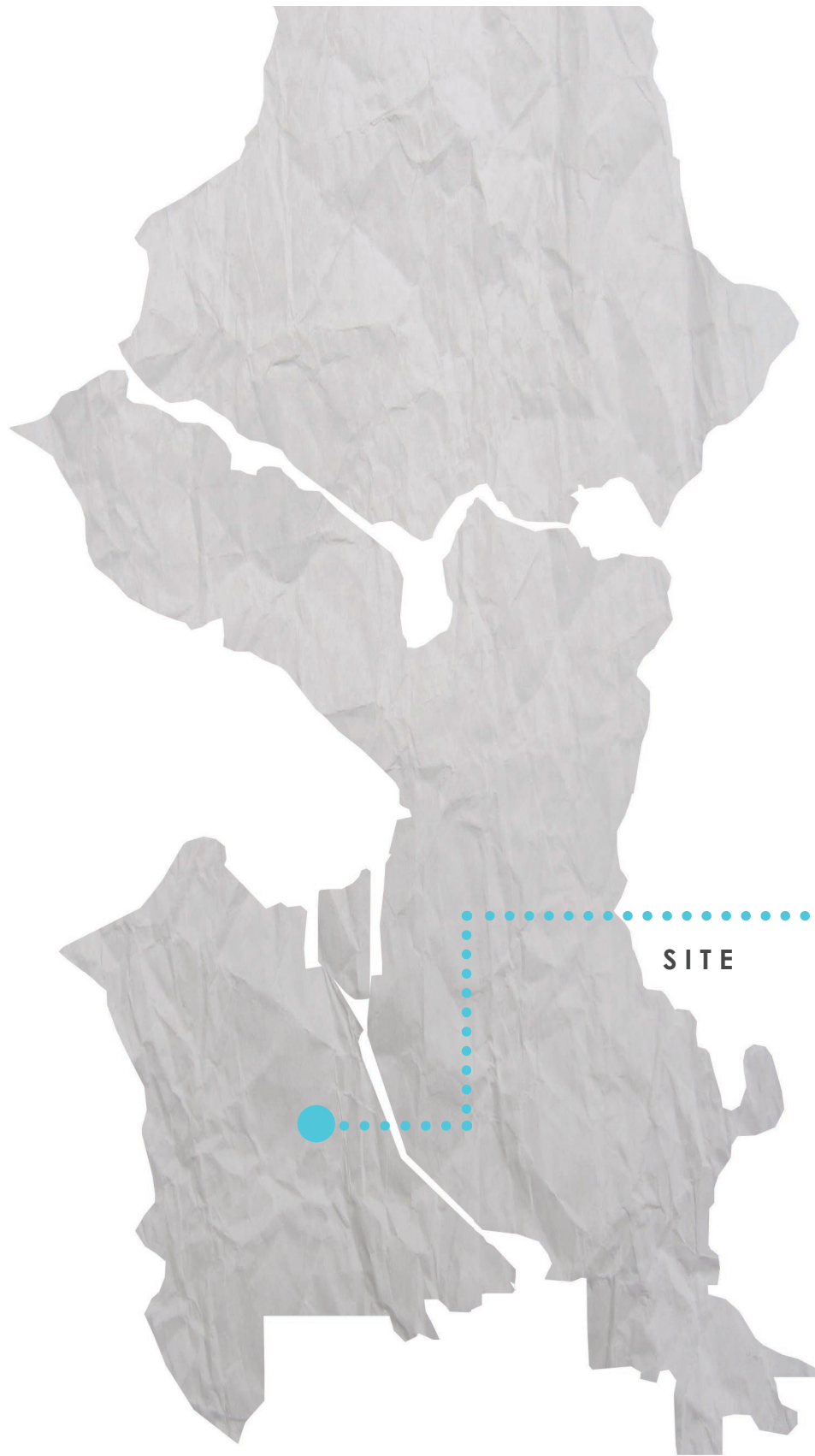


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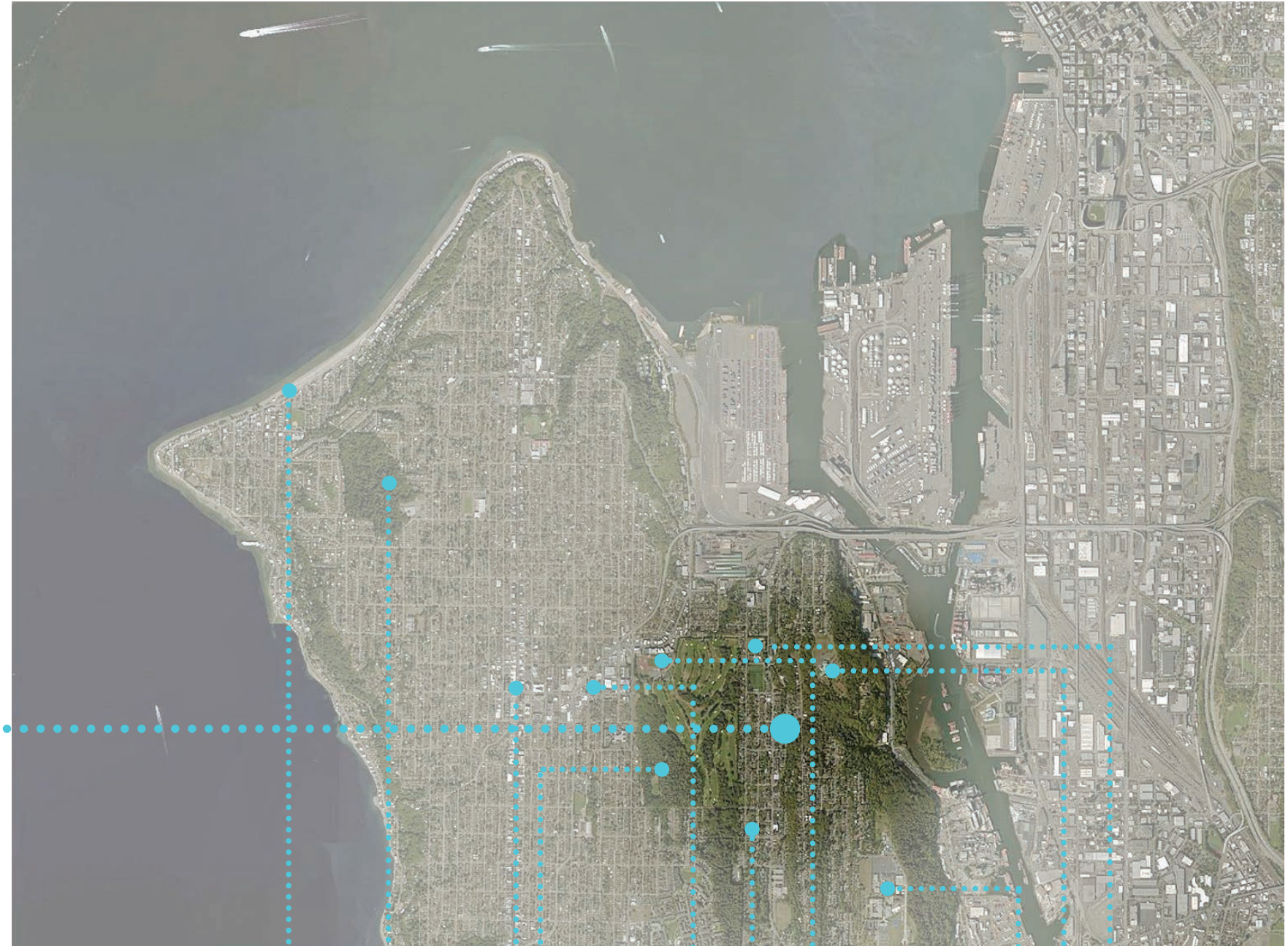
| | |
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PROJECT INFORMATION

