

YESLER TERRACE BLOCK 5 | BLDG A

EAST DESIGN REVIEW BOARD

DESIGN RECOMMENDATION MEETING #2

209 12TH AVE S | PROJECT #3026743

08.08.2018



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PROJECT INFORMATION

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PROJECT INFORMATION - BLOCK 5/ BUILDING A

PROJECT DATA

PROJECT ADDRESS:

209 12TH AVE S

SDCI PROJECT #:

3026743 - BUILDING A

RELATED PROJECT #: 3028954 - BUILDING B

For the purpose of this packet, Phase 1 will be referred to as Building A. Building A & B are completely independent. Construction, parking levels, residential levels, amenities, mechanical and utilities will not be shared between the two buildings.

OWNER :

SEATTLE TENTH, LLC

ARCHITECT:

ANKROM MOISAN ARCHITECTS

LANDSCAPE ARCHITECT:

SITE WORKSHOP

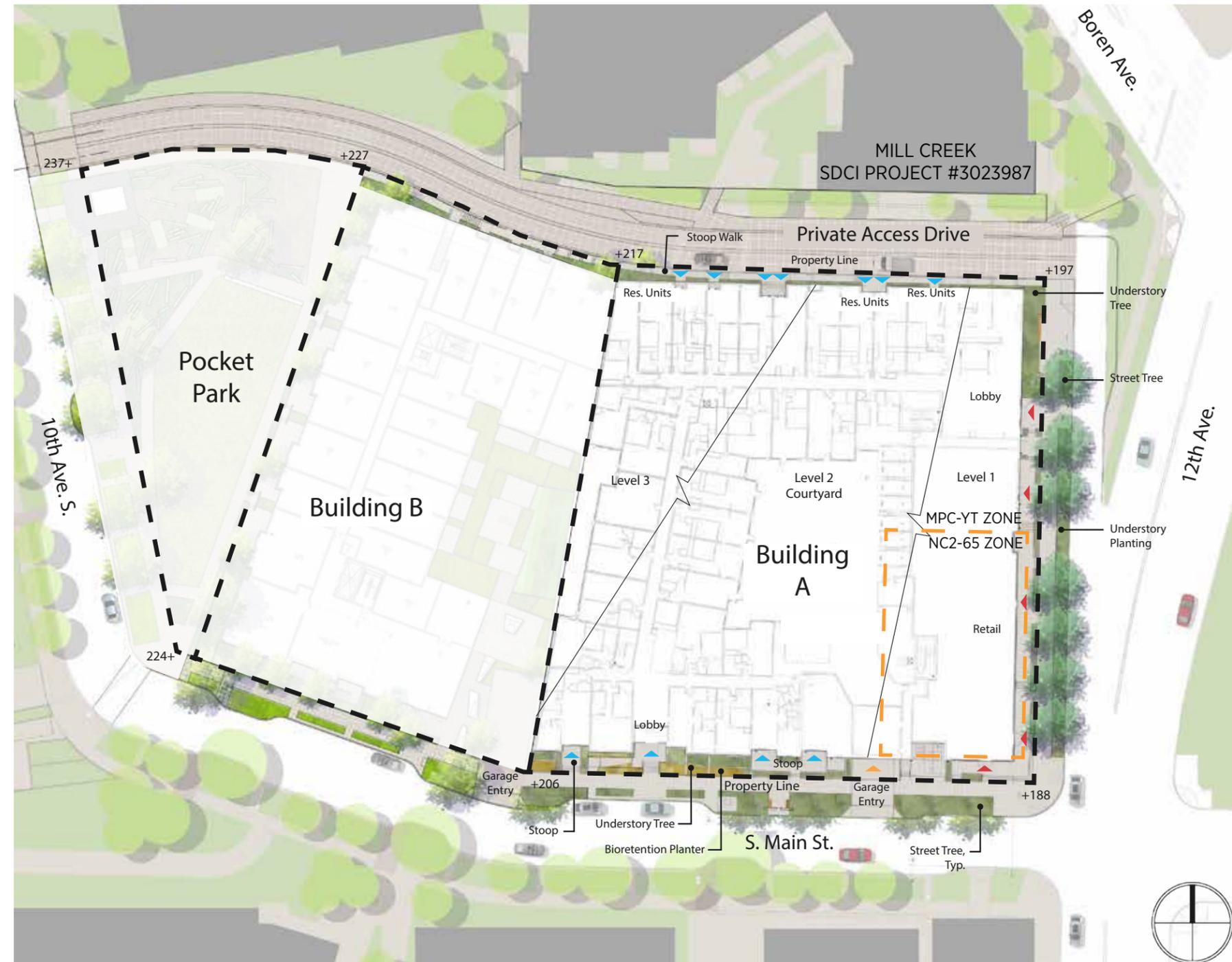
335 UNITS APPROX.

198 PARKING STALLS APPROX.

7,200 COMMERCIAL GSF APPROX.

In 2006, the Seattle Housing Authority initiated the redevelopment of Yesler Terrace following four guiding principles established by a Citizen Review Committee: Social Equity, Economic Opportunity, Environmental Stewardship and Sustainability, and One-for-One Replacement Housing. With Yesler Terrace, SHA and the City of Seattle intend to build a model community that emphasizes increased density and economic diversity.

New streetscapes, bike and pedestrian paths, hill climbs and parks are key features of the new plan. Street adjustments include the removal of Spruce Street and the creation of Fir Street west of Broadway. The new master plan includes replacement low-income housing, market rate housing and neighborhood improvements.



SITE CONDITION:

CHANGE IN HEIGHT FROM
HIGHEST TO LOWEST POINT OF
THE SITE =

49'-0"

AVERAGE SLOPE OF SITE =

OVER 8%



1. PROVIDE MARKET RATE AND AFFORDABLE HOUSING FOR THE YESLER TERRACE NEIGHBORHOOD

The proposed development seeks to provide new market rate & affordable housing units in two phased buildings. The project design goals are closely aligned with the objectives of the Yesler Terrace Master Planned Community Design Guidelines. Our goal is to provide a diverse range of housing options that respond to the unique topography of the site, provide spaces that cultivate community engagement, and reinforce the existing urban framework.



2. CREATE AN INVITING RESIDENTIAL SCALE

The Yesler Terrace Master Plan includes up to 4,500 new residential units. One of the top design priorities is to provide a distinctly residential scale and character to the new development. Beyond the required zoning setbacks, inviting residential scale is created with the inclusion of stoops, patios, additional setbacks, height variation, building modulation, balconies, extensive planting, pedestrian-sensitive street design, and minimizing vehicular impact on site.

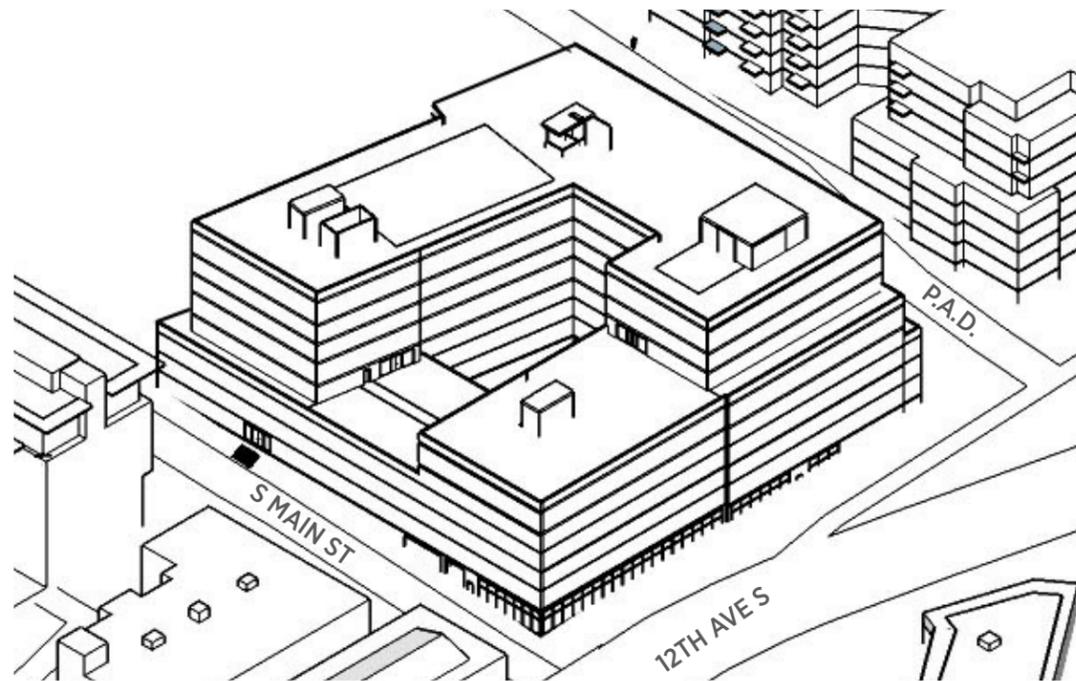


3. HONOR THE UNIQUE HISTORY OF THE YESLER TERRACE COMMUNITY WITH A NOD TO THE FUTURE

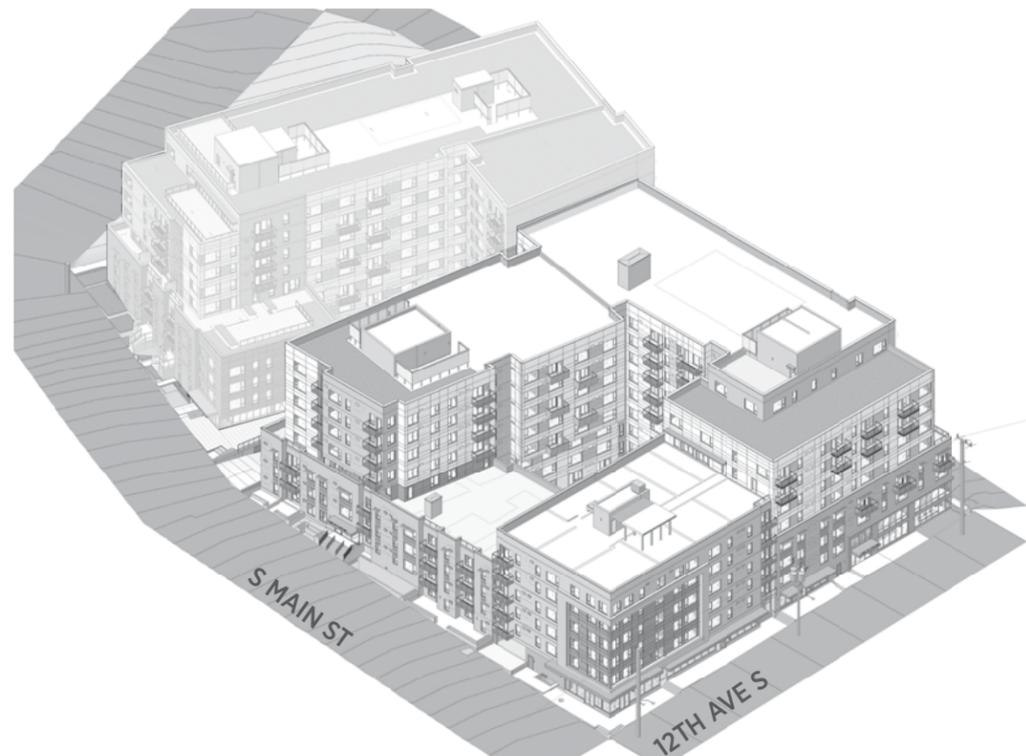
Yesler Terrace was Washington’s first public housing community and the first racially integrated public housing development in the United States. We firmly believe the diversity of people, languages, cultures, and religions enhance and enliven the future of the site. The success of the planned development is contingent on the continued diversity of cultural perspectives and identities. We seek to create spaces that celebrate and support both individual expression and community engagement.

GUIDANCE THEME	BOARD GUIDANCE	DESIGN RESPONSE	APPLICABLE DESIGN GUIDELINES	
1. MASSING DESIGN DEVELOPMENT AND RESPONSE TO EDG	<ul style="list-style-type: none"> Board strongly supported the refined massing at the NE corner Board indicated increasing the setback from 1' to 3' may be acceptable to create a legible setback 	<ul style="list-style-type: none"> Facade setback along 12th has been increased from 1'-0" to 2'-6" from the brick base 	DC2-A DC2-B DC2-D	Massing Architectural and Facade Composition Scale and Texture
2. ARCHITECTURAL CONCEPT, MATERIALITY AND COMPOSITION	<ul style="list-style-type: none"> a. Board recommended resolving the detailing and reducing the number of different materials at the SE corner. The board preferred Option 3. b. Board was concerned with the corner edge condition of the wood textured fiber cement panels and encouraged studying high quality detailing c. Encouraged the studying of brick or other high quality materials at the upper corner volume d. Board recommended integrating vents in the cladding composition and to show the vent locations in the elevations for the next meeting 	<ul style="list-style-type: none"> SE Corner redesigned to simplify number of materials yet still stand out as a prominent corner Higher quality materials, Metal panels added at SE corner inset Corner detail for wood textured fiber cement panels provided Refined vent design provided for brick bases 	DC2 DC2-B DC2-D DC4 DC4-A	Architectural Concept Architectural and Facade Composition Scale and Texture Exterior Elements and Finishes Exterior Elements and Finishes
3. STREETScape, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE	<ul style="list-style-type: none"> a. Board recommended differentiating the secondary lobby entry along S Main St from the unit entries b. Board supported the revised retail location and recommended studying options for individual storefronts and/or designing in flexibility c. Board strongly supported the direct entries and the "stoop walk" and recommended maximizing the number of ground-related residential entries. Requested a more detailed representation of the frontage, entries and pedestrian amenities d. Board strongly recommended relocating the trash storage internally to avoid staging at the street or to demonstrate that internal trash pickup was not possible and provide greater screening along the street e. Board recommended designing the bicyclist entries and bike parking to maximize convenience, security, and safety. Board also encouraged coordinating with SDOT regarding the bike path to improve safety. f. Board indicated early unanimous support of Departure #1 - Setbacks and Projections g. Board indicated unanimous early support of Departure #2 - Weather Protection 	<ul style="list-style-type: none"> New secondary lobby design provided to relate to main lobby design Storefront study provided to show retail flexibility and continuation of Little Saigon 2 new unit entries added along Private Access Drive Trash storage provided partially internally along S Main St Bicyclist route on grade into garage shown. Bike amenities along sidewalk provided to align with bike route on 12th Ave S 	CS2-B2 CS3-A PL1 PL1-B PL2 PL2-B PL2-B3 PL2-C PL3 PL3-C PL4-B2 DC1-A DC1-C DC2-C	Connection to the Street Emphasizing Positive Neighborhood Attributes Connectivity Walkways and Connections Walkability Safety and security Street-Level Transparency Weather Protection Frontage Retail Edges Bike Facilities Arrangement of Interior Uses Parking and Service Uses Secondary Architectural Features
4. PUBLIC ART; HISTORY OF THE SITE	<ul style="list-style-type: none"> Board strongly supported working directly with the community and local artists for development of the mural Recommended studying opportunities to integrate art into other areas such as the access drive or along the 12th Ave S frontage 	<ul style="list-style-type: none"> Art integration provided on raised planters along Private Access Drive 	PL1 CS3-B	Connectivity Historical/ Cultural References
5. WATER MANAGEMENT	<ul style="list-style-type: none"> Board supported the proposed bio-retention and stormwater planters near the S Main St Sidewalk Extend bioretention planters to the West Explore cascading features to take advantage of site topography and create visual interest 	<ul style="list-style-type: none"> Bioretention extended and pushed out to edge at S Main St Cascading features added throughout newly connected bioretention planters 	CS1-E	Natural Systems and Site Features

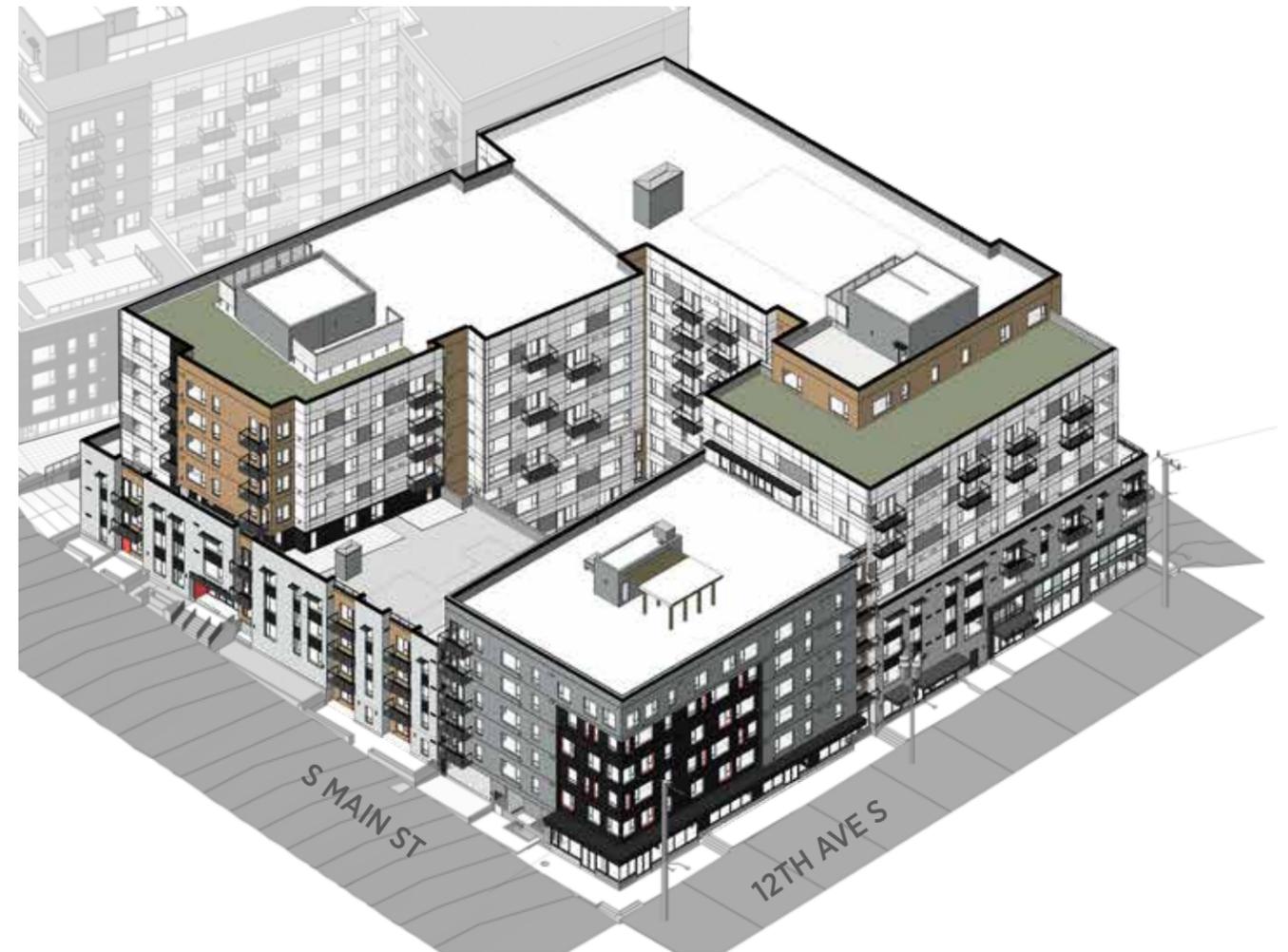
EDG PREFERRED MASSING - BOARD SUPPORTED



REC 1 MASSING



REC 2 REVISED MASSING



- 1** MASSING DESIGN DEVELOPMENT AND RESPONSE TO EDG
NE CORNER SETBACK @ L5
- 2** ARCHITECTURAL CONCEPT, MATERIALITY AND COMPOSITION
SE CORNER DESIGN
WOOD OUTSIDE CORNER CONDITION
EXTERIOR VENTING
- 3** STREETScape, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE
SECONDARY LOBBY
RETAIL FLEXIBILITY
ACCESS DRIVE UNITS
TRASH MANAGEMENT
BICYCLE PARKING
- 4** PUBLIC ART: HISTORY OF THE SITE
- 5** WATER MANAGEMENT

1. MASSING DESIGN DEVELOPMENT AND RESPONSE TO EDG

BOARD GUIDANCE:

REC 1 meeting for Building A: (1.) The Board agreed that the design development is generally heading in the right direction and strongly supported the refined massing at the northeast corner, which was lowered from nine to eight levels. For the massing along 12th, the Board recommended increasing the upper setback closer to the 5' previously shown at Early Design Guidance Meeting while retaining the lowered massing at the Northwest corner. The Board indicated that increasing the setback from 1' to 3' may be acceptable to create a legible setback.

