are permitted outright except those prohibited by SMC 23.49.044 or permitted conditionally by SMC 23.49.046, and parking, which shall be regulated by 23.49.045.

23.49.008 Structure Height

<i>Standard</i>
Nonresidential Height Maximum: 340' Residential Base Height Limit: 290' Residential Height Maximum: 400'
Structures may exceed the maximum height limit for residential use by 10% if: <ol style="list-style-type: none">the facades above the height limit do not enclose an area greater than 9,000 SF, andthe enclosed space is occupied by a use or feature not specified by 23.49.008. This exception should not be combined with any other height exception for screening or rooftop feature to gain additional height.
Rooftop Features allowed above height limit: <ul style="list-style-type: none">Railings, planters, skylights, clerestories, greenhouses and parapets may extend up to 4' above height limit.Solar collectors may extend up to 7' above height limit.Mechanical equipment, stair penthouses, etc... may extend up to 15' above the height limit.Greenhouses that are dedicated to food production may extend 15' above the height limit if the total coverage of all features gaining additional height does not exceed 50% of the roof area.
Rooftop features may cover up to a combined coverage limit of 55%
Elevator penthouse may extend up to 23' above the height limit (8' cab) or 25' above the limit (9' cab) plus an additional 10' if elevator provides access to usable rooftop open space.
The amount of rooftop area enclosed by screening may exceed the maximum percentage of the combined coverage of all rooftop features as provided in subsection 23.49.008.D.2.
Rooftop Screens can extend up to 10% of height limit or 15 feet.

23.49.009 Street-level Use Requirements

<i>Standard</i>
None required on 7 th Avenue, Bell Street, or Blanchard Street.

23.49.011 Floor Area Ratio

<i>Standard</i>
Base FAR: 5 Maximum FAR: 10 Additional chargeable floor area above the base FAR may be obtained as outlined in section 23.49.011 and may include generally the following: <ul style="list-style-type: none">Amenity BonusesTransfer Development RightsRural Development CreditHousing and Child Care
<ul style="list-style-type: none">A minimum of 5% of floor area above base FAR must be obtained through Landmark TDRs to the extent they are available.The balance of the 25% shall be gained through bonus floor area for amenities and TDRs (23.49.013 and 23.49.014)The first increment above base FAR must be provided through regional development credits, pursuant to SMC 23.58.A.044.
Areas Exempt from FAR: <ul style="list-style-type: none">Child careStreet level use (retail & eating and drinking establishments) that has a minimum floor to floor 13', horizontal depth of 15', and overhead weather protection is provided.Human ServicesResidential use and live-work unitsMuseums and museum expansion spacesPerforming art theatersFloor area below gradeFloor area for parking accessory to residential use with a limit of one parking space for each dwelling unitPublic restroomsShower facilities for bicycle commutersPreschool, elementary school or secondary school3.5% of GFA for mechanical equipment fully contained within a structure.
Mechanical equipment on the roof shall not be calculated as part of the total GFA.

23.49.013 Bonus Floor Area for Amenities

<i>Standard</i>
<ol style="list-style-type: none">Open Space and Green Street ImprovementsHuman Services Per 23.49.013 A3Public Restrooms located on the ground floor Amenity Ratios and limits per 23.49.13 B3

23.49.014 Transfer of Development Rights

<i>Standard</i>
<ol style="list-style-type: none">Housing TDR (eligible to send and receive)DMC Housing TDR (eligible to send)Landmark Housing TDR (eligible to send and receive)Landmark TDR (eligible to send and receive)Open Space TDR (eligible to send and receive)South Downtown Historic TDR (eligible to receive)

23.49.016 Open Space

<i>Standard</i>
Open Space – Office Use Requirements <ul style="list-style-type: none">20 SF for every 1,000 GSF of Office UseOnly applies to office use greater than 85,000 GSF; Office use less than 85,000 GSF is exempt. Open space requirement may be satisfied as follows: <ol style="list-style-type: none">Private Open Space<ul style="list-style-type: none">Must be open to the sky, meet landscaping standards and be accessible to all tenantsOn-Site Public Open Space<ul style="list-style-type: none">Parcel ParkGreen street setback and green street improvement on an abutting right-of-wayHillside terraceUrban plazaAvailable for amenity feature bonus per section 23.49.013Off-Site Public Open Space

23.49.018 Overhead weather protection and lighting

<i>Standard</i>
Continuous weather protection is required along entire street frontage Exceptions: <ul style="list-style-type: none">If set back farther than 5' from property lineAbuts a bonused open space amenity featureIf separated from the street property line by a landscaped area at least 2' in widthDriveways and loading docks Dimensions: <ul style="list-style-type: none">Min. 8' from building wall or must extend to a line 2' from curb line, whichever is lessLower edge minimum height of 10' and a maximum of 15' above the sidewalkPedestrian lighting to be provide on façade or overhead



23.49.019 Parking quantity, location and access requirements

Standard
No Parking, either long-term or short-term, is required on lots in Downtown zones <ul style="list-style-type: none">Parking not at street level within structures must be located below street level or separated from street level by other uses.
Maximum parking limit for nonresidential uses <ul style="list-style-type: none">Parking for nonresidential uses is limited to one parking space per every 1,000 square feet of gross floor area in nonresidential use.Parking for nonresidential uses may be permitted to exceed the maximum standard as a special exception as granted by the Director.
Ridesharing and transit incentive program requirements: <ul style="list-style-type: none">The building owner shall provide and maintain a transportation information center which displays transit route maps, schedules and Seattle ridesharing program informationThe transportation display shall be located in the lobby or other highly visible location The transportation information center shall be established prior to issuance of a certificate of occupancy.
Bicycle Parking (Minimums): <ul style="list-style-type: none">Office: 1 space per 5,000 SFRetail use over 10,000 SF: 1 space per 10,000 SFResidential: 1 space per 2 dwelling units (must be located on-site)
After the first 50 spaces are provided additional spaces are required at ½ the ratio noted structures containing more than 250,000 SF of office space shall include shower facilities.
Off-street loading spaces shall be provided per 23.54.035
Parking Access <ul style="list-style-type: none">Alley access is required; further access is at the discretion of the Director.

23.49.022 Minimum sidewalk and alley width

Standard
Minimum sidewalk width (per map 1C, section 23.49): <ul style="list-style-type: none">7th Ave: 12'Bell and Blanchard Streets: Variable

23.49.025 Odor, noise, light/glare, and solid waste recyclable materials

Standard
<ul style="list-style-type: none">The venting of odors, fumes, vapors, smoke, cinders, dust, and gas shall be at least 10 feet above finished sidewalk grade, and directed away from residential uses within 50 feet of the vent.Exterior lighting shall be shielded and directed away from adjacent uses

23.49.028 Keeping of animals and pet daycare centers

Standard
<ul style="list-style-type: none">Up to three small animals per business or dwelling unit may be kept in downtown zones.One Potbelly Pig may be kept as a small animal per business or dwelling unit if it is no greater than 22" tall and no more than 150 pounds.

23.49.045 Downtown Mixed Commercial principal and accessory parking

Standard
Accessory parking garages for both long-term and short-term parking are permitted outright up to the maximum parking limit established by 23.49.019

23.49.056 Street façade, landscaping and street setback requirements

Standard
Minimum façade heights: <ul style="list-style-type: none">7th Avenue (class II pedestrian streets): 15'Blanchard Street and Bell Street (green streets): 25'
Setbacks <ul style="list-style-type: none">The maximum area of all setbacks between the street lot line and façade along each street frontage shall not exceed 10 times the width of the street frontage.The maximum setback of the façade from the street lot lines at intersections is 10 feet. Minimum conforming distance is 20 feet along each street.Any exterior open space that meets amenity standards is not considered part of the setback area.If a sidewalk is widened into the lot as a condition of the development, setback shall be measured from the line of the new sidewalk.
Transparency Requirements: <ul style="list-style-type: none">Along 7th and 8th Avenues (class II ped. street) 30% of street façade to be transparent between 2' and 8' above sidewalk level.Along Bell and Blanchard Streets (green streets) 60% of street façade to be transparent between 2' and 8' above sidewalk level.Façade transparency requirements do not apply to portions in residential use
Blank Façade Requirements: <ul style="list-style-type: none">On 7th and 8th Avenues blank façades limited to segments 30' except for garage doors which may be wider than 30'.On 7th and 8th Avenues the total of all blank façade segments shall not exceed 70% of the street façade.On Blanchard and Bell Streets blank façades limited to segments 15' except for garage doors which may be as wide as the driveway plus 5'.On Blanchard and Bell Streets the total of all blank façade segments shall not exceed 40% of the street façade.Blank façade sections shall be separated by transparent area at least 2' wide
Street Trees are required on all streets and must be planted in accordance to the Right-of-Way Improvements Manual.
Landscaping in the Deny Triangle Urban Village <ul style="list-style-type: none">All areas abutting a street lot line that are not covered by a structure, have a depth of 10 feet or more, and are larger than 300 SF shall be landscaped.Setbacks required to meet minimum sidewalk widths shall be exempt from landscape requirements.

23.49.058 Upper-Level Development Standards

Standard
Façade modulation and upper-level width limits apply to: <ul style="list-style-type: none">Structures 160' in height or less in which any story above 85' exceeds 15,000 SFPortions of structures in non-residential use above a height of 160' in which any story above an elevation of 85' exceeds 15,000 SF.
Façade Modulation (non-residential) <ul style="list-style-type: none">Required of street facing facades within 15' of street above 85'.Maximum façade length without modulation within 15' of the street lot line:<ul style="list-style-type: none">155' façade length from elevation 86 to 160 feet125' façade length from elevation to 161-240 feet100' façade length from elevation 241 to 500 feet.Modulation defined as at least 15' deep setback from property line at least 60' long.
Tower Separation <ul style="list-style-type: none">On DMC sites zoned with a maximum height limit of more than 160' located in the Denny Triangle Urban Village, if any part of a tower exceeds 160' then all portions of the tower that are above 125' must be separated by a minimum of 60' from any portion of any other existing tower above 125' in height.No separation is required from a structure allowed pursuant to the Land Use Code in effect prior to the effective date of Ma7 12th 2006
Upper level setbacks <ul style="list-style-type: none">When a lot in a DMC Zone is located on a designated green street, a continuous upper-level setback of 15' shall be provided on the street frontage abutting the green street at a height of 45 feet.



23.54.030 Parking Space Standards

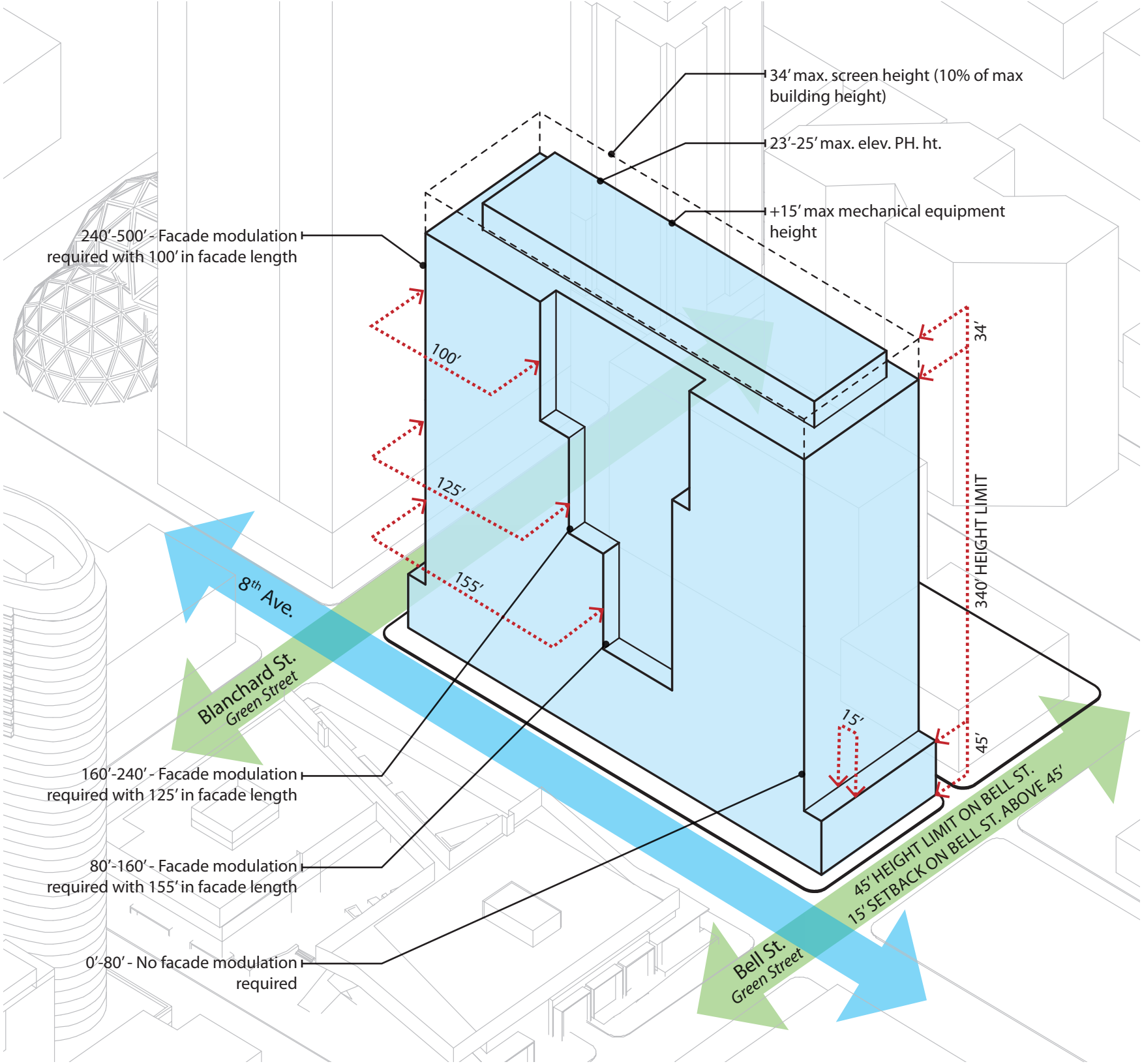
Standard
<ul style="list-style-type: none">Parking Space Dimensions: "Large Stalls" measure 8.5' by 19' in length. "Small Stalls" measure 7.5' by 16' in length.Barrier free parking must be at least 8' wide and have an adjacent aisle not less than 5'. Van accessible requires an 8' aisle. At least one stall must be a minimum 19' in length.Non-Residential Use: A maximum of 65% of the spaces shall be "Small Stalls" and a minimum of 35% "large stalls". The minimum vehicle clearance shall be 6'-9".
Driveway Width:
<ul style="list-style-type: none">One-way traffic: 12' min, 15' maxTwo-way traffic: 22' min, 25' max
Driveway slope for all uses. No portion of a driveway, whether located on a lot or a right-of-way, shall exceed a slope of 15%. The director may permit driveway slope of more than 15% if it is found that:
<ul style="list-style-type: none">a) The topography or other special characteristic of the lot makes a 15 percent maximum driveway slope infeasibleb) The additional amount of slope permitted is the least amount necessary to accommodate the conditions of the lot; andc) The driveway is still usable as access to the lot.
<ul style="list-style-type: none">In downtown zones, a maximum of two curb cuts for one-way traffic at least 40 feet apart, or one curb cut for two-way traffic, are permitted on each street front where access is permitted by subsection 23.49.019.H. No curb cut shall be located within 40 feet of an intersection. These standards may be modified by the Director as a Type I decision on lots with steep slopes or other special conditions, to the minimum extent necessary to provide vehicular and pedestrian safety and facilitate a smooth flow of traffic.
<ul style="list-style-type: none">For exit-only driveways and easements, and two way driveways and easements less than 22' wide, a sight triangle on both sides of the driveway or easement shall be provided, and shall be kept clear of any obstruction for a distance of 10' from the intersection of the driveway.Sight triangle may be provided by mirrors.

23.54.035.G OFF STREET LOADING

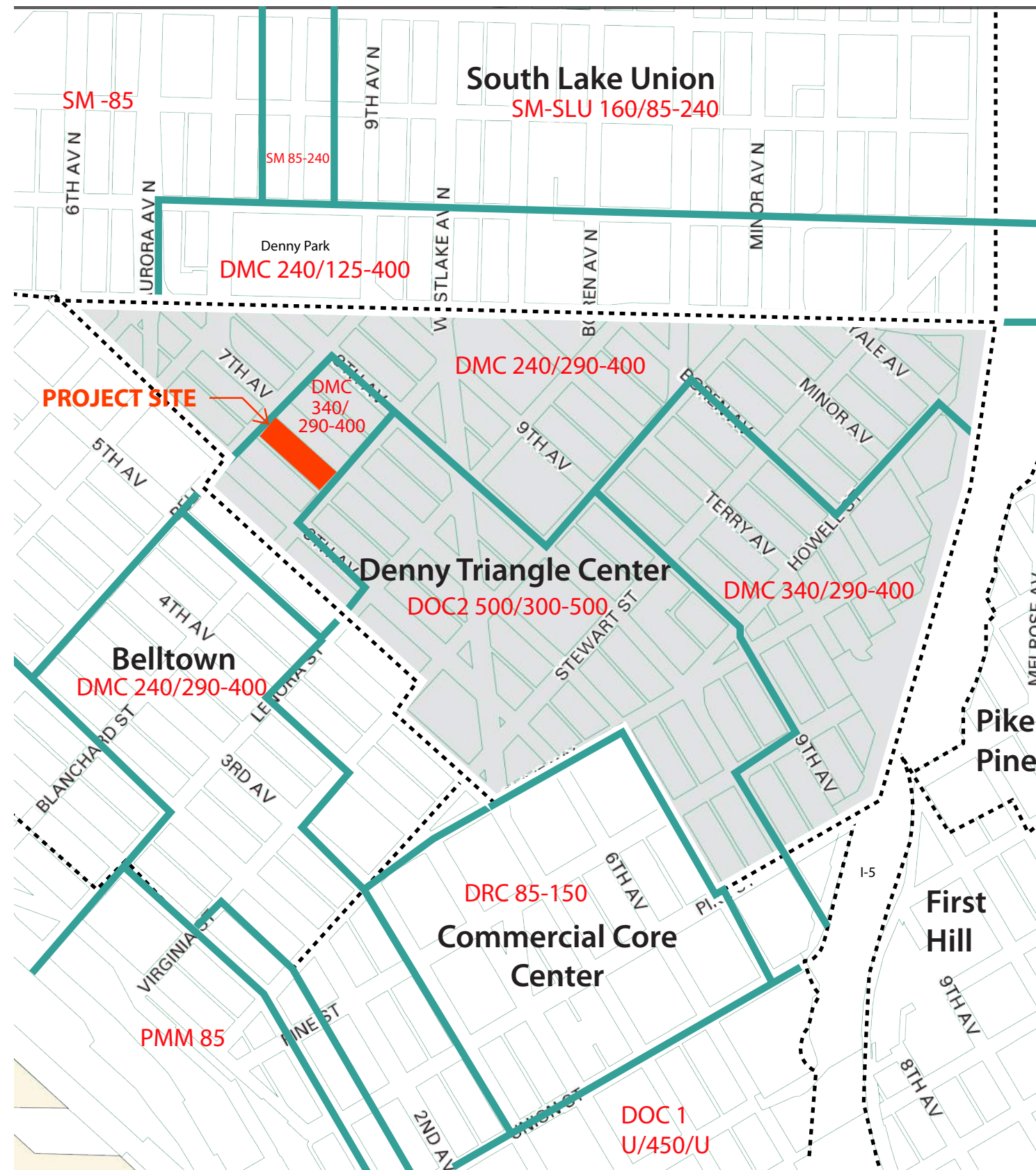
Standard
Per chart A 23.54.035, Office use is classified as low demand, retail is classified as medium demand
<ul style="list-style-type: none">Office: 264,001 SF to 388,000 SF: 4 Loading Berths RequiredRetail: 10,000 SF to 60,000 SF: 0 loading Berths RequiredLoading Berth Size: 10' wide, 35' long, minimum 14' overhead clearanceExceptions to Loading Berth Length. Where the Director finds, after consulting with the property user, that site design and use of the property will not result in vehicles extending beyond the property line, loading berth lengths may be reduced to not less than the following:<ul style="list-style-type: none">(ii) Low- and Medium-demand Uses. Twenty-five (25) feet.

23.54.040 - SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS

Standard
Non-residential waste storage requirement:
<ul style="list-style-type: none">Greater than 200,001 SF development: 500 SF
<ul style="list-style-type: none">Per F.2.d, if accessed directly by a collection vehicle, whether into a structure or otherwise, a 21-foot overhead clearance shall be provided.

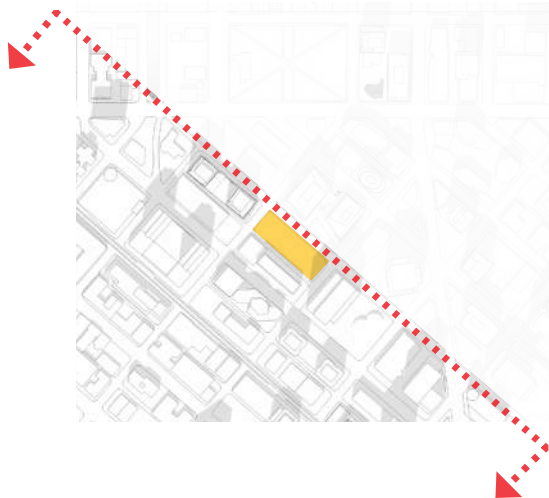


ZONING ENVELOPE

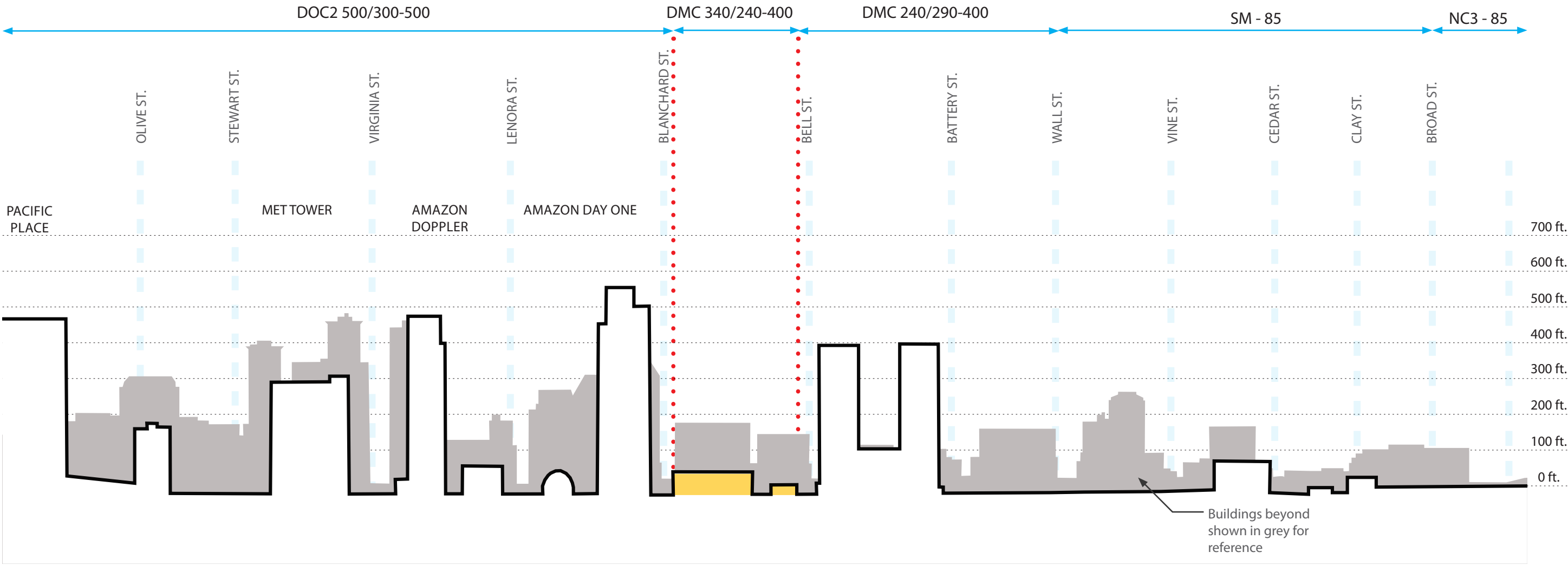


ZONING MAP KEY

- DOC 1 - OFFICE CORE - 1
- DOC 2 - OFFICE CORE - 2
- DRC - RETAIL CORE
- DMC - MIXED COMMERCIAL
- PMM - PIKE MARKET MIXED
- SM - SEATTLE MIXED



The site section taken along Seventh Avenue shows the site relative to adjacent zones and their respective height and density limits. Generally allowable heights increase as one transitions south from South Lake Union to the downtown CBD.