| | |
|----------------------------------|---|
| ADDRESS | 4810 DELRIDGE WAY SW SEATTLE, WA 98106 |
| TAX ID NUMBER | 1773100590 |
| SDCI PROJECT # | SDR: 3026821 BUILDING: 6573734 |
| LOT SIZE | 4,800 SF |
| ARCHITECT/PROJECT CONTACT | JULIAN WEBER ARCHITECTS, LTD. 1257 S KING ST, SEATTLE, WA 98144 |
| OWNER/APPLICANT | ALEKSEY GUYVORONSKY ROYAL CONSTRUCTION PO BOX 73699 PUYALLUP, WA 98373 |



SITE



Alki Beach Park 


Schmitz Preserve Park 


California Ave Shopping District 

West Seattle Golf Course 

Fauntleroy Shopping District 

Delridge Library 

West Seattle Stadium 

South Seattle College 

Pathfinder K-8 School 

Delridge Community Center 

VICINITY ANALYSIS

ZONE: LR2

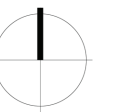
ADJACENT ZONES: SF 5000
LR2

BUS ROUTES: **120** - Downtown Seattle
Westwood Village
125 - Westwood Village
South Seattle College



120 Line

125 Line



ZONING ANALYSIS

PROPOSAL 4810 Delridge Way SW is currently (1) lot with (1) SFR and accessory structure. The applicant proposes to remove the existing SFR and accessory structure and develop (5) townhouses with (5) open parking stalls.

KEY METRICS

| | |
|--------------------------|---|
| Zone: | LR2 |
| Lot size: | 4,800 SF |
| FAR: | 4,800 sf x 1.2 = 5,760 sf allowed (THs + Built green + Paved Alley) |
| Structure Height: | 30' + 4' parapet allowance & 10' penthouse |
| Units: | (5) |
| Parking: | (5) open residential stalls |

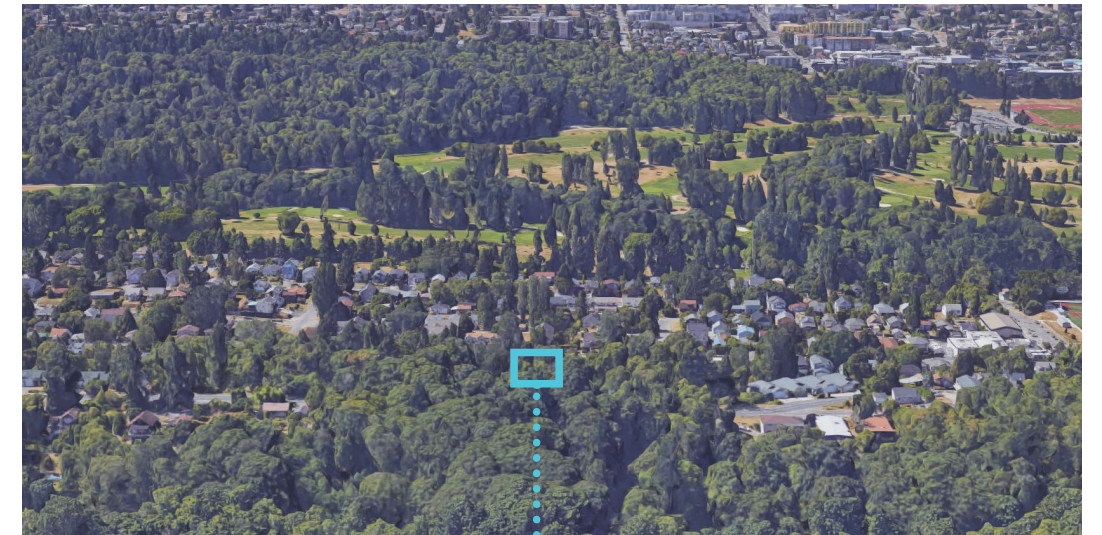
ANALYSIS OF CONTEXT The project is located in the neighborhood of North Delridge, located two blocks southeast of the Delridge Community Center. Delridge Way SW is located to the west of the site and carries a high volume of traffic, while the property is bounded by an alley to the east. The site is afforded potential territorial views to the northwest, southwest, and east. These views include the West Seattle Golf Course to the west and Puget Park to the east. The neighborhood is comprised of an eclectic mix of styles, ranging from older single family homes to new multifamily townhome developments.

EXISTING SITE CONDITIONS A drawing of existing site conditions, indicating topography and other physical features, location of structures, and prominent landscape elements on the site can be found on page 7.

SITE PLAN A preliminary site plan including proposed structures and open spaces can be found on page 10.

ARCHITECTURAL CONCEPT See page 8 for concept statement, diagrams, and images.