RESPONSE:

At EDG the 5' setback was located at Level 6. At REC 1 the setback was dropped to level 5 for better 12th Ave facade proportions and level 9 was pushed back 28'. We were able to achieve a 2'-6" setback at level 5, a perfect amount to create a heavy depth and cornice. A 3'-0" setback was studied but created unsuccessful units along that facade.

RELEVANT GUIDELINES:

CS2 Urban Pattern and Form:

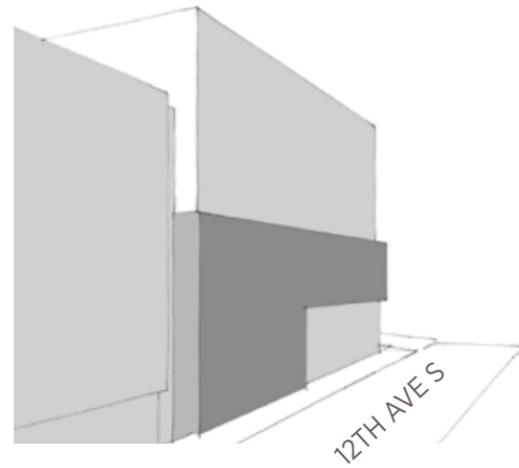
Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

PL3 Street Level Interaction

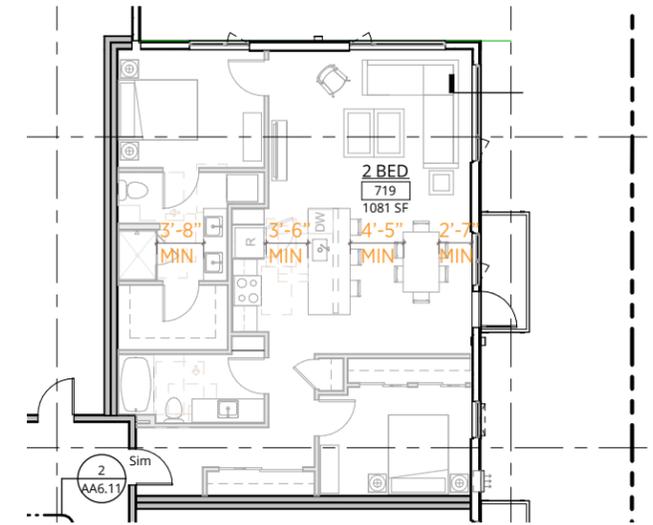
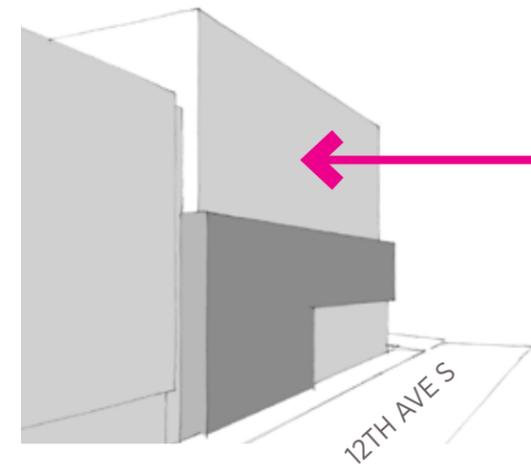
Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

DC2 Architectural Concept:

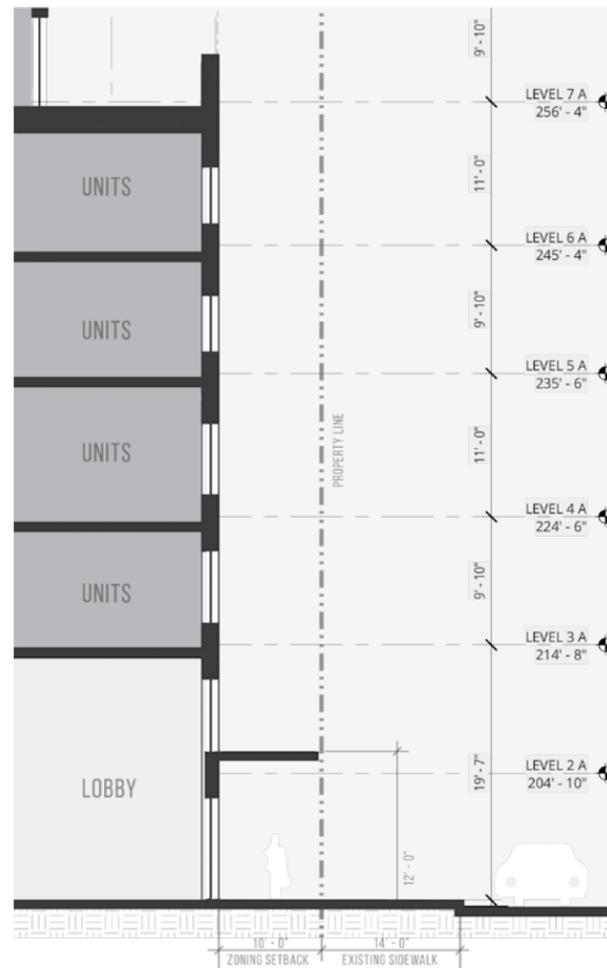
Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.



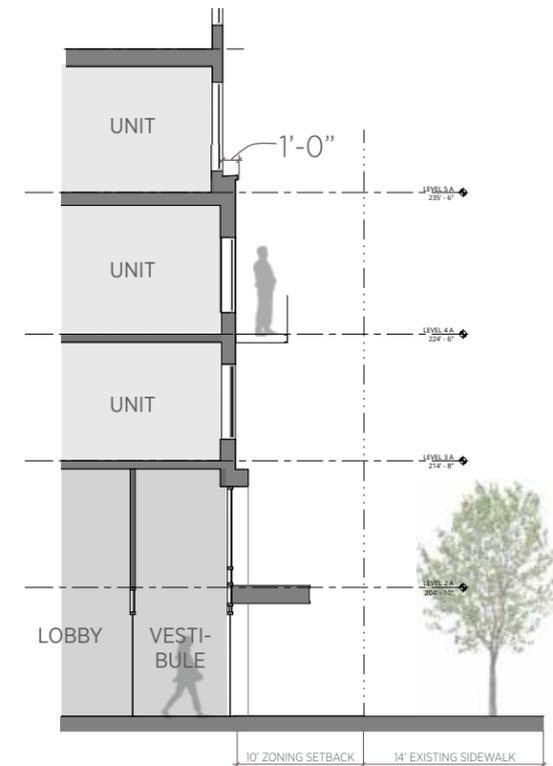
View at 12th Ave S



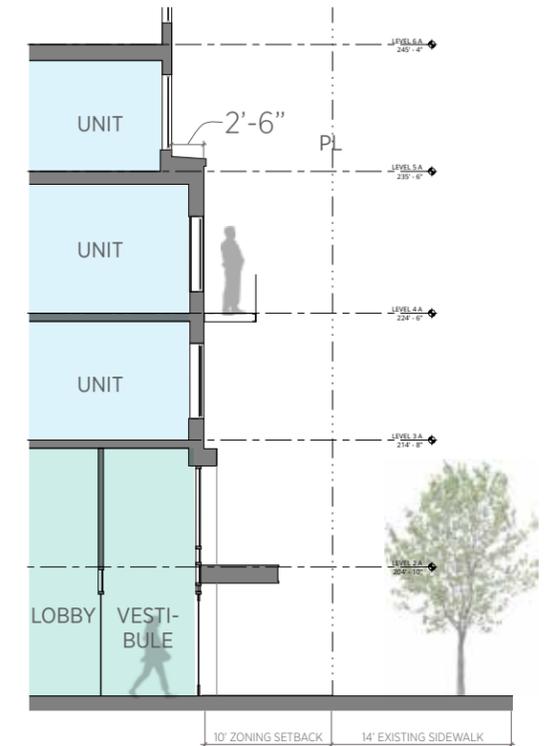
Unit Plan at 12th Ave - Maxed out at 2'-6" setback



EDG 1: Section at 12th Ave Residential Lobby



REC 1: Section at 12th Ave Residential Lobby



REC 2: Section at 12th Ave Residential Lobby



2. ARCHITECTURAL CONCEPT, MATERIALITY AND COMPOSITION

BOARD GUIDANCE:

REC 1 meeting for Building A: (2.a) To signify the prominent corner, the Board recommended resolving the detailing and reducing the number of different materials proposed at this location. Of the alternates shown, the Board preferred the Southeast corner option referred to as option 3 on pgs. 14-15 of the initial recommendation packet.

2.c. The Board was concerned that the current design of the corner does not reflect the prominence of the site. While the Board noted that the corner parcel is outside of the Yesler Terrace Master Planned Community site, the Board agreed this corner will read as a gateway to Yesler Terrace. To strengthen the materiality of the corner and reflect the prominence of the perceived gateway, the Board agreed that the corner should meet the intent of the Design Guidelines and encouraged studying brick or other high quality materials for the upper corner volume.

RESPONSE:

The wood frame has been removed and the entire inset has been pushed in from the facade 1'-6". The window patterning at the interior of the inset has been changed to provide focus on that corner. A variety of window frames have been inset with the inset and surrounded with a red/orange metal frame. This metal frame projects 2" past the metal composite panel.

In the studies of the upper massing at the SE Corner, a number of frame and pop-out options were studied. Brick is not appropriate for this corner as the entire lower level is transparent storefront, and floating brick over glass is not using the material in an honest approach.

The SE corner materials are made up of a clean shiplap siding, black metal composite panels at the inset and custom color metal window surrounds.

RELEVANT GUIDELINES:

DC2-B Architectural and Facade Composition:

Design all building facades - including alleys and visible roofs - considering the composition and architectural expression of the building as a whole. Ensure that all facades are attractive and well-proportioned.

DC2-D Scale and Texture:

Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept.

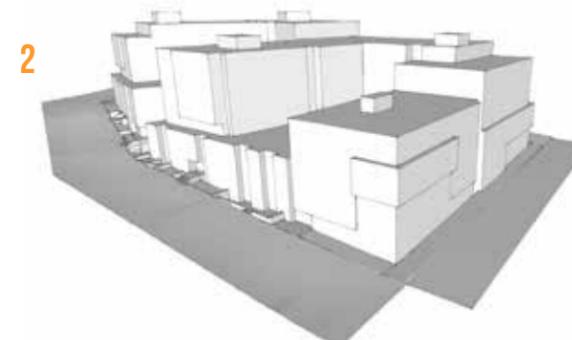
DC4-A Exterior Elements and Finishes:

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

REC 1 DESIGN



1 EDG - WOOD POP-OUT EXTENSION AT MAIN ST



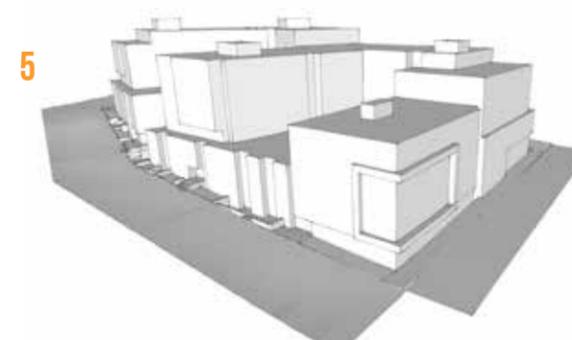
2 DESIGN STUDY - WOOD POP-OUT EXTENDED ALONG 12TH AVE S



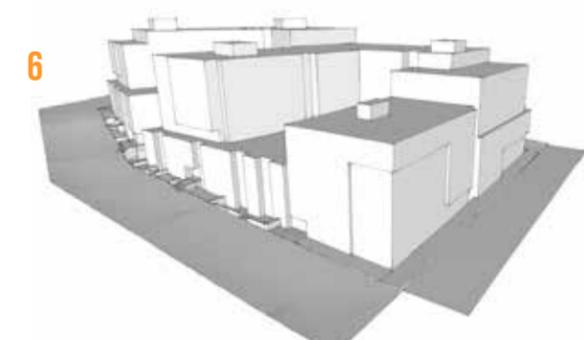
3 DESIGN STUDY - WOOD POP-OUT DROPPED DOWN ONE LEVEL



4 DESIGN STUDY - POP-OUT REVISED TO POP-IN, EXTENDED DOWN TO RETAIL LEVEL, WOOD FRAME ADDED



5 REC 1 (PREFERRED OPTION 3) - CLOSED WOOD FRAME



6 REC 2 - WOOD FRAME REMOVED, POP-IN DEPTH INCREASED, POP-IN MASSING EXTENDED HORIZONTALLY ALONG RETAIL



2. ARCHITECTURAL CONCEPT, MATERIALITY AND COMPOSITION



12TH AVE S

EAST ELEVATION



S MAIN ST

SOUTH ELEVATION

2. ARCHITECTURAL CONCEPT, MATERIALITY AND COMPOSITION

COLORS OF LITTLE SAIGON & INTERNATIONAL DISTRICT
- TO BE USED TO SIGNIFY RESIDENTIAL ENTRANCES AND
GATEWAYS ON BUILDING A



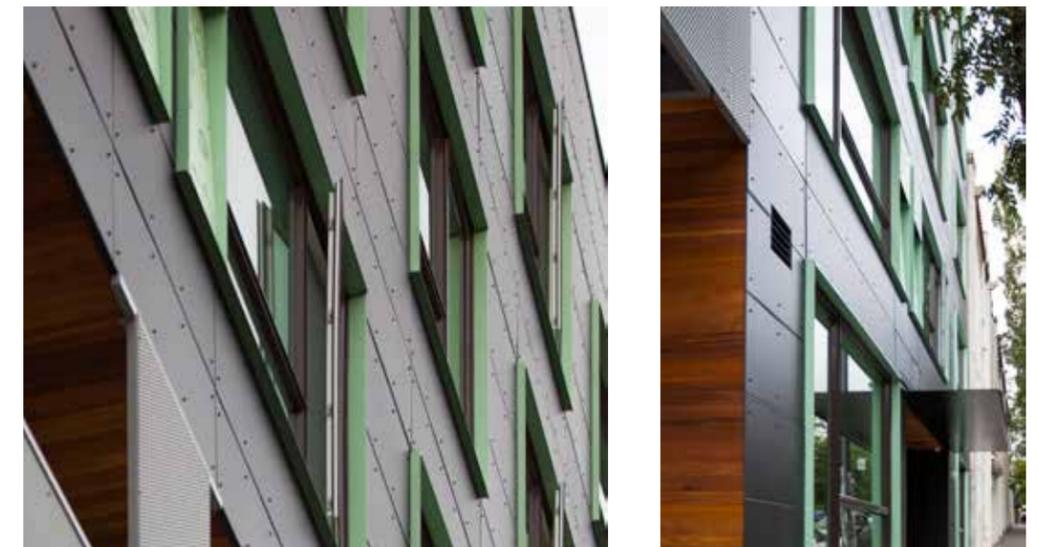
ACCENT COLOR EXPRESSION: EXTENDED METAL
WINDOW SURROUNDS



RESPONSE:

The orange accent color has been revised to a brighter red/
orange now that the use of the accent color on the building
has increased and is now interacting with the black materials.

PRECEDENT IMAGER: INTENDED DETAIL DESIGN



PRECEDENT IMAGERY



2. ARCHITECTURAL CONCEPT, MATERIALITY AND COMPOSITION

BOARD GUIDANCE:

REC 1 meeting for Building A: (2.b.) While the Board supported texture of wood, the Board agreed that the proposed wood textured fiber cement panels do not appear to lend themselves to high quality detailing. Related to the detailing, the Board was concerned with the corner edge condition and encouraged studying a mitered corner or other high quality detailing.

RESPONSE:

A black metal architectural trim will be used at all outside corners of the wood texture material. By using black, the wood boxes are defined and complementary to the black vinyl windows.

RELEVANT GUIDELINES:

DC2-B Architectural and Facade Composition

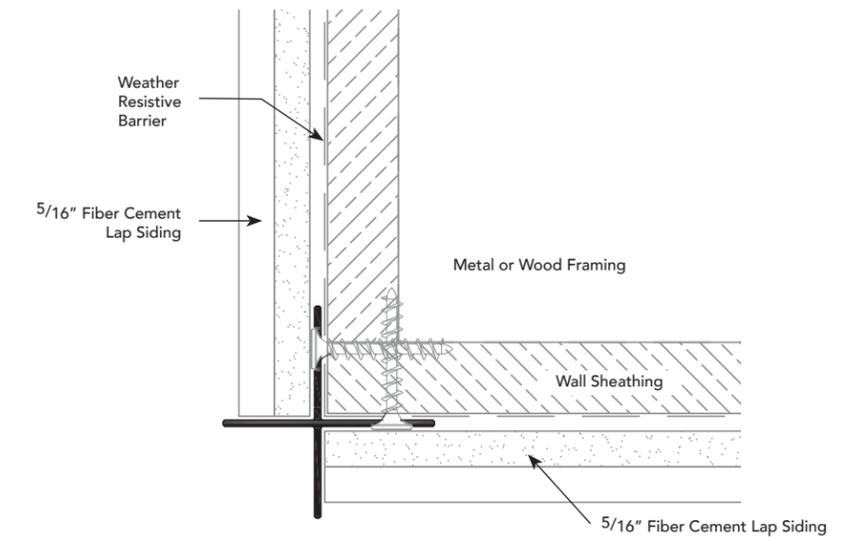
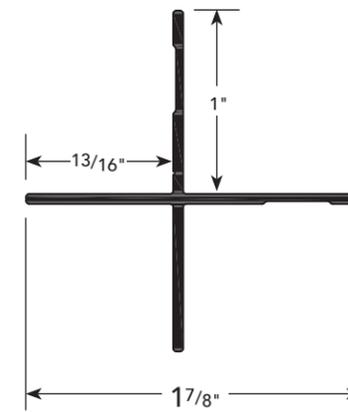
Design all building facades - including alleys and visible roofs - considering the composition and architectural expression of the building as a whole. Ensure that all facades are attractive and well-proportioned.

DC2-D Scale and Texture

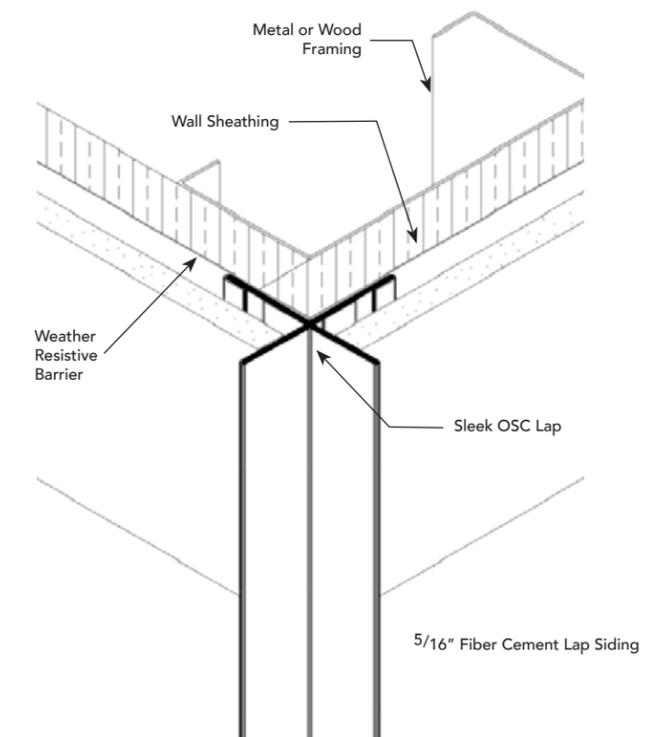
Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept.