A. Hotel



B. Proposed Apartment Tower



C. Proposed Apartment Tower



D. Proposed Office Tower



E. Proposed Apartment Tower



F. Office Tower and above-grade garage



G. Office Tower Under Construction



H. Office Tower



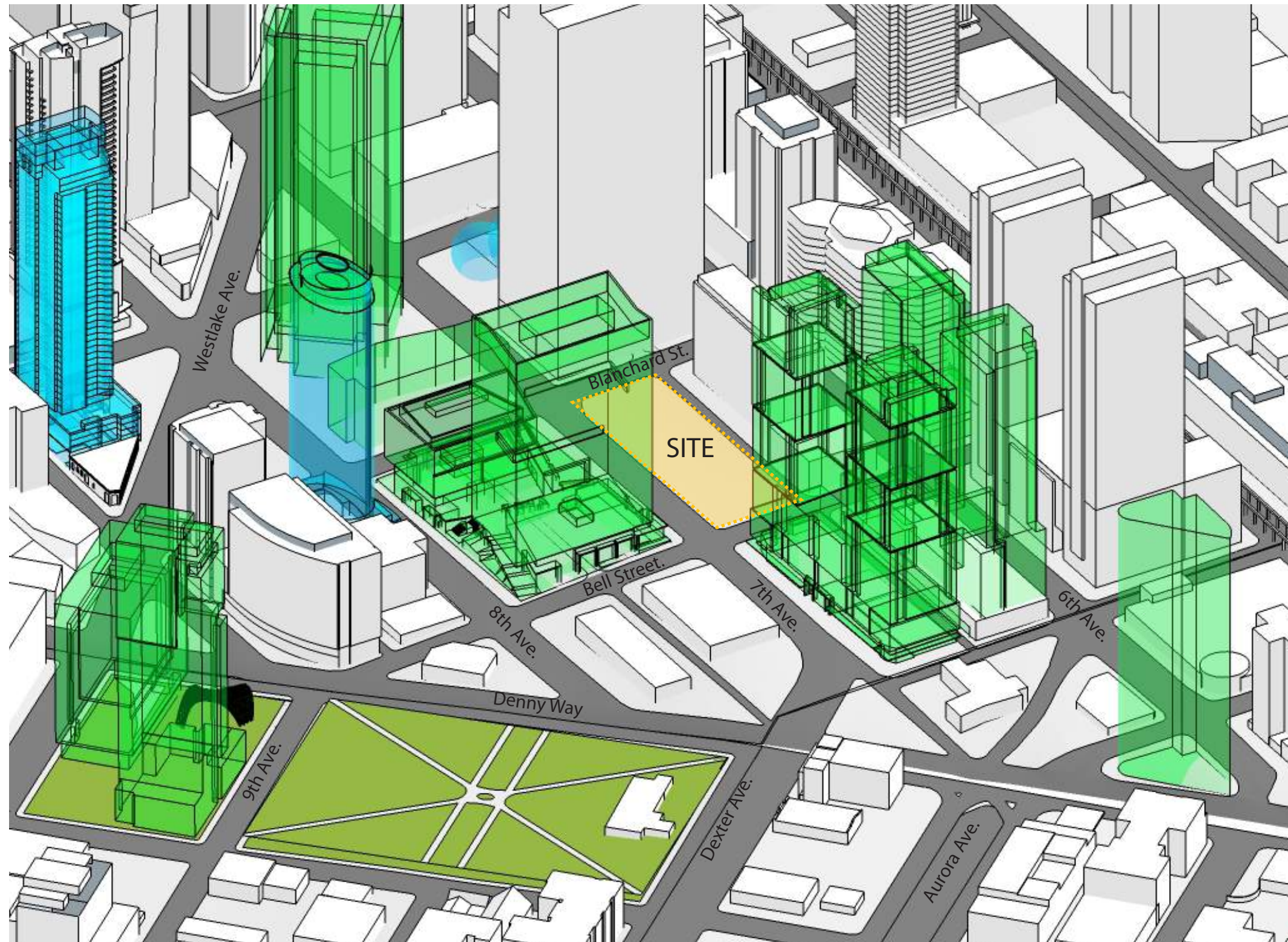
I. Condominium Towers



J. Office Tower

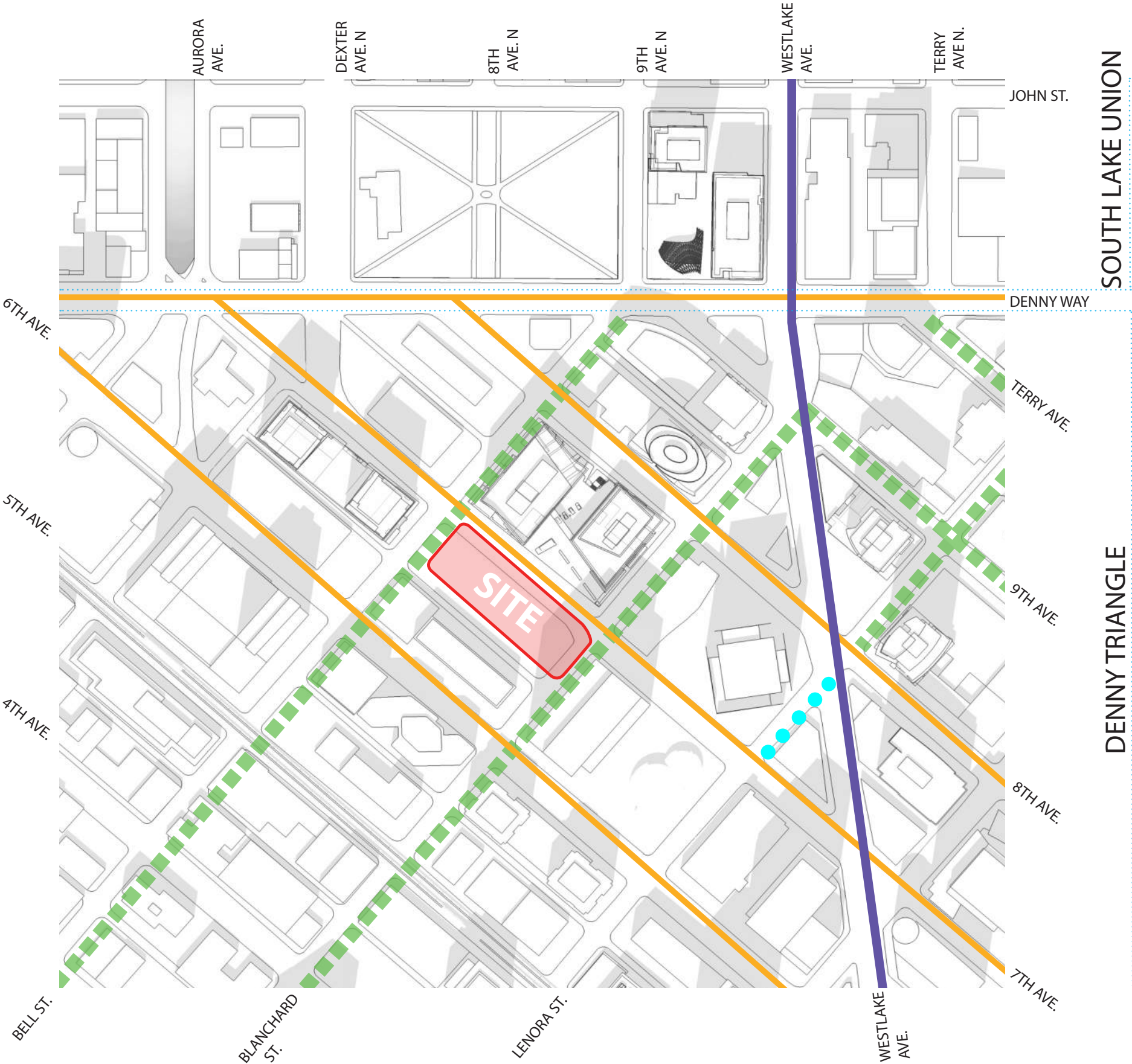


K. Apartment Towers



- Under Construction
- Future Development





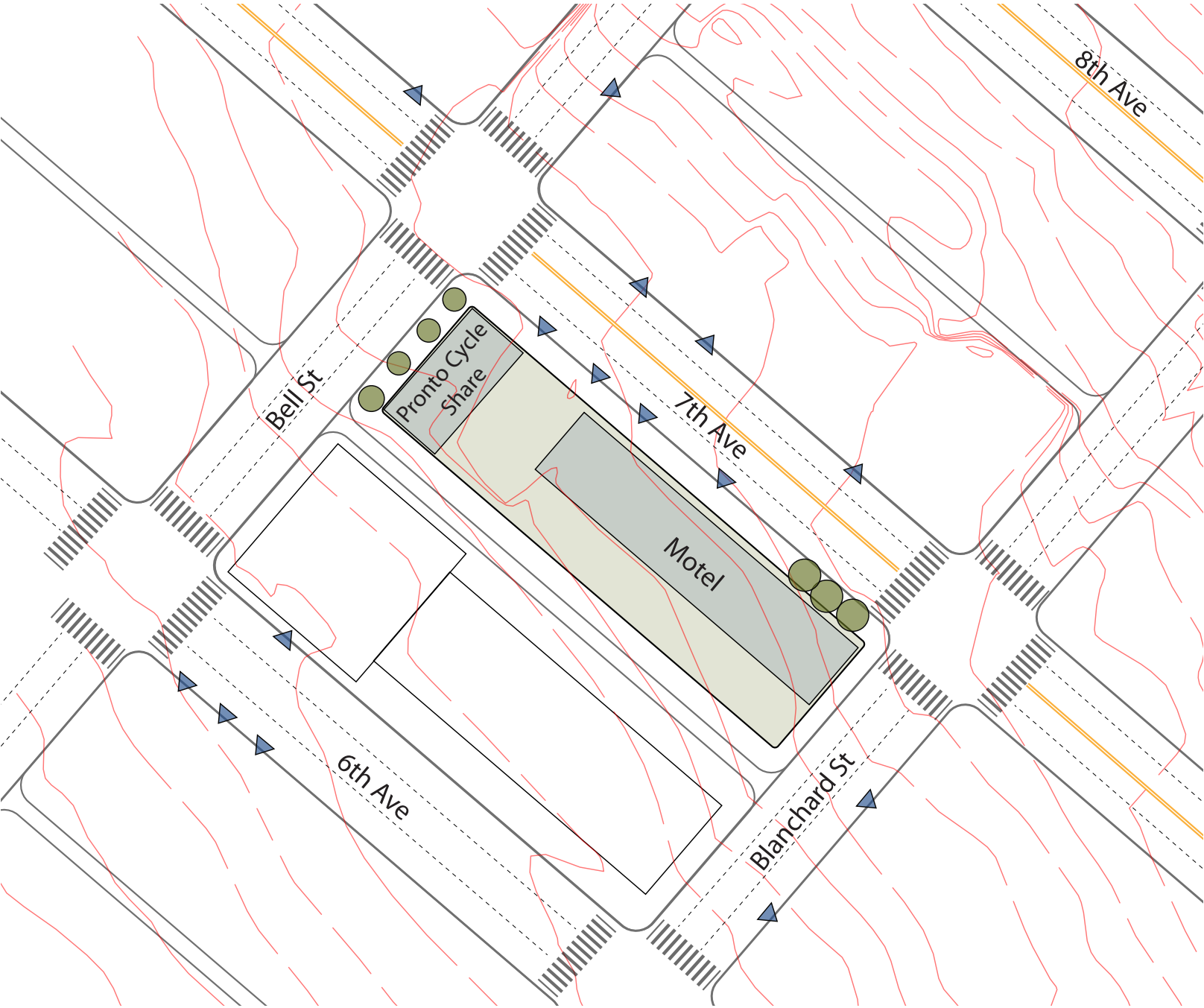
DENNY TRIANGLE

The site is convenient for multiple modes of public transportation and is easily accessed by autos, cyclists and pedestrians. The nearby street car stop is at the intersection of Blanchard and Westlake, which is only 1½ blocks walking distance. Metro bus service is provided on Denny, Dexter and 7th Avenue. Seventh Avenue will be the main access and egress thoroughfare for bicycle traffic with numerous cross street bike lanes.

- Class I Pedestrian Street
- Class II Pedestrian Street
- Green Street
- Shared Use Street







- ▲ Existing Curb Cuts
- Existing Trees



Site Area:
38,800 square feet with approximately 360 linear feet of frontage on both 7th Avenue and a public alley, 108 linear feet of frontage on both Bell and Blanchard streets.

Topography:
The site slopes from elevation 110'-0" in the northwest corner down to 101'-0" in the southeast corner.

Tree Survey:
There are no significant trees on the site. Trees are located within the sidewalk right-of-way. Three trees are located along 7th Ave, four along Bell Street, and no street trees along Blanchard Street.

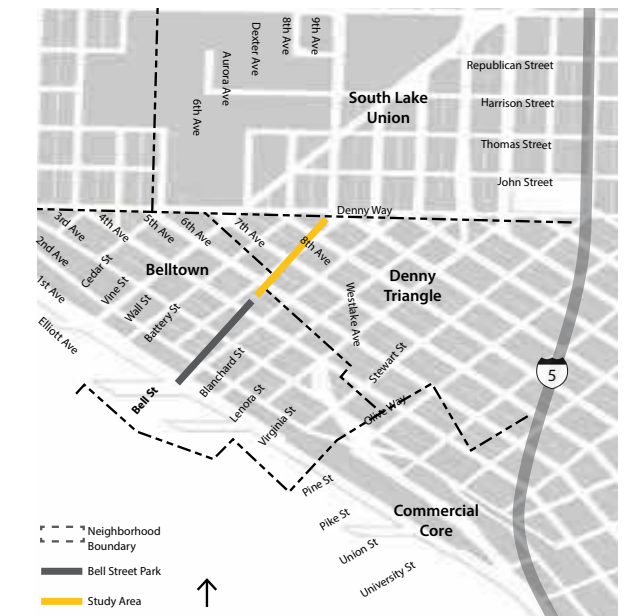
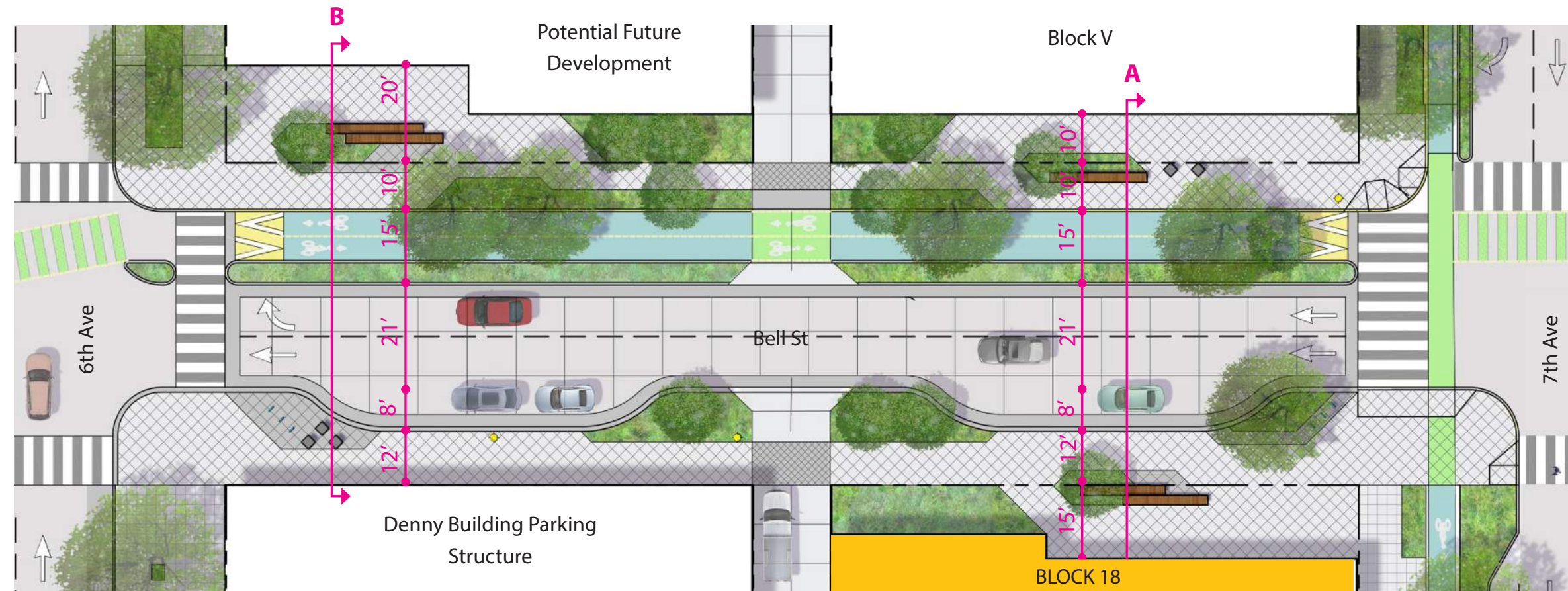
Existing Buildings:
The site has an unoccupied motel, bike rental facility and surface parking lot.

6th Avenue to 7th Avenue

- Segment establishes opportunity to apply street concept plan vision to both sides of street
- Continue rotated geometry of Bell Street Park in pedestrian paving and orientation of amenities
- Vehicular paving is oriented orthogonally to visually reinforce that Green Street is not a shared-use street
- Pedestrian paving palette includes cast-in-place concrete with accent paving at furnishing zones and alley/driveway crossings
- On-street parallel parking in pairs along South side of street oriented to support street-level retail
- Protected bike lane connections between Denny Way/9th Avenue and 5th Avenue; Long-term grade-separated two-way bike lane along north side of street; Short-term in-street protected two-way cycle track
- Metro bus stop removed as transit routes moved to parallel corridor(s)
- Generous building setbacks provide opportunities to expand pedestrian open space via consistent paving, furnishings, outdoor seating, and canopies
- Reference Section 4 for detailed Design Elements such as paving, furnishings, lighting, and planting

Initiated as a component of the Block 21 Public Benefit proposal, the Bell Street Concept plan has been developed to guide future development along Bell Street from 5th Avenue east to Denny Way.

This street concept plan provides a framework for future development along the Bell Street corridor between 5th Avenue and Denny Way that can be used to inform planning/design decisions as parcels continue to redevelop. The plan concepts relate to both the public right-of-way (sidewalk and street paving, parking, lighting, furnishings) and on-site elements (building setbacks, canopies, furnishings, etc). The intent is that property owners will work with city agencies and neighborhood groups to implement this vision as individual parcels are redeveloped.

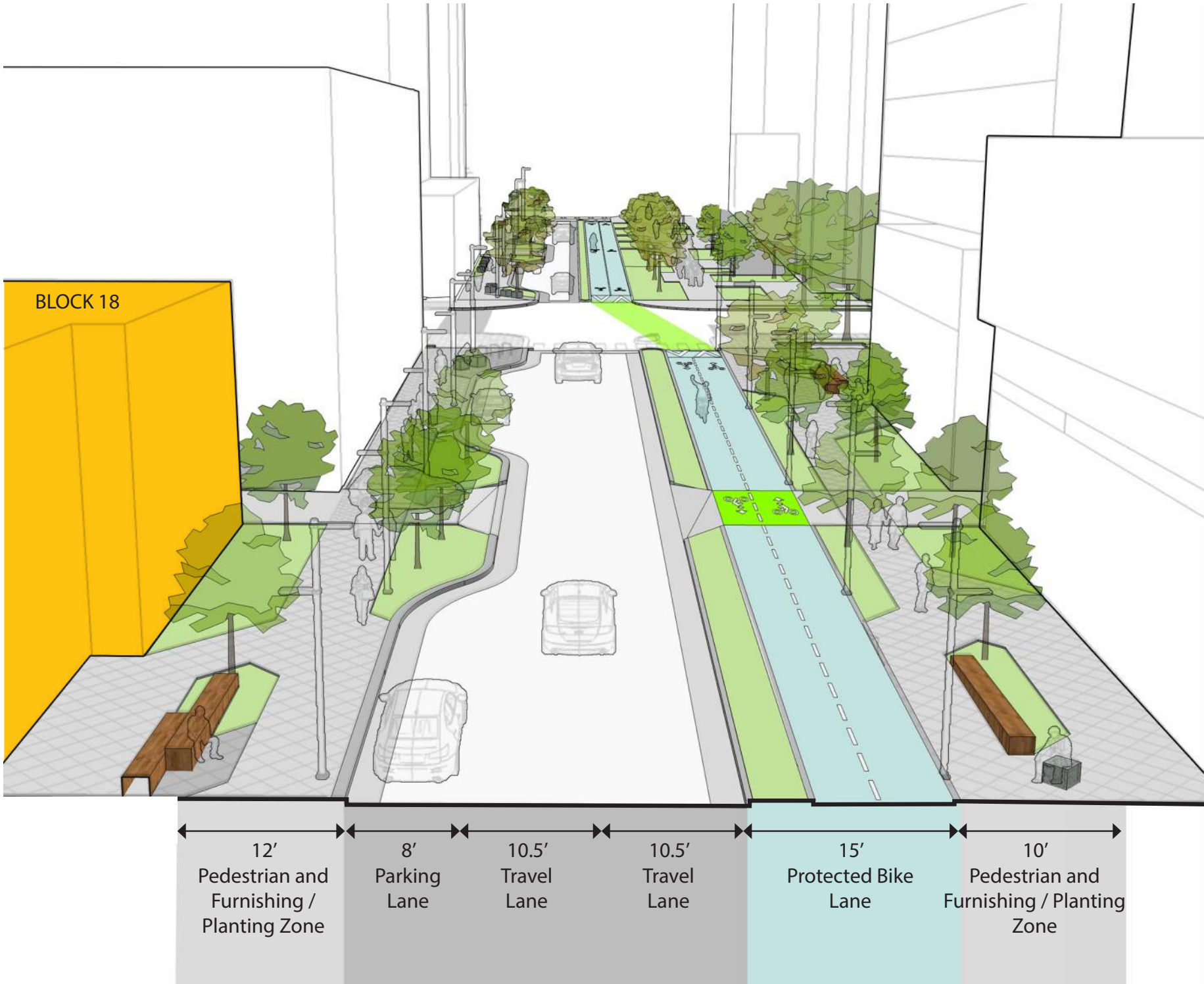


Exhibits courtesy Site Workshop



GRAPHITE

2205 7th Avenue | Early Design Guidance | April 4, 2017 | SDCI #3026858



Exhibits courtesy Site Workshop

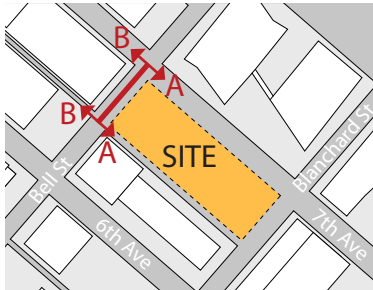




A. Bell Street Looking South



B. Bell Street Looking North

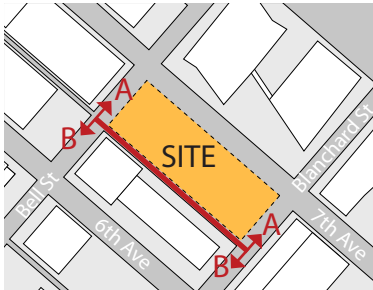




A. Alley Looking East



B. Alley Looking West

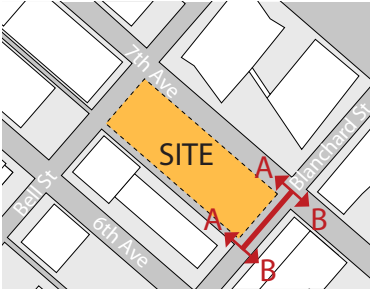




A. Blanchard Street Looking North



B. Blanchard Street Looking South

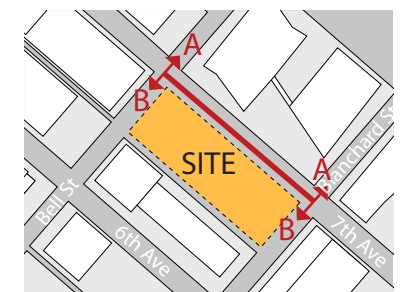




A. 7th Avenue Looking East



B. 7th Avenue Looking West





A



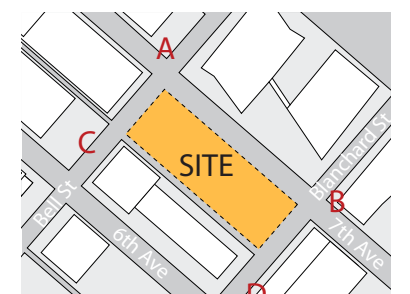
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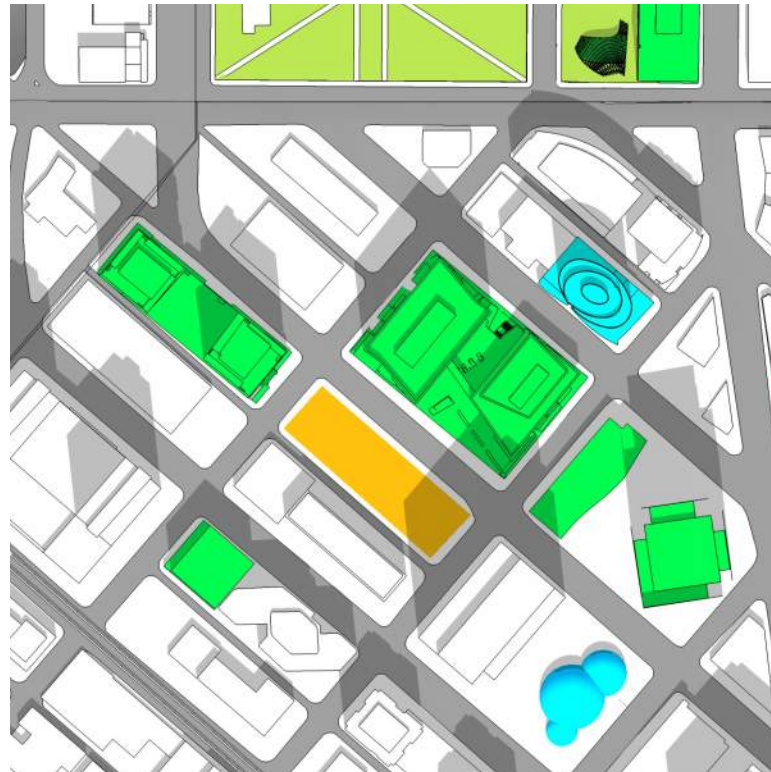