DESIGN GUIDELINES See page 9 for Design Guideline Responses.



4810 AERIAL VIEW WEST



4810 AERIAL VIEW EAST

SITE ANALYSIS

ACROSS SITE



SW HUDSON STREET

SW EDMUNDS STREET

SITE



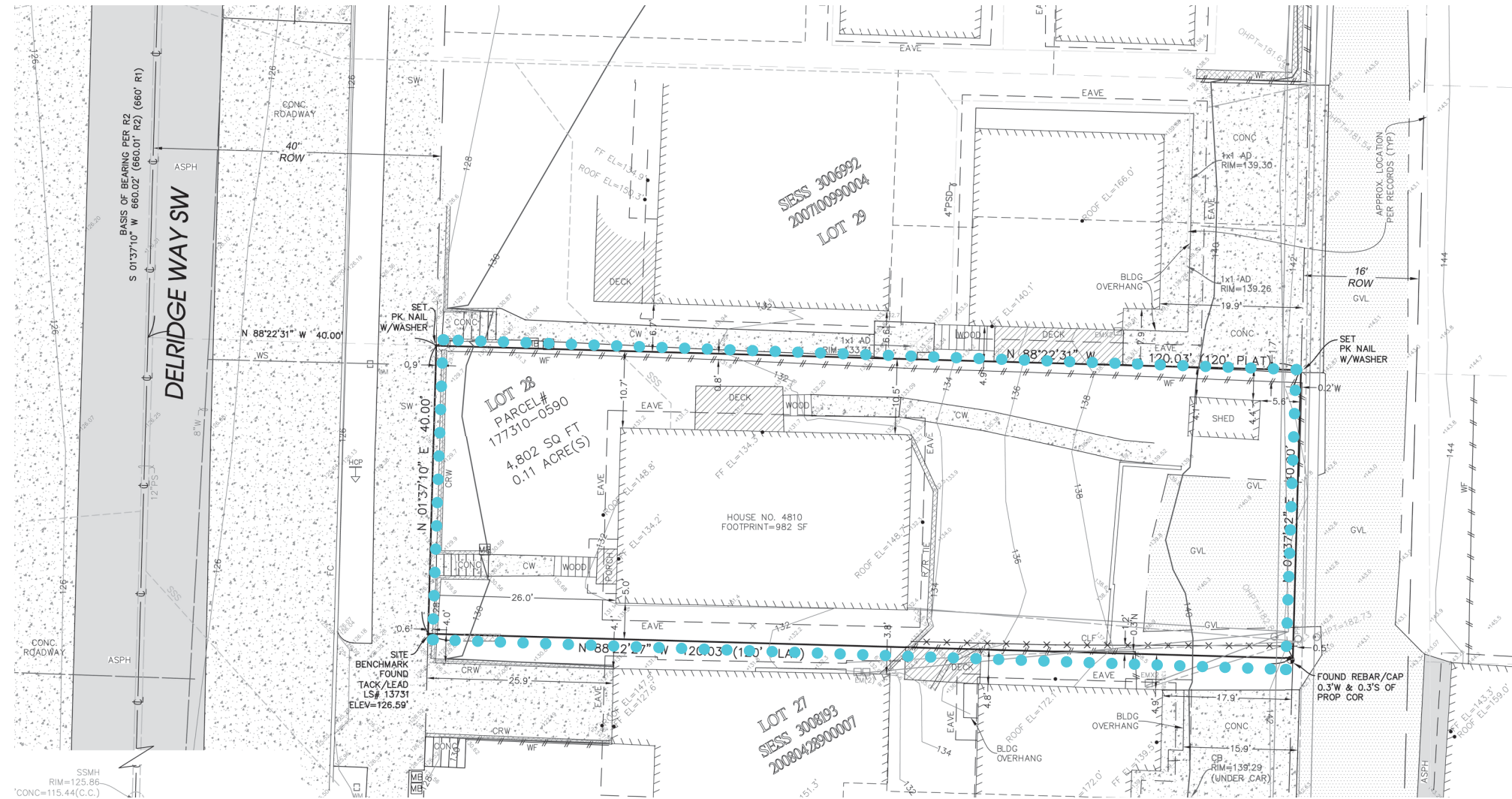
SW EDMUNDS STREET

SW HUDSON ST

STREET LEVEL

LEGAL DESCRIPTION

LOT 28, BLOCK 21, COTTAGE GROVE NUMBER TWO, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 22 OF PLATS PAGES(S) 71, IN KING COUNTY, WASHINGTON.



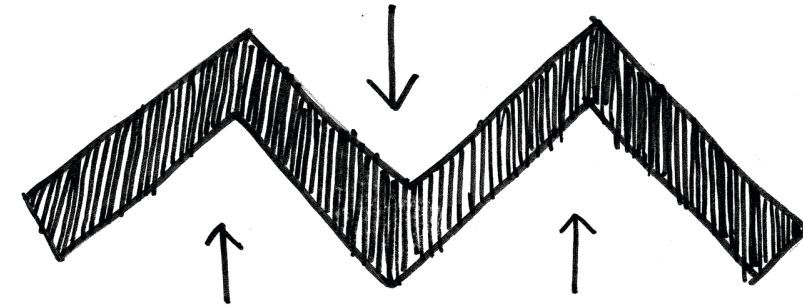
survey
SCALE: N.T.S.



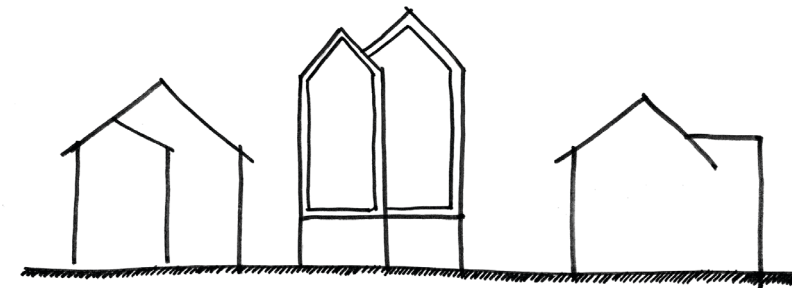
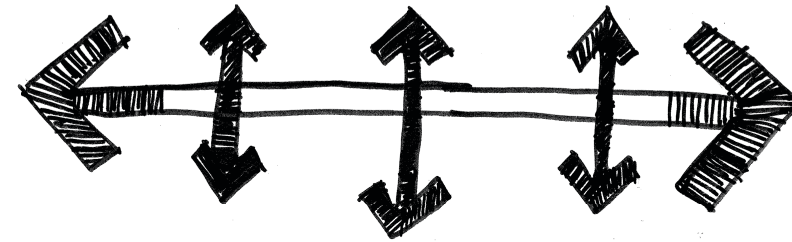
The primary objectives of this design are to connect with the surrounding neighborhood context through roof form, and to reach out and activate the adjacent yard spaces. The neighboring homes are comprised of an eclectic mix of styles, and difficulty arose in distilling them into one pure design language. While examining the facades of nearby developments, it became apparent that older developments utilized traditional gable roof forms, while new developments used modern flat roofs.