DC4-A Exterior Elements and Finishes

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

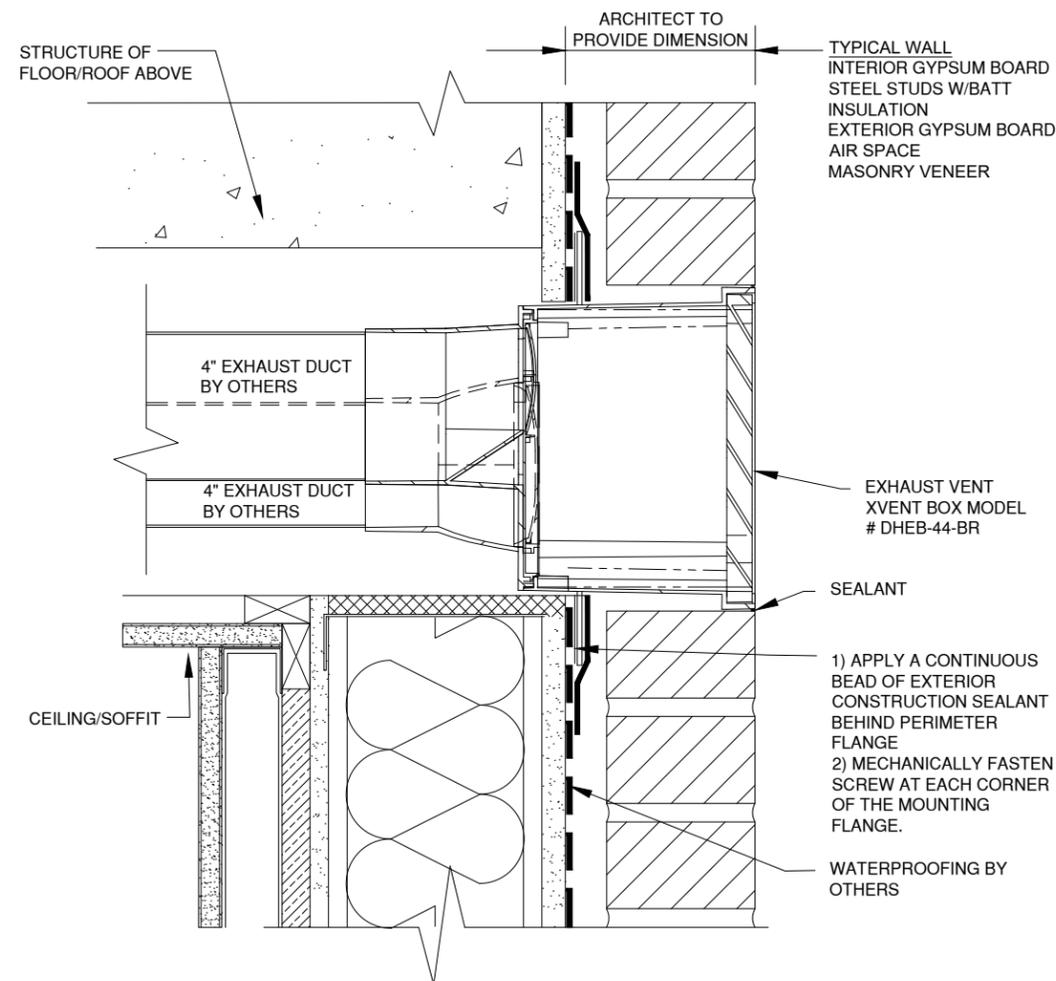


INSTALLATION DETAIL / ISO View



BRICK - WALL PENETRATION

XVENT BOX MODEL # DHEB-44-BR



WALL PENETRATION DETAIL

MANUFACTURER; FSH INDUSTRIES,LLC
 866-983-6829 SALES@XVENTBOX.COM
 WWW.XVENTBOX.COM



XVENT AT BRICK

PRECEDENT IMAGERY



BOARD GUIDANCE:

REC 1 meeting for Building A: (2.d.) Related to the facade composition, the Board supported the proposed secondary elements and agreed that the detailing of the vents will also be important. The Board recommended integrating vents in the cladding composition and to show the vent locations in the elevations for the next meeting.

RESPONSE:

An effort has been made to move all possible vents off the front facing brick facades. The vents used in the brick will be high-quality flush Xvents. These are reflected in the renderings and as shown in the precedent images.

RELEVANT GUIDELINES:

DC2 Architectural Concept

Develop an architectural concept that will result in a functional and harmonious design.

DC4-A Exterior Elements and Finishes

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

3. STREETScape, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE

BOARD GUIDANCE:

REC 1 meeting for Building A: The Board supported the overall development and gave guidance to strengthen the different frontages.

(3.a.) Related to the secondary lobby entry along S Main St, the Board recommended differentiating the design of the lobby entry from the unit entries to improve hierarchy of the entries and improve wayfinding.

RESPONSE:

The secondary lobby canopy along S Main St has been redesigned to follow similar design language to the main lobby entrance along 12th Ave S. These are demonstrated as strong 'L' shape forms in black metal. The underside will be the new blood orange accent color with opportunities to continue into the interior. The entry vestibule has been pushed further into the building to provide for more space at the top of the stairs and create a deeper visual delineation from the brick facade. The planters will also be in a contrasting material from the residential entry planters along S Main St.

RELEVANT GUIDELINES:

CS2-B2 Connection to the Street

Identify opportunities for the project to make a strong connection to the street and public realm.

PL1-B Walkways and Connections

Opportunities for creating lively, pedestrian oriented open spaces to enliven the area and attract interest and interaction with the site and building should be considered.

PL2-B3 Safety and Security: Street-level transparency

Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.

PL3-C Retail Edges

Maximize visibility into the building interior and merchandise displays. Consider fully operational glazed wall-sized doors that can be completely opened to the street, increased height in lobbies, and/or special lighting for displays.

DC1-A Arrangement of Interior Uses

Locate uses and services frequently used by the public in visible or prominent areas, such as at entries or along the street front.

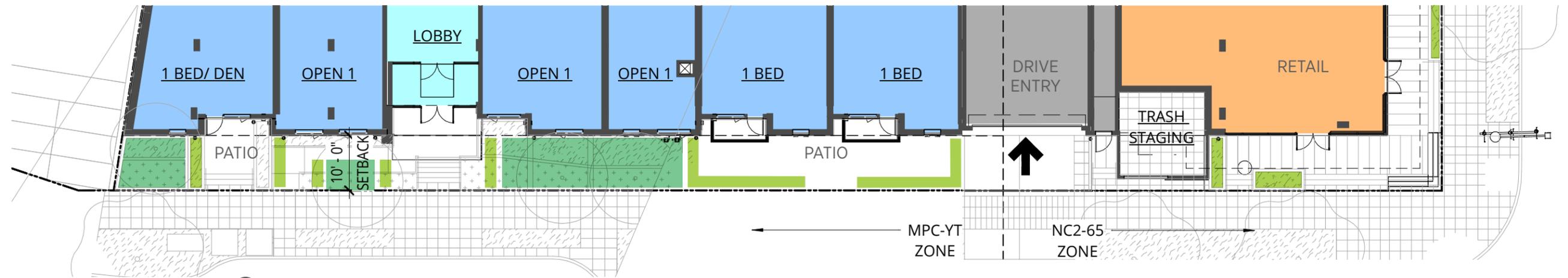
REC 1 DESIGN



3. STREETScape, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE



3. STREETSCAPE, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE



ENLARGED PLAN @ MAIN ST



SOUTH ELEVATION

MAIN ST

3. STREETScape, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE



BOARD GUIDANCE:

REC 1 meeting for Building A: (3.b.) The Board supported the revised retail location and recommended studying options for individual storefronts and/or designing in flexibility, so that the retail spaces can be adapted to individual commercial uses, or other means to provide activation in the streetscape to continue the vibrancy of Little Saigon and encourage a lively street front.

RESPONSE:

Little Saigon is a thriving community with a pattern of small businesses within larger homogeneous retail buildings. We have created as much flexibility as possible within the grades at the retail spaces to allow for multiple entries along 12th Ave S. We have also broken up the storefront with different materials relating to the massing above to allow for retailers to create their own identity. The signage will hopefully take on a unique identity at each retail space.

3 possible tenant applications are provided on the following page.

RELEVANT GUIDELINES:

CS2-B2 Connection to the Street

Identify opportunities for the project to make a strong connection to the street and public realm.

CS3-A Emphasizing Positive Neighborhood Attributes

In neighborhoods where architectural character is evolving or otherwise in transition, explore ways for new development to establish a positive and desirable context for others to build upon in the future.

PL1-B Walkways and Connections

Opportunities for creating lively, pedestrian oriented open spaces to enliven the area and attract interest and interaction with the site and building should be considered.

PL2-B3 Safety and Security: Street-level transparency

Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.

PL3-C Street-Level Interaction

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

3. STREETScape, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE

RESPONSE:

The 3 possible tenant applications shown below demonstrate the flexibility that can be provided in these retail tenant spaces. The grades have been worked so that the door locations can change throughout these spaces allowing for larger or multiple smaller tenants in the future. The signage locations are also flexible to allow for a fun, diverse mix along the sidewalk.

The utilities for the retail spaces run perpendicular to 12th Ave S along the backside of the tenant spaces to allow for maximum flexibility for demising.



OPTION 1: LARGE RESTAURANT/BAR + FLOWER SHOP

3. STREETScape, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE



OPTION 2: LARGE MARKET + BIKE SHOP



OPTION 3: SMALL MARKET + SMALL CAFE + SMALL ART GALLERY

3. STREETSCAPE, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE

BOARD GUIDANCE:

REC 1 meeting for Building A: (3.c.) For the access drive frontage, the Board strongly supported the direct entries and shared circulation space, referred to as the 'stoop walk.' To better meet the intent of the access drive to function as a woonerf, the Board recommended maximizing the number of ground-related residential entries. For the next meeting, the Board requested a more detailed representation of the frontage, individual entries and access drive design, including information on the pedestrian amenities/site furnishings proposed.

RESPONSE:

In response to the Board Guidance from REC1 we have elevated the stoop walk above the access drive to accommodate 2 additional unit entries. Building A now has 7 units with access from the stoop walk. This change in elevation now requires a guardrail due to the increased height above the drive surface.

RELEVANT GUIDELINES:

PL1 Connectivity

Complement and contribute to the network of open spaces around the site and the connections among them.

PL2-B3 Safety and Security: Street-level transparency

Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.

PL3 Street-Level Interaction

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

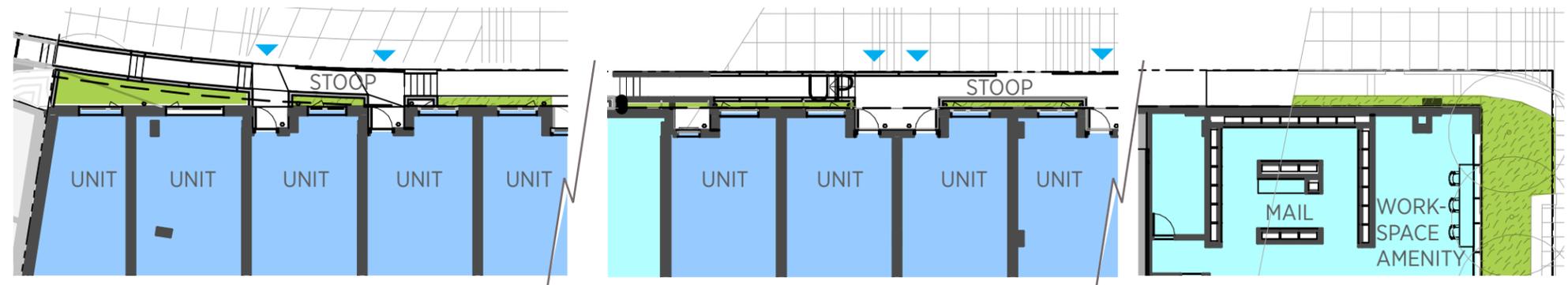
DC1-A Arrangement of Interior Uses

Locate uses and services frequently used by the public in visible or prominent areas, such as at entries or along the street front.

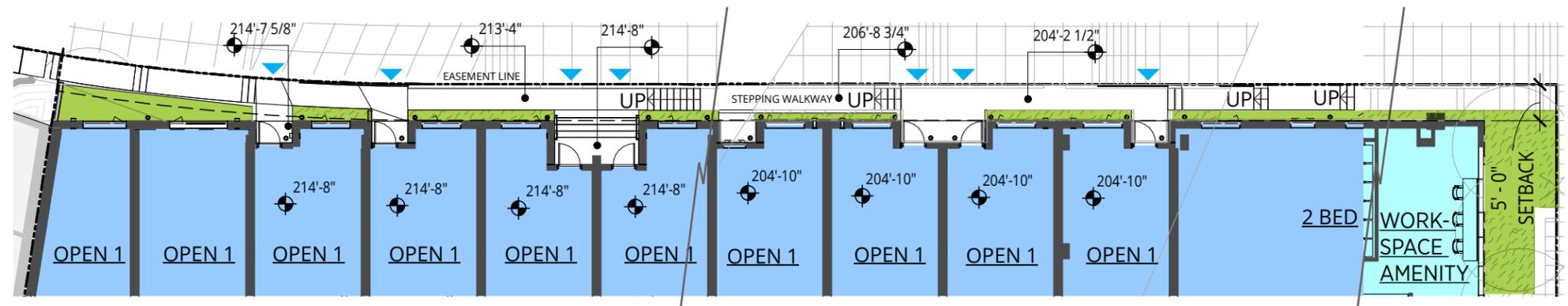
DC4-D Trees, Landscape, and Hardscape Materials

Use exterior courtyards, plazas, and other hard surfaced areas as an opportunity to add color, texture, and/or pattern and enliven public areas through the use of distinctive and durable paving materials. Use permeable materials wherever possible.

REC 1 DESIGN



REC 1 ACCESS DRIVE ENTRIES AT - 5 STOOPS



REC 2 ADDED ACCESS DRIVE ENTRIES - 7 STOOPS

REC 1 DESIGN



REC 1 ACCESS DRIVE ENTRIES AT - 5 STOOPS

--- GRADE AT PRIVATE ACCESS DRIVE - - - GRADE AT STOOP WALK



REC 2 ADDED ACCESS DRIVE ENTRIES - 7 STOOPS

--- GRADE AT PRIVATE ACCESS DRIVE - - - GRADE AT STOOP WALK

3. STREETScape, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE

PROJECT TO THE NORTH
MILL CREEK Project #3023987



BLDG B

NORTH ELEVATION

3. STREETScape, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE



4. PUBLIC ART; HISTORY OF THE SITE

BOARD GUIDANCE:

REC 1 meeting for Building A: (4) The Board strongly supported the intent to work directly with the community and a local artist for the art development of the mural to address the history and diversity of the site. The Board also recommended studying opportunities to integrate art into other areas such as the access drive corner as it meets 12th Ave S, or along the 12th Ave S frontage which faces an elementary school.

RESPONSE:

Metal planters are raised to help screen units along steep walk while creating an opportunity for public art. Planter sides are used as canvases to strategically apply similar mural art currently indicated on the Northern face of Building A. Thus, allowing a holistic approach to bringing vibrant art throughout the site.

RELEVANT GUIDELINES:

PL1 Connectivity

Complement and contribute to the network of open spaces around the site and the connections among them.

CS3-B Local History and Culture

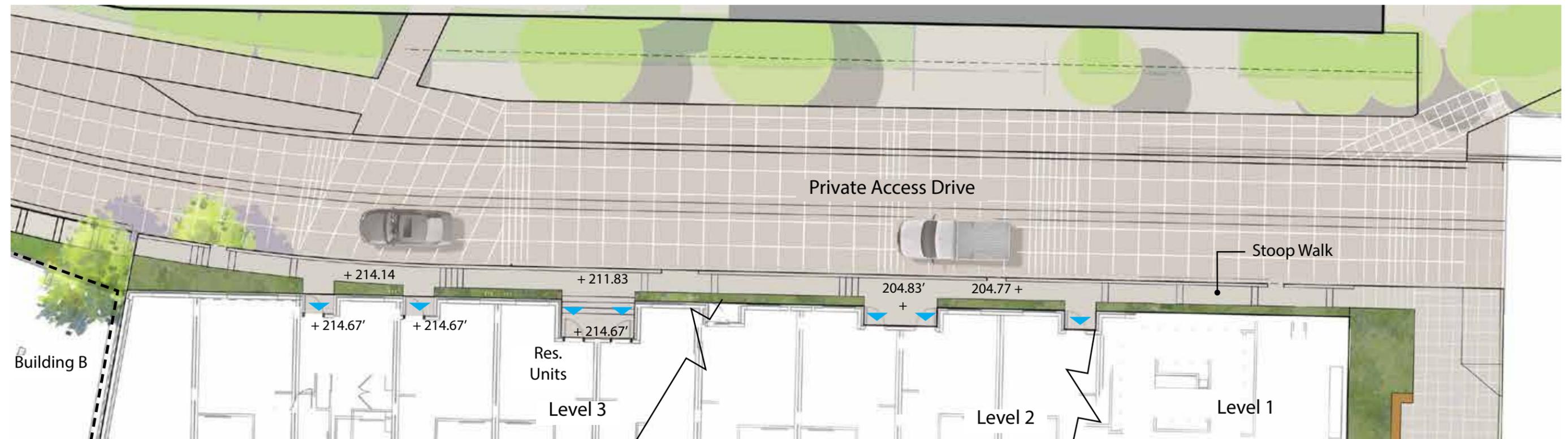
Explore history of the site and neighborhood as a potential placemaking opportunity. Look for historical and cultural significance, using neighborhood groups and archives as resources.



PUBLIC ARTWORK PRECEDENTS

Legend

-  Sidewalk Paving:
Standard CIP concrete
pavement, no color, 2x2 saw
cut scoring
-  Understory Planting



STOOP WALK



Stoop Walk Access Point

Public Access Drive
Concrete Knee Wall w/ Top Rail

Raised Planters w/
Integrated Art Element



STOOP WALK EXPERIENCE

3. STREETScape, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE

BOARD GUIDANCE:

REC 1 meeting for Building A: (3.d.) The Board noted the trash staging area along S Main St and strongly recommended relocating the trash storage internally to avoid staging at the street, or to demonstrate that internal trash pickup was not possible and provide greater screening along the street.

RESPONSE:

Due to limitations with how far pickups will travel, an area East of the garage drive entry has been added to house staging for 6 bins. This area is partially inset into the building and partially exposed on the exterior. This exterior wall will be screened with a solid concrete wall to hide odors and views of bins. The concrete will be board form to complement the shiplap siding above. Pickups will be frequent throughout the week to avoid any backup in this area.

RELEVANT GUIDELINES:

DC1-C Parking and Service Uses

Locate and design service entries, loading docks, and trash receptacles away from pedestrian areas or to a less visible portion of the site to reduce possible impacts of these facilities on building aesthetics and pedestrian circulation.



VIEW AT S MAIN ST ENTRY DRIVE AND TRASH STAGING



LEVEL 1 FLOOR PLAN ①

3. STREETScape, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE

BOARD GUIDANCE:

REC 1 meeting for Building A: (3.e.) The Board also recommended designing the bicyclist entries and bike parking to maximize convenience, security, and safety. The Board also encouraged coordinating with SDOT regarding the bike path to improve bike safety.

RESPONSE:

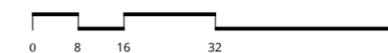
Residents can enter at street level through the people door next to the main lobby or the people door along Main St adjacent to the garage entry. There will be a marked route for cyclists to follow to the bike room to ensure safety.

Along 12th Ave S all public bike racks will be placed at convenient locations for users of the bike route. SDOT has required a continuous planter along 12th, but bike racks will be prioritized near the pedestrian openings.

RELEVANT GUIDELINES:

PL4-B-2 Bike Facilities

Facilities such as bike racks and storage, bike share stations, shower facilities and lockers for bicyclists should be located to maximize convenience, security, and safety.



LEVEL 1 FLOOR PLAN

5. WATER MANAGEMENT

BOARD GUIDANCE:

REC 1 meeting for Building A: (5.) The Board supported the proposed bio-retention and stormwater planters near the S Main St sidewalk and recommended extending bioretention planters to the West and exploring cascading features to take advantage of the site topography and create visual interest for the pedestrian.

RESPONSE:

This concept both addresses stormwater management in environmentally responsible ways and creates expressive landscape that celebrates stormwater. Bioretention planters along S Main Street are repositioned and realigned to foster a greater public interest and enjoyment in a cascading form. Planters are allowed to step with site grade and continue under Lobby stair to allow moments of curiosity and varied perspectives.

Runnel/weir elements transport stormwater away from the building into bioretention planters. Runnels' layout compliments building edges and plant realignment.