C

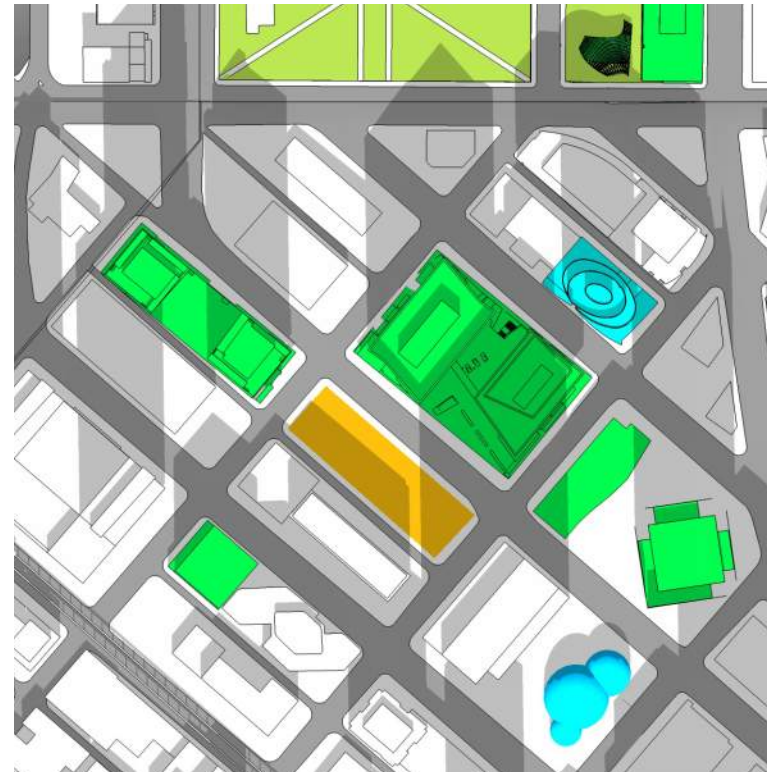


D

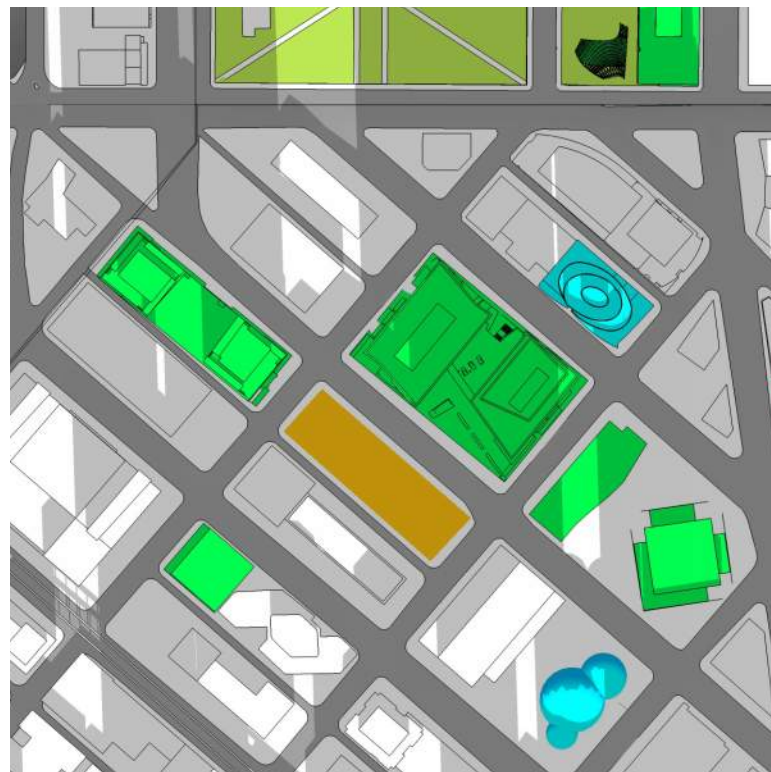




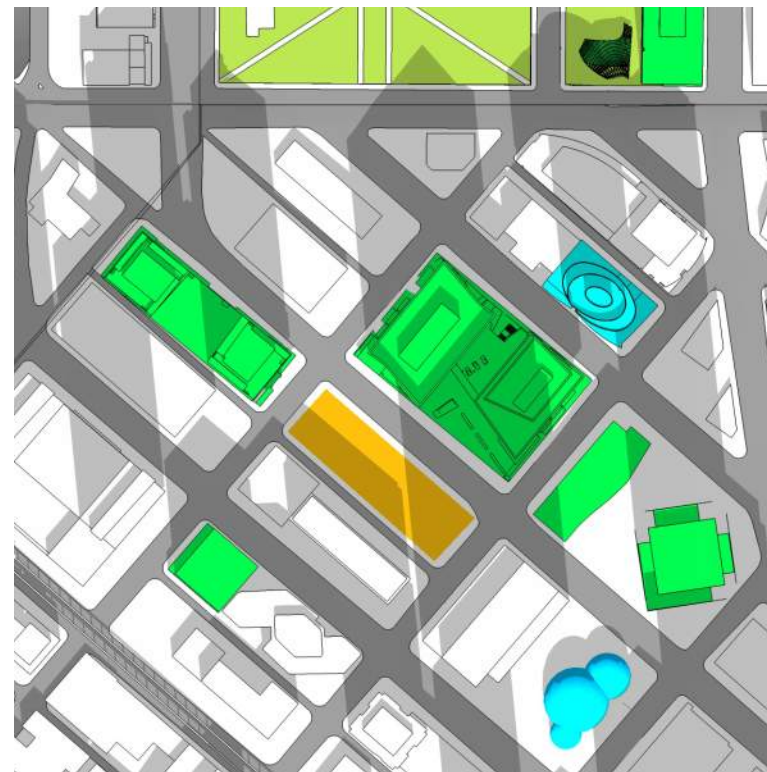
Summer Solstice



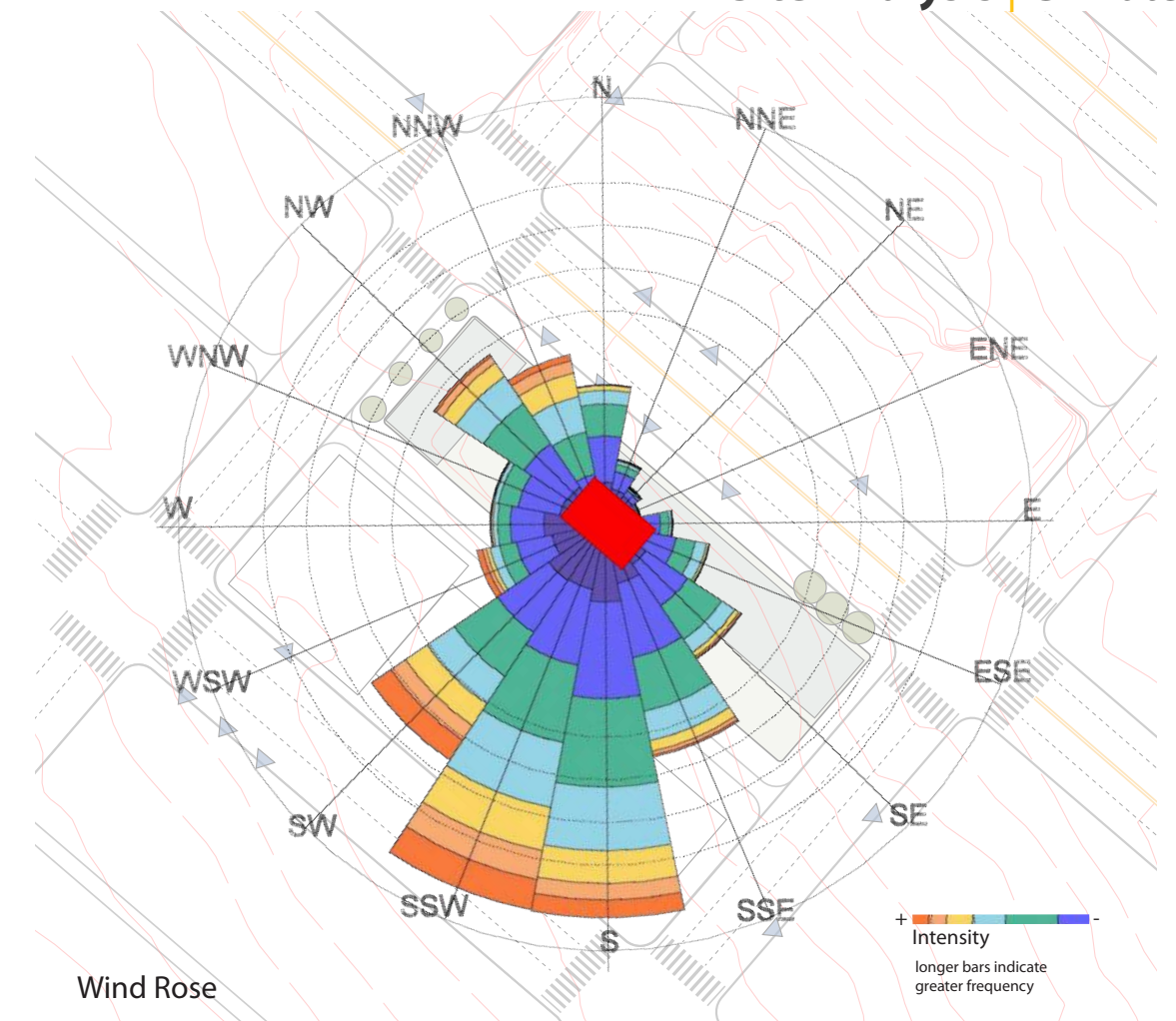
Fall Equinox



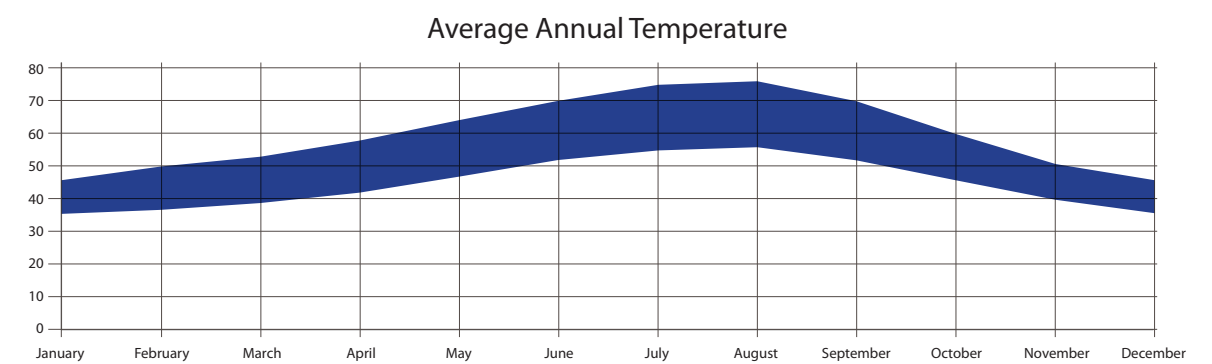
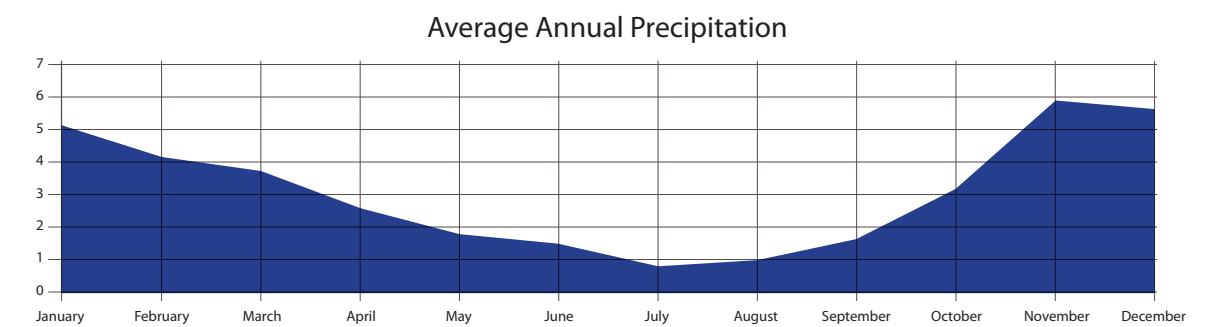
Winter Solstice



Spring Equinox



Wind Rose





A. Site Planning and Massing

A-1 Respond to the physical environment
Develop an architectural concept and compose the building's massing in response to geographic conditions and patterns of urban form found beyond the immediate context of the building site.

A-2 Enhance the Skyline
Design the upper portion of the building to promote visual interest and variety in the downtown skyline

The project site is characterized by the elongated, rectangular shape of the lot with the primary frontage paralleling 7th Ave. The Block 18 proposals respond to this context by breaking down the form of the podium and tower into individual masses that lend scale and variety to the massing while maintaining the predominant street wall along 7th. The vertical mass of the tower is justified towards the southern end of the site, allowing greater daylight access to Bell Street to the north while engaging in a dialog with the Block 21 open space to the east.

Responding to the massing cues of other towers in the vicinity that present a narrower frontage to the avenues, the proposals subdivide the tower mass into more vertically-proportioned elements. This knits the Block 18 tower into the visual fabric of its context. Further, the massing steps down to a lower-scaled, 3-story volume adjacent to the Bell Street frontage, responding to the finer grain of the enhanced streetscape along Bell.



B. Architectural Expression

B-1 Respond to the neighborhood context
Develop an architectural concept and compose the major building elements to reinforce desirable urban features existing in the surrounding neighborhood.

B-3 Reinforce the positive urban form & architectural attributes of the immediate area
Consider the predominant attributes of the immediate neighborhood and reinforce desirable siting patterns, massing arrangements, and streetscape characteristics of nearby development.

B-4 Design a well-proportioned & unified building
Compose the massing and organize the publicly accessible interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept. Design the architectural elements and finish details to create a unified building, so that all components appear integral to the whole.

The design proposals for Block 18 voluntarily set back the building mass along both Blanchard and Bell Streets, respecting the urban design goals of enhancing access to landscaping and daylight access at these Green Streets. The proposed breakdown of the tower form into segments that reflect façade widths similar to other neighborhood buildings further visually ties the proposal into the surrounding context.

The massing of Block 18 uses façade modulation to break down the scale of the broad east-facing tower façade. This modulation also serves to develop a unique architectural language that reflects interior circulation and structural elements to provide visual character and interest. Smaller scale design choices, such as grouping multiple floors with unifying skin treatments, patterns of punched openings and stepped exterior terraces simultaneously add further variety and cohesion to the overall building composition.



C. The Streetscape

- C-1 Promote pedestrian interaction
Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalk-related spaces should appear safe, welcoming, and open to the general public.
- C-3 Provide active—not blank—facades
Buildings should not have large blank walls facing the street, especially near sidewalks.
- C-4 Reinforce building entries.
To promote pedestrian comfort, safety, and orientation, reinforce building entries.

Consistent with the goals of the broader Denny Triangle neighborhood, the design proposals all reinforce the character of each individual frontage, picking up design cues that give these streets each a unique, holistic character. At Blanchard Street, the frontage is set back 10 feet at grade to allow for landscaping and accessible pedestrian spaces along the entire lot line. Seventh Avenue proposes extending the design vocabulary being deployed by Block 14, 19, 20 and 21, with enhanced landscaping, a double row of street trees and grade-separated cycle track. At Bell Street the building is set back 10 feet at grade similar to the Blanchard Street frontage. Additionally, the added design elements suggested by the Bell Street Concept plan – including distinctive paving, street furniture and enhanced lighting – all contribute to a unified treatment along the ROW. Within the structure, each frontage is designed with active street-level uses with direct access to adjacent sidewalks and open space.

D. Public Amenities

- D-1 Provide inviting and usable open space
Design public opens spaces to promote a visually pleasing, safe and active environment for workers, residents, and visitors. Views and solar access from the principal area of the open space should be especially emphasized.

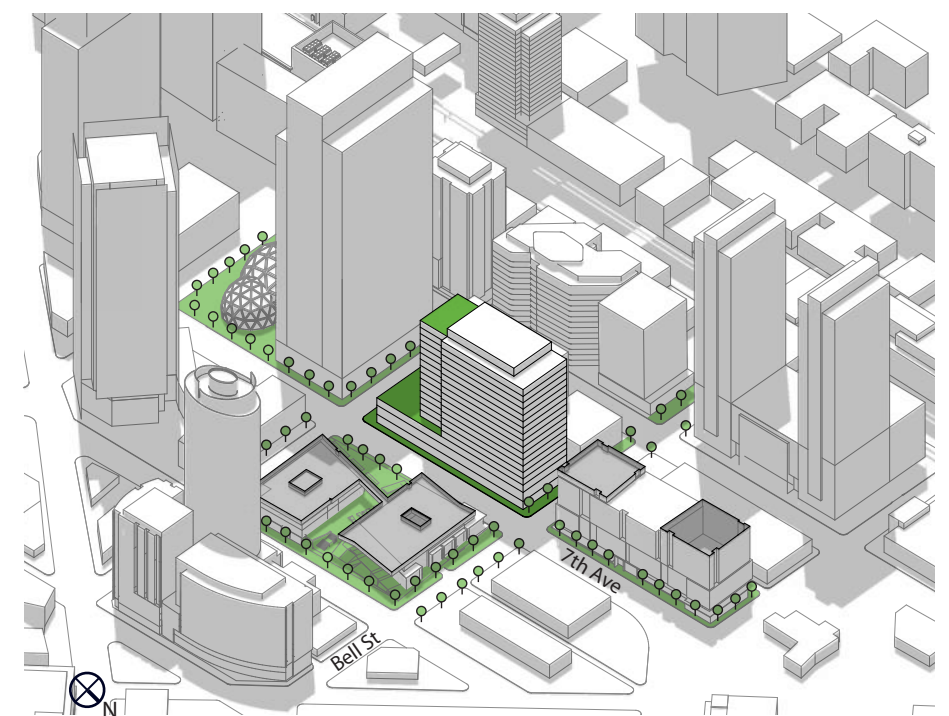
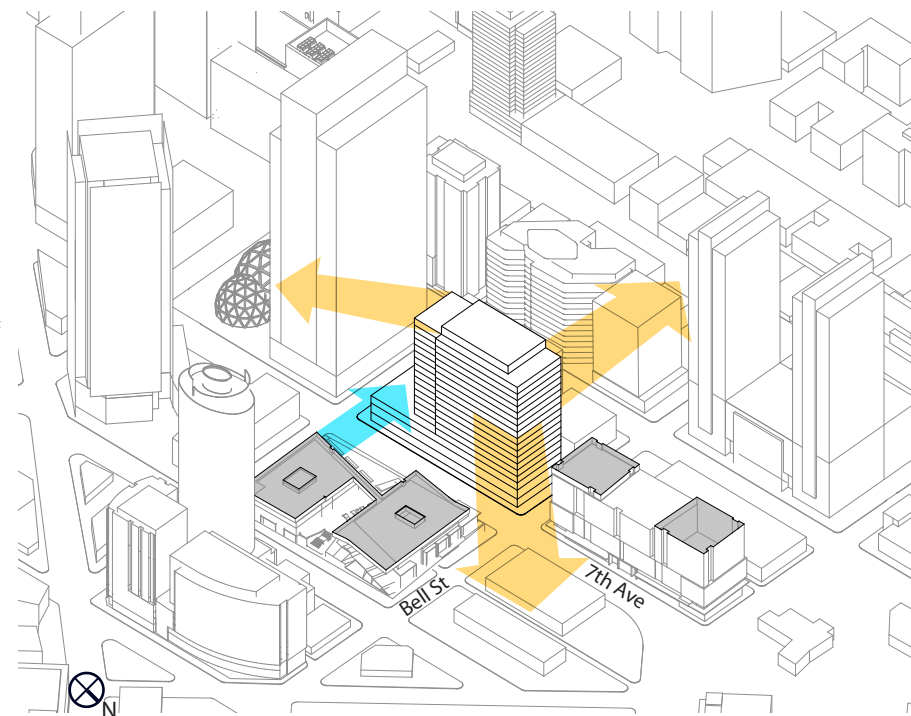
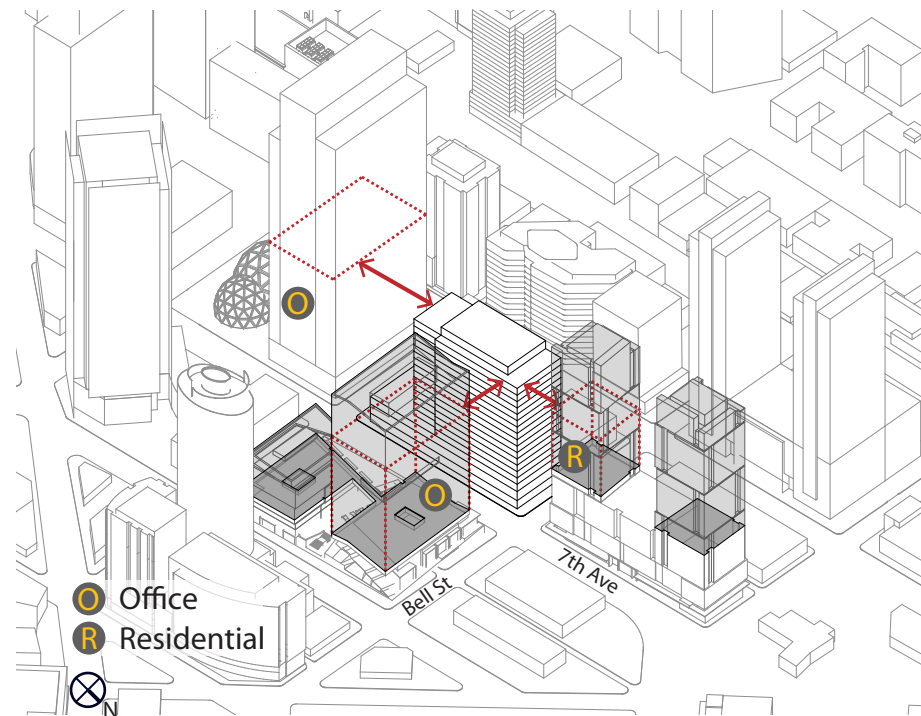
The design proposals emphasize open space at the site perimeter that is adjacent to the public sidewalk, extending off-site improvements onto the site to create gracious, accessible street-level experiences that tie into neighborhood open space networks. Building massing and setbacks – such as along Bell Street to the north – enhance solar access at grade both on- and off-site.

E. Vehicular access and parking

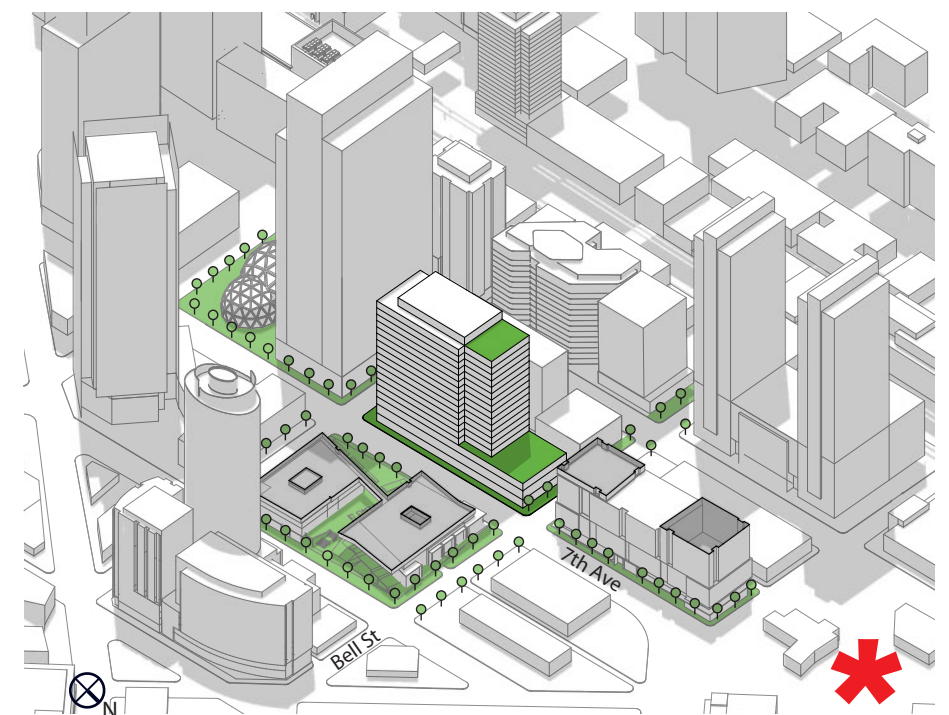
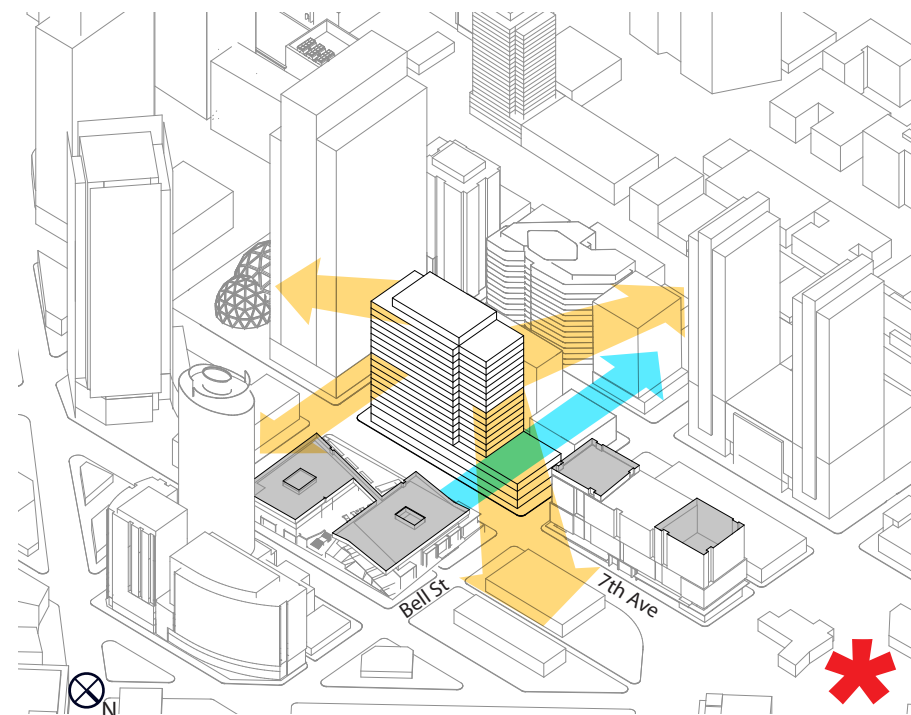
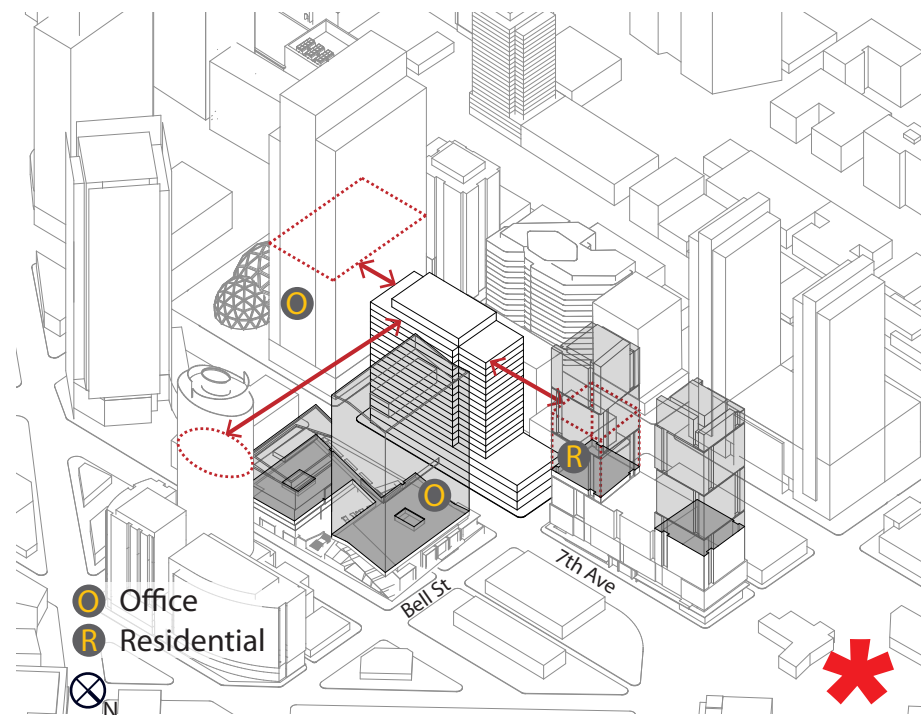
- E-1 Minimize curb cut impacts.
Design public opens spaces to promote a visually pleasing, safe and active environment for workers, residents, and visitors. Views and solar access from the principal area of the open space should be especially emphasized.

The design proposals all eliminate 6 curb cuts on the existing site, situating parking and loading access at the alley. Further, the proposed building setbacks along Blanchard and Bell Streets provide pedestrian visibility of traffic entering and exiting the alley, enhancing pedestrian safety at these Green Street frontages.

Building
Sited
to the North



Building
Sited to
the South
(preferred)



Adjacencies

- Locating the tower to the south increases separation from the proposed residential tower to the north (Block V) while minimizing overlap with Block 21 to the east

Views

- Locating the tower to the south enhances views out of the proposed tower as well as overlooking views from adjacent projects

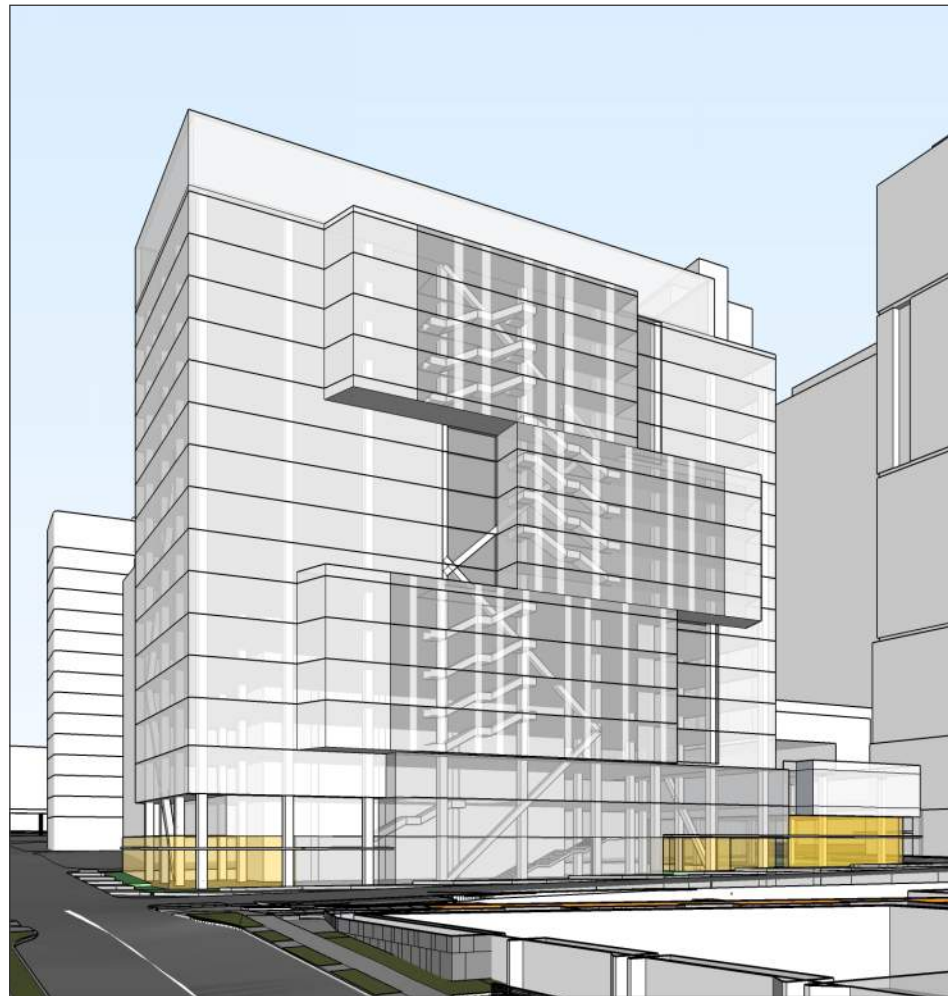
Open Space and Solar Access

- Locating the tower to the south enhances the open space connection to Bell Street as well as enhancing solar access to the street and elevated terraces