This development aims to bridge that stylistic gap, by using the gable form on the street and alley facing units, while infilling the bookends with modern geometry.

Extruded fins have been used on all units, to make connections out to the adjacent yard spaces, specifically the pedestrian walkway at the north edge of the property, as well as the pocket yards along the south facade. The extended frame provides opportunity for elements that create ownership of space, such as the individual entry signage, and sheltered spaces for extension of interior space.



CONCEPTUAL SKETCHES



CS2. Urban Pattern and Form**C Relationship to the Block**

The surrounding neighborhood is an eclectic mix of styles, ranging from one & two story traditional homes, to the modern additions which primarily use strict orthogonal geometry. The design aims to bridge the gap between traditional gables and modern geometry, by utilizing a double-gable form on the street and alley-facing facades, while using the modern extruded frame for the interior units. This combination of styles assimilates the surrounding context into a cohesive form.

PL1. Open Space Connectivity**B Walkways and Connections**

The entries of the units are located along the northern edge of each unit, and are connected by a pedestrian pathway that navigates between the sidewalk located adjacent to Delridge Way, and the parking adjacent to the alley. The townhomes are jogged in plan, which helps break up the massing and creates adjacent open spaces for each unit.

The walkway will be kept clear and unobstructed, and will use landscape accents and lighting along the pathway, to create a sense of warmth and welcome. Additionally, all of the units will have direct connection to private yards, located along the southern property line.

PL3. Street Level Interaction**A Entries**

The entries to each unit are located along the pedestrian walkway that runs adjacent and parallel to the northern lot line. Due to the undulation of the units, each entry is given a distinct character, separate from its neighbor, and when highlighted with landscaping and prominent signage, gives a sense of ownership. The paving material also helps to indicate the entry, by cutting through the common pathway, which can be seen on the landscape plan. Signage along the street-facing retaining wall will highlight the pedestrian walkway, and the location of the unit entries.

DC2. Architectural Concept**B Architectural and Facade Composition**

The composition of the street-facing façade utilizes the double gable form, which connects with the existing historical context. The jogged plan provides compliance with the seven foot average front setback, and pairs easily with the double gable form. The ground floor is beautifully wrapped with cedar siding, as are the interiors of the extruded frame. Clean white panel and well composed window arrangements help infill the frame, and awnings or overhangs are used to protect the entries to all units. The south façades of the units open out to pocket yards, and help the interior and exterior spaces.

C Secondary Architectural Features

The articulated rhythm of the units helps to reduce the scale of the development, and the use of landscaping and bioplanters along the pedestrian pathway helps create visual interest. Lighting, signage, and pavement are used to indicate individual entries.