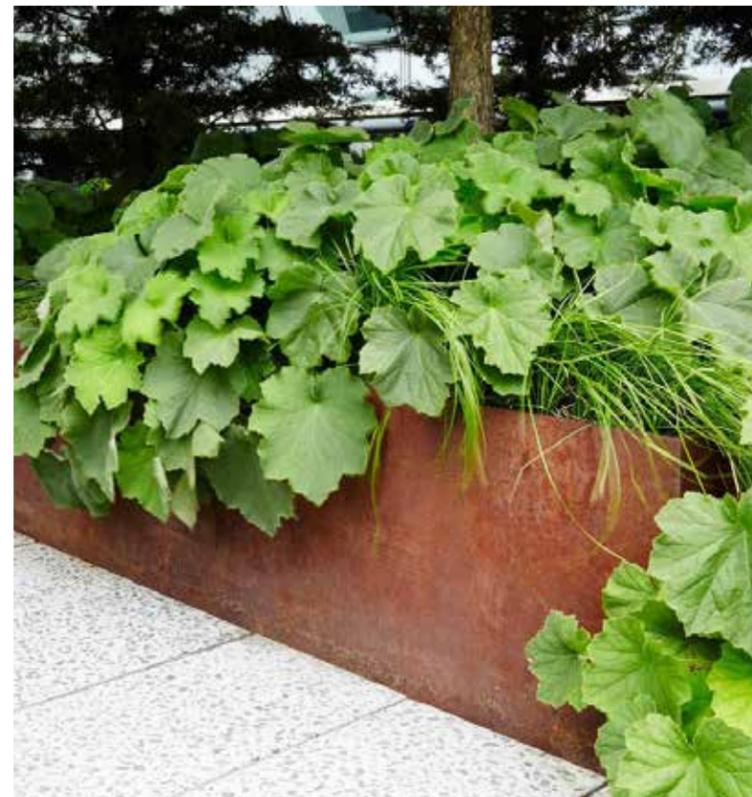
RELEVANT GUIDELINES:

CS1-E Water

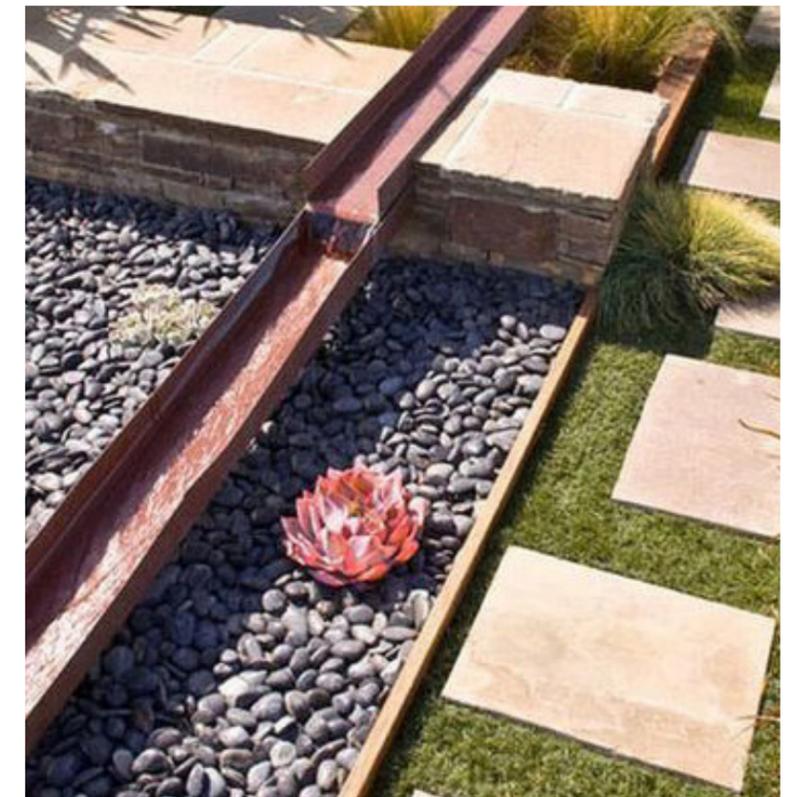
Use project drainage systems as opportunities to add interest to the site through water-related design elements.



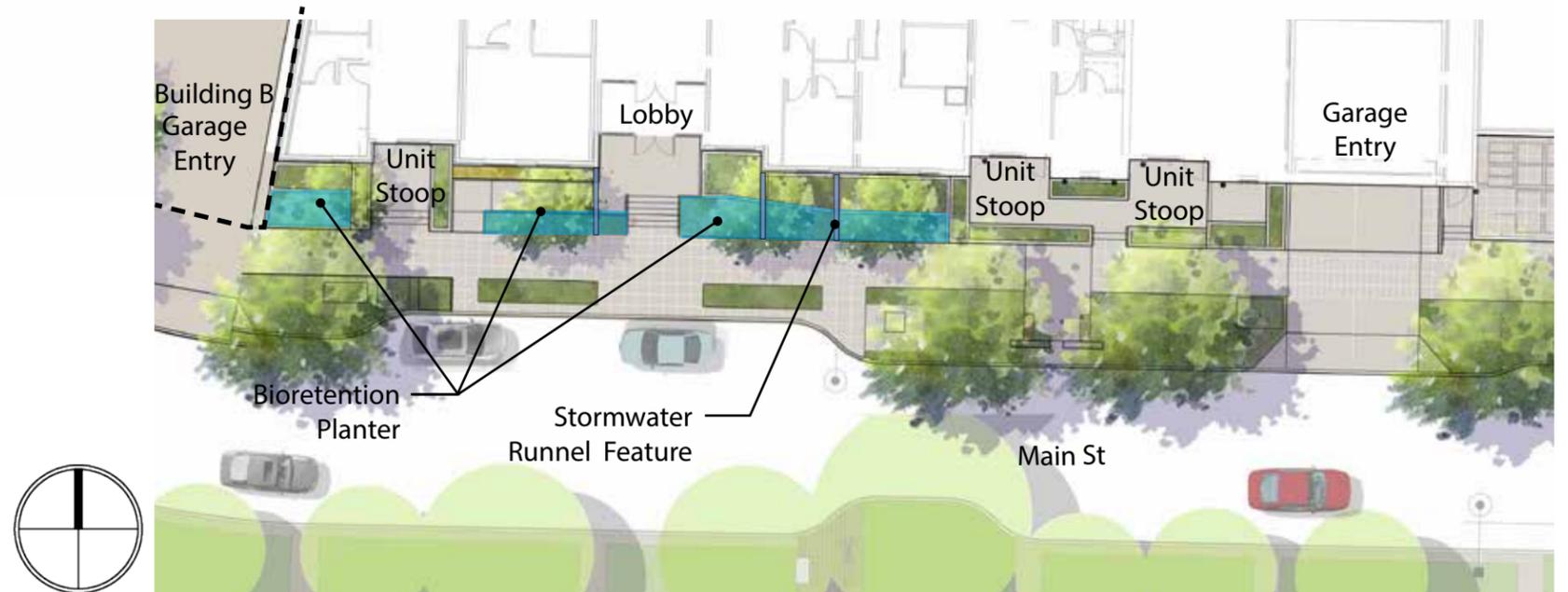
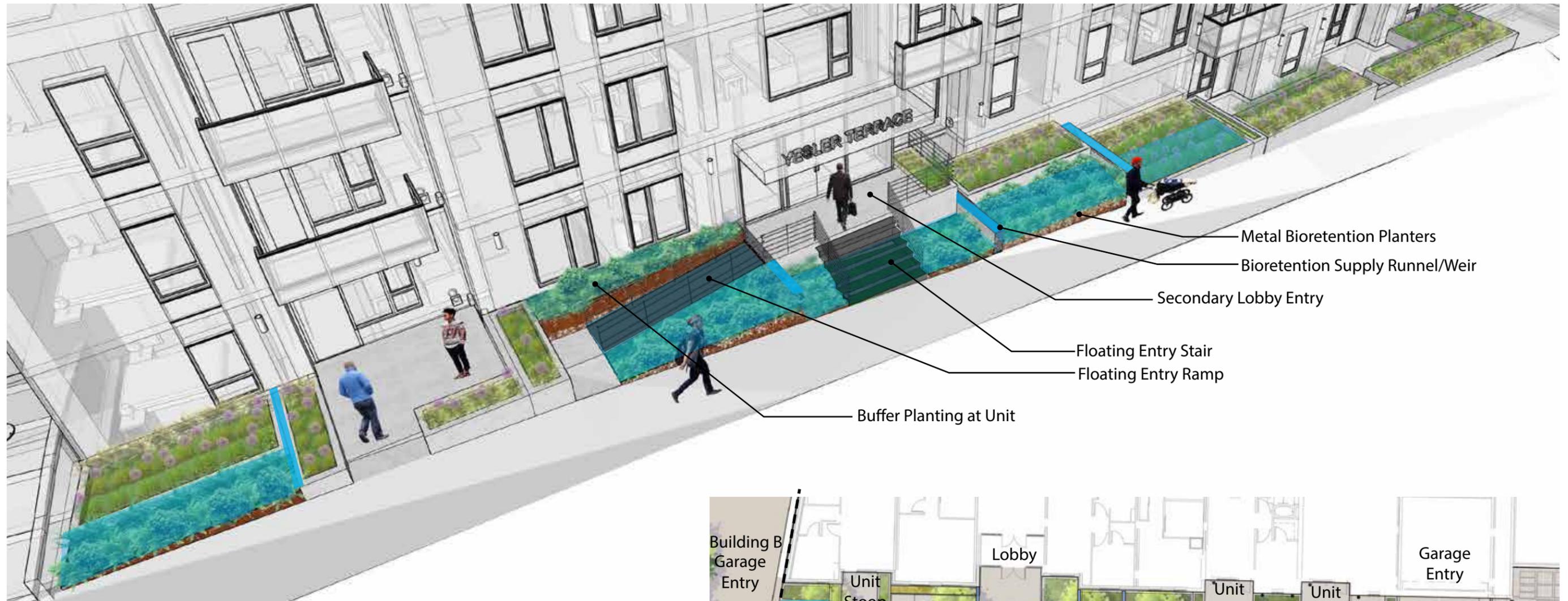
FLOATING STEPS



BIORETENTION PLANTERS



SUPPLY RUNNEL/WEIR



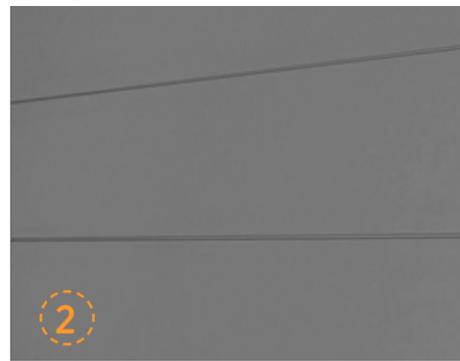
STORMWATER PLAN DIAGRAM

MATERIALS

BUILDING A MATERIALS



WOODTONE FIBER CEMENT LAP SIDING - SMOKEY ALDER



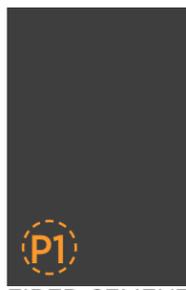
FIBER CEMENT SHIPLAP - P3



12" BRICK - 'PLATINUM' NORMAN COURSING



BLACK METAL COMPOSITE PANEL



FIBER CEMENT



FIBER CEMENT



FIBER CEMENT



FIBER CEMENT



FIBER CEMENT



ACCENT COLOR



BLACK METAL/STOREFRONT



VINYL WINDOW - BLACK



VINYL WINDOW - WHITE



RAILING - BLACK METAL MESH

DEPARTURE #	REQUIREMENT	REQUEST	APPLICABLE DESIGN GUIDELINES
1	<p>23.75.140.J.2</p> <p><i>Porches, balconies, and decks may project a maximum of 6 feet into required setbacks, provided that no portion of the porch, balcony, or deck is closer than 2 feet from the boundary. Overhead weather protection may project a maximum of 2 feet beyond the edge of a porch, balcony, or deck.</i></p>	<p>Provide patios for residential access which project beyond 6 feet into the required setback. Edge of patios are 2ft minimum away from a boundary line. The departure request occurs at the ground level patios along the South facade, Main St.</p>	<p>PL2 Safety & Security - Eyes on the street PL3 Residential Frontage DC3 Building-Open Space relationship</p>
2	<p>23.75.140.J.3</p> <p><i>Cornices, eaves, gutters, roofs, and other forms of weather protection may project a maximum of 4 feet beyond the building façade into required setbacks.</i></p>	<p>Provide canopies along 12th Ave S, extending 6 feet beyond the facade into the required setback.</p>	<p>PL2 Walkability PL3 Street-level interaction - Frontage DC2 Human Scale</p>
3	<p>23.75.140.J.9.b</p> <p><i>Above-grade green stormwater infrastructure (GSI) features are allowed without setback restrictions if: b. Each above-grade GSI feature is less than 4 feet wide.</i></p>	<p>Provide GSI features that are 6' wide within the setback.</p>	<p>CS1 Natural Systems and Site Features</p>

DEPARTURE 1 - STRUCTURES IN REQUIRED SETBACK (BOARD SUPPORTED)

REQUIREMENT:

SMC 23.75.140.J.2

Porches, balconies, and decks may project a maximum of 6 feet into required setbacks, provided that no portion of the porch, balcony, or deck is closer than 2 feet from the boundary. Overhead weather protection may project a maximum of 2 feet beyond the edge of a porch, balcony, or deck.

REQUEST:

Provide patios for residential access which project beyond 6 feet into the required setback. Edge of patios are 2ft minimum away from a boundary line. The departure request occurs at the ground level patios along the South facade, Main St.



JUSTIFICATION & RELEVANT GUIDELINES:

Extending the edge of patios and decks from 6 ft. maximum into the setback to 8' into the setback will better promote safety and security at street level, by providing "eyes on the street" closer to the sidewalk.

The extended decks encourage use of the deck areas by providing more usable area to residents, which will help in activating the street level and providing interaction with the sidewalk. The layered transition from private to public spaces is consistent with the building-open space relationship in the design guidelines. The sidewalk environment will be more lively and safe. The following design guidelines will be enhanced:

PL2 Safety and Security - Eyes on the street:

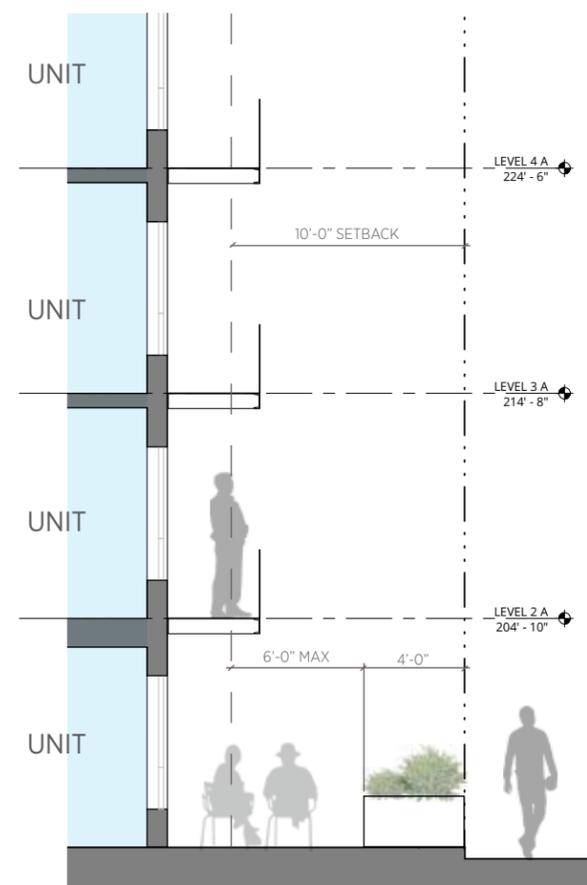
Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies and street-level uses.

PL3 Street Level Interaction - Residential Frontage :

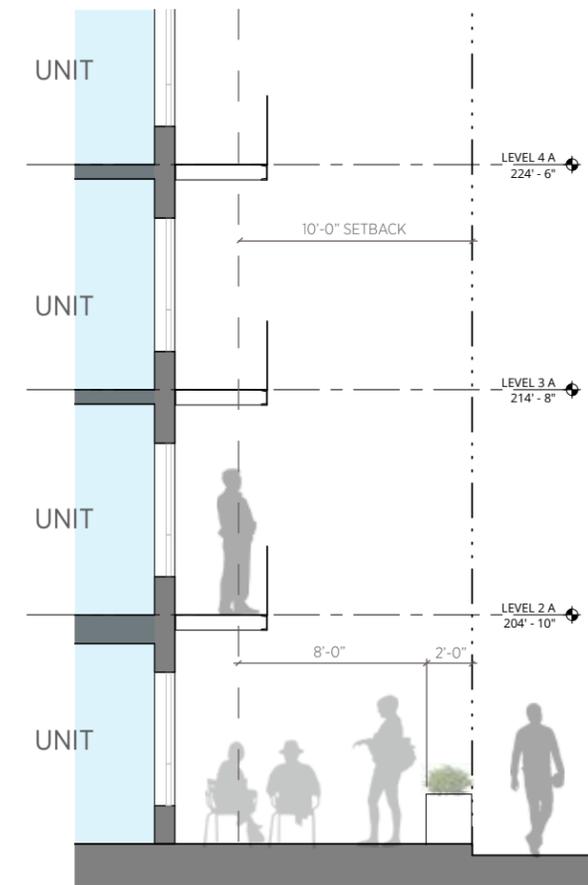
Encourage human interaction and activity at the street-level with clear connections to the building edges.

DC3 Building-Open Space relationship:

Integrate patios with building design, and with adjacent semi-private or public open spaces, to support the functions of the development

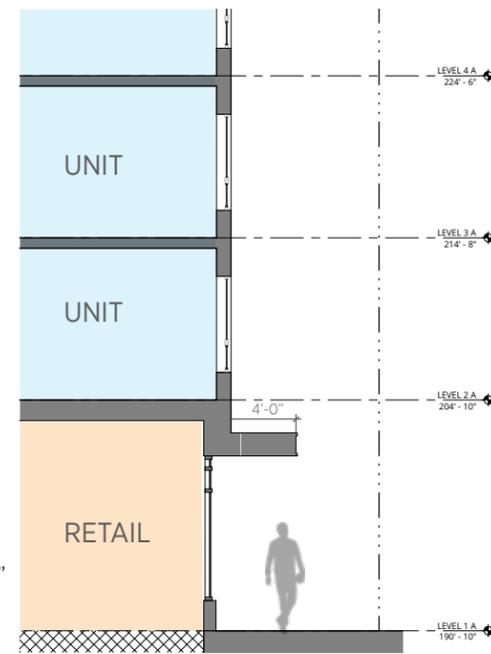
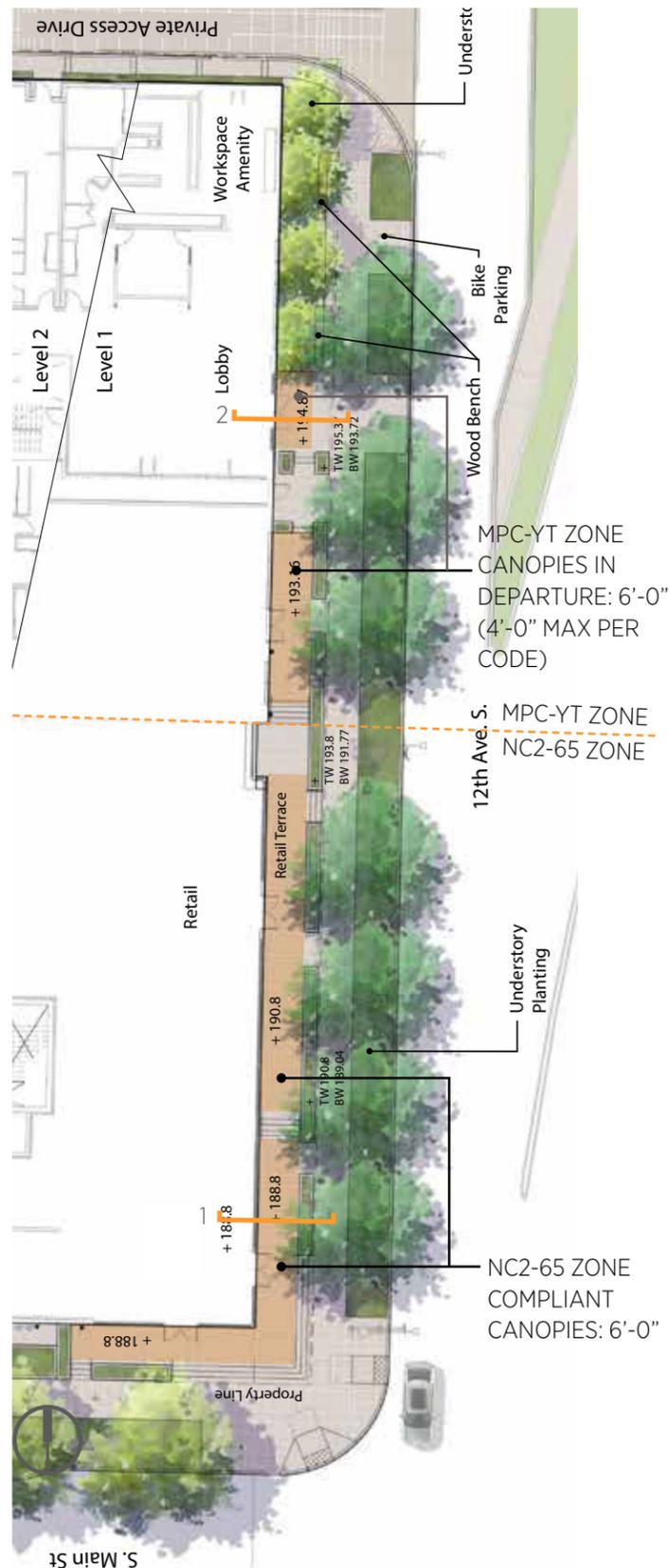