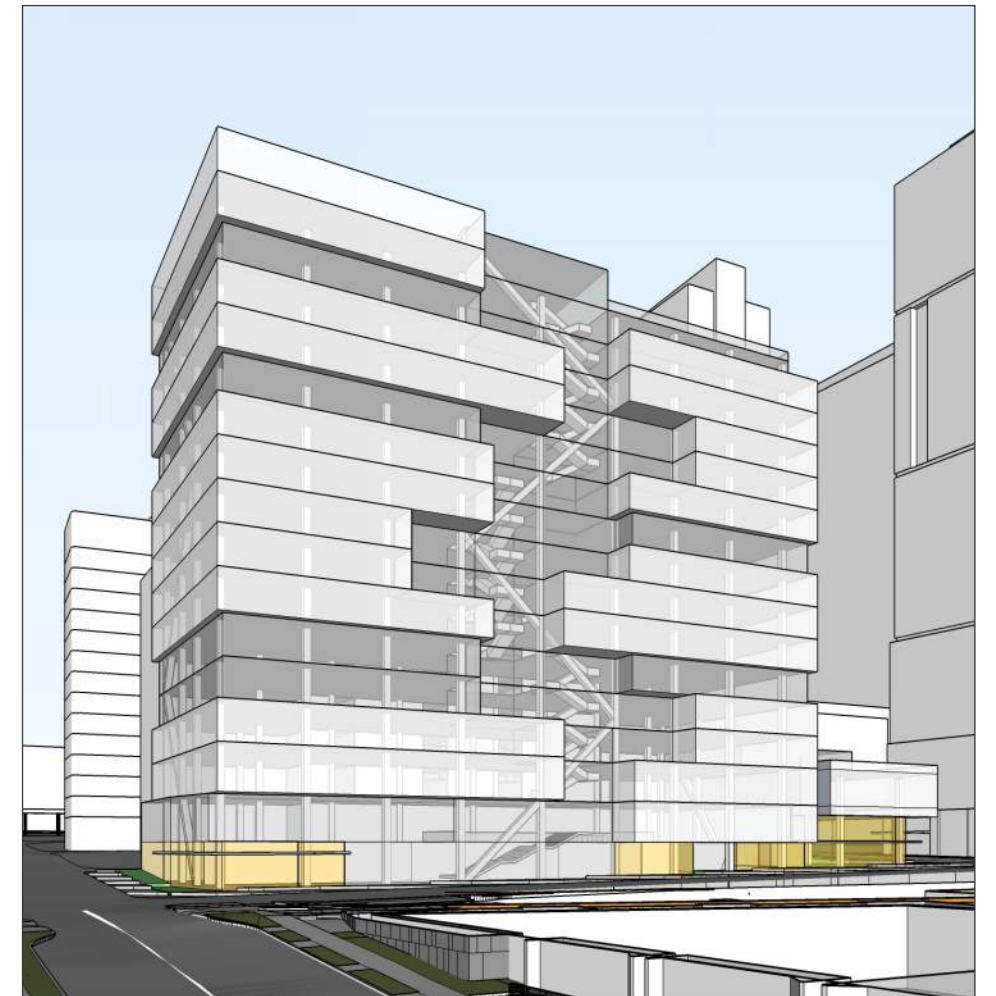
OPTION 1 | CODE-COMPLIANT



OPTION 2



OPTION 3 | PREFERRED



Massing Option 1

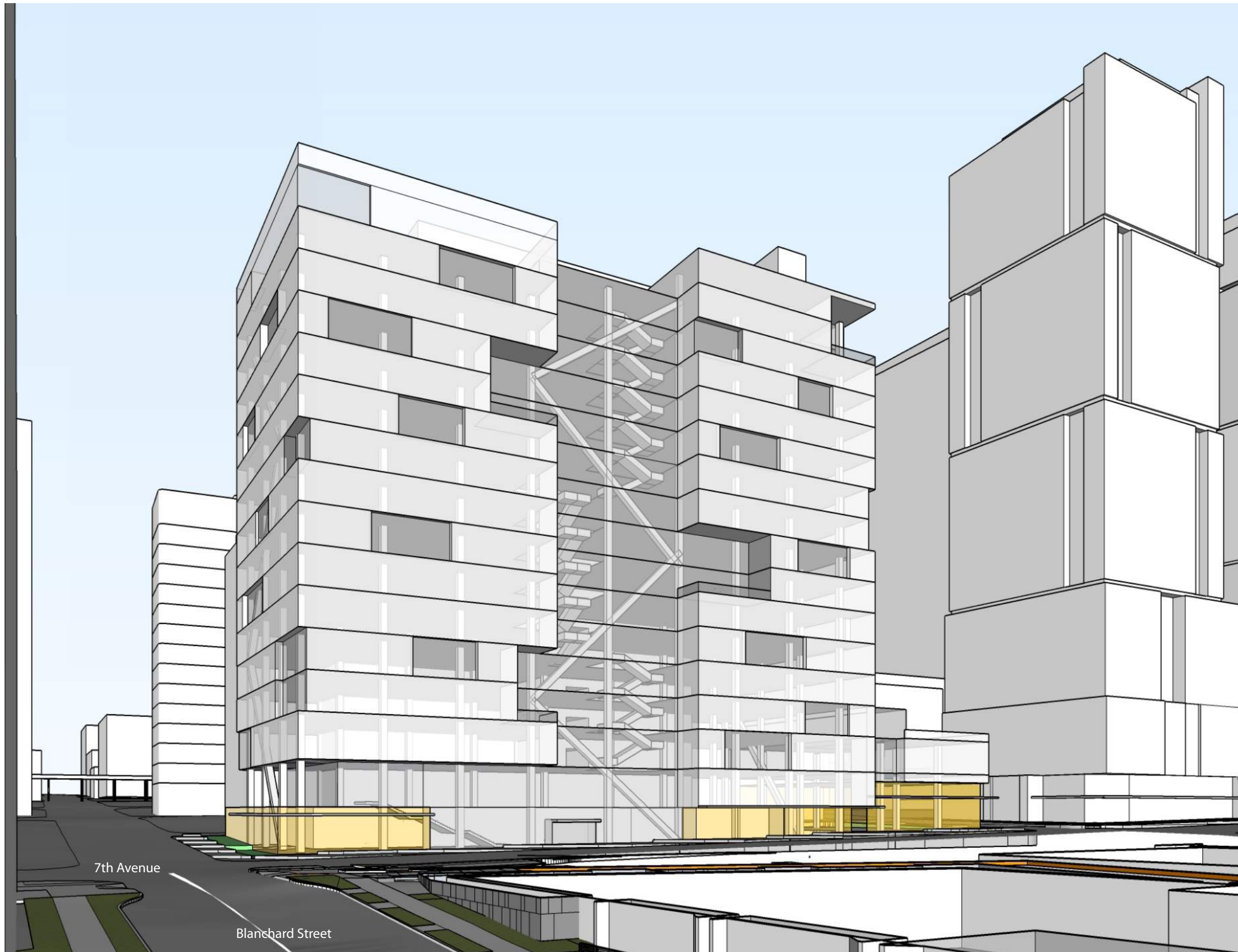
Narrative

Opportunities:

- Code-compliant massing with no departures required
- Recessed center bays reveal unique structural system and internal stair circulation
- Breaking down tower mass emphasizes vertical proportions, strengthens relationship to scale of neighborhood context
- Pattern of recessed individual window bays provides visual character and interest to facade
- Deeper bay recesses provide opportunities for distributed outdoor open space in tower

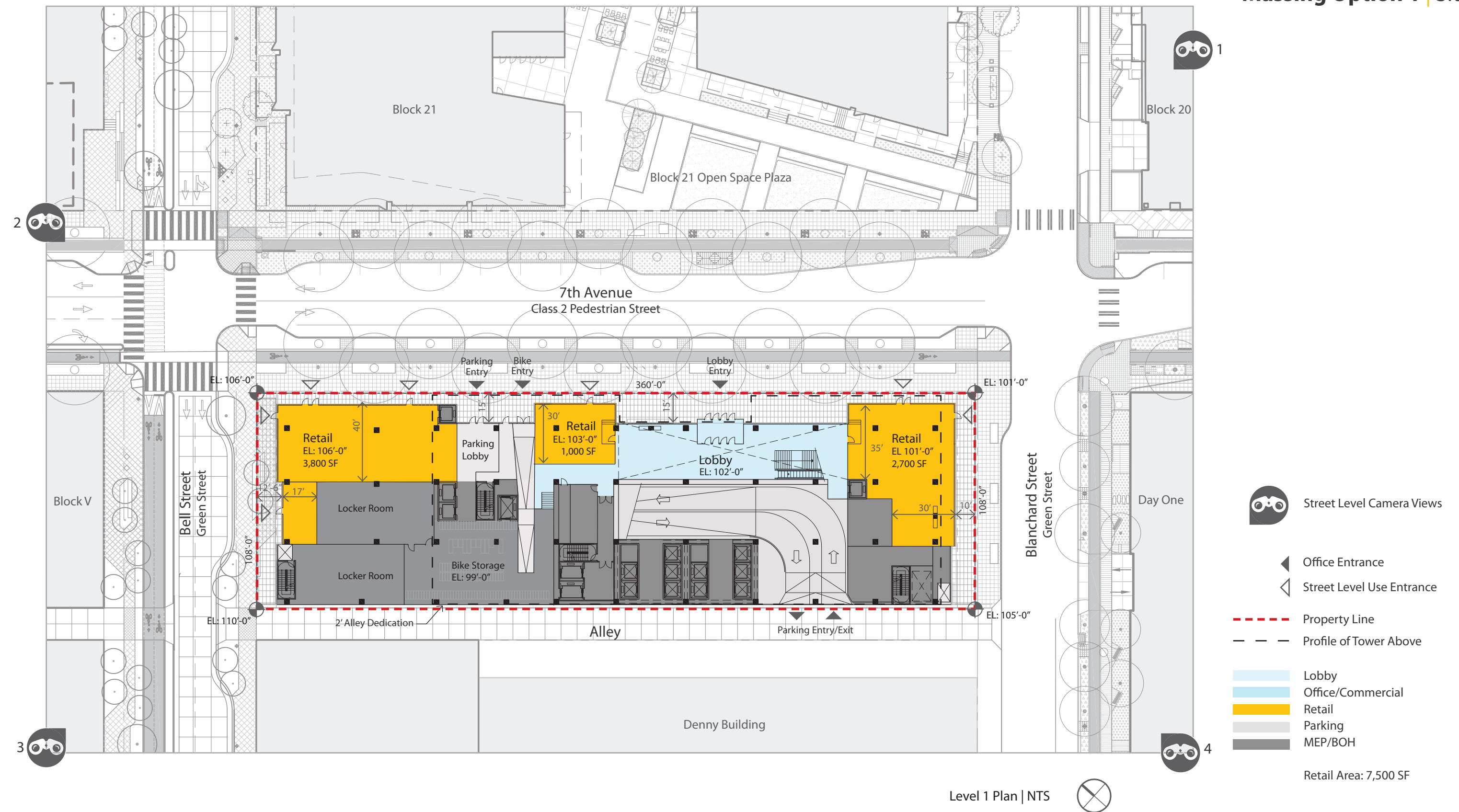
Constraints

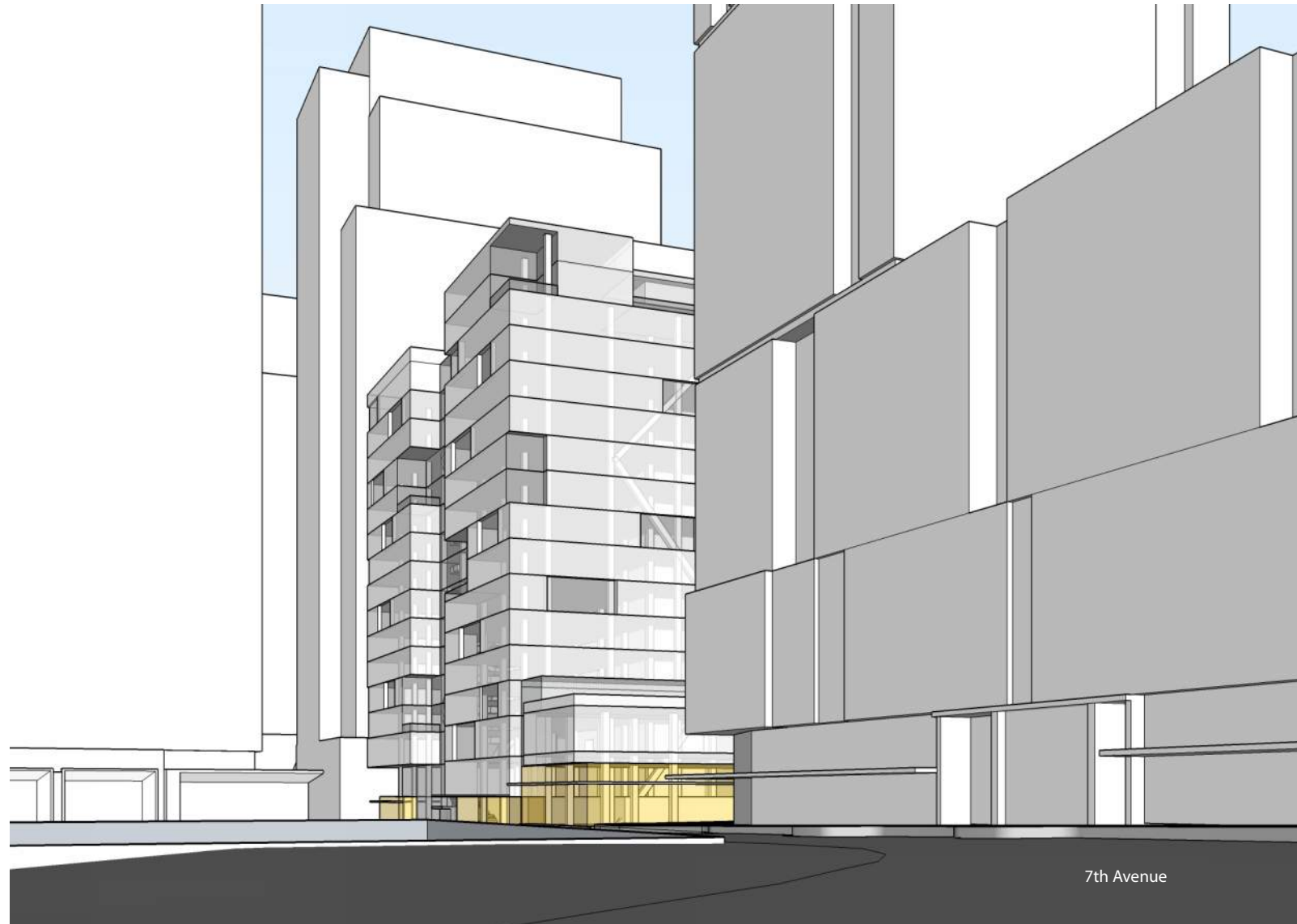
- Massing suggests grouping of individual towers verses singular unified form
- Form is more static than preferred Option Three



1. View from Southeast



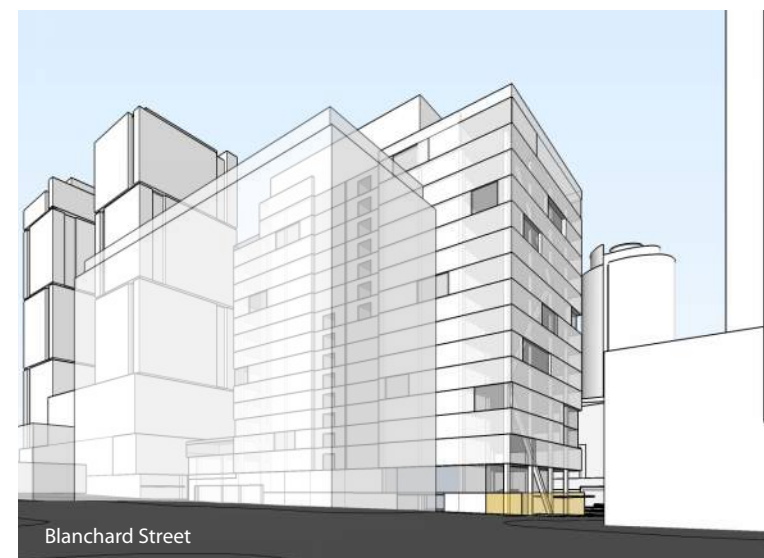




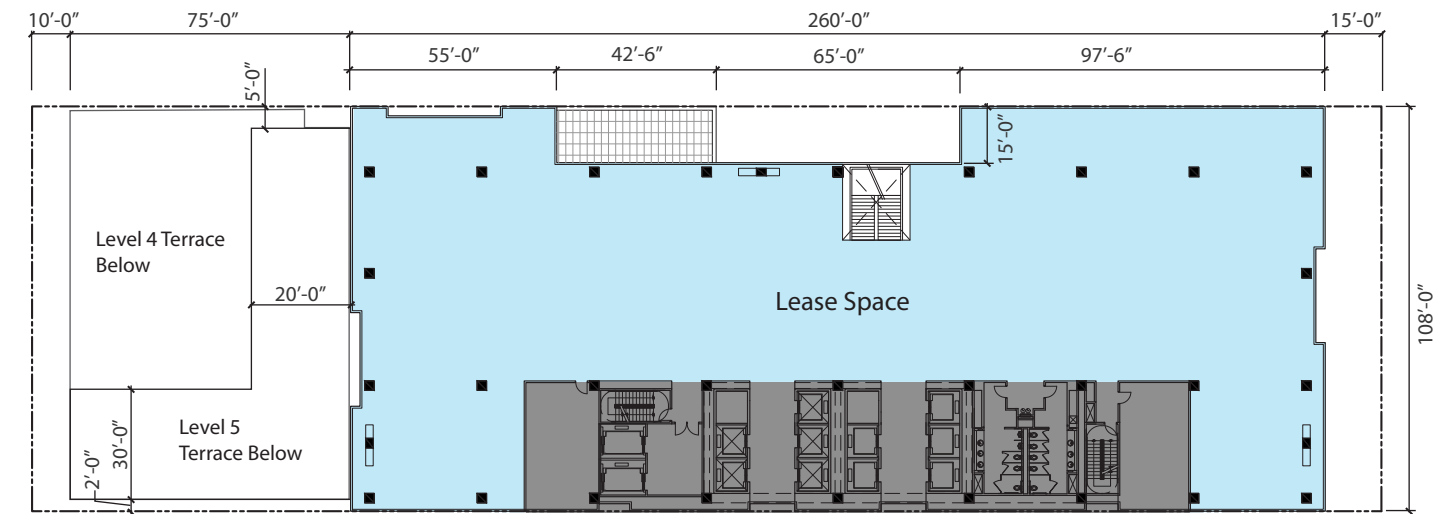
2. View from Northeast



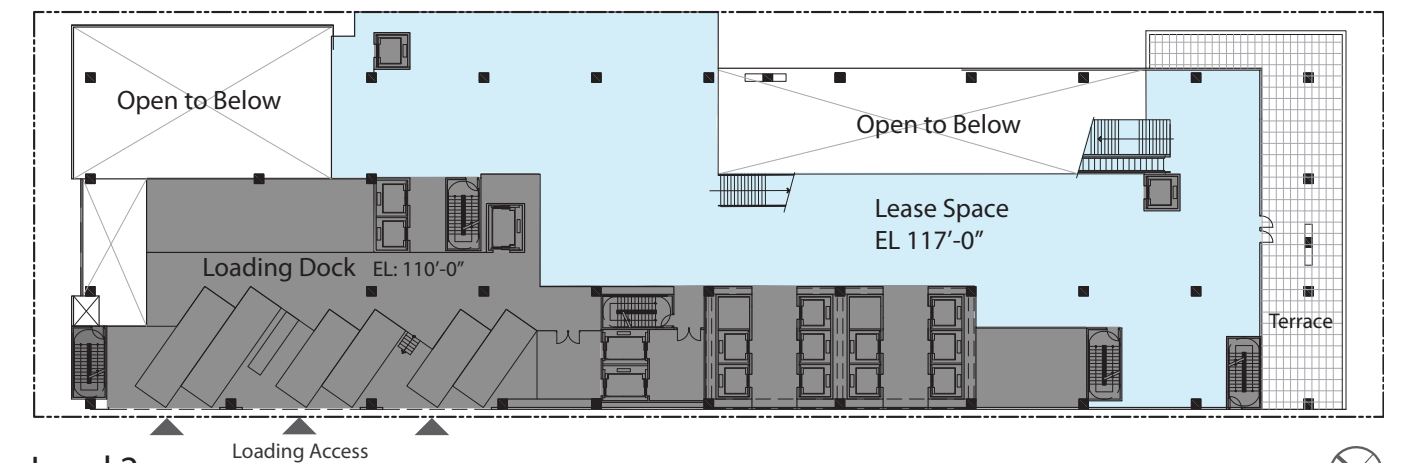
3. View from Northwest



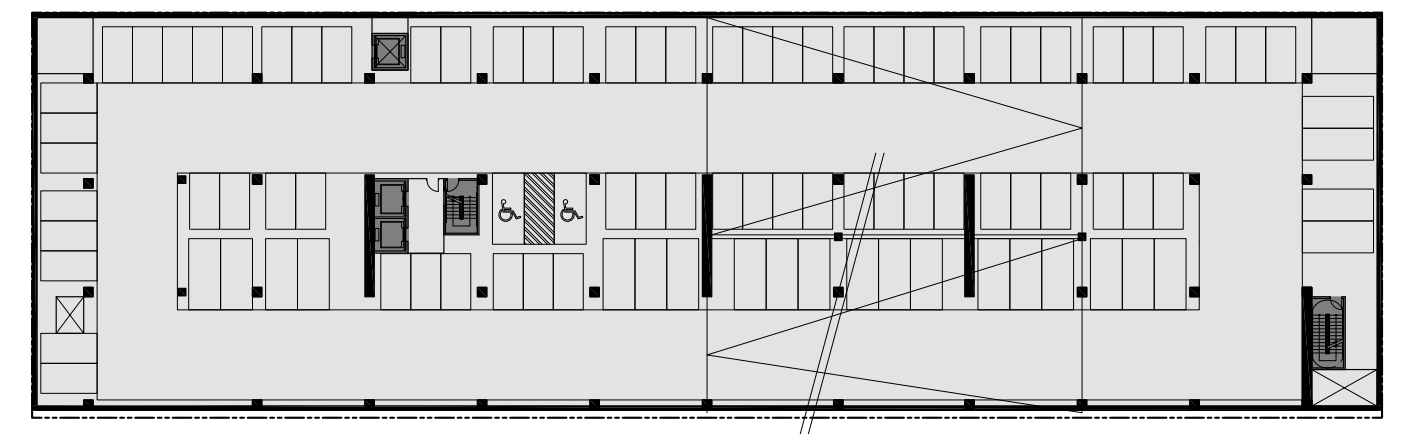
4. View from Southwest



Typical Office Level



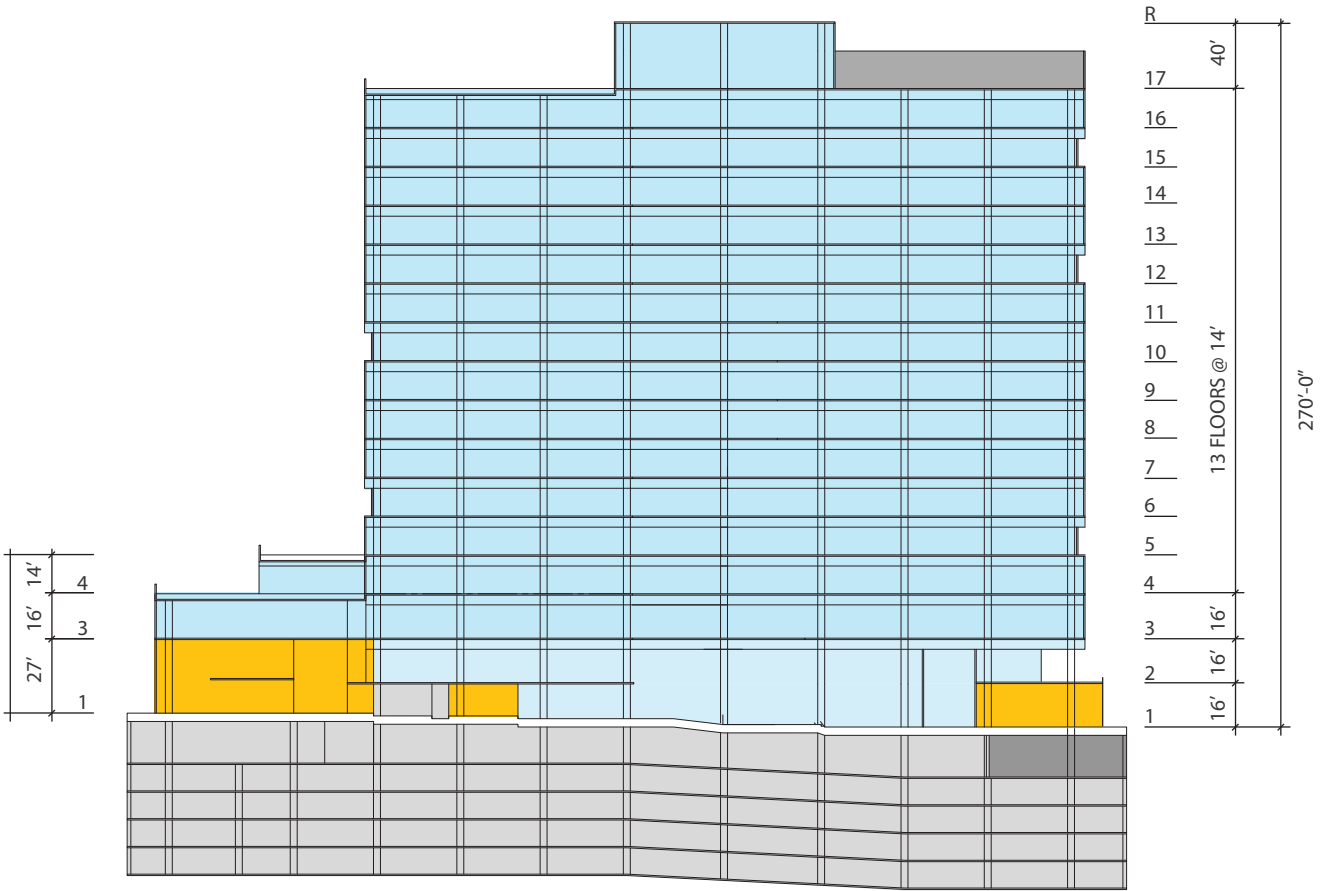
Level 2



Typical Parking Level



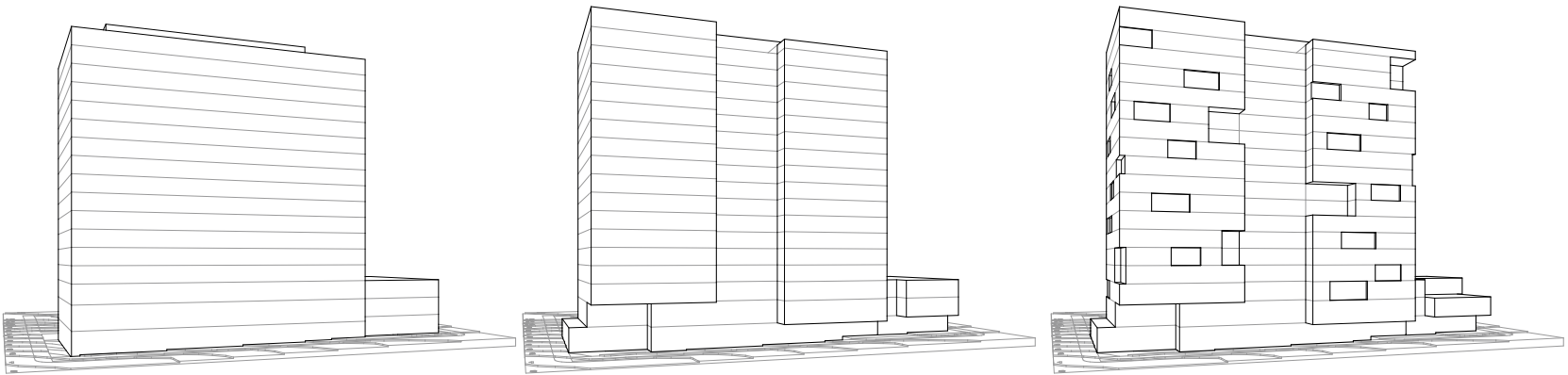
Aerial View from East



Building Section

Summary | Option 1

FAR:	10
Maximum Chargeable Floor Area	388,800 SF
FAR Exempt Floor Area:	11,700 SF
Chargeable Gross Floor Area:	398,985 SF
3.5% Mechanical Allowance (SMC 23.49.11.B)	13,964 SF
Net Chargeable Floor Area Proposed:	385,020 SF
Ground Level Open Space:	5,500 SF
Upper Level Open Space:	11,500 SF



Massing Concept Diagram



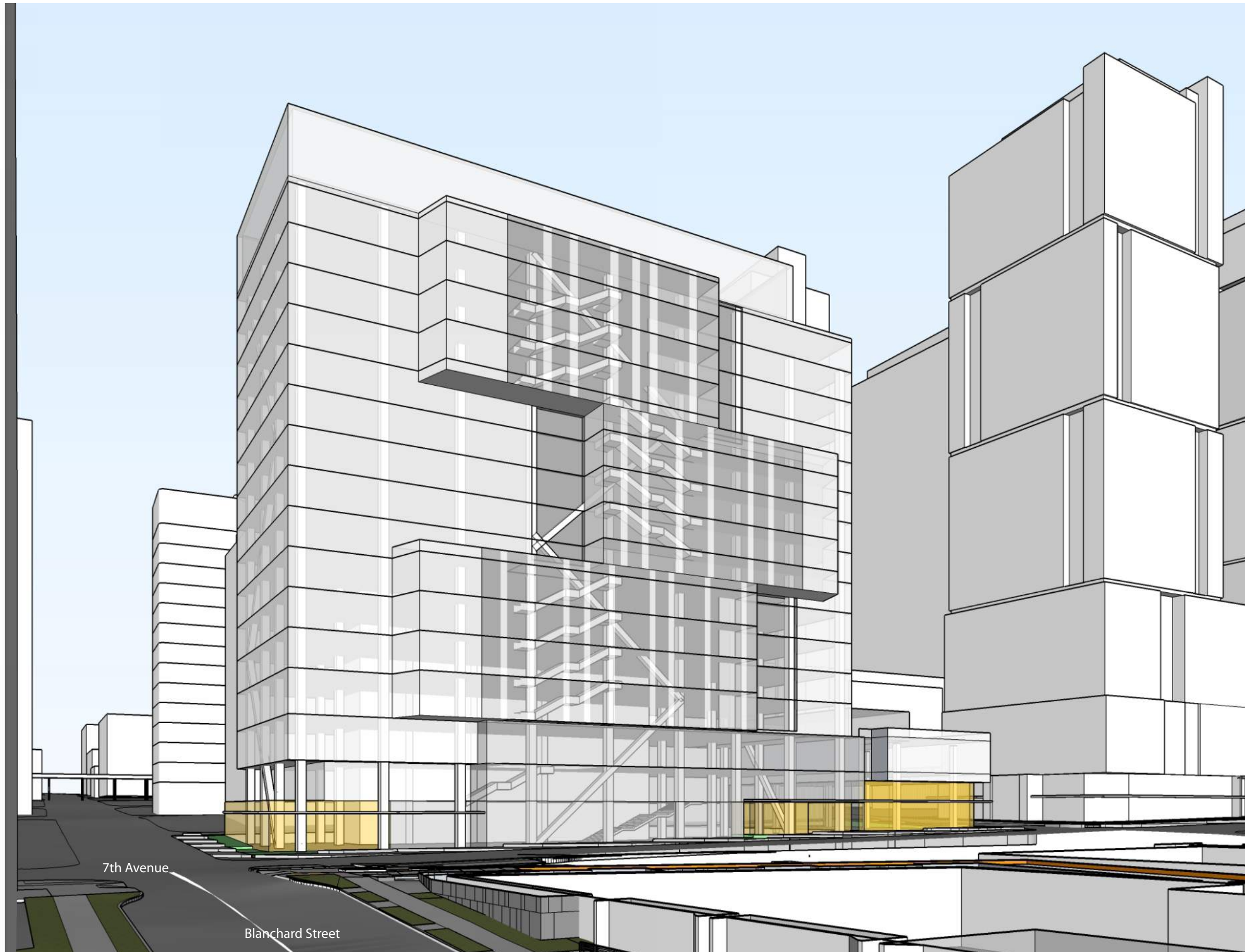
Narrative

Opportunities:

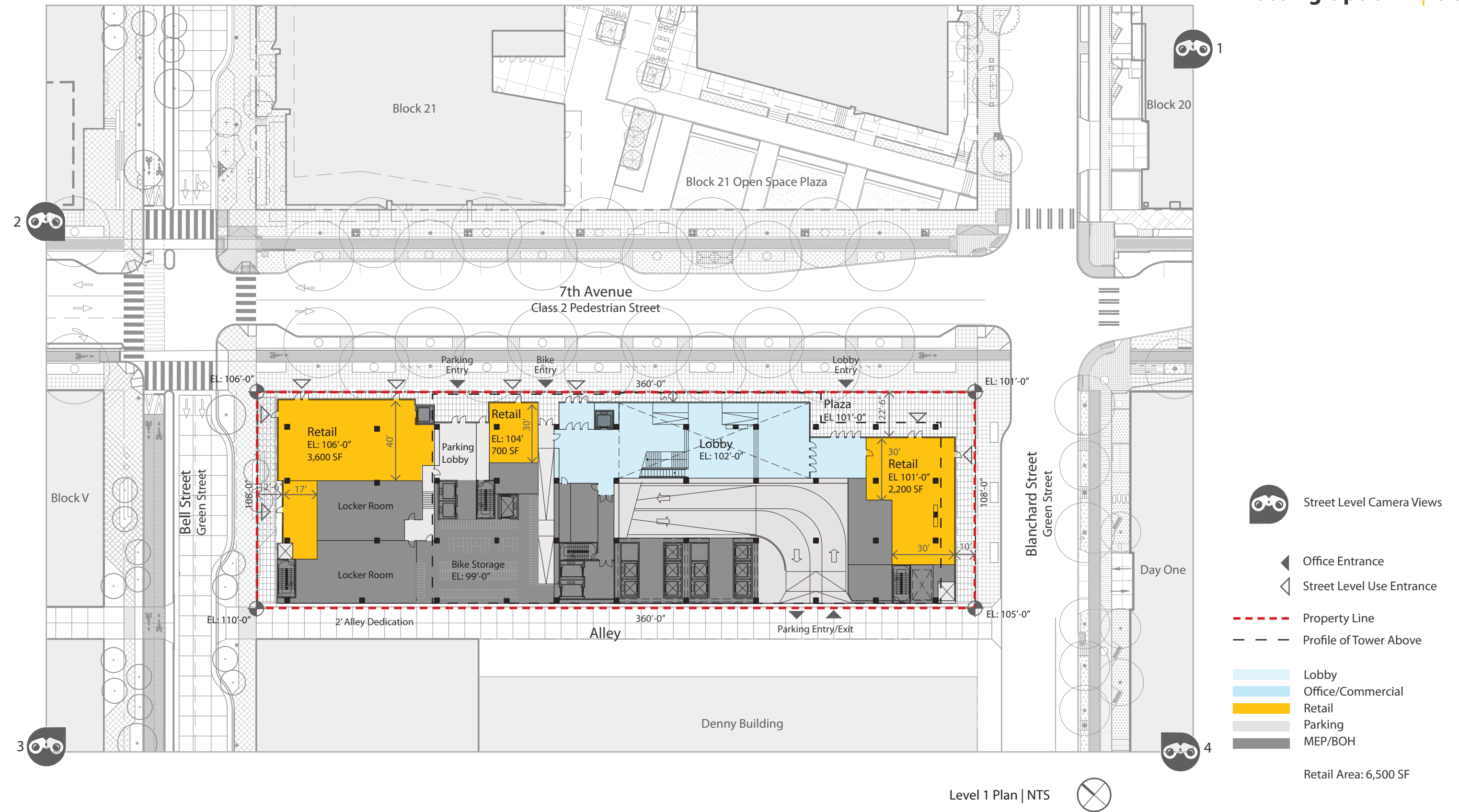
- “Bay window” vocabulary creates opportunity for unique architectural expression
- Grouping of floors breaks down scale of tower
- Shifting, overlapping forms create upper level terrace opportunities
- No upper level departures required

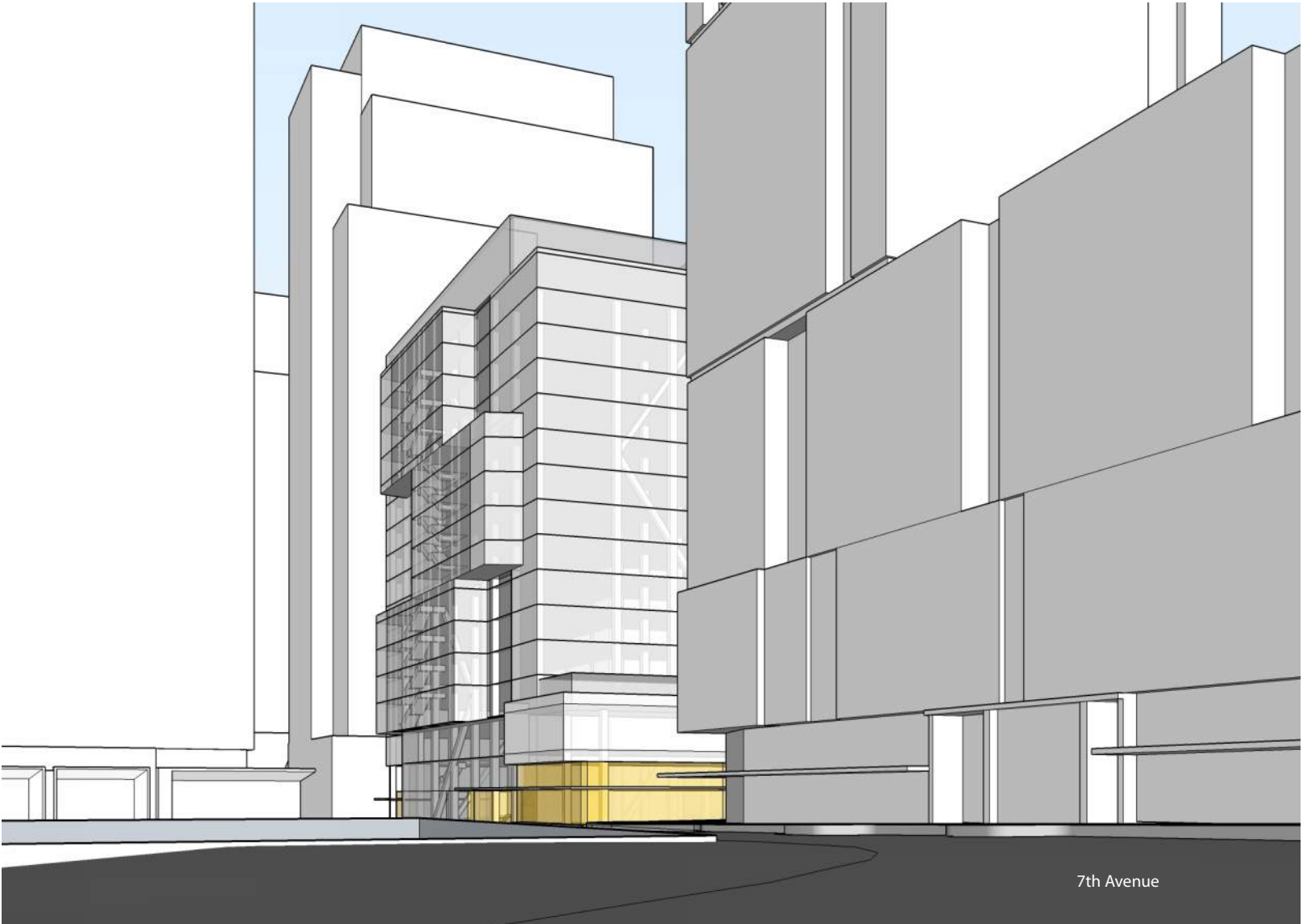
Constraints

- Requires street level setback departure
- Form presents broad facade parallel to 7th Avenue
- Vocabulary of grouped floors similar to proposed adjacent developments
- “Frontal” massing does not address views of the tower from corners
- Projecting, frontal massing is less approachable and inviting than options 1 & 3.
- Less modulation than options 1 & 3, resulting in fewer upper level open space opportunities

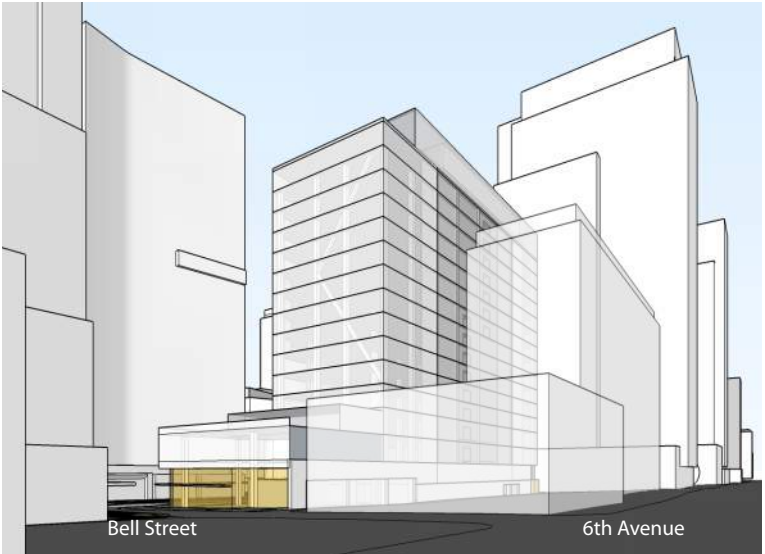


1. View from Southeast





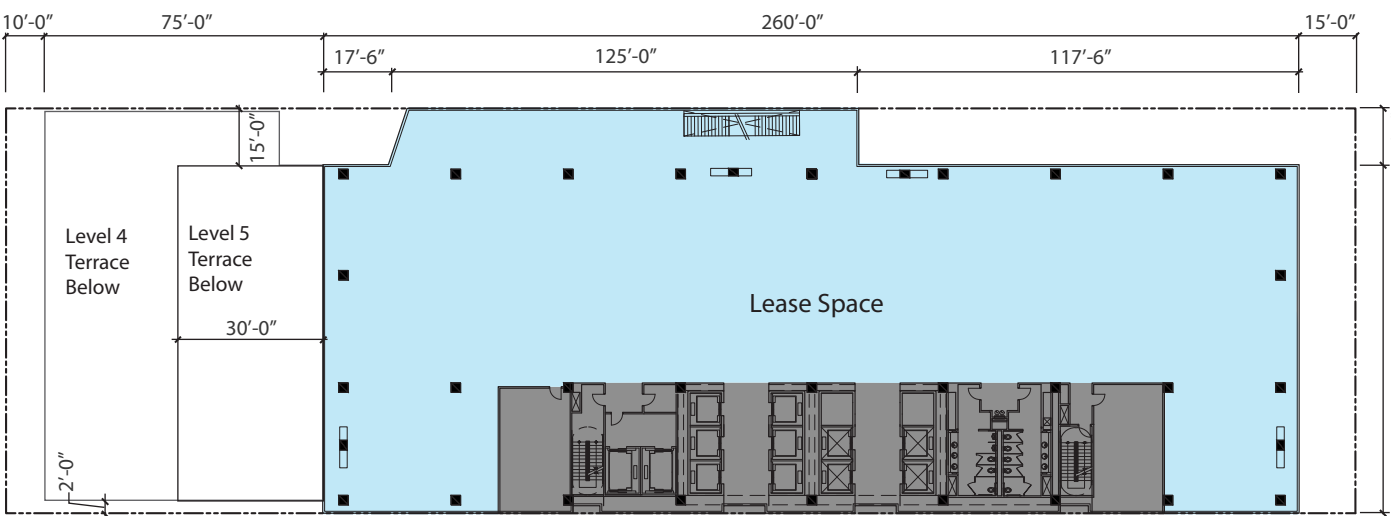
2. View from Northeast



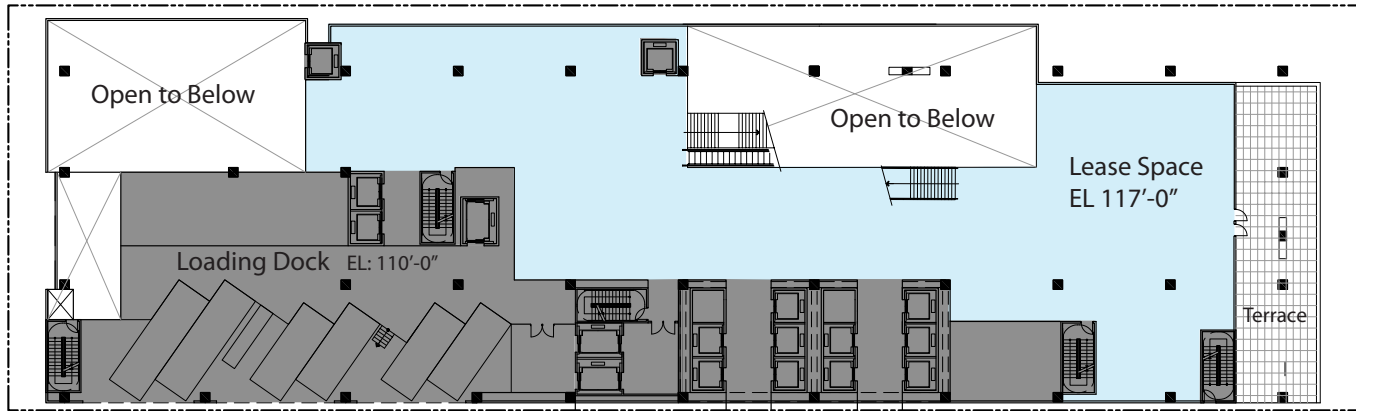
3. View from Northwest



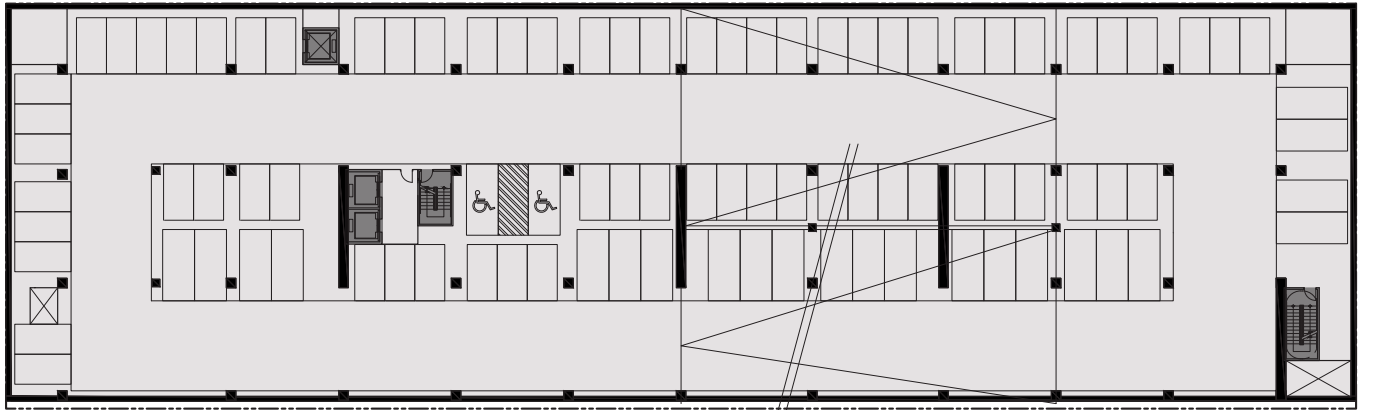
4. View from Southwest



Typical Office Level



Level 2

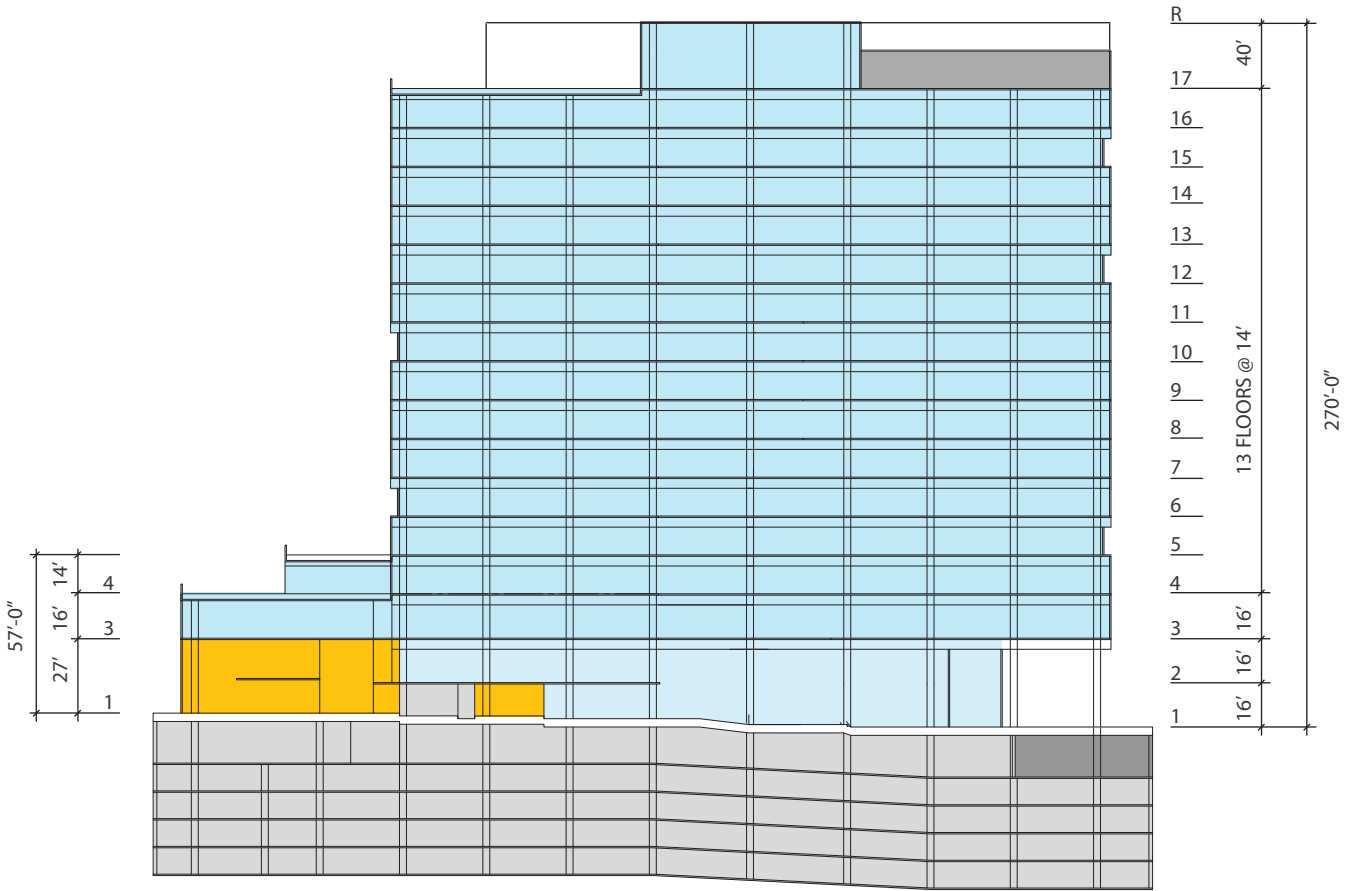


Typical Parking Level





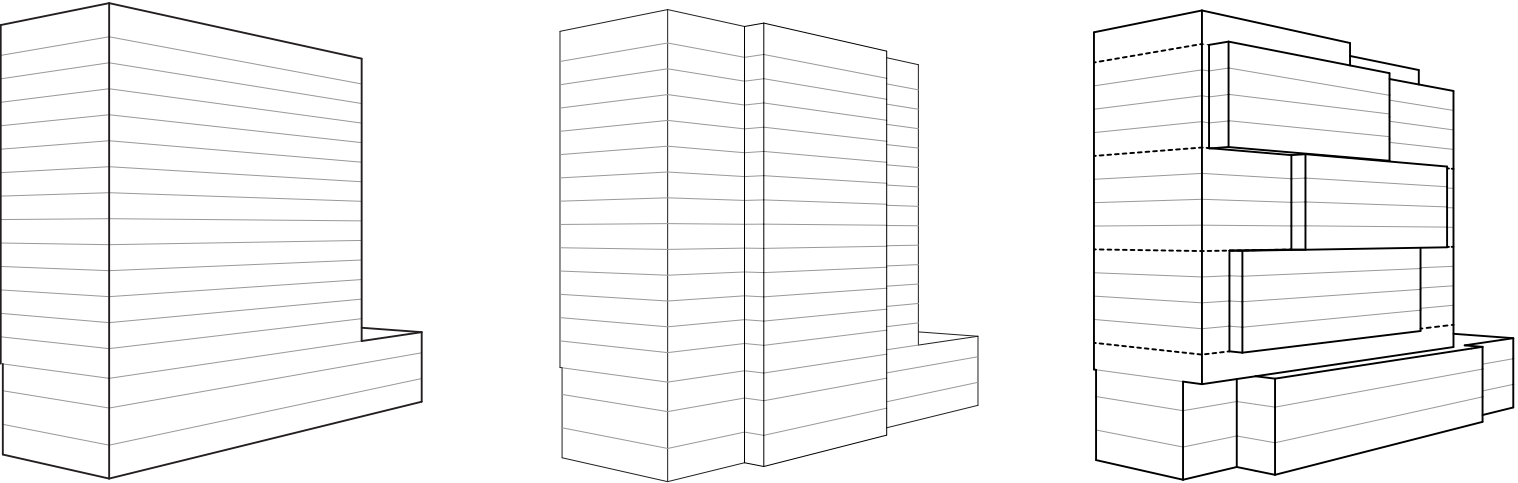
Aerial View from East



Building Section

Summary | Option 2

FAR:	10
Maximum Chargeable Floor Area	388,800 SF
FAR Exempt Floor Area:	12,463 SF
Chargeable Gross Floor Area:	398,985 SF
3.5% Mechanical Allowance (SMC 23.49.11.B)	13,964 SF
Net Chargeable Floor Area Proposed:	385,020 SF
Ground Level Open Space:	5,400 SF
Upper Level Open Space:	12,800 SF



Massing Concept Diagram



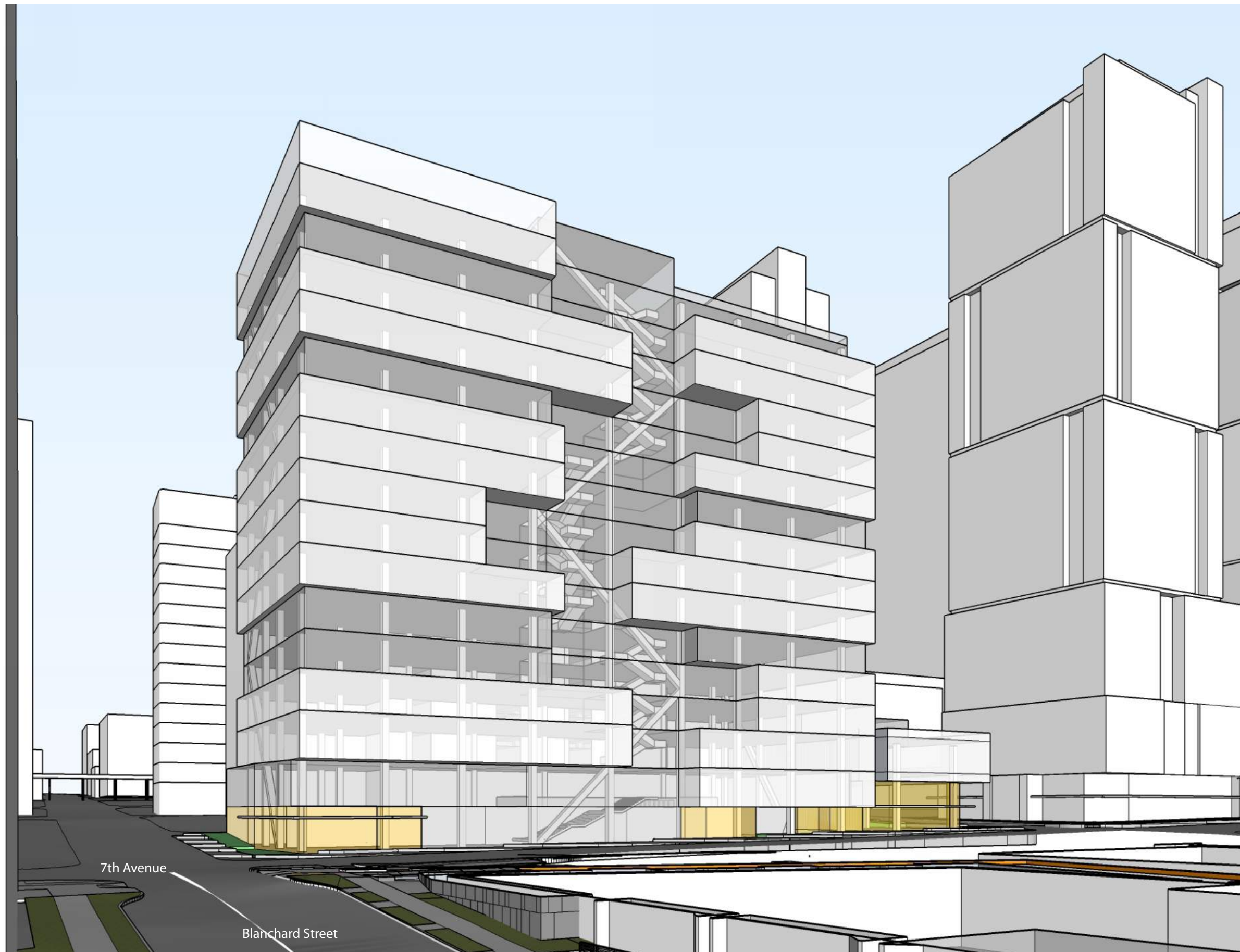
Narrative

Opportunities:

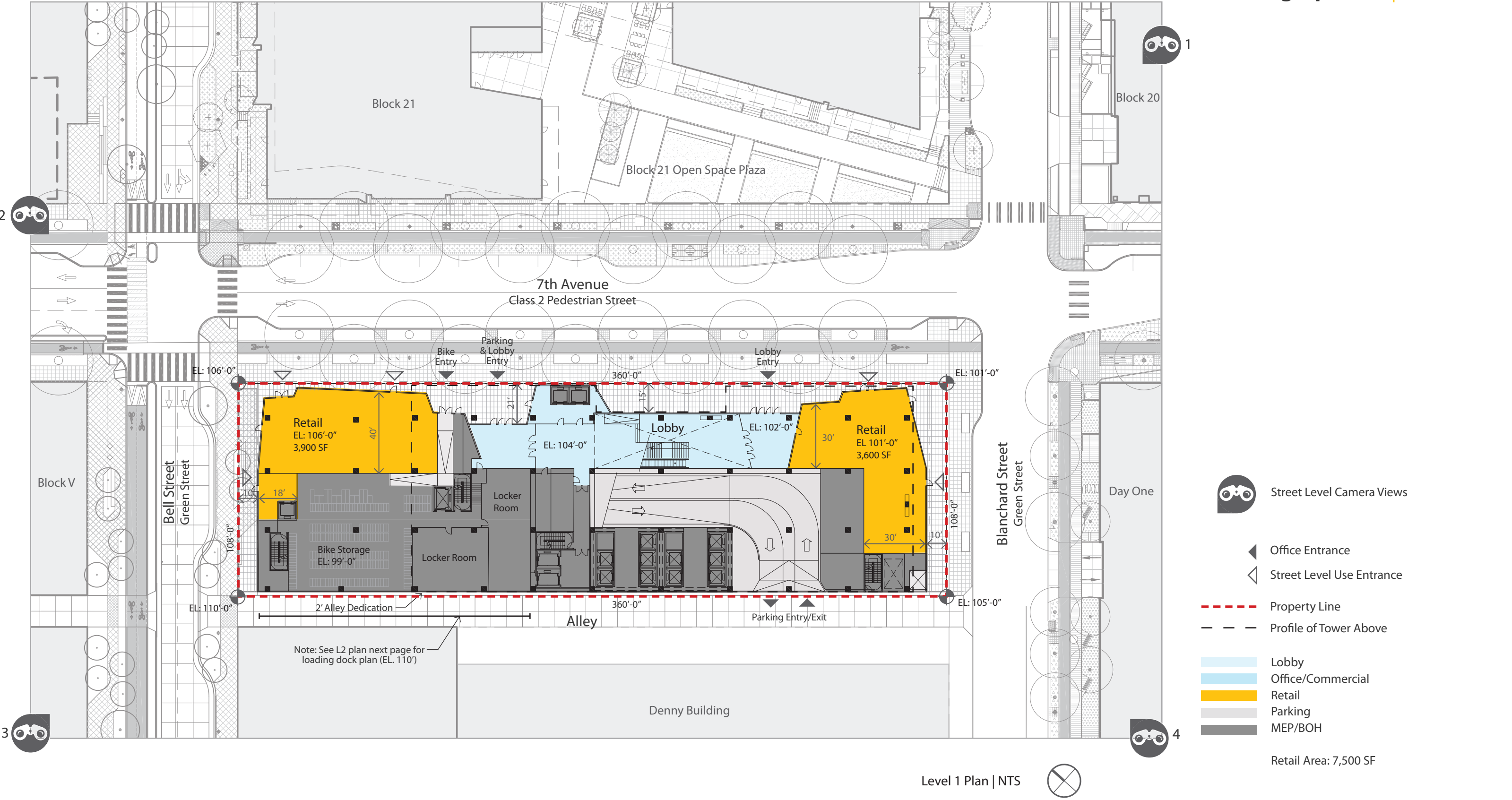
- Language of stacked floor slabs results in distinctive, unified form
- Recessed center bays reveal unique structural system and internal stair circulation
- Interlocking stair-step forms relate to adjacent towers while maintaining integrity of unique form and carrying visual interest up the entire height of the tower.
- Staggered center bay provides opportunities for distributed open space in tower
- Vocabulary of recessed individual floors wraps around all sides of tower, providing visual interest at corners and extending architectural language around all four sides of the site
- Sculpted ground floor plan maximizes active uses at corner while maintaining visibility of lobby
- Strong site dialog with open space plaza across 7th Avenue