DC4. Exterior Elements and Materials

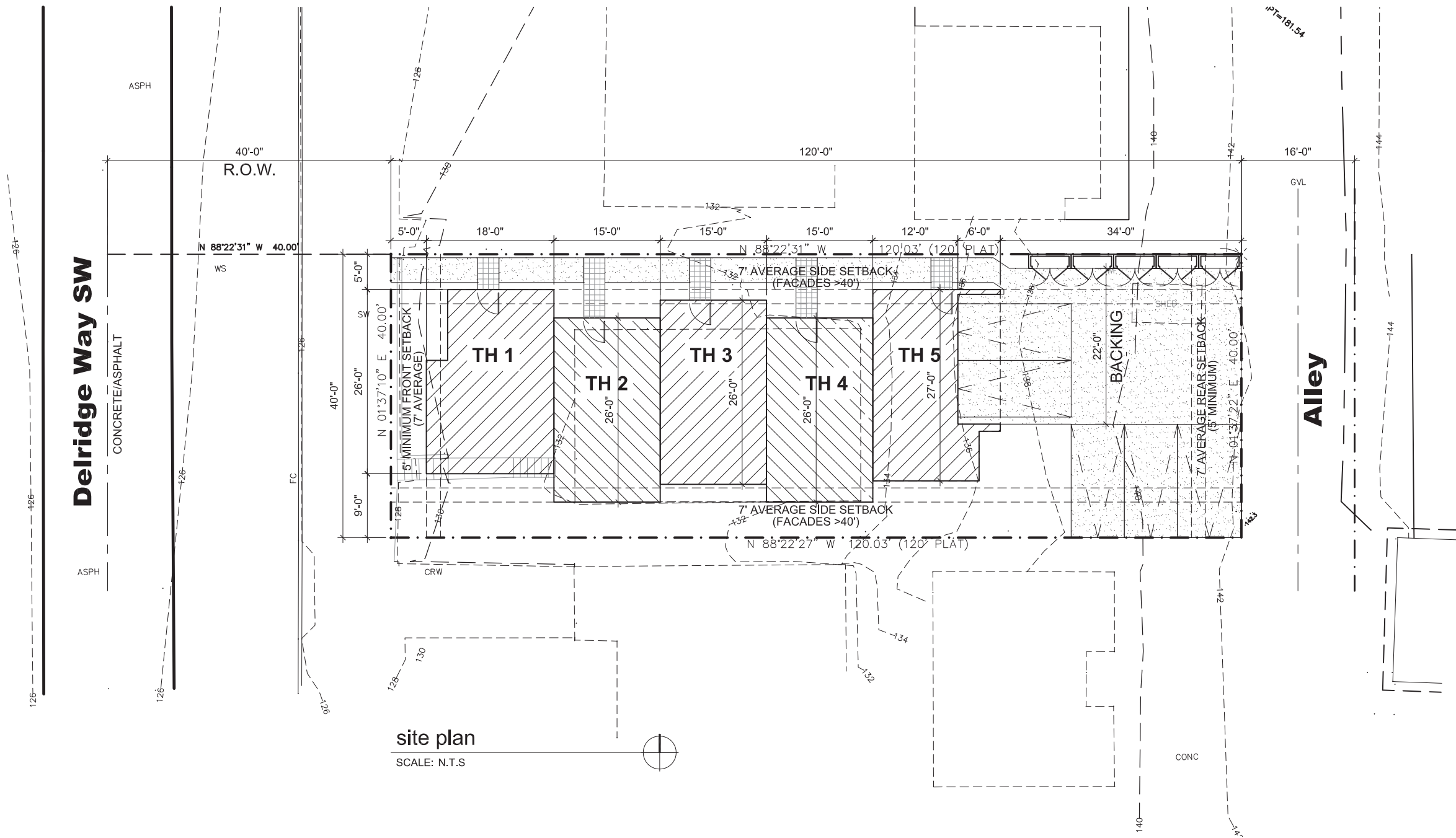
Trash location and screening

A Exterior Elements and Finishes

Simple, clean, and durable materials have been selected to maintain a high level of quality for this project and endure Seattle's climate. Large address numbers on the street facing retaining wall, allow for easy recognition from the street, and indicates the pedestrian circulation, while individual unit callouts are placed beside each unit entry.

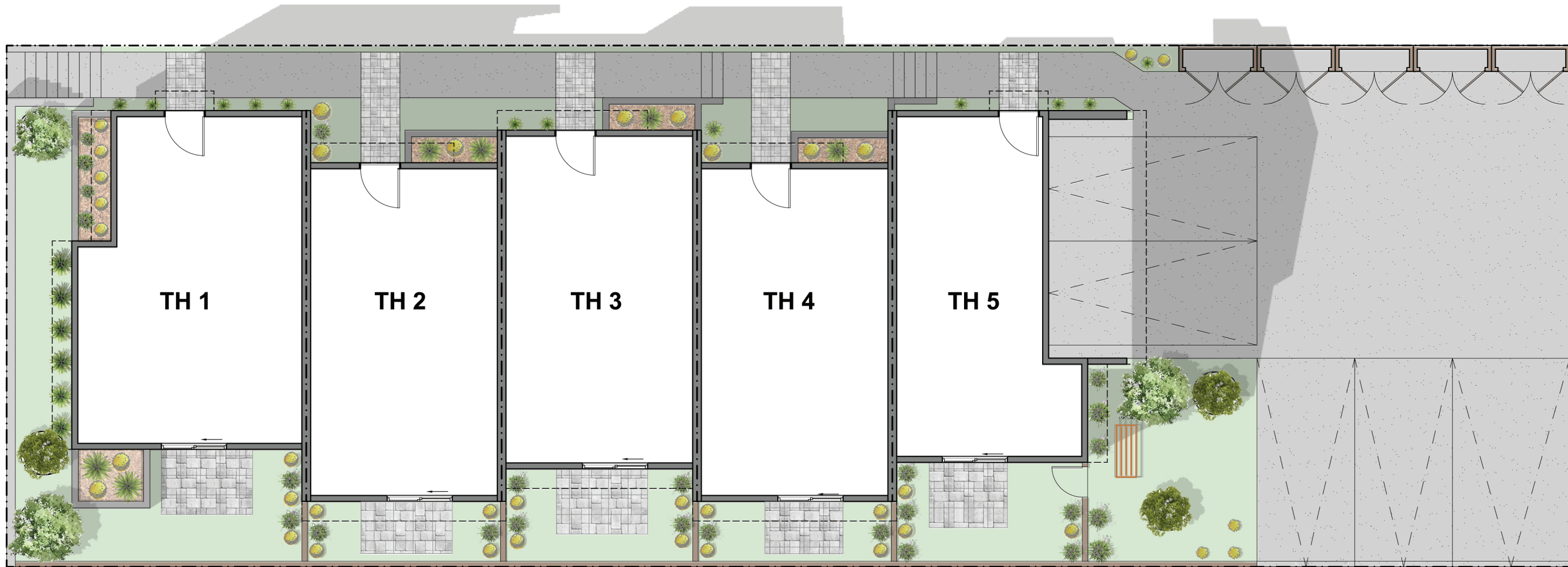
The materials selected provide a warmth at the pedestrian level, and the clean lines of the material layout create a clear indication of unit entry and division between the townhomes. There is a continuous pathway along the entire northern edge of the site, which will be lined with lighting and vegetation. At the front of the site, the landscaping will create visual interest, and help buffer the noise created by heavy traffic along Delridge Way SW.

The trash enclosures are located at the northeast corner of the site, and are housed in 2' x 6' enclosures, which screen the individual bins from sight, and provide separation from the neighbors.