CODE COMPLIANT
UNIT PATIO SECTION @ MAIN ST

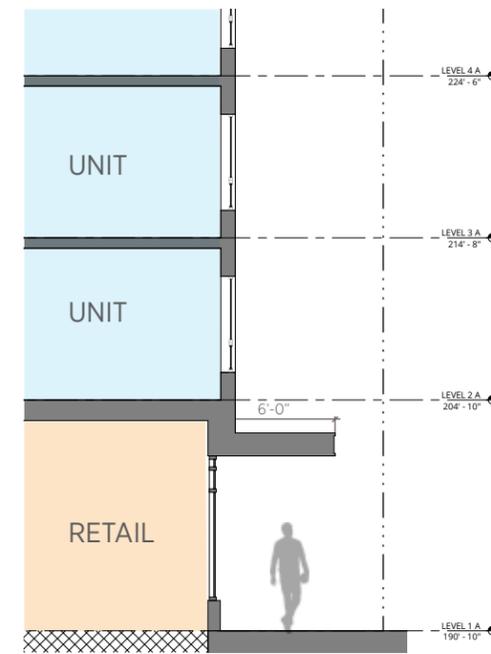


DEPARTURE
UNIT PATIO SECTION @ MAIN ST

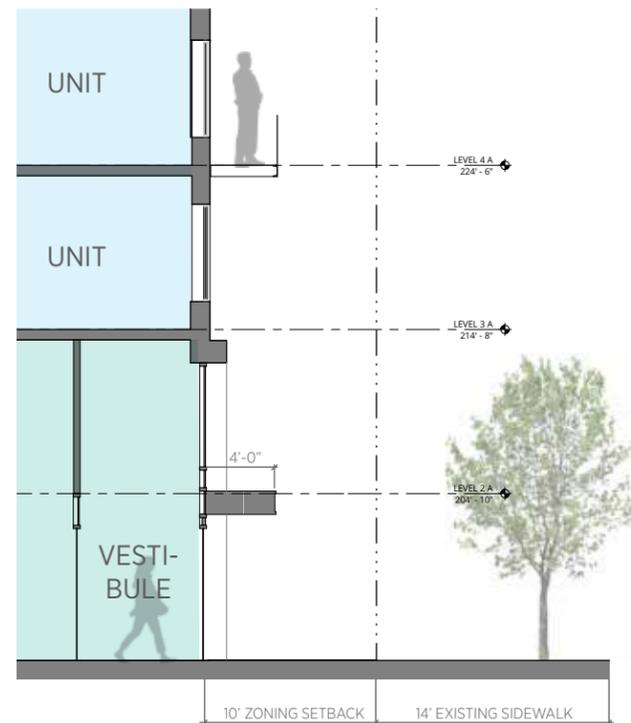
DEPARTURE 2 - WEATHER PROTECTION (BOARD SUPPORTED)



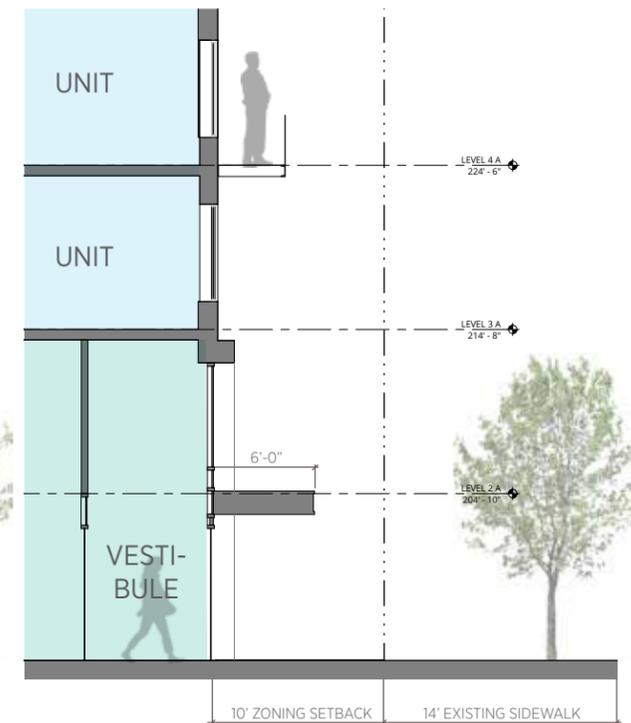
1 CODE COMPLIANT
RETAIL SECTION @ 12TH AVE



1 DEPARTURE
RETAIL SECTION @ 12TH AVE



2 CODE COMPLIANT
SECTION @ 12TH AVE RESIDENTIAL LOBBY



2 DEPARTURE
SECTION @ 12TH AVE RESIDENTIAL LOBBY

REQUIREMENT:

23.75.140.J.3

Cornices, eaves, gutters, roofs, and other forms of weather protection may project a maximum of 4 feet beyond the building façade into required setbacks.

REQUEST:

Provide canopies above the residential lobby and retail entries along the 12th ave facade and wrapping the corner at Main St, extending 6 feet beyond the facade into the required setback.

JUSTIFICATION & RELEVANT GUIDELINES:

Extending the canopy from the 4 ft. maximum limit to 6 ft. will improve the weather protection at the setback area along street level. It encourages the pedestrian activity on street level.

The extended canopy adds depth to the facade, creates visual interest and a nice human scale at the street level. This also allows for the canopies along 12th to have a consistent depth with the NC2-65 zone at the corner of Main and 12th. This will provide a better pedestrian experience and help activate the street level uses.

The following design guidelines will be enhanced:

PL2 Weather protection - Create a safe and comfortable walking environment:

Overhead weather protection is encouraged and should be located at or near uses that generate pedestrian activity such as entries, retail uses, and transit stops. Address changes in topography as needed to provide continuous coverage the full length of the building, where possible.

PL3 Street Level Interaction - Residential Frontage :

Encourage human interaction and activity at the street-level with clear connections to the building edges.

DC2 Secondary architectural features:

Add depth to facades where appropriate by incorporating balconies, canopies, awnings, decks, or other secondary elements into the facade design. Add detailing at the street level in order to create interest for the pedestrian and encourage active street life and window shopping (in retail areas).

DEPARTURE 3 - STORMWATER IN REQUIRED SETBACK (NEW)

REQUIREMENT:

23.75.140.J.9.b

Above-grade green stormwater infrastructure (GSI) features are allowed without setback restrictions if: b. Each above-grade GSI feature is less than 4 feet wide.

REQUEST:

Provide GSI features that are 6' wide within the setback.

JUSTIFICATION & RELEVANT GUIDELINES:

The design intent is to celebrate stormwater conveyance and support a unique/visible lobby entry sequence from Main Street.

Code compliant placement of bioretention planters tends to force placement either out of public view and limits ability to create a dynamic expression due to zoning/stormwater min/max planter width code requirements. Minimum width is 2' per stormwater code and max width is 4' per Yesler Terrace overlay requirements in zoning code.

Placement with proposed departure supports REC 1 guidance. The following design guidelines will be enhanced:

CS1 Natural Systems and Site Features:

Use natural systems/features of the site and its surroundings as a starting point for project design.

CS1-E Water - Adding Interest with Project Drainage:

Use project drainage systems as opportunities to add interest to the site through water-related design elements.



CODE COMPLIANT - STORMWATER PLAN



DEPARTURE - STORMWATER PLAN

APPENDIX

1. MASSING DEVELOPMENT AND RESPONSE TO EDG

The Board appreciated the thoughtful response to guidance and included design studies, however the Board also recognized the complexity and prominence of the site and had several unresolved concerns related to the corner massing, upper level setbacks and street level frontages. The Board directed the applicant to further develop the design based on their guidance and return for another recommendation meeting.

1. Massing Design Development and Response to EDG: *The Board agreed that the design development is generally heading in the right direction and strongly supported the refined massing at the northeast corner, which was lowered from nine to eight levels. For the massing along 12th, the Board recommended increasing the upper setback closer to the 5' previously shown at Early Design Guidance Meeting while retaining the lowered massing at the northwest corner. The Board indicated that increasing the setback from 1' to 3' may be acceptable to create a legible setback. (DC2-A, DC2-B, DC2-D)*

2. ARCHITECTURAL CONCEPT, MATERIALITY AND COMPOSITION

The Board acknowledged the amount of masonry proposed along the base of the project and gave guidance to strengthen the façade composition of the southeast corner to reinforce this volume as a gateway to Yesler Terrace.

a. *To signify the prominent corner, the Board recommended resolving the detailing and reducing the number of different materials proposed at this location. Of the alternates shown, the Board preferred the southeast corner option referred to as option 3 on pgs. 14-15 of the Initial Recommendation packet. (DC2-B, DC2-D, DC4-A)*

b. *While the Board supported texture of wood, the Board agreed that the proposed wood textured fiber cement panels do not appear to lend themselves to high quality detailing. Related to the detailing, the Board was concerned with the corner edge condition and encouraged studying a mitered corner or other high- quality detailing. (DC2-B, DC2-D, DC4-A)*

c. *The Board was concerned that the current design of the corner does not reflect the prominence of the site. While the Board noted that the corner parcel is outside of the Yesler Terrace master Planner Community Site, the Board agreed this corner will read as a gateway to Yesler Terrace. To strengthen the materiality of the corner and reflect the prominence of the perceived gateway, the board agreed that the corner should meet the intent of the Design Guidelines and encouraged studying brick or other high quality materials for the upper corner volume. (DC4)*

d. *Related to the façade composition, the Board supported the proposed secondary elements and agreed that the detailing of the vents will also be important. The Board recommended integrating vents in the cladding composition and to show the vent locations in the elevations for the next meeting. (DC2, DC4-A)*

3. STREETScape, ACCESS DRIVE GROUND LEVEL USES, ENTRIES AND LANDSCAPE

Streetscape, Access drive Ground Level Uses, Entries and Landscape: The Board supported the overall development and gave guidance to strengthen the different frontages.

a. *Related to the secondary lobby entry along S Main St, the Board recommended differentiating the design of the lobby entry from the unit entries to improve hierarchy of the entries and improve wayfinding. (CS2-B2, PL1-B, PL2-B3, PL3-C, DC1-A)*

b. *The Board supported the revised retail location and recommended studying options for individual storefronts and/or designing in flexibility, so that the retail spaces can be adapted to individual commercial uses, or other means to provide activation in the streetscape to continue the vibrancy of Little Saigon and encourage a lively street front. (CS2-B2, CS3-A, PL1-B, PL2-B3, PL3-C)*

c. *For the access drive frontage, the Board strongly supported the direct entries and shared circulation space, referred to as the “stoop walk.” To better meet the intent of the access drive to function as a woonerf, the Board recommended maximizing the number of ground-related residential entries. For the next meeting, the Board requested a more detailed representation of the frontage, individual entries and access drive design, including information on the pedestrian amenities/site furnishings proposed. (PL1, PL2-B, PL3, DC1-A, DC4-D)*

d. *The Board noted the trash staging area along S Main St and strongly recommended relocating the trash storage internally to avoid staging at the street, or to demonstrate that internal trash pickup was not possible and provide greater screening along the street. (DC1-C)*

e. *The Board also recommended designing the bicyclist entries and bike parking to maximize convenience, security, and safety. The Board also encouraged coordinating with SDOT regarding the bike path to improve bike safety. (PL4-B-2)*

f. *For the departure related to porches, the Board indicated early unanimous support of the extension of the porch into the required setback as the design has the potential encourage use of the deck areas by providing more usable area to residents. (PL2, PL3, DC3)*

g. *The Board also indicated unanimous early support of the departure request to extend the canopy by 2' into the required setback as the design improves wayfinding by the differentiating the lobby and retail entries. (PL2-C, PL3, DC2-C)*

4. PUBLIC ART; HISTORY OF THE SITE

The Board strongly supported the intent to work directly with the community and a local artist for the art development of the mural to address the history and diversity of the site. The Board also recommended studying opportunities to integrate art into other areas such as the access drive corner as it meets 12th Ave S, or along the 12th Ave S frontage which faces an elementary school. (PL1, CS3-B)

5. WATER MANAGEMENT

The Board supported the proposed bio-retention and stormwater planters near the S Main St sidewalk and recommended extending bioretention planters to the west and exploring cascading features to take advantage of the site topography and create visual interest for the pedestrian. (CS1-E)

ZONING SUMMARY

SITE INFORMATION - MPC-YT

Parcels: 9822000410, 9822000360, 9822000350, 9822000370, 9822000340, 9822000380, 9822000330, 9822000390, 9822000320, 9822000400, 9822000310

Cross Streets: 12th Ave. S & S. Main St.
10th Ave & S. Washington St.

Zoning: MPC-YT

Overlay District: None

Street Classification: There are no principal pedestrian streets or pedestrian designated zones requiring street level uses.

Approximate elevation change across site: 46'

No Landmark structures are on site; SEPA review completed

DETAILED ZONING - MPC-YT

SMC 23.75.050 PERMITTED USES

- Residential Uses are permitted outright

SMC 23.75.080 STREET-LEVEL USES

- A. Nonresidential uses are not allowed to occupy, in the aggregate, more than 20% of the total street-level street-facing facades along S. Washington Street.

SMC 23.75.090 NONRESIDENTIAL FLOOR AREA LIMITS

- A.2. Combined floor area for all other nonresidential uses shall not exceed 150,000sf.

SMC 23.75.100 BUILDING HEIGHT

- 85ft height limit for non-highrise structures. (160ft for high-rise structures)

SMC 23.75.110 ROOFTOP FEATURES

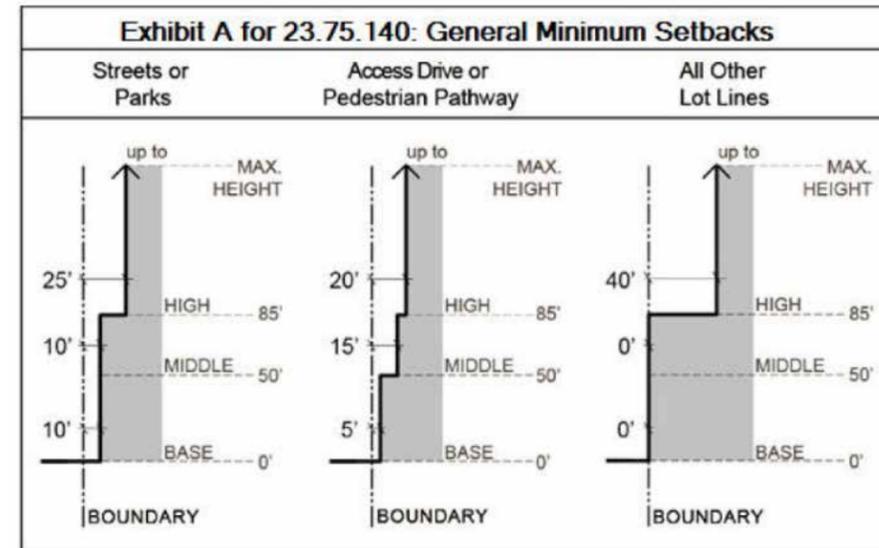
- B. Open railings, planters, skylights, clerestories, parapets and firewalls may extend 4ft above height limit.
- C. Rooftop solar collectors may extend 10ft above height limit.
- D. Stair penthouses and mechanical equipment can extend 15ft above height limit.
- E.2. Elevator penthouse may extend 25ft above height limit.

SMC 23.75.130 MAXIMUM WIDTH OF REGULATED FACADE

- limited to 240ft

SMC 23.75.140 SETBACKS AND PROJECTIONS

- A.1.a. Required setbacks per Exhibit A where no special setback condition identified per Exhibit C.
- Access Drive: South Washington St.
- Streets or Parks: South Main St, 10th Ave, and 12th Ave.



SMC 23.75.140.J - STRUCTURES IN REQUIRED SETBACKS

- For residential uses in structures subject to required setbacks from a street or park open to the public, bay windows and other portions of structures containing enclosed space may project a maximum of 4 feet into required setbacks, provided that the projection does not exceed 30 feet in width, and provided that no portion of the projection is closer than 2 feet from the boundary.
- Porches, balconies, and decks may project a maximum of 6 feet into required setbacks, provided that no portion of the porch, balcony, or deck is closer than 2 feet from the boundary.

SMC 23.75.150 RESIDENTIAL AMENITY AREA

- Amenity space equivalent to 5% of the res. gross area shall be provided, no more than 50% of which shall be enclosed.
- B.4. Areas open to the public easement do not qualify as required amenity areas.

SMC 23.75.170 STREET-LEVEL DEVELOPMENT STANDARDS

(between 18 inches and 12ft above finish grade at the base of the facade).

- B.2. Blank segments may not exceed 15ft in width (up to 30ft of blank segment can be allowed by the Director as Type I decision).
- C.2. At least 20% of the facade area shall consist of doors and/or transparent windows. For live-work units abutting street-level facade, at least 50% of the facade area shall consist of doors and/or transparent windows.
- J.3. Cornices, eaves, gutters, roofs, and other forms of weather protection may project a max. of 4' beyond the building facade into required setbacks.

SMC 23.75.180 PARKING

- No minimum parking requirements.
- Maximum parking requirements per Table A 23.75.180.
- I. 1.a. Access for parking is not allowed within 40ft of the curb line of an intersection.
- I.1.b. Access for parking is not allowed within 20ft of a structure corner that includes a regulated facade on one or both sides.
- I.2. Each access drive is required to include a dedicated pedestrian area long at least one side of the drive. Min. 6ft of walking surface along the length of the drive, separated by a raised curb, bollards, landscaping or textured paving details.

SMC 23.53.025 ACCESS EASEMENT STANDARDS

- D.1. Easement width shall be min. 32 ft.
- D.2. The easement shall provide a surface roadway min. 20ft in width (in MPC-YT zone).
- D.4. A turnaround shall be provided unless the easement extends from street to street.



SITE INFORMATION - NC2-65

Parcels: 8591900215

Address: 225 12th Ave. S

Cross Streets: 12th Ave. S & S. Main St.

- Zoning: NC2-65
- Urban Village: First Hill Urban Center Village
- Overlay District: None
- Street Classification: There are no principal pedestrian streets or pedestrian designated zones requiring street level uses.
- Approximate elevation change across site: 46'
- No Landmark structures are on site.

DETAILED ZONING - NC2-65

SMC 23.47A.005 Street-level Uses

- C.1. In all NC and C zones, residential uses may occupy, in the aggregate, no more than 20 percent of the street-level street-facing facade in the following circumstances or locations: c. Within a zone that has a height limit of 85 feet or higher
- D. In pedestrian-designated zones the locations of uses are regulated as follows: m. Sales and services; c. Eating and drinking establishments; do not apply.

SMC 23.471.008 Street-level Development Standards

- B. Non-residential street-level requirements, Transparency: a. Sixty percent of the street-facing facade between 2' and 8' above the sidewalk shall be transparent. The width of a driveway at street level, not to exceed 22'.
- 4. Non-residential uses at street-level shall have a floor-to-floor height of at least 13'.
- C.4.b. The covered area shall have a minimum width of 6 feet
- C.4.d. The lower edge of the overhead weather protection shall be a minimum of 8' and a maximum of 12' above the sidewalk for projections extending a maximum of 6'. For projections extending more than 6' from the structure, the lower edge of the weather protection shall be a minimum of 10' and a maximum of 15' above the sidewalk.
- D.1. At least one of the street-level street-facing facades containing a residential use shall have a visually prominent pedestrian entry.

SMC 23.47A.012 Structure Height

- C.2. Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets, and firewalls may extend as high as the highest ridge of a pitched roof permitted by subsection 23.47a.012.b or up to 4' above the otherwise applicable height limit, whichever is higher.
- C.7. The rooftop features listed in this subsection shall be located at least 10' from the north lot line unless a shadow diagram is provided that demonstrates locating such features within 10' would not shade property to the north on Jan 21st at noon more than a structure built to maximum permitted height and FAR.

SMC 23.47A.013 Floor Area Ratio

- Total FAR permitted for all uses on a lot that is occupied by a mix of uses is 4.75. Minimum FAR = 2

SMC 23.47A.014 Setback requirements

- The side and rear lot line of the NC2-65 lot is abutting the MPC-YT Zone, Which is not a residential zone. This section and setback requirements do not apply.