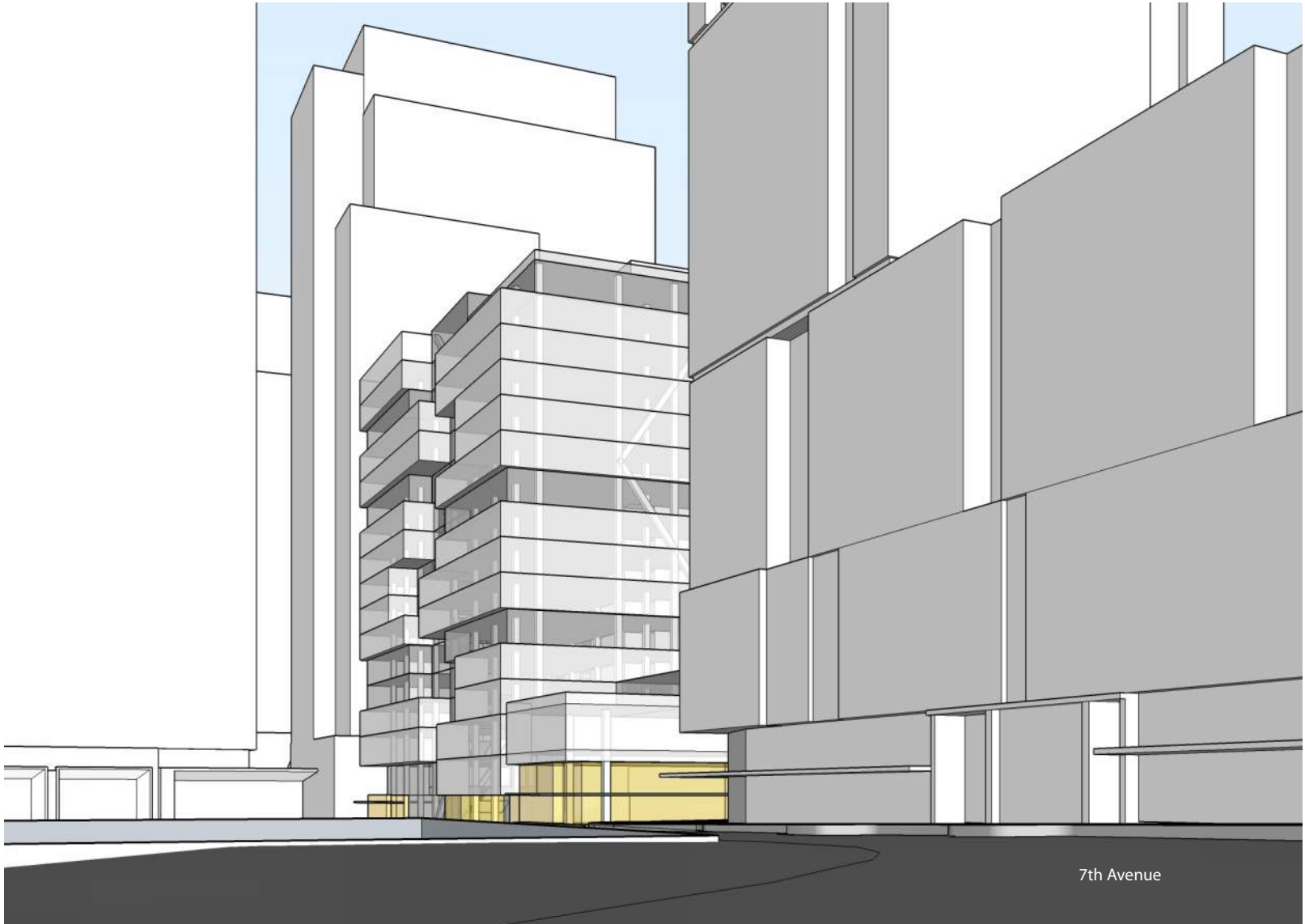
Constraints

- Requires upper level facade length and street level setback departures
- Form is more horizontally proportioned than Option One

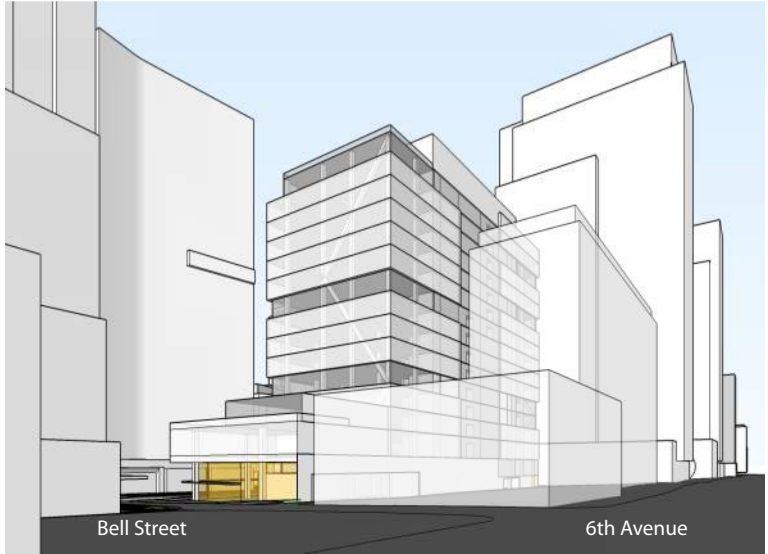


1. View from Southeast





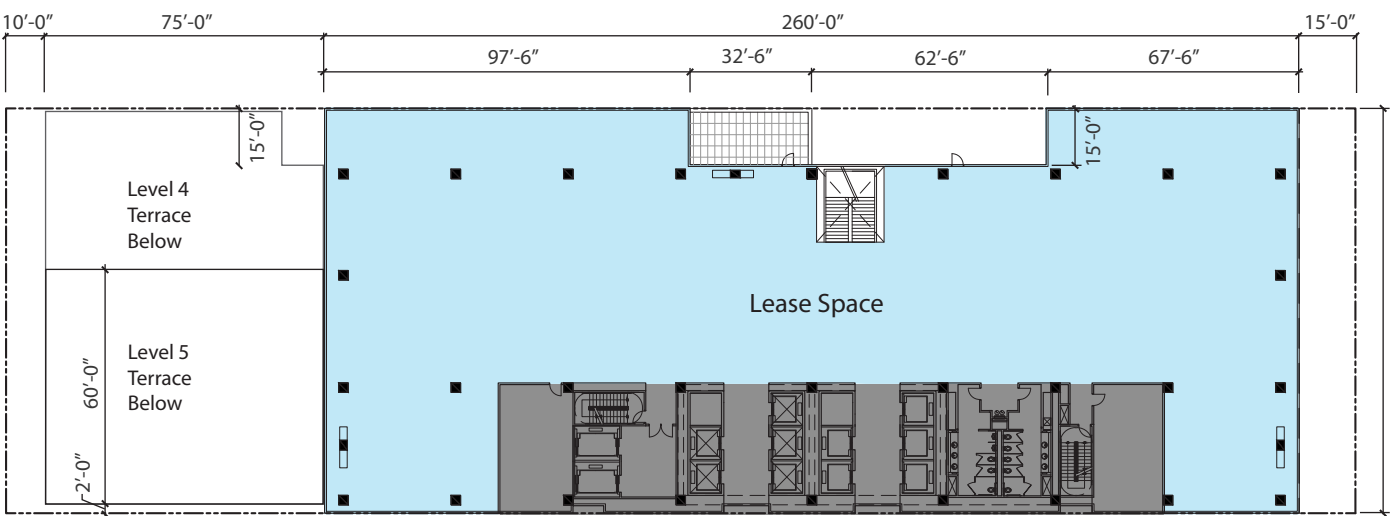
2. View from Northeast



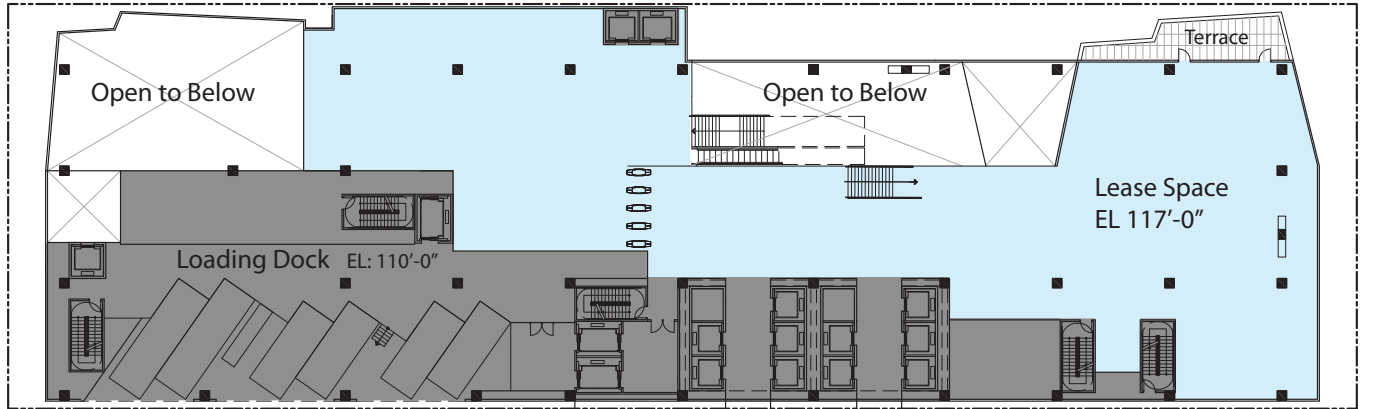
3. View from Northwest



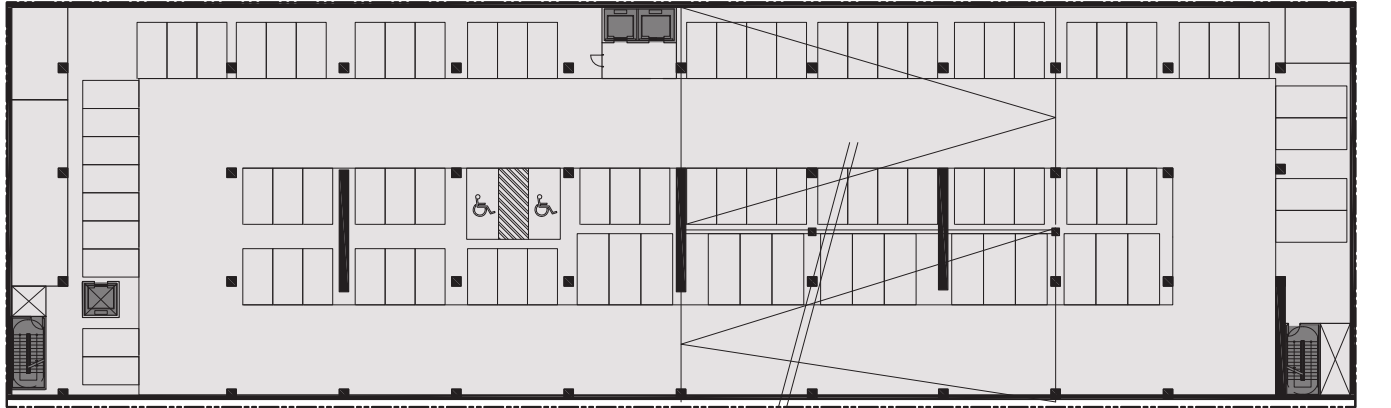
4. View from Southwest



Typical Office Level

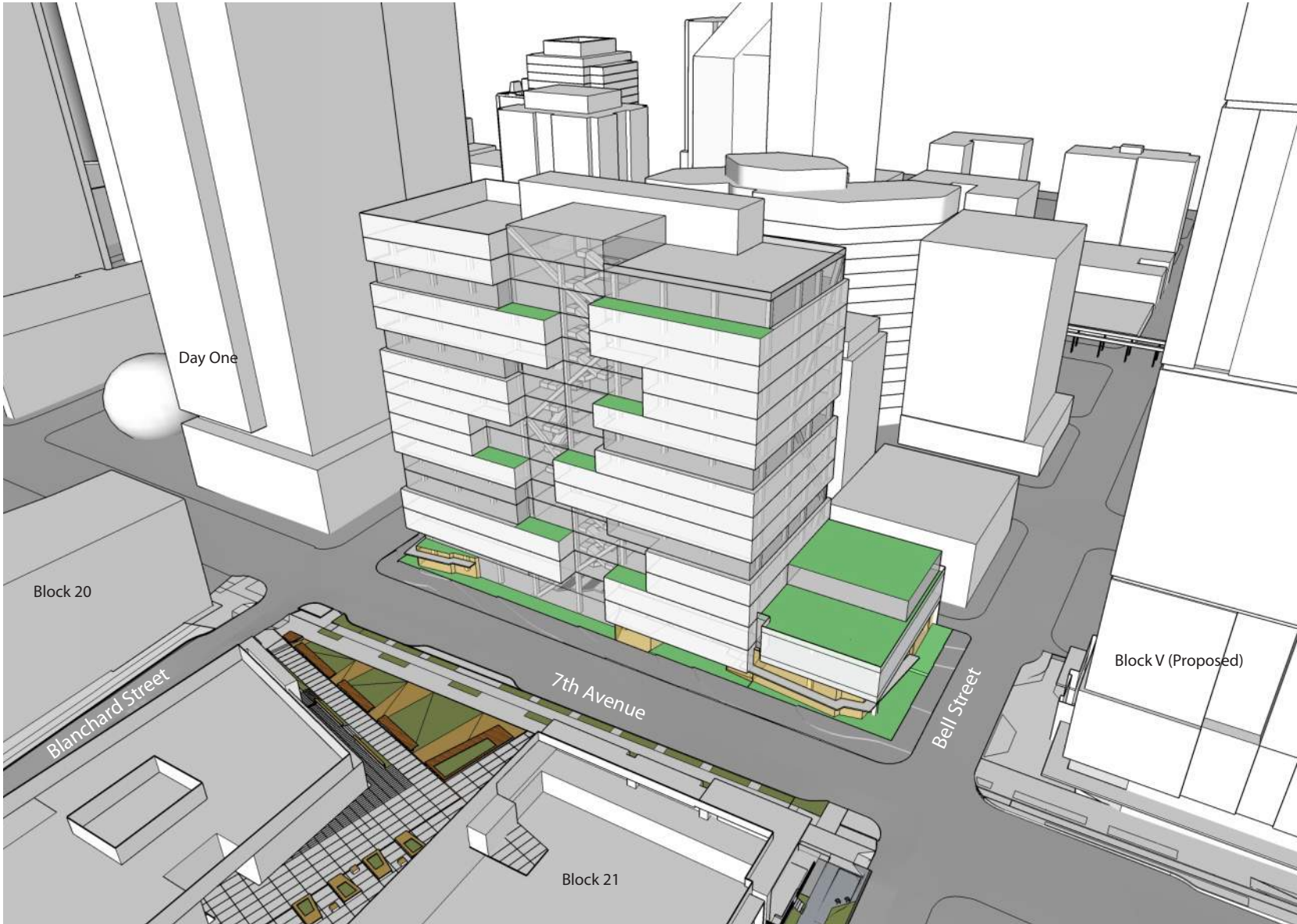


Level 2

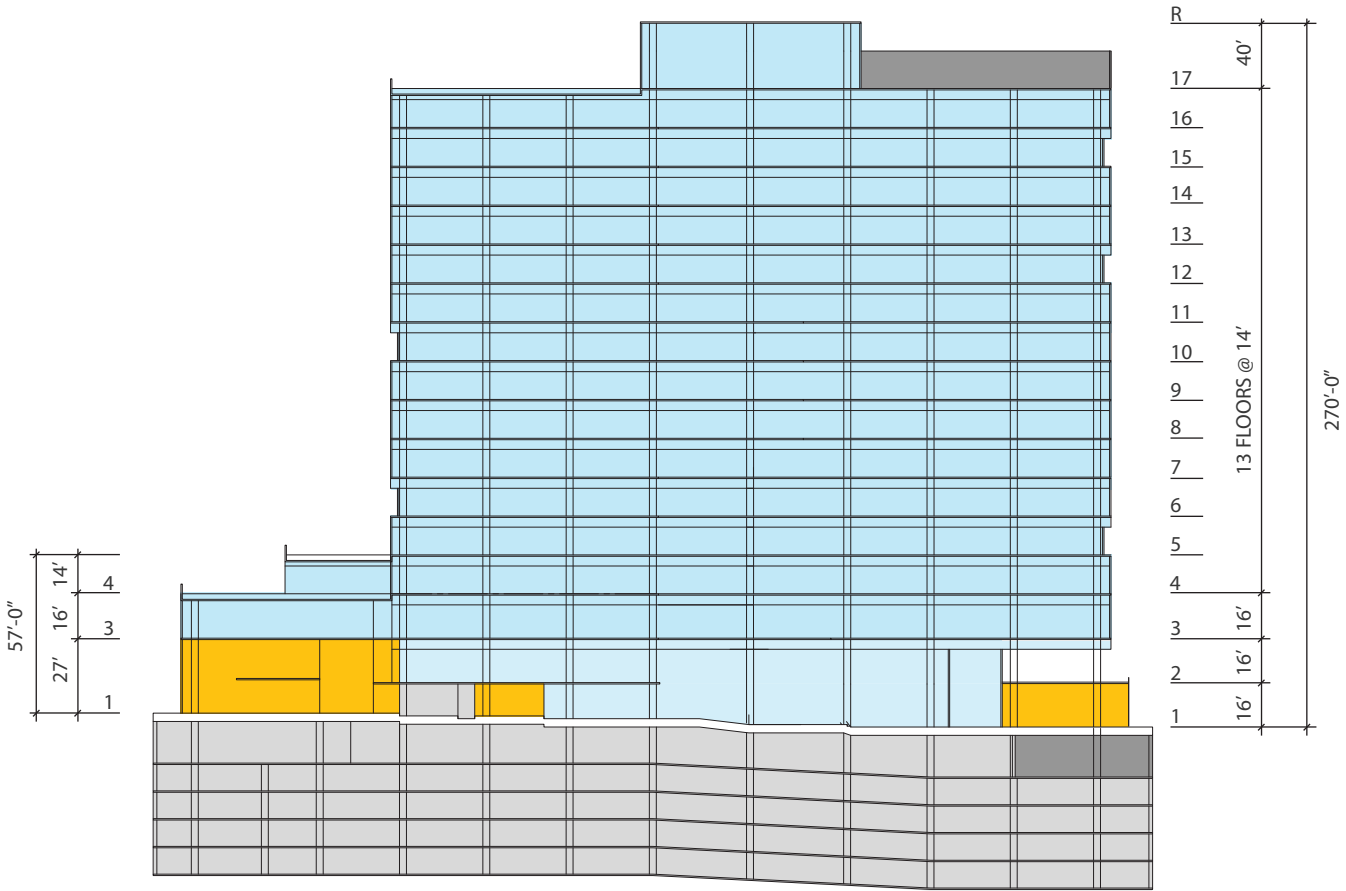


Typical Parking Level





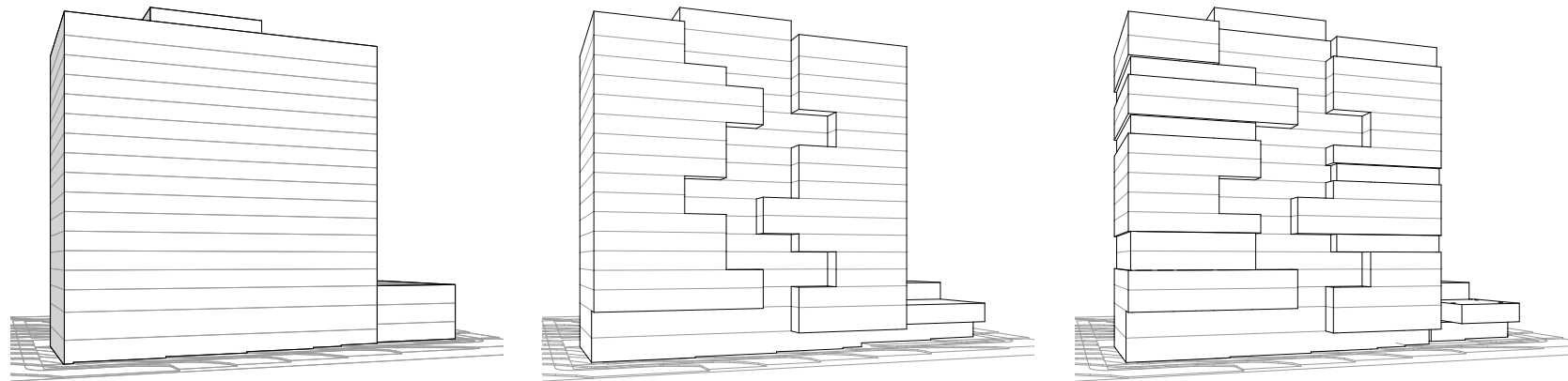
Aerial View from East



Building Section

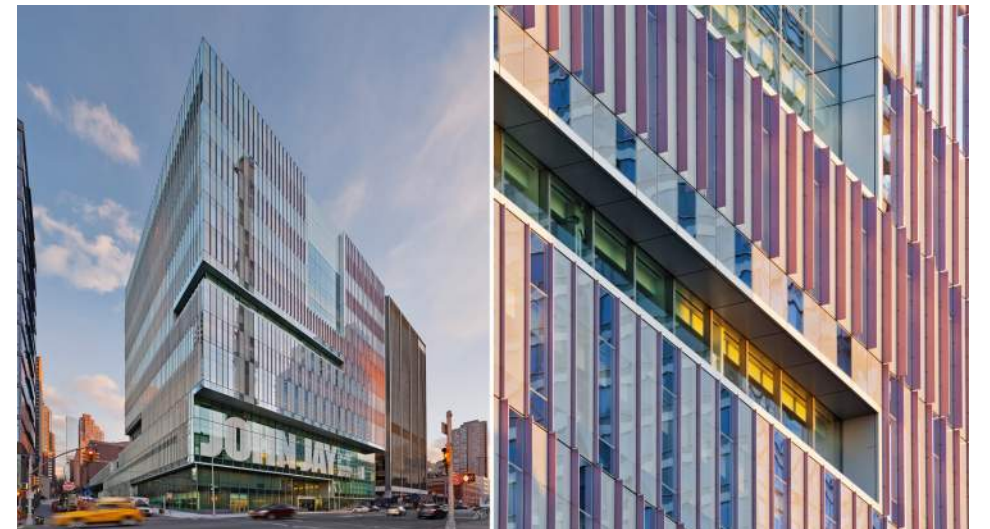
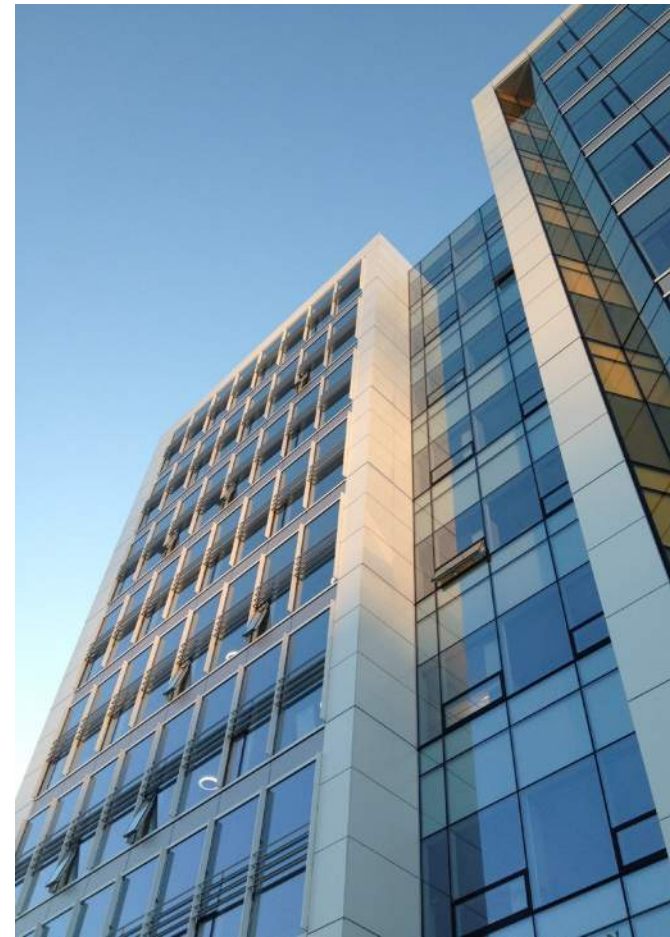
Summary | Option 3

FAR:	10
Maximum Chargeable Floor Area	388,800 SF
FAR Exempt Floor Area:	11,200 SF
Chargeable Gross Floor Area:	398,985 SF
3.5% Mechanical Allowance (SMC 23.49.11.B)	13,964 SF
Net Chargeable Floor Area Proposed:	385,020 SF
Ground Level Open Space:	5,600 SF
Upper Level Open Space:	13,400 SF