site plan
SCALE: N.T.S

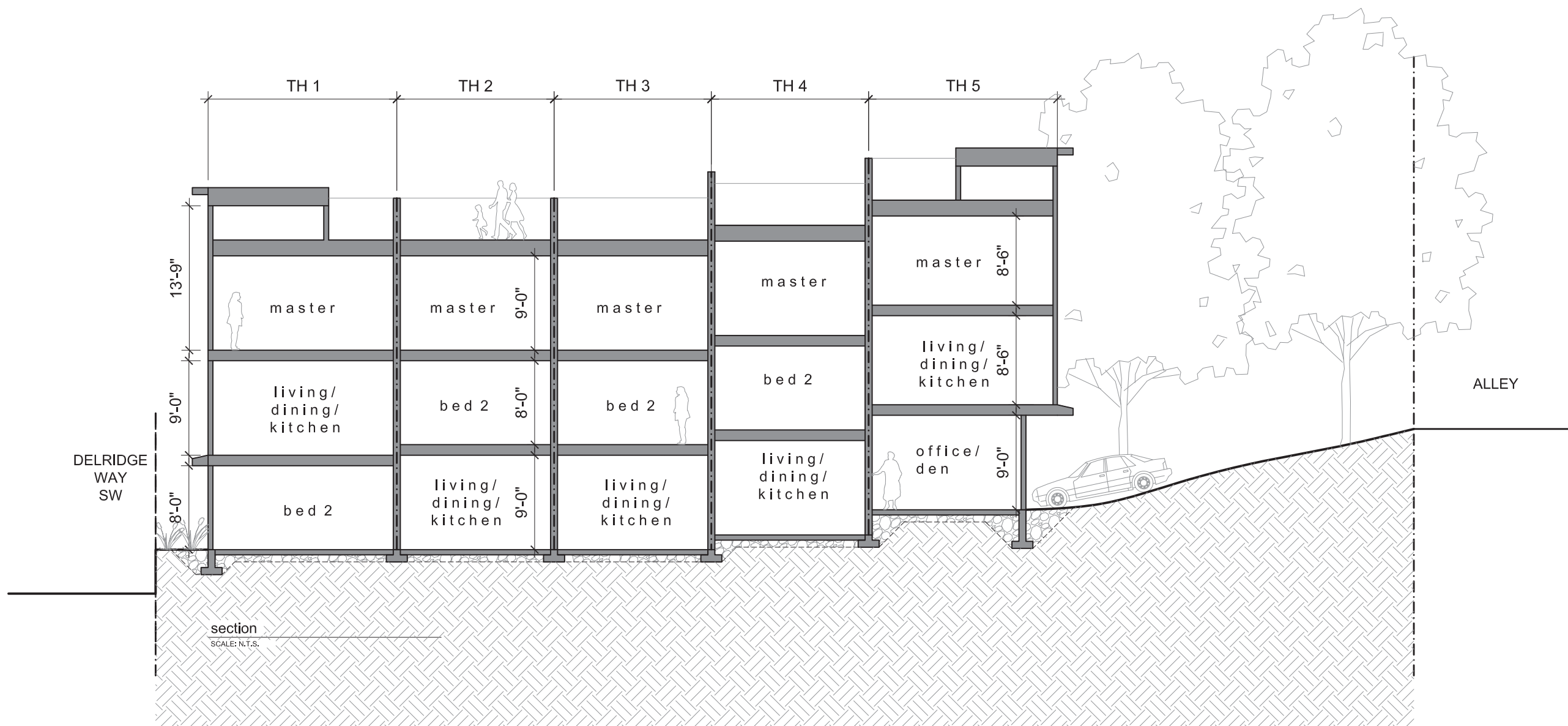
| | Required | Provided | % Difference |
|---------------|---------------------------|----------------------|--------------|
| Front: | 7' average, 5' minimum | 7.2' Average, 5' min | Compliant |
| Side (north): | 7' average (facades >40') | 7.3', 5' min | Compliant |
| Side (south): | 7' average (facades >40') | 7.1', 5' min | Compliant |
| Rear: | 7' average, 5' minimum | 34', 7' avg | Compliant |



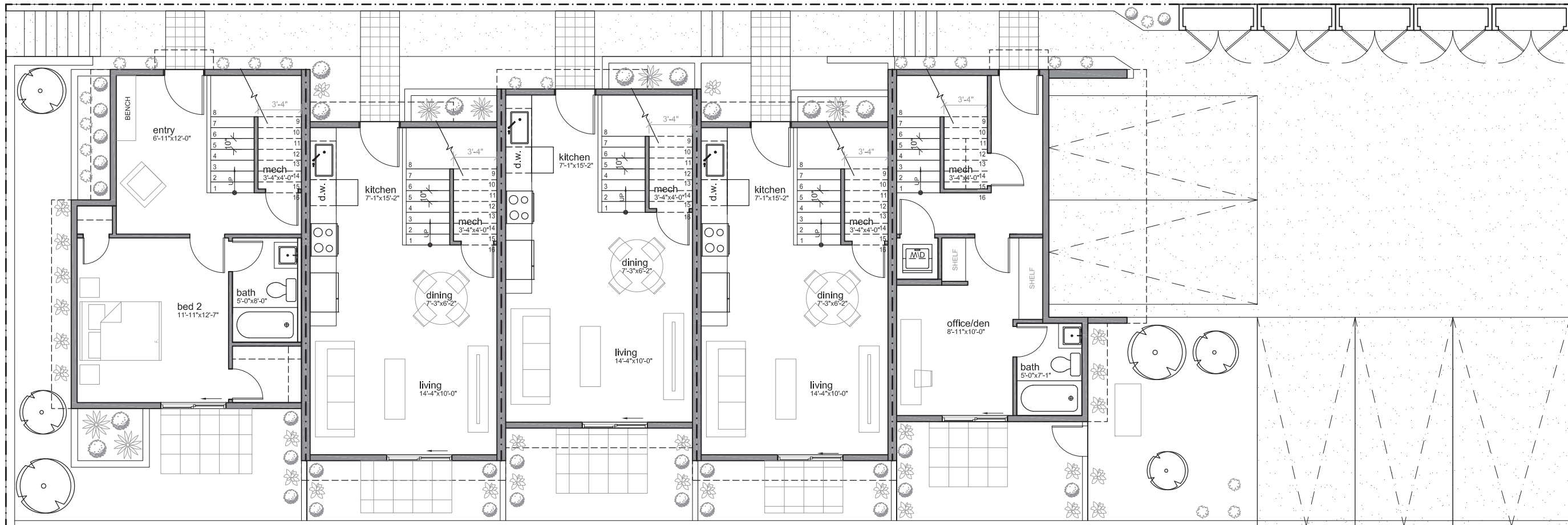
landsape plan

SCALE: N.T.S.