SMC 23.47A.024 Amenity Areas

- A. Amenity areas are required in an amount equal to 5% of the total gross floor area in residential use (excludes areas used for mechanical equipment and accessory parking). For the purposes of this subsection, Bioretention facilities qualify as amenity areas.
- B.2. Amenity areas shall not be enclosed
- B.4 Common amenity areas shall have a minimum horizontal dimension of 10', and no common amenity area shall be less than 250 sf in size.

SMC 23.47A.032 Parking Location and Access

- A.1A. Access to parking shall be from the alley if the lot abuts an alley improved to the city standards (23.53.030.C) If alley access is infeasible, the Director may allow street access.

SMC 23.54.015 Required Parking | Cars

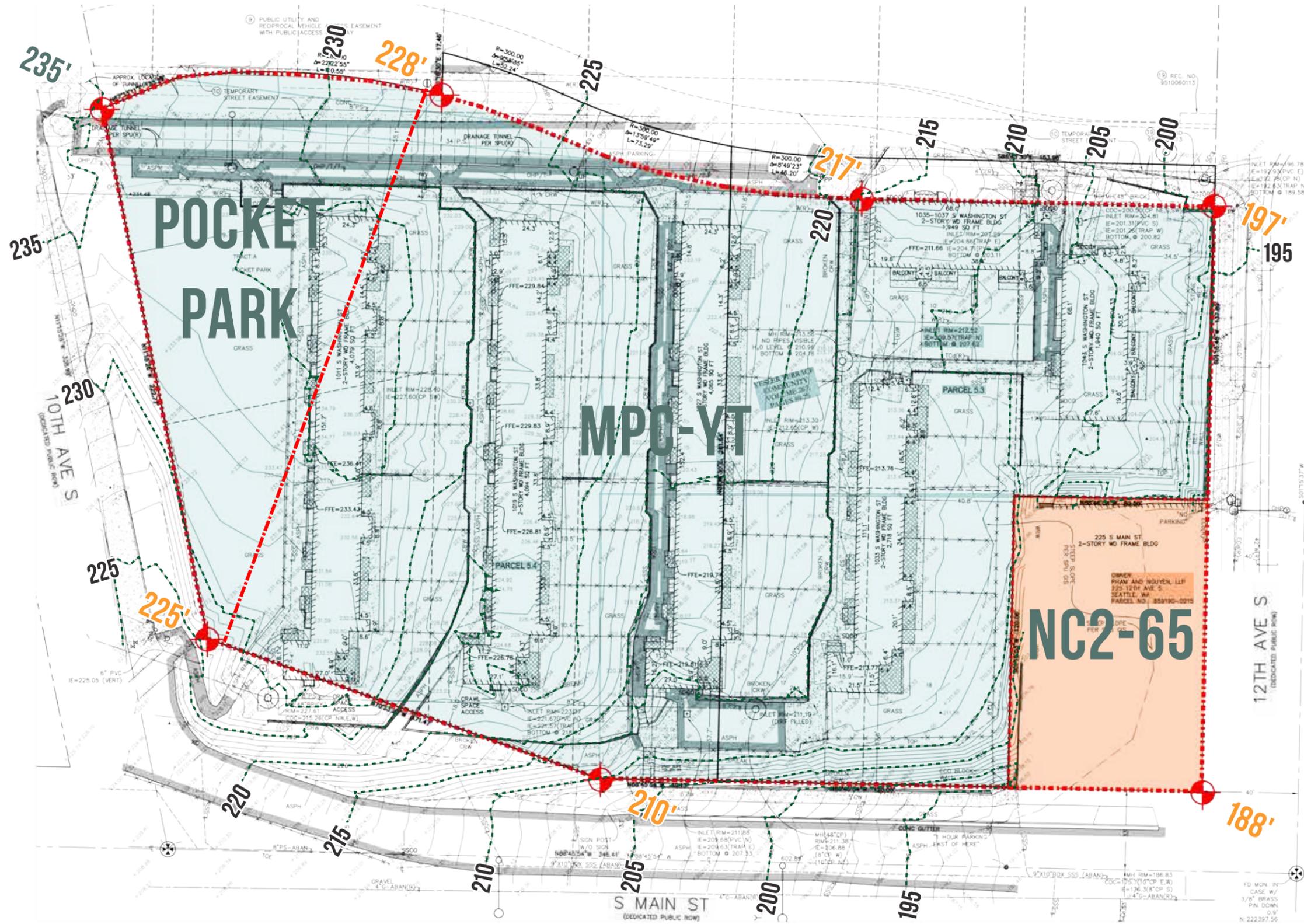
- J. Non-residential uses (retail) in urban center (First Hill Urban Center) = No minimum requirement
- L. All residential uses in urban centers = No minimum requirement

SMC 23.54.015 Required Parking | Bicycles

- A.1 - Eating and drinking establishments: Short-term = 1 per 2,000 sf | Long-term = 1 per 12,000 sf.
- A.6 - Sales and Services general: Short-term = 1 per 2000 sf | Long-term = 1 per 12,000sf.
- D.2 - Multi-family structures: Short-term = None | Long-term = 1 per 4 dwelling units or 0.75 per small efficiency dwelling unit.

SMC 23.54.035 Loading Berth Requirements and Space Standards

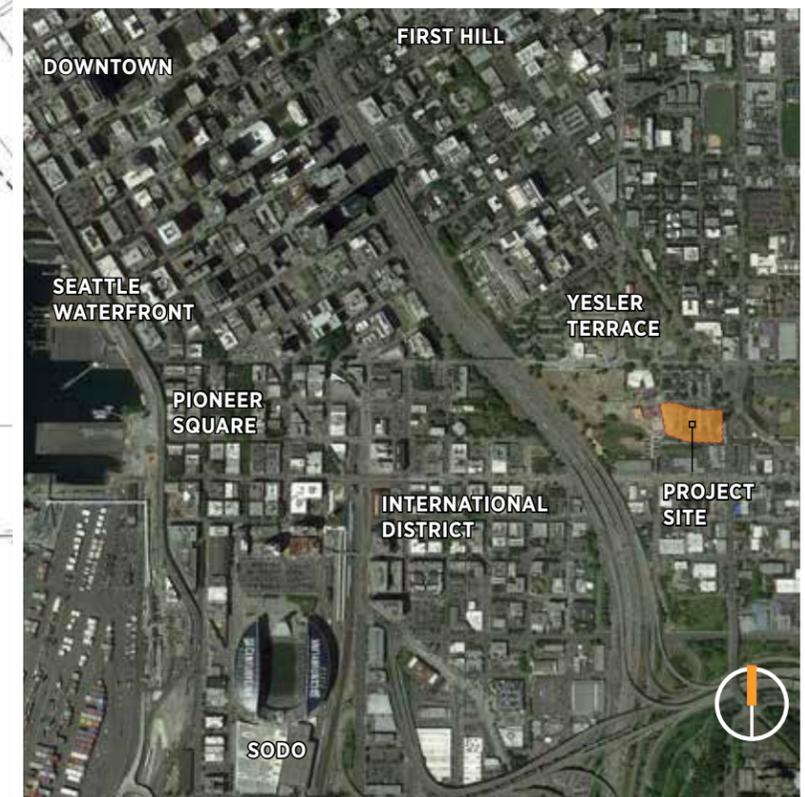
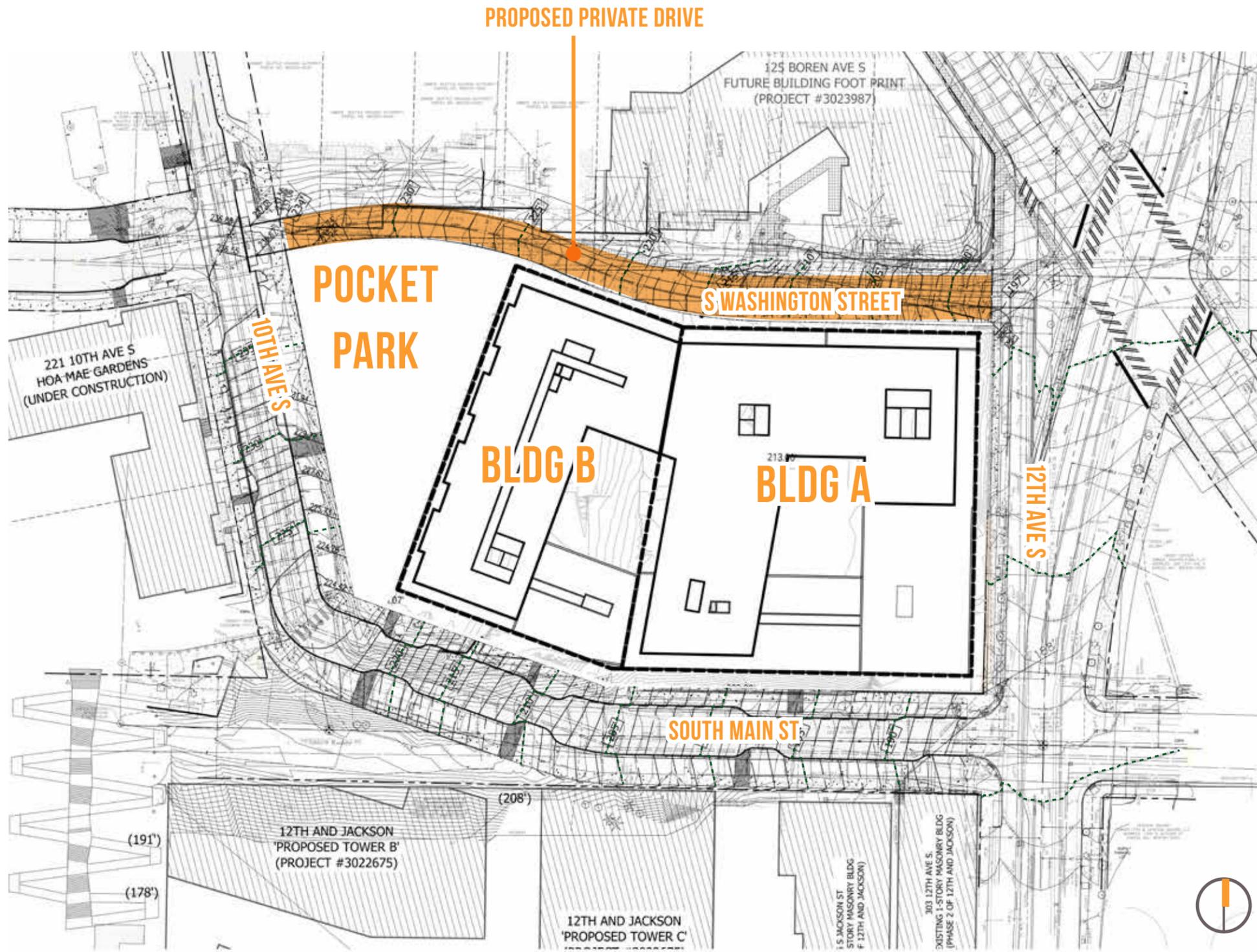
- B.2. Exception to loading requirements; within the MPC-YT zone, loading berth requirements may be waived or modified if the Director finds, after consultation with and approval by the Director of Transportation, that the number of loading berths in Table A for 23.54.035 is not required and that the modified number will be sufficient.
- Table A 23.54.035 - Personal and household retail sales and services, eating and drinking establishments = medium demand = less than 10,000 sf = 0 loading berth required.



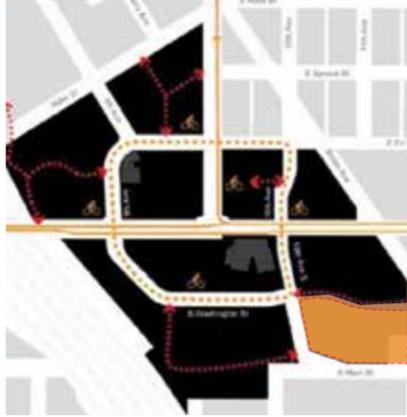
DEVELOPMENT DATA - BUILDINGS A + B

The proposed project is -510 apartment units between two phases of development:

- Building A (Phase I) - 318 apartment units, 174 parking stalls, Approximately 6,000sf retail
- Building B (Phase II) - 192 apartment units, 108 parking stalls
- -16,700 sf Pocket Park (to be approved by the Seattle Design Commission)
- Buildings A and B are completely independent. Construction, parking levels, residential levels, amenities, mechanical, and utilities will not be shared between the two buildings.



BICYCLE CIRCULATION DIAGRAM



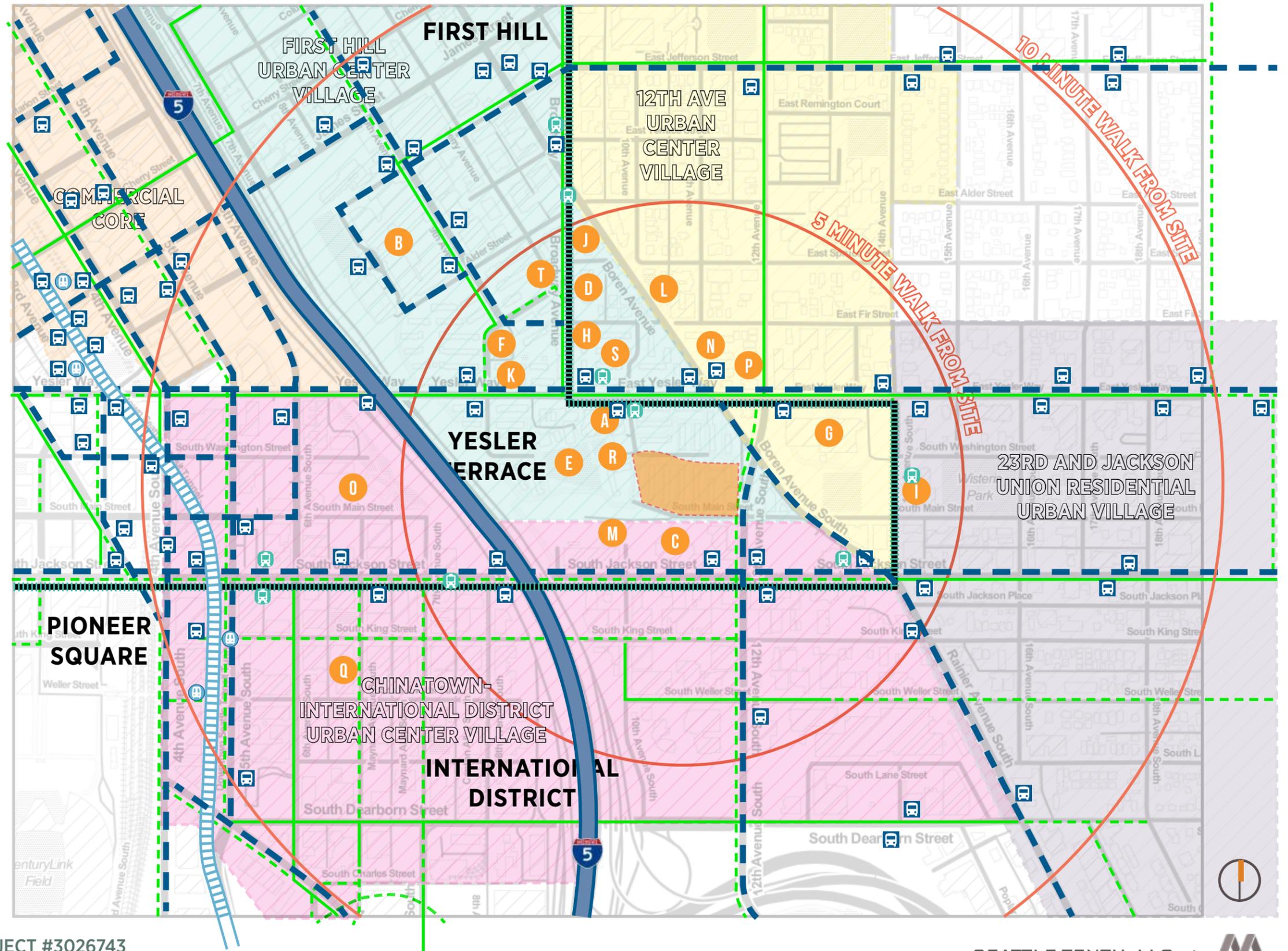
(Yesler Terrace Master Planned Community Design Guidelines, 2012.)

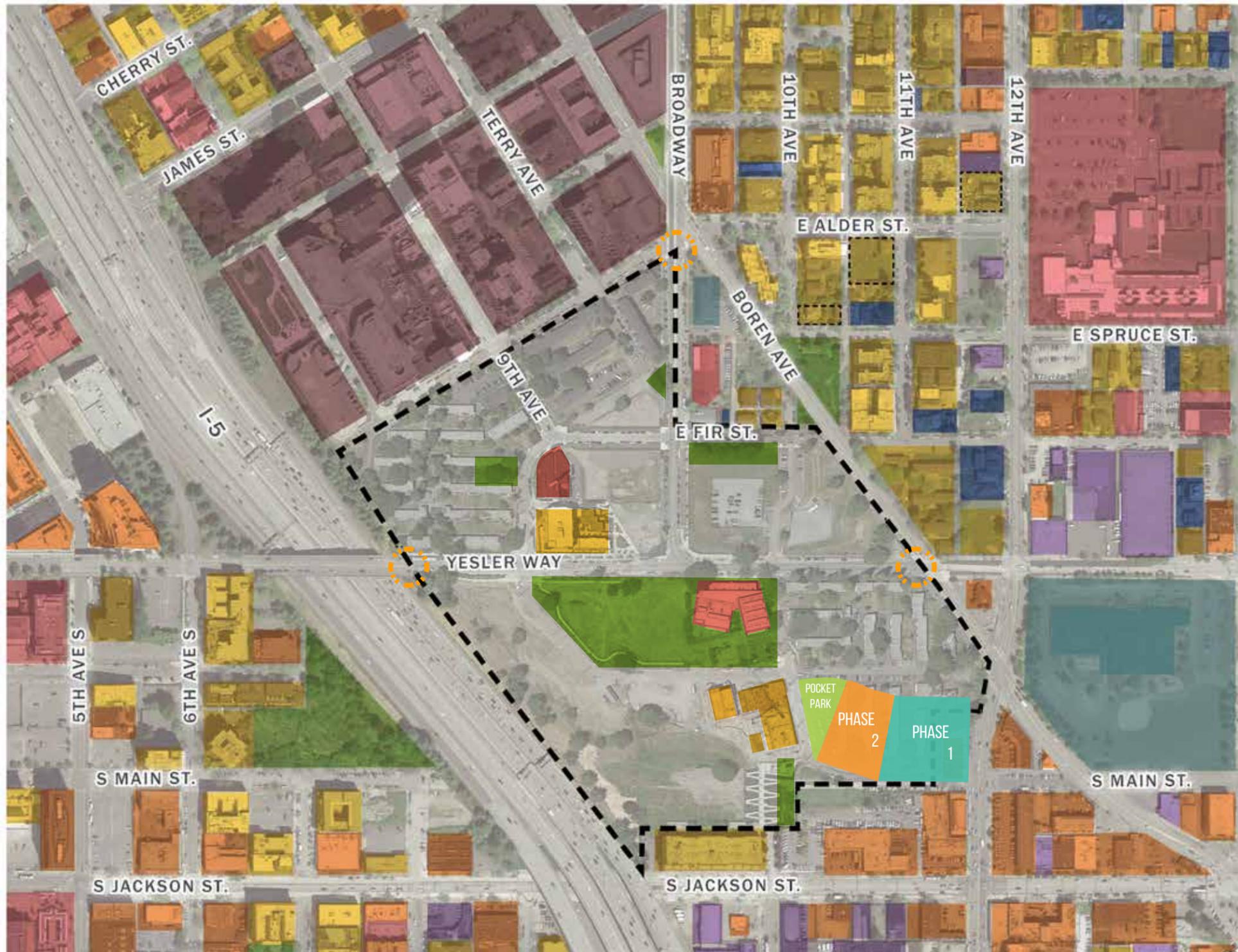
NEIGHBORHOOD GATEWAYS



(Yesler Terrace Master Planned Community Design Guidelines, 2012.)