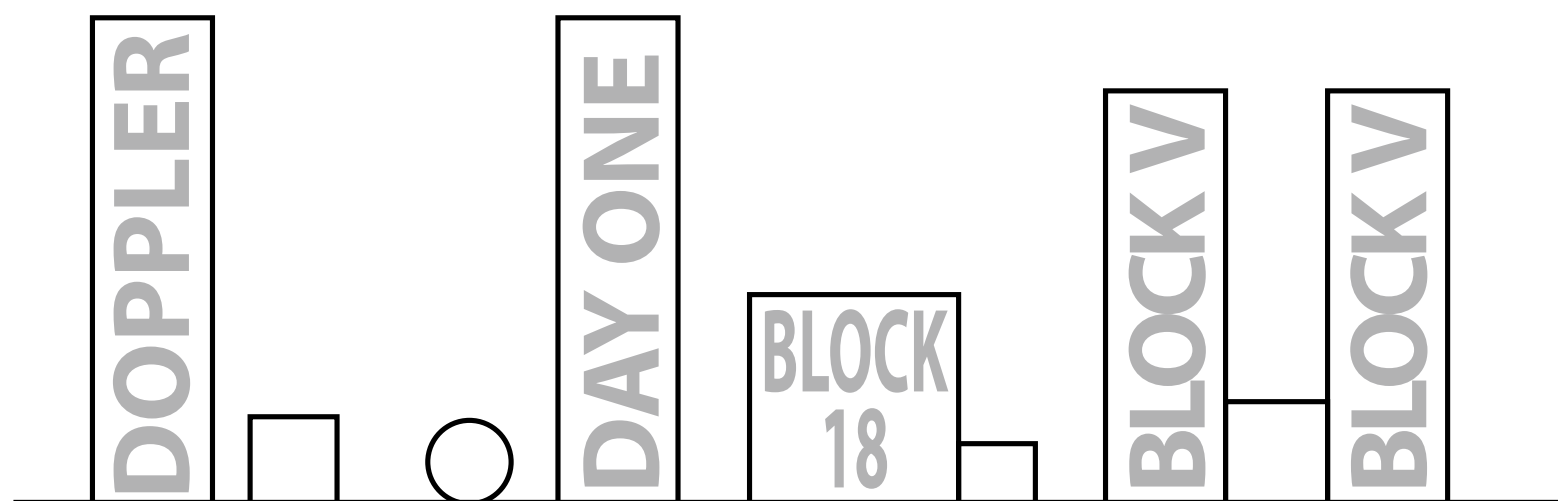
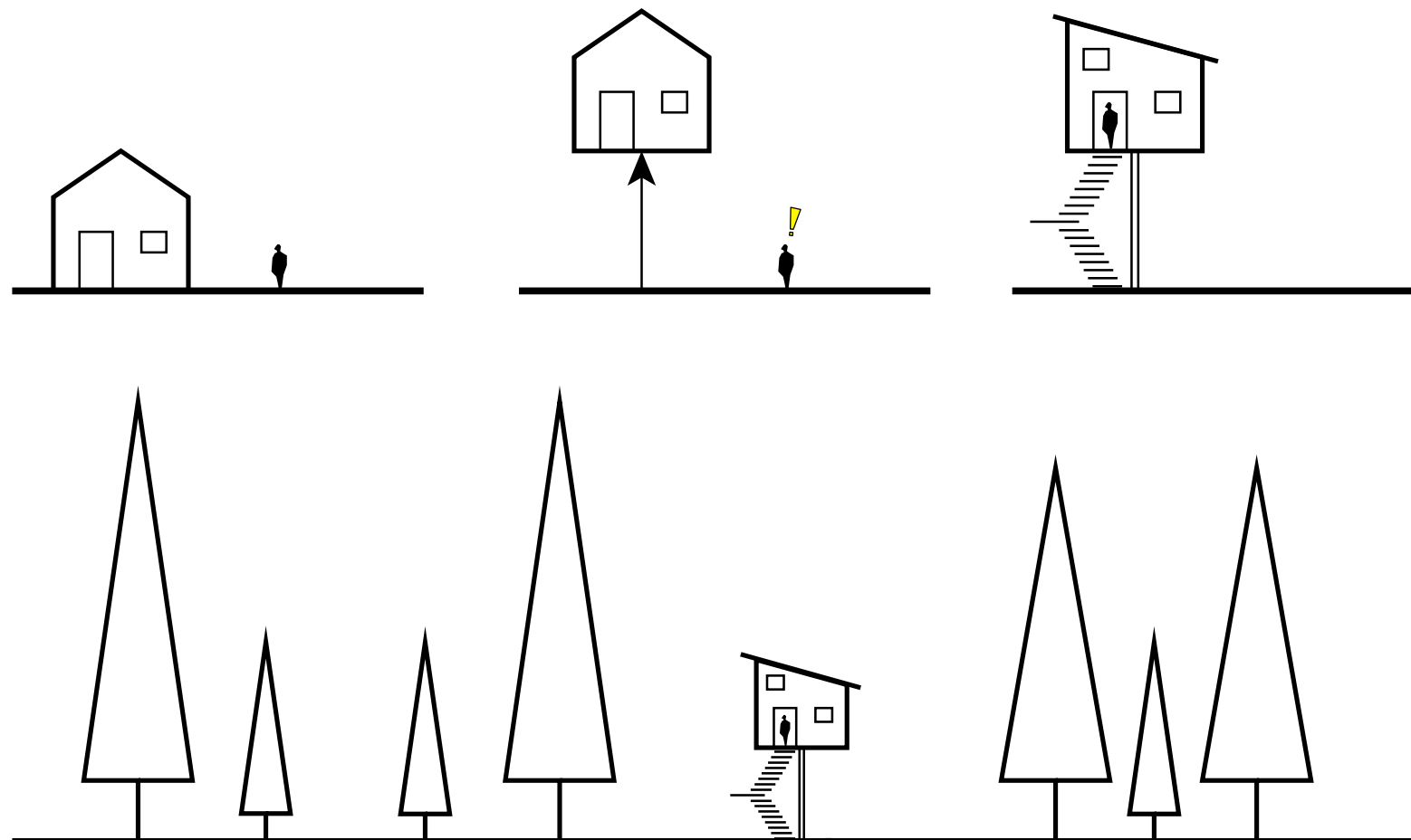


Massing Concept Diagram

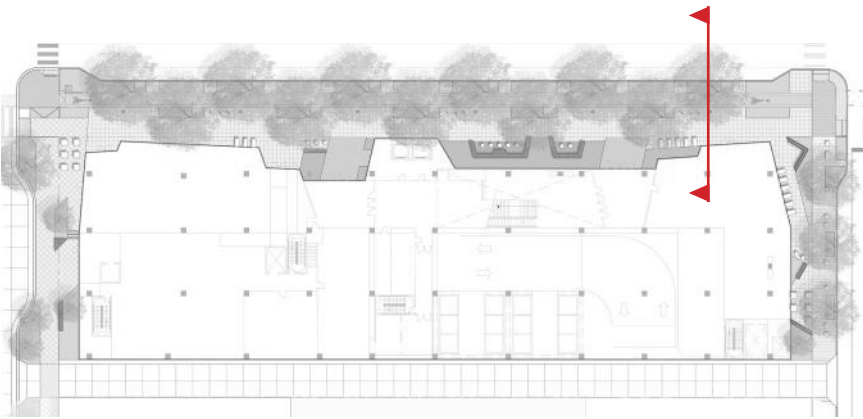


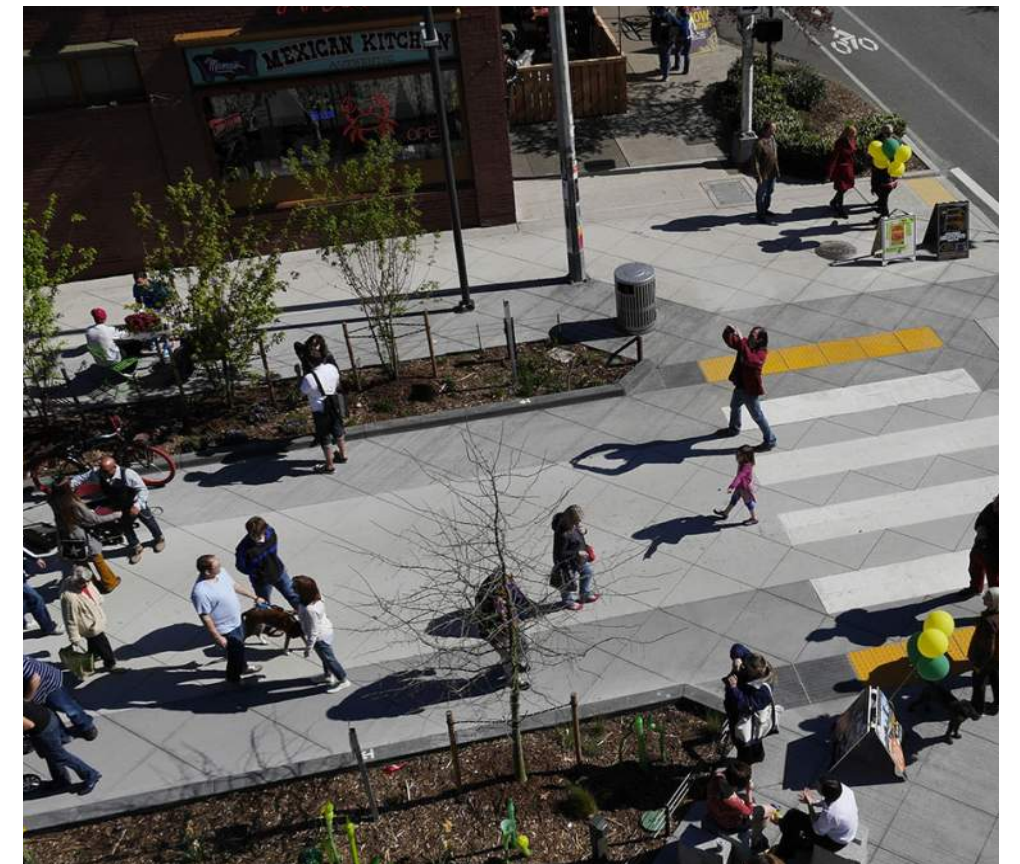
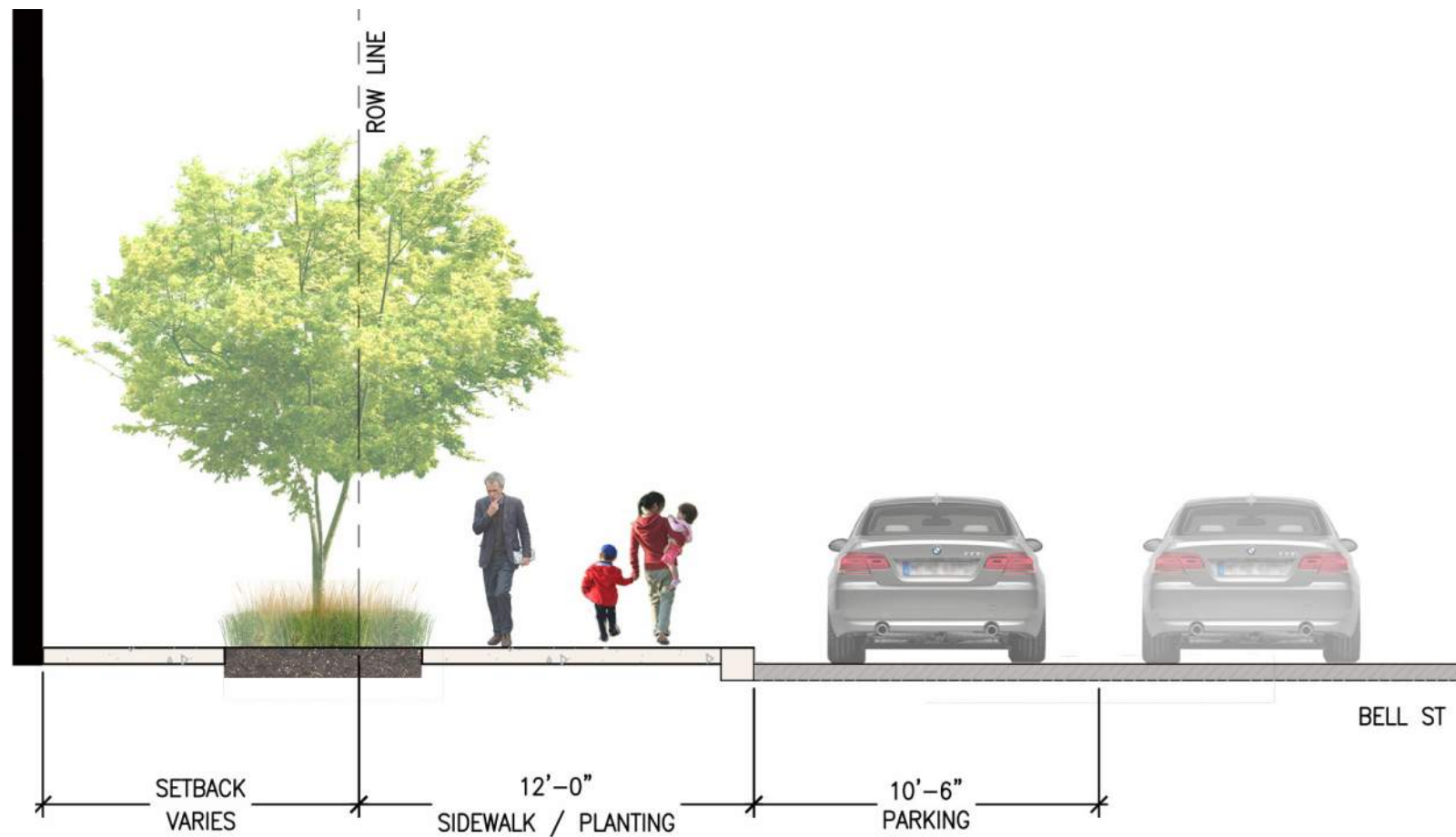
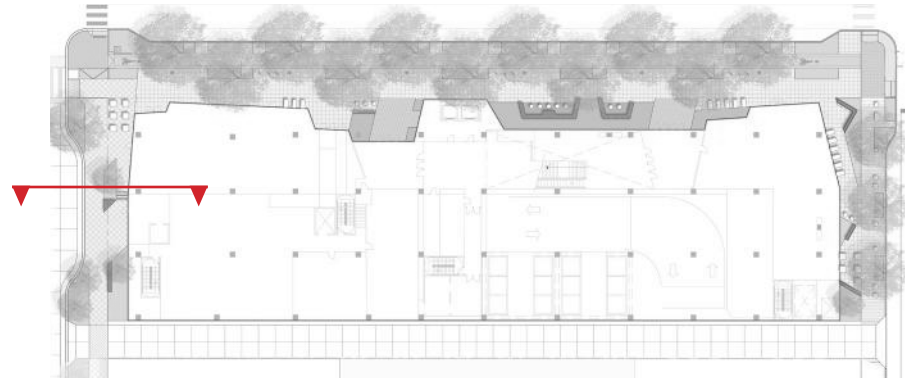


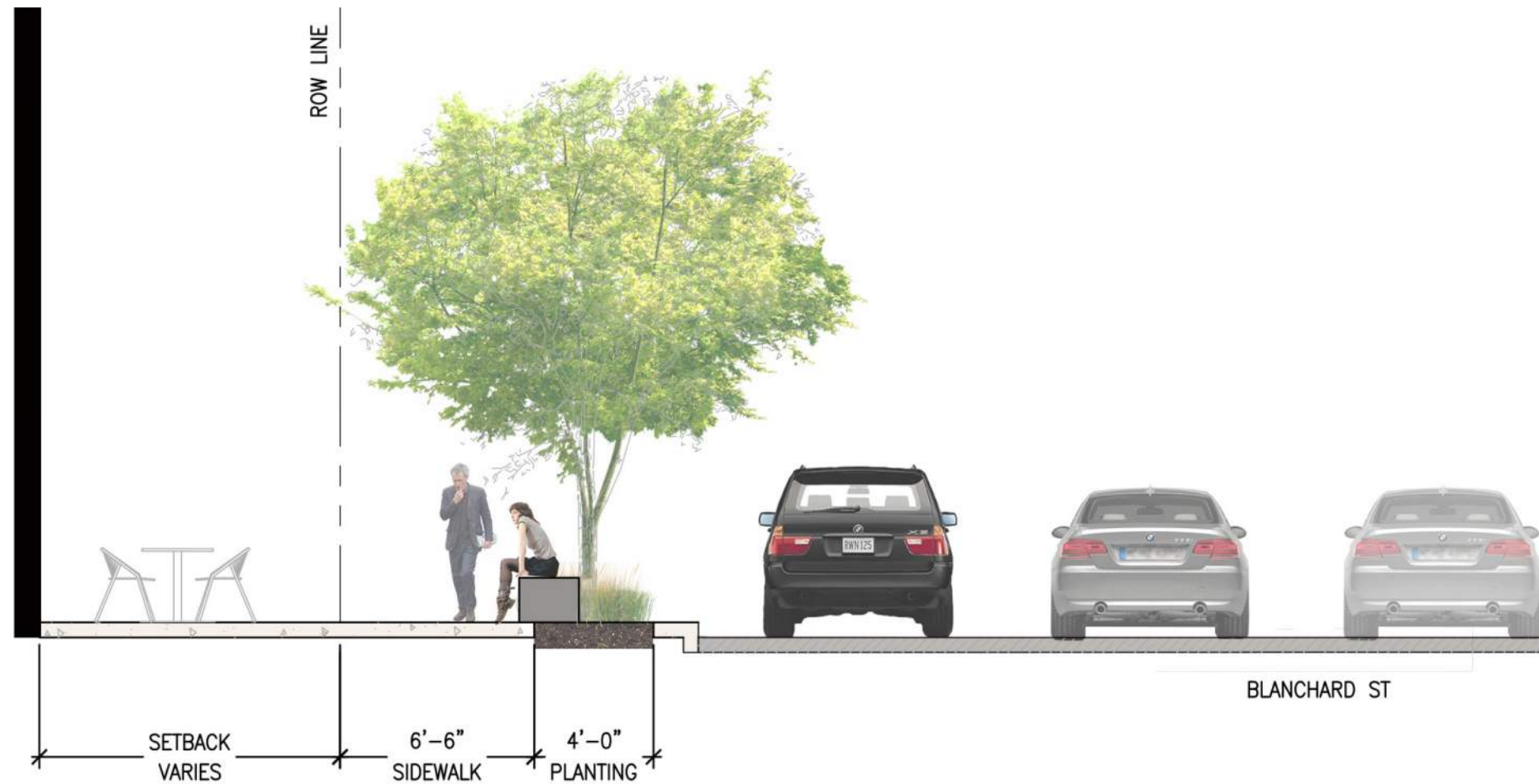
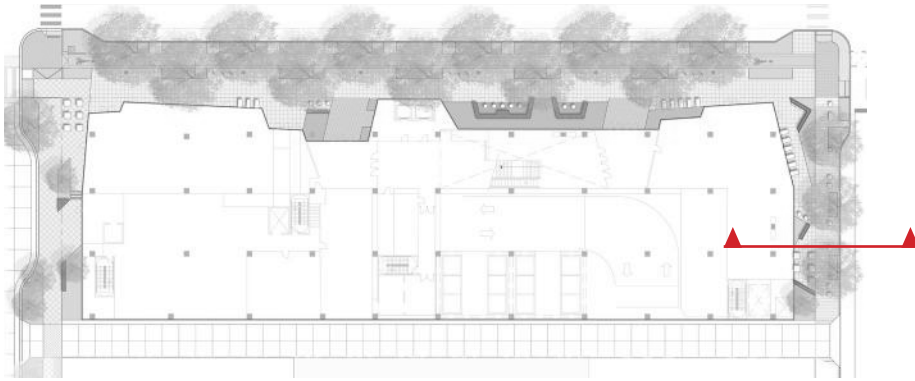
The Urban Treehouse



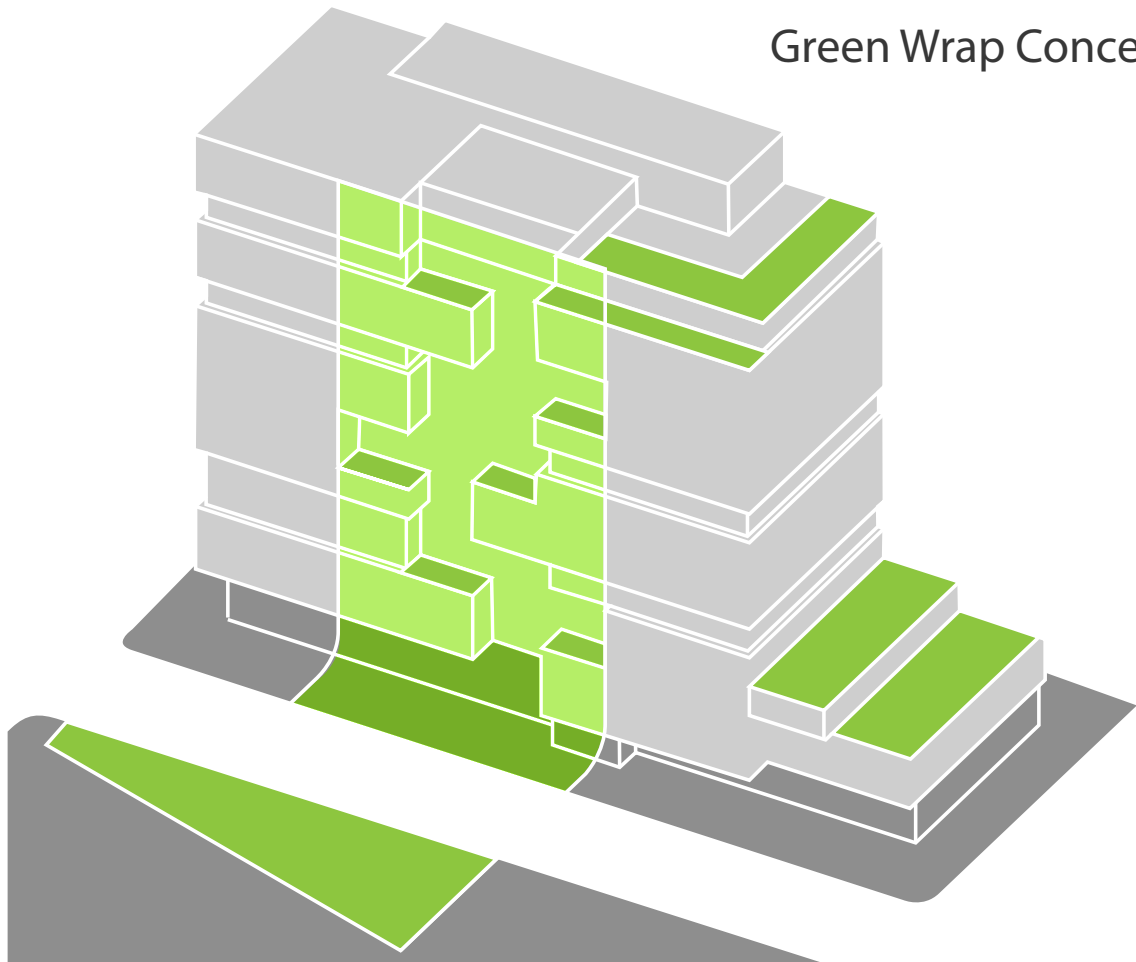




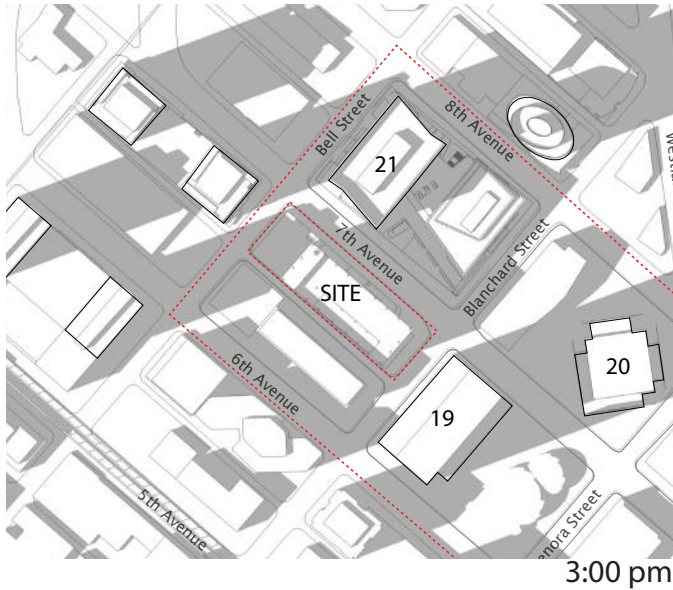
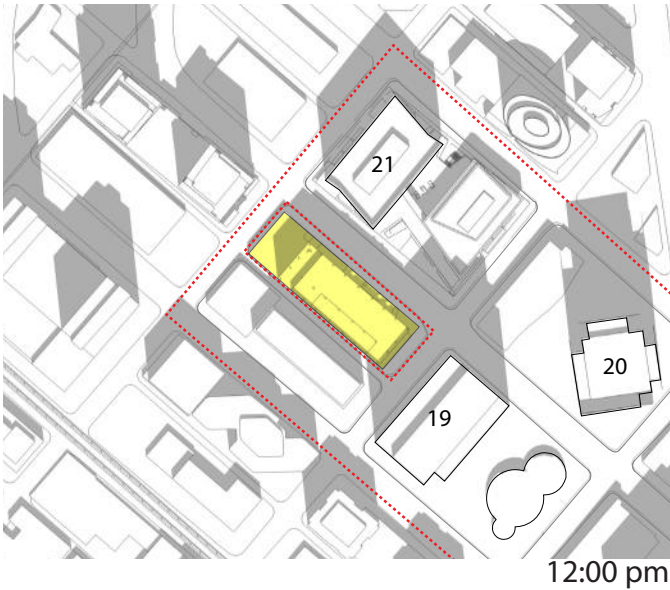
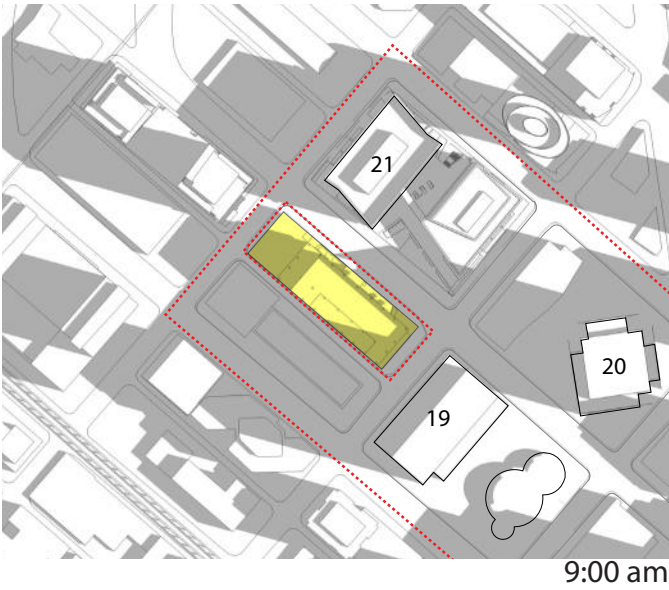




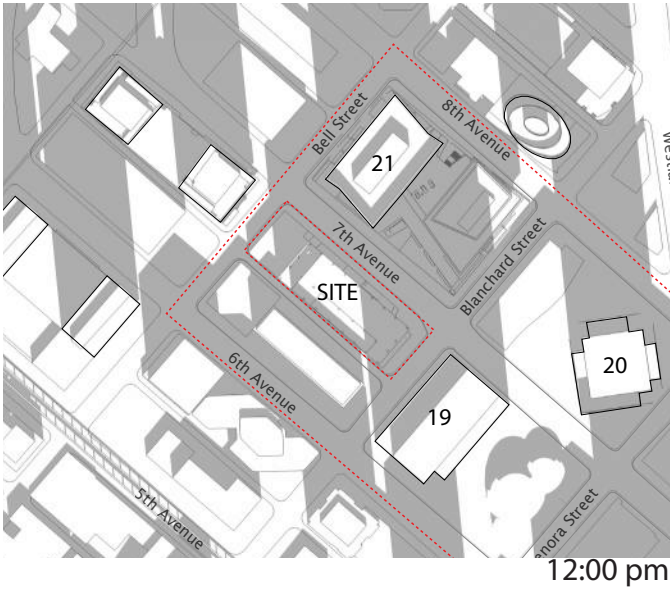
Green Wrap Concept



Summer - June 21st

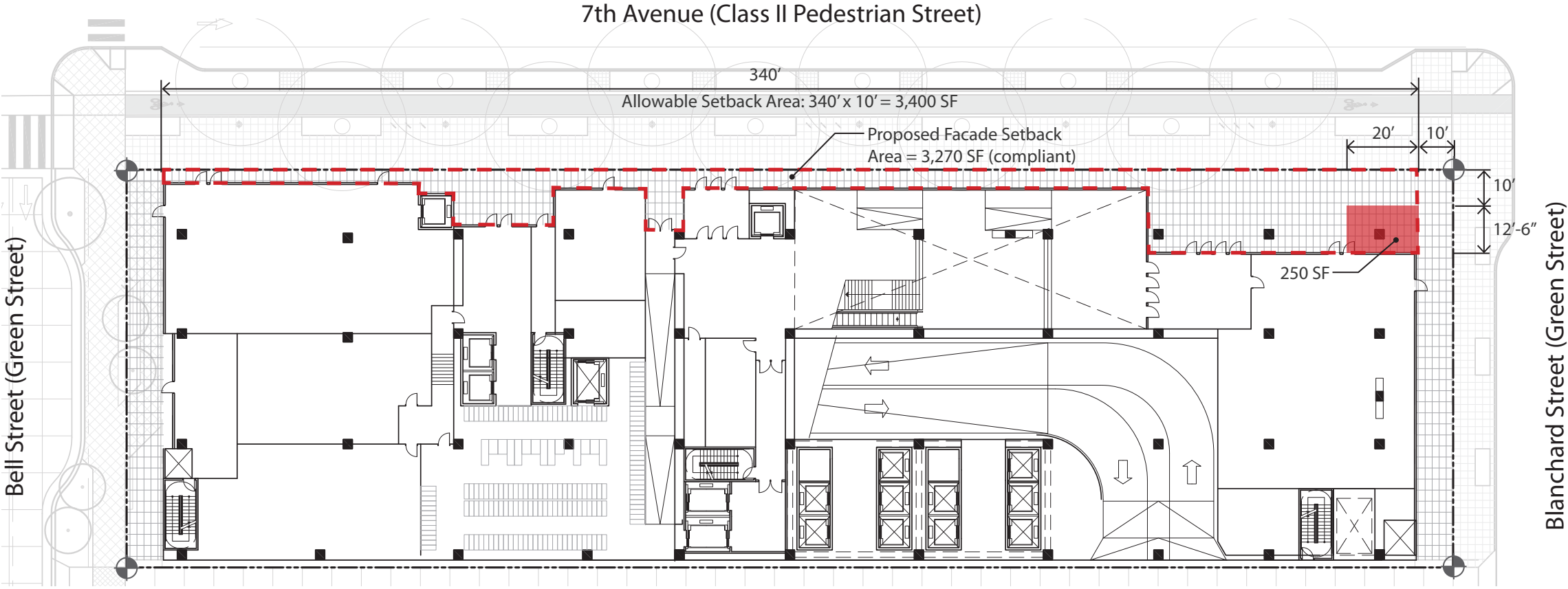


Spring & Fall - March & Sept. 21st



Winter - December 21st





Level 1 Plan
Option 2



⊙ = Property Corner

Departure 1 (SMC 23.49.056):
Street Facade, Landscaping, and Street Setback Requirements
Downtown Office Core (DOC 1, DOC 2, DMC)

Required:
B.2:
General setback limits. The following setback limits apply on streets not requiring property line facades

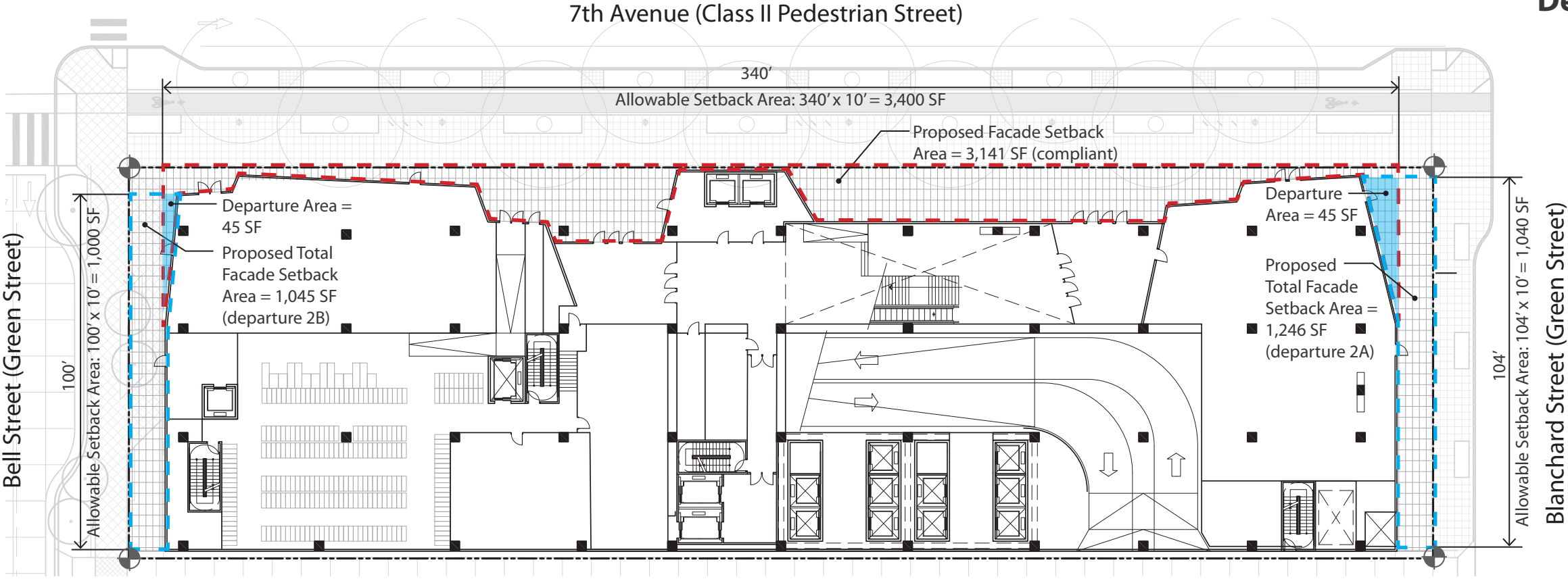
- b. The maximum area of all setbacks between the street lot line and facade along each street frontage of a lot shall not exceed the area derived by multiplying the averaging factor by the width of the street frontage of the structure along that street (see Exhibit D for 23.49.056). The averaging factor is five on Class I pedestrian streets and ten on Class II pedestrian streets and designated green streets.
- c. The maximum width, measured along the street lot line, of any setback area exceeding a depth of 15 feet from the street lot line shall not exceed 80 feet, or 30 percent of the lot frontage on that street, whichever is less. (See Exhibit D for 23.49.056.)
- d. The maximum setback of the facade from the street lot lines at intersections is 10 feet. The minimum distance the facade must conform to this limit is 20 feet along each street. (See Exhibit E for 23.49.056.)

Request:
Allow for the setback area at the corner of 7th and Blanchard to be greater than allowed per 23.49.056.B.2.d

Proposed:
Setback the building 250 SF in excess of what is permitted at the corner of 7th and Blanchard.

Rationale:
The proposed design provides active street frontage along 7th Avenue that is enhanced by the greater setback, which allows for occupied space and landscape enhancements adjacent to the building facade. The setback at the corner allows for greater activation of the adjacent retail and permits sight lines to the building entry from the intersection.

- Applicable Design Guidelines:**
- Downtown Design Guidelines:
 - C-1 | Promote Pedestrian Interaction
 - C-4 | Reinforce Building Entries
 - D-1 | Provide Inviting & Usable Open Space
 - Citywide Design Guidelines:
 - CS2.C.3 | Urban Pattern & Form | Full Block Sites
 - PL1.A.1 | Connectivity | Enhancing Open Space
 - PL3.A.1.a | Street Level Interaction | Office Lobbies



Departure 2 A & B (SMC 23.49.056):
Street Facade, Landscaping, and Street Setback Requirements
Downtown Office Core (DOC 1, DOC 2, DMC)

Required:
B.2:
General setback limits. The following setback limits apply on streets not requiring property line facades

b. The maximum area of all setbacks between the street lot line and facade along each street frontage of a lot shall not exceed the area derived by multiplying the averaging factor by the width of the street frontage of the structure along that street (see Exhibit D for 23.49.056). The averaging factor is five on Class I pedestrian streets and ten on Class II pedestrian streets and designated green streets.

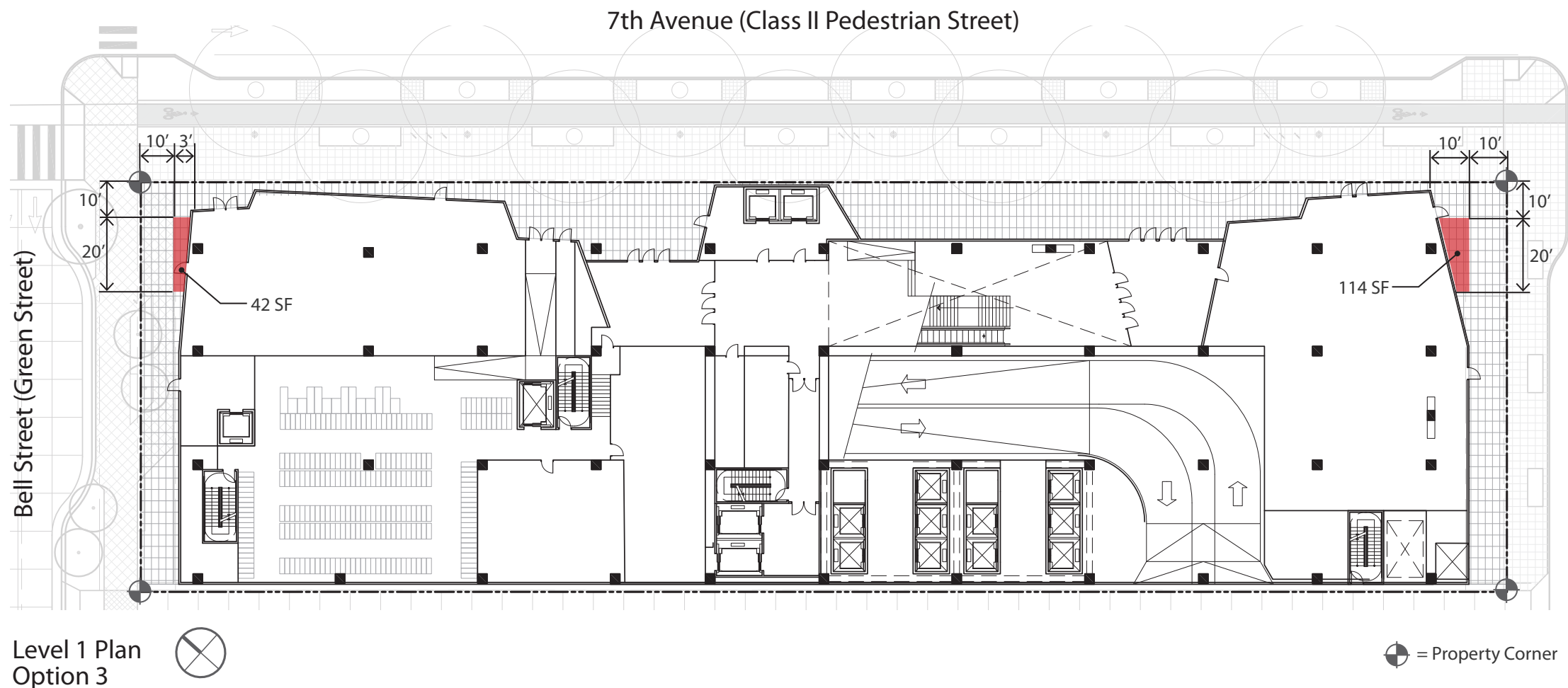
- c. The maximum width, measured along the street lot line, of any setback area exceeding a depth of 15 feet from the street lot line shall not exceed 80 feet, or 30 percent of the lot frontage on that street, whichever is less. (See Exhibit D for 23.49.056.)
- d. The maximum setback of the facade from the street lot lines at intersections is 10 feet. The minimum distance the facade must conform to this limit is 20 feet along each street. (See Exhibit E for 23.49.056.)

Request:
2A) Allow for setback area fronting Blanchard Street to exceed the maximum allowable area of 1,040 SF
2B) Allow for setback area fronting Bell Street to exceed the maximum allowable area of 1,000 SF

Proposed:
2A) Setback the building 206 SF in excess of what is permitted fronting Blanchard Street.
2B) Setback the building 45 SF in excess of what is permitted fronting Bell Street.

Rationale:
The proposed design provides active street frontage that is enhanced by the greater facade setbacks, which allow for occupied space and landscape enhancements adjacent to the building facade.

Applicable Design Guidelines:
Downtown Design Guidelines:
C-1 | Promote Pedestrian Interaction
C-4 | Reinforce Building Entries
D-1 | Provide Inviting & Usable Open Space
Citywide Design Guidelines:
CS2.C.3 | Urban Pattern & Form | Full Block Sites
PL1.A.1 | Connectivity | Enhancing Open Space



Design Departures | Preferred Option

Departure 3A and 3B (SMC 23.49.056):
Street Facade, Landscaping, and Street Setback Requirements
Downtown Office Core (DOC 1, DOC 2, DMC)

Required:

B.2:
General setback limits. The following setback limits apply on streets not requiring property line facades

- b. The maximum area of all setbacks between the street lot line and facade along each street frontage of a lot shall not exceed the area derived by multiplying the averaging factor by the width of the street frontage of the structure along that street (see Exhibit D for 23.49.056). The averaging factor is five on Class I pedestrian streets and ten on Class II pedestrian streets and designated green streets.
- c. The maximum width, measured along the street lot line, of any setback area exceeding a depth of 15 feet from the street lot line shall not exceed 80 feet, or 30 percent of the lot frontage on that street, whichever is less. (See Exhibit D for 23.49.056.)
- d. The maximum setback of the facade from the street lot lines at intersections is 10 feet. The minimum distance the facade must conform to this limit is 20 feet along each street. (See Exhibit E for 23.49.056.)

Request:

- 3A) Allow for the setback area at the corner of 7th Ave. and Blanchard St. to be greater than allowed per 23.49.056.B.2.d
- 3B) Allow for the setback area at the corner of 7th Ave. and Bell St. to be greater than allowed per 23.49.056.B.2.d

Proposed:

- 3A) Setback the building 114 SF in excess of what is permitted at the corner of 7th Ave. and Blanchard St.
- 3B) Setback the building 42 SF in excess of what is permitted at the corner of 7th Ave. and Blanchard St.

Rationale:

The proposed design provides active street frontage along all affected frontages that is enhanced by the greater setback, which allows for occupied space and landscape enhancements adjacent to the building facade. The setbacks at the corners also allow for greater activation of the adjacent retail by allowing for better sight lines from the street intersection

Applicable Design Guidelines:

Downtown Design Guidelines:

C-1 | Promote Pedestrian Interaction

C-4 | Reinforce Building Entries

D-1 | Provide Inviting & Usable Open Space

Citywide Design Guidelines:

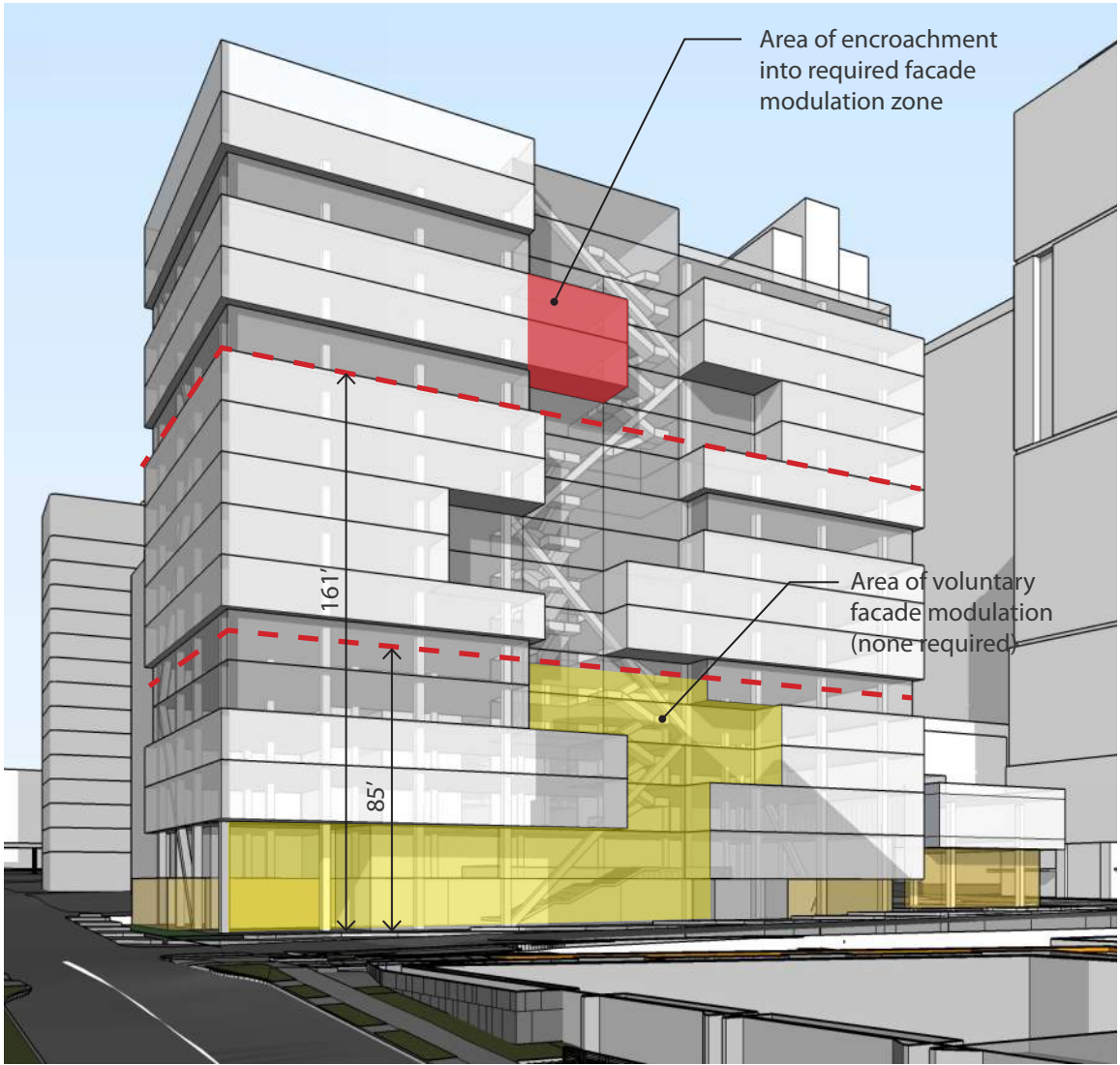
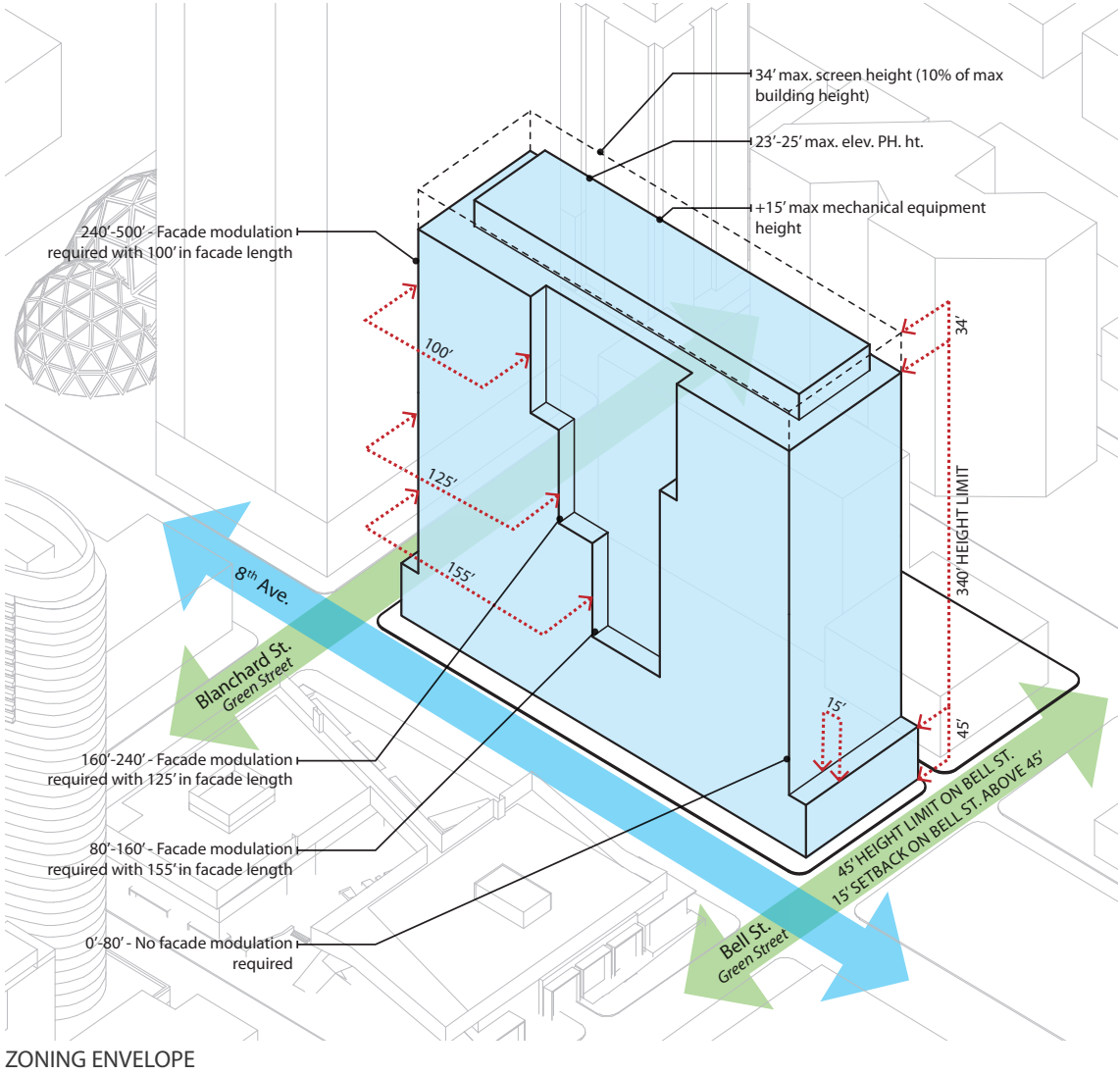
CS2.C.3 | Urban Pattern & Form | Full Block Sites

PL1.A.1 | Connectivity | Enhancing Open Space

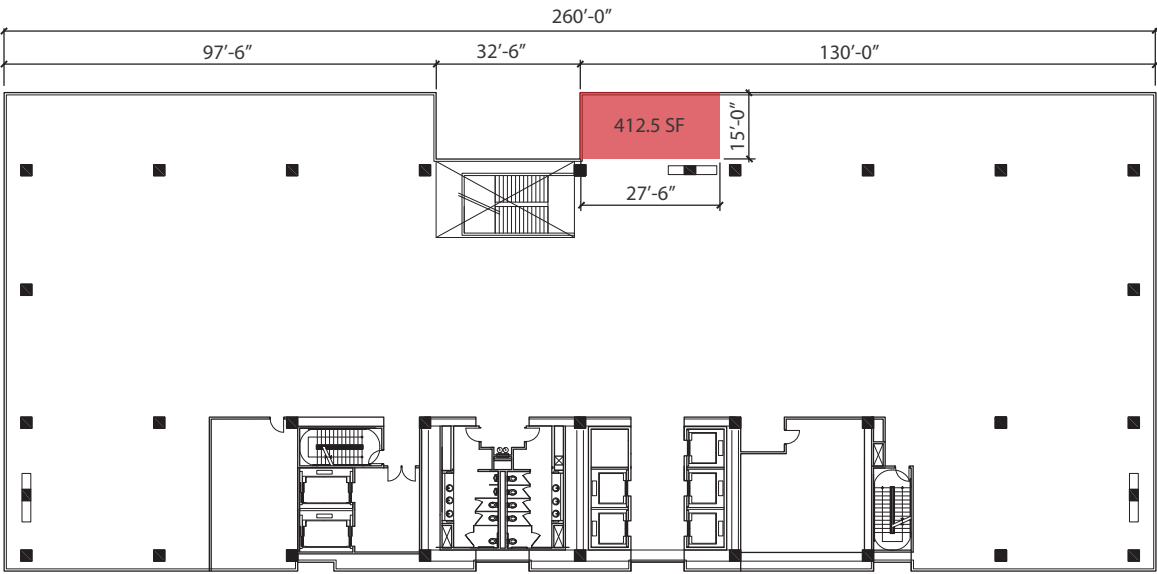


GRAPHITE

2205 7th Avenue | Early Design Guidance | April 4, 2017 | SDCI #3026858



Massing Diagram | Option 3



Level 14 Plan (level 13 similar)

Departure 4 (SMC 23.49.058):

Upper Level Development Standards
Downtown Office Core (DOC 1, DOC 2, DMC)

Required:

C.1:

In DOC 1, DOC 2, and DMC zones, except the DMC 160 zone, facade modulation is required above a height of 85 feet above the sidewalk for any portion of a structure located within 15 feet of a street lot line. No modulation is required for portions of a facade set back 15 feet or more from a street lot line.

C.3:

The maximum length of a facade without modulation is prescribed in Table A for 23.49.058. This maximum length shall be measured parallel to each street lot line, and shall apply to any portion of a facade, including projections such as balconies, that is located within 15 feet of street lot lines.

Maximum facade length without modulation per Table A:

Unlimited facade length from elevation 0 to 85 feet
155' facade length from elevation 86 to 160 feet
125' facade length from elevation 161 to 240 feet
100' facade length from elevation 241 to 500 feet

Request:

Allow for an encroachment into the required modulation zone above 161'

Proposed:

Levels 13 and 14 encroach 15'-0" into the required 15' modulation zone for a length of 27'-6". The approximate area requested of the departure is 412.5 SF in plan on each floor, 825 SF total.

Rationale:

The proposed design extends the architectural character of the east facade in a holistic way up the entire height of the building, achieving the goals of the upper level development standards in a manner that reinforces the architectural concept. Further, the applicant proposes to provide grater modulation than required at the lower levels of the building.

Applicable Design Guidelines:

Downtown Design Guidelines:

- A2** | Enhance the skyline
- B-4** | Design a well-proportioned and unified building
- C-2** | Design facades of many scales

Citywide Design Guidelines:

- CS2.B.3** | Urban Pattern & Form | Architectural Presence
- CS2.C.3** | Urban Pattern & Form | Full Block Sites
- DC2.B.1** | Architectural Concept | Facade Composition

Departure Request 1:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
SMC 23.49.056 Street Facade, Landscaping, and Street Setback Requirements Downtown Office Core (DOC 1, DOC 2, DMC) B.2: General setback limits. The following setback limits apply on streets not requiring property line facades d. The maximum setback of the facade from the street lot lines at intersections is 10 feet. The minimum distance the facade must conform to this limit is 20 feet along each street. (See Exhibit E for 23.49.056.)	Allow for the setback area at the corner of 7th and Blanchard to be greater than allowed per 23.49.056.B.2.d	Setback the building 250 SF in excess of what is permitted at the corner of 7th and Blanchard.	The proposed design provides active street frontage along 7th Avenue that is enhanced by the greater setback, which allows for occupied space and landscape enhancements adjacent to the building facade. The setback at the corner allows for greater activation of the adjacent retail and permits sight lines to the building entry from the intersection.	Downtown Design Guidelines: C-1 Promote Pedestrian Interaction C-4 Reinforce Building Entries D-1 Provide Inviting & Usable Open Space Citywide Design Guidelines: CS2.C.3 Urban Pattern & Form Full Block Sites PL1.A.1 Connectivity Enhancing Open Space PL3.A.1.a Street Level Interaction Office Lobbies

Departure Request 2A and 2B

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
SMC 23.49.056 Street Facade, Landscaping, and Street Setback Requirements Downtown Office Core (DOC 1, DOC 2, DMC) B.2: General setback limits. The following setback limits apply on streets not requiring property line facades b. The maximum area of all setbacks between the street lot line and facade along each street frontage of a lot shall not exceed the area derived by multiplying the averaging factor by the width of the street frontage of the structure along that street (see Exhibit D for 23.49.056). The averaging factor is five on Class I pedestrian streets and ten on Class II pedestrian streets and designated green streets.	2A) Allow for setback area fronting Blanchard Street to exceed the maximum allowable area of 1,040 SF 2B) Allow for setback area fronting Bell Street to exceed the maximum allowable area of 1,000 SF	2A) Setback the building 206 SF in excess of what is permitted fronting Blanchard Street. 2B) Setback the building 45 SF in excess of what is permitted fronting Bell Street.	The proposed design provides active street frontage that is enhanced by the greater facade setbacks,which allow for occupied space and landscape enhancements adjacent to the building facade.	Downtown Design Guidelines: C-1 Promote Pedestrian Interaction C-4 Reinforce Building Entries D-1 Provide Inviting & Usable Open Space Citywide Design Guidelines: CS2.C.3 Urban Pattern & Form Full Block Sites PL1.A.1 Connectivity Enhancing Open Space

Departure Request 3A and 3B

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
SMC 23.49.056 Street Facade, Landscaping, and Street Setback Requirements Downtown Office Core (DOC 1, DOC 2, DMC) B.2: General setback limits. The following setback limits apply on streets not requiring property line facades d. The maximum setback of the facade from the street lot lines at intersections is 10 feet. The minimum distance the facade must conform to this limit is 20 feet along each street. (See Exhibit E for 23.49.056.).	3A) Allow for the setback area at the corner of 7th Ave. and Blanchard St. to be greater than allowed per 23.49.056.B.2.d 3B) Allow for the setback area at the corner of 7th Ave. and Bell St. to be greater than allowed per 23.49.056.B.2.d	3A) Setback the building 114 SF in excess of what is permitted at the corner of 7th Avenue and Blanchard Street. 3B) Setback the building 42 SF in excess of what is permitted at the corner of 7th Avenue and Blanchard Street.	The proposed design provides active street frontage along all affected frontages that is enhanced by the greater setback, which allows for occupied space and landscape enhancements adjacent to the building facade. The setbacks at the corners also allow for greater activation of the adjacent retail by allowing for better sight lines from the street intersection	Downtown Design Guidelines: C-1 Promote Pedestrian Interaction C-4 Reinforce Building Entries D-1 Provide Inviting & Usable Open Space Citywide Design Guidelines: CS2.C.3 Urban Pattern & Form Full Block Sites PL1.A.1 Connectivity Enhancing Open Space

Departure Request 4:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
23.49.058 Upper Level Development Standards Downtown Office Core (DOC 1, DOC 2, DMC) C.1: In DOC 1, DOC 2, and DMC zones, except the DMC 160 zone, facade modulation is required above a height of 85 feet above the sidewalk for any portion of a structure located within 15 feet of a street lot line. No modulation is required for portions of a facade set back 15 feet or more from a street lot line. C.3: The maximum length of a facade without modulation is prescribed in Table A for 23.49.058. This maximum length shall be measured parallel to each street lot line, and shall apply to any portion of a facade, including projections such as balconies, that is located within 15 feet of street lot lines. Maximum facade length without modulation per Table A: Unlimited facade length from elevation 0 to 85 feet 155’ facade length from elevation 86 to 160 feet 125’ facade length from elevation 161 to 240 feet 100’ facade length from elevation 241 to 500 feet	Allow for an encroachment into the required modulation zone above 161’	Levels 13 and 14 encroach 15’-0” into the required 15’ modulation zone for a length of 27’-6”. The approximate requested area of the departure is 412.5 SF in plan on each floor, 825 SF total.	The proposed design extends the architectural character of the east facade in a holistic way up the entire height of the building, achieving the goals of the upper level development standards in a manner that reinforces the architectural concept. Further, the applicant proposes to provide greater modulation than required at the lower levels of the building.	Downtown Design Guidelines: A2 Enhance the skyline B-4 Design a well-proportioned and unified building C-2 Design facades of many scales Citywide Design Guidelines: CS2.B.3 Urban Pattern & Form Architectural Presence CS2.C.3 Urban Pattern & Form Full Block Sites DC2.B.1 Architectural Concept Facade Composition