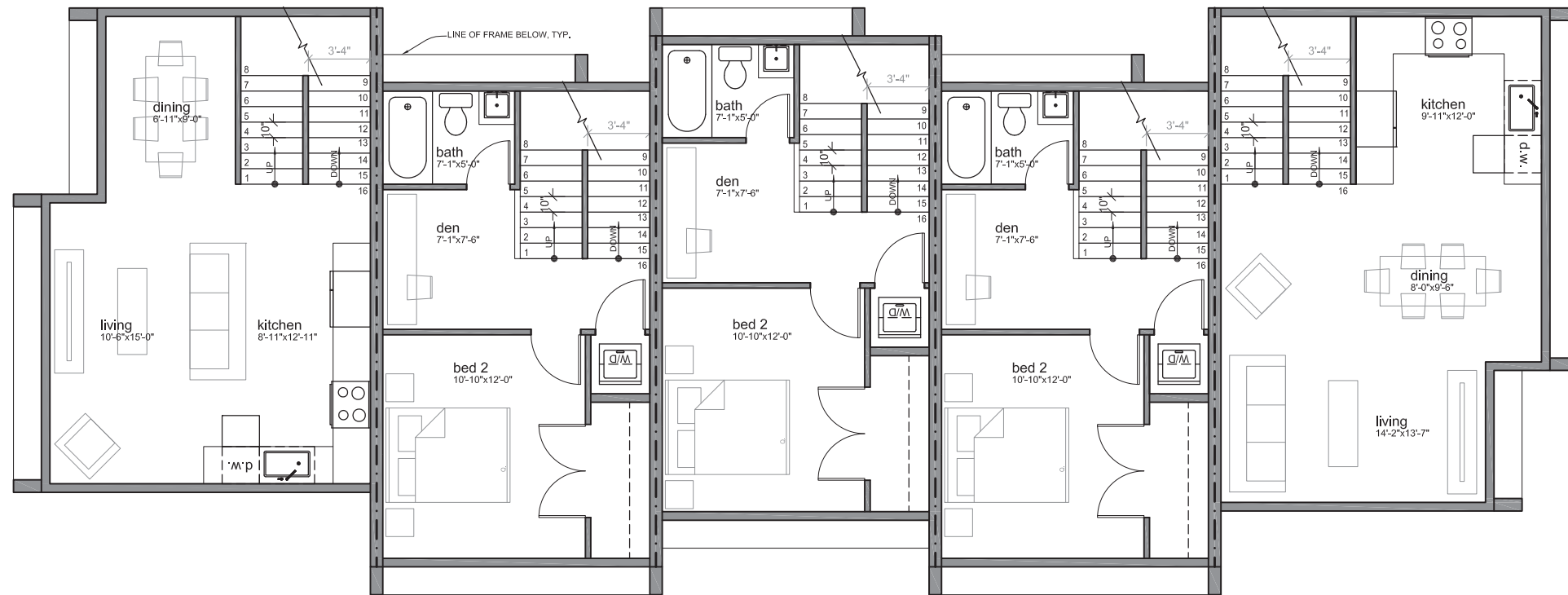
SITE SECTION



first floor plans

SCALE: N.T.S.

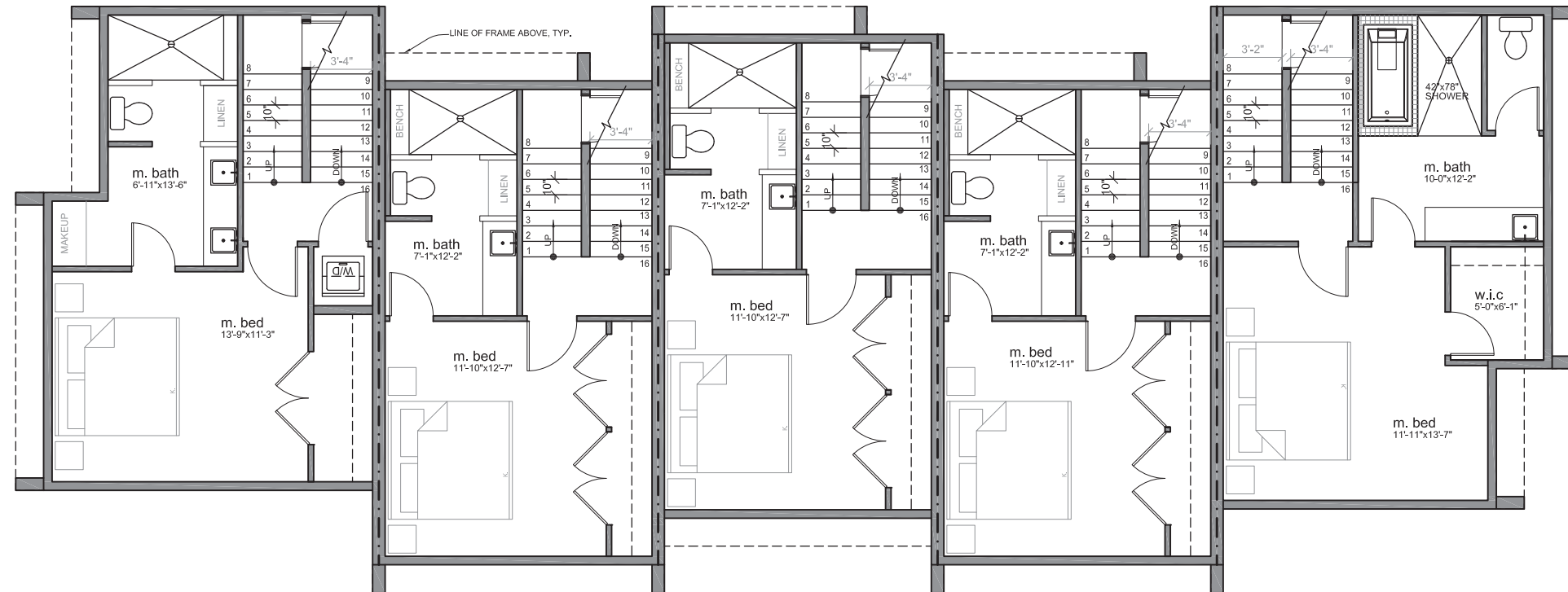




second floor plans

SCALE: N.T.S.