- TRAILS
- BICYCLE-FRIENDLY ROADS
- BUS STOP
- BUS ROUTES
- STREETCAR STOP
- STREETCAR LINE
- LIGHT RAIL STOP
- LIGHT RAIL LINE
- INTERSTATE





- Recreation / Open Space
- Multifamily / Mixed-Use Residential
- Commercial / Retail / Office
- Civic / Religious
- Medical
- Industrial / Warehouse / Storage
- Institution / Education
- Single Family Residential
- Yesler Terrace Master Planned Community
- Yesler Neighborhood Gateways

SOLAR ANALYSIS

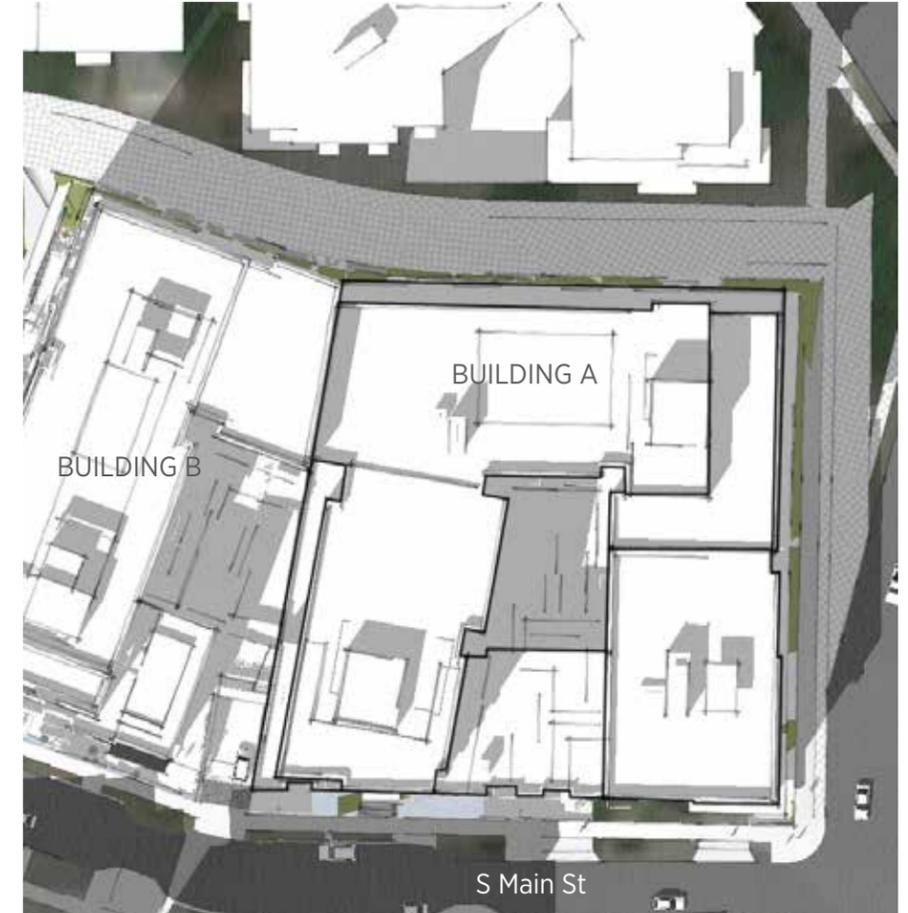
The revised massing maximizes daylight into the courtyard most of the time in a year, especially in summer.



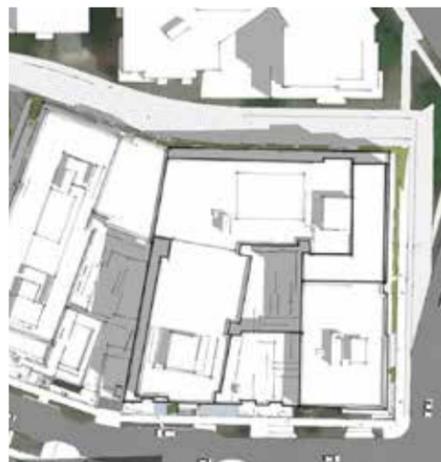
MARCH/SEPT 21 - 10AM



MARCH/SEPT 21 - 12N



MARCH/SEPT 21 - 2PM



JUNE 21 - 10AM



JUNE 21 - 12N



JUNE 21 - 2PM



DEC 21 - 10AM



DEC 21 - 12N



DEC 21 - 2PM



YESLER TERRACE COMMUNITY COUNCIL PRESENTATION
1.9.2018



COMMUNITY OUTREACH MEETINGS

Three community outreach meetings to various groups have been completed since the last EDG meeting.

SEATTLE CHINATOWN INTERNATIONAL DISTRICT PRESERVATION AND DEVELOPMENT AUTHORITY PRESENTATION (SCIDpda)
1.25.2018

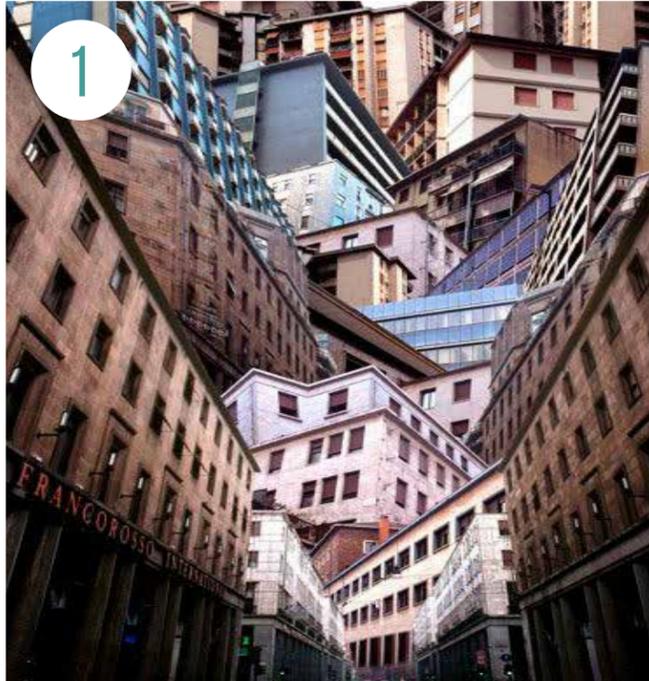
- Open House
- Design discussions/explanations



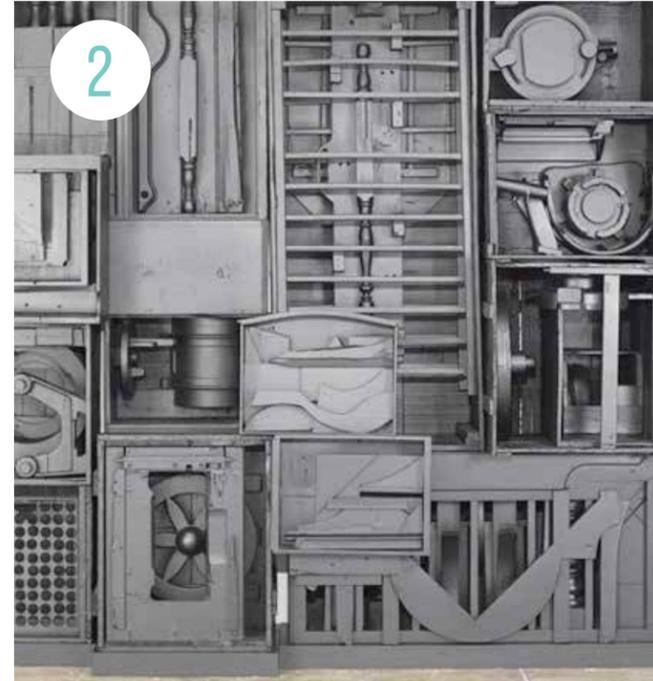
YESLER TERRACE CITIZEN REVIEW COMMITTEE PRESENTATION
5.10.2018

- Complementary of design
- Discussed Yesler Terrace standard site furnishings
- Security - CPTED Principles





MASSING



TEXTURE

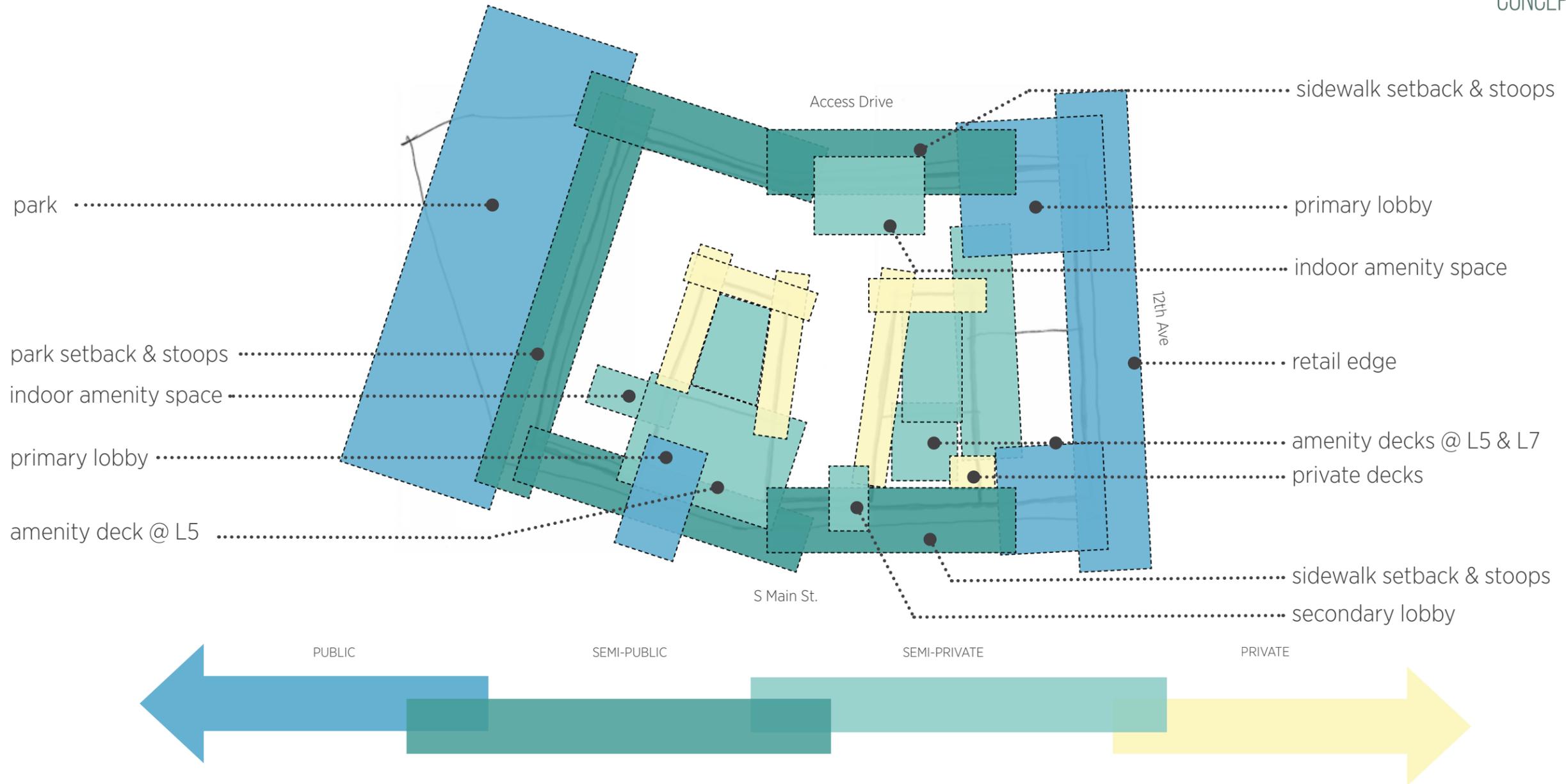


SURFACE

COLLAGE TECHNIQUE



**PRECEDENT
INSPIRATION**



SIGNAGE



- 1 BLADE SIGN UNDER OR ABOVE CANOPY
- 2 3D LETTERS MOUNTED TO TOP OR UNDERSIDE OF CANOPY
- 3 WALL MOUNTED SIGNAGE



EAST ELEVATION



SOUTH ELEVATION



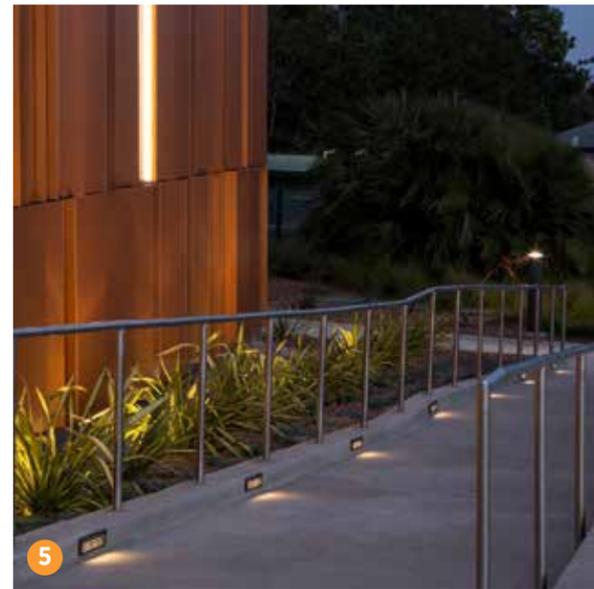
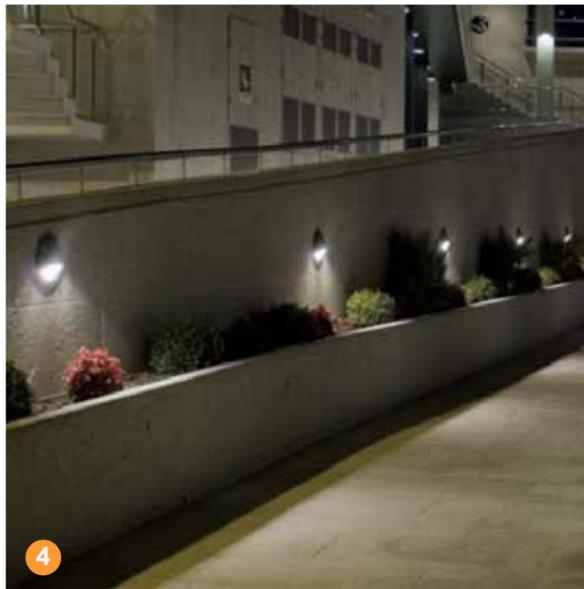
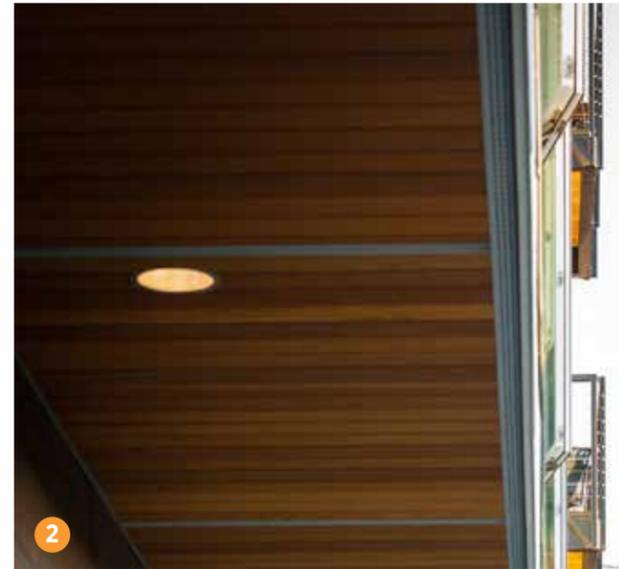
SE CORNER - BUILDING SIGNAGE LOCATION OPTIONS



NE CORNER - BUILDING SIGNAGE LOCATION OPTIONS



GROUND LEVEL LIGHTING PLAN

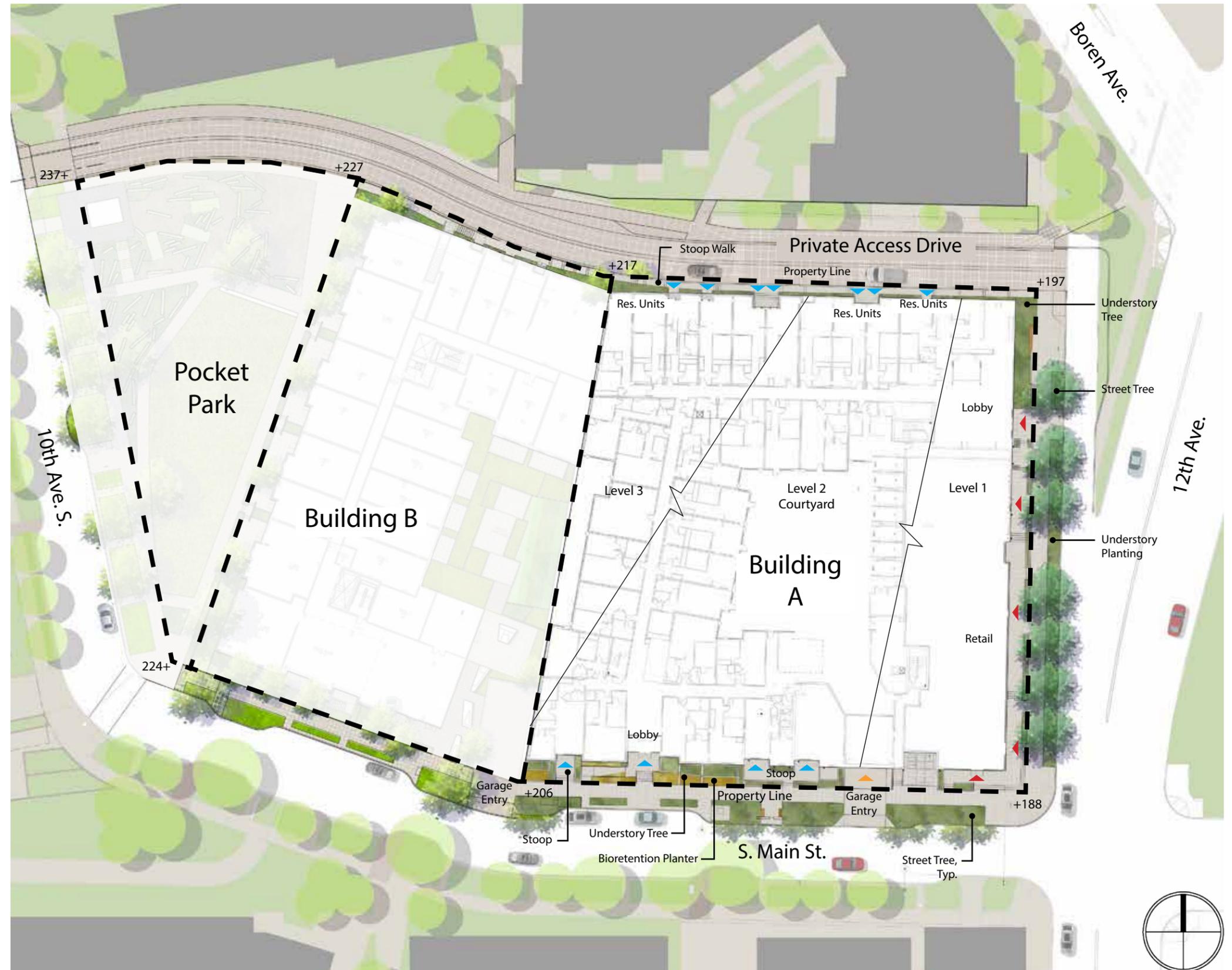


- 1 CYLINDER WALL SCONCE
- 2 CANOPY LIGHTING AT RETAIL
- 3 RECESSED LED STRIP LIGHTING BEHIND ENTRY ELEMENT
- 4 TYPICAL STEP/WALL LIGHTS
- 5 STEP/WALL LIGHTS AT STOOP WALK

STREETSCAPE SITE PLAN

Legend

-  Sidewalk Paving: Standard CIP concrete pavement, no color, 2x2 saw cut scoring
-  Pedestal Paving
-  Understory Planting
-  Bioretention Planting
-  Retail Entry
-  Residential Entry
-  Garage Entry



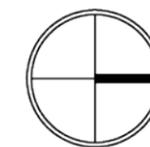
S. MAIN ST. ENLARGEMENT PLAN



Legend

-  Sidewalk Paving: Standard CIP concrete pavement, no color, 2x2 saw cut scoring
-  Understory Planting
-  Bioretention Planting