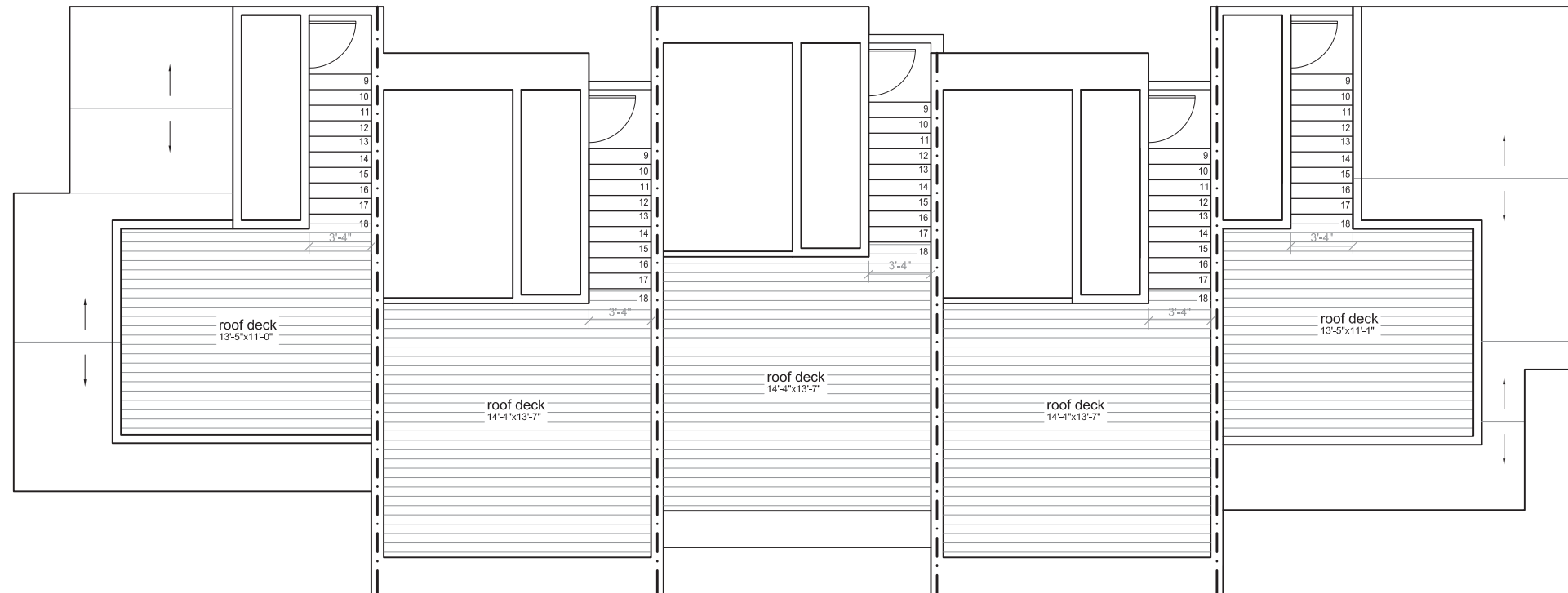




third floor plans

SCALE: N.T.S.





roof floor plans

SCALE: N.T.S.







south elevation

SCALE: 1/4" = 1'-0"

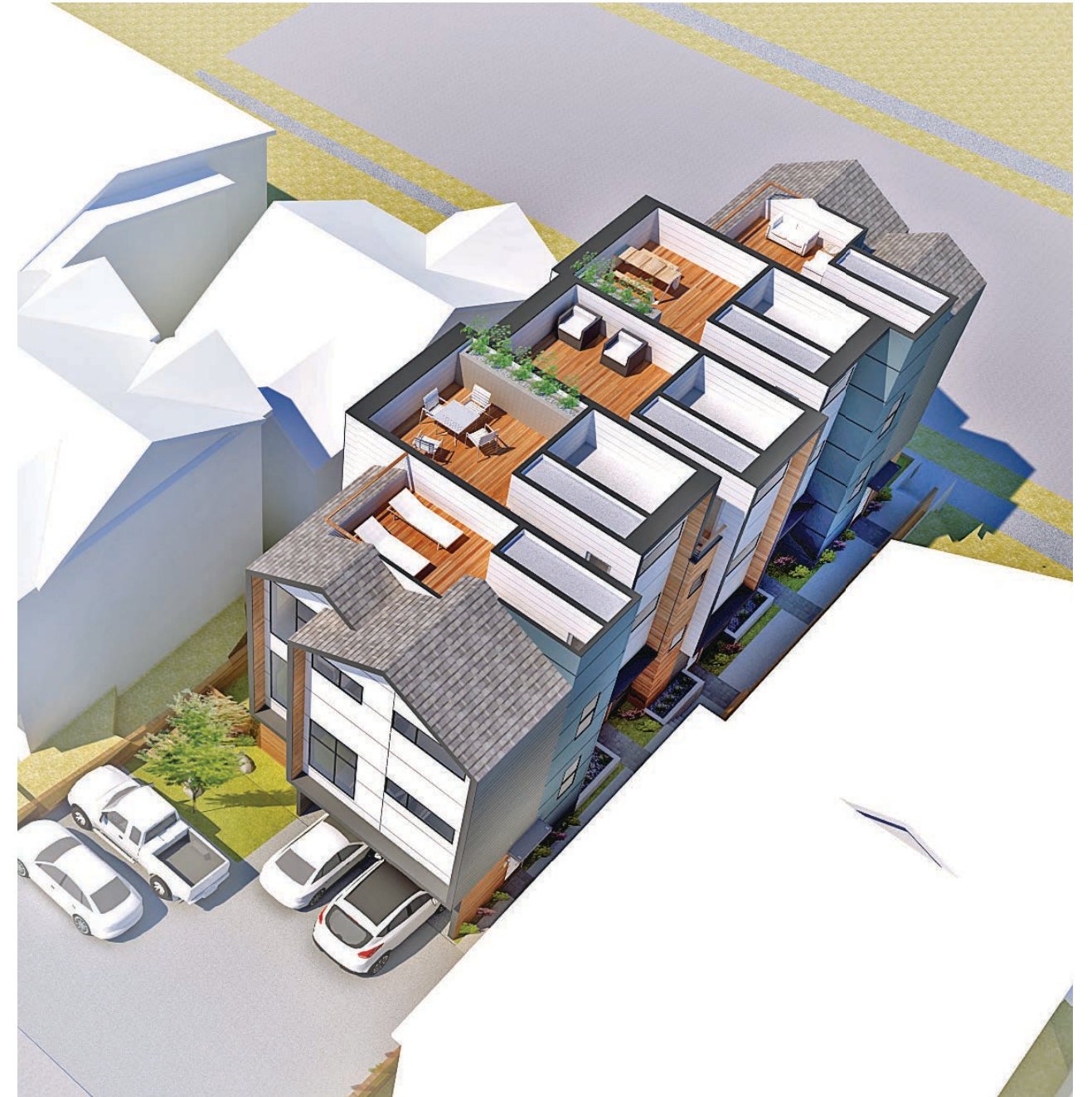




STREET FACADE



AERIAL - FROM WEST



AERIAL - FROM EAST



PEDESTRIAN PATH