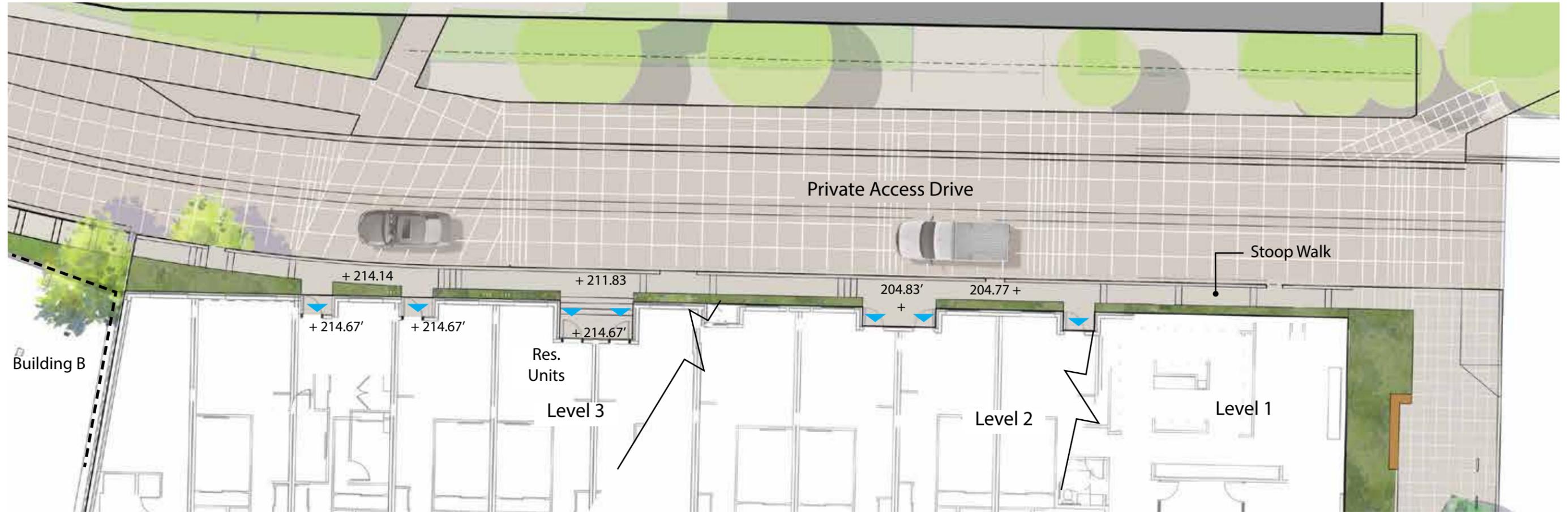
12TH AVE S. ENLARGEMENT PLAN



Legend

-  Sidewalk Paving: Standard CIP concrete pavement, no color, 2x2 saw cut scoring
-  Understory Planting

PRIVATE ACCESS DRIVE ENLARGEMENT PLAN



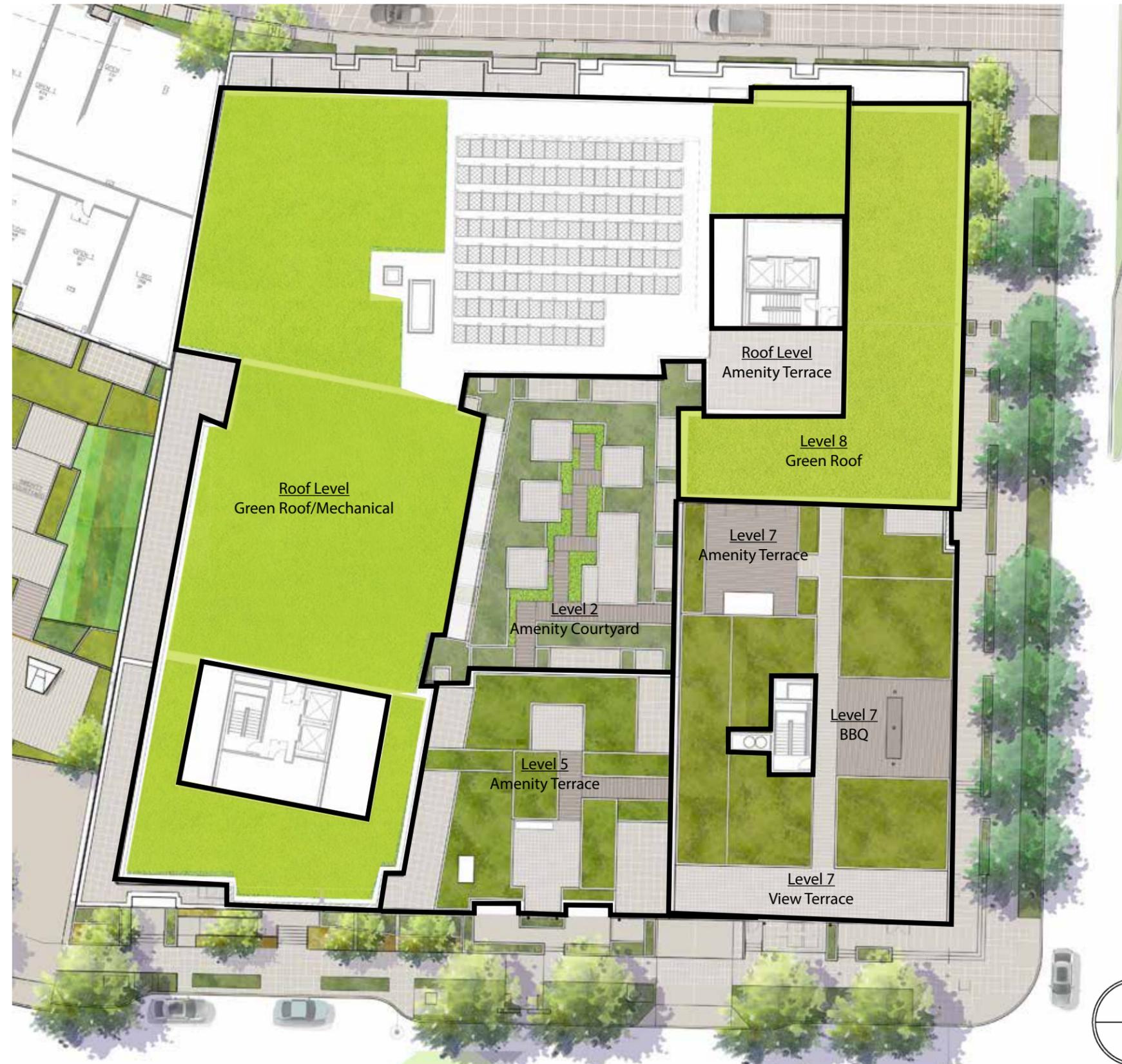
Legend

-  Sidewalk Paving: Standard CIP concrete pavement, no color, 2x2 saw cut scoring
-  Understory Planting

LANDSCAPE ROOFLANDSCAPE PLAN

Legend

-  Pedestal Paving
-  Raised Planter
-  Green Roof



TERRACE AND ROOF DECK MATERIALS

MATERIALS



PEDESTAL PAVING



DECORATIVE COBBLE



RAISED PLANTERS



METAL EDGING

PLANTS



Poa cita
Silver Tussock



Carex dipsacea
Autumn Sedge



Allium sp.
Allium



Sedum spp.
Green Roof Sedum Mix

LANDSCAPE
LANDSCAPING MATERIALS



METAL EDGING



GREEN ROOF



DROUGHT TOLERANT PLANTING



AMENITY DECKS

LANDSCAPING MATERIALS



RAISED PLANTERS



AMENITY DECKS



OUTDOOR KITCHEN



PEDESTAL PAVERS

STREETSCAPE MATERIALS

MATERIALS



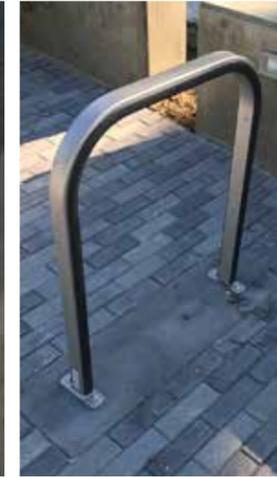
Sidewalk Paving



Planter Wall



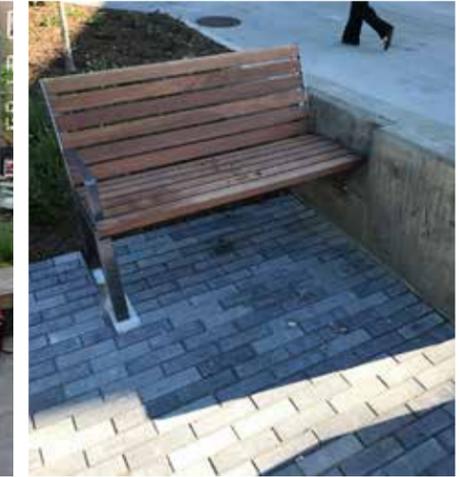
Bioretention Planter Wall



Bike Racks



Wood Bench



Seat Wall + Wood Bench

PROPOSED STREET TREES



Quercus rubra
(S Main St.)
Red Oak



Nyssa sylvatica
(S Main St.)
Black Tupelo



Gymnocladus dioica
(12th Ave S)
Kentucky coffeetree

PROPOSED UNDERSTORY TREES



Acer circinatum
Vine Maple

UNDERSTORY PLANT MIX



Vaccinium glauco-album
Himalayan Huckleberry



Blechnum penna-marina
Alpine Water Fern



Allium sp.
Allium



Sesleria autumnalis
Autumn Moor Grass

BIORETENTION PLANT MIX



Pachysandra axillaris
Windcliff Fragrant Pachysandra



Spiraea japonica 'Little Princess'
Japanese Spirea



Polystichum polyblepharum
Tassel Fern



Epimedium grandiflorum
Bishop's Hat

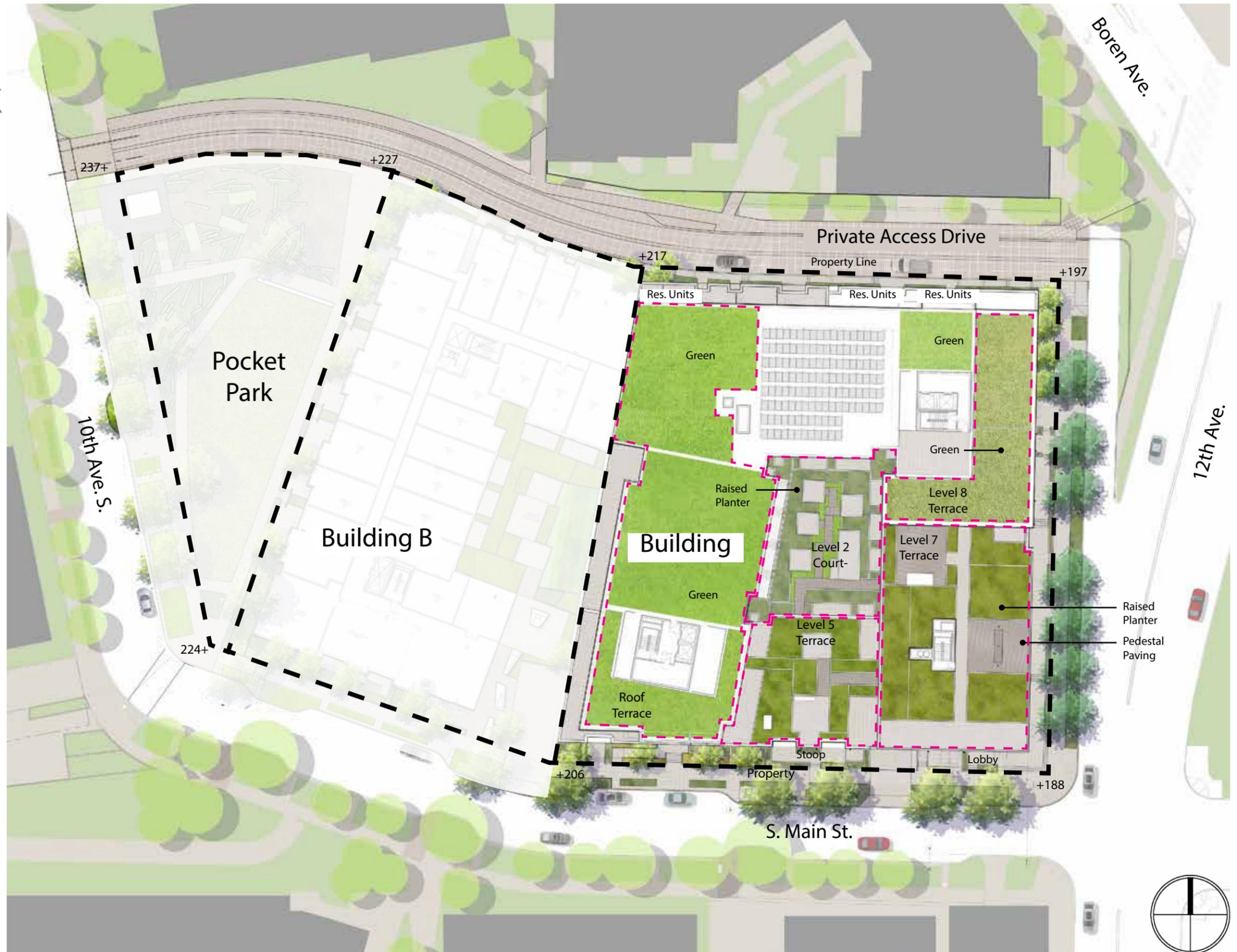


COMPOSITE SITE PLAN

TERRACE AND ROOF DECK PLAN

Legend

-  Pedestal Paving
-  Raised Planter
-  Green Roof



STREETSCAPE MATERIALS



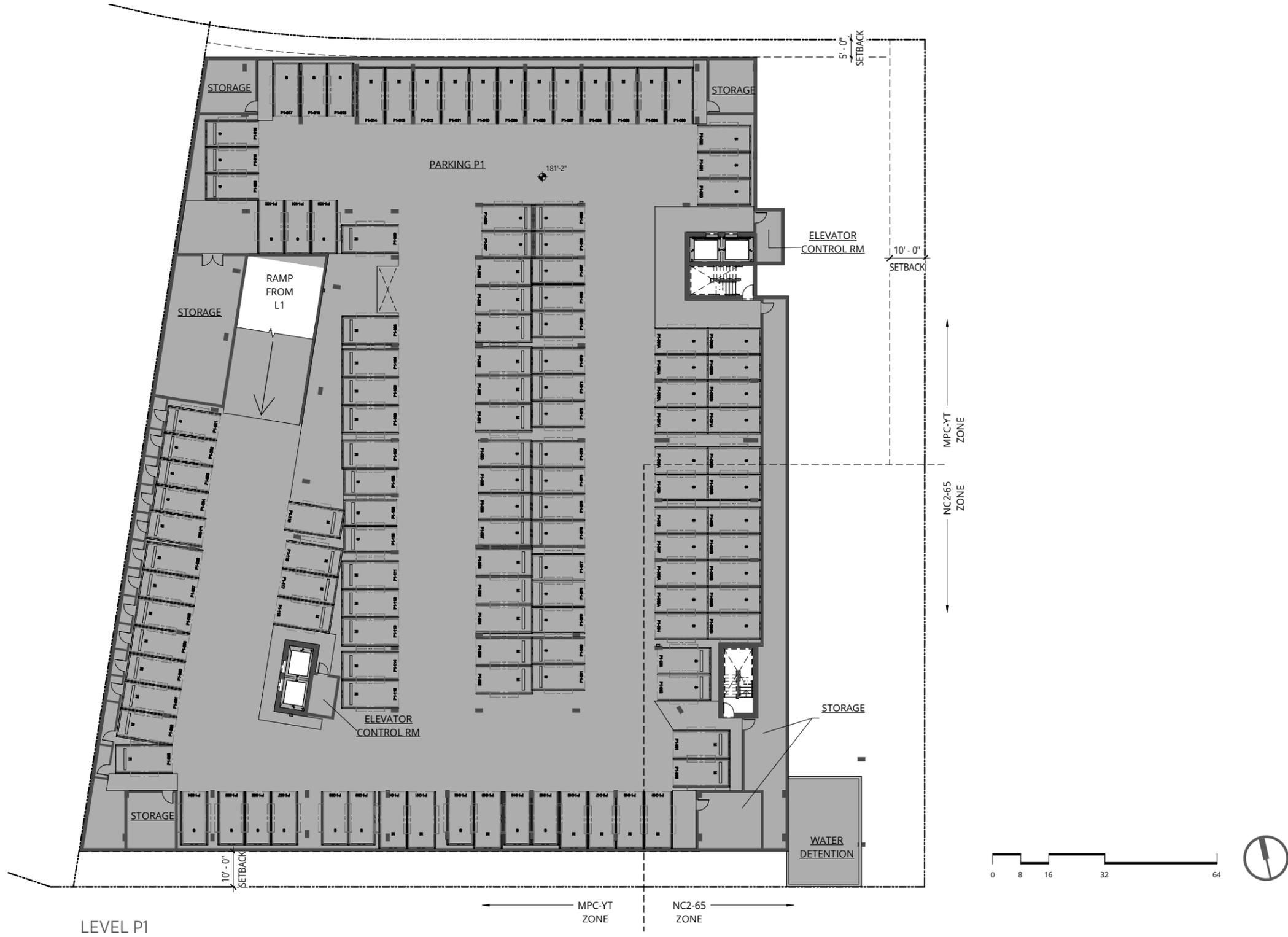
METAL PLANTER



METAL PLANTER



STOOP ENTRY









LEVEL 5





LEVEL 7









SOUTH ELEVATION





EAST ELEVATION





WEST ELEVATION

COURTYARD







SE CORNER



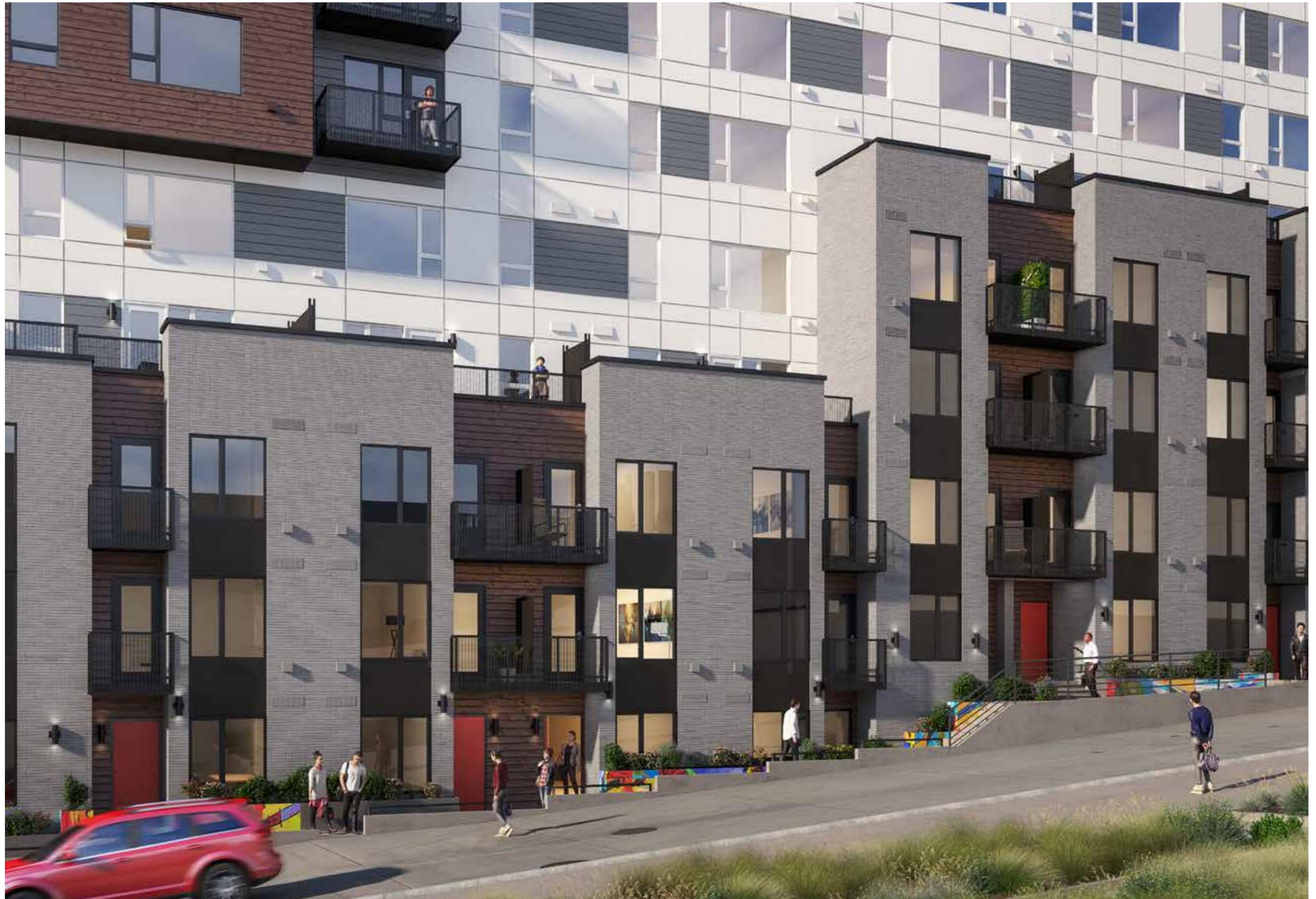




WEST COURTYARD



EXTERIOR DESIGN



ACCESS DRIVE





R TERRACE

**THANK
YOU!**

